



CITY OF CLEVELAND  
Mayor Justin M. Bibb

2025 City of Cleveland

# Landmarks Commission

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*June 12<sup>th</sup>, 2025*

Julie Trott, Commission Chair  
Daniel Musson, Secretary





CITY OF CLEVELAND  
Mayor Justin M. Bibb

# Certificates of Appropriateness

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*June 12<sup>th</sup>, 2025*



# Case 25-035

Certificate of Appropriateness

Shaker Square Historic District

13500 Ardoon Avenue

## Window Replacement

Project Representatives: Jeff Deatsch, Universal Windows Direct; Abby McConnaughy, Owner

Ward 4: Councilmember Gray





The McConaughy Residence

Images not to Scale

Aerial Images of Residence



CuvahoodGIS | US



**The McConaughy Residence**

Street View of Residence

Images not to Scale



Front of Residence (North Facing)



East Side of Residence

## The McConaughy Residence

Images not to Scale



Rear of Residence (South Facing)



West Side of Residence

**The McConaughy Residence**

Images not to Scale

Replacement Windows



Existing Window Conditions

The McConnaughy Residence

Images not to Scale

Replacement Windows



Existing Window Conditions

The McConnaughy Residence

Images not to Scale



Front of Residence (North Facing)  
New White Double Hung Windows with  
Upper Dividers to Match Existing



East Side of Residence  
New White Double Hung Windows with  
Upper Dividers to Match Existing

## The McConaughy Residence

Images not to Scale



Rear of Residence (South Facing)  
New White Double Hung Windows with  
Upper Dividers to Match Existing



West Side of Residence  
New White Double Hung Windows with  
Upper Dividers to Match Existing

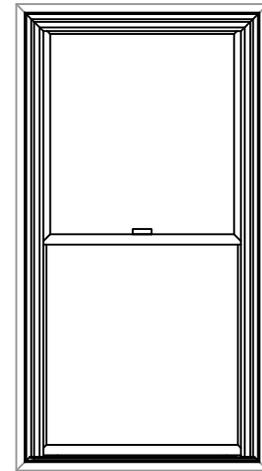
**The McConaughy Residence**

Images not to Scale

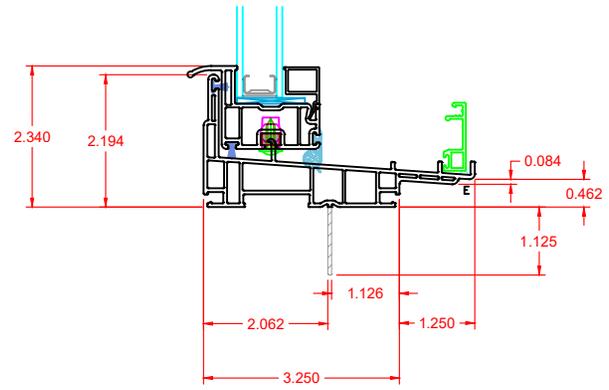
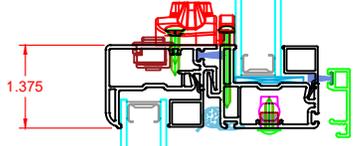
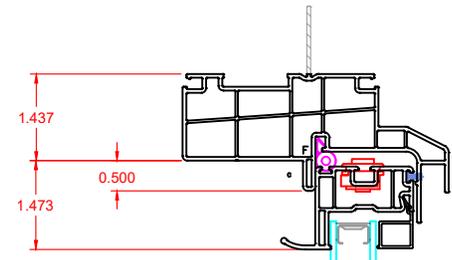
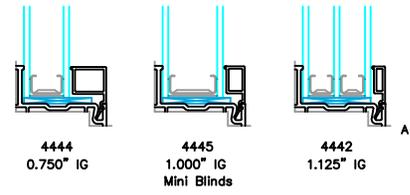
example of new window appearance.  
All windows to be replaced "like for like."



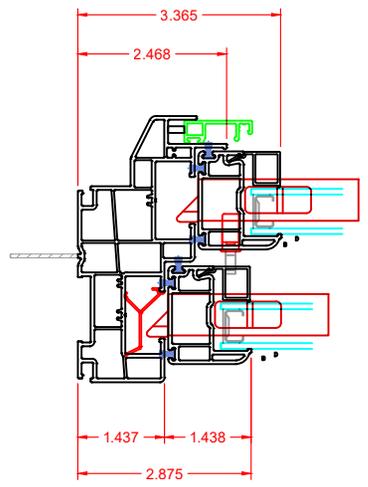
# Series 7420 / 3120



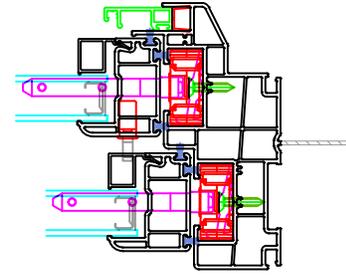
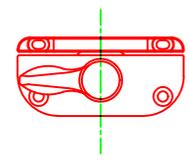
Outside View  
Scale .125x



Vertical Section



Horizontal Section



Rev.:	Date:	Remarks:	Title:														
E	08-17-2022	Upgraded sill, white 8-1-22 set	7420/3120 Series TWP-Edge DH Sections														
F	10-19-2023	Head bulb was 12359	<table border="1"> <tr> <td>Drawing Name:</td> <td>412020 Product 3331V10P-Edge DH Assembly Head/Top-Edge 3331Lins</td> </tr> <tr> <td>Date:</td> <td>04-02-2014</td> </tr> <tr> <td>Approved By:</td> <td>Tom Crish</td> </tr> <tr> <td>Die No.:</td> <td>Print Approval Date: 11-11-2016</td> </tr> <tr> <td>Scale:</td> <td>Full/Full</td> </tr> <tr> <td>Mat'l:</td> <td>Cut Approval Date:</td> </tr> <tr> <td>Drawn By: Tom Crish</td> <td>Production Approval Date:</td> </tr> </table>	Drawing Name:	412020 Product 3331V10P-Edge DH Assembly Head/Top-Edge 3331Lins	Date:	04-02-2014	Approved By:	Tom Crish	Die No.:	Print Approval Date: 11-11-2016	Scale:	Full/Full	Mat'l:	Cut Approval Date:	Drawn By: Tom Crish	Production Approval Date:
Drawing Name:	412020 Product 3331V10P-Edge DH Assembly Head/Top-Edge 3331Lins																
Date:	04-02-2014																
Approved By:	Tom Crish																
Die No.:	Print Approval Date: 11-11-2016																
Scale:	Full/Full																
Mat'l:	Cut Approval Date:																
Drawn By: Tom Crish	Production Approval Date:																
	10-20-2023	Moved All sash down 0.035 in vertical for bulb															

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**Abby McConnaughy - MSR**  
 13500 Ardoon Ave  
 Cleveland OH 44120  
 4192069388  
 jackson.1458@gmail.com

Date: 04/24/2025  
 Tech: John Glista  
 24801 Rockside Rd, Bedford Heights,  
 OH 44146  
 (440) 786-1400

NJ HIC 0450766458  
 PA HIC PA149897  
 MD HIC 109193

**Additional Job Data**

<b>Job#</b>	556029
<b>Job Site Address</b>	13500 Ardoon Ave Cleveland OH 44120
<b>Layout</b>	2 Story
<b>Siding/Wall type</b>	Aluminum
<b>Tear-out type</b>	Wood Common
<b>Add Flat Stock?</b>	No
<b>Add J-channel?</b>	No

**Lumber/Wood**

<b>Lumber Type</b>	NONE
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**Additional materials / instructions**

None
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**Capping**

<b>Capping Style</b>	<b>G8</b>
<b>Cap Color</b>	<b>Glacier White</b>

**Windows**

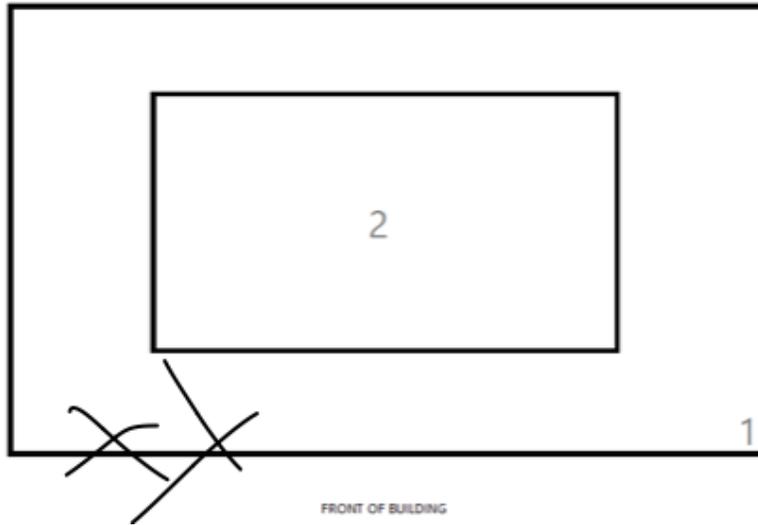
<b>TWP Double Hung</b>	<b>Quantity: 2</b>		
	<b>Style</b>	TWP Double Hung	<b>Location</b>
	<b>Size Category</b>	84-93 UI	28 - Living Room
	<b>Screen Style</b>	Standard Full Screen	White Vinyl
	<b>Obscured Glass</b>	None	None/None
	<b>Tempered Glass</b>	None	Colonial Contoured Top
			Standard
			<b>Hardware</b>

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

<b>Size</b>	<b>34 X 57 1/2</b>
<b>UI</b>	<b>91.50</b>
<b>Colonial Grids Pattern</b>	1H / 2V



**TWP Double Hung**

**Quantity: 2**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

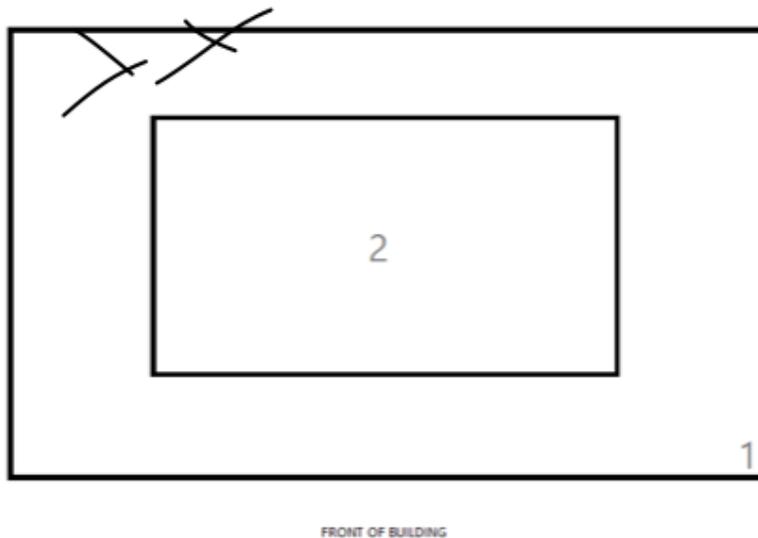
28 - Living Room  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **28 X 57 1/2**  
**UI** **85.50**  
**Colonial Grids Pattern** 1H / 2V



**TWP Double Hung**      **Quantity: 2**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

32 - Playroom  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

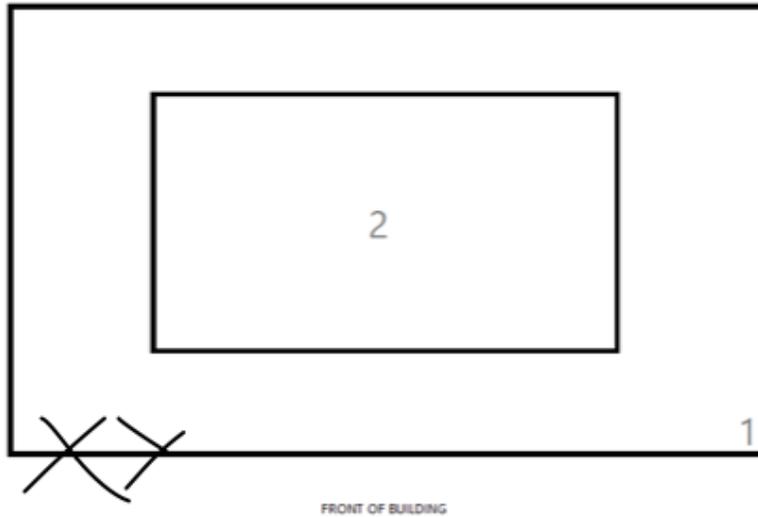
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **34 X 57 1/2**

**UI** **91.50**

**Colonial Grids Pattern** **1H / 2V**



**Notes** **Match grid pattern exactly to what is currently.**

**TWP Double Hung**      **Quantity: 2**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

32 - Playroom  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

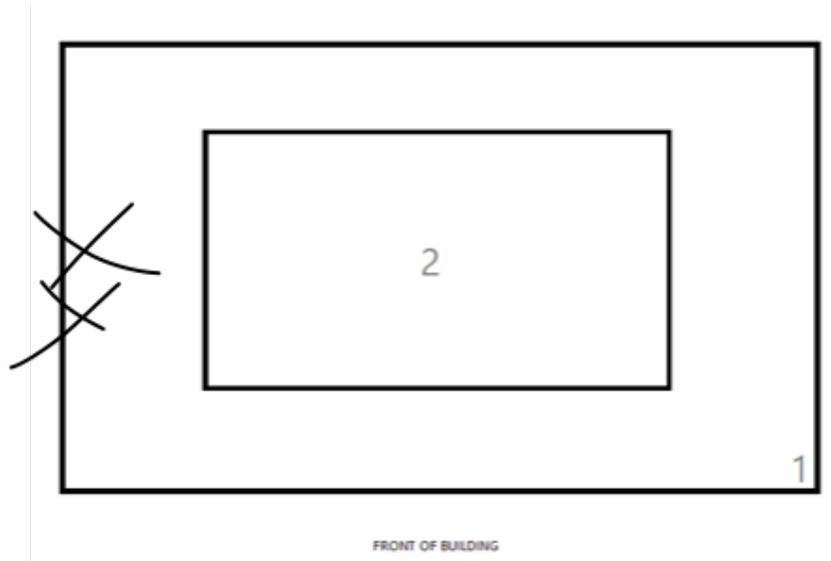
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **30 X 57 1/2**

**UI** **87.50**

**Colonial Grids Pattern** **1H / 2V**



Notes **Match grid pattern exactly to what is currently.**

**TWP Double Hung**      **Quantity: 2**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

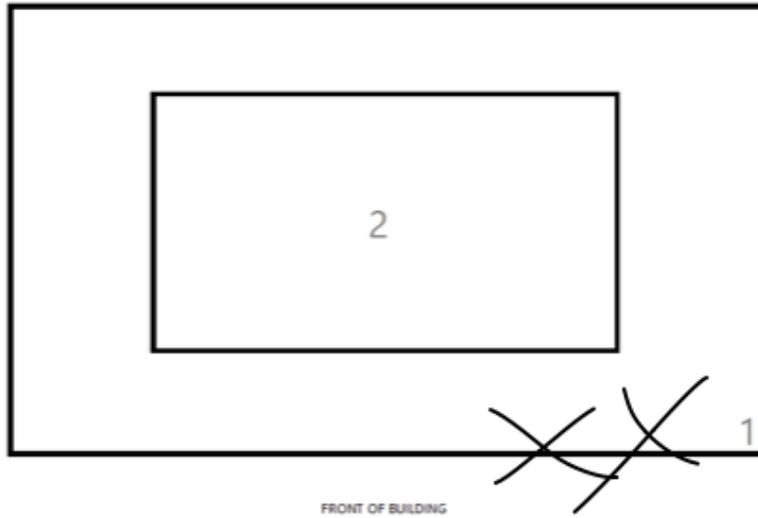
16 - Dining Room  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **34 X 57 1/2**  
**UI** **91.50**  
**Colonial Grids Pattern** **1H / 2V**



**TWP Double Hung**

**Quantity: 1**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 Standard OBS Full  
 Full

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

5 - Bathroom, Ground Floor  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size**

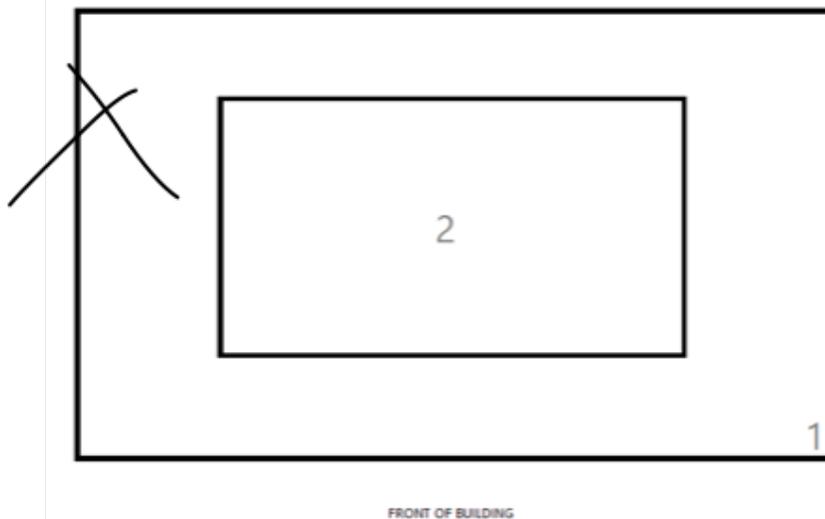
**34 X 57 1/2**

**UI**

**91.50**

**Colonial Grids Pattern**

1H / 2V



**TWP Double Hung**      **Quantity: 1**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 64-73 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

25 - Kitchen  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

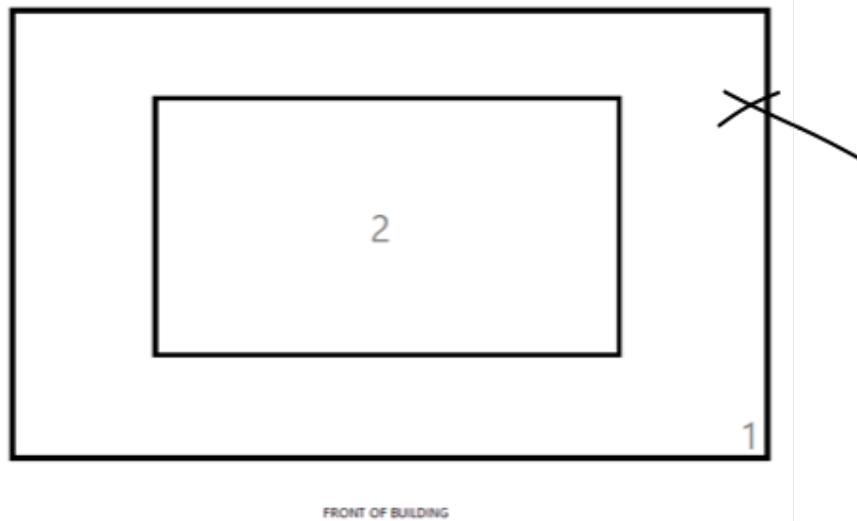
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **34 X 37 1/2**

**UI** **71.50**

**Colonial Grids Pattern** **1H / 2V**



**TWP Double Hung**      **Quantity: 2**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

7 - Bedroom 1  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

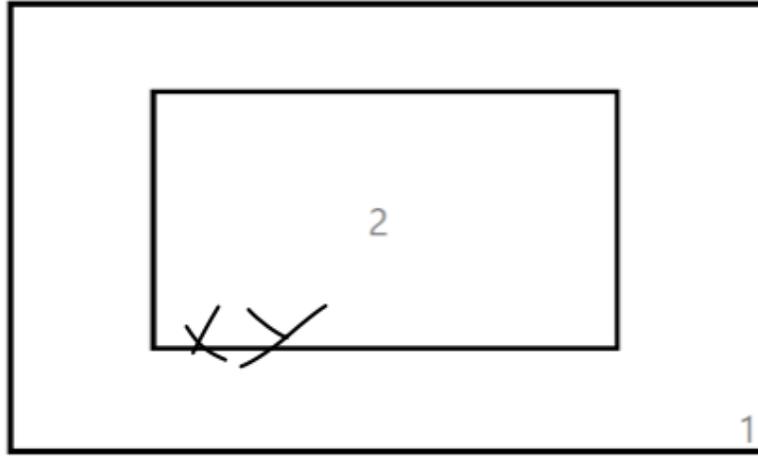
Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **34 X 53 1/2**

**UI** **87.50**

**Colonial Grids Pattern** **1H / 2V**



FRONT OF BUILDING

**TWP Double Hung**

**Quantity: 3**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

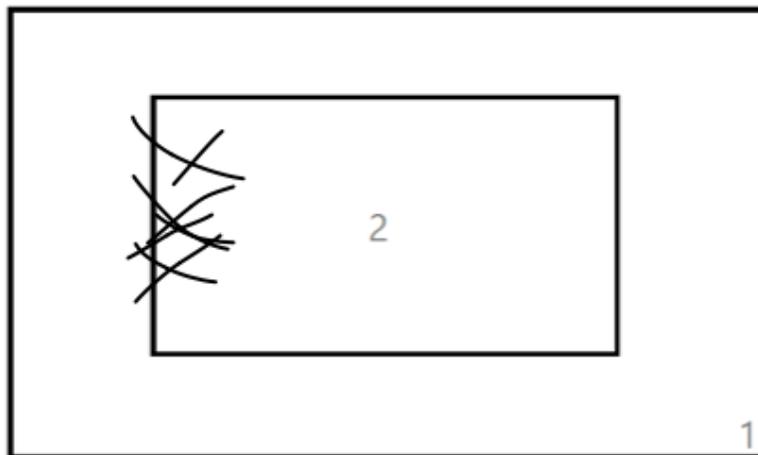
12 - Closet 1  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **28 X 53 1/2**  
**UI** **81.50**  
**Colonial Grids Pattern** 1H / 2V



FRONT OF BUILDING

**TWP Double Hung**

**Quantity: 2**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

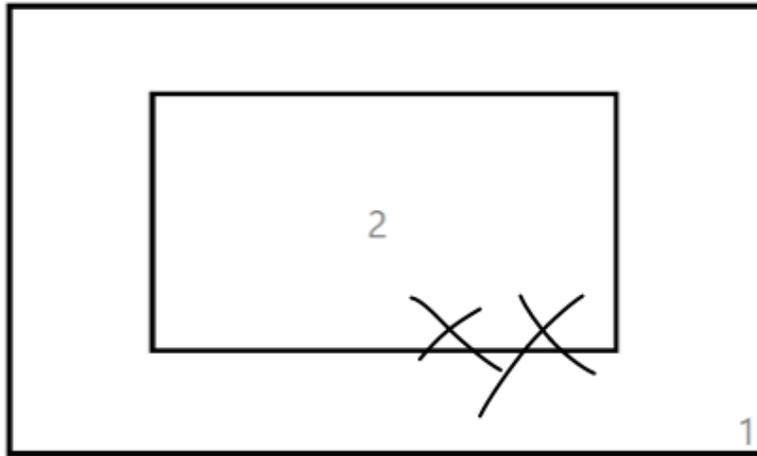
8 - Bedroom 2  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **34 X 53 1/2**  
**UI** **87.50**  
**Colonial Grids Pattern** 1H / 2V



FRONT OF BUILDING

**TWP Double Hung**

**Quantity: 1**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 None

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

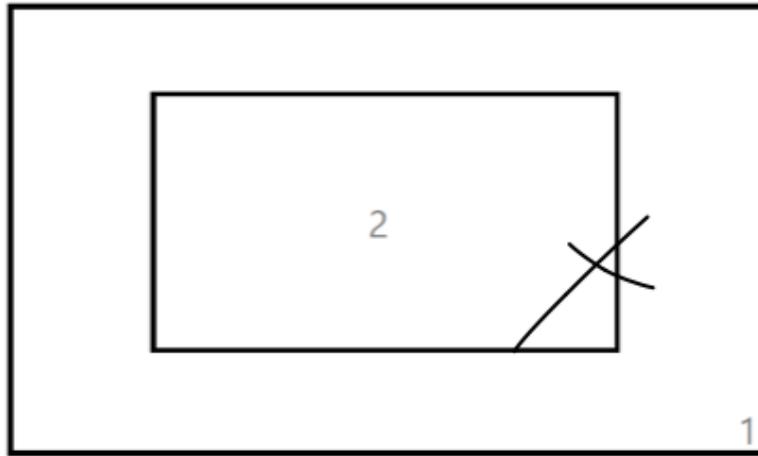
8 - Bedroom 2  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

**Size** **30 X 53 1/2**  
**UI** **83.50**  
**Colonial Grids Pattern** 1H / 2V



FRONT OF BUILDING

**TWP Double Hung**

**Quantity: 1**



**Style**  
**Size Category**  
**Screen Style**  
**Obscured Glass**  
**Tempered Glass**

TWP Double Hung  
 84-93 UI  
 Standard Full Screen  
 None  
 Full

**Location**  
**Vinyl Color**  
**Int/Ext**  
**Grids**  
**Hardware**

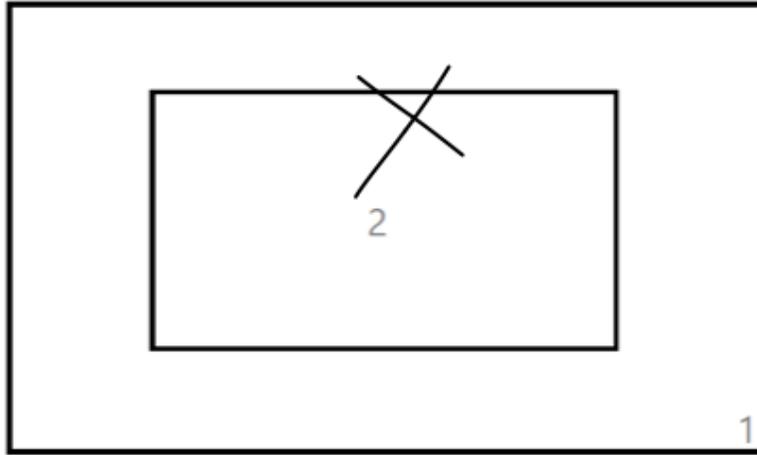
35 - Stairway 1  
 White Vinyl  
 None/None  
 Colonial Contoured Top  
 Standard

**Window Package**

Plus Package - Double Pane Insulated Glass/Low-E Stacked/Argon/HeatStopper Foam/SuperSpacer (Lifetime Warranty)

**Measures**

<b>Size</b>	<b>30 X 53 1/2</b>
<b>UI</b>	<b>83.50</b>
<b>Colonial Grids Pattern</b>	<b>1H / 2V</b>



FRONT OF BUILDING

Did you save your estimate?

Answered: Yes

Did you result your estimate?

Answered: Yes

Required Photos









**Conditions/Changes**

<b>Describe preexisting damage:</b>	<b>No preexisting damage.</b>



John Glista

Abby McConaughy - MSR

**04/24/2025**

**04/24/2025**

Date

Date

# Case 25-036

Certificate of Appropriateness

Brooklyn Centre Historic District

## Kerns Building 2604 Garden Avenue

### Rehabilitation

Project Representatives: Jill Brandt, Brandt Architecture

Ward 14: Councilmember Santana



# KERNS ON PEARL

**LOCATION:** 3604 GARDEN AVE

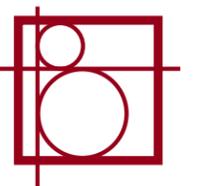
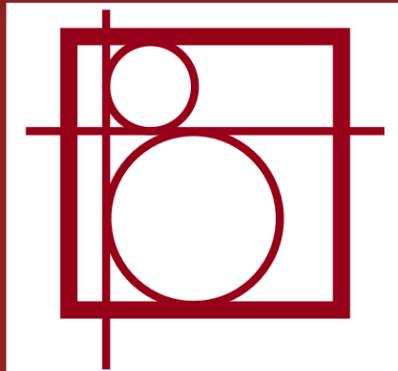
**NEIGHBORHOOD:** OLD BROOKLYN

**SCALE:** 3 STORY COMMERCIAL

**ZONING:** MIXED COMMERCIAL

**NUMBER OF LOTS:** ONE

**VARIANCES REQUESTED:** NONE





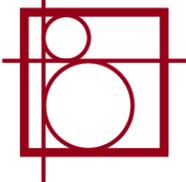
 SITE

 PARKING

 N  
N.T.S

# KERNS ON PEARL

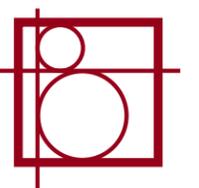
2604 GARDEN AVE,  
CLEVELAND, OHIO





# KERNS ON PEARL

2604 GARDEN AVE.,  
CLEVELAND, OHIO





**PROPOSED SITE**

PARKING REQUIREMENTS

KERNS INFO ONLY

TOTAL PARKING REQUIRED: 142 SPACES  
 TOD PARKING REDUCTION (50%)= 71 SPACES  
 TOTAL PROVIDED: 70 SPACES

**UPDATE**



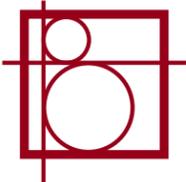
KERNS

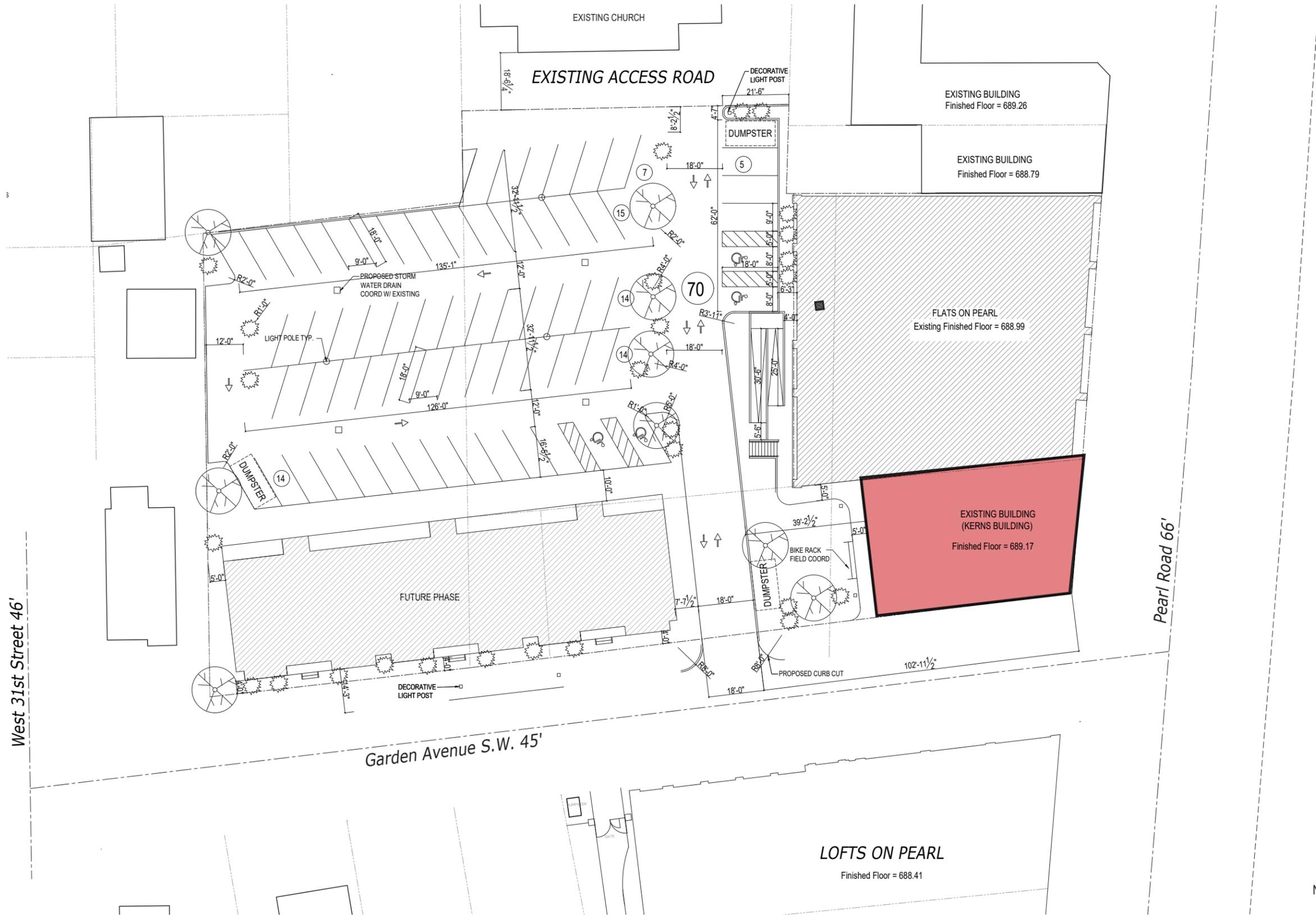


FUTURE PHASE

**KERNS ON PEARL**

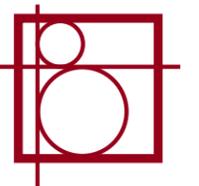
2604 GARDEN AVE,  
 CLEVELAND, OHIO





# KERNS ON PEARL

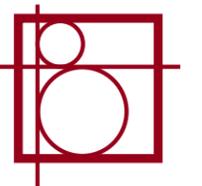
2604 GARDEN AVE,  
CLEVELAND, OHIO





# KERNS ON PEARL

2604 GARDEN AVE,  
CLEVELAND, OHIO





1 EAST ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"

TOP OF PARAPET  
+45'-11" A.F.F.

TOP OF ROOF  
+40'-6" A.F.F.

THIRD FLOOR  
+25'-0" A.F.F.

SECOND FLOOR  
+14'-0" A.F.F.

GROUND FLOOR  
+0'-0" A.F.F.



