



CITY OF CLEVELAND
Mayor Justin M. Bibb

2025 City of Cleveland

Landmarks Commission

May 22nd, 2025

Julie Trott, Commission Chair
Daniel Musson, Secretary





CITY OF CLEVELAND
Mayor Justin M. Bibb

Certificates of Appropriateness

May 22nd, 2025



Case 25-030

Certificate of Appropriateness

Ludlow Historic District

Parker Residence 3215 East 137th Street

Window Replacement

Project Representatives: Juan Hernandez, Berry Insulation

Ward 4: Councilmember Gray



3215 E. 137TH Window replacement project.

- Juan Hernandez
- Berry Insulation 2/21/2025



berry
insulation



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insulation

Scope of Work

At this time, I am seeking to replace the non-repairable windows, which are highlighted in the attached documentation, with vinyl windows that will match the **grid patterns, style, and handling** of the existing vinyl windows in the home. The upper windows and some of the lower windows have already been replaced with vinyl windows, and this proposal is intended to maintain a consistent, uniform aesthetic throughout the property.

Justification for Vinyl Replacement



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I understand that the Landmark Commission’s guidelines state that vinyl windows are “not typically considered for replacement.” However, in this particular case, I believe that vinyl windows represent the most practical and appropriate solution for maintaining the uniformity of the home’s appearance, as several windows have already been replaced with vinyl. Replacing the non-repairable windows with a material other than vinyl would create a noticeable inconsistency and detract from the overall historic character of the home.

Given the condition of the windows, replacing them with vinyl is the most feasible and cost-effective approach. The new windows will closely mirror the original design, including the grid patterns and window handling mechanisms, to preserve the architectural integrity of the house while ensuring the necessary functionality.

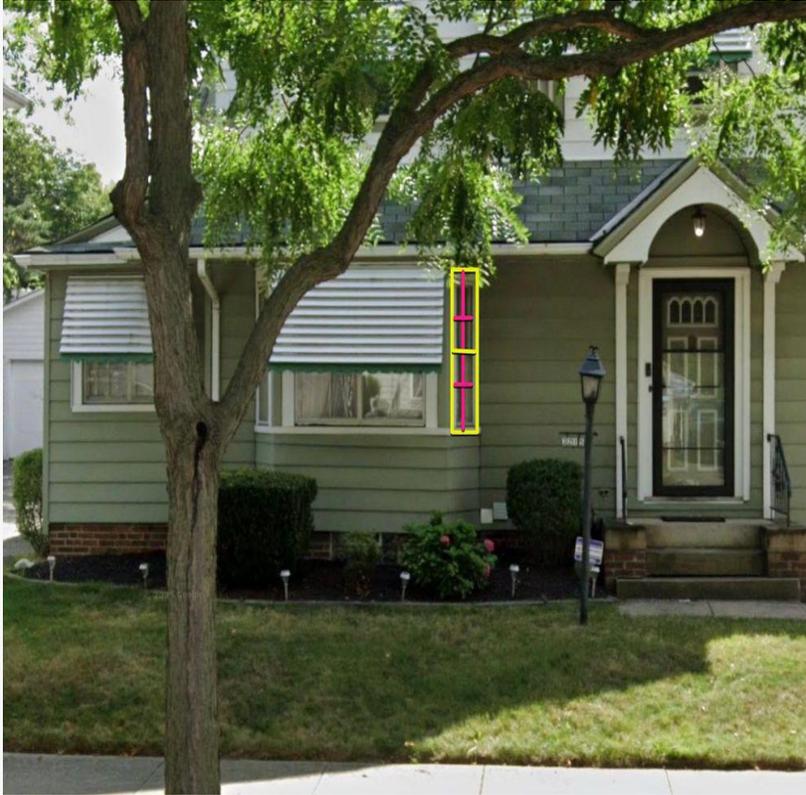


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Section 1



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window 1

Project: 3215 E 137th St

Date: 2/21/2025, 10:11am

Creator: Juan Hernandez



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window 2

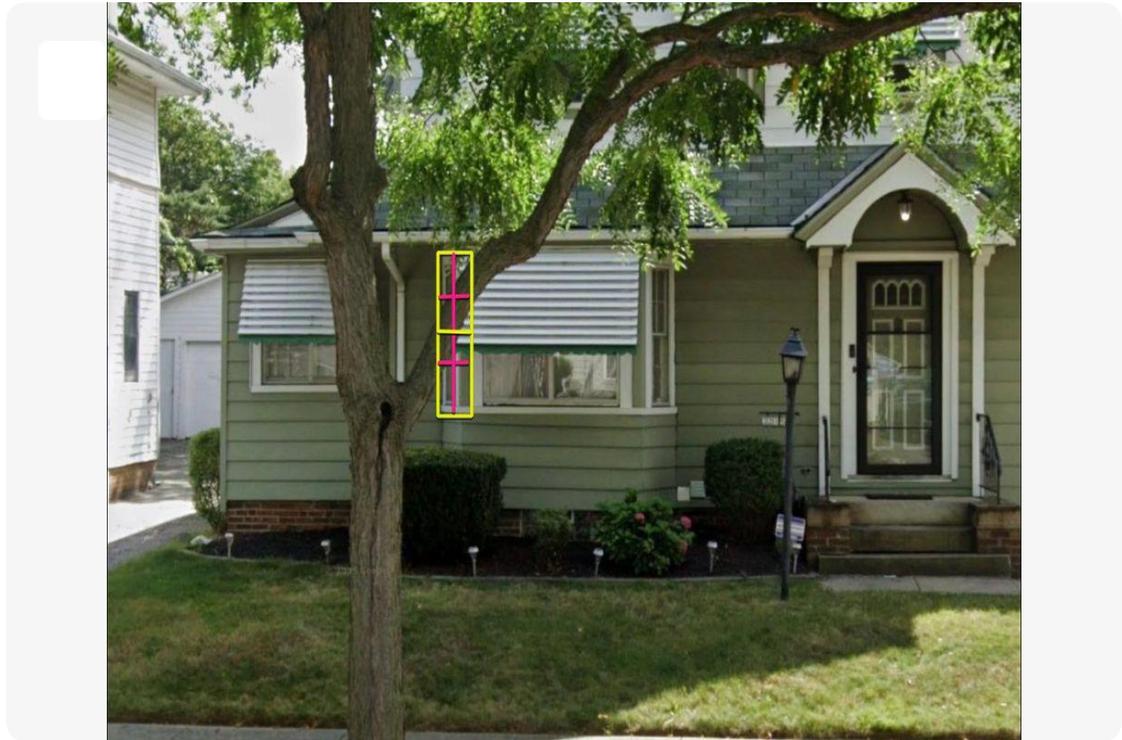
Project: 3215 E 137th St

Date: 2/21/2025, 10:19am

Creator: Juan Hernandez



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window 3

Project: 3215 E 137th St

Date: 2/21/2025, 10:19am

Creator: Juan Hernandez



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window 4

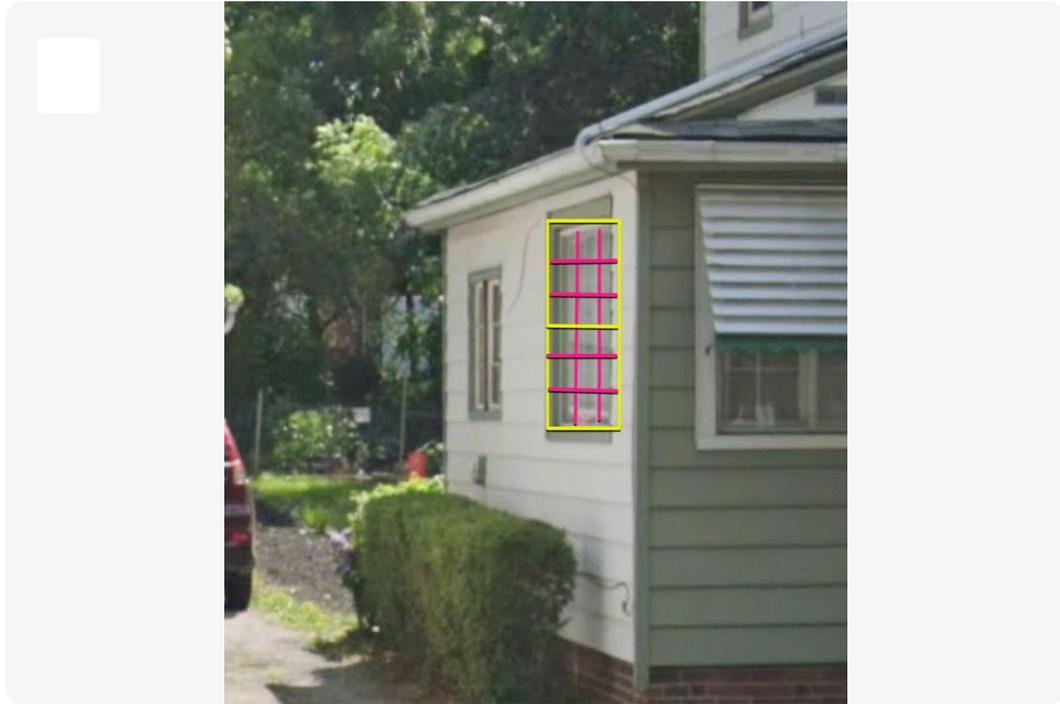
Project: 3215 E 137th St

Date: 2/21/2025, 10:19am

Creator: Juan Hernandez



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window 5

Project: 3215 E 137th St

Date: 2/21/2025, 10:19am

Creator: Juan Hernandez



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window 6



Project: 3215 E 137th St

Date: 2/21/2025, 10:19am

Creator: Juan Hernandez



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North Elevation





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West Elevation





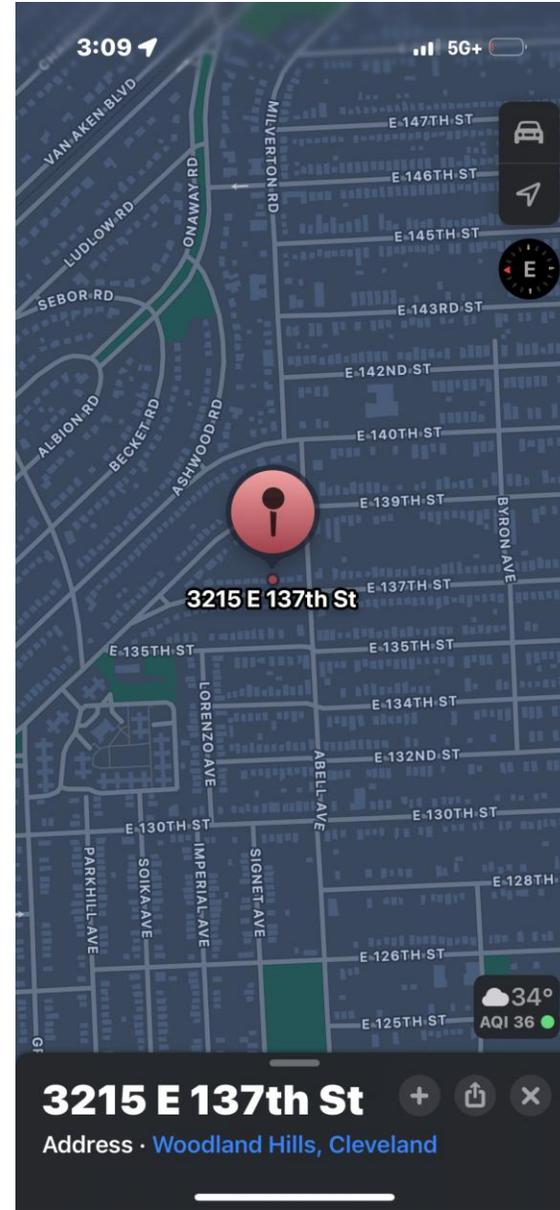
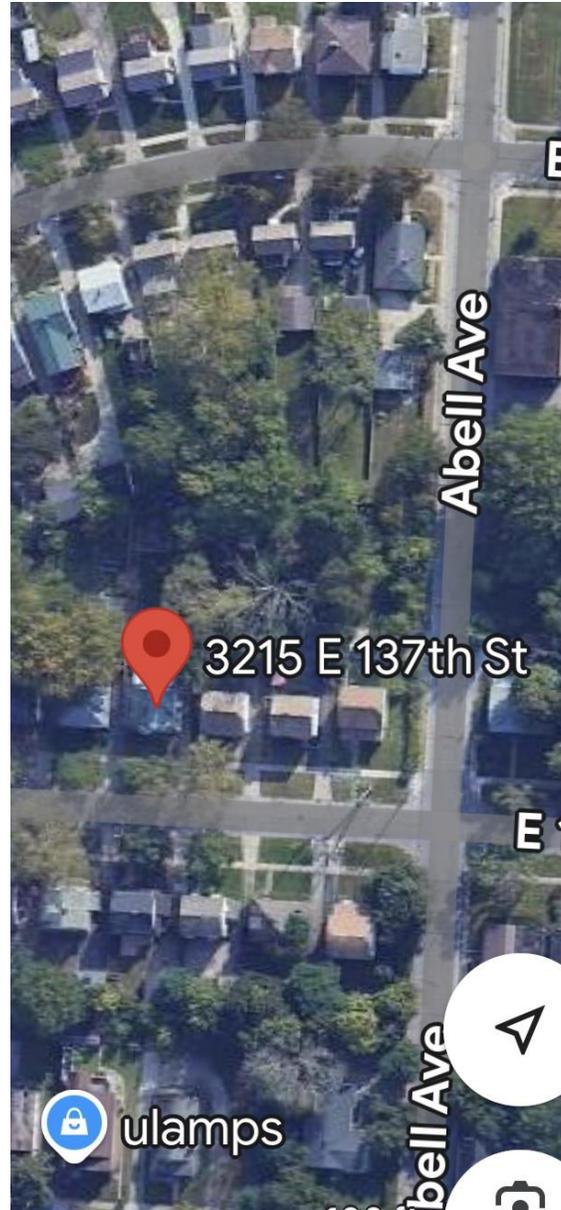
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South Elevation





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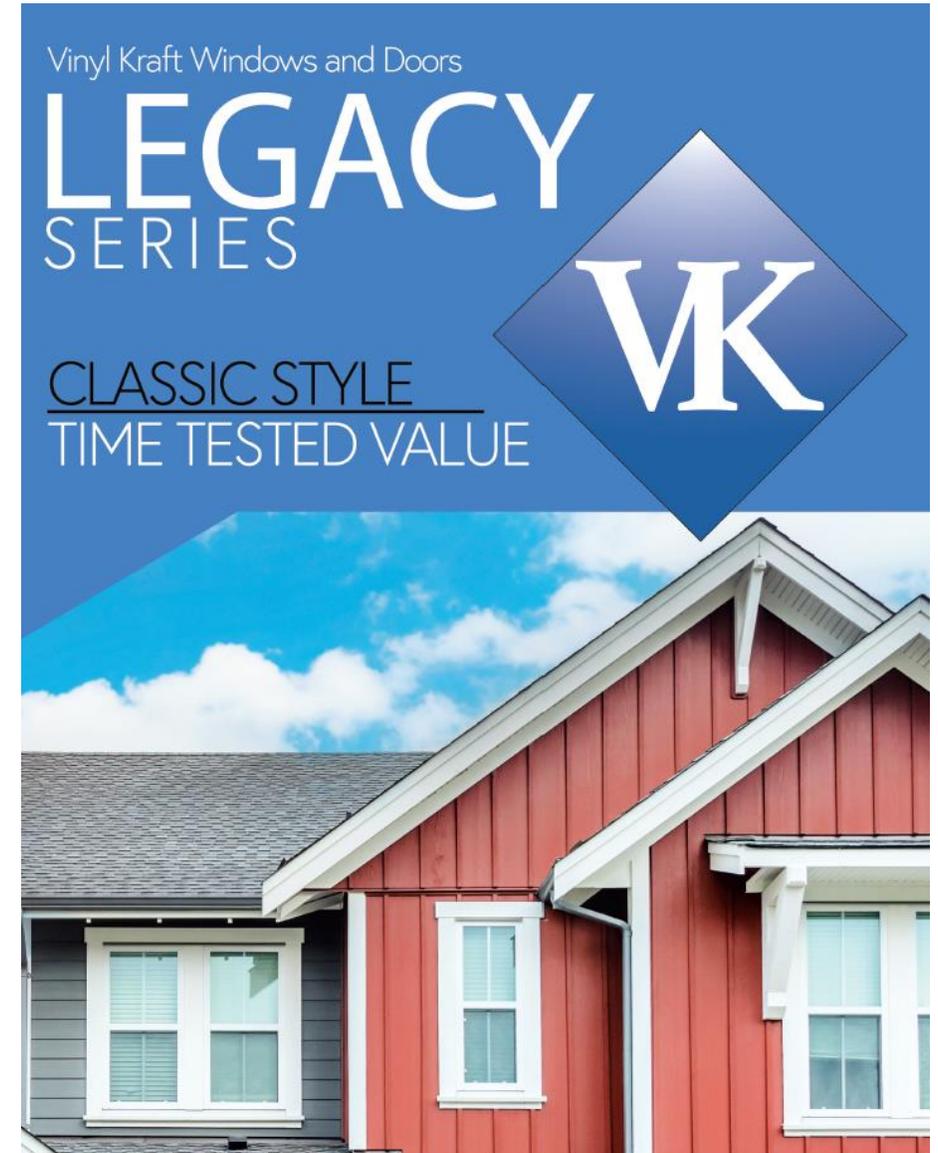


Maps



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Window spec
(continued)





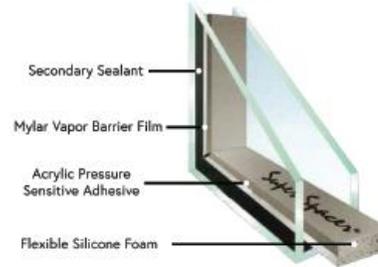
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ENGINEERED
FOR
LASTING
PERFORMANCE

VINYLKRAFT.COM

Super Spacer® Technology



Super Spacer Technology is standard in all of our windows and doors. It has a long list of advantages over all other glass spacer systems.

It is a true warm edge using high performance acrylic adhesives and flexible foam that retain argon gas like no other spacer on the market.

An independent study found that Argon gas Insulated Glass units made with Super Spacer lost less than 1% in five years in both Accelerated Weather Cycling and High Humidity tests. The Mylar vapor barrier film serves many purposes, including keeping moisture out and the gas in.



Features & Benefits

Our uniquely designed bulb seal in the interlocking meeting rail adds superior thermal resistance to air filtration and the Q-Lon bulb seal helps reduce outside air infiltration between the bottom sash and sill.

Unlike metal spacers, our Super Spacer can bounce back when put to the test against winds, temperature fluctuations, rain, snow, and UV light. The foam construction of Super Spacer allows it to expand and contract as needed, and then return to its original shape.

Windows lose and gain heat through conduction, convection, radiation, and air leakage. The all foam construction of Super Spacer is non-conductive, blocking heat flow through the window and providing one of the best thermal performing windows in the industry.

Window condensation can lead to molds that increase the likelihood of allergens, including fungi, viruses and mites that cause respiratory infections, allergies, and asthma. Super Spacer is non-conductive, creating a stronger barrier against mold.