NEW ENTRY DOORS

BEAD BD. PANEL

- RESTORE EXISTING TRANSOM GLASS & TRIM
- NEW STOREFRONT GLASS
- EXISTING BRICK
- NEW WOOD TRIM TO MATCH ORIGINAL
- NEW WOOD SILL
- NEW WOOD 4" TRIM
- NEW FINISH GRADE PLYWOOD PANEL
- NEW WOOD 1/4 ROUND TRIM
- EXISTING STONE CURB

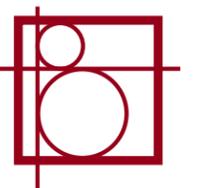
3 A-3.0

2 A-3.0

4 A-3.0

1 EAST ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"

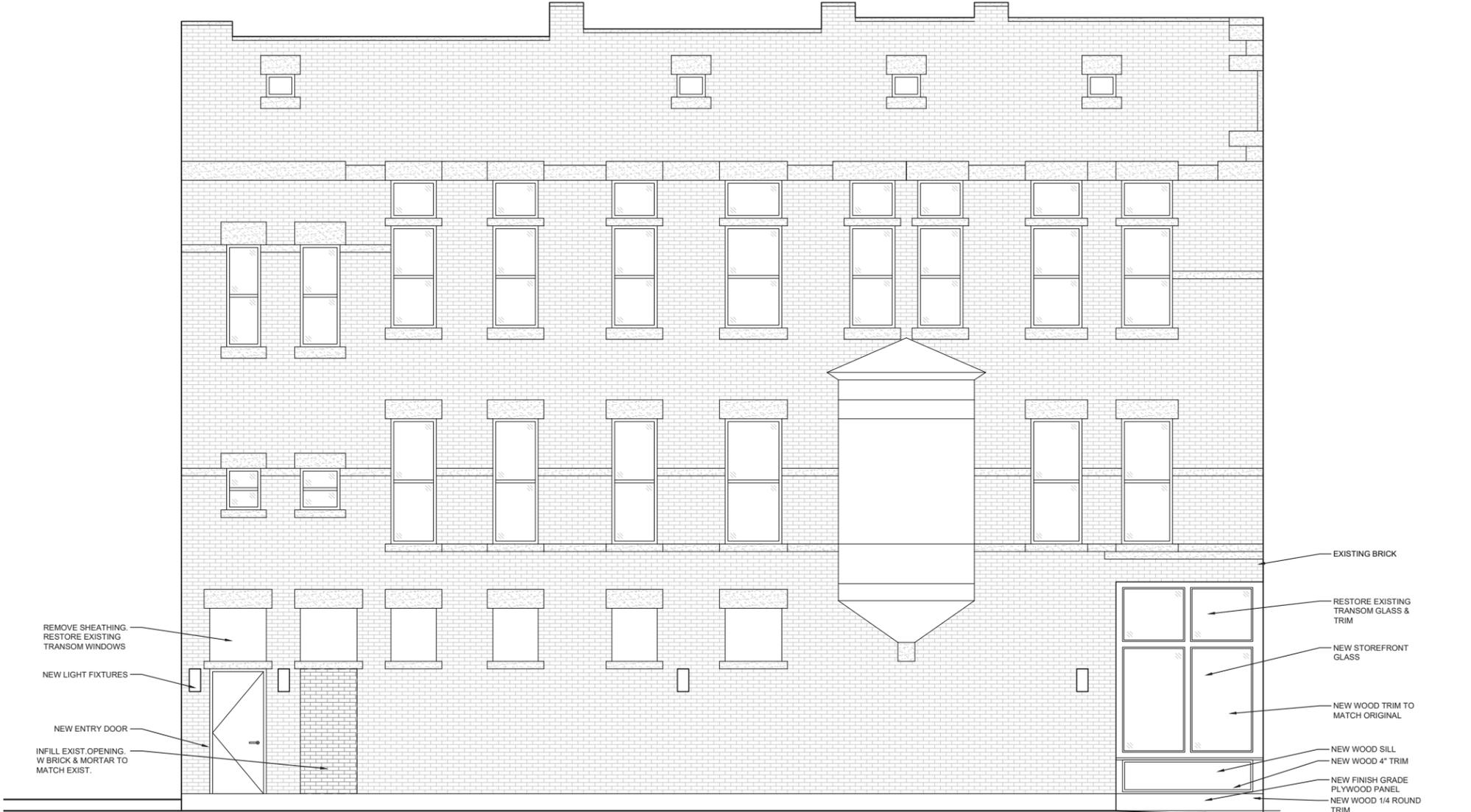
SCALE: NTS



**WINDOWS**

PELLA IMPERVIA

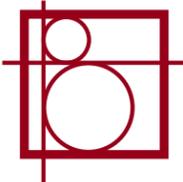
COLOR: BROWN  
MATERIAL: FIBERGLASS  
STYLE: DOUBLE HUNG



2 SOUTH ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"

**KERNS ON PEARL**

2604 GARDEN AVE.,  
CLEVELAND, OHIO

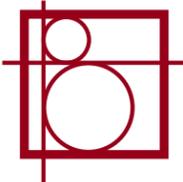


**STOREFRONT ELEVATION**



**KERNS ON PEARL**

2604 GARDEN AVE,  
CLEVELAND, OHIO



# BUILDING LIGHTING

FIXTURES NOT TO SCALE



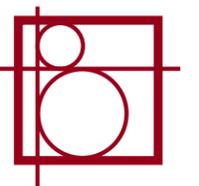
**WALL SCONCE**  
WAC LIGHTING CYLINDER



**UP/DOWN BUILDING LIGHT**  
NUVO LIGHTING: 900 LUMEN LED OUTDOOR LIGHT SCONCE

## KERNS ON PEARL

2604 GARDEN AVE.,  
CLEVELAND, OHIO

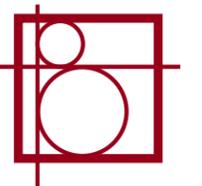




**● LIGHT POLE**  
 15' ROUND STRAIGHT POLE DOUBLE FIXTURE



**● PEDESTRIAN LIGHT POLE**  
 62" OUTDOOR SINGLE HEAD POST LIGHT





*Calamagrostis x acutiflora 'Karl Foerster'*  
Feather Reed Grass  
Ornamental grass  
Height: 3-5' | Spread: 1.5-2'



*Tilia americana 'American Sentry'*  
American Sentry Linden  
Deciduous tree  
Height: 50-80' | Spread: 30-50'



*Betula nigra 'Heritage'*  
River Birch  
Shade tree  
Height: 40-50' | Spread: 30-35'



*Hydrangea macrophylla 'Endless Summer'*  
Endless Summer Hydrangea  
Flowering shrub  
Height: 3-5' | Spread: 3-5'



*Echinacea purpurea*  
Purple Coneflower  
Herbaceous perennial  
Height: 2-5' | Spread: 1.5- 2'

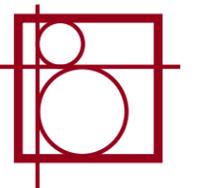


*Taxus x hicksii*  
Hicks Yew  
Evergreen shrub  
Height: 10-15' | Spread: 3-4'



# KERNS ON PEARL

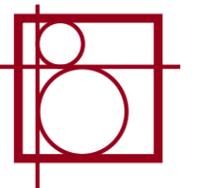
2604 GARDEN AVE.,  
CLEVELAND, OHIO





# KERNS ON PEARL

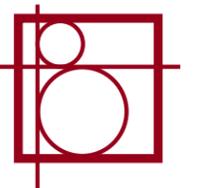
2604 GARDEN AVE.,  
CLEVELAND, OHIO





# KERNS ON PEARL

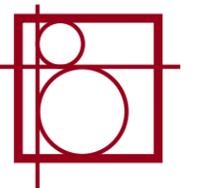
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CLEVELAND, OHIO

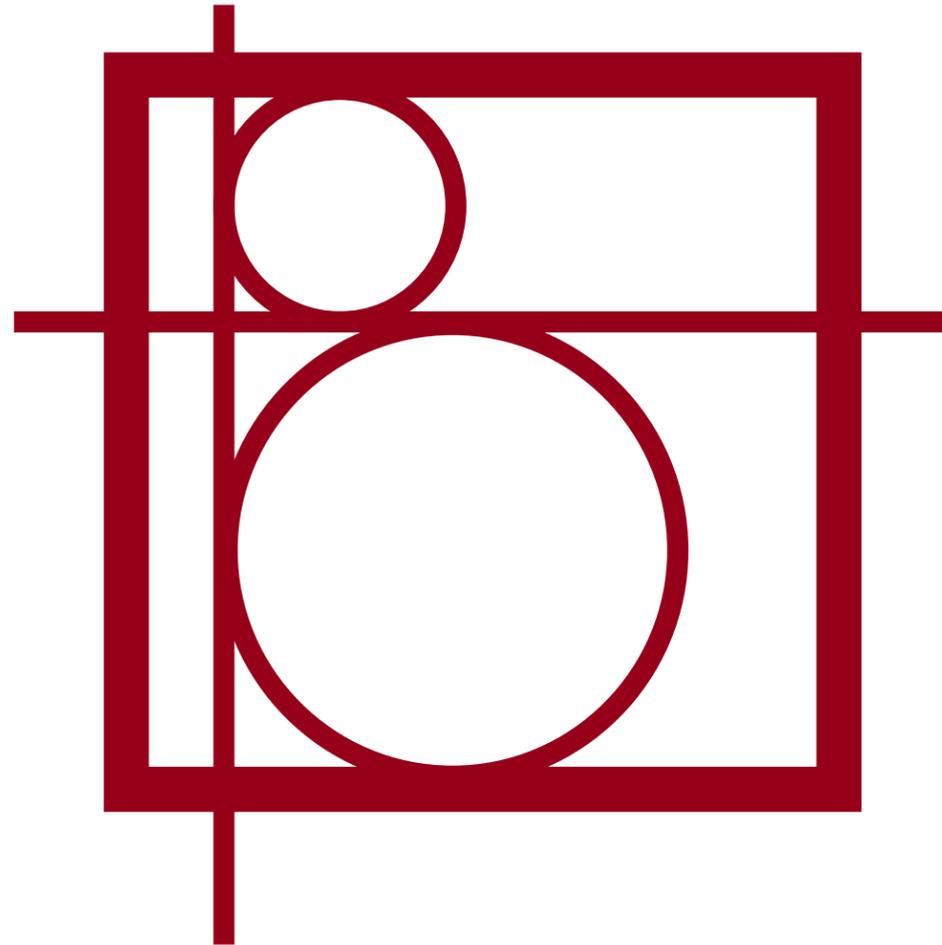




# KERNS ON PEARL

2604 GARDEN AVE.,  
CLEVELAND, OHIO





2220 WOOSTER RD.

ROCKY RIVER, OHIO 44116

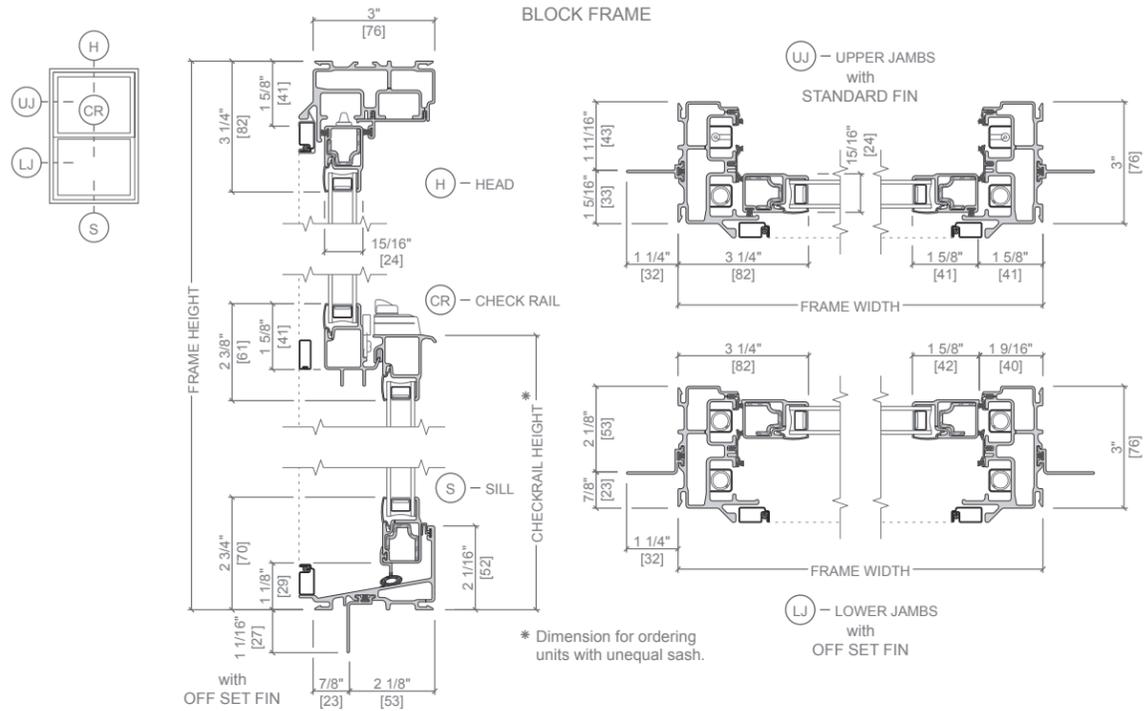
440-865-1824

[WWW.BRANDTARCHITECTURE.COM](http://WWW.BRANDTARCHITECTURE.COM)



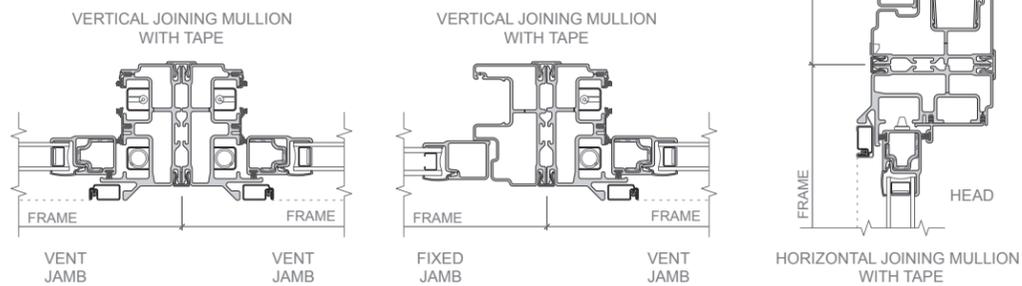
Impervia® Double-Hung Windows

Unit Sections



PROPOSED WINDOWS

PELLA IMPERVIA  
COLOR: BROWN  
MATERIAL: FIBERGLASS  
STYLE: DOUBLE-HUNG



MASONIC LODGE PROPOSED ADAPTIVE MIX-USE

3804 Pearl Road, Cleveland, Ohio



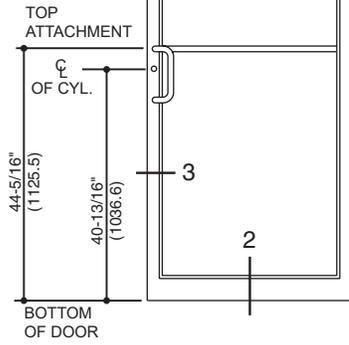
Additional information and CAD details are available at [www.kawneer.com](http://www.kawneer.com)

### 190 NARROW STILE

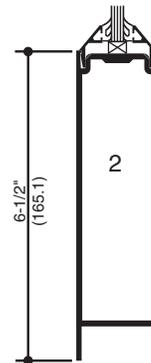
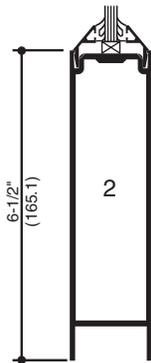
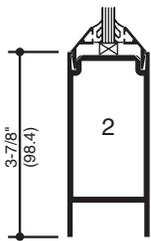
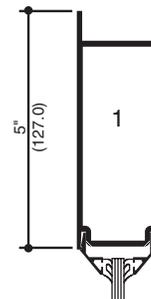
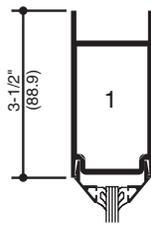
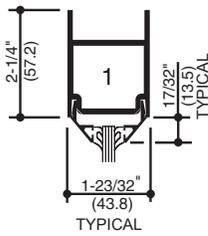
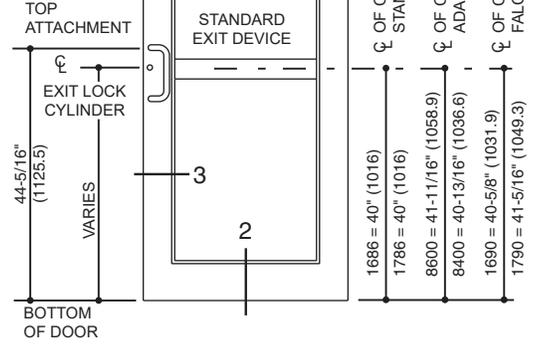
### 350 MEDIUM STILE

### 500 WIDE STILE

STANDARD LOCATIONS



STANDARD LOCATIONS



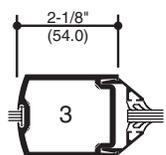
SINGLE ACTING



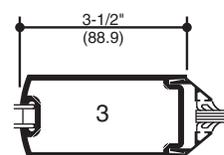
SINGLE ACTING



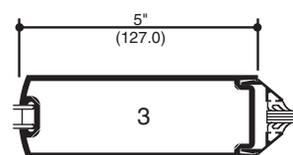
SINGLE ACTING



DOUBLE ACTING



DOUBLE ACTING



DOUBLE ACTING

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

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**BEAD BOARD PANEL**

1 x 4 x 12' Beaded Tongue & Groove Pattern Board

(Actual Size 23/32" x 3-11/32" x 12')



# Case 25-029

## Certificate of Appropriateness

**Eleanor Rainey Memorial Institute  
(aka Willson Avenue Boys Club)**

**Schematic Review  
completed April 25<sup>th</sup>, 2025**

# Historic Eleanor B. Rainey Memorial Institute Building 1523 East 55<sup>th</sup> Street

## **Rehabilitation and Addition**

**Project Representatives: Michael Sanbury, LDA Architecture**

**Ward 7: Councilmember Howse-Jones**



# THE HISTORIC ELEANOR B. RAINEY MEMORIAL INSTITUTE BUILDING

## CLIQUEPOINT DATA FOUNDATION

1523 EAST 55TH STREET  
CLEVELAND, OH 44103



The Offices at the Agora  
5000 Euclid Avenue, Suite 104  
Cleveland, OH 44103  
LDAarchitecture.com  
216.932.1890

REV	DATE	DESCRIPTION
	06.30.2023	NPS REVIEW
	08.30.2023	NPS/SHPO REVIEW
	04.08.2025	LANDMARKS DESIGN REVIEW

ZONING REQUIREMENTS				
<b>CITY OF CLEVELAND OHIO CODE OF ORDINANCES PART III.B: LAND USE CODE TITLE VII: ZONING CODE</b>	<b>PARCEL NUMBER:</b> DESIGN REVIEW REGION: DESIGN REVIEW DISTRICT: ZONING CODE: USE DISTRICT: AREA DISTRICT: HEIGHT DISTRICT: LOCAL LANDMARK DISTRICT: NATIONAL LANDMARK DISTRICT: ZONING OVERLAY DISTRICT:	<b>104-14-018</b> NORTHEAST SUPERIOR GR-C3 GENERAL RETAIL BUSINESS C 3 NO NO NO	<b>104-14-019</b> NORTHEAST SUPERIOR 2F-B1 TWO FAMILY B 1 NO NO NO	
PROJECT INFORMATION				
<b>PROPOSED OCCUPANCY:</b> BUSINESS B	<b>GROSS BUILDING AREA:</b>	<b>EXISTING</b>	<b>ADDITION</b>	<b>TOTAL</b>
	BASEMENT	2,698 SF	391 SF	2,634 SF
	FIRST FLOOR	2,707 SF	391 SF	3,098 SF
	SECOND FLOOR	2,776 SF	391 SF	3,167 SF
	THIRD FLOOR	1,335 SF	391 SF	1,726 SF
	<b>TOTALS:</b>	9,516 SF	1,564 SF	11,080 SF
<b>LOT SIZE:</b> <b>PARCEL 10414018</b> = 7,840 SQ FT (0.18 AC) LEGAL FRONT = 70.1 SQ FT <b>PARCEL 10414019</b> = 10,152 SQ FT (0.233 AC) LEGAL FRONT = 107.7 SQ FT				
ZONING STANDARDS AND RESTRICTIONS		REQUIRED	PROPOSED	VAR.
<b>MAXIMUM GROSS FLOOR AREA</b>				
1/2 TOTAL LOT AREA: 17,992 / 2 = 8,996 SF		8,996 SF	10,625 SF	YES
<b>BUILDING HEIGHT</b>				
3 HL = 3D, BUT NOT TO EXCEED 115 FT D = DISTANCE TO CL OF STREET = +/- 52 FT 3(52) = 156'		115' MAX.	36'-1/4" EXISTING HEIGHT TO REMAIN	NO
<b>FRONT YARD SETBACK</b>				
15% LOT DEPTH, BUT NOT TO EXCEED 30' 221'-3" x .15 = 33'-2"		30'	EXISTING SETBACK TO REMAIN	NO
<b>SIDE YARD SETBACK</b>				
10% LOT WIDTH, OR 5' - WHICHEVER IS LESS 72'-4" x .1 = 7'-2"		5' MIN.	EXISTING SETBACK TO REMAIN	NO
<b>REAR YARD REQUIREMENT</b>				
N/A				
<b>PARKING REQUIREMENTS</b>				
RETAIL SERVICE USES = 1/500 OF GSF 4,971/500 = 10 SPACES		10 REQUIRED		
RETAIL SALES USES (CAFE AND KITCHENS) = 1 EMPLOYEE FOR EACH, 3 SPACES		3 REQUIRED		
<b>TOTAL</b>		13 REQUIRED	14 PROVIDED	NO
<b>BICYCLE PARKING</b>				
1 BICYCLE SPACE PER 20 AUTOMOBILE SPACE		1 REQUIRED		NO

### PROJECT SUMMARY

THE REHABILITATION OF THE HISTORIC ELEANOR B. RAINEY INSTITUTE BUILDING WILL TRANSFORM THIS UNIQUE STRUCTURE FOR THE NONPROFIT ORGANIZATION CLIQUEPOINT DATA FOUNDATION INTO A COLLABORATIVE CO-WORKING SPACE. THE GOAL IS TO CREATE A COLLABORATIVE UNIFIED NETWORK OF DIVERSE ORGANIZATIONS UNDER ONE ROOF WITH ONE GOAL: TO SERVE THE COLLECTIVE NEEDS OF THE HOUGH, CENTRAL, AND FAIRFAX COMMUNITIES.

**1. DEMOLITION OF THE EXISTING GARAGE AND EXTERIOR FIRE ESCAPES** THE EXISTING GARAGE WILL BE DEMOLISHED TO ENABLE VEHICULAR ACCESS FROM THE NEW PARKING AREA THAT WILL EXIT ALONG THE NORTHERN PORTION OF THE SITE. WINDOW OPENINGS WILL BE RESTORED WHERE CURRENTLY FILLED IN AT THE NORTH OF THE BUILDING. THE EXTERIOR FIRE ESCAPES WILL BE REMOVED. NEW FIRE EGRESS WILL BE PROVIDED.

**2. RENOVATION OF THE EXISTING BUILDING** CURRENTLY VACANT, THE FULL RENOVATION OF THE FORMER ELEANOR B. RAINEY MEMORIAL INSTITUTE BUILDING WILL CONSIST OF A FULL INTERIOR REHABILITATION AND ADAPTIVE REUSE NECESSARY TO UTILIZE THE BUILDING FOR OFFICE, COWORKING, AND EVENT FUNCTIONS. THE MAIN FLOOR WILL HOUSE A SMALL RETAIL SPACE THAT WILL INCLUDE HISTORIC MEMORABILIA ON DISPLAY AND FOR SALE, AN OPEN EVENT AND/OR COWORKING SPACE, SITTING ROOMS, AND RESTROOMS. THE SECOND FLOOR WILL HOUSE PRIVATE OFFICES AND ADDITIONAL COWORKING SPACE FOR LEASE AND AN EVENT SPACE IN THE ORIGINAL GYM. THE THIRD FLOOR WILL HOUSE ADDITIONAL OFFICE AND RECORDING STUDIO SPACES. A NEW INTERIOR BRIDGE WILL CONNECT THE THIRD FLOOR TO THE ADDITION FOR EMERGENCY EGRESS AND ACCESSIBLE ELEVATOR ACCESS. THE LOWER LEVEL WILL HOUSE A COMMUNITY KITCHEN, PREP, AND DINING AREA.

**3. ADDITION TO THE EXISTING BUILDING** THE NEW ADDITION AT THE REAR OF THE BUILDING WILL INCLUDE AN ACCESSIBLE GROUND LEVEL ENTRANCE, ELEVATOR AND EGRESS STAIR ACCESSING ALL LEVELS.

**4. SITE IMPROVEMENTS AND NEW PARKING LOT** THE EXISTING PARKING AREA AT E. 55TH STREET WILL BE REPURPOSED FOR A SMALL OUTDOOR SEATING AREA. THE REAR-EAST YARD WILL INCLUDE NEW PAVING FOR AN OUTDOOR EVENT SPACE. A NEW PARKING AREA WILL BE INCLUDED AND PROVIDE ACCESSIBLE PARKING AND DIRECT ACCESS TO THE ACCESSIBLE ENTRANCE AT THE ADDITION. BIKE PARKING, PATIO, GARDEN, AND LANDSCAPE FEATURES WILL BE PROVIDED.

### LOCATION MAP



**PROJECT LOCATION: 1523 EAST 55TH STREET  
CLEVELAND, OH 44103**

**BUILDING IS SUBJECT TO NATIONAL PARK  
SERVICE REQUIREMENTS. REFER TO  
HISTORIC NOTES - SHEET H1.01**

**NOT FOR  
CONSTRUCTION**

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**THE HISTORIC ELEANOR B.  
RAINEY MEMORIAL INSTITUTE**  
Cliquepoint Data Foundation

1523 East 55th Street, Cleveland, OH 44103  
LDA Project No.22.34

COVER SHEET

**A-0**



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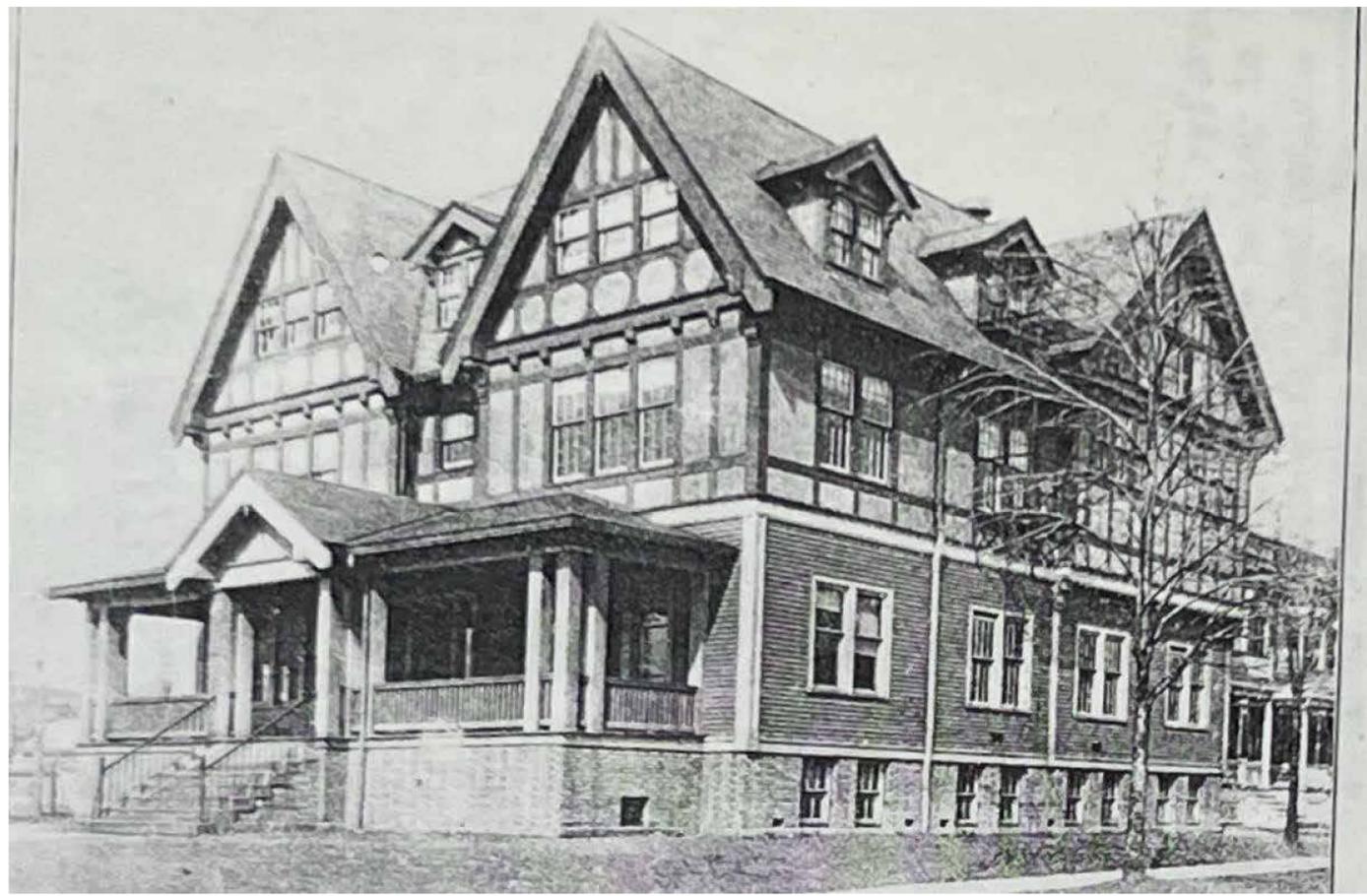
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 LDA Project No.22.34

HISTORIC PHOTOS

**A-1**



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 1523 East 55th Street, Cleveland, OH 44103  
 LDA Project No.22.34

HISTORIC PHOTOS

**A-2**



PHOTO 4. NORTHEAST CORNER

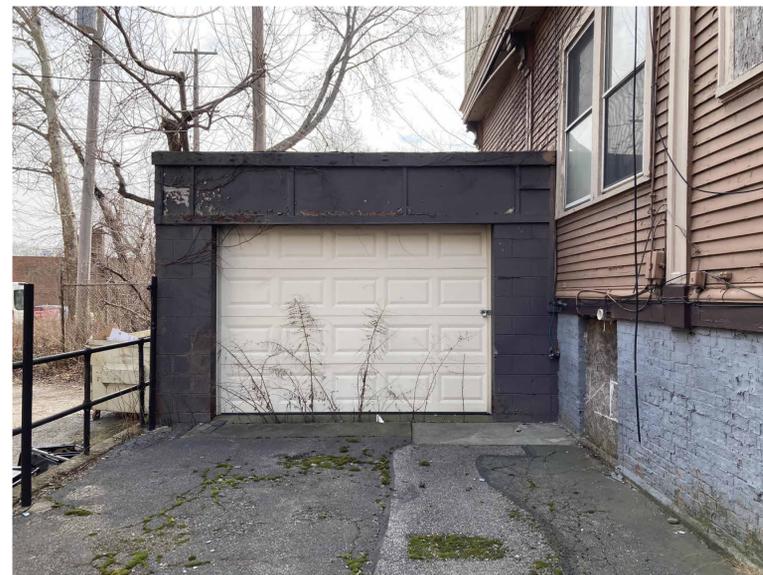


PHOTO 3. GARAGE



PHOTO 2. SOUTHWEST CORNER



PHOTO 1. NORTHWEST CORNER



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	08.30.2023	NPS/SHPO REVIEW
	04.08.2025	LANDMARKS DESIGN REVIEW

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LDA Project No.22.34

EXISTING BUILDING PHOTOS

**A-3**

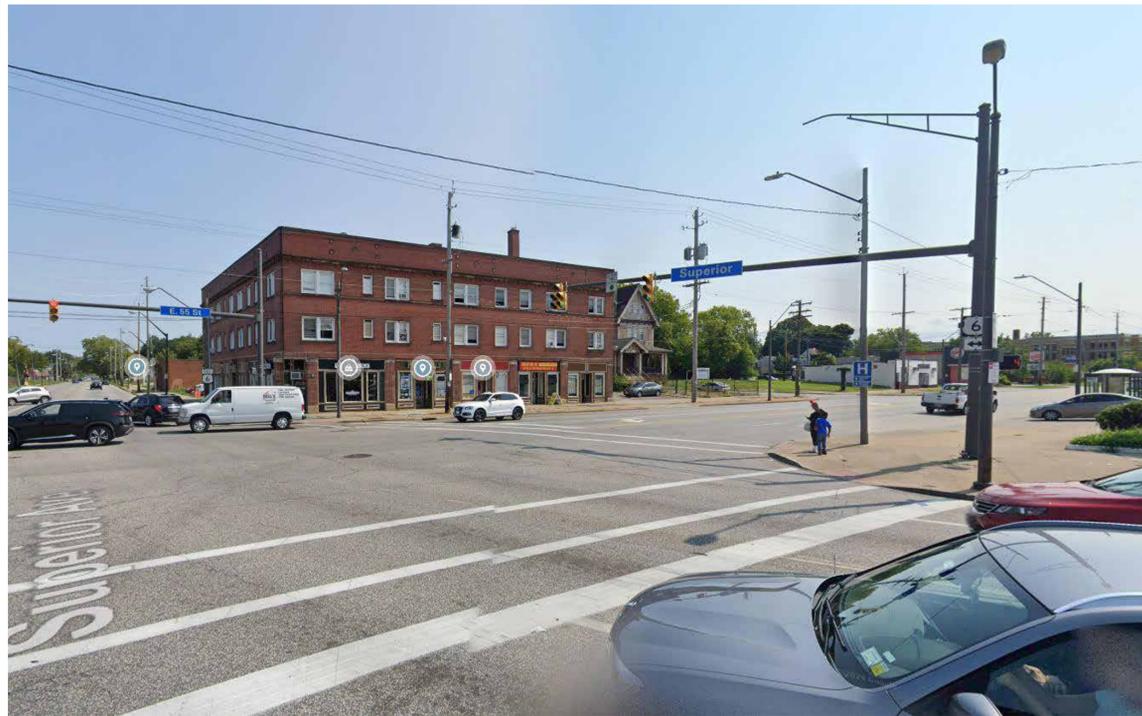


PHOTO 2. E 55TH & SUPERIOR INTERSECTION

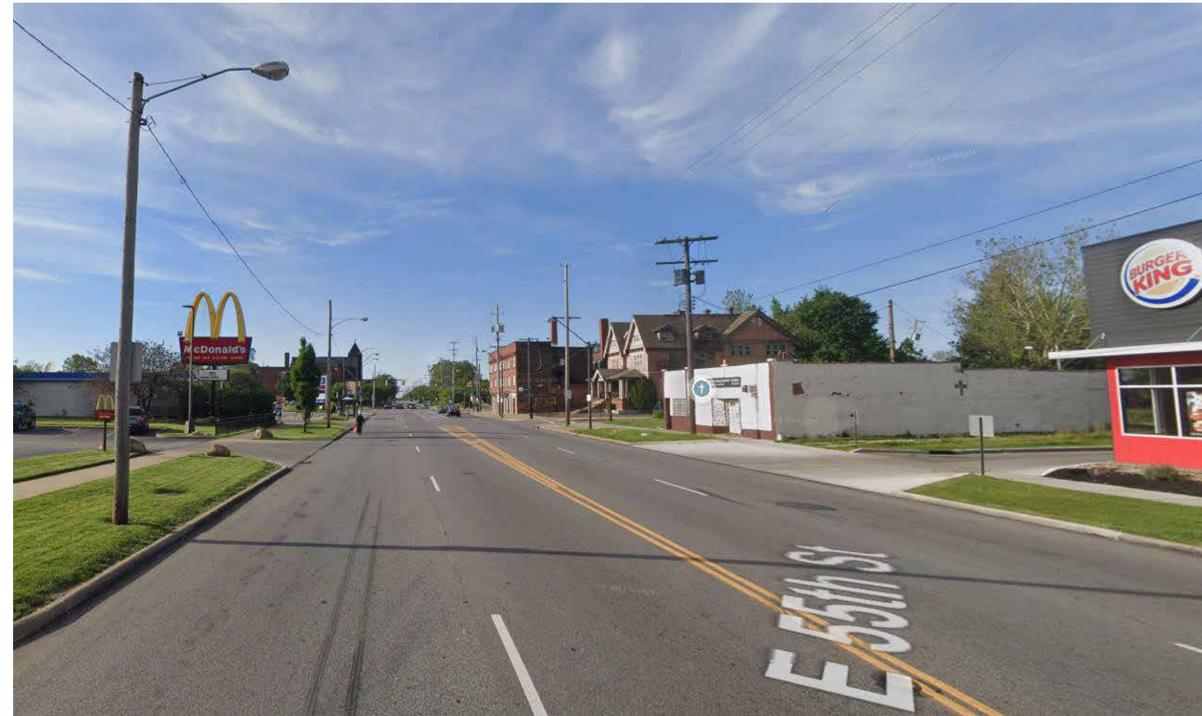


PHOTO 4. E 55TH LOOKING NORTH

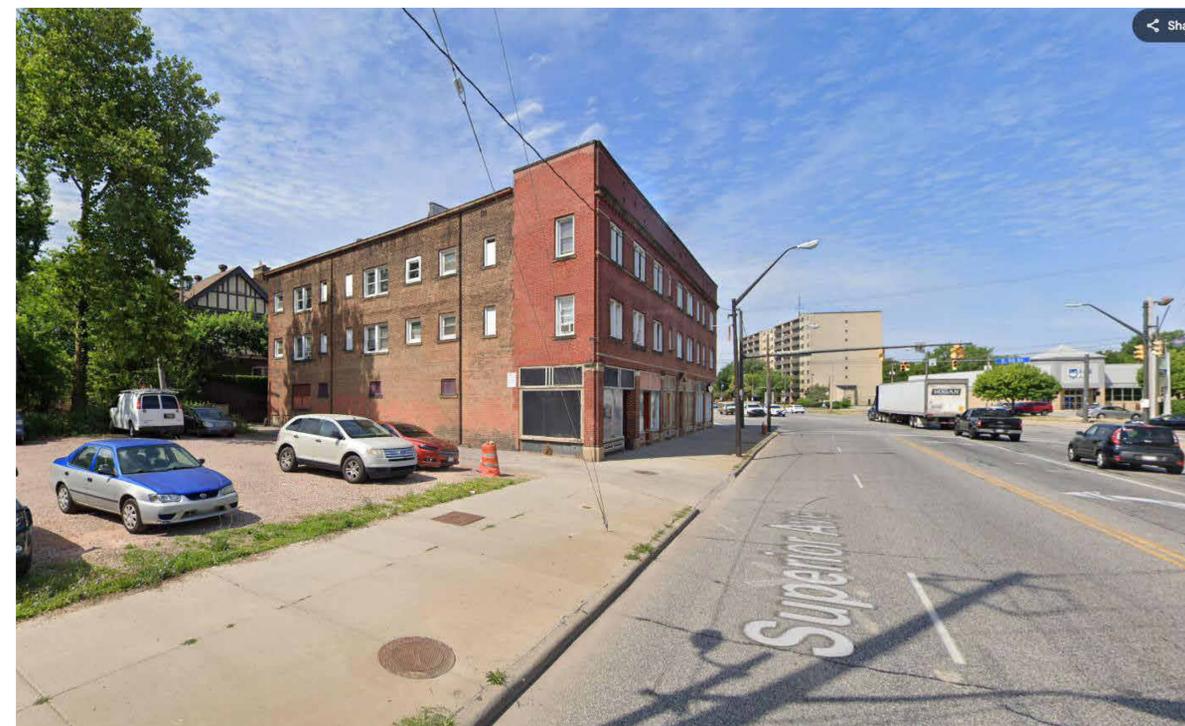


PHOTO 3. SUPERIOR LOOKING SOUTHWEST

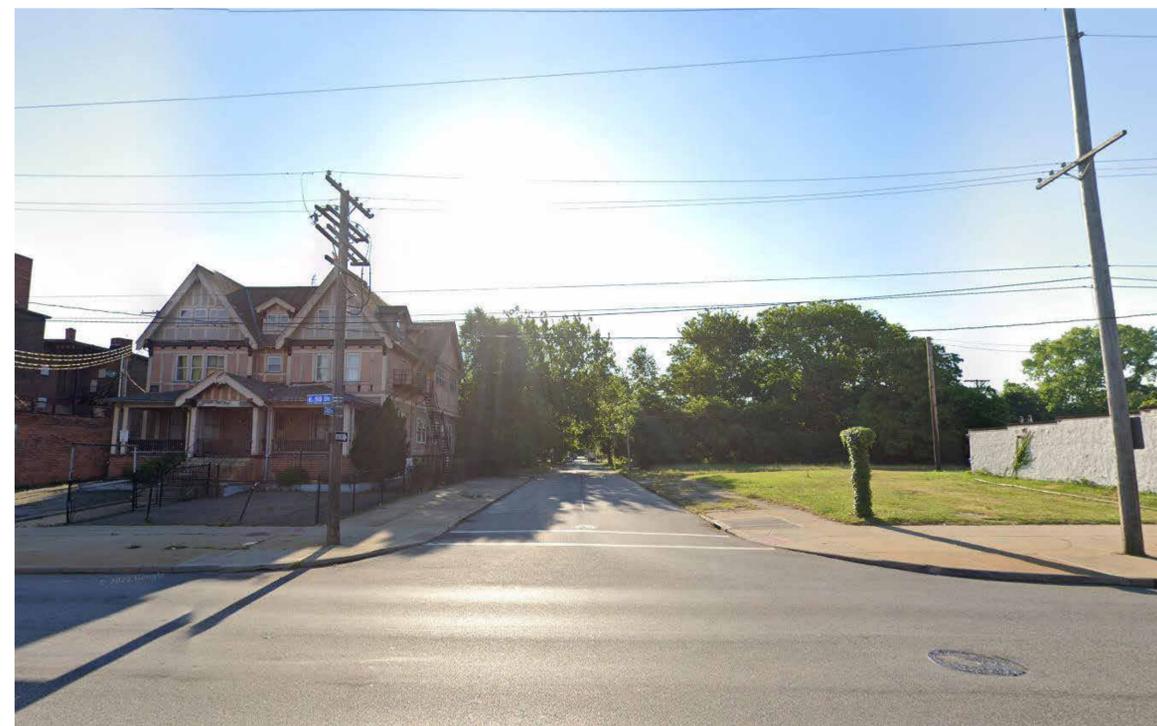


PHOTO 5. DIBBLE LOOKING EAST



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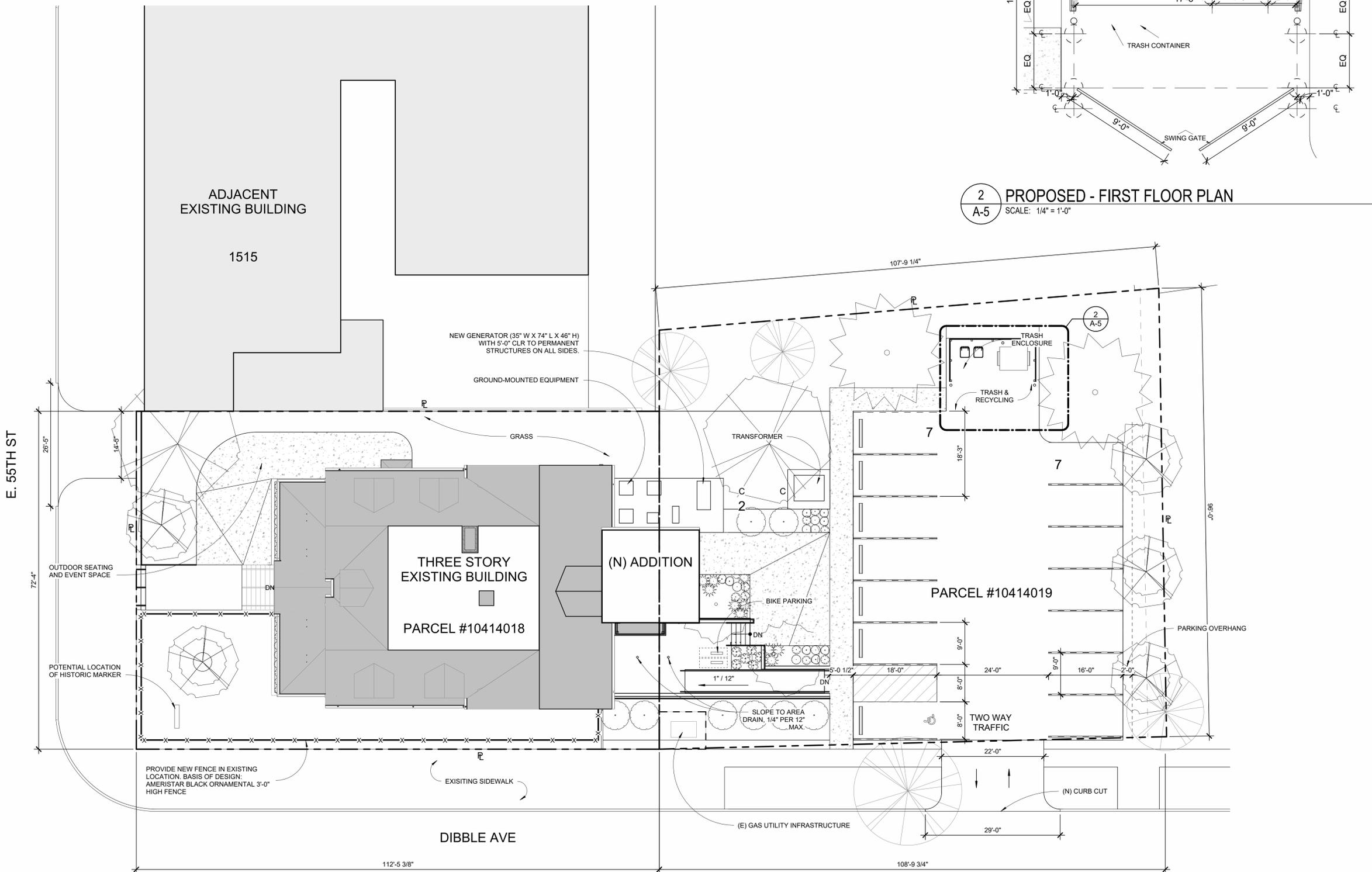
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EXISTING CONTEXT PHOTOS



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**1** PROPOSED ARCHITECTURAL SITE PLAN  
 A-5 SCALE: 3/32" = 1'-0"

**2** PROPOSED - FIRST FLOOR PLAN  
 A-5 SCALE: 1/4" = 1'-0"

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**SITE PLAN**  
**A-5**



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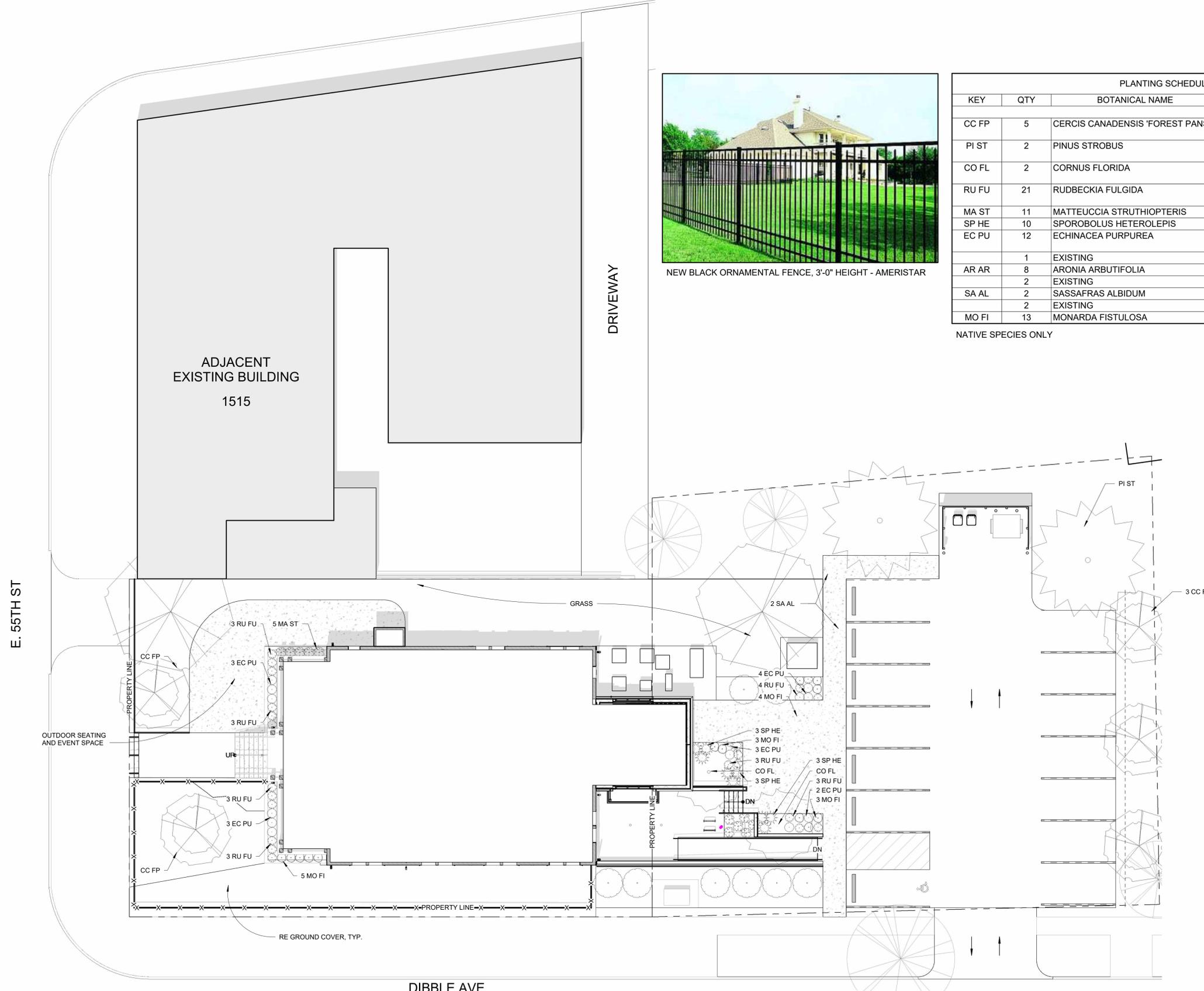
REV	DATE	DESCRIPTION
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	04.08.2025	LANDMARKS DESIGN REVIEW

PLANTING SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CC FP	5	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6-7'
PI ST	2	PINUS STROBUS	EASTERN WHITE PINE	1.5-2"
CO FL	2	CORNUS FLORIDA	FLOWERING DOGWOOD	1.5-2"
RU FU	21	RUDBECKIA FULGIDA	ORANGE CONEFLOWER	
MA ST	11	MATTEUCCIA STRUTHIOPTERIS	OSTRICH FERN	
SP HE	10	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	
EC PU	12	ECHINACEA PURPUREA	PURPLE CONEFLOWER	
	1	EXISTING	EXISTING	
AR AR	8	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	
	2	EXISTING	EXISTING	
SA AL	2	SASSAFRAS ALBIDUM	SASSAFRAS	1.5-2"
	2	EXISTING	EXISTING	
MO FI	13	MONARDA FISTULOSA	WILD BERGAMOT	

NATIVE SPECIES ONLY



NEW BLACK ORNAMENTAL FENCE, 3'-0" HEIGHT - AMERISTAR



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PURPLE CONEFLOWER - ECHINACEA PURPUREA



WILD BERAMOT - MONARDA FISTULOSA



ORANGE CONEFLOWER - RUDBECKIA FULGIDA

PLANTING SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CC FP	5	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6-7'
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SP HE	10	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	
EC PU	12	ECHINACEA PURPUREA	PURPLE CONEFLOWER	
	1	EXISTING	EXISTING	
AR AR	8	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	
	2	EXISTING	EXISTING	
SA AL	2	SASSAFRAS ALBIDUM	SASSAFRAS	1.5-2"
	2	EXISTING	EXISTING	
MO FI	13	MONARDA FISTULOSA	WILD BERGAMOT	

NATIVE SPECIES ONLY



RED CHOKEBERRY - ARONIA ARBUTIFOLIA



OSTRICH FERN - MATTEUCCIA STRUTHIOPTERIS



PRAIRIE DROPSEED - SPOROBOLUS HETEROLEPIS



SASSAFRAS - SASSAFRAS ALBIDUM



EASTERN WHITE PINE - PINUS STROBUS



FLOWERING DOGWOOD - CONRUS FLORIDA



FOREST PANSY REDBUD - CERCIS CANADENSIS



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	08.30.2023	NPS/SHPO REVIEW
	04.08.2025	LANDMARKS DESIGN REVIEW

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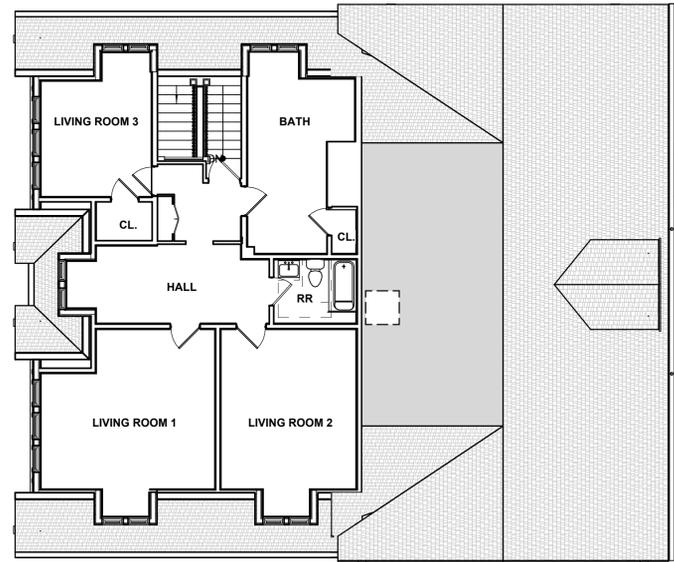
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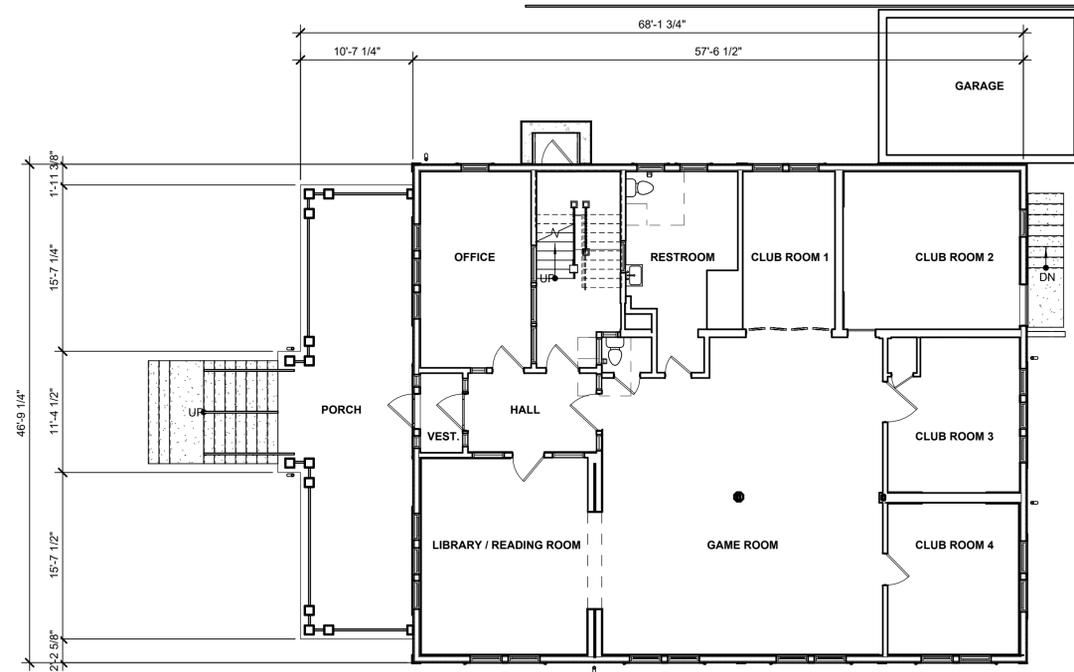
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**SITE PLANTING**

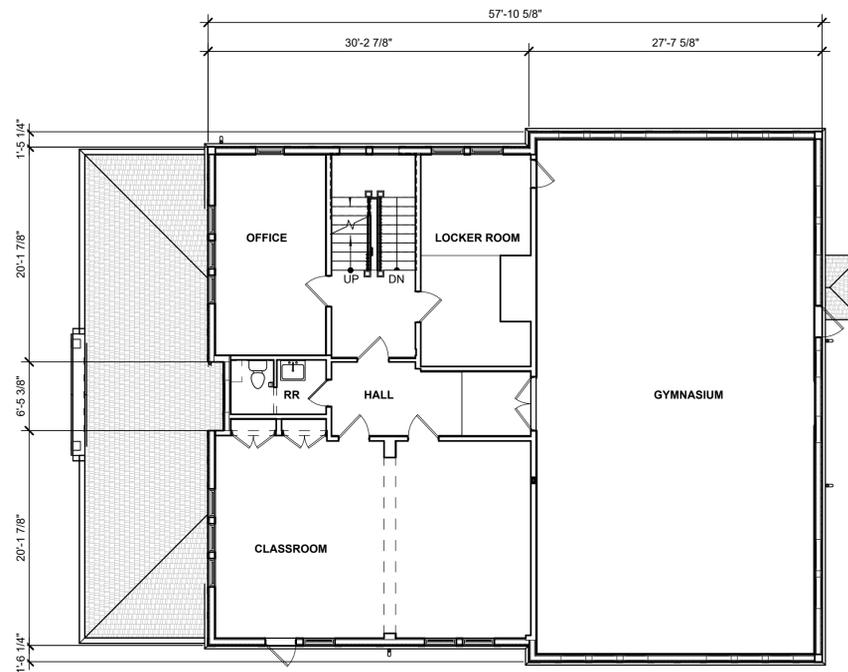
**A-7**



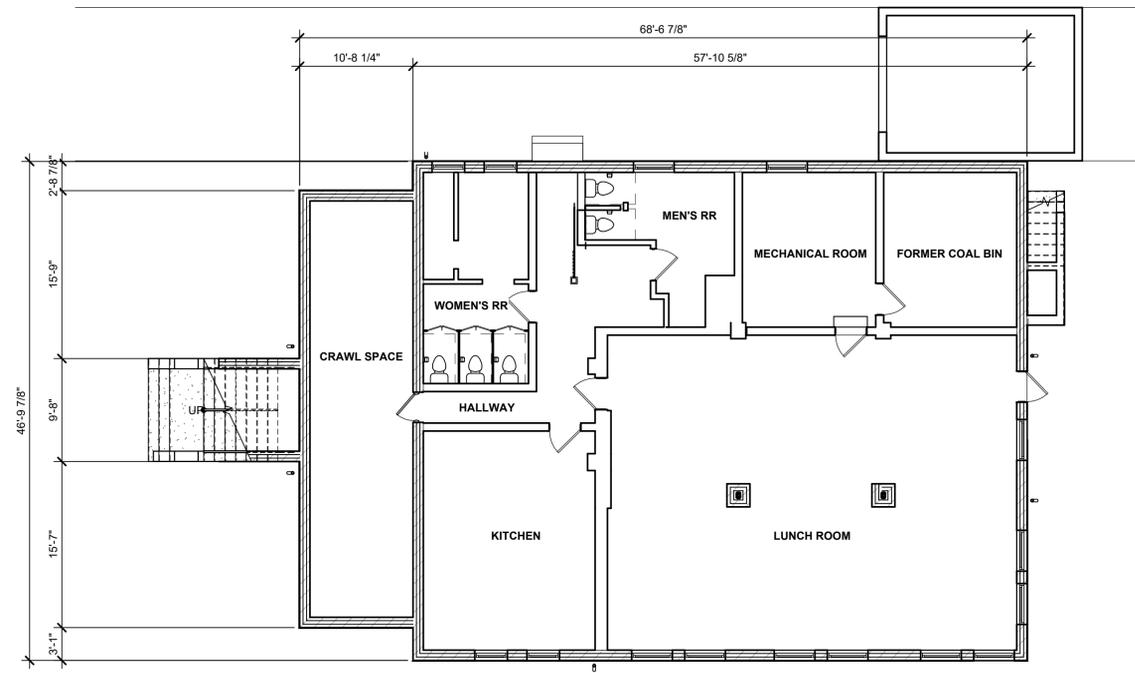
4 EXISTING THIRD FLOOR PLAN  
A-8 SCALE: 1/8" = 1'-0"



2 EXISTING FIRST FLOOR PLAN  
A-8 SCALE: 1/8" = 1'-0"



3 EXISTING SECOND FLOOR PLAN  
A-8 SCALE: 1/8" = 1'-0"



1 EXISTING BASEMENT FLOOR PLAN  
A-8 SCALE: 1/8" = 1'-0"



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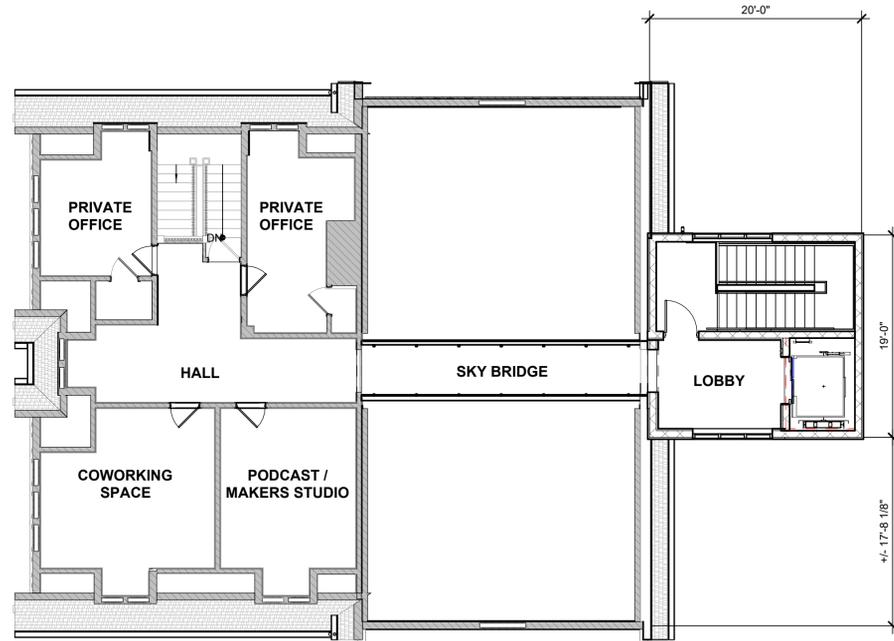
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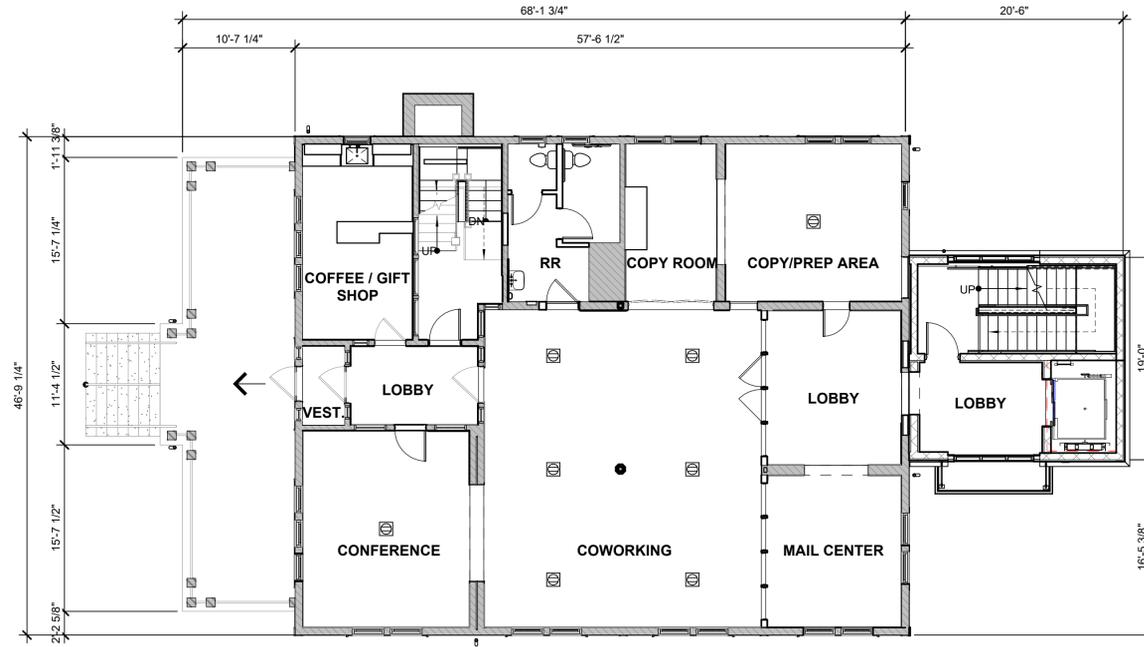
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EXISTING FLOOR PLANS

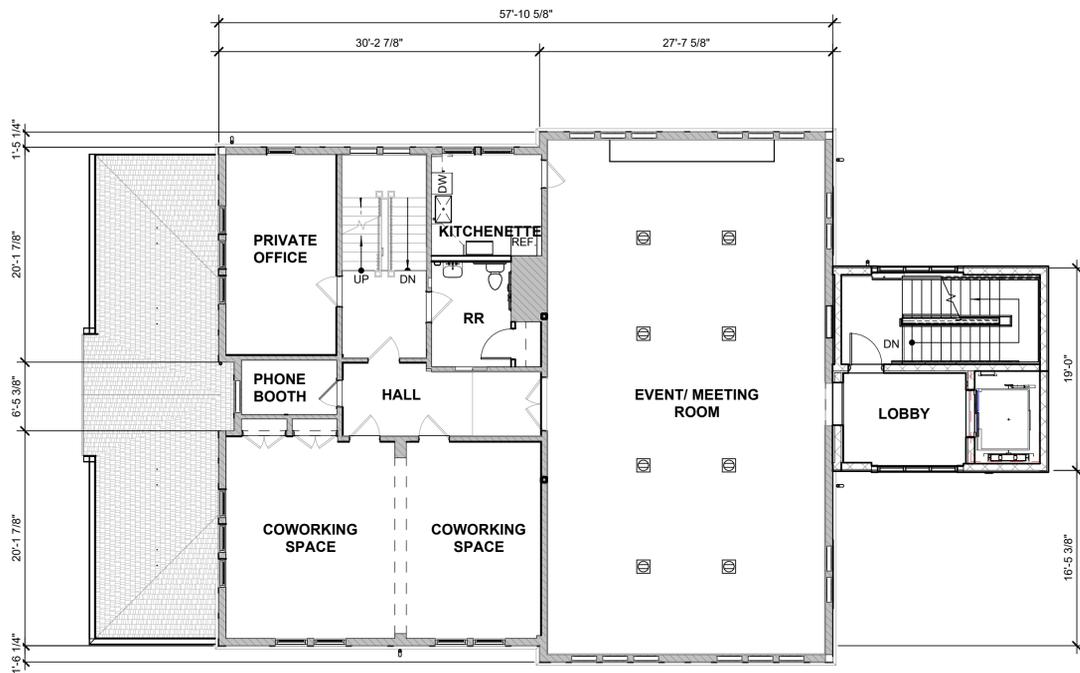
A-8



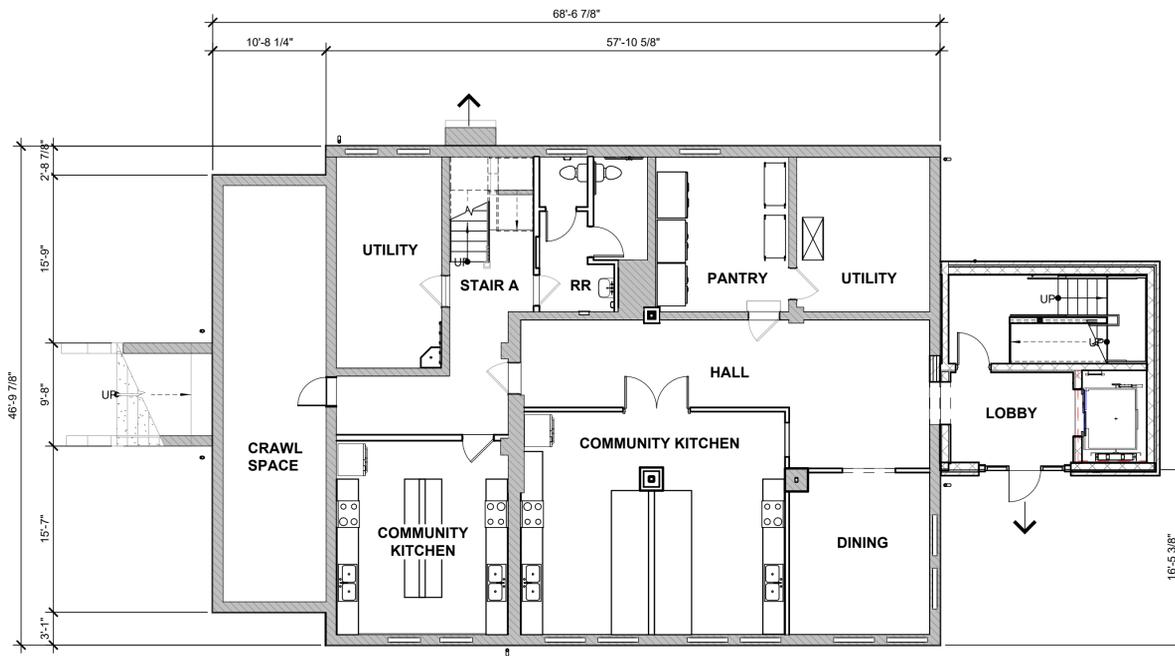
4 PROPOSED THIRD FLOOR PLAN  
A-9 SCALE: 1/8" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN  
A-9 SCALE: 1/8" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN  
A-9 SCALE: 1/8" = 1'-0"



1 PROPOSED BASEMENT FLOOR PLAN  
A-9 SCALE: 1/8" = 1'-0"



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PROPOSED FLOOR PLANS

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4 EXISTING - EAST ELEVATION  
A-10 SCALE: 1/8" = 1'-0"



2 EXISTING - NORTH ELEVATION  
A-10 SCALE: 1/8" = 1'-0"



3 EXISTING - WEST ELEVATION  
A-10 SCALE: 1/8" = 1'-0"



1 EXISTING - SOUTH ELEVATION  
A-10 SCALE: 1/8" = 1'-0"

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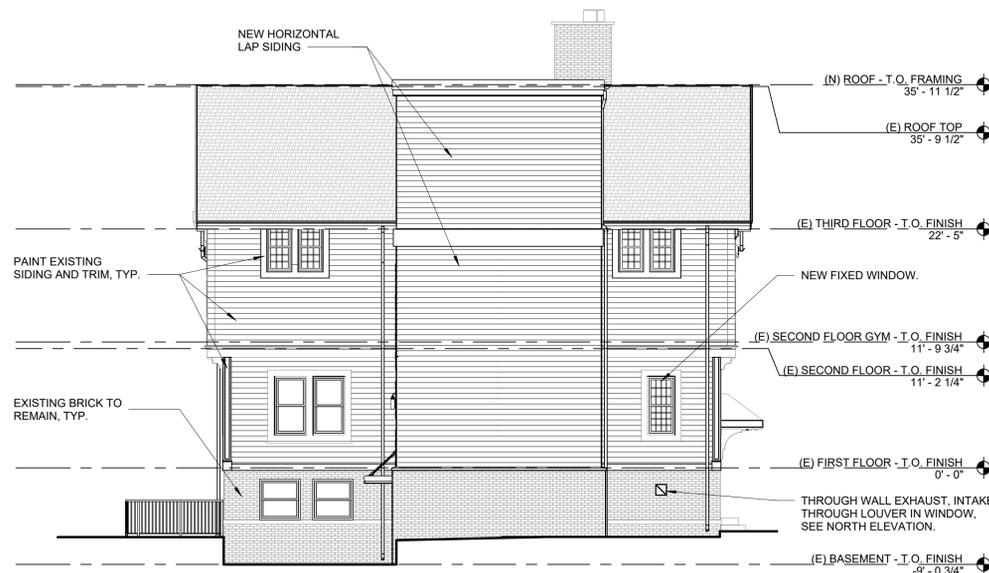
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EXISTING EXTERIOR ELEVATIONS  
**A-10**

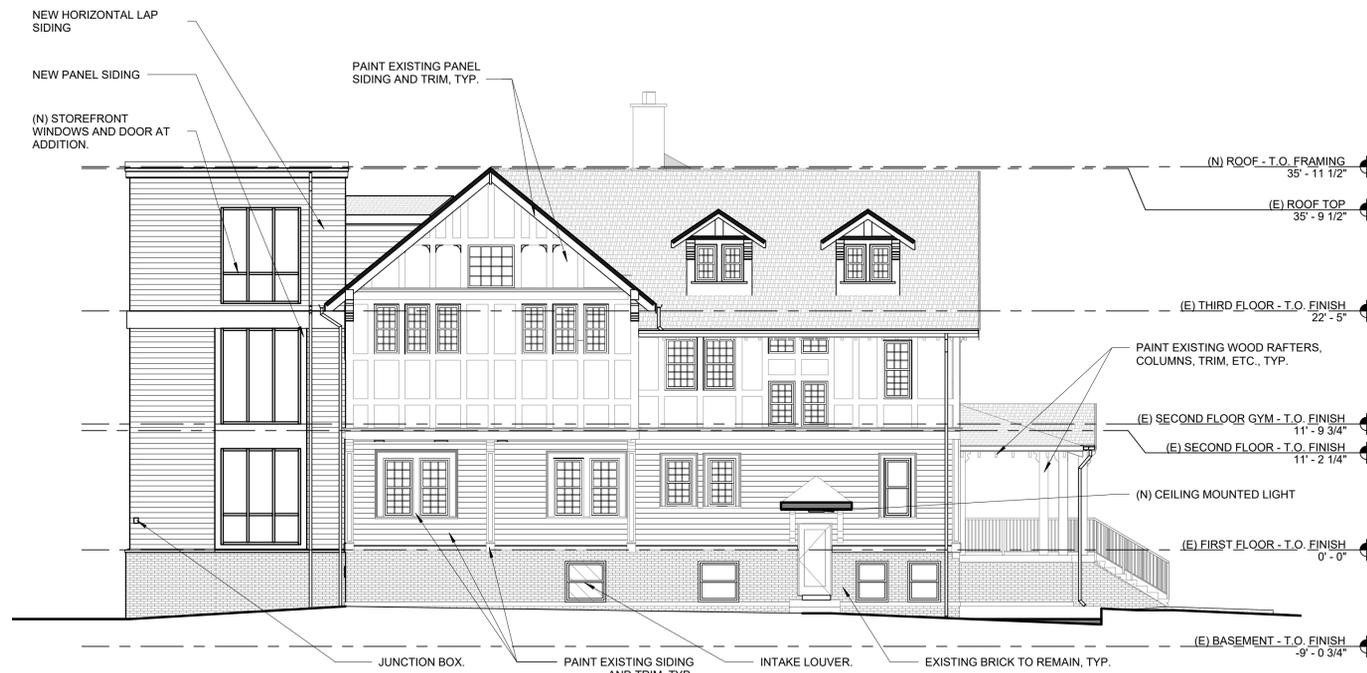


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1 PROPOSED - EAST ELEVATION  
A-11 SCALE: 1/8" = 1'-0"



2 PROPOSED - NORTH ELEVATION  
A-11 SCALE: 1/8" = 1'-0"



4 PROPOSED - WEST ELEVATION  
A-11 SCALE: 1/8" = 1'-0"



3 PROPOSED - SOUTH ELEVATION  
A-11 SCALE: 1/8" = 1'-0"

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PROPOSED EXTERIOR ELEVATIONS  
**A-11**

EXTERIOR MATERIAL SCHEDULE					
TAG	DESCRIPTION	LOCATION	MANUFACTURER	COLOR/FINISH	COMMENTS
<b>BRICK</b>					
BR-1	(E) BRICK VENEER TO REMAIN	EXISTING BUILDING			
<b>GUTTERS &amp; DOWNSPOUTS</b>					
AL-1	PAC-TITE LT GUTTERS/ DOWNSPOUTS	EXISTING BUILDING AND ADDITION, TYP.	PAC-CLAD	MEDIUM BRONZE	HALF ROUND 6" X 6" / 3" ROUND
AL-2	PAC-TITE LT DOWNSPOUTS	EXISTING BUILDING ALONG PORCH ROOF	PAC-CLAD	MEDIUM BRONZE	3" ROUND
<b>PT PAINT</b>					
PT-1	A-100 EXTERIOR ACRYLIC LATEX	2ND & 3RD LEVEL TRIM, PORCH COLUMNS, FASCIA, RAFTER TAILS	SHERWIN WILLIAMS	SW 7550 RESORT TAN	UNO ALL TO BE REPAINTED
PT-2	A-100 EXTERIOR ACRYLIC LATEX	LAP SIDING AT EXISTING BUILDING AND ADDITION	SHERWIN WILLIAMS	SW 0006 TOILE RED	UNO ALL TO BE REPAINTED
PT-3	A-100 EXTERIOR ACRYLIC LATEX	1ST LEVEL TRIM, 2ND & 3RD LEVEL PLASTER, ADDITION PANEL SIDING AND TRIM	SHERWIN WILLIAMS	SW 7011 NATURAL CHOICE	UNO ALL TO BE REPAINTED
<b>RF ROOF</b>					
RF-1	(N) TPO ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS			
RF-2	(N) ASPHALT SHINGLE ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS	CERTAINTeed	LANKMARK PRO, MAX DEF HEATHER BLEND ASPHALT SHINGLE	
RF-3	(N) TPO ROOF	ADDITION			
<b>STONE</b>					
ST-1	(E) STONE VENEER TO REMAIN	EXISTING BUILDING			
<b>STOREFRONT</b>					
STF	PREFINISHED	ADDITION	TUBELITE	T24650 TYP., ARCH TO SELECT COLOR FROM MFG'S FULL RANGE	



PROPOSED EXTERIOR COLOR SCHEME - SOUTH ELEVATION



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**EXTERIOR COLORS LEGEND**

SWATCH	LOCATION
SW 7550 RESORT TAN	MAIN HOUSE TIMBERS, RAFTER TAILS, PORCH COLUMNS, FASCIA
SW 0006 TOILE RED	MAIN HOUSE AND ADDITION LAP SIDING
SW 7011 NATURAL CHOICE	MAIN HOUSE PLASTER AND FIRST FLOOR TRIM, ADDITION PANEL SIDING AND TRIM
PAC-CLAD MEDIUM BRONZE	MAIN HOUSE AND ADDITION GUTTERS AND DOWNSPOUTS

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**EXTERIOR COLOR SCHEME - SOUTH**  
**A-12**