The closed-cell polymer foam in Super Spacer transmits very little sound compared to conventional metal spacers, creating better sound absorption.

Up to **+17.10° F / 8.28° C** average sight line temperature difference on standard insulated glass.



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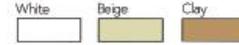


LEGACY
SERIES WINDOW

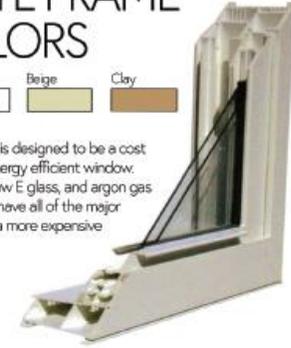
PREMIUM MATERIALS
ENDLESS POSSIBILITIES

VINYLKRAFT.COM

VINYL FRAME
COLORS



The Legacy is designed to be a cost effective, energy efficient window. By adding low E glass, and argon gas fill, you can have all of the major features of a more expensive window.



GLASS OPTIONS



Your choice of double pane, low-E glass options will directly affect the efficiency of your new windows.

We offer a variety of options to fit your region of the country and your budget. Our eK2 and eK366 glass options, along with argon gas fill, are all options that you will want to discuss with your window representative.

GRILLE OPTIONS



The dust-free grilles are placed in the air space between the window panes.

They are offered in three different colors and styles - Brass Pencil, Sculptured, and Flat.



Brass Pencil



3/4" Sculptured



3/8" Flat



The double hung design is one of the most commonly requested windows we make, and for good reason. It will fit most any application throughout the home, and the smooth operation on the tilt latches allow the glass to be cleaned inside and out from inside the room.

The addition of grilles create a classic appearance that adds curb appeal. Heavy duty extruded half screens come standard.



The Legacy slider features an almost unhindered view and offers maximum ventilation when open. Its solid brass rollers make opening large windows effortless. Adding shapes or fixed lights will create a focal point to the outside architecture, and allows for limitless interior room design.

Heavy duty extruded half screens come standard. (Note: Sliders do not have vent stops.)



Fixed lights will allow for light inside while adding style to the outside of your home.

The energy efficiency of these windows result in both low energy bills and added light to any room.



Here is where you can get creative! The Legacy can be custom built to any number of geometric shapes and designs. Half rounds, ovals, triangles, eyebrows, and quarter rounds are just a few of the options.

Take a walk around your home and just imagine the limitless possibilities.



berry
insulation

LEGACY

SERIES WINDOW



A long tradition as one of the best values in replacement windows, the Vinyl Kraft Legacy Series offers enhanced curb appeal, increased energy efficiency, and is built to the highest standards.

By combining virgin vinyl and an all welded frame and sash with our advanced Super Spacer System, Legacy Series windows are an ideal choice for every project, delivering unmatched performance and quality.



Vinyl Kraft[™]
Windows and Doors
VINYLKRAFT.COM

740-456-4949

info@vinylkraft.com

3404 Rhodes Ave.
New Boston, OH 45662



Case 25-031

Certificate of Appropriateness

East Boulevard Historic District

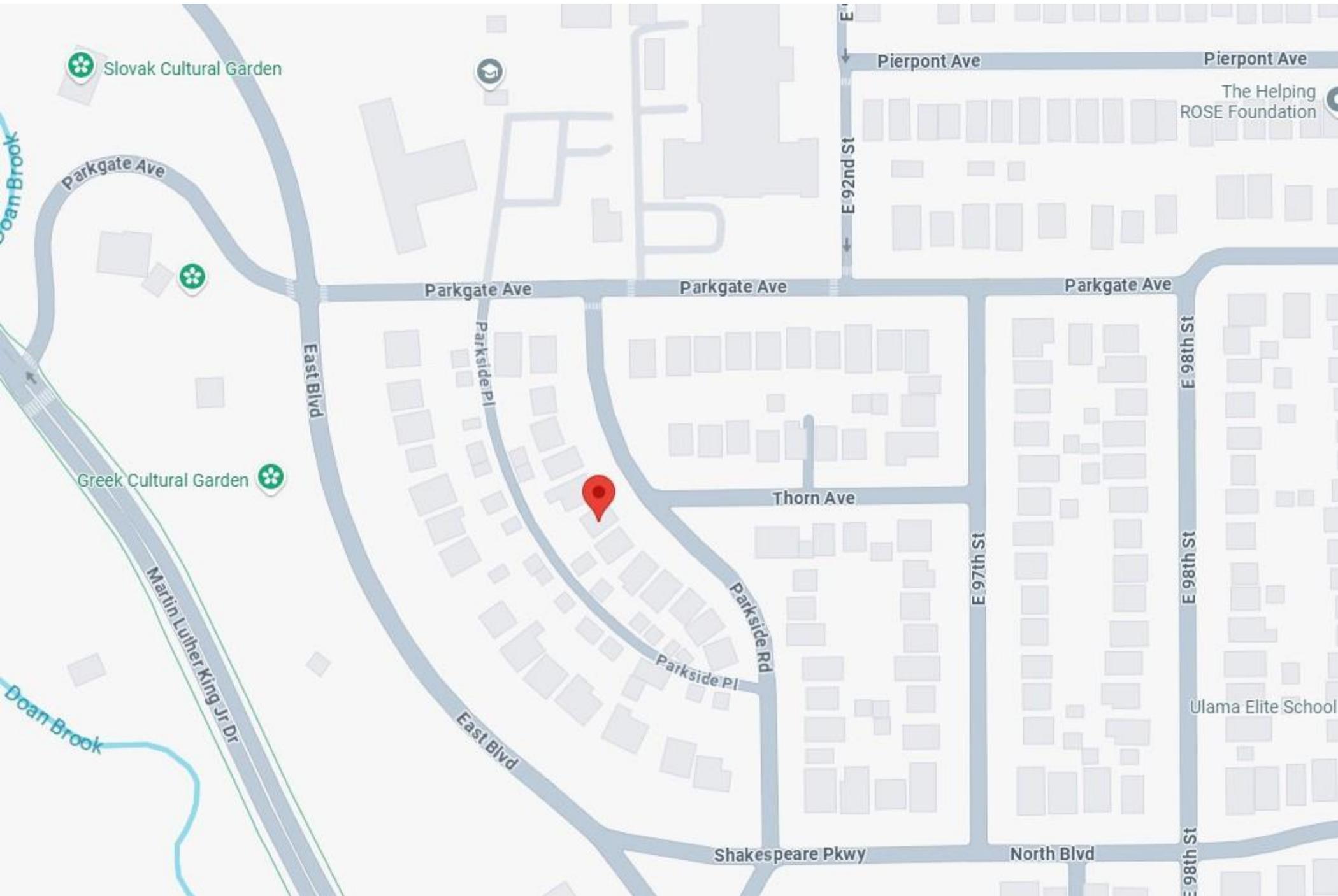
Pearson Residence 1070 Parkside Road

Window Replacement

Project Representatives: Window Nation, LLC

Ward 9: Councilmember Conwell





Slovak Cultural Garden

The Helping ROSE Foundation

Greek Cultural Garden

Ulama Elite School



4350 Renaissance Parkway
Warrensville Heights, OH 44128
License #: 2089965



Date of Agreement:

April 15, 2025

Customer ID: PRI542651

Contract No: WN-CLE-117386-0

Sales: 866-446-2846

Service: 866-217-9582

PRODUCT SPECIFICATIONS

Buyer Address: Sandra Pearson Alice Pearson 1070 Parkside Rd Cleveland, OH 44108	Buyer Contact Information: (216) 339-1222 Home	Buyer Email Information: jacksonalice1927@gmail.com
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Buyer(s) listed above hereby jointly and severally agrees to purchase the goods and/or services listed on the accompanying specification sheets, in accordance with the prices and terms described in the Custom Remodeling and Improvement and the Product Specifications (collectively, this "Agreement").

Windows - Barrington inclusions: Beveled exterior frame with drip-cap, Fusion welded frame and sashes, Limit lock on double hung windows, dual-fin wool pile weather stripping, cam-action lock, special formula uPVC, Certi-Force balance system on double hung window, Integral lift rail, Intercept stainless steel spacer, reinforced meeting rail and bottom sash rail, Dura-Sill engineered sloped sill, Soft-Seal straddle gasket, exterior custom capping, installation by a certified crew, clean up and haul away of all job related debris.

DO NOT SIGN THIS CONTRACT IF THERE ARE ANY BLANK SPACES.

It is agreed and understood by and between parties that the Product Specifications, along with the Custom Remodeling and Improvement Agreement, constitutes the entire understanding between the parties, and replaces any and all prior negotiations, representations, or agreements, either written or oral. The Product Specifications may not be changed, modified, or varied in any way (with exception that installation materials may be substituted with similar products when inventory shortages exist) unless such changes are in writing and signed by both Buyer(s) and Window Nation, LLC. Buyer(s) hereby acknowledge that Buyer(s) has read the Product Specifications.

I have read and received each page of this Product Specification.

Window Nation

Signature of Exterior Design Consultant

Michael Tannous - License #: 2089965

Buyer(s)

Buyer Name: Sandra Pearson

Buyer Name: Alice Pearson

YOU, THE BUYER(S), MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. SEE THE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT.