EXTERIOR MATERIAL SCHEDULE					
TAG	DESCRIPTION	LOCATION	MANUFACTURER	COLOR/FINISH	COMMENTS
<b>BRICK</b>					
BR-1	(E) BRICK VENEER TO REMAIN	EXISTING BUILDING			
<b>GUTTERS &amp; DOWNSPOUTS</b>					
AL-1	PAC-TITE LT GUTTERS/ DOWNSPOUTS	EXISTING BUILDING AND ADDITION, TYP.	PAC-CLAD	MEDIUM BRONZE	HALF ROUND 6" X 6" / 3" ROUND
AL-2	PAC-TITE LT DOWNSPOUTS	EXISTING BUILDING ALONG PORCH ROOF	PAC-CLAD	MEDIUM BRONZE	3" ROUND
<b>PT PAINT</b>					
PT-1	A-100 EXTERIOR ACRYLIC LATEX	2ND & 3RD LEVEL TRIM, PORCH COLUMNS, FASCIA, RAFTER TAILS	SHERWIN WILLIAMS	SW 7550 RESORT TAN	UNO ALL TO BE REPAINTED
PT-2	A-100 EXTERIOR ACRYLIC LATEX	LAP SIDING AT EXISTING BUILDING AND ADDITION	SHERWIN WILLIAMS	SW 0006 TOILE RED	UNO ALL TO BE REPAINTED
PT-3	A-100 EXTERIOR ACRYLIC LATEX	1ST LEVEL TRIM, 2ND & 3RD LEVEL PLASTER, ADDITION PANEL SIDING AND TRIM	SHERWIN WILLIAMS	SW 7011 NATURAL CHOICE	UNO ALL TO BE REPAINTED
<b>RF ROOF</b>					
RF-1	(N) TPO ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS			
RF-2	(N) ASPHALT SHINGLE ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS	CERTAINTEED	LANKMARK PRO, MAX DEF HEATHER BLEND ASPHALT SHINGLE	
RF-3	(N) TPO ROOF	ADDITION			
<b>STONE</b>					
ST-1	(E) STONE VENEER TO REMAIN	EXISTING BUILDING			
<b>STOREFRONT</b>					
STF	PREFINISHED	ADDITION	TUBELITE	T24650 TYP., ARCH TO SELECT COLOR FROM MFG'S FULL RANGE	

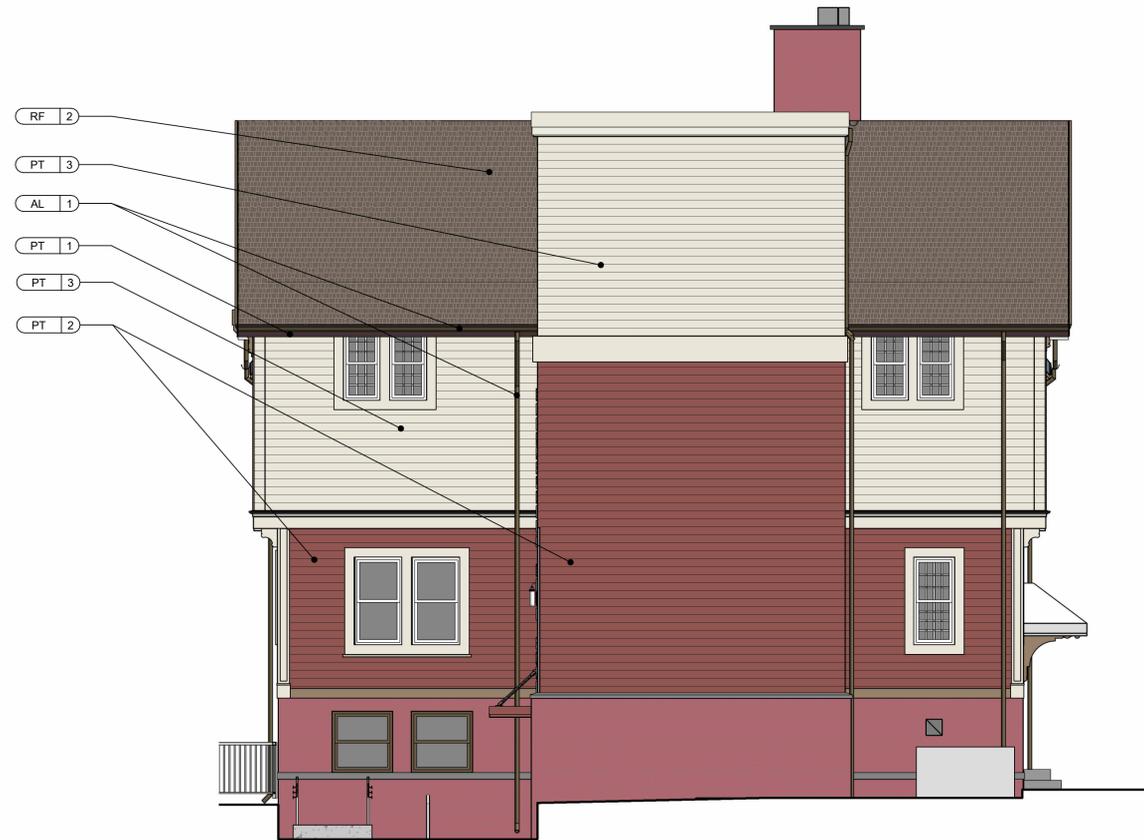


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**EXTERIOR COLORS LEGEND**

SWATCH	LOCATION
SW 7550 RESORT TAN	MAIN HOUSE TIMBERS, RAFTER TAILS, PORCH COLUMNS, FASCIA
SW 0006 TOILE RED	MAIN HOUSE AND ADDITION LAP SIDING
SW 7011 NATURAL CHOICE	MAIN HOUSE PLASTER AND FIRST FLOOR TRIM, ADDITION PANEL SIDING AND TRIM
PAC-CLAD MEDIUM BRONZE	MAIN HOUSE AND ADDITION GUTTERS AND DOWNSPOUTS



PROPOSED EXTERIOR COLOR SCHEME - EAST ELEVATION



PROPOSED EXTERIOR COLOR SCHEME - WEST ELEVATION

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**EXTERIOR COLOR SCHEME - EAST & WEST**  
**A-13**

EXTERIOR MATERIAL SCHEDULE					
TAG	DESCRIPTION	LOCATION	MANUFACTURER	COLOR/FINISH	COMMENTS
<b>BRICK</b>					
BR-1	(E) BRICK VENEER TO REMAIN	EXISTING BUILDING			
<b>GUTTERS &amp; DOWNSPOUTS</b>					
AL-1	PAC-TITE LT GUTTERS/ DOWNSPOUTS	EXISTING BUILDING AND ADDITION, TYP.	PAC-CLAD	MEDIUM BRONZE	HALF ROUND 6" X 6" / 3" ROUND
AL-2	PAC-TITE LT DOWNSPOUTS	EXISTING BUILDING ALONG PORCH ROOF	PAC-CLAD	MEDIUM BRONZE	3" ROUND
<b>PT PAINT</b>					
PT-1	A-100 EXTERIOR ACRYLIC LATEX	2ND & 3RD LEVEL TRIM, PORCH COLUMNS, FASCIA, RAFTER TAILS	SHERWIN WILLIAMS	SW 7550 RESORT TAN	UNO ALL TO BE REPAINTED
PT-2	A-100 EXTERIOR ACRYLIC LATEX	LAP SIDING AT EXISTING BUILDING AND ADDITION	SHERWIN WILLIAMS	SW 0006 TOILE RED	UNO ALL TO BE REPAINTED
PT-3	A-100 EXTERIOR ACRYLIC LATEX	1ST LEVEL TRIM, 2ND & 3RD LEVEL PLASTER, ADDITION PANEL SIDING AND TRIM	SHERWIN WILLIAMS	SW 7011 NATURAL CHOICE	UNO ALL TO BE REPAINTED
<b>RF ROOF</b>					
RF-1	(N) TPO ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS			
RF-2	(N) ASPHALT SHINGLE ROOF	EXISTING BUILDING, REFER TO SPECIFICATIONS	CERTAINTeed	LANKMARK PRO, MAX DEF HEATHER BLEND ASPHALT SHINGLE	
RF-3	(N) TPO ROOF	ADDITION			
<b>STONE</b>					
ST-1	(E) STONE VENEER TO REMAIN	EXISTING BUILDING			
<b>STOREFRONT</b>					
STF	PREFINISHED	ADDITION	TUBELITE	T24650 TYP., ARCH TO SELECT COLOR FROM MFG'S FULL RANGE	



PROPOSED EXTERIOR COLOR SCHEME - NORTH ELEVATION



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EXTERIOR COLORS LEGEND	
SWATCH	LOCATION
SW 7550 RESORT TAN	MAIN HOUSE TIMBERS, RAFTER TAILS, PORCH COLUMNS, FASCIA
SW 0006 TOILE RED	MAIN HOUSE AND ADDITION LAP SIDING
SW 7011 NATURAL CHOICE	MAIN HOUSE PLASTER AND FIRST FLOOR TRIM, ADDITION PANEL SIDING AND TRIM
PAC-CLAD MEDIUM BRONZE	MAIN HOUSE AND ADDITION GUTTERS AND DOWNSPOUTS

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**EXTERIOR COLOR SCHEME - NORTH**  
**A-14**



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**WEST ELEVATION PERSPECTIVE**

**RENDERING**  
**A-15**



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RENDERING

**A-16**

**SOUTHWEST CORNER PERSPECTIVE**



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**RENDERING**  
**A-17**

**SOUTH ELEVATION PERSPECTIVE**



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**SOUTHEAST CORNER PERSPECTIVE - LANDMARKS ALTERNATIVE 2**



**SOUTHEAST CORNER PERSPECTIVE - LANDMARKS ALTERNATIVE 1**



**SOUTHEAST CORNER PERSPECTIVE - ORIGINAL DESIGN**

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 LDA Project No.22.34

RENDERING

**A-18**



The Offices at the Agora  
 5000 Euclid Avenue, Suite 104  
 Cleveland, OH 44103  
 LDAarchitecture.com  
 216.932.1890

REV	DATE	DESCRIPTION



**BUILDING IS SUBJECT TO NATIONAL PARK SERVICE REQUIREMENTS. REFER TO HISTORIC NOTES - SHEET H1.01**

**NOT FOR CONSTRUCTION**

**DO NOT SCALE DRAWINGS**

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**THE HISTORIC ELEANOR B. RAINEY MEMORIAL INSTITUTE**  
 Claquepoint Data Foundation  
 1523 East 55th Street, Cleveland, OH 44103  
 LDA Project No.22.34

**RENDERING  
 A-19**

**SOUTHEAST CORNER PERSPECTIVE - PROPOSED DESIGN**

# Case 25-028

Certificate of Appropriateness

Warehouse Historic District

Schematic Review  
completed April 25<sup>th</sup>, 2025

Juliet + Uva  
1313 West 6<sup>th</sup> Street

**Patio Enclosure**

Project Representatives: Bob Bajko, HSB Architects

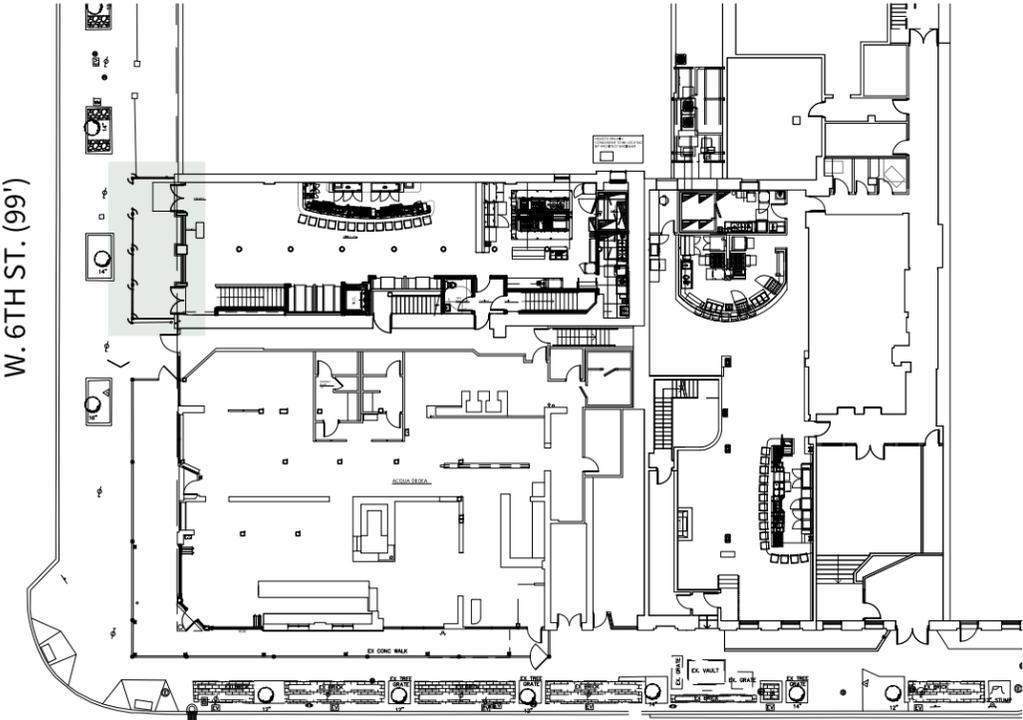
Ward 3: Councilmember McCormack



# JULIET/UVA FRENCH RESTAURANT + WINE BAR

Lola Macaj is planning her 3rd restaurant in the warehouse district. Building on the success of Acqua di Dea in 2021 and Oliva in 2024, she is proud to announce her new, dual concept.

JULIET - A fine dining, french experience  
and  
UVA - a sophisticated wine bar



W. ST. CLAIR AVE.

PROJECT LOCATION



EXISTING STOREFRONT



EXISTING PATIO

OUTDOOR SEATING CANOPY

1313 W 6TH ST.,  
CLEVELAND, OH



Corner of W. 6th & St. Clair



Acqua di Dea and Juliet Storefronts



Outdoor Dining Areas



Existing Storefront



Existing Facade



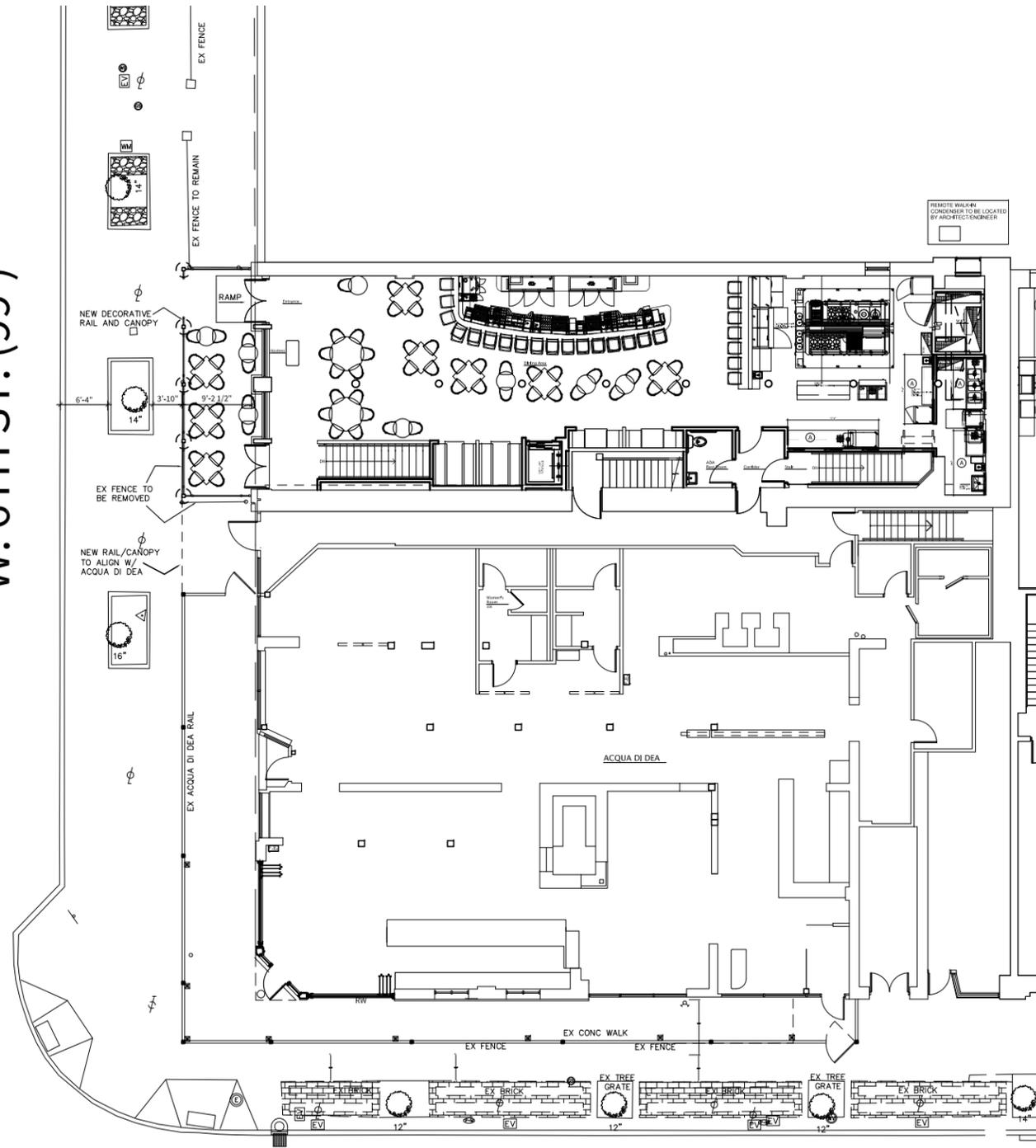
View of Header

OUTDOOR SEATING CANOPY

1313 W 6TH ST.,  
CLEVELAND, OH

EXISTING PHOTOS

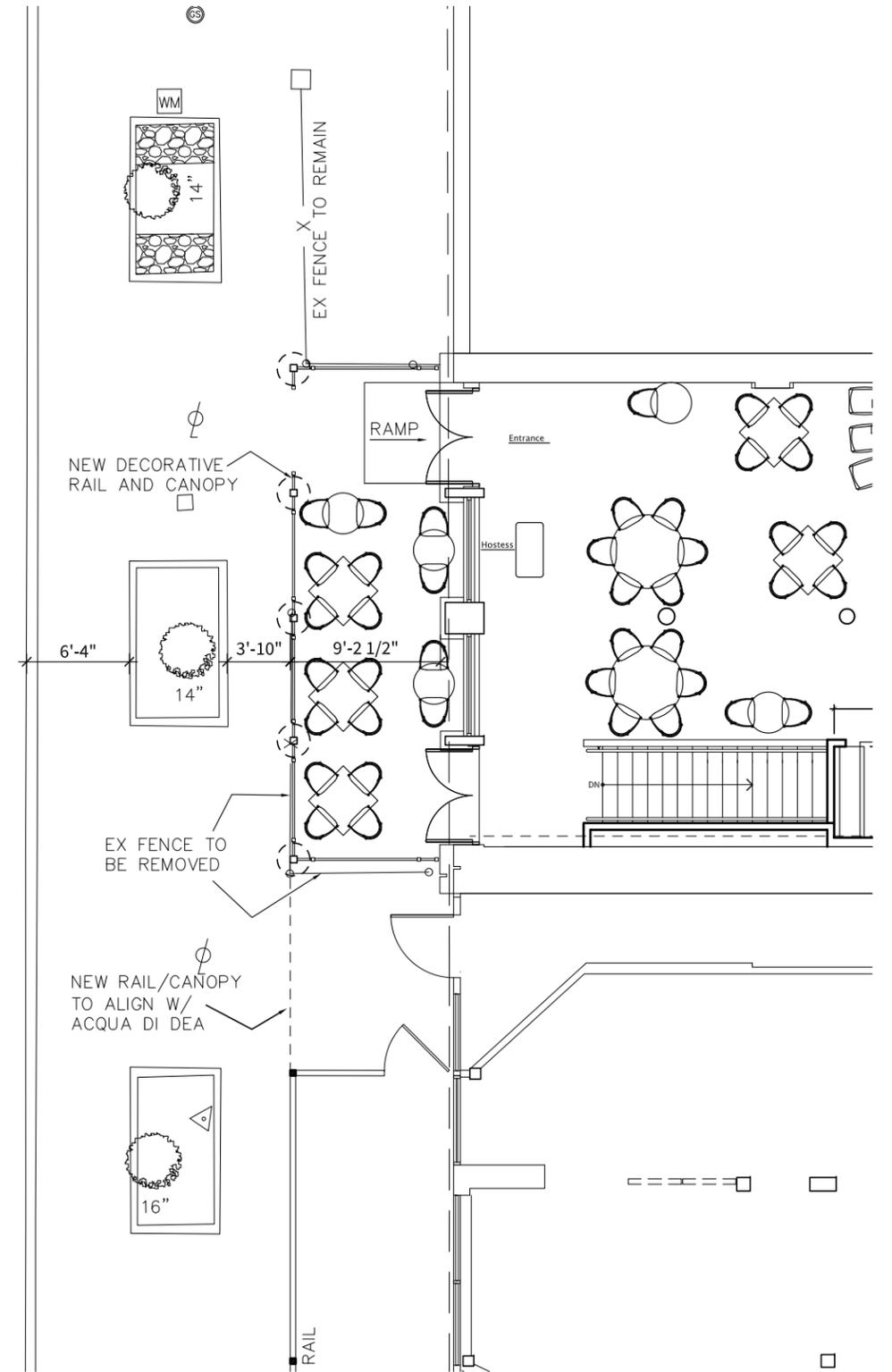
W. 6TH ST. (99')



W. ST. CLAIR AVE.

OVERALL PLAN  
1" = 20'

W. 6TH ST. (99')

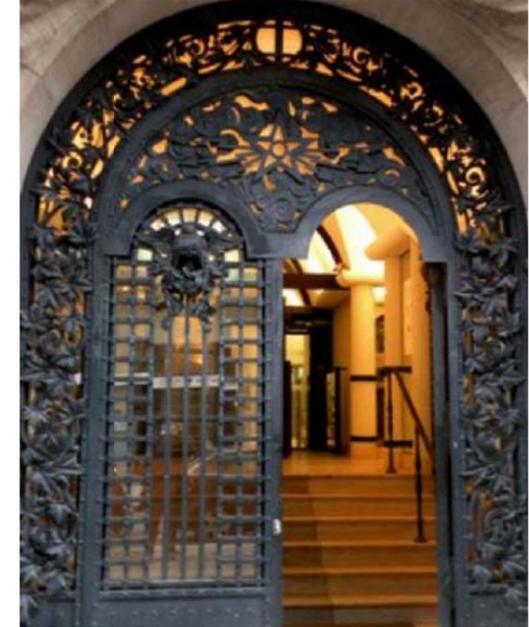
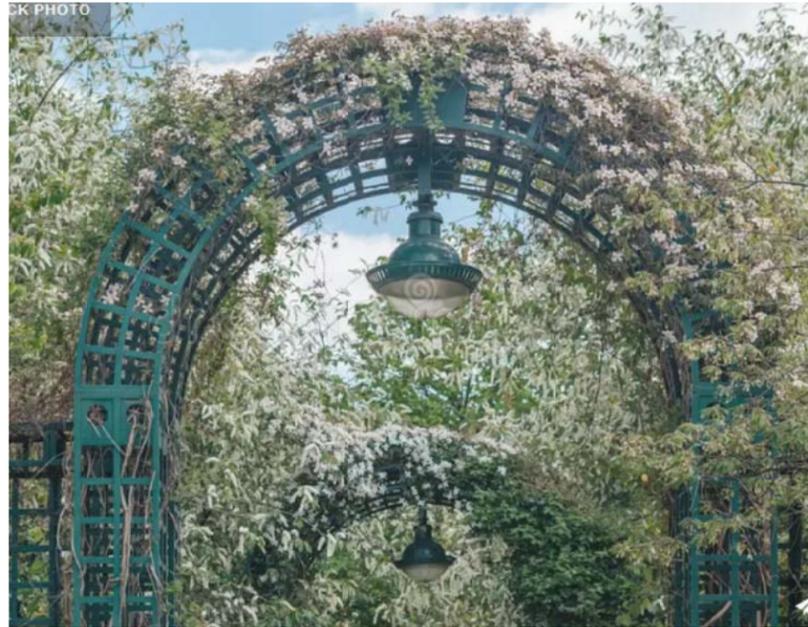


ENLARGED PLAN  
1" = 10'

JULIET/UVA

1313 W 6TH ST.,  
CLEVELAND, OH

DESIGN PLAN



OUTDOOR SEATING CANOPY

1313 W 6TH ST.,  
CLEVELAND, OH

INSPIRATION



JULIET/UVA

1313 W 6TH ST.,  
CLEVELAND, OH

DESIGN RENDERING

SCALE: NTS

05/21/25

HSB





JULIET/UVA

1313 W 6TH ST.,  
CLEVELAND, OH

DESIGN RENDERING

SCALE: NTS



JULIET/UVA

1313 W 6TH ST.,  
CLEVELAND, OH

DESIGN RENDERING

SCALE: NTS

# Case 25-037

Certificate of Appropriateness

Dunham Tavern

## Dunham Tavern Visitor Center 6709 Euclid Avenue

**New Construction**

Project Representatives: Tom Zarfoss, Behnke Landscape Architecture

Ward 7: Councilmember Howse-Jones

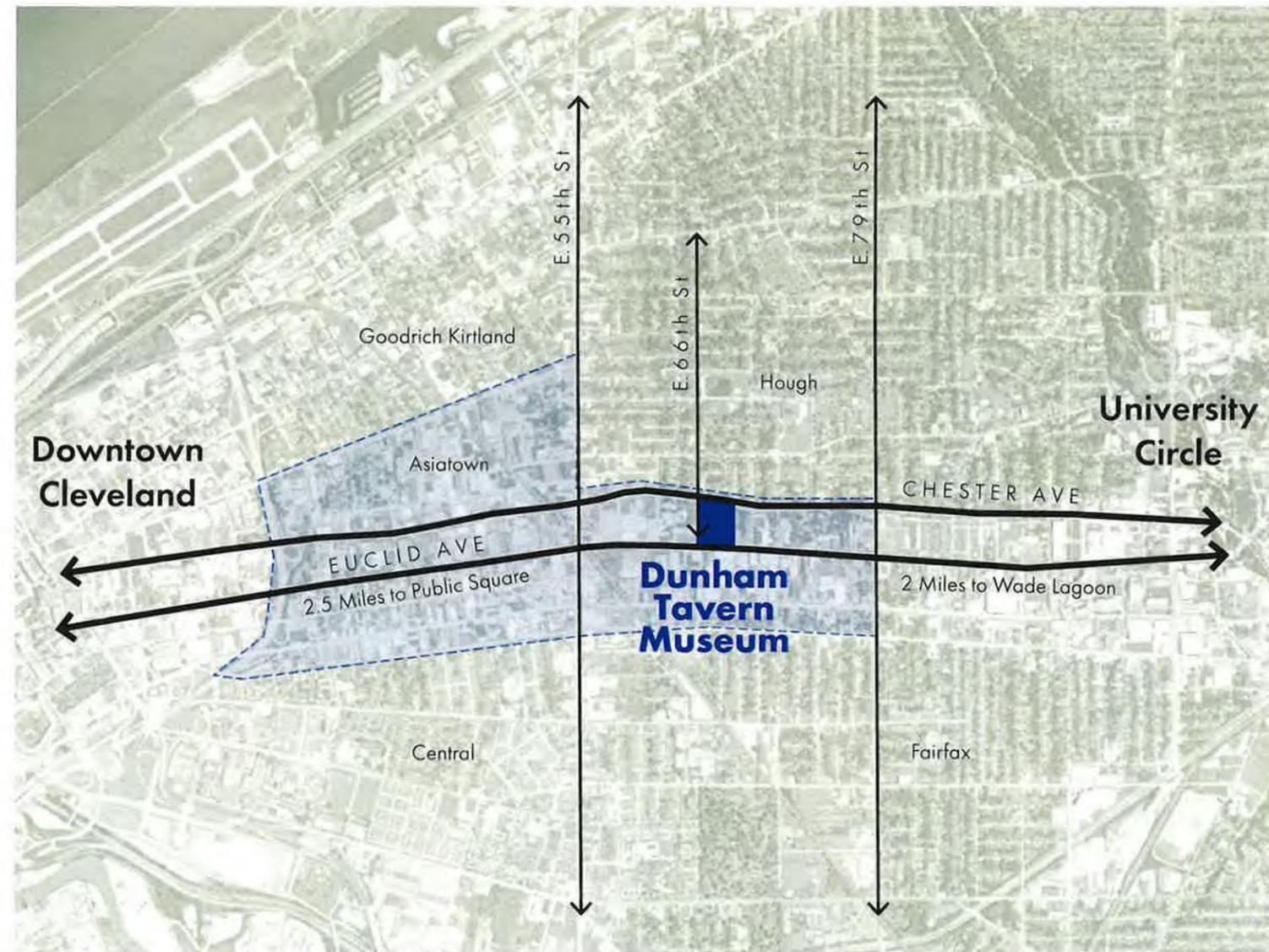
Dunham Tavern master  
plan  
Case 21-087



## Cleveland Context

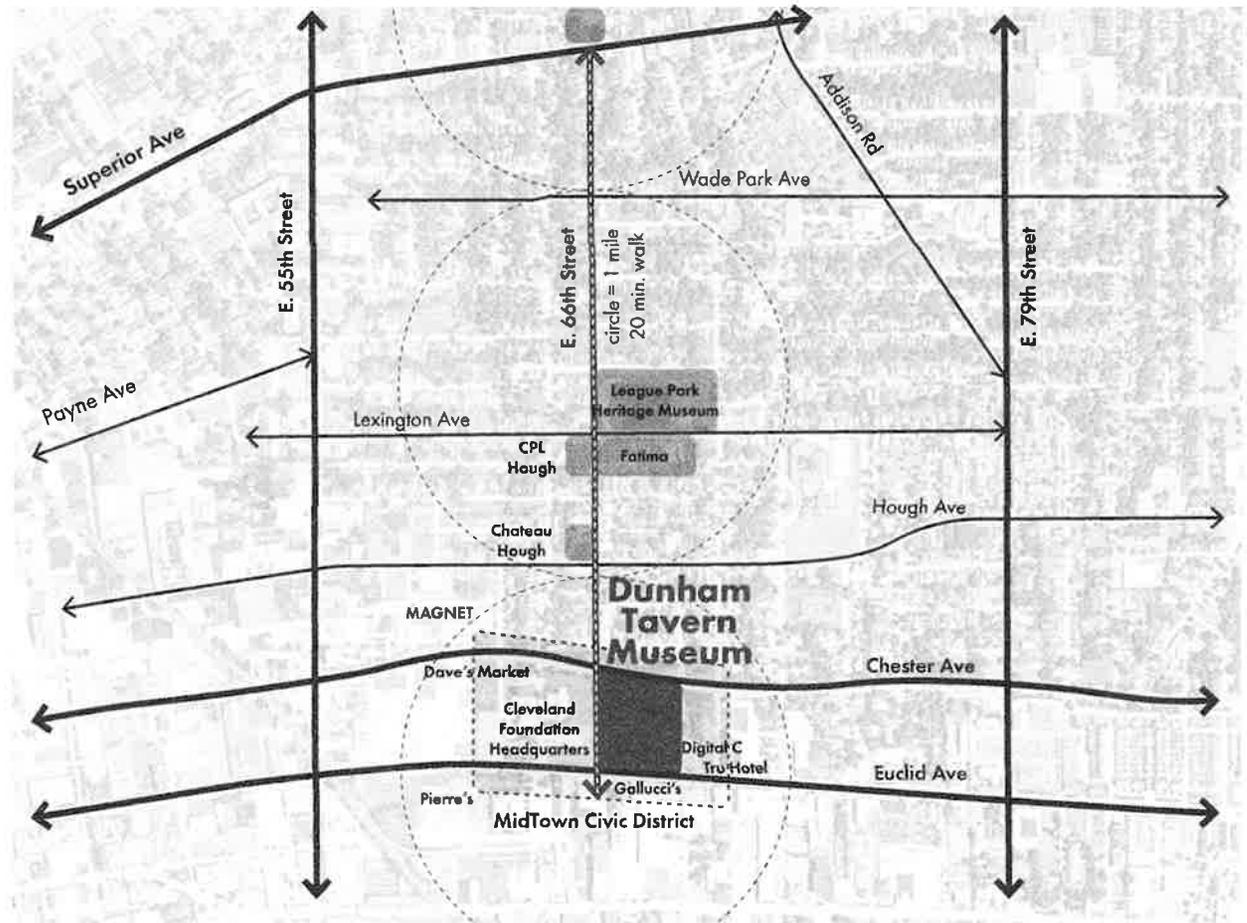
This Master Plan acknowledges the significance of this work in context to important east side neighborhoods and assets in addition to connections to downtown Cleveland and University Circle approximately two miles in each direction.

The Dunham Tavern Museum has the potential to serve as an important node east and west along Chester and Euclid Avenues in addition to serving as an anchor along E. 66th Street.

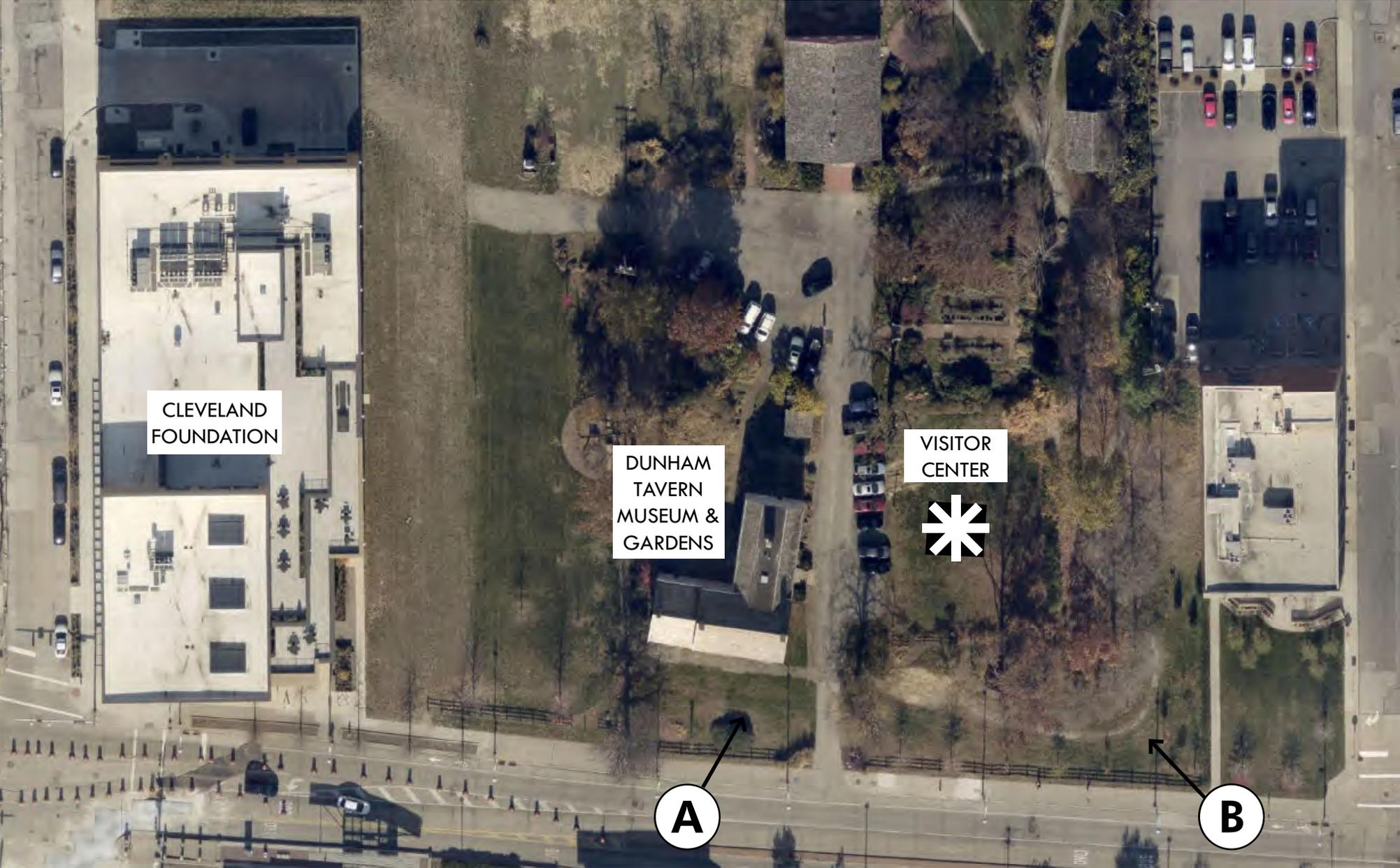


## MidTown Context

In MidTown, the recently completed Neighborhood Vision Plan creates a five year framework for equitable and inclusive growth that values connectivity and open space as key elements creating better quality of life for the MidTown community. The Dunham Tavern Museum is located at the southern end of E. 66th Street, a one mile north-south corridor connecting the Hough neighborhood north of the Museum to its campus. A recent planning study envisions E. 66th Street rebuilt with a focus on green infrastructure, smart technology, accessibility, and pedestrian and cyclist connectivity for safety, comfort, and delight. This “Black Avenue” will connect neighborhood residents to existing and historic assets including League Park, the Baseball Heritage Museum, Chateau Hough, Dave’s Market, and Gallucci’s among others, and new development including the Cleveland Public Library Hough Branch, the Allen Estates, MAGNET, and the Cleveland Foundation Headquarters.