4350 Renaissance Parkway
Warrensville Heights, OH 44128
License #: 2089965



Date of Agreement:

April 15, 2025

Customer ID: PRI542651

Contract No: WN-CLE-117386-0

Sales: 866-446-2846

Service: 866-217-9582

PRODUCT SPECIFICATIONS

Buyer Address:

Sandra Pearson
Alice Pearson
1070 Parkside Rd
Cleveland, OH 44108

Buyer Contact Information:

(216) 339-1222 Home

Buyer Email Information:

jacksonalice1927@gmail.com

Work Order Details:

Model: Barrington W:34.0" H: 57.0" Location: 2nd Floor, Bedroom Quantity: 2

Style: Double Hung

Color: Interior White > Exterior White

Configuration: Standard Sash Configuration

Grids: No Grids

Glass: Extreme 2 Pane/Lowe & Argon > Standard > Not OBS

Screen: Half Screen



Model: Barrington W:34.0" H: 58.0" Location: 2nd Floor, Bedroom Quantity: 5

Style: Double Hung

Color: Interior White > Exterior White

Configuration: Standard Sash Configuration

Grids: No Grids

Glass: Extreme 2 Pane/Lowe & Argon > Standard > Not OBS

Screen: Half Screen



Model: Barrington W:41.0" H: 50.0" Location: 2nd Floor, Bedroom Quantity: 3

Style: Double Hung

Color: Interior White > Exterior White

Configuration: Standard Sash Configuration

Grids: No Grids

Glass: Extreme 2 Pane/Lowe & Argon > Standard > Not OBS

Screen: Half Screen



Additional Items:

4350 Renaissance Parkway
Warrensville Heights, OH 44128
License #: 2089965



Date of Agreement:

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Sales: 866-446-2846

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PRODUCT SPECIFICATIONS

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Alice Pearson
1070 Parkside Rd
Cleveland, OH 44108

Buyer Contact Information:

(216) 339-1222 Home

Buyer Email Information:

jacksonalice1927@gmail.com

Special Instructions:

None

Installation Details:

Window Removal Type:

Exterior Trim:

Exterior Trim Color: Glacier White

Sealant: OSI Quad Max

Insulation Around Window: OSI Quad Foam

Clean Up and Haul Away: Yes

Additional products needed in the future: No

Customer agrees to allow Window Nation to post a
yard sign until 30 days after install: Yes

Year house was built: 1918

EPA Lead Containment Required: Yes

EPA Lead Testing Required: No

HOA Approval Required: No

4350 Renaissance Parkway
Warrensville Heights, OH 44128
License #: 2089965



Date of Agreement:

April 15, 2025

Customer ID: PRI542651

Contract No: WN-CLE-117386-0

Sales: 866-446-2846

Service: 866-217-9582

CUSTOM REMODELING AND IMPROVEMENT AGREEMENT

Buyer Address:

Sandra Pearson
Alice Pearson
1070 Parkside Rd
Cleveland, OH 44108

Buyer Contact Information:

(216) 339-1222 Home

Buyer Email Information:

jacksonalice1927@gmail.com

Buyer(s) listed above hereby jointly and severally agrees to purchase the goods and/or services of Window Nation, LLC. ("Contractor") in accordance with the prices and terms described in this document and the Product Specifications, which are incorporated as part of the Agreement (collectively, this "Agreement"). This Agreement represents a cash sale of goods and services. Buyer(s) agrees to pay the cost of the goods and services purchased as described herein, regardless of timing or approval of any financing Buyer(s) may seek for their purchase.

Sale Total	\$8,451
Setup & Disposal Fee	\$349
Permit Administration	\$100
Total Sale Price	\$8,900
Sales Tax (0.0%)	\$0
Total Amount Due	\$8,900
Down Payment	\$2,937
Down Payment Type	Check - 4735585
Balance Due	\$5,963
Amount Financed	\$0
COD (Payable at time of install)	\$5,963

Estimate Project Start: 6-8 Weeks
Estimate Project Finish: 1 to 3 days after start

Buyer(s) acknowledge that definite start and completion dates are NOT of the essence. Delays beyond Contractors control not included in calculating timeframes. See Section 6 of the Terms and Conditions.

This Agreement constitutes the entire agreement and understanding between the parties, and this Agreement replaces any and all prior negotiations, representations, or agreements, either written or oral. No amendment, modification or waiver of this Agreement shall be valid or effective unless in writing and signed by both parties. Buyer(s) hereby acknowledge that Buyer(s) 1) has read the entire Agreement and has received a completed, signed, and dated copy of this Agreement, including the two accompanying Notice of Cancellation forms, on the date first written above and 2) was orally informed of his/her right to cancel this transaction.

Buyer(s) also agrees and understands that if Buyer(s) finance the work with a third-party, the terms of that financing will be contained on separate documents, including any finance charge. Price includes all discounts and promotions.

I have read and received each page of this Agreement.

Window Nation

Signature of Exterior Design Consultant

Michael Tannous - License #: 2089965

Buyer(s)

Buyer Name: Sandra Pearson

Buyer Name: Alice Pearson

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BACK
BED





Dealer Quotation - Quote 609582

10250 Philipp Pkwy
 Streetsboro, OH 44241
www.soft-lite.com

Phone: (330) 528 3400
 Fax: (330) 528 3501

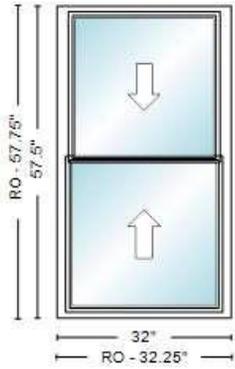
QUOTE EXPIRES
30 DAYS FROM REQUESTED

Bid For
WINDOW NATION - CLE DELIVERY 1910 SUMMIT COMMERCE PARKWAY TWINSBURG, OH 44087 Business: 410 766 8488 Fax:

Shipping Address
1910 SUMMIT COMMERCE PARKWAY TWINSBURG, OH 44087 Quote Name: PRJ476878 Pearson

Customer Number	PO	Required Date	Quoted By
714460	PRJ476878 PEARSON	4/21/2025	treybot

Line	Qty	Description	Each	Total
10-1	1	BAR Double Hung Double Hung 32 x 57.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
 GLASS.PKG.KP

Lower Sash
 GLASS.PKG.LK

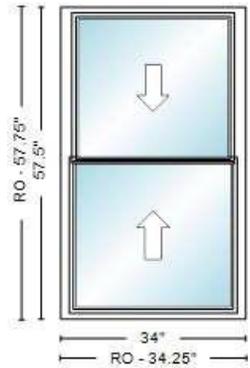
SASH.REINFORCED

Upper Sash
 GLASS.SPACER.KP

Lower Sash
 GLASS.SPACER.LK

Customer Number	PO	Required Date	Quoted By
714460	PRJ476878 PEARSON	1/1/0001	treybot

Line	Qty	Description	Each	Total
20-1	1	BAR Double Hung Double Hung 34 x 57.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
 GLASS.PKG.KP

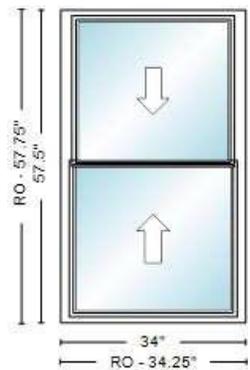
Lower Sash
 GLASS.PKG.LK

SASH.REINFORCED

Upper Sash
 GLASS.SPACER.KP

Lower Sash
 GLASS.SPACER.LK

Line	Qty	Description	Each	Total
30-1	1	BAR Double Hung Double Hung 34 x 57.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
 GLASS.PKG.KP

Lower Sash
 GLASS.PKG.LK

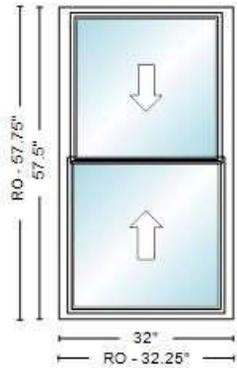
SASH.REINFORCED

Upper Sash
 GLASS.SPACER.KP

Lower Sash
 GLASS.SPACER.LK

Customer Number	PO	Required Date	Quoted By
714460	PRJ476878 PEARSON	1/1/0001	treybot

Line	Qty	Description	Each	Total
40-1	1	BAR Double Hung Double Hung 32 x 57.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
GLASS.PKG.KP

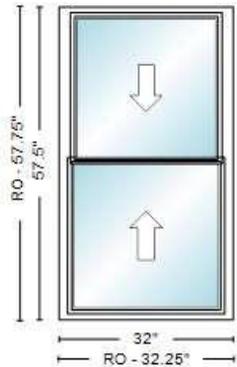
Lower Sash
GLASS.PKG.LK

SASH.REINFORCED

Upper Sash
GLASS.SPACER.KP

Lower Sash
GLASS.SPACER.LK

Line	Qty	Description	Each	Total
50-1	1	BAR Double Hung Double Hung 32 x 57.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
GLASS.PKG.KP

Lower Sash
GLASS.PKG.LK

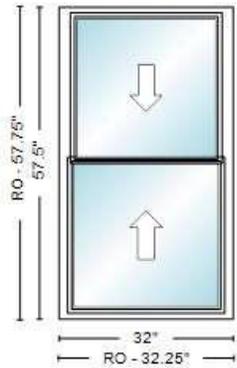
SASH.REINFORCED

Upper Sash
GLASS.SPACER.KP

Lower Sash
GLASS.SPACER.LK

Customer Number	PO	Required Date	Quoted By
714460	PRJ476878 PEARSON	1/1/0001	treybot

Line	Qty	Description	Each	Total
60-1	1	BAR Double Hung Double Hung 32 x 57.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
GLASS.PKG.KP

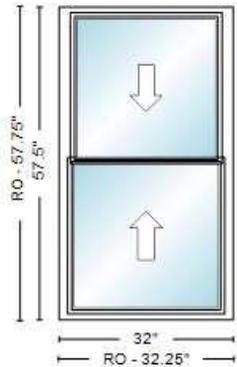
Lower Sash
GLASS.PKG.LK

SASH.REINFORCED

Upper Sash
GLASS.SPACER.KP

Lower Sash
GLASS.SPACER.LK

Line	Qty	Description	Each	Total
70-1	1	BAR Double Hung Double Hung 32 x 57.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
GLASS.PKG.KP

Lower Sash
GLASS.PKG.LK

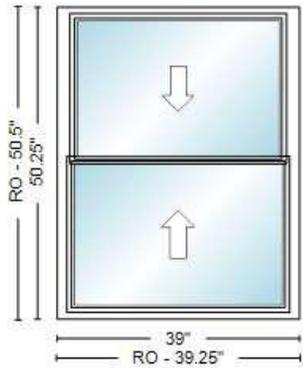
SASH.REINFORCED

Upper Sash
GLASS.SPACER.KP

Lower Sash
GLASS.SPACER.LK

Customer Number	PO	Required Date	Quoted By
714460	PRJ476878 PEARSON	1/1/0001	treybot

Line	Qty	Description	Each	Total
80-1	1	BAR Double Hung Double Hung 39 x 50.25		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
GLASS.PKG.KP

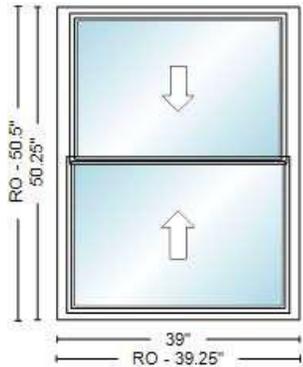
Lower Sash
GLASS.PKG.LK

SASH.REINFORCED

Upper Sash
GLASS.SPACER.KP

Lower Sash
GLASS.SPACER.LK

Line	Qty	Description	Each	Total
90-1	1	BAR Double Hung Double Hung 39 x 50.25		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
GLASS.PKG.KP

Lower Sash
GLASS.PKG.LK

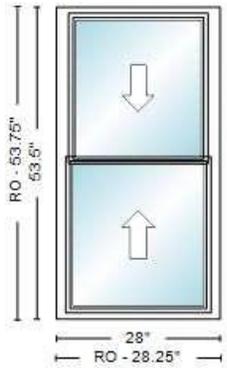
SASH.REINFORCED

Upper Sash
GLASS.SPACER.KP

Lower Sash
GLASS.SPACER.LK

Customer Number	PO	Required Date	Quoted By
714460	PRJ476878 PEARSON	1/1/0001	treybot

Line	Qty	Description	Each	Total
100-1	1	BAR Double Hung Double Hung 28 x 53.5		



NFRC Values

U-FACTOR	SHGC
0.29	0.38
VT	CR
0.53	60

Viewed from Inside
 Base Color = Soft-Lite White
 Half Screen
 Sill Expander = Y
 Lock Type = Standard
 Lock Color = Soft-Lite White
 Install Note = Yes
 Bedroom
 Reinforced Sash = Y
 Double Locks = Y
 Glass Package = Lowe NEZ
 Lowe Type = Loe 270
 Argon Gas
 Stainless Spacer
 Single Strength

Comment

Bedroom

Breakdown

Base Price

Upper Sash
 GLASS.PKG.KP

Lower Sash
 GLASS.PKG.LK

SASH.REINFORCED

Upper Sash
 GLASS.SPACER.KP

Lower Sash
 GLASS.SPACER.LK

Total Qty: 10	Total Material	+	EMI	+	Processing	+	7.00 % Tax	=	Total
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M&I Labor: \$1,656.90

Case 25-032

Certificate of Appropriateness

East Boulevard Historic District

Artis Residence 9722 North Boulevard

Tile Roof Replacement

Project Representatives: Dave Lamp, Trident Restoration

Ward 9: Councilmember Conwell





Sandra Artis Property

9722 North Blvd

Cleveland, Ohio 44108-3347

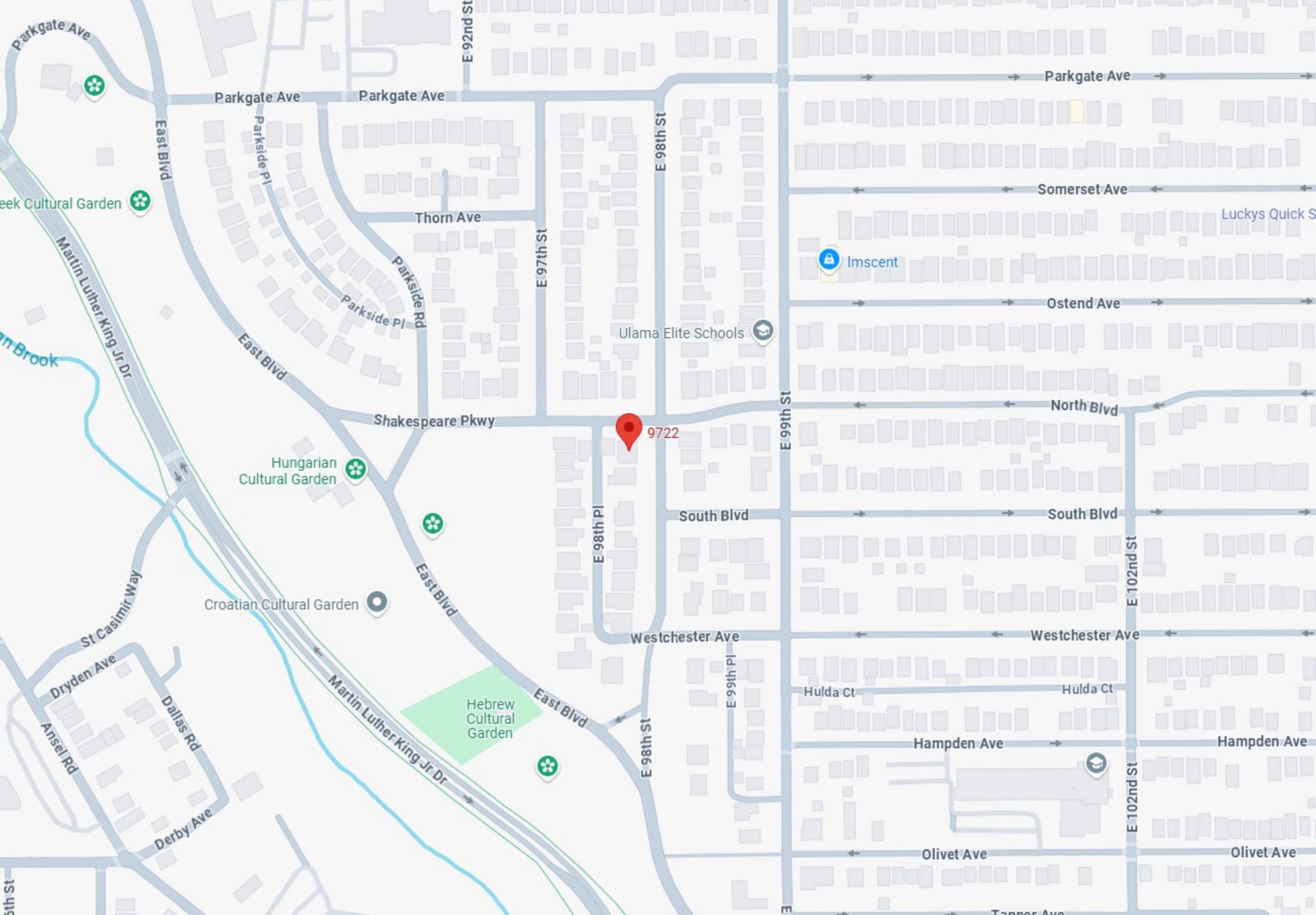
Restoration Work to be Performed by Trident Restoration

Original Cause of Damage:

Wind Storm to the roof which cause water damage to
the second floor of home

Need Approval For:

Replacement of roof with architectural asphalt shingles



9722

Parkgate Ave

Parkgate Ave

Parkgate Ave

Parkgate Ave

East Blvd

Parkside Pl

Thorn Ave

E 98th St

Somerset Ave

Luckys Quick S

Imscent

Ostend Ave

Ulama Elite Schools

East Blvd

Parkside Rd

Shakespeare Pkwy

North Blvd

Hungarian Cultural Garden

9722

South Blvd

South Blvd

Croatian Cultural Garden



East Blvd

Westchester Ave

Westchester Ave

St Casimir Way

Hulda Ct

Hulda Ct

Dryden Ave

Dallas Rd

Hebrew Cultural Garden

East Blvd

Hampden Ave

Hampden Ave

Martin Luther King Jr Dr

E 98th St

E 102nd St

Ansel Rd

Olivet Ave

Olivet Ave

Derby Ave

Tanner Ave

North Blvd

North Blvd

North Blvd

North Blvd

STOP

E 98th Pl

E 98th Pl

E 98th Pl

E 98th Pl

E 98th St

E 98th St

E 98th St

9702

9710

9716

9722

1122

1121

1123

1123

1125

1128

9805

1129

1129

1132

1137

10905008
10905009
10905010
10905011
10905012
10905013
10905014
10905015

10905024
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E97TH ST
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10908051

SHAKESPEARE PKWY

EAST BLVD
10701001
E98TH PL

10907001
10907060
10907059
10907058
10907057
10907056
10907055
10907054
10907053
10907052
10907003
10907042
10907043
10907045
10907046
10907047
10907048
10907049
E98TH PL

10907005
10907041
10907012
10907011
10907062
10907061
80070601

10907013
10907040
10907020
10907014
10907015
91070601
10907023

OSTEND AVE
10908063
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NORTH BLVD
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10908099
10908100
10908101
10908102
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10908106
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10908119
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10908110
10908109