# PHOTO LOCATION MAP



# PHOTOS

A

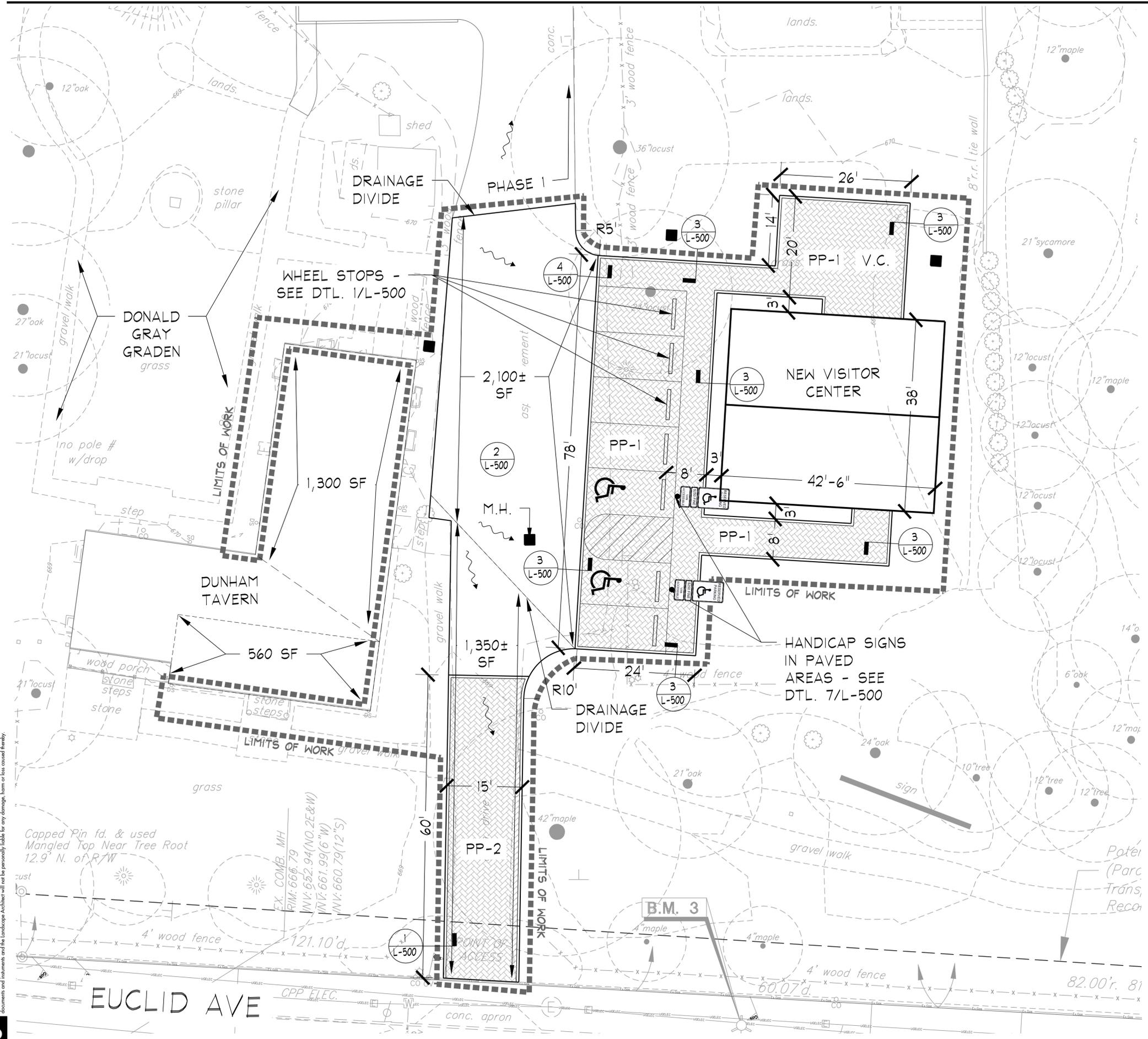


B



These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge and written consent of the Landscape Architect. Any change made without the Landscape Architect's written approval will void all such documents and instruments and the Landscape Architect will not be held responsible for any damage, loss or cost caused thereby.

**b**



**LEGEND:**

- PAVEMENT EDGE
- CURVE PC (POINT OF CURVATURE,) AND PT (POINT OF TANGENCY)
- SCM PERMEABLE PAVERS - SEE DTL. 3/L-500
- LIMITS OF WORK

**GENERAL NOTES:**

1. THIS SHEET IS FOR SITE LAYOUT & DETAIL REFERENCE ONLY.
2. ALL DIMENSIONS/COORDINATES ARE TO FACE OF CURBS AND WALLS, UNLESS NOTED OTHERWISE ON DRAWING.
3. PROVIDE CONTROL JOINTS ON CURBS EVERY 10', MAX., AND AT P.C.'S AND P.T.'S.
4. SITE UTILITIES AND PROPERTY LINE ARE SHOWN FOR REFERENCE ONLY.
5. THIS DRAWING WILL BE AVAILABLE TO CONTRACTOR IN CAD FORMAT, FOR LAYOUT PURPOSES.
6. PROVIDE 4" OF TOPSOIL AND SEED ALL DISTURBED AREAS. UNLESS SEED HAS FULLY GERMINATED PRIOR TO BUILDING THE PAVER FIELDS, MULCHING SEED WITH STRAW BLANKETS.

SCM	DRAINAGE AREA
PP-1 : 2,622 S.F.	7,396 S.F.
PP-2 : 837 S.F.	1,900 S.F.

Seal:

**Dunham Tavern Museum & Gardens**  
 Visitor Center  
 Green Infrastructure Improvements

6709 Euclid Avenue  
 Cleveland, Ohio 44103

Issued / Revised

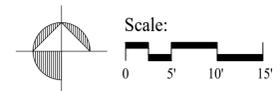
NO.	DATE	DESCRIPTION
	5/08/25	FOR PERMIT

Drawn by: \_\_\_\_\_ Checked by: \_\_\_\_\_

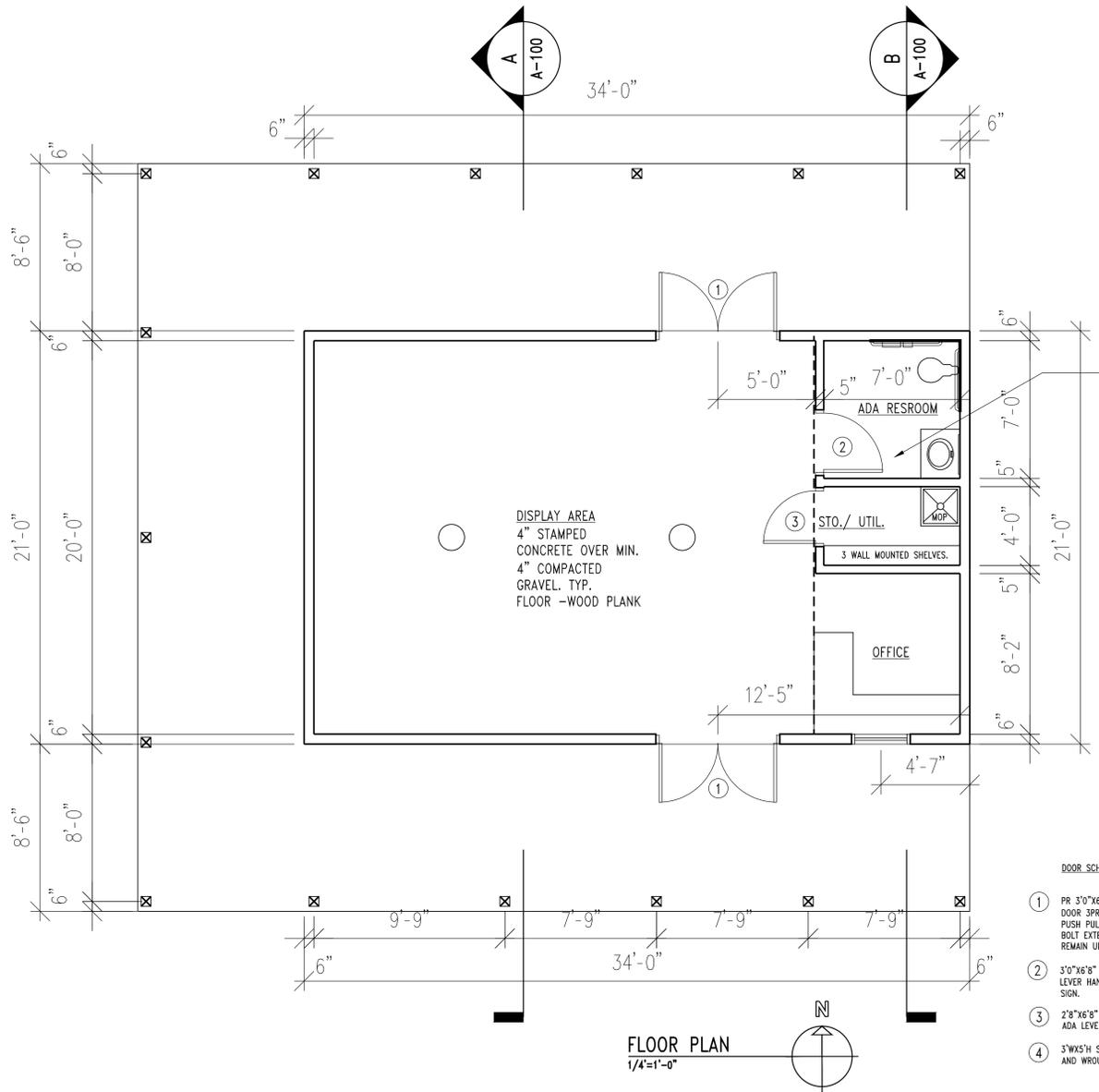


Layout Plan

1-800-362-2764  
 CALL TWO WORKING DAYS BEFORE YOU DIG  
 (NON MEMBERS MUST BE CALLED DIRECTLY)



**L-200**



PROVIDE 2X8 JOISTS AT 16" O.C. HARD CAP OVER RESTROOM, STORAGE AND OFFICE. PROVIDE 1/2" PLYWOOD DECK. WALL OFF FROM DISPLAY W/ 2X4 STUDS & 5/8" CWB. PROVIDE 3'W X 5'H ACCESS HATCH WITH SLIDING BARN DOOR. (4) PROVIDE 1 ARC FAULT OUTLET AND SWITCHED LED CEILING MOUNTED LIGHT FIXTURE.

**DOOR SCHEDULE**

- ① PR 3'0"x6'8" 4 TEMPERED GLASS PANEL ALUM. STOREFRONT DOOR 3PR BUTT HINGES W/ NON-REMOVABLE PINS, WITH ADA PUSH PULL CLOSER, THRESHOLD, WEATHER STRIP, KEYS DEAD BOLT EXTERIOR, THUMB TURN INTERIOR. SIGN STATING DOOR TO REMAIN UNLOCKED DURING OCCUPIED HOURS.
- ② 3'0"x6'8" 4 PANEL WOOD DOOR 1 1/2 PR BUTT HINGES WITH ADA LEVER HANDLE AND PRIVACY LOCK WITH OCCUPIED / UNOCCUPIED SIGN.
- ③ 2'8"x6'8" 4 PANEL WOOD DOOR 1 1/2 PR BUTT HINGES WITH ADA LEVER HANDLE AND STORE ROOM FUNCTION.
- ④ 3'Wx5'H SLIDING "BARN" DOOR ACCESS HATCH WITH TRACK AND WROUGHT IRON HANDLE. SEE MPE-100

**FLOOR PLAN**  
1/4"=1'-0"

**GENERAL NOTES:**

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDING/S APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.

USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENTS BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTOR'S RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATORS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

**DEMOLITION:**  
PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE NEW LAYOUT. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTING AND/OR NEW ADJACENT WALLS, FLOORS AND CEILINGS IN A MANNER TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.

**STRUCTURAL NOTES: (GENERAL)**

- THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND TIE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER THE PROJECT IS COMPLETED.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

**DESIGN CRITERIA:**

- 1. DEAD LOAD FLOOR - 10 PSF LIVE LOAD FLOOR - 100 PSF
- DEAD LOAD ROOF - 20 PSF LIVE LOAD ROOF - 25 PSF
- 2. WIND LOAD 115 MPH EXPOSURE B
- 3. GROUND SNOW LOAD - 50 PSF
- 4. SEISMIC - SITE CLASSIFICATION (C) USE GROUP (1) DESIGN (A) (WIND LOAD GOVERNS)

**CONCRETE**

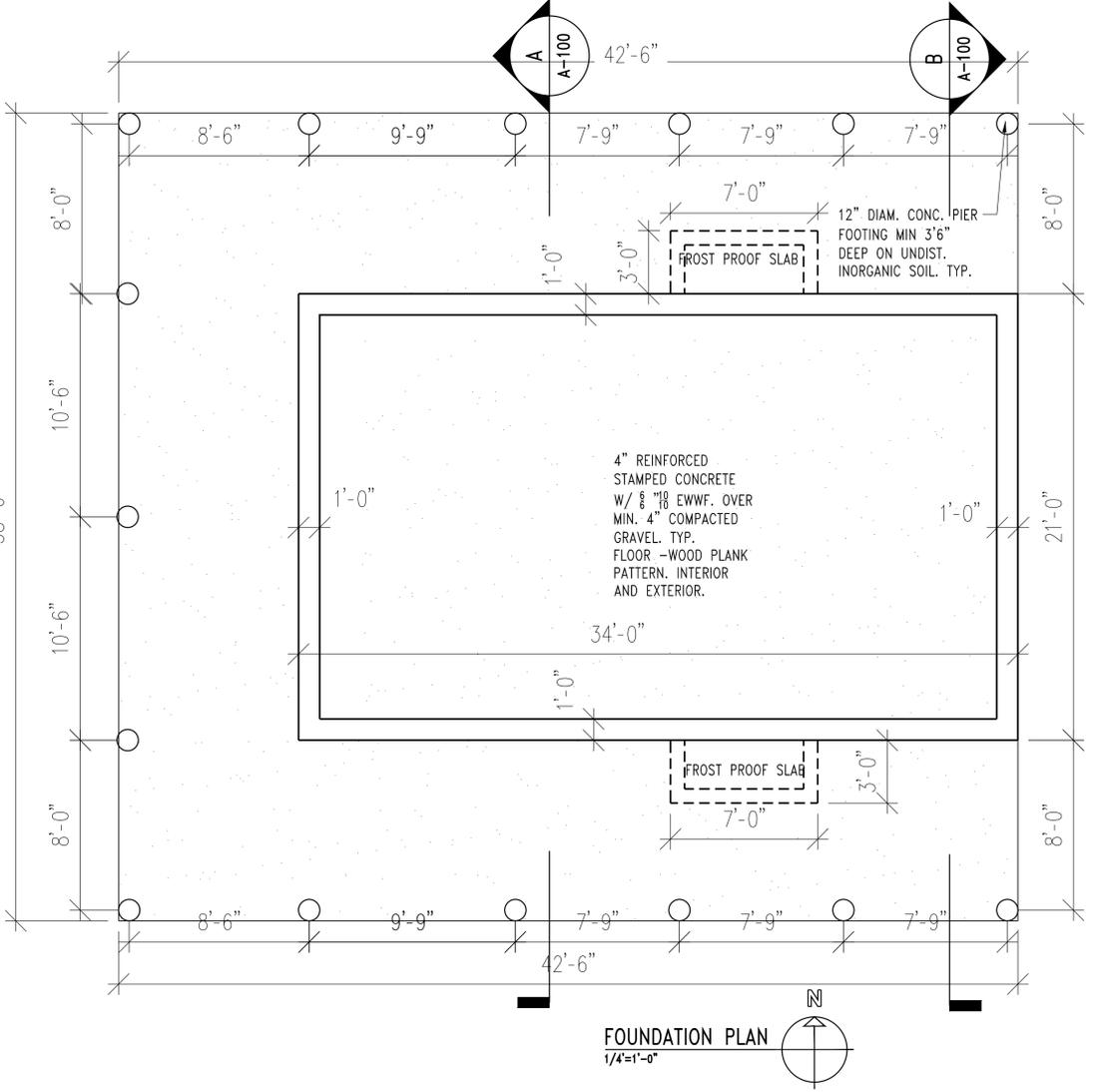
- CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
- CAST IN PLACE CONCRETE FOOTINGS TO BE SET ON MIN. 1,500 P.S.F. SOIL BEARING.
- EXTERIOR CONCRETE FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF 3'-6" BELOW FINISHED GRADE.
- ALL REINFORCING SHALL BE A.S.T.M. A-36.

**MASONRY**

- CONCRETE MASONRY UNITS, (C.M.U.): ASTM C90 (HOLLOW) ASTM C145 (SOLID).
- MORTAR SHALL BE TYPE S, MINIMUM COMPRESSIVE STRENGTH = 1,800 PSI.
- CORE FILL: ASTM C476, COARSE TYPE.
- ALL CONCRETE MASONRY UNITS AND MORTAR MIX MUST BE MADE UTILIZING DRY BLOCK WATERPROOFING MATERIAL.
- HORIZONTAL JOINT REINFORCING: DURAWALL, MILL GALVANIZED FINISH.
- PROVIDE UNITS OF SIZE/S INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE AND/OR FINISH CANNOT BE PRODUCED FROM STANDARD MATERIAL SHAPES. TYPICAL FOR ALL BRICK MASONRY AND CONCRETE MASONRY UNITS THROUGHOUT.

**ROUGH CARPENTRY**

- SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
  - A. NATIONAL DESIGN SPECIFICATION FOR WOOD OR METAL FRAME CONSTRUCTION.
  - B. U.S. PRODUCT STANDARDS PS-1 FOR CONSTRUCTION & INDUSTRIAL PLYWOOD.
  - C. APA CONSTRUCTION GUIDE - RESIDENTIAL & COMMERCIAL.
- CONNECTIONS:
  - A. PLYWOOD TO TRUSSES/RAFTERS/JOISTS ROOFS - USE 8D NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS. PLYWOOD TO TRUSSES/JOISTS FLOORS - USE 8D NAILS @ 6" O.C. @ PANEL EDGES AND 6" O.C. @ INTERMEDIATE SUPPORTS.
  - B. ALL CONNECTIONS OF STRUCTURAL BEAMS, RIDGE MEMBERS & PRE-ENGINEERED TRUSSES SHALL BE MADE UTILIZING HIGH STRENGTH (MIN. 14 GA.) HURRICANE STRENGTH, METAL FRAMING HANGERS/CONNECTORS WITH NAILING AT ALL HOLES.
  - C. ANY LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE AND/OR MASONRY MUST BE TREATED. ALL FASTENERS MUST BE COMPATIBLE WITH SELECTED WOOD TREATMENT MATERIAL UTILIZED.
  - D. CORNER BRACING TO BE METAL T STRIP DIAGONAL BRACING, SIMPSON TWB OR EQUAL. LOCATE AT ALL BUILDING CORNERS AND UNINTERRUPTED SPANS OF 8'-0" OR GREATER.
  - E. ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL UTILIZE MIN. 3 @ 2"x6" HEADER WITH 2 @ 2"x6" JAMB BLOCKING EACH END OF OPENING UNLESS OTHERWISE INDICATED. ALL INTERIOR DOOR, DOORWAY, WINDOW AND PASS THRU OPENINGS SHALL UTILIZE MIN. 2 @ 2"x8" HEADER WITH 2 @ 2"x4" BLOCKING EACH END OF OPENING. TYPICAL UNLESS OTHERWISE INDICATED.
  - F. ALL SOLID BLOCKING, (S.B.) AT OPENINGS, BEARING POINTS & EXTERIOR CORNERS AS REQUIRED AND/OR INDICATED ON DRAWINGS SHALL BE 3 @ 2"x4" SET ON SOLID BEARING.
  - G. PROVIDE ALL NECESSARY MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT AND ACCESSORIES INCLUDING BUT NOT LIMITED TO DOORS AND HARDWARE, CABINETS, COUNTERS AND RESTROOM ACCESSORIES.



**FOUNDATION PLAN**  
1/4"=1'-0"

**BUILDING CODE INFORMATION**

USE GROUP	CONST. TYPE	SQUARE FEET	MAX. OCC.
B	VB	640	25

A 4" x 6" PLAQUE WITH THE ABOVE INFORMATION SHALL BE POSTED IN TWO PRIMARY ENTRY AREAS IN THE BUILDING.

ALLOWABLE SQ.FT./# OF STORIES 9,000 SQ. FT., 2 STORIES

GOVERNING CODES:  
2024 OHIO BUILDING CODE, 2024 OHIO PLUMBING CODE, 2024 OHIO MECHANICAL CODE, 2024 NATIONAL ELECTRIC CODE, COMPLY WITH OBC NFPA REQUIREMENTS AND ALL APPLICABLE STATE OF OHIO AND LOCAL CODES.

- A. THIS PERMIT IS FOR THE RENOVATION OF THE EXISTING BUILDING XX,XXX SQ.FT. EACH FLOOR.
- B. FURNISH AND INSTALL FIRE EXTINGUISHERS (☺), NUMBER, TYPE AND LOCATION AS SHOWN AND PER LOCAL FIRE OFFICIAL HAVING JURISDICTION.
- C. ALL AREAS REQUIRED TO BE ACCESSIBLE SHALL BE IN COMPLIANCE WITH CHAP. 11 OF O.B.C. AND ICC A117.1-2009 INCLUDING BUT NOT LIMITED TO DOORS AND HARDWARE, RESTROOMS AND COUNTERS.
- D. ALL INTERIOR FINISHES SHALL HAVE A MIN. FLAME SPREAD RATING AS FOLLOWS:  
EXIT ACCESS - FLOORS A . . . WALLS & CEILINGS A  
ROOMS & SPACES - FLOORS A . . . WALLS & CEILINGS A
- E. PER O.B.C. SECTION 1704.1 EXCEPTION 1 AND 1704.1.1 EXCEPTION 1. THIS BUILDING IS OF BASIC CONSTRUCTION AND MATERIALS AND NO SPECIAL INSPECTIONS ARE REQUIRED.
- H. PROVIDE 6"x6" TACTILE EXIT SIGN CENTERED AT 60" A.F.F. (EXIT), TYP. AT EXIT ACCESS AND DOOR LOCATIONS AS SHOWN.



554 West Ninth Street  
Lorain, Ohio 44052  
Tel: (440) 315-2300  
E mail: andrea@fischerarch.com

Fischer & Associates	© 2025
ISSUE:	DATE:
PRELIM	03/31/25
BID AND PERMIT	04/14/25
OWNER REV.	04/28/25

Client Name/Project Name/Address

DUNHAM TAVERN

(Visitor Center)  
East 66th & Chester  
Cleveland, Ohio 44103

Drawing Name  
DRAWING TITLE

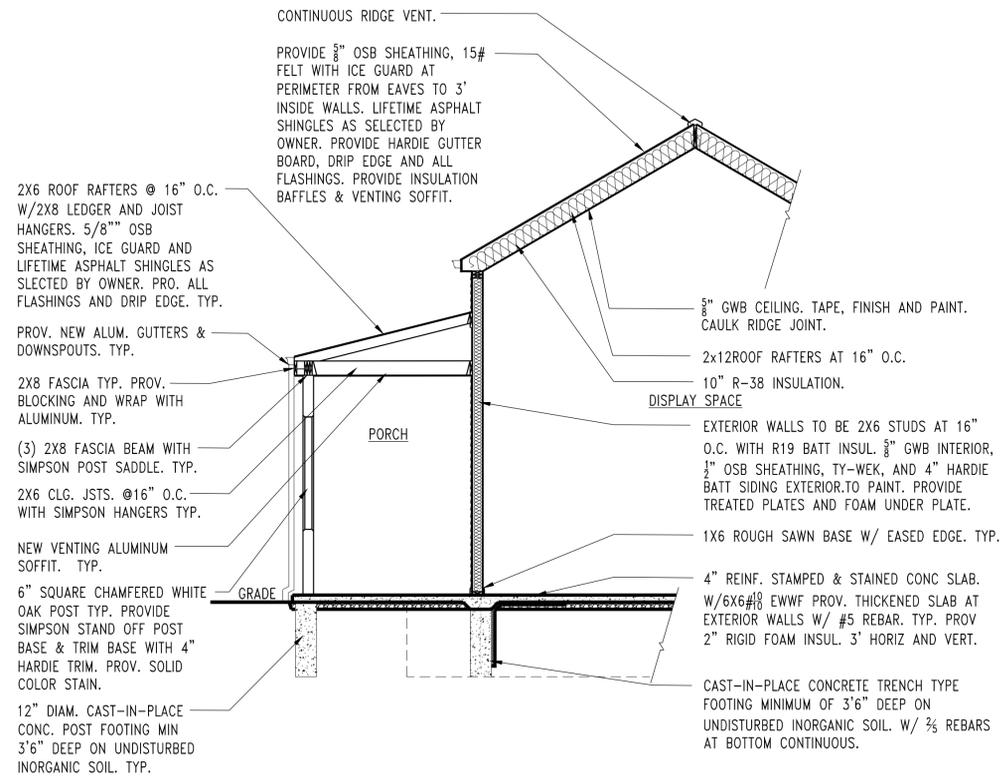
Fischer Project Number

25.017  
SHEET #

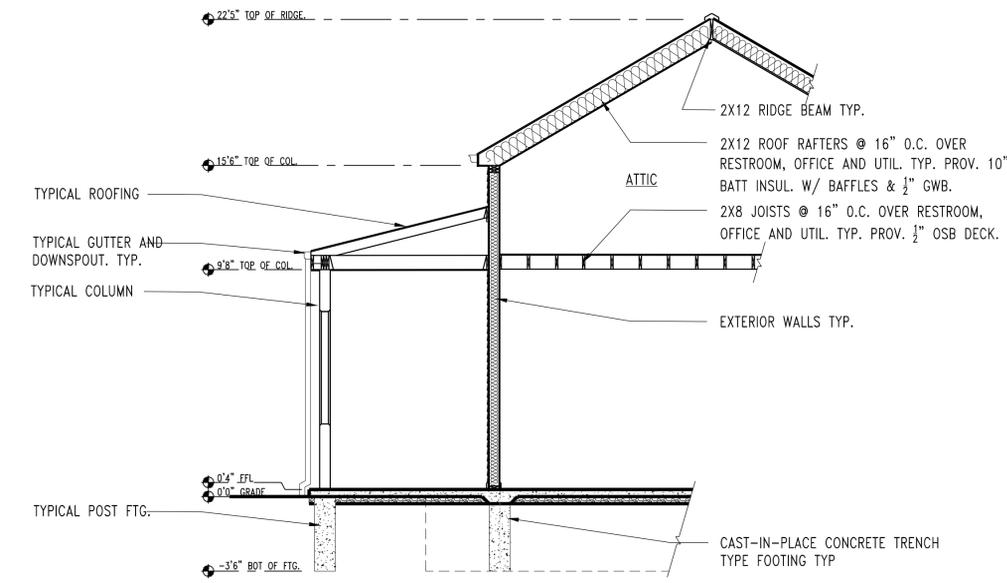
A-100

Seal



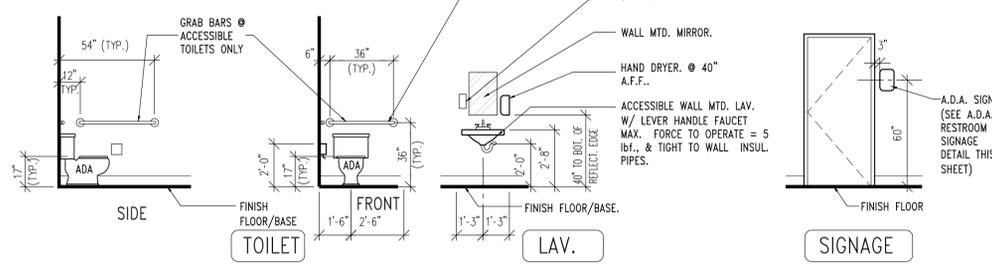


SECTION A-A101  
1/4" = 1'-0"

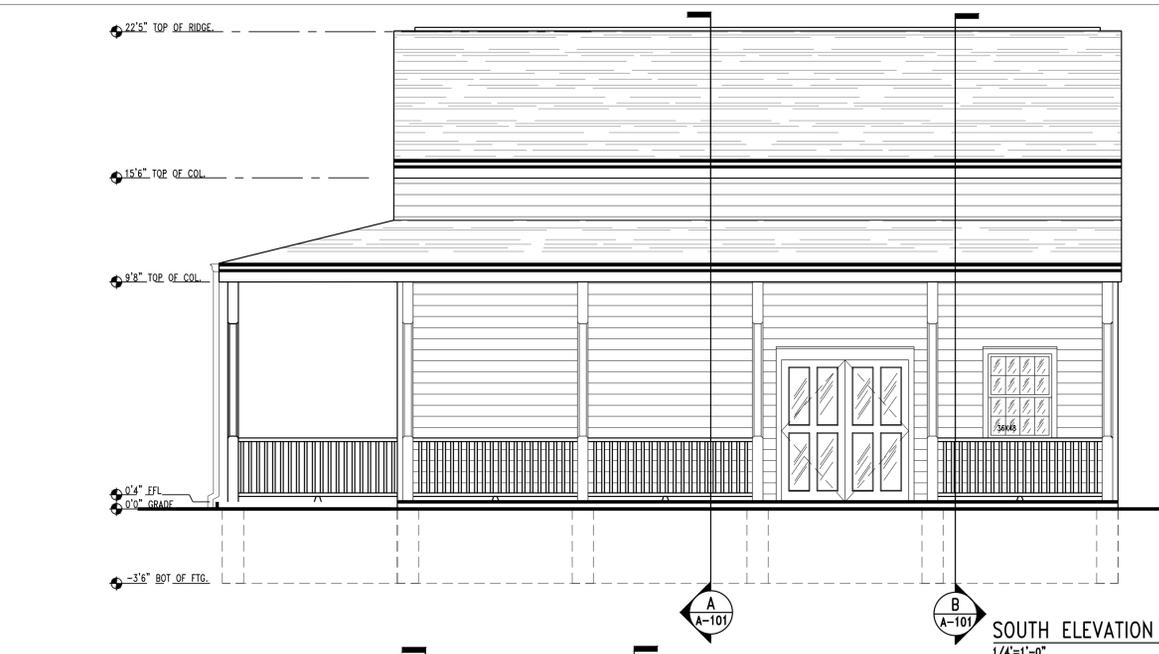


SECTION B-B101  
1/4" = 1'-0"

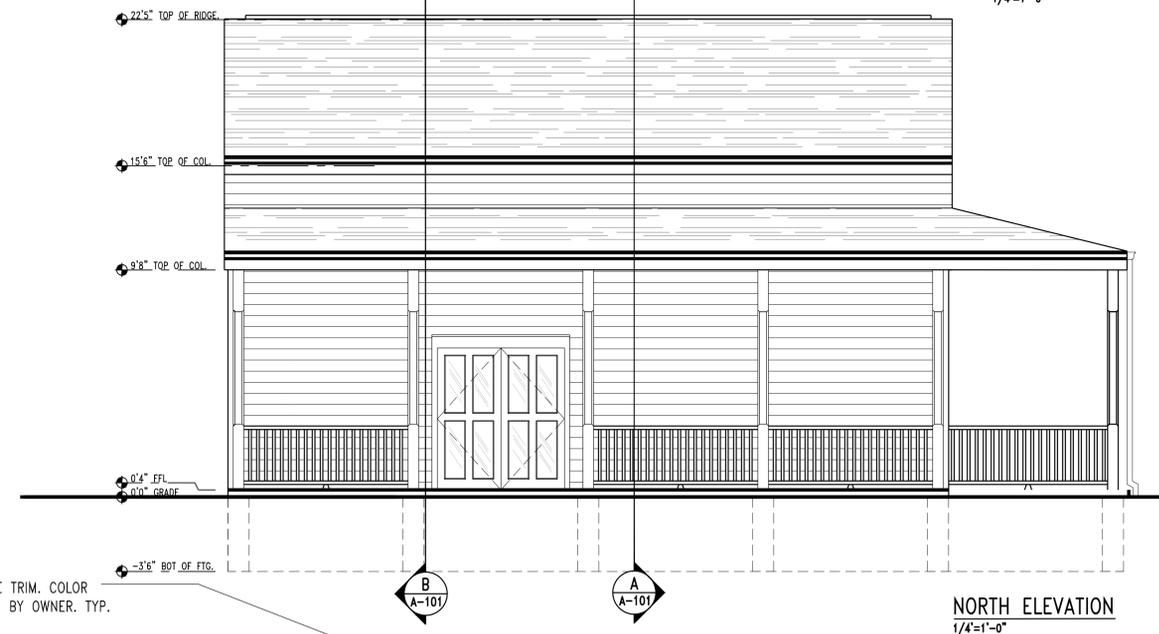
SPECIAL NOTE:  
A.D.A. DETAILS SHOWN ARE TYPICAL REQUIRED STANDARDS PER A.D.A.A.G..  
ACTUAL CONDITIONS AND DETAILS MAY VARY BUT MUST MAINTAIN CODE COMPLIANCE PER STANDARDS.



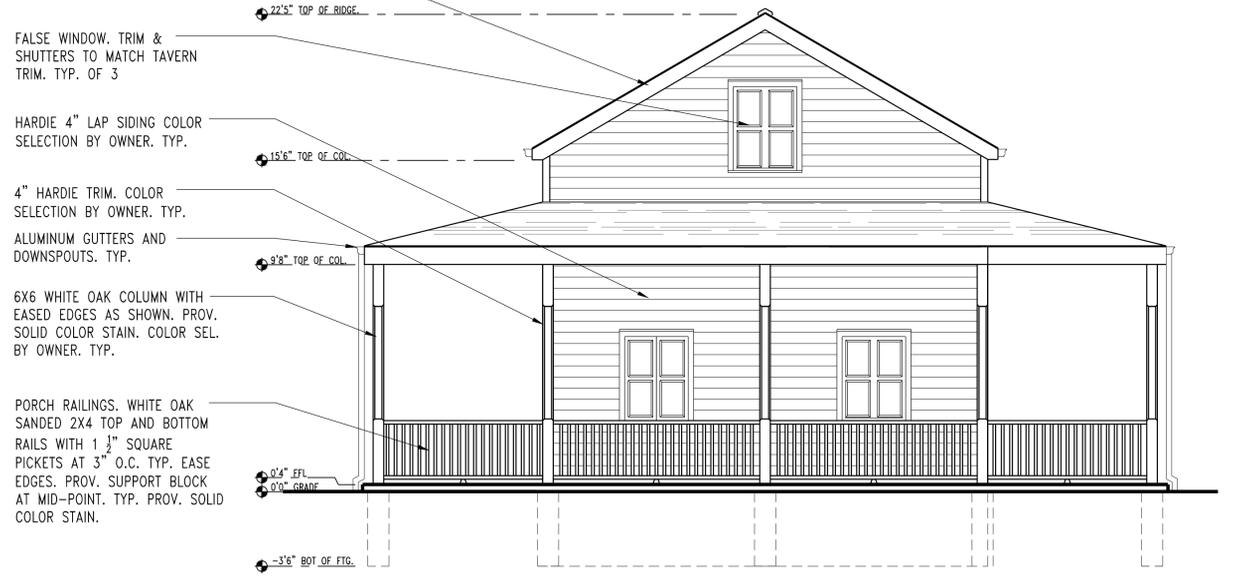
A.D.A. COMPLIANT TOILET ROOM FIXTURES AND ACCESSORIES  
1/4" = 1'-0"



SOUTH ELEVATION  
1/4" = 1'-0"



NORTH ELEVATION  
1/4" = 1'-0"



EAST/ WEST ELEVATION  
1/4" = 1'-0"

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ISSUE:	DATE:
PRELIM	03/31/25
BID AND PERMIT	04/14/25
OWNER REV.	04/28/25
REVISION 1 - ELEVATION HTS.	05/15/25

Client Name/Project Name/Address

DUNHAM TAVERN  
(Visitor Center)  
East 66th & Chester  
Cleveland, Ohio 44103

Drawing Name  
DRAWING TITLE

Fischer Project Number  
25.017  
SHEET #

A-101

Seal



GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2025

**SPECIFICATIONS - ELECTRICAL WORK**

THE GENERAL CONDITIONS OF THE CONTRACT, THE SUPPLEMENTARY CONDITIONS AND ALL THE SECTIONS OF DIVISION 1, TOGETHER WITH THE FOLLOWING SPECIFICATIONS ARE A PART OF THE CONTRACT FOR THE WORK COVERED HEREIN. PROVIDE AS-BUILT DRAWINGS. GUARANTEE ALL MATERIAL AND LABOR FOR ONE YEAR FROM DATE OF PROJECT ACCEPTANCE BY OWNER. REPAIR ALL DEFECTIVE MATERIAL AT NO CHARGE DURING GUARANTEE PERIOD.

THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO ADDITIONAL COMPENSATION SHALL BE AWARDED WHERE EXTRA LABOR OR MATERIAL ARE REQUIRED BECAUSE OF UNFAMILIARITY.

ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. THE ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED TO PERFORM THE ELECTRICAL WORK. DIAGRAMMATICALLY THE LOCATION OF ELECTRICAL DEVICES, EQUIPMENT AND FIXTURES, AND THE METHOD OF CONNECTION, THE DRAWINGS DO NOT INDICATE EVERY CONNECTION IN DETAIL OR ALL FITTINGS FOR A COMPLETE SYSTEM. MATERIAL OR LABOR WHICH IS NOT INDICATED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS, BUT IS ABSOLUTELY NECESSARY TO COMPLETE THE WORK, SHALL BE PROVIDED.

BRING CONFLICTS TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE SIGNING THE CONTRACT OR PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT IN WRITING WILL CAUSE THE ARCHITECT'S INTERPRETATION OF THE CONTRACT DOCUMENTS TO BE FINAL.

THE ELECTRICAL CONTRACTOR SHALL REFER TO PLANS AND SPECIFICATIONS OF THE OTHER TRADES FOR ELECTRICAL WORK PERTAINING TO THE INSTALLATION OF OTHER TRADES. COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS TO RESOLVE INTERFERENCE'S WITHOUT ADDITIONAL COST TO THE OWNER.

THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

- A) POWER BRANCH CIRCUIT PANELBOARDS, FEEDERS, CONDUIT, BRANCH CIRCUITS, OUTLETS AND WIRING.
- B) LIGHTING FIXTURES, LAMPS, MOUNTING HARDWARE, CONDUIT & WIRING.
- C) EMERGENCY LIGHTING INCLUDING TESTING.
- D) ALL EXCAVATION, CONCRETE AND BACKFILL WORK; ALL CHANNELING, CONCRETE PATCHING WORK REQUIRED FOR ELECTRICAL WORK EXCLUSIVELY.
- E) NECESSARY CABINETS AND PULL BOXES.
- F) CONNECTION OF ALL HVAC AND PLUMBING EQUIPMENT PER MANUFACTURER'S DRAWINGS. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS.
- G) TEMPORARY CONSTRUCTION POWER AND LIGHTING TO ACCOMMODATE ALL TRADES.
- H) GROUNDING OF ALL SYSTEMS AND EQUIPMENT.

ALL EQUIPMENT AND MATERIAL SHALL BE NEW AND BEAR UL LABELS AND LISTINGS.