SOUTH BLVD
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WESTC





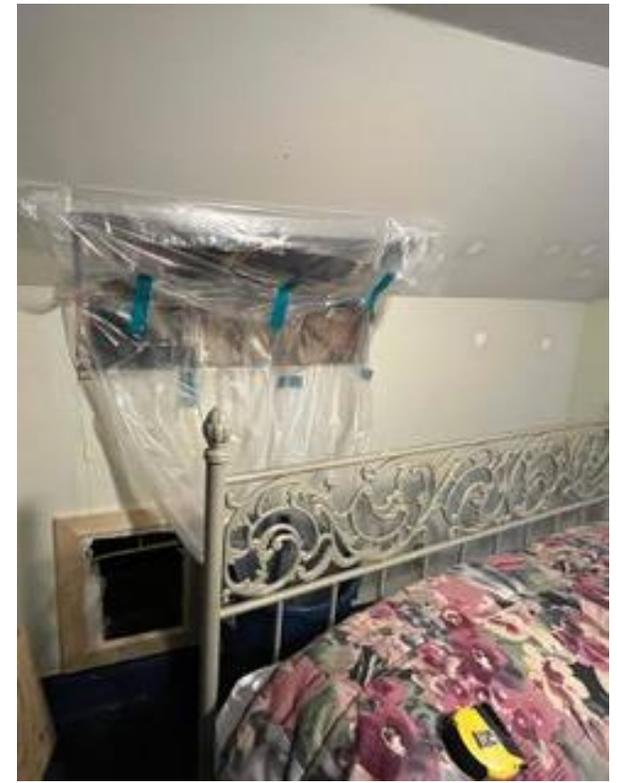
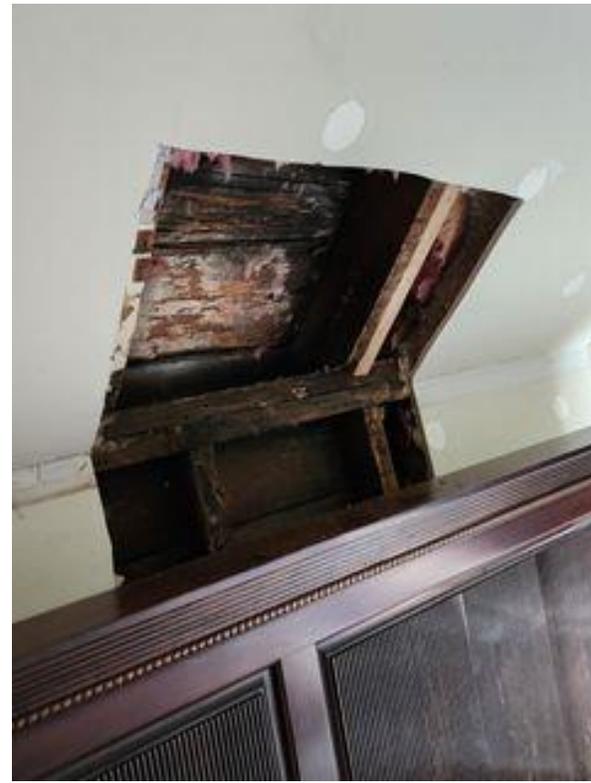




Day of Loss Inspection Photos

- Note: House has existing asphalt shingles on porch and front dormer



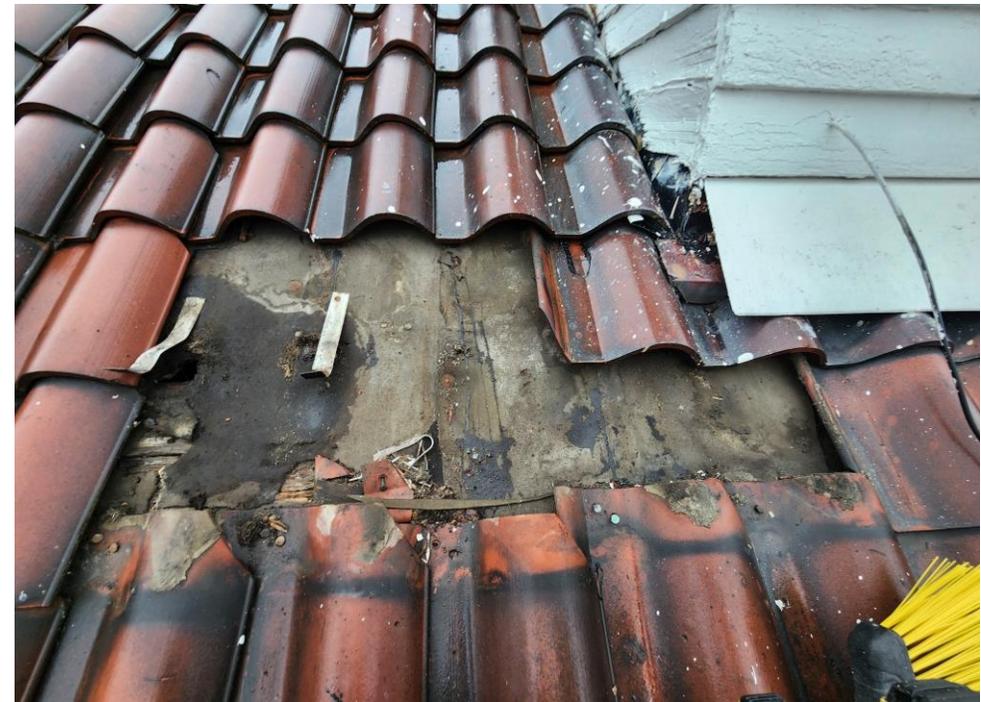


Interior Damage Caused



Temporary Roof Repairs Completed

Overall Roof Inspection Photos



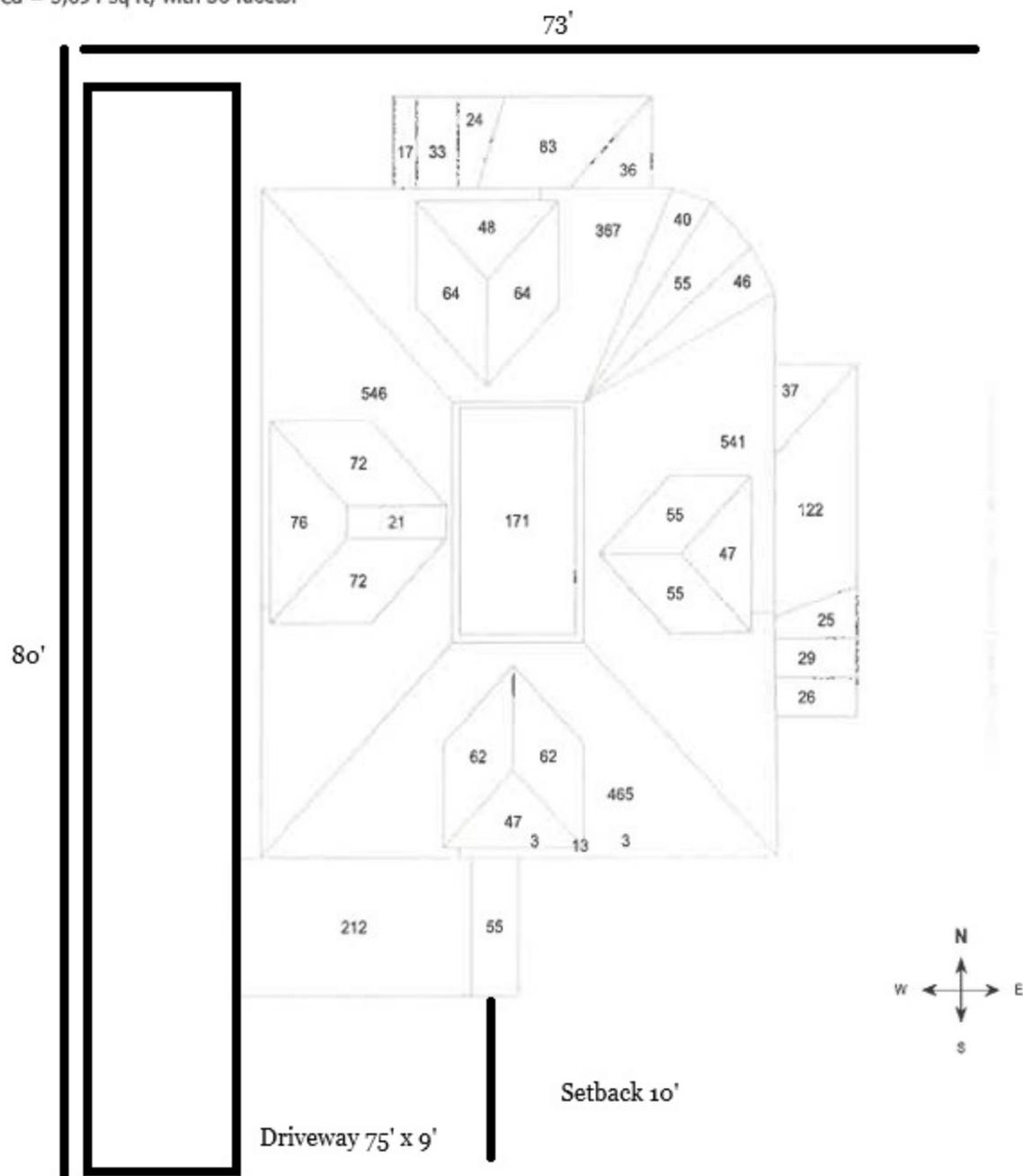


North Blvd. Existing Roofs of Neighbors

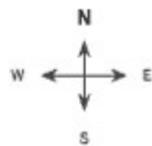
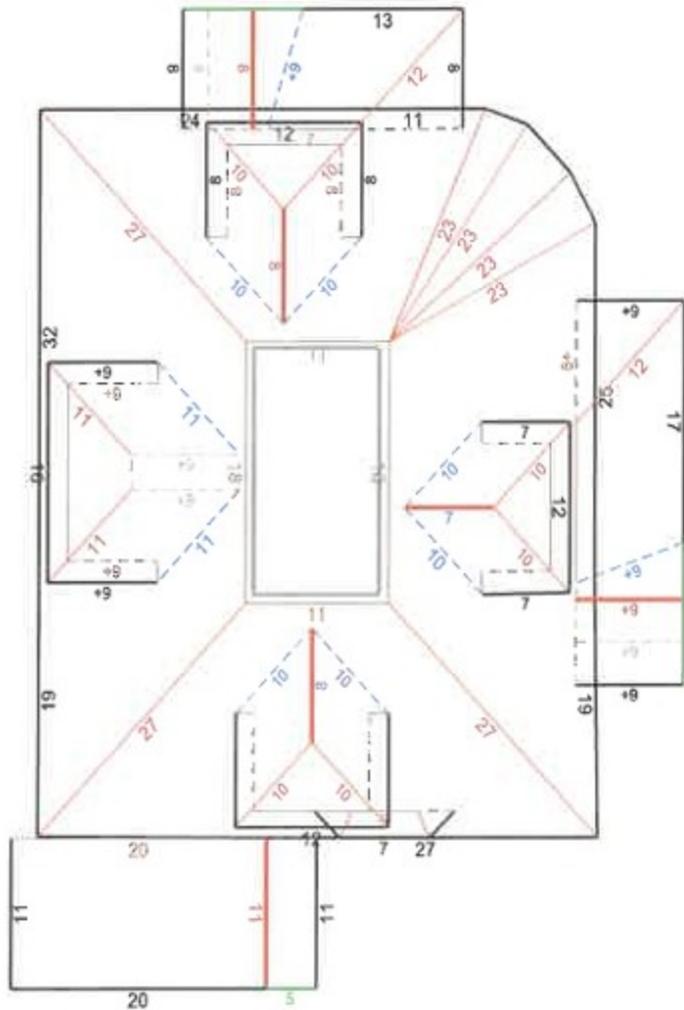
In Conclusion

- Due to overall current status of the roof- the entire roof needs to be replaced.
- Insurance Company will not pay for the entire roof to be replaced- only the area around dormer where the leak happened
- Trident's solution is to remove existing clay tile roof and use that money to replace with an asphalt shingle roof
- Elevations on the existing roof already have asphalt shingles
- Neighbors on street have asphalt shingles on their roofs

Total Area = 3,694 sq ft, with 36 facets.



Note: This diagram shows the square feet of each roof facet (rounded to the nearest Foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).





Case 25-024

Certificate of Appropriateness

Holy Resurrection Church

Schematic Review
completed April 10th,
2025

Joan Yellen Horvitz Performance Gallery
Cleveland Public Theatre
6201 Detroit Avenue

Addition

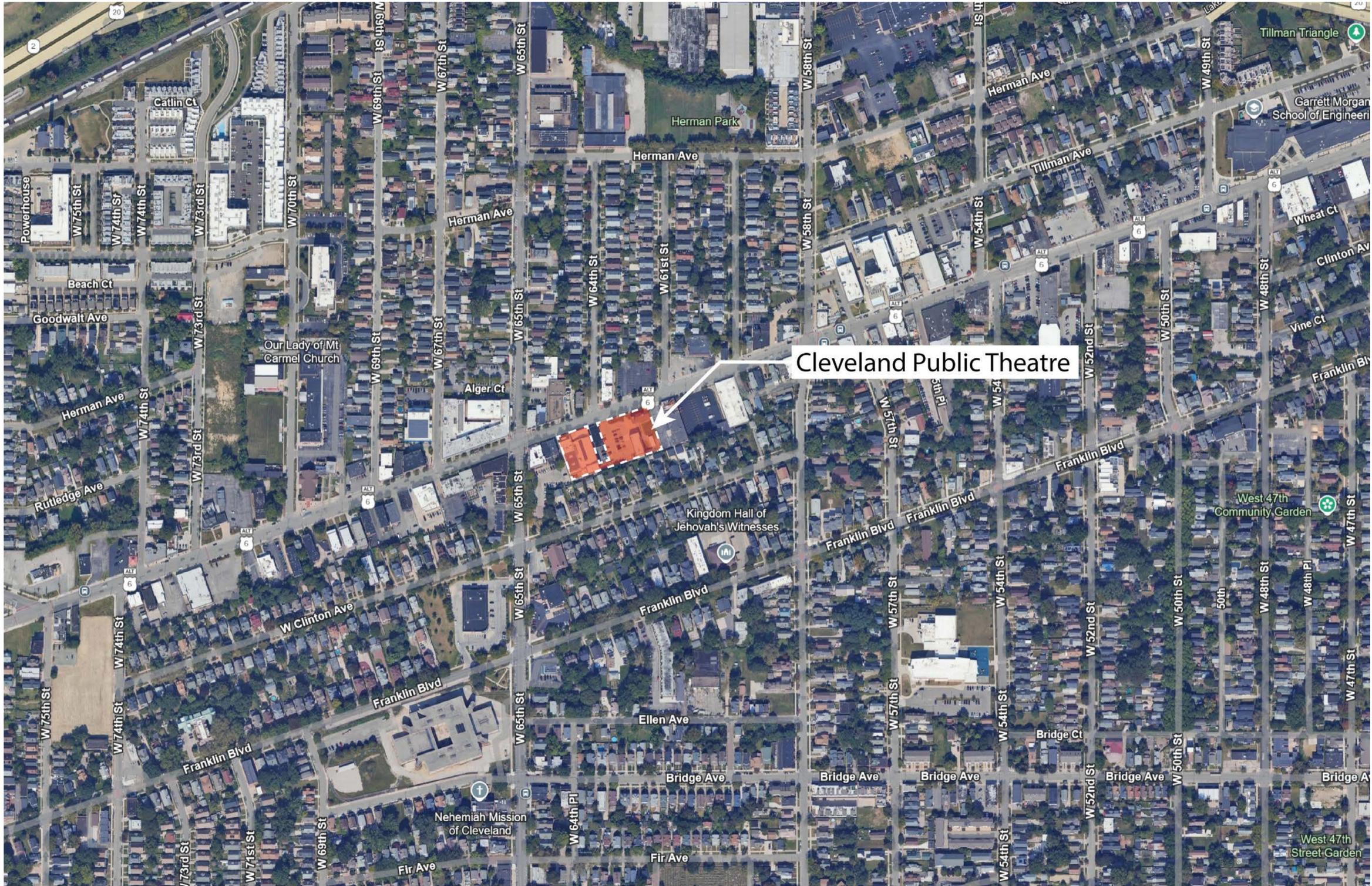
Project Representatives: Peter Bohan, Perspectus; Carter Edman, Marous Brothers Construction; John Williams, Process Creative Studios, Inc.; Raymond Bobgan, Cleveland Public Theatre
Ward 15: Councilmember Spencer