SUBMIT 6 SETS OF SHOP DRAWINGS FOR ALL EQUIPMENT PRIOR TO ORDERING FOR THE PROJECT.

COORDINATE WORK WITH THE OTHER TRADES FOR SPACE REQUIREMENTS, DISCREPANCIES OR CONFLICT OF WORK. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE ELECTRICAL WORK. VERIFY EXACT LOCATIONS OF DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.

CONDUIT SHALL BE E.M.T. WITH SET SCREW FITTINGS CONCEALED ABOVE GRADE. CONDUIT SUPPORTS, FASTENERS, ETC. SHALL BE GALVANIZED AND CORROSION RESISTANT. SUPPORT CONDUIT FROM BUILDING STRUCTURE ONLY. DO NOT USE CEILING HANGERS WIRES OR ROOF DECK FOR SUPPORT. THE USE OF PERFORATED METAL STRAPS IS NOT PERMITTED ON THE PROJECT. INSTALL PULL WIRES IN EMPTY OR FUTURE USE CONDUITS. TYPE MC CABLE MAY BE USED FOR BRANCH CIRCUIT WIRING WHERE PERMITTED BY AUTHORITY HAVING JURISDICTION. HOWEVER, RUNS TO PANELBOARDS SHALL BE E.M.T. CONDUITS INSTALLED BELOW GRADE OR FLOOR SLAB SHALL BE PVC SCHEDULE 40 WITH RGS-UL-6 TRANSITION PRIOR TO EXITING ABOVE GRADE. PROVIDE & INSTALL YELLOW MARKER TAPE IN ALL EXTERIOR CONDUIT TRENCHES, 12" BELOW GRADE. ABSOLUTELY NO PVC SHALL BE PERMITTED ABOVE FLOOR LINE WITHIN BUILDING. TYPE NM CABLE IS NOT PERMITTED ON THE PROJECT. OUTLET BOXES IN DRY LOCATIONS SHALL BE GALVANIZED STEEL TYPE, 1-1/2" DEEP MINIMUM, SINGLE OR GANG STYLE OF SIZE TO ACCOMMODATE DEVICES NOTED. BOXES SHALL BE EQUIPPED WITH PLASTER RINGS AS NECESSARY.

FLEXIBLE METAL CONDUIT FOR FIXTURE CONNECTION SHALL BE 3/8" MINIMUM SIZE. HVAC AND PLUMBING EQUIPMENT CONNECTIONS SHALL BE LIQUID TIGHT FLEXIBLE METAL CONDUIT, 1/2" MINIMUM SIZE.

FIRE STOP ALL FIRE RATED FLOOR AND WALL PENETRATIONS PER UL APPROVED METHOD, SUCH AS RTV FOAM (NON-DELETERIOUS). CONDUIT STUBS FOR TELEPHONE SHALL BE SEALED BY ELECTRICAL CONTRACTOR WITH RTV FOAM AFTER CABLE INSTALLATION BY RESPECTIVE CONTRACTORS. RACEWAY PASSING FROM THE INTERIOR TO THE EXTERIOR OF THE BUILDING SHALL BE FILLED WITH AN APPROVED MATERIAL TO PREVENT THE CIRCULATION OF WARM AIR TO A COLDER SECTION OF THE RACEWAY.

WIRE SHALL HAVE SOLID OR STRANDED COPPER CONDUCTORS FOR #10 AND #12 WIRE AND STRANDED COPPER CONDUCTORS FOR WIRE #8 AND LARGER. WIRE SHALL HAVE 600VOLT THHN/THWN INSULATION. MINIMUM SIZE WIRE SHALL BE #12 AWG. TAG ALL CONDUCTORS AT TERMINATIONS AT JUNCTION BOXES WITH BRADY LABELS. TORQUE TERMINATION'S PER MANUFACTURER'S RECOMMENDATIONS.

PANEL DIRECTORIES SHALL BE TYPED. PROVIDE AND INSTALL ENGRAVED PHENOLIC NAME PLATES FOR MOTOR STARTERS, PANELBOARDS, SAFETY SWITCHES, ETC.

TEST WIRING SYSTEMS FOR SHORTS AND GROUNDS PRIOR TO ENERGIZING CIRCUITS. CONNECT ALL HVAC EQUIPMENT PER APPROVED MANUFACTURER'S DRAWINGS.

TEMPERATURE CONTROL WIRING, CONDUIT AND DEVICES SHALL BE FURNISHED AND INSTALLED BY HVAC CONTRACTOR. SEE MECHANICAL SPECIFICATIONS.

ALL EQUIPMENT INSTALLED ON EXTERIOR SHALL BE WEATHERPROOF. EXTERIOR BUILDING DEVICES AND FIXTURES SHALL BE SECURED WITH STAINLESS STEEL SCREWS, PENETRATE ROOF, WHERE NECESSARY, WITH PATE CURBS. COORDINATE LOCATION WITH ARCHITECT AND ROOFING CONTRACTOR.

VERIFY CEILING CONSTRUCTION WITH THE GENERAL CONTRACTOR & COORDINATE LIGHT FIXTURE MOUNTING WITH CEILING CONSTRUCTION. SUPPORT ALL RECESSED LIGHT FIXTURES INDEPENDENTLY OF CEILING SUSPENSION SYSTEMS. INSTALL LIGHT FIXTURES TO PRECLUDE CONTACT WITH INSULATION MATERIAL.

**SPECIFICATIONS - MECHANICAL WORK (CONTINUED)**

**2. PLUMBING & ACCESSORIES**

A. SANITARY WASTE & VENT PIPING & FITTINGS SHALL BE PVC SCHEDULE 40 DRAINAGE PIPE AND FITTINGS WITH SOLVENT WELD JOINTS. PLASTIC PIPE IS NOT PERMITTED IN RETURN AIR CEILING PLENUMS. WASTE AND VENT PIPING IN RETURN AIR PLENUM AND WHERE PVC IS NOT ALLOWED SHALL BE "NO-HUB" CAST IRON STANDARD WEIGHT WITH CAST IRON FITTINGS.

B. DOMESTIC WATER: COPPER TYPE "L" HARD, WITH WROUGHT COPPER FITTINGS, 95-5 SOLDER JOINTS, 2" AND SMALLER UNDER FLOOR SHALL BE TYPE "K" SOFT COPPER OR PEX.

C. VALVES: GATE - 2" AND SMALLER CRANE #428, GLOBE - 2" AND SMALLER CRANE #7, CHECK VALVE - 2" AND SMALLER CRANE #57, GAS COCK - CRANE #1228. EQUIVALENT VALVES BY POWELL OR FAIRBANKS ARE ACCEPTABLE.

D. HANGERS: INSULATED HANGERS - GRINNELL FIGURE 260. PROVIDE 18 GAUGE GALVANIZED STEEL SHIELD OVER INSULATION. UNINSULATED HANGERS - GRINNELL FIGURE 260, SPACED AT 10'-0" O.C. FOR PIPES 1-1/2" AND LARGER AND 6'-0" O.C. FOR PIPES 1-1/4" AND SMALLER.

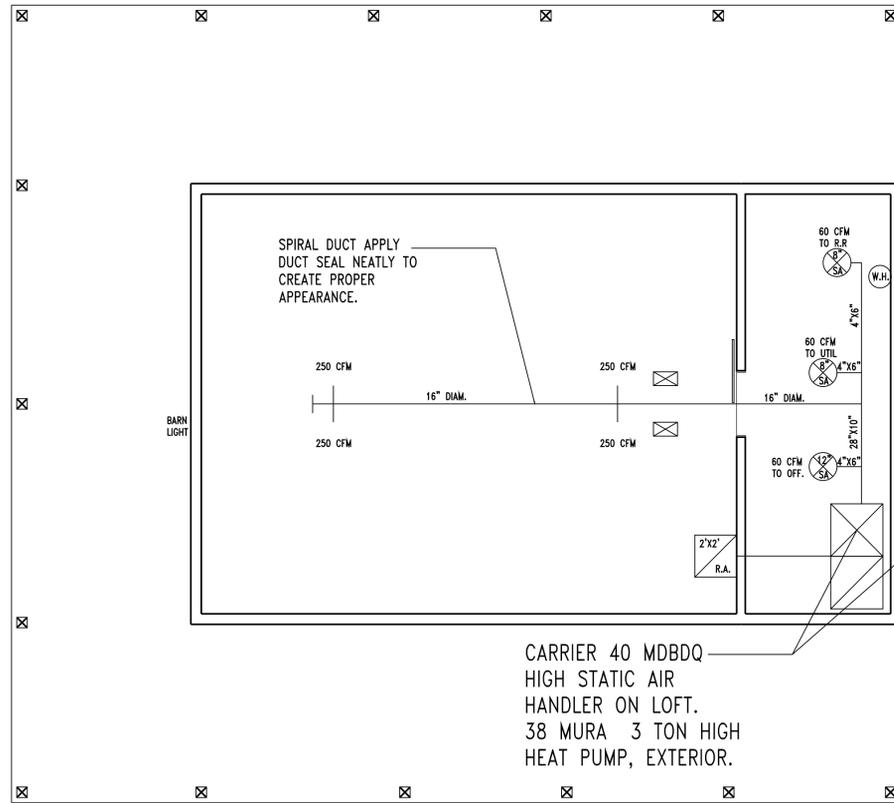
E. SLEEVES: PROVIDE SLEEVES FOR ALL PIPES PASSING THROUGH WALLS AND FLOORS. SCHEDULE 40, MACHINE CUT PIPE. SLEEVE SIZED TO PROVIDE MINIMUM 1/4" CLEARANCE ON ALL SIDES OF INSULATED AND NON-INSULATED PIPES, WITH ENDS OF SLEEVES PARTITION FACE. THE VOID BETWEEN SLEEVE AND PIPE SHALL BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO MAINTAIN INTEGRITY OF FIRE RATING.

F. PLUMBING FIXTURES: FURNISH AND INSTALL PLUMBING FIXTURES COMPLETE WITH TRIM, HANGERS, CARRIERS, TRAPS, SUPPLIES, STOP VALVES, ANCHORS, AND SUPPORTS. EXPOSED TRIM SHALL BE CHROME PLATED. PROVIDE CHROME PLATED ESCUTCHEONS AT ALL PIPES PENETRATING WALLS. FAUCETS SHALL HAVE RENEWABLE SEATS AND DISCS. FLUSH VALVES SHALL HAVE STOPS, VACUUM BREAKERS AND METAL HANDLES. FIXTURES SHALL BE KOHLER, CRANE OR AMERICAN STANDARD.

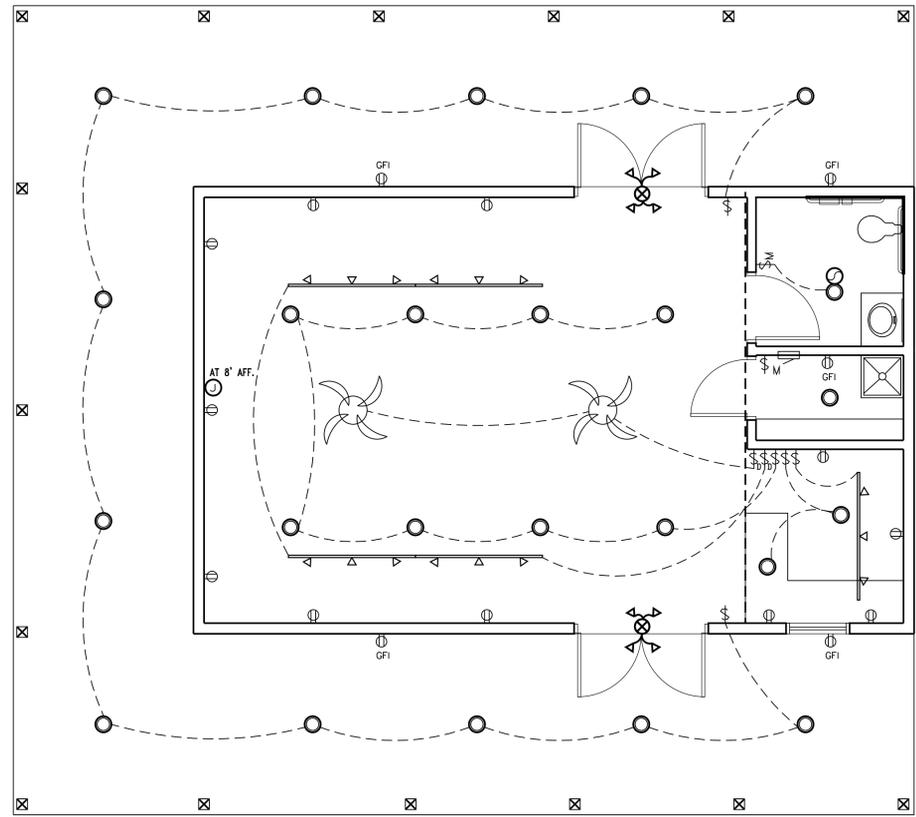
1. CLEANOUT: FLUSH FLOOR TYPE JOSAM #58000 SATIN NIKALOX TOP AND MARKED "C.O.". WALL CLEANOUTS SHALL BE JOSAM #58770 WITH SQUARE ACCESS COVER, POLISH NIKALOX FINISH.

2. SHOCK ABSORBERS: PROVIDE AND INSTALL ON BRANCH WATER LINE TO EACH GROUP OF FIXTURES A FACTORY-BUILT SHOCK ABSORBER TO PREVENT WATER HAMMER. ZURN Z-17W, JOSAM OR J.R. SMITH.

3. WALL HYDRANT: NON-FREEZE WALL HYDRANT SHALL BE ZURN Z-1321 ANTI-SIPHON AND AUTOMATIC DRAINING.



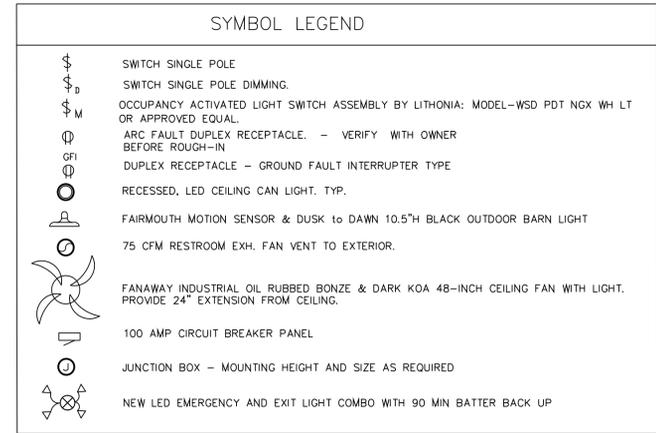
**HVAC PLAN**  
1/4"=1'-0"



**LIGHTING AND POWER PLAN**  
1/4"=1'-0"

- G. TRAP PRIMER: PRECISION PLUMBING PRODUCTS, INC. MODEL "OREGON #1", ZURN OR JOSAM. UNIT SHALL BE ASSE APPROVED AND CAPABLE OF SERVING 1 TO 8 FLOOR DRAINS. INSTALL TRAP PRIMER WHERE SHOWN OR AS REQUIRED BY CODES. PRIMER SHALL BE ACCESSIBLE FOR SERVICE AND SHALL HAVE SHUT-OFF VALVE IN SUPPLY LINE FOR ISOLATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE TRAP PRIMER FOR ALL FLOOR DRAINS/SINKS SUBJECT TO EVAPORATION PER CODES.
- H. DOMESTIC WATER SYSTEMS SHALL BE THOROUGHLY FLUSHED AND DISINFECTED BEFORE BEING PUT INTO SERVICE PER METHODS IN AWWA C651-86 PUBLICATION "A PROCEDURE FOR DISINFECTING WATER MAINS", OR AS REQUIRED BY GOVERNING CODE. THE CONTRACTOR SHALL SUBMIT WRITTEN STATEMENT CERTIFYING THAT SYSTEM HAS BEEN PROPERLY FLUSHED, PURGED AND DISINFECTED AND DATE WHEN WORK WAS PERFORMED.
- 3. H.V.A.C. WORK:
  - 1. PROVIDE NEW LOW PROFILE HIGH STATIC AIR HANDLER - CARRIER40MDBOQ WITH CARRIER (MINI), 38MURA 3 TON HIGH HEAT PUMP.
- 4. INSULATION
  - A. INSULATION SHALL BE TESTED PER ASTM E-84 DESIGNATION AND SHALL MEET THE REQUIREMENTS OF FLAME SPREAD LESS THAN 25 AND SMOKE DEVELOPED LESS THAN 50.
  - B. DOMESTIC HOT AND COLD WATER PIPING SHALL BE INSULATED WITH ONE (1) INCH THICK FIBERGLASS 25 AS/SSL. PROVIDE VAPOR BARRIER JACKET FOR COLD WATER PIPING.
  - C. REFRIGERANT PIPING SHALL BE INSULATED WITH 1/2" ARMAFLEX INSULATION.
  - D. INSTALL INSULATION PER MANUFACTURER'S RECOMMENDATIONS.
- 5. TESTING AND AIR BALANCING
  - A. SANITARY SEWER PIPING SHALL BE TESTED AS REQUIRED BY LOCAL PLUMBING CODES.
  - B. ALL WATER PIPING SHALL BE TESTED TO 125 PSIG HYDROSTATIC PRESSURE FOR SIX (6) HOURS BEFORE IT IS CONCEALED.
  - C. AIR BALANCING AND TESTING SHALL BE PERFORMED BY AN INDEPENDENT AGENCY THAT IS A MEMBER OF THE ASSOCIATED AIR BALANCE COUNCIL AND IN ACCORDANCE TO LATEST A.A.B.C. FORMS, COCHRAN AIR BALANCE, KAHOE AIR BALANCE CO., OR PROFESSIONAL BALANCE CO. ARE APPROVED MEMBERS.
  - D. AIR DELIVERIES FOR ALL FANS, DIFFUSERS AND GRILLES SHALL BE ADJUSTED, BALANCED AND GUARANTEED TO THE AIR QUANTITIES SHOWN ON THE DRAWINGS.
  - E. FOR EACH AIR HANDLING OR FAN DEVICE, LIST MAKE AND MODEL NUMBER, MOTOR DATA, DESIGN AND FIELD TESTED CFM, RPM, SUCTION, DISCHARGE AND TOTAL STATIC PRESSURES, MOTOR AMPS, VOLTS, PERCENT OF LOAD, BHP, ETC. FOR EACH DIFFUSER, REGISTER, AND GRILLE, PROVIDE MODEL, MAKE, SIZE, LOCATION, FACE VELOCITY AND CFM.
  - F. SUBMIT FINAL DATA IN BOUND FORM WITH HARD COVER AFTER COMPLETION OF AIR BALANCING.
  - G. ALL AUTOMATIC TEMPERATURE CONTROLS SHALL BE ADJUSTED AND SET FOR PROPER HW (110° F) OPERATION.

Voltage & Phase		Mounting		Notes	
<input type="checkbox"/> 120/208-1Ø	<input type="checkbox"/> 120-1Ø	<input type="checkbox"/> 277/480-1Ø	<input type="checkbox"/> Surface	<input checked="" type="checkbox"/> MLO-or-Main Breaker: 200A	
<input type="checkbox"/> 120/240-1Ø	<input type="checkbox"/> 208-1Ø	<input type="checkbox"/> 277-1Ø	<input type="checkbox"/> Flush	A.I.C. Rating: 22000	
<input type="checkbox"/> 240-1Ø	<input type="checkbox"/> 480-1Ø	<input type="checkbox"/> 480-1Ø	<input type="checkbox"/> Sub Feed Lugs	Panel Rating: 200A	
Manufacturer: Square D or Equal		Model:		Serial:	
Notes:					
Description		Brk	Phase	Brk	Description
DISPLAY TRACK LIGHTING		20	1 A 2	20	DISPLAY WAFER LIGHTING
OFFICE WAFER LIGHTING		20	3 B 4	20	OFFICE TRACK LIGHTING
DISPLAY OUTLETS WEST WALL		20	5 A 6	20	OFFICE OUTLETS AT DESK
DISPLAY OUTLETS NORTH WALL		20	7 B 8	20	DISPLAY OUTLETS EAST WALL
ATTIC AND STORAGE RM. OUTLETS		20	9 A 10	20	DISPLAY OUTLETS SOUTH WALL
PORCH OUTLETS NORTH WALL		20	11 B 12	20	PORCH OUTLETS SOUTH WALL
PORCH LIGHTS NORTH		20	13 A 14	20	PORCH LIGHTS SOUTH
RESTROOM LIGHT		20	15 B 16	30	HVAC UNIT
CEILING FANS /LIGHTS		20	17 A 18		
OFFICE OUTLETS N., S. AND W. WALL		20	19 B 20	20	WATER HEATER
EAST AND WEST SECURITY LIGHTS		20	21 A 22		
SPARE		23	B 24		SPARE
SPARE		25	A 26		SPARE
SPARE		27	B 28		SPARE
SPARE		29	A 30		SPARE
SPARE		31	B 32		SPARE
SPARE		33	A 34		SPARE
SPARE		35	B 36		SPARE
SPARE		37	A 38		SPARE
SPARE		39	B 40		SPARE
SPARE		41	A 42		SPARE

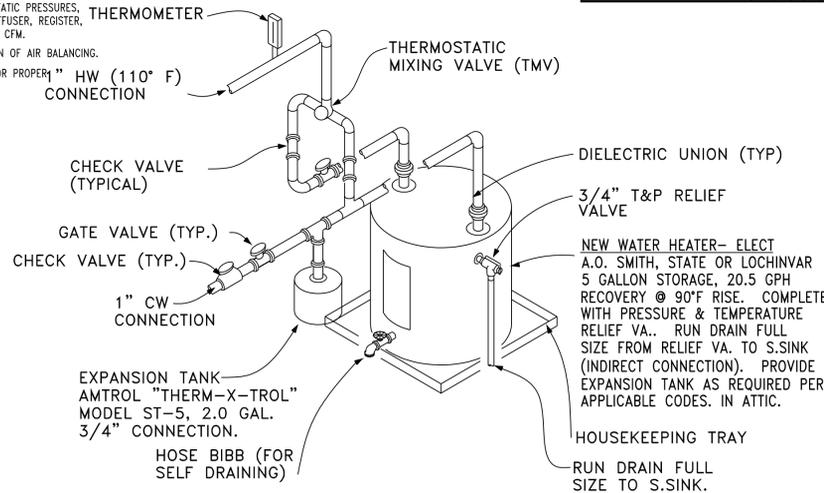


**PLUMBING DIAGRAM NOTES:**

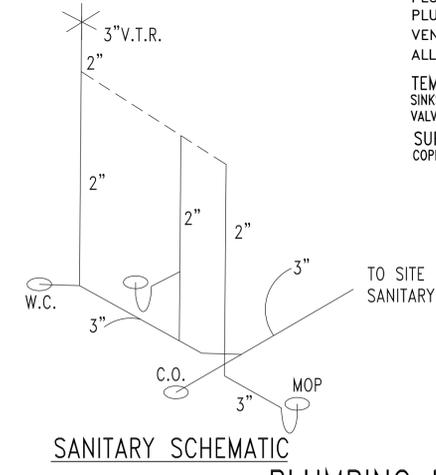
PLUMBING SUPPLY LINES SHALL BE 1/2" U.O.N.. PLUMBING VENT LINES SHALL BE 1 1/2" U.O.N.. VENT ALL PLUMBING STACKS TO 3" V.T.R. U.O.N.. ALL WASTE PIPING UNDER SLABS SHALL 3" U.O.N..

TEMPERING VALVES: SINKS USED FOR HANDWASHING SHALL BE FITTED WITH ANTI-SCALD VALVES PER OHIO PLUMBING CODE.

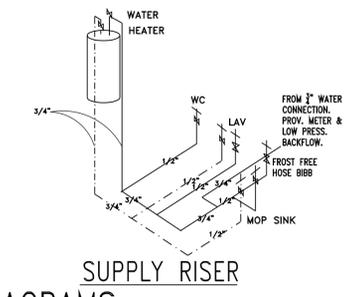
SUPPLY PIPING: COPPER OR PEX MAY BE USED WHERE ALLOWED BY CODE.



**WATER HEATER PIPING DIAGRAM**



**SANITARY SCHEMATIC**



**SUPPLY RISER**

**PLUMBING DIAGRAMS**

**FISCHER & ASSOCIATES**



**ARCHITECTS INC.**

554 West Ninth Street  
Lorain, Ohio 44052  
Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2025  
ISSUE: DATE:

PRELIM 03/31/25  
BID AND PERMIT 04/14/25  
OWNER REV. 04/28/25

Client Name/Project Name/Address

**DUNHAM TAVERN**

(Visitor Center)

East 66th & Chester  
Cleveland, Ohio 44103

Drawing Name

DRAWING TITLE

Fischer Project Number

25.017

SHEET #

Seal

**MPE-100**



GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2025

PLANTING

SHADE TREES

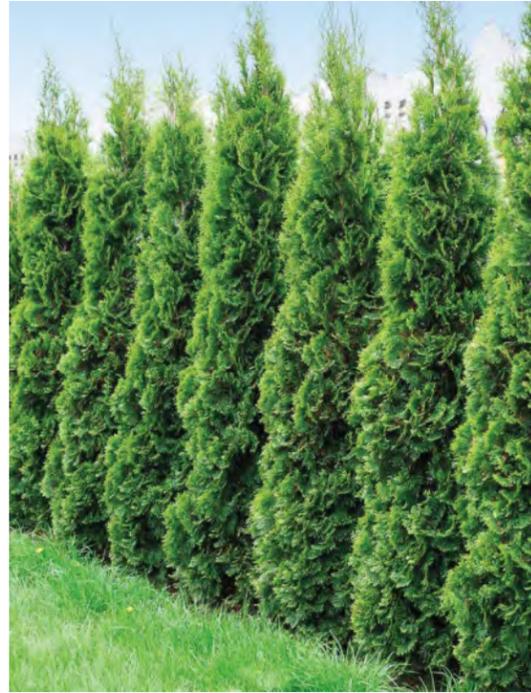


*Acer rubrum 'Somerset'* -  
Somerset Red Maple



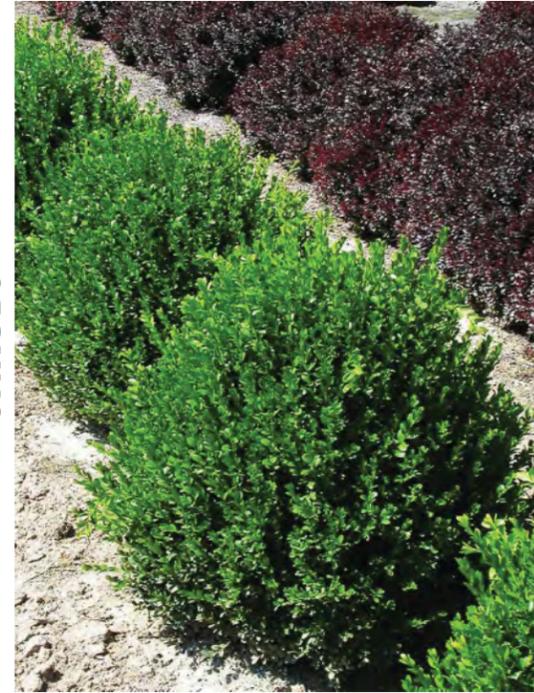
*Magnolia x 'Betty'* -  
Betty Magnolia

EVERGREEN TREE



*Thuja occidentalis 'Degroot's Spire'* -  
Degroot's Spire Arborvitae

SHRUBS



*Buxus x 'Green Velvet'* -  
Green Velvet Boxwood



*Hydrangea a. 'Invincibelle Mini Mauvette'* -  
Invincibelle Mini Mauvette Hydrangea

SITE FURNISHINGS



4' Bench



Door



Pavers



Hardie Siding Color - SW 0029 Acanthus



ADA Picnic Table



Shutters



30"  
Signage



Shingles

These designs and all items depicted herein, whether in writing or graphically, as instruments of professional service, may not be altered or changed, in any way, without the prior knowledge and written consent of the Landscape Architect. Any change made without the Landscape Architect's written approval will void all such documents and instruments and the Landscape Architect will not be personally liable for any damage, harm or loss caused thereby.

**b**

**PLANT LIST (BASE BID)**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS	NOTES
<b>SHADE TREES</b>						
3	AC-SO	ACER RUBRUM SOMERSET	SOMERSET RED MAPLE	2" CAL.	B & B	
2	MA-BE	MAGNOLIA X 'BETTY'	BETTY MAGNOLIA	5' HGT.	B & B	
<b>EVERGREEN TREES</b>						
12	TH-DE	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE ARBORVITAE	4'	B & B	
<b>SHRUBS</b>						
18	BU-GV	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	18"	B & B	2' O.C.
4	HY-IN	HYDRANGEA ARBORESCENS 'INVINCIBELLE MINI MAUVETTE'	INVINCIBELLE MINI MAUVETTE HYDRANGEA	15"	#3 CONT.	3' O.C.

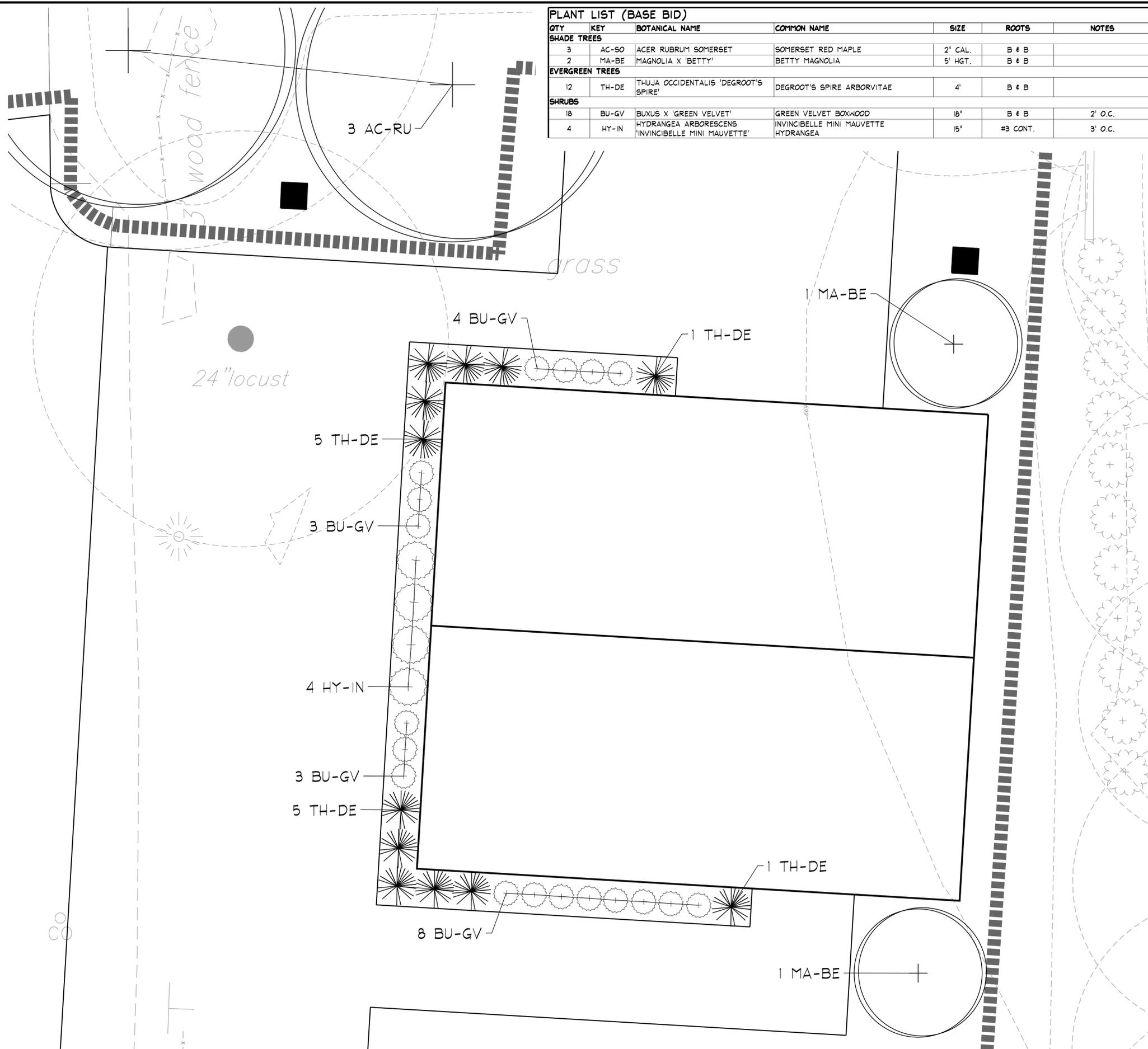
**LEGEND:**

-  LIMITS OF WORK
-  DECIDUOUS TREE PLANTING - SEE DTL. 1/L-501
-  EVERGREEN TREE PLANTING - SEE DTL. 2/ L-501
-  SHRUB PLANTING - SEE DTL. 4/L-501

**GENERAL NOTES:**

- THIS SHEET IS FOR SITE LAYOUT & DETAIL REFERENCE ONLY.
- ALL DIMENSIONS/COORDINATES ARE TO FACE OF CURBS AND WALLS, UNLESS NOTED OTHERWISE ON DRAWING.
- PROVIDE CONTROL JOINTS ON CURBS EVERY 10', MAX., AND AT P.C.'S AND P.T.'S.
- SITE UTILITIES AND PROPERTY LINE ARE SHOWN FOR REFERENCE ONLY.
- THIS DRAWING WILL BE AVAILABLE TO CONTRACTOR IN CAD FORMAT, FOR LAYOUT PURPOSES.
- PROVIDE 4" OF TOPSOIL AND SEED ALL DISTURBED AREAS. UNLESS SEED HAS FULLY GERMINATED PRIOR TO BUILDING THE PAVER FIELDS, MULCHING SEED WITH STRAW BLANKETS.

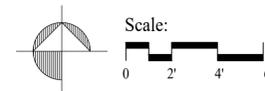
Seal:



**Dunham Tavern Museum & Gardens**  
 Visitor Center  
 Green Infrastructure Improvements  
 6709 Euclid Avenue  
 Cleveland, Ohio 44103

Issued / Revised		
NO.	DATE	DESCRIPTION
	5/08/25	FOR PERMIT

Drawn by: \_\_\_\_\_ Checked by: \_\_\_\_\_



OHIO  
 Utilities Protection  
 SERVICE  
 Call Before You Dig  
 1-800-362-2764  
 CALL TWO WORKING DAYS BEFORE YOU DIG  
 (NON MEMBERS MUST BE CALLED DIRECTLY)

Planting Plan

**L-400**



CITY OF CLEVELAND  
Mayor Justin M. Bibb

# Schematic Plan Review

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*June 12<sup>th</sup>, 2025*



# Case 25-038

Schematic Plan Review

Franklin-West Clinton  
Historic District

6107 Ellen Avenue

**New Construction**

Project Representatives: James Todt, Owner  
Ward 15: Councilmember Spencer



6107 ELLEN AVE  
CLEVELAND, OHIO

# ELLEN AVENUE SMALL PROTOTYPE HOUSING

## Issued for REVIEW

A NEW SMALL FOOTPRINT PROTOTYPE THREE BEDROOM 2 BATH HOUSING UNIT PROPOSED FOR CITY INFILL LOTS

PPN: 002-30-064

PREPARED FOR:  
OWNER:

STACIE WATKINS & JIM TODT  
7435 MIDLAND RD.  
INDEPENDENCE, OH 44131  
JTODT0193@GMAIL.COM  
216.469.0504

PREPARED BY:  
ARCHITECT:

CLEVELAND DRAW  
3342 AVALON ROAD  
SHAKER HEIGHTS, OHIO 44120  
T: 216.548.5335

GREYDON PETZNIK, RA  
GREYDON@CLEVELANDDRAW.COM  
MATT PLECNIK, RA  
MATT@CLEVELANDDRAW.COM

STRUCTURAL ENGINEER:

MAKARICH STRUCTURAL ENGINEERING, LLC  
P.O. BOX 1389  
WILLOUGHBY, OHIO 44096  
T: 440.283.7252



SEAL:

NOT FOR CONSTRUCTION

DATE:  
05.07.2025

ISSUED:  
Issued for Review

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

6107 Ellen Avenue  
Cleveland, Ohio

Todt - Watkins  
Prototype Housing to Accommodate:  
Single Family Small Lot  
Residence

TITLE:  
SITE PLAN  
AND CONTEXT

ISSUE: DATE:  
05.07.2025

SHEET:  
T0-01

### SYMBOL LEGEND:

**TYPICAL DESIGNATION TAGS**

ROOM NAME & ROOM NUMBER: NAME OR AREA ROOM#

DOOR TYPE DESIGNATION: ##

WALL TYPE DESIGNATION: X

FINISH DESIGNATION: FINISH TYP.

FIXTURE TYPE DESIGNATION: X

KEY NOTE DESIGNATION: X

PROPOSED NEW COLUMN LINE: XX

EXISTING COLUMN LINE: XX

**INTERIOR ELEVATION TAG**

SHEET DESIGNATION: 1/A#-#/#

ELEVATION DESIGNATION: 3

**EXTERIOR ELEVATION TAG**

ELEVATION DESIGNATION: X/A#-#/#

SHEET DESIGNATION: 1/A#-#/#

**SECTION TAG**

SECTION DESIGNATION: X/A#-#/#

SHEET DESIGNATION: 1/A#-#/#

**INTERIOR ELEVATION TAG**

SHEET DESIGNATION: X/XX-XX

ELEVATION DESIGNATION: XX-XX

**EXTERIOR ELEVATION TAG**

FLOOR DESIGNATION: FLOOR LEVEL ELEV = +0'-0"

ELEV. HEIGHT DESIGNATION: ELEV. HEIGHT DESIGNATION

**REVISION CLOUD & DESIG.**

REVISION CLOUD & REV. DESIGNATION

EXISTING DOOR SYMBOL

PROPOSED NEW DOOR SYMBOL

EARTH

POROUS FILL

CONCRETE

CONCRETE / MASONRY

BRICK / MASONRY

GYPNUM WALLBOARD

RIGID INSULATION

BATT INSULATION

WOOD: SOLID SECTION

WOOD: BLOCKING

WOOD: BLOCKING (CUT)

WOOD: PLYWOOD

### PROJECT SCOPE & DATA:

**BUILDING INFO:**

ADDRESS: 6107 ELLEN AVENUE  
CLEVELAND, OHIO

PPN: 002-30-064

LOT AREA: 45' X 70' (3,150 SF)

LAND USE: --

PROPOSED BUILDING USE: R, SINGLE FAMILY RESIDENTIAL  
CONSTRUCTION TYPE: VB (NON SPRINKLERED)

ZONING: 2F-B1 RESIDENTIAL TWO FAMILY

AREAS:  
FIRST FLOOR: 868 SF  
SECOND FLOOR: 807 SF  
TOTAL: 1675 SF

COVERED PORCHES: 183 SF

THIS PROJECT WILL ADHERE TO THE REQUIREMENTS OF THE OHIO RESIDENTIAL CODE, 2019 EDITION.

**BUILDING SETBACKS:**  
FRONT YARD SETBACK: 12'-6"  
REAR YARD SETBACK: 23'-0"

**SIDEYARD SETBACK AND FIRE SEPARATION DISTANCE (NORTH):** 3'-1"  
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE OR FIREBLOCKING REQUIRED. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'-REFERENCE A1-01

**SIDEYARD PROJECTION SETBACK AND FIRE SEPARATION DISTANCE (NORTH):** 2'-5"  
PER TABLE R302.1, FIRE RESISTANCE RATED REQUIRED. ONE HOUR CONSTRUCTION AT THE UNDERSIDE OR FIREBLOCKING REQUIRED. DISTANCE IS EQUAL TO OR GREATER THAN 2' AND LESS THAN 5'-

**SIDEYARD OPENINGS IN WALLS (NORTH):** 11.0% OF WALL AREA  
MEETS REQUIREMENTS OF MAXIMUM 25% NO RESTRICTION ON PENETRATIONS

**SIDEYARD SETBACK (SOUTH):** 14'-11"  
**SIDEYARD FIRE SEPARATION DISTANCE (SOUTH):** 14'-11"

**SIDEYARD PROJECTION SETBACK (SOUTH):** 14'-3"

**HEIGHT:** 25'-5.5" < 35'  
**AREA:** 1,675 GSF > (50% \* 3150 SF)

- HOUSE-LOT AREA VARIANCE REQUIRED (1675 SF HOUSE MORE THAN 50% LOT AREA)
- REAR YARD VARIANCE REQUIRED 23'-0" SETBACK < BUILDING HEIGHT OF 25'-5"

**PARKING:**  
ONE OFF STREET PARKING SPACE AT REAR (MORE THAN 10' FROM WINDOW OR DOOR) WITH ACCESSIBLE PATH TO ADA THRESHOLD ENTRY

### SHEET INDEX:

TITLE SHEET / GENERAL:

T0-00 TITLE SHEET, GENERAL NOTES, SHEET INDEX,  
PROJECT DATA  
MATERIALS

CIVIL - SURVEY  
CONTEXT

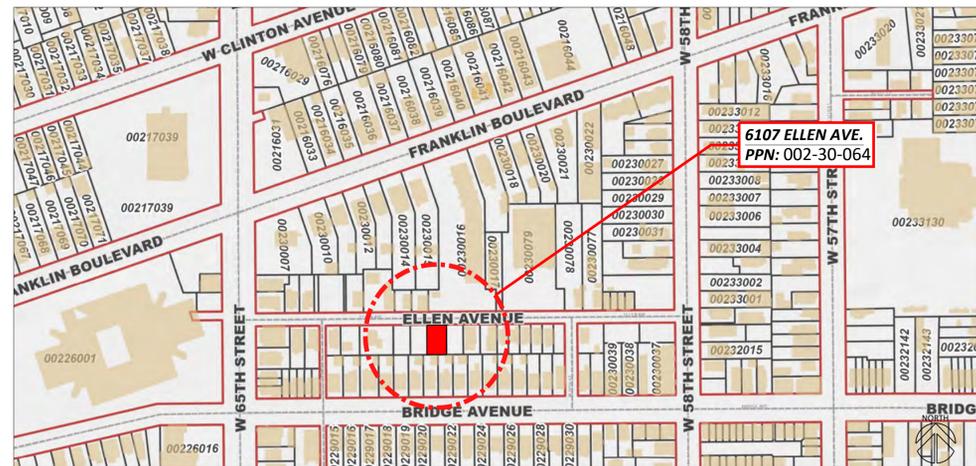
CONSTRUCTION DRAWINGS:

SP-01 SITE PLAN  
A1-00 CONSTRUCTION SLAB AND ROOF PLANS  
A1-01 CONSTRUCTION FLOOR PLANS  
A2-01 EXTERIOR ELEVATIONS  
A3-01 BUILDING SECTIONS - TBD  
A3-10 WALL SECTIONS - TBD  
A4-00 EXTERIOR DETAILS AND WINDOW SCHEDULE  
A9-01 DOOR SCHEDULE AND CABINERY - TBD  
G1-01 GARAGE PLANS  
ME-01 MECHANICAL - ELECTRICAL PLANS TBD  
S1-00 STRUCTURAL NOTES AND DETAILS TBD  
S1-01 STRUCTURAL PLANS TBD

### GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
  - THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
  - ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
  - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS.
  - PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FROM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
  - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL OR WORKMANSHIP WHICH

### SITE LOCATION:

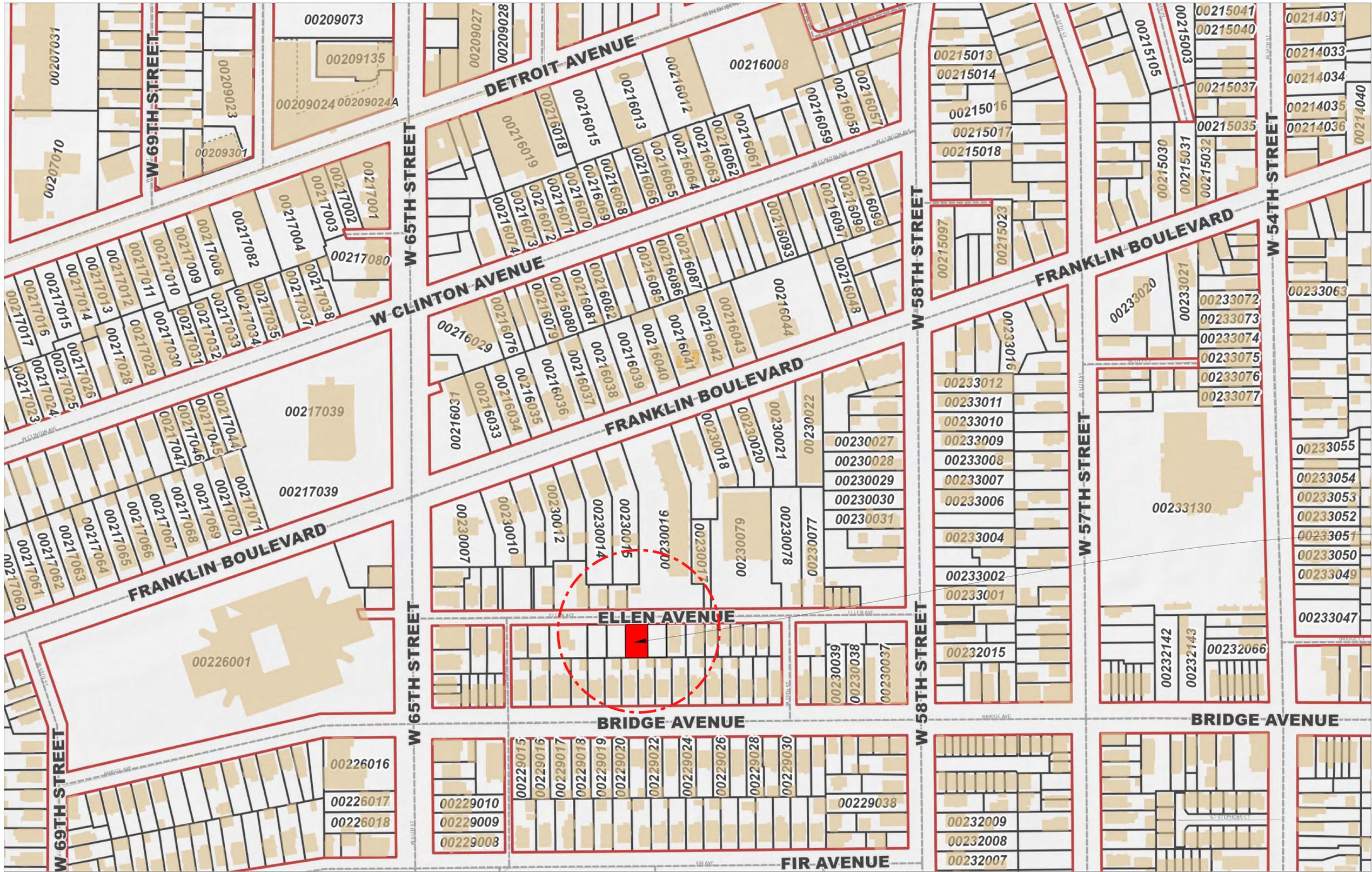


- SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. A SUBSTANTIAL COMPLETION CERTIFICATE WILL BE EXECUTED AND DISTRIBUTED BY THE ARCHITECT. REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA) LATEST EDITION.
- ALL CONTRACTORS ENGAGED BY THE G.C. SHALL BE BONDABLE, LICENSED CONTRACTORS, HAVING GOOD LABOR RELATIONS, CAPABLE OF PERFORMING QUALITY WORKMANSHIP AND CAPABLE OF WORKING IN HARMONY WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS.
- PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE. ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE OWNER AND/OR AS REQUIRED BY LOCAL & STATE AGENCIES.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MODIFIED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED WITHIN THESE DRAWINGS.

- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS. EACH SUBCONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE CONTRACTED WORK, INCLUDING RIGGING OF MATERIALS AND EQUIPMENT, ALL HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, AND/OR SLEEVES.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ECT.) MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.
- THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS - UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST AND RESIDUE AND DEBRIS. DELIVER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.

- ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A STANDARDS.

- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ECT. (WHICH IN THE GENERAL CONTRACTORS OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLI TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY. AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECTS REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL LAYOUT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.



LOCATION  
ELLEN AVENUE  
PROTOTYPE





ELLEN AVE (4 LOTS) FACING EAST



ELLEN AVE (4 LOTS) FACING WEST



6007 ELLEN AVE



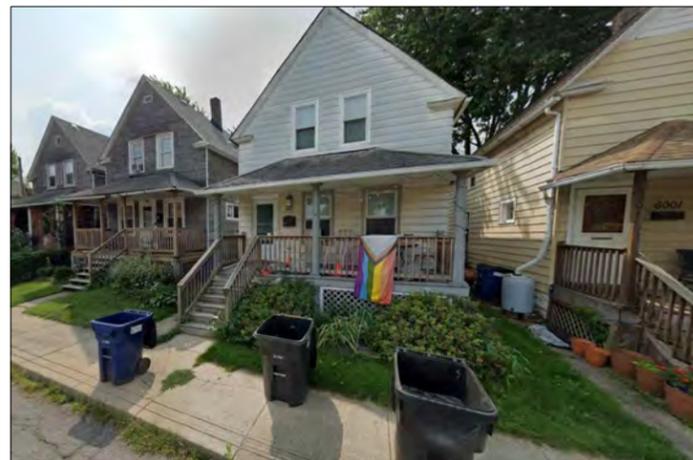
6408 ELLEN AVE -70' FRONTAGE



6300 ELLEN AVE -35' FRONTAGE



6101 ELLEN AVE -40' FRONTAGE



5907 ELLEN AVE -27' FRONTAGE



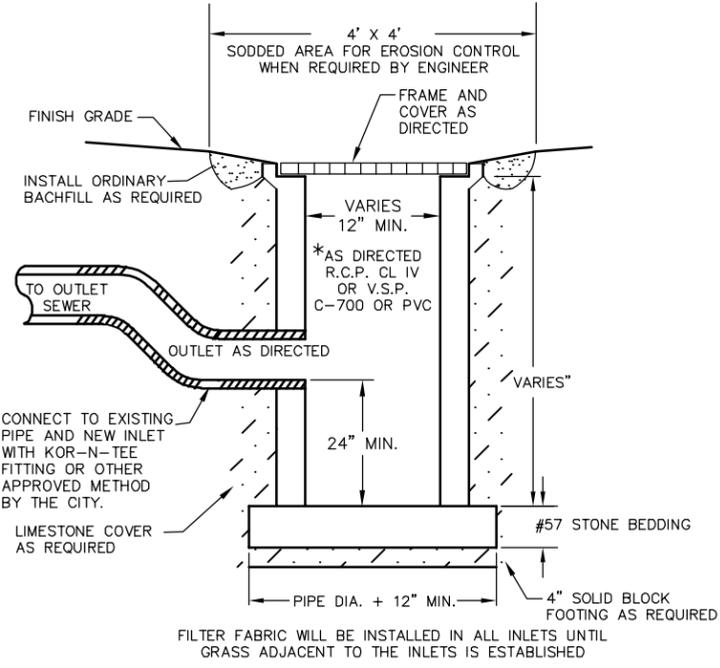
5822 ELLEN AVE -30' FRONTAGE



5816 ELLEN AVE -17'+ ROW FRONTAGE

**NOTES:**

- UNDERGROUND INFORMATION SHOWN, REGARDING SANITARY, STORM, & WATER CONNECTIONS ONLY, ARE TAKEN FROM CITY RECORDS AND TYPE, SIZE & ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR OR PRIOR TO CONSTRUCTION.
- REMOVE AND REPLACE EXISTING 4" CONCRETE SIDEWALK AT SITE.
- DRIVEWAY & APRON TO BE 6" THICK MINIMUM, PLACED ON 6" COMPACTED GRAVEL BASE.
- CITY SIDEWALK & SERVICE WALK TO BE 4" THICK MINIMUM, PLACED ON 4" COMPACTED GRAVEL BASE.
- 1/2" EXPANSION JOINT MATERIAL PROVIDED AT 30' INTERVALS AND AT CHANGES IN SLAB THICKNESS.
- ALL CONCRETE MIXED WITH MINIMUM 650 LBS. PORTLAND CEMENT PER CUBIC YARD (MIN. 7-SACK).
- CLEAR TREES AND BRUSH AS NECESSARY TO ESTABLISH SWALES.

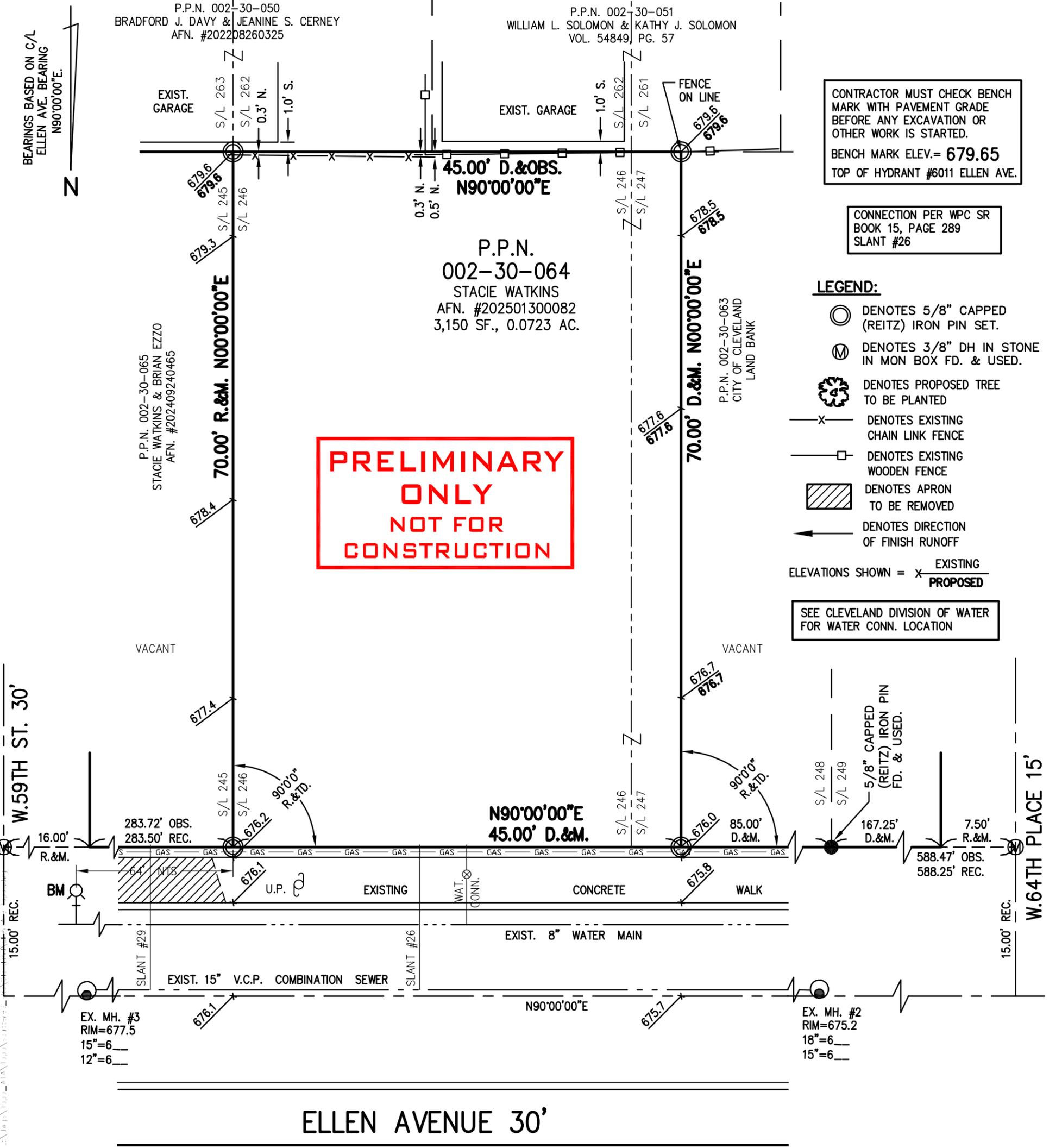
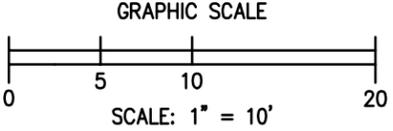


**YARD INLET - GENERAL AREA**

**GRADING PLAN**

FOR  
**P.P.N. 002-30-064**  
 #6107 ELLEN AVENUE  
 ALL OF SUBLT NO. 246 & THE  
 EASTERLY 5' OF SUBLT NO. 247  
 IN THE  
 GORDON AVENUE ALLOTMENT  
 RECORDED IN VOL. 21 PG. 2  
 NOW IN  
 THE CITY OF CLEVELAND  
 CUYAHOGA COUNTY, OHIO  
 FOR  
**INDEPENDENCE EXCAVATION, INC.**  
 #5720 E. SCHAAF RD.  
 INDEPENDENCE, OH 44131  
 PH: (216) 469-0504  
 BY  
**THE HENRY G. REITZ ENGINEERING COMPANY**  
 #4214 ROCKY RIVER DRIVE, CLEVELAND, OH. 44135  
 PH: (216) 251-3033, EMAIL: REITZ@REITZENG.COM

BY: \_\_\_\_\_ PRES.  
 JAMES T. SAYLER, REG. SURVEYOR NO. S-7425  
 SCALE 1" = 10' MARCH, 2025



**ELLEN AVENUE 30'**

**ELLEN AVENUE PROTOTYPE**

- A TWO-STORY SINGLE FAMILY INFILL HOUSING PROJECT
- Three to Four bedrooms
  - Two baths
  - To be constructed with features of Aging in Place and to Enterprise Green Community standards.
  - Light frame construction
  - Slab on grade foundation for no step entry at rear

**LOT** 002-30-064 (45x70)

**ZONING**  
Use District Two Family  
Zone Code 2F-B1

**AREAS:**  
LOT: 3,150 SF

**PROPOSED HOUSE:**  
SINGLE FAMILY  
FIRST FLOOR: 868 SF  
SECOND FLOOR: 807 SF  
TOTAL: 1,675 SF

**HEIGHT:** 25'-5.5" < 35"  
**AREA:** 1,675 GSF > (50% \* 3150 SF)

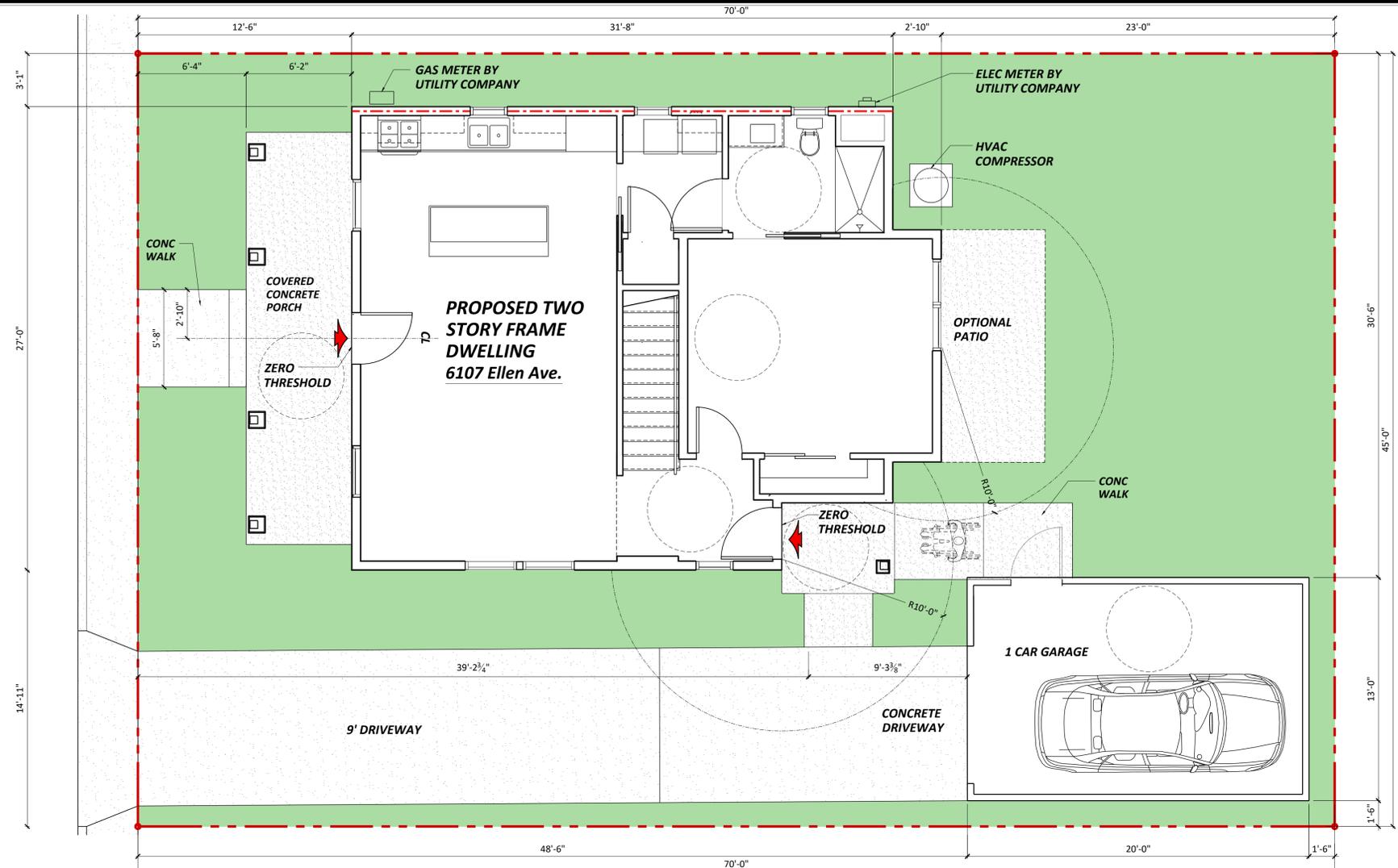
**HOUSE-LOT AREA VARIANCE REQUIRED (1675 SF HOUSE MORE THAN 50% LOT AREA)**

**TYPICAL SETBACKS:**  
FRONT YARD: 12'-6"  
REAR YARD: 23'-0"  
DRIVEWAY SIDEYARD: 14'-11"  
EAST SIDEYARD: 3'-1"  
(REQUIRED 1 HR CONSTRUCTION)

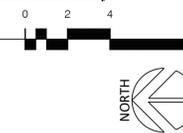
**REAR YARD VARIANCE REQUIRED 23'-0" SETBACK < BUILDING HEIGHT OF 25'-5"**

**PARKING:**  
ONE OFF STREET PARKING SPACE AT REAR (MORE THAN 10' FROM WINDOW OR DOOR) WITH ACCESSIBLE PATH TO ADA THRESHOLD ENTRY

**ELLEN AVENUE**



**SITE CONSTRUCTION SITE PLAN**  
SCALE: 1/4" = 1'-0"



SEAL:  
**NOT FOR CONSTRUCTION**

ISSUED: \_\_\_\_\_  
DATE: 05-07-2025  
Issued for Review

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

6107 Ellen Avenue  
Cleveland, Ohio

**Todt - Watkins**  
Prototype Housing to Accommodate:  
**Single Family Small Lot Residence**

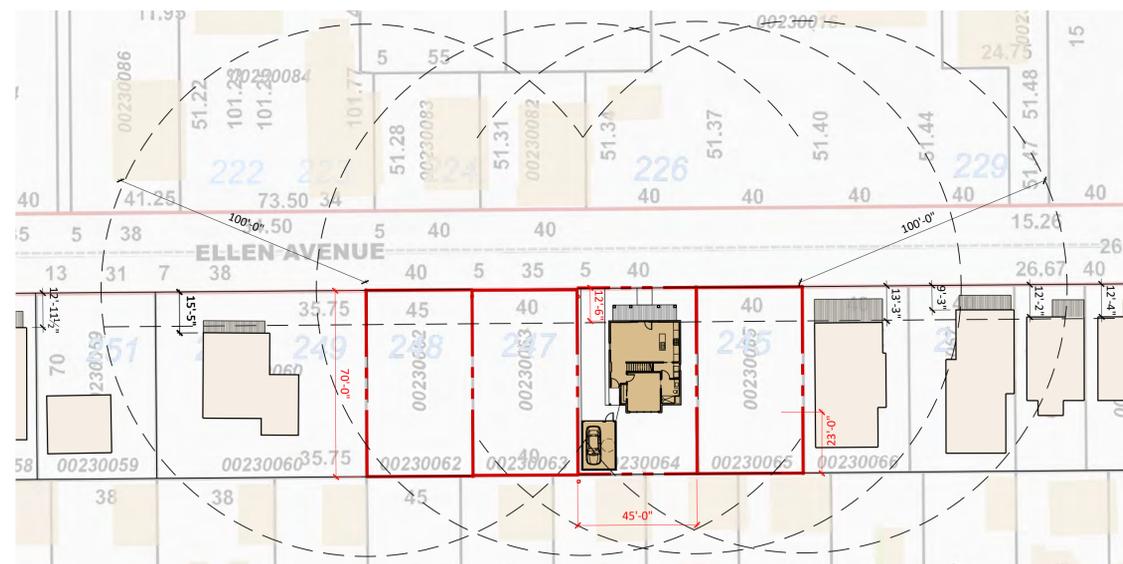
TITLE:  
**SITE PLAN AND CONTEXT**

ISSUE: \_\_\_\_\_ DATE: 05.07.2025

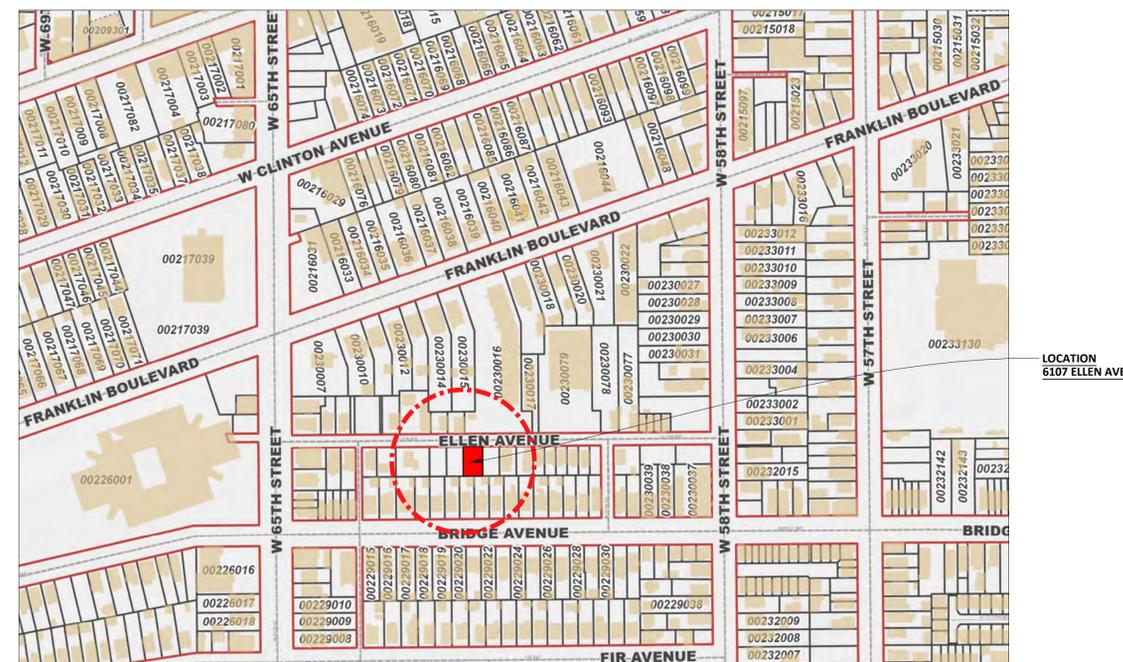
SHEET: \_\_\_\_\_

**SP-01**

**FRONT SETBACK 12.5'**



**NEIGHBORHOOD MAP**



LOCATION  
6107 ELLEN AVENUE



**RENDERING - SD003**

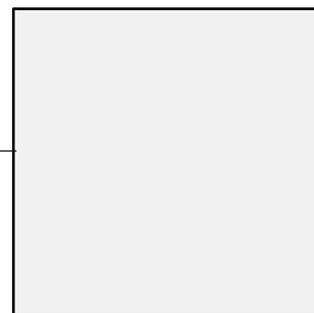
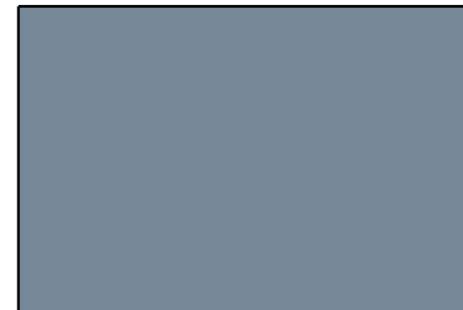
# MATERIAL BOARD



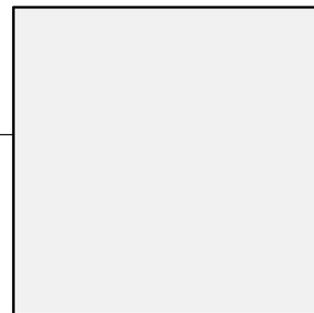
ROOFING: GAF TIMERLINE HDZ "CHARCOAL GRAY"



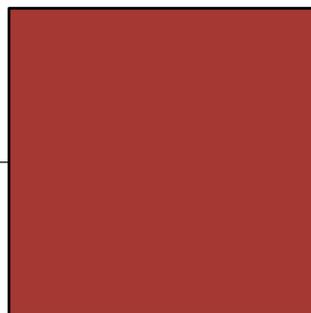
SIDING: ALSIDE ODYSSEY PLUS D5: 5" CLAPBOARD "HARBOR BLUE"



GUTTERS AND DOWNSPOUTS: PREFINISHED WHITE 5" K STYLE/ 2X3 DOWNSPOUTS



WINDOWS: VINYL DOUBLE HUNG PELLA 250 (PELLA WHITE)



DOOR: "TANGER RED" SHERWIN WILLIAMS "SW-6601"



TRIM: AZEK COMPOSITE TRIM (PAINTABLE: PELLA WHITE)



SEAL:

NOT FOR CONSTRUCTION

DATE:

05.07.2025

ISSUED:

Issued for Review

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

**Todt - Watkins**  
*Prototype Housing to Accommodate:*  
**Single Family Small Lot  
Residence**

6107 Ellen Avenue  
Cleveland, Ohio

TITLE:

MATERIALS  
6107 ELLEN AVENUE

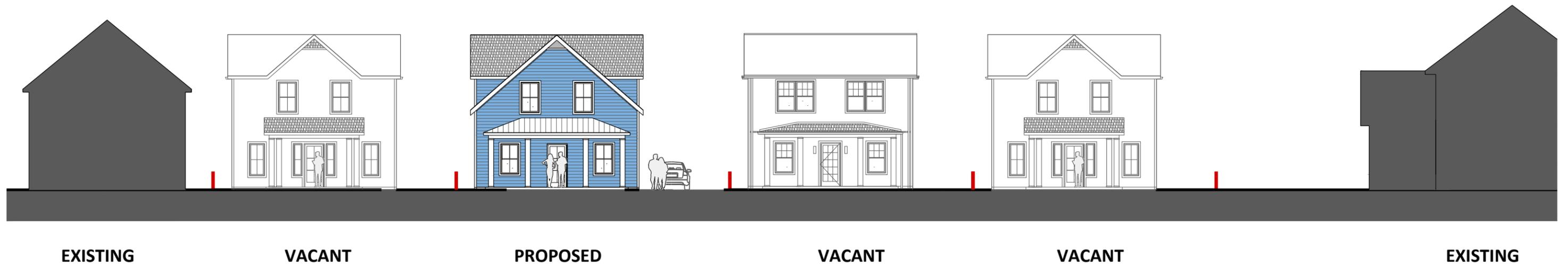
ISSUE:

DATE:  
05.07.2025

SHEET:

**T0-01**

ELLEN AVENUE PROTOTYPE  
CLEVELAND, OHIO



EXISTING

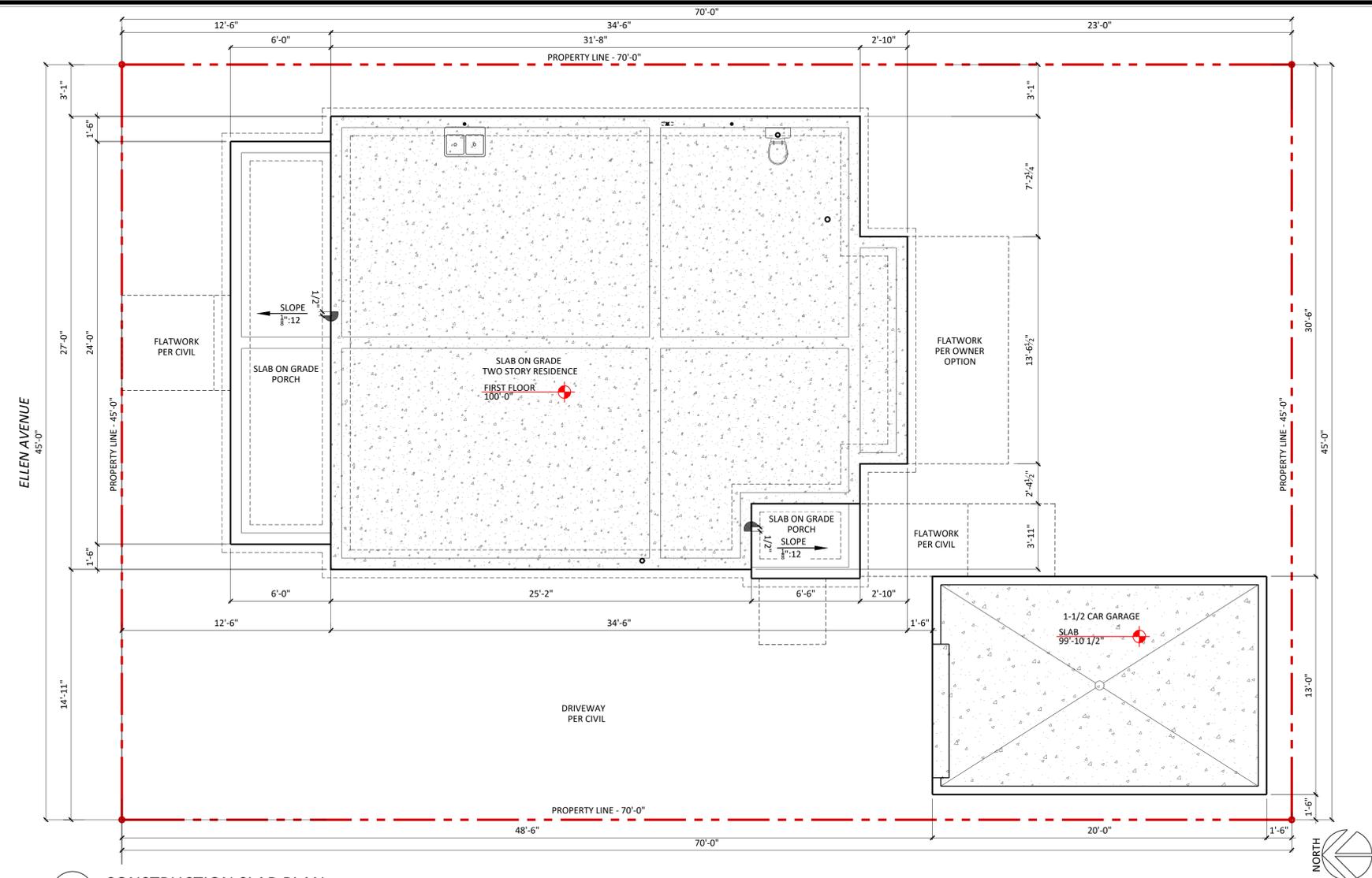
VACANT

PROPOSED

VACANT

VACANT

EXISTING



1 CONSTRUCTION SLAB PLAN  
SCALE: 1/4" = 1'-0"

SEAL:  
**NOT FOR CONSTRUCTION**

ISSUED: \_\_\_\_\_  
DATE: 05-07-2025  
Issued for Review

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

6107 Ellen Avenue  
Cleveland, Ohio

**Todd - Watkins**  
*Prototype Housing to Accommodate:*  
**Single Family Small Lot Residence**

TITLE:  
**CONSTRUCTION SLAB AND ROOF PLAN**

ISSUE: \_\_\_\_\_ DATE: 05.07.2025

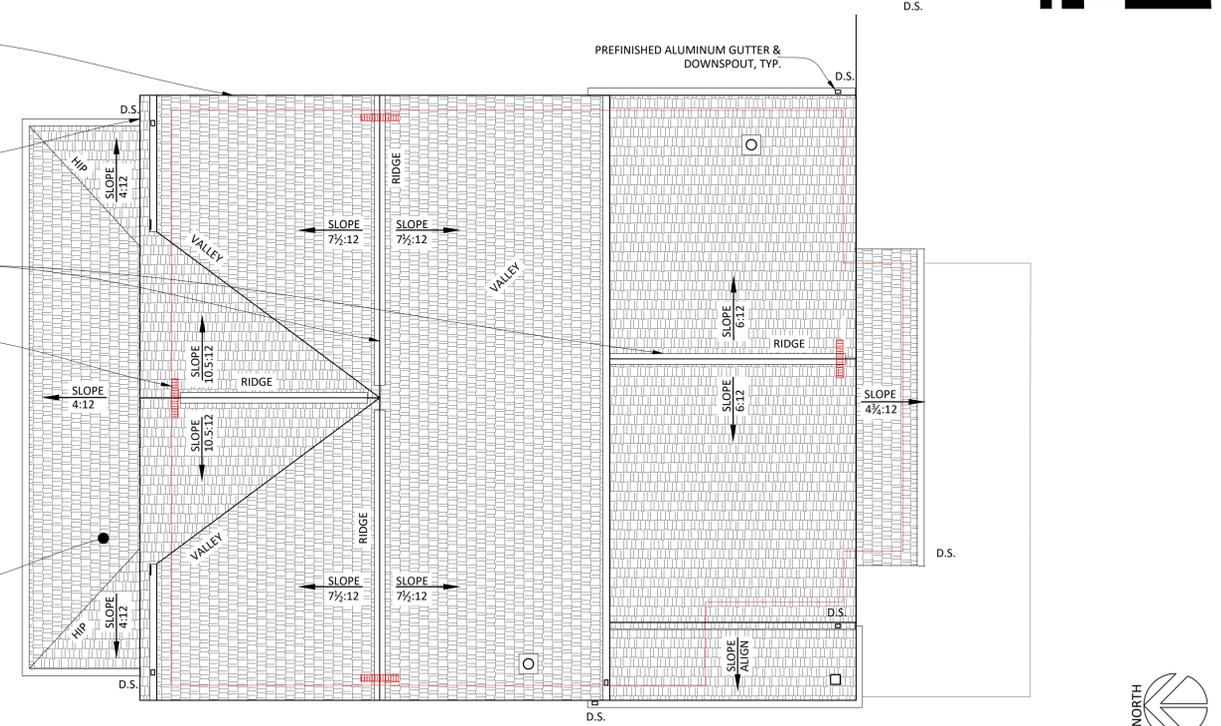
SHEET:  
**A1-00**

**ROOF CONSTRUCTION GENERAL NOTES**

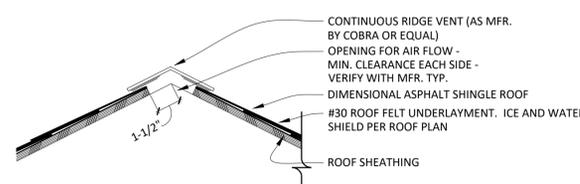
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF CMU OR EXTERIOR SHEATHING & ALL INTERIOR DIMENSIONS ARE FROM FACE OF G.W.B. FACE OF EXTERIOR STUD ALIGNS TO FOUNDATION (SHEATHING LAPS CMU.)
- HIGH SLOPE ROOF NOTES: ALL SHINGLES TO BE INSTALLED PER MANUFACTURER'S STANDARD WRITTEN RECOMMENDATIONS, PROVIDE & INSTALL ALL REQUIRED RIDGE VENTS, FLASHINGS, VALLEY FLASHINGS, DRIP EDGES, UNDERLAYMENT, ETC. TO ACHIEVE MANUFACTURER'S WARRANTY, GENERAL CONTRACTOR & ROOFING CONTRACTOR TO VERIFY & COORDINATE WITH ROOF SHINGLE MANUFACTURER REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL EXPOSED METAL FLASHING, COUNTERFLASHING, DRIP EDGES, GUTTERS, DOWNSPOUTS, AND ASSOCIATED TRIM COMPONENTS TO BE PREFINISHED ALUMINUM. COLOR TO MATCH ADJACENT TRIM PER OWNER'S SELECTION.
- VENTILATION CALCULATIONS:  
ATTIC AREA: 107,539 SQ IN (746.8 SQ FT)  
REQUIRED VENTILATION: 107,539 / 300 = 358 SQ IN  
VENTILATION PROVIDED:  
RIDGE VENTING:  
36.8 FT RIDGE X 18 SQ IN FREE VENTING PER LINEAR FOOT = 662 SQ IN > 358 / 2 (179)  
(COBRA 3" RIGID VENT BASIS OF DESIGN)  
SOFFIT VENTING:  
76.4 LF X 0.31 FT X 8 IN FREE AREA / FT = 189.4 IN SQ > 358 / 2 (179) REQUIRED  
(CERTAINTED VINYL CARPENTRY TRIPLE 3-1/8" SOLID AND INVISIBENT SUPER VENTILATED SOFFIT - BASIS OF DESIGN)

- CONTINUOUS RIDGE VENT: 18 SQ IN NFA PER LINEAR FOOT
- GABLE VENT
- SOFFIT VENT: AREA OF VENTILATED VINYL SOFFIT (10 SQ IN PER SF NFA)
- MECHANICAL/PLUMBING VENT
- GAS FIREPLACE B-VENT
- 2X3 DOWNSPOUT TO MATCH GUTTER
- VALLEY SPLASHGUARD TO MATCH GUTTER

**PROPOSED NEW ROOF CONSTRUCTION:**  
DIMENSIONAL ASPHALT SHINGLE ROOF OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION AS ILLUSTRATED (MIN 24" FROM INTERIOR SIDE OF WALL) OVER 1/2" MIN. ROOF SHEATHING (CONTINUOUSLY SHEATHED WITH EDGE CLIPS AS REQUIRED) OVER PREMANUFACTURED ROOF TRUSSES OR 2x RAFTERS. PROVIDE & INSTALL ALL REQUIRED EDGE, HEAD, RIDGE & VALLEY FLASHINGS TO ACHIEVE MFR'S STANDARD WARRANTY.



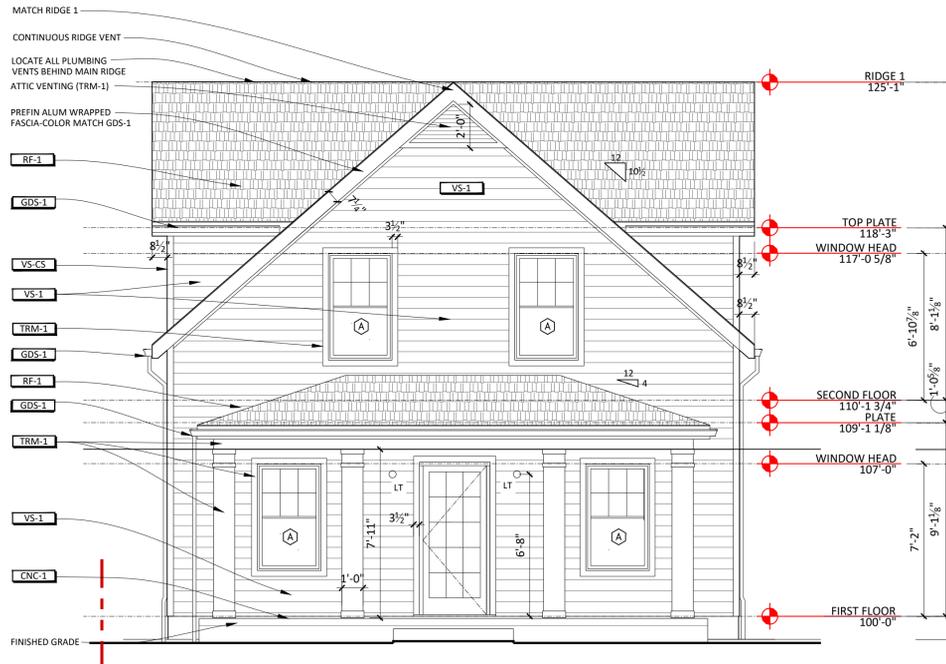
2 CONSTRUCTION ROOF PLAN  
SCALE: 1/4" = 1'-0"



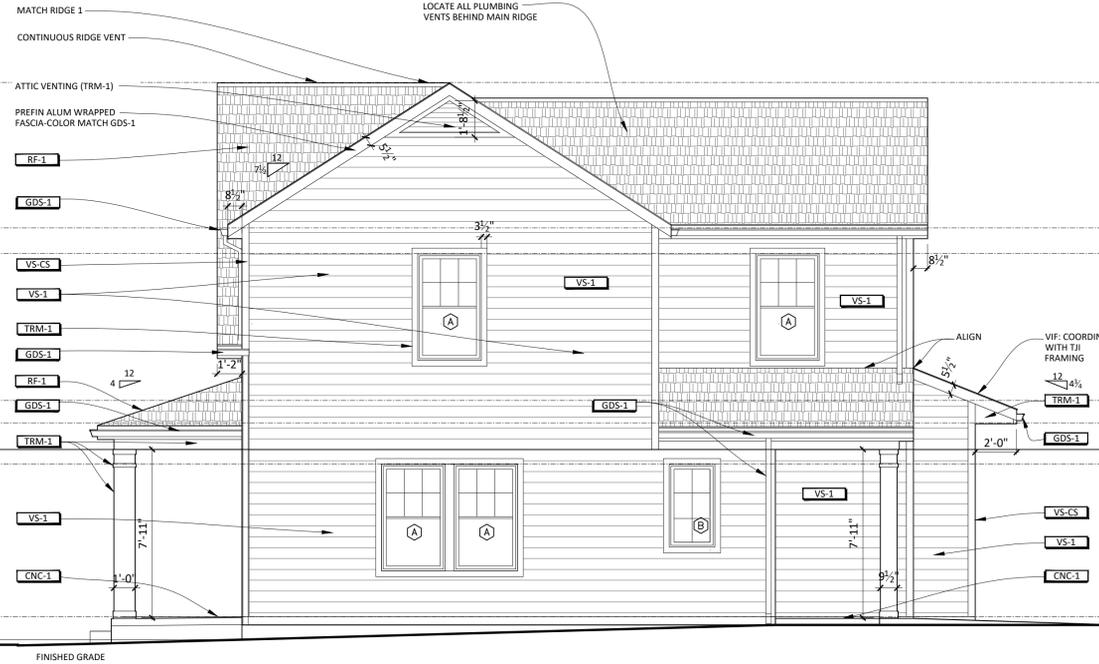
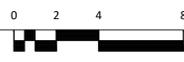


EXTERIOR FINISH LEGEND

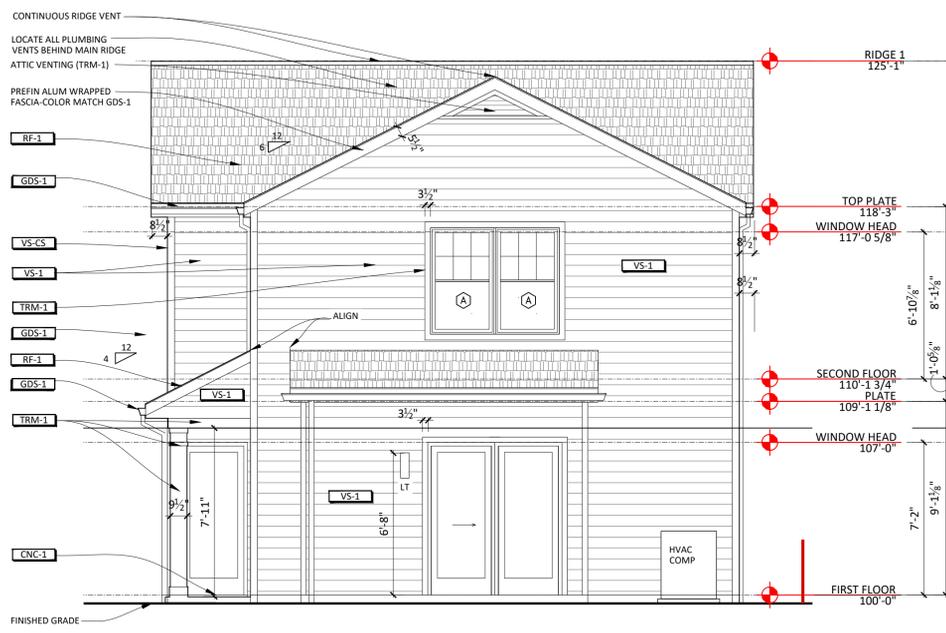
- RF-1 - DIMENSIONAL ASPHALT SHINGLE**  
-MFR.: GAF, CERTAINTED, (OR APPROVED EQUAL)  
-STYLE: T80  
-COLOR: PER MATERIALS SHEET T0-01 (CHARCOAL GRAY)  
-NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- RF-2 - MEMBRANE ROOFING**  
-TYPE: EPDM OR TPO (OR APPROVED EQUAL)  
-STYLE: SINGLE PLY 60 MIL  
-COLOR: COOL ROOF RATED  
-NOTE: TO BE INSTALLED OVER UNDERLAYMENT AND/OR ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- VS-1 - VINYL SIDING-CLAPBOARD**  
-MFR.: ALSIDE (OR APPROVED EQUAL)  
-STYLE: 5" CLAPBOARD  
-COLOR: HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-01 MATERIALS  
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-2 - VINYL SIDING-CLAPBOARD ACCENT - N/A**  
-MFR.: ALSIDE (OR APPROVED EQUAL)  
-STYLE: 4" CLAPBOARD  
-COLOR: PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET T0-02 MATERIALS  
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-CS - VINYL SIDING CORNER BOARD**  
-MFR.: PROVIA OR ALSIDE (OR APPROVED EQUAL)  
-STYLE: 1-1/4" TRADITIONAL SUPERCORNER  
-COLOR: WHITE TO MATCH TRIM  
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- TRM-1 - PAINTED TRIM**  
-MFR.: AZEK OR PER APPROVED SUBMITTAL  
-STYLE: SMOOTH FINISH  
-COLOR/STAIN: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE  
-NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED
- GDS-1 - PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT**  
-MFR.: (AS APPROVED BY OWNER)  
-STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT  
-COLOR: PREFINISHED WHITE (PER OWNER). REFERENCE SHEET T0-01 MATERIALS.  
-NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- CNC-1 - CONCRETE SLAB ON GRADE**  
-MFR.: (AS APPROVED BY OWNER)  
-STYLE: BROOM FINISH-PERPENDICULAR TO TRAVEL PATH  
-COLOR: STANDARD - PROVIDE OWNER OPTION FOR INTEGRAL COLOR OR FINISHING  
-NOTE: AIR ENTRAINED AT ALL EXTERIOR APPLICATIONS AND GARAGE SLAB



1 EXTERIOR ELEVATION  
FRONT (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION  
DRIVEWAY (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION  
REAR (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION  
SIDE (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



SEAL:  
**NOT FOR CONSTRUCTION**

ISSUED: \_\_\_\_\_ DATE: \_\_\_\_\_  
05-07-2025  
Issued for Review

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

**Todd - Watkins**  
*Prototype Housing to Accommodate:*  
**Single Family Small Lot Residence**  
6107 Ellen Avenue  
Cleveland, Ohio

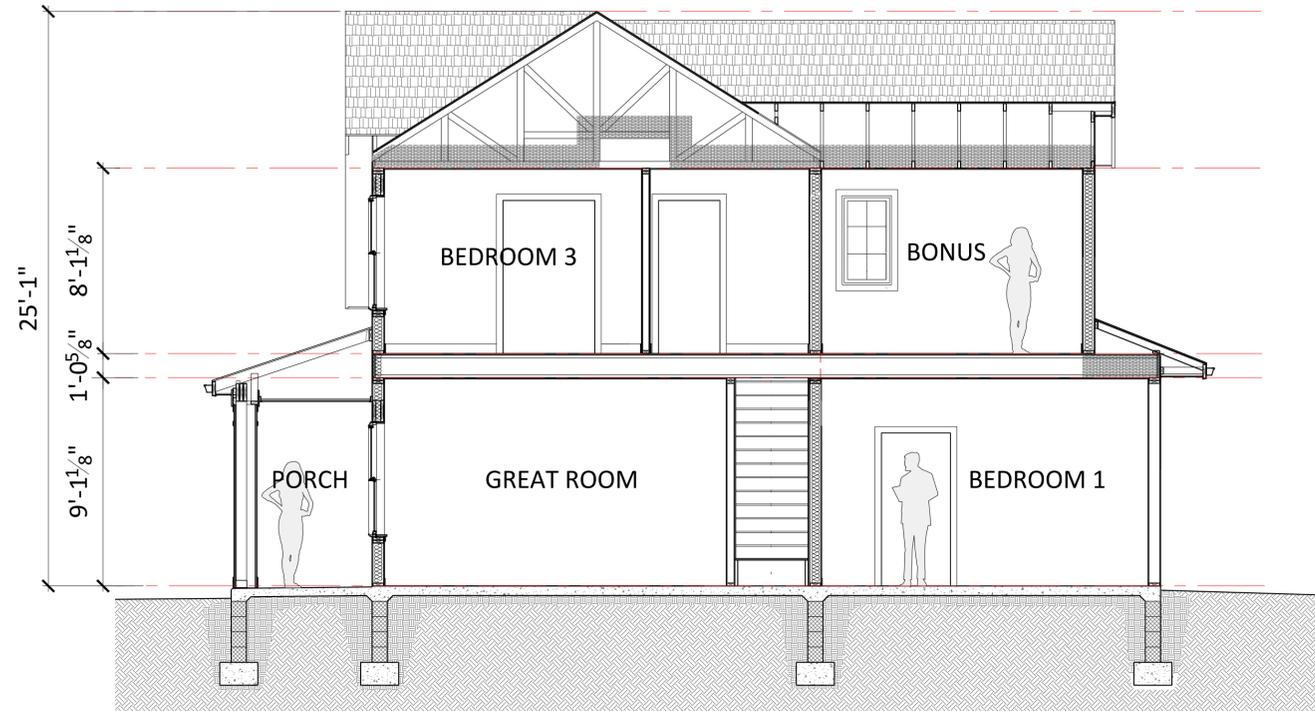
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ELEVATIONS

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
05.07.2025

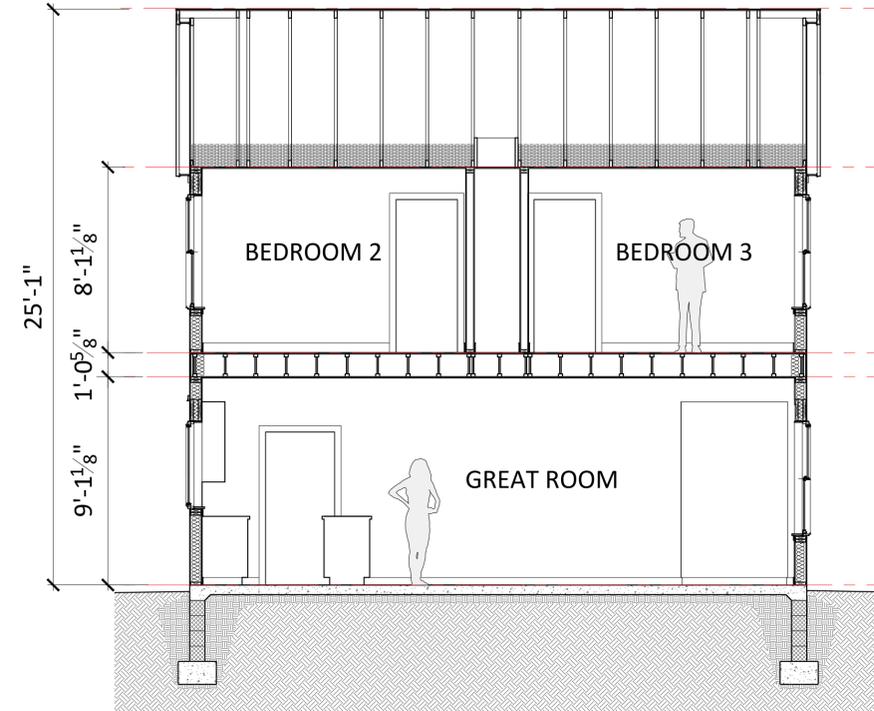
SHEET:

**A2-01**

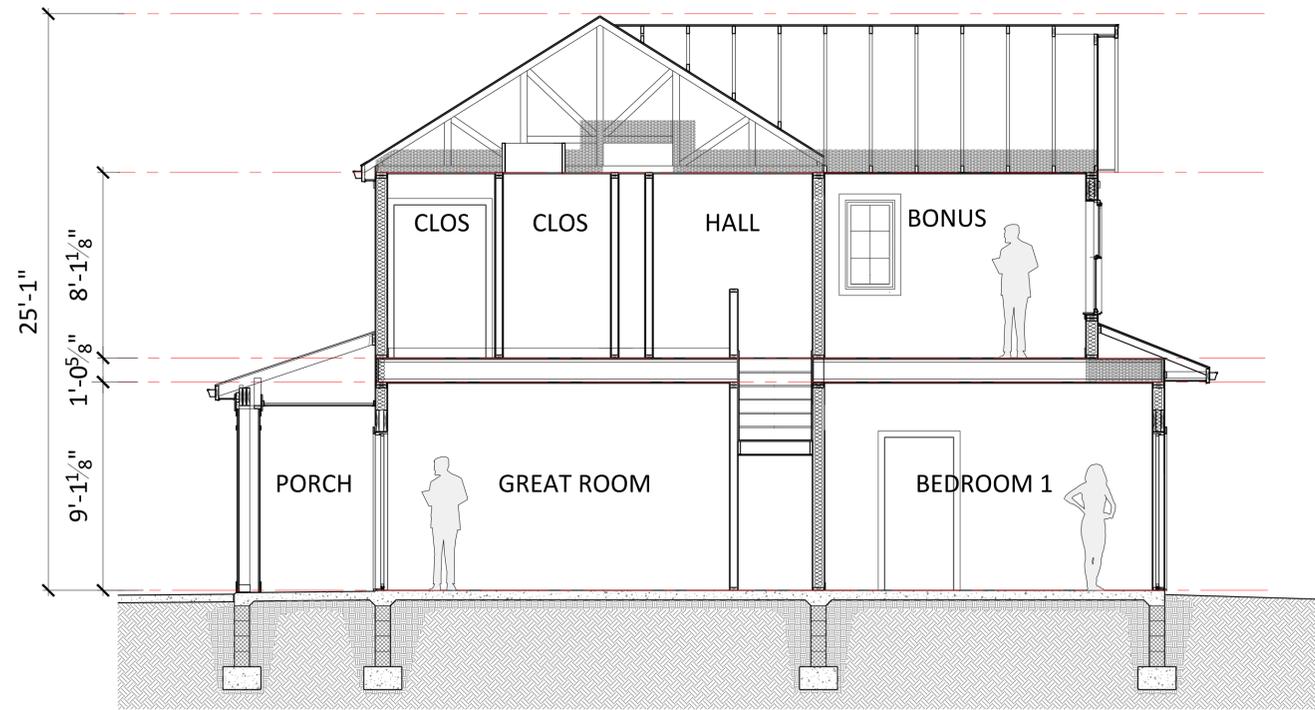
# BUILDING SECTIONS 1



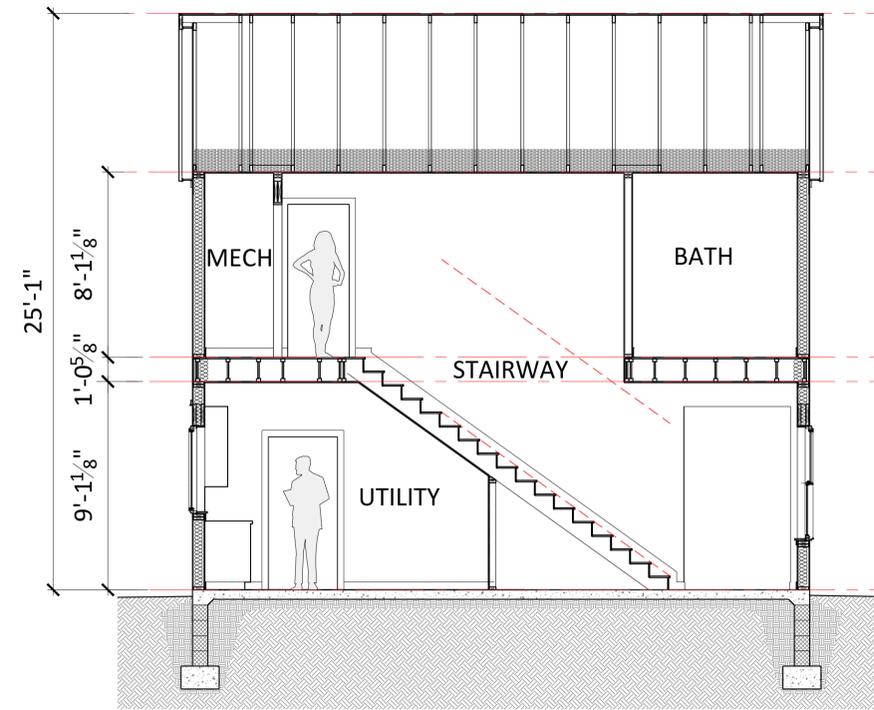
**LONGITUDINAL SECTION 1**



**CROSS SECTION 1**



**LONGITUDINAL SECTION 2**



**CROSS SECTION 2**

- LIGHT FRAMED TRUSSED W R-49 MIN, 24" O.C.
- 2X6 AT 16" O.C. EXTERIOR WALLS WITH R-19 MIN
- 12" TJIS AT 16" O.C.
- SLAB ON GRADE

SEAL:  
**NOT FOR CONSTRUCTION**

DATE: 05-07-2025  
ISSUED FOR REVIEW

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

6107 Ellen Avenue  
Cleveland, Ohio

**Todt - Watkins**  
*Prototype Housing to Accommodate:*  
**Single Family Small Lot Residence**

TITLE:  
**ONE CAR GARAGE**

ISSUE: DATE: 05.07.2025

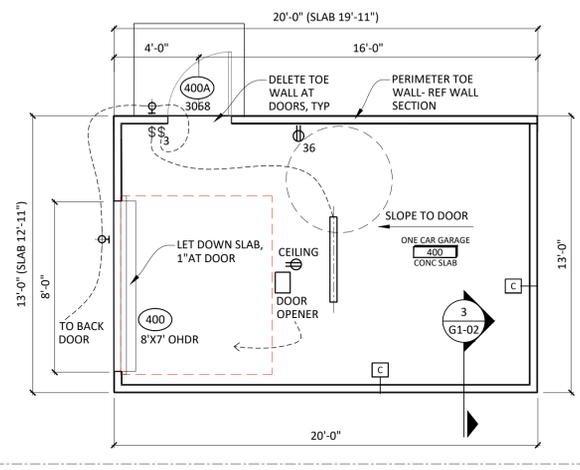
SHEET:  
**G1-01**

**CONSTRUCTION GENERAL NOTES**

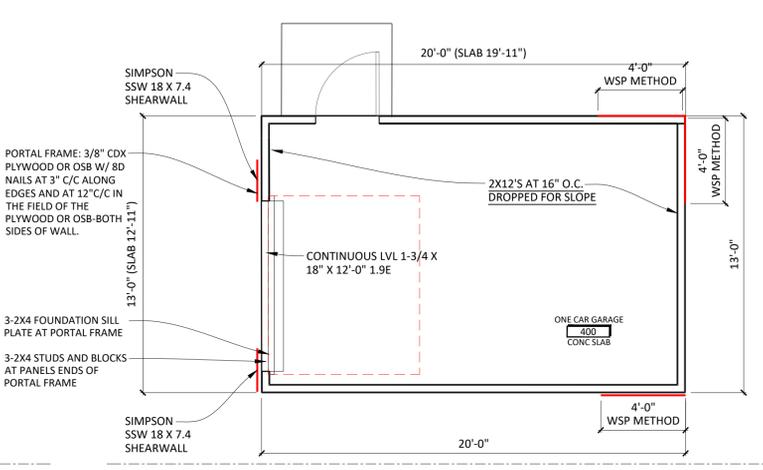
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR SHEATHING, FACE OF EXTERIOR SHEATHING LAPS FOUNDATION.
- REFERENCE SITE PLAN AND SITE DEVELOPMENT PLAN FOR ORIENTATION AND LOCATION WITHIN SITE FOR APPLICABLE SETBACKS AND FIRE RATED WALLS
- 1. REGARDING TYPICAL WALL CONSTRUCTION:
  - TYPICAL WALL AS NOTED
  - TYPICAL WALL WITH SOUND BATT OR THERMAL INSULATION
- 2. REFER TO MAIN RESIDENCE DOOR SCHEDULE FOR ALL DOOR TAGS.
- 3. ALL DOORS TO BE LOCATED 3" FROM THE NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).
- 4. REFER TO SHEET A4-00 FOR EXTERIOR FINISH LEGEND & ADDITIONAL INFORMATION.

**EXTERIOR FINISH LEGEND**

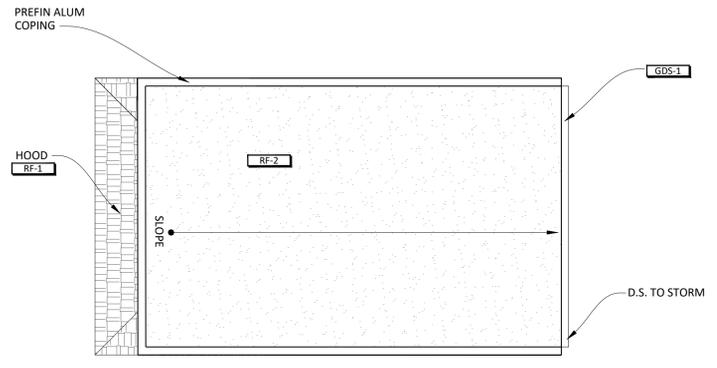
- RF-1** - DIMENSIONAL ASPHALT SHINGLE
  - MFR.: GAF, CERTAINTEED, (OR APPROVED EQUAL)
  - STYLE: TBD
  - COLOR: PER MATERIALS SHEET TO-01 (CHARCOAL GRAY)
  - NOTE: TO BE INSTALLED OVER #30 ROOF FELT UNDERLAYMENT OR ICE & WATER PROTECTION MEMBRANE WHERE INDICATED TO ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- RF-2** - MEMBRANE ROOFING
  - TYPE: EPDM OR TPO (OR APPROVED EQUAL)
  - STYLE: SINGLE PLY 60 MIL
  - COLOR: COOL ROOF RATED
  - NOTE: TO BE INSTALLED OVER UNDERLAYMENT AND/OR ACHIEVE 30 YEAR WARRANTY MINIMUM - ALSO REFER TO ROOF PLAN.
- VS-1** - VINYL SIDING-CLAPBOARD
  - MFR.: ALSIDE (OR APPROVED EQUAL)
  - STYLE: 5" CLAPBOARD
  - COLOR: HARBOR BLUE PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET TO-01 MATERIALS
  - NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-2** - VINYL SIDING-CLAPBOARD ACCENT - N/A
  - MFR.: ALSIDE (OR APPROVED EQUAL)
  - STYLE: 4" CLAPBOARD
  - COLOR: PER OWNER'S SELECTION FROM FULL RANGE. REFERENCE SHEET TO-02 MATERIALS
  - NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- VS-CS** - VINYL SIDING CORNER BOARD
  - MFR.: PROVIA OR ALSIDE (OR APPROVED EQUAL)
  - STYLE: 1-1/4" TRADITIONAL SUPERCORNER
  - COLOR: WHITE TO MATCH TRIM
  - NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- TRM-1** - PAINTED TRIM
  - MFR.: AZEK OR PER APPROVED SUBMITTAL
  - STYLE: SMOOTH FINISH
  - COLOR/STAIN: TO BE SELECTED BY OWNER TO MATCH WINDOW SYSTEM WHITE
  - NOTE: ALL TRIM BOARDS TO BE 1x UNLESS OTHERWISE NOTED
- GDS-1** - PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT
  - MFR.: (AS APPROVED BY OWNER)
  - STYLE: 5" OGEE GUTTER/ 2X3 DOWNSPOUT
  - COLOR: PREFINISHED WHITE (PER OWNER). REFERENCE SHEET TO-01 MATERIALS.
  - NOTE: INSTALLATION AS REQUIRED TO ACHIEVE MFR'S WARRANTY
- CNC-1** - CONCRETE SLAB ON GRADE
  - MFR.: (AS APPROVED BY OWNER)
  - STYLE: BROOM FINISH-PERPENDICULAR TO TRAVEL PATH
  - COLOR: STANDARD - PROVIDE OWNER OPTION FOR INTEGRAL COLOR OR FINISHING
  - NOTE: AIR ENTRAINMENT AT ALL EXTERIOR APPLICATIONS AND GARAGE SLAB



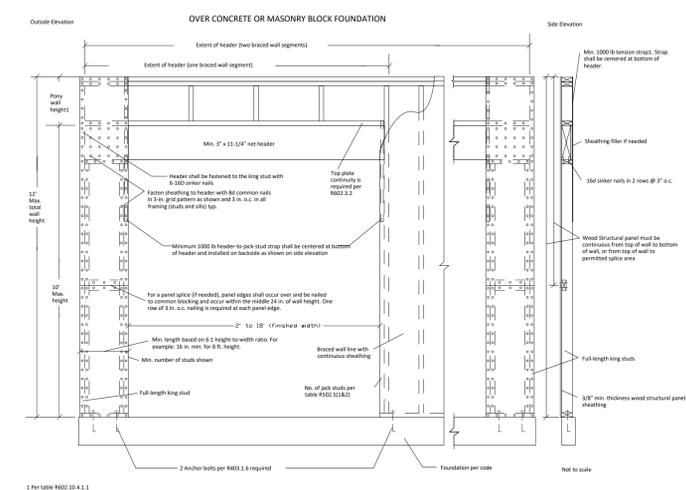
**1A GARAGE PLAN**  
SCALE: 1/4" = 1'-0"



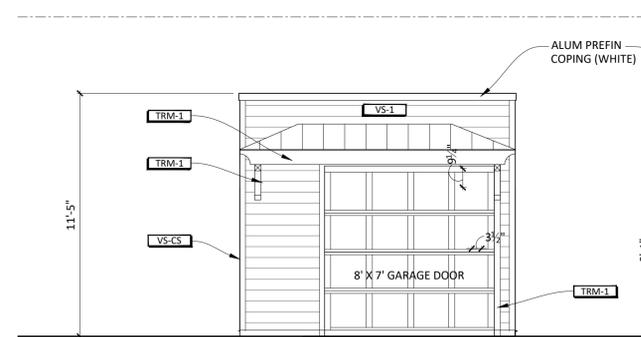
**1B GARAGE BRACING PLAN**  
SCALE: 1/4" = 1'-0"



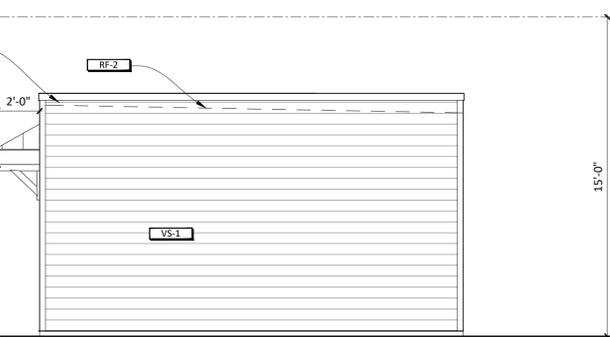
**2 GARAGE PLAN**  
SCALE: 1/4" = 1'-0"



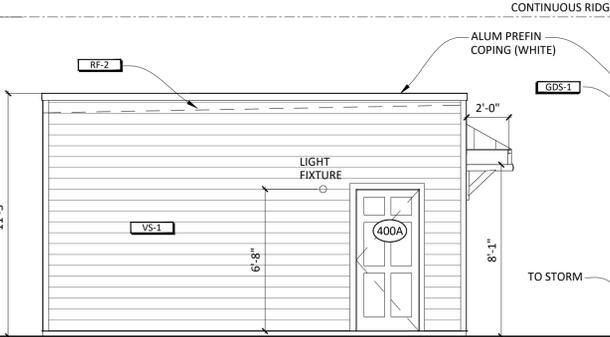
**3 TYPICAL GARAGE WALL SECTION**  
SCALE: 1" = 1'-0"



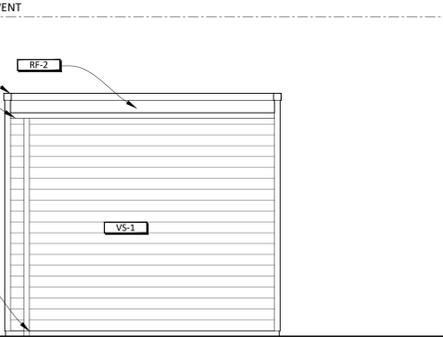
**4 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 PROPERTY LINE ELEVATION**  
SCALE: 1/4" = 1'-0"



**6 BACKYARD ELEVATION**  
SCALE: 1/4" = 1'-0"



**7 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"