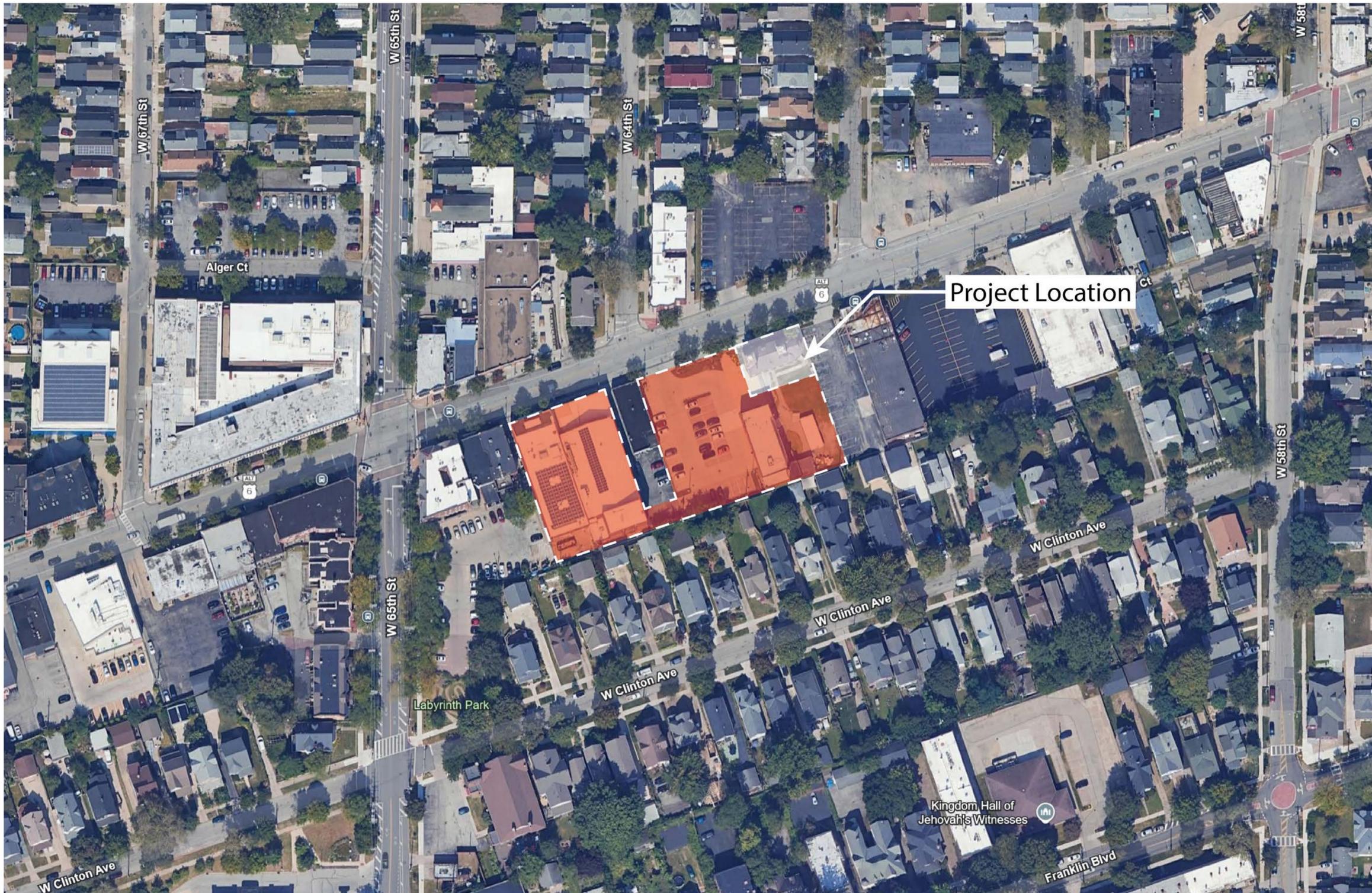




CLEVELAND PUBLIC THEATRE JOAN YELLEN HORVITZ PERFORMANCE GALLERY

SITE LOCATION MAP	1
SITE CONTEXT PLAN	2
EXISTING SITE IMAGES	3-5
HISTORIC SITE IMAGES	6
EXISTING SITE PLAN	7
PROPOSED SITE PLAN	8
EXISTING LANDSCAPE PLAN	9
PROPOSED LANDSCAPE PLAN	10
LANDSCAPE MATERIALS & FENCING	11
FLOOR PLAN	12
ELEVATION DRAWINGS	13-14
PERSPECTIVE RENDERINGS	15-18







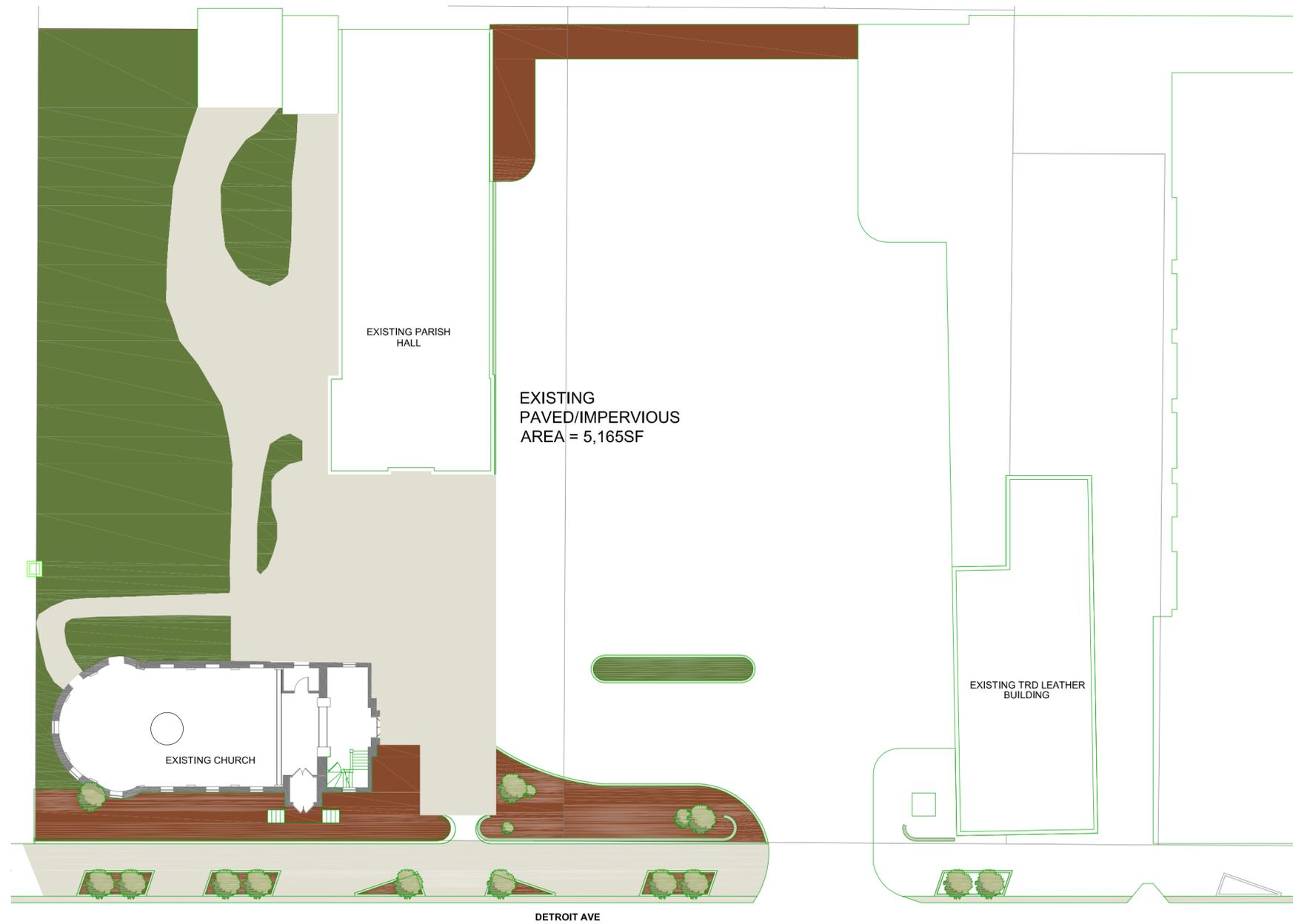


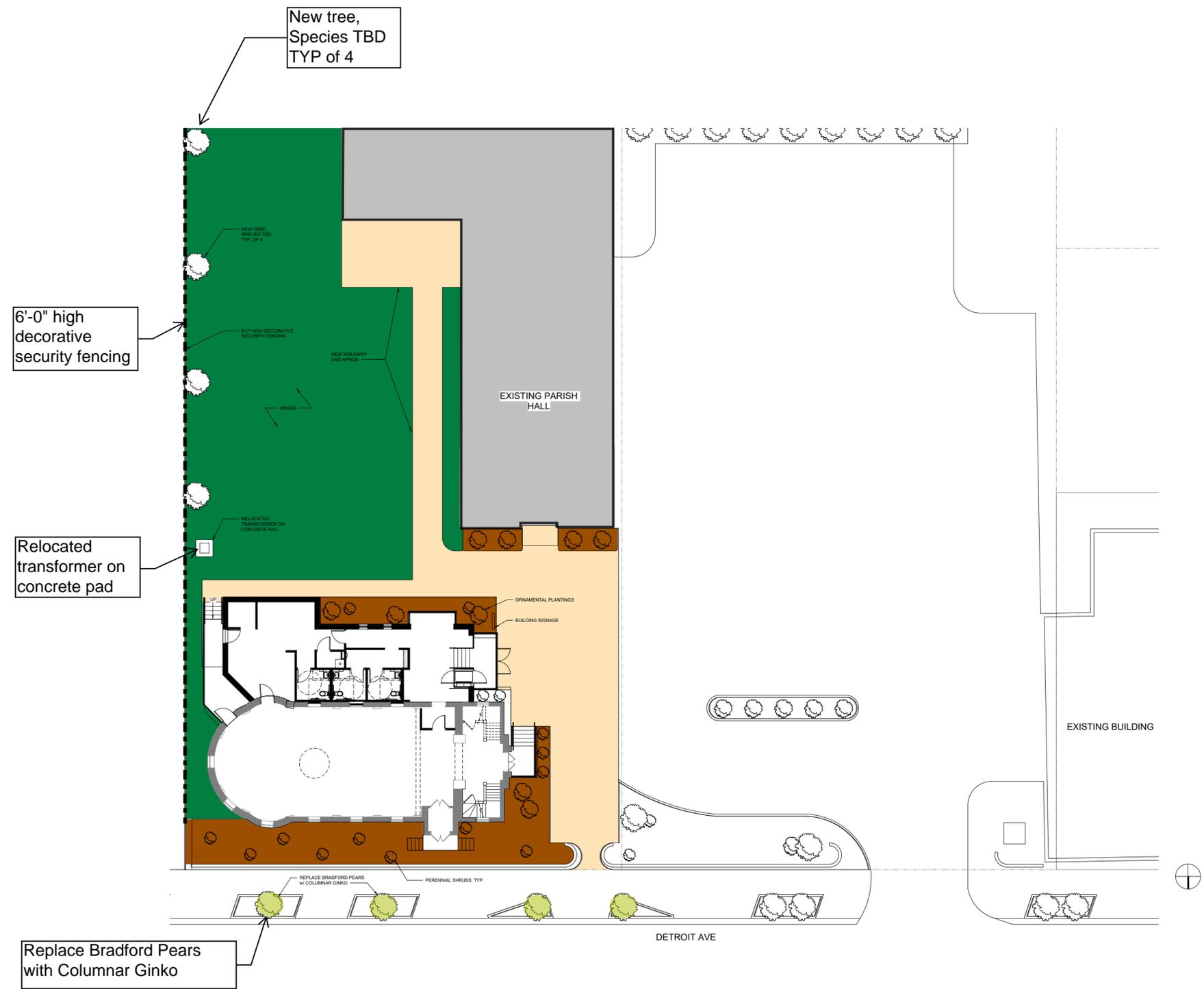














Acer palmatum "Red Dragon" Japanese Maple



Stewartia pseudocamellia var.



Fagus sylvatica "Purpurea pendula"
Weeping dwarf purple beech



Gingko biloba "Princeton Sentry"
Dwarf columnar gingko

Ornamental Tree Options



Rhododendron pentanthera "Gibraltar"



Rhododendron X "Edith Bosley"



Aronia arbutifolia Red Chokeberry

Perennial Shrub Options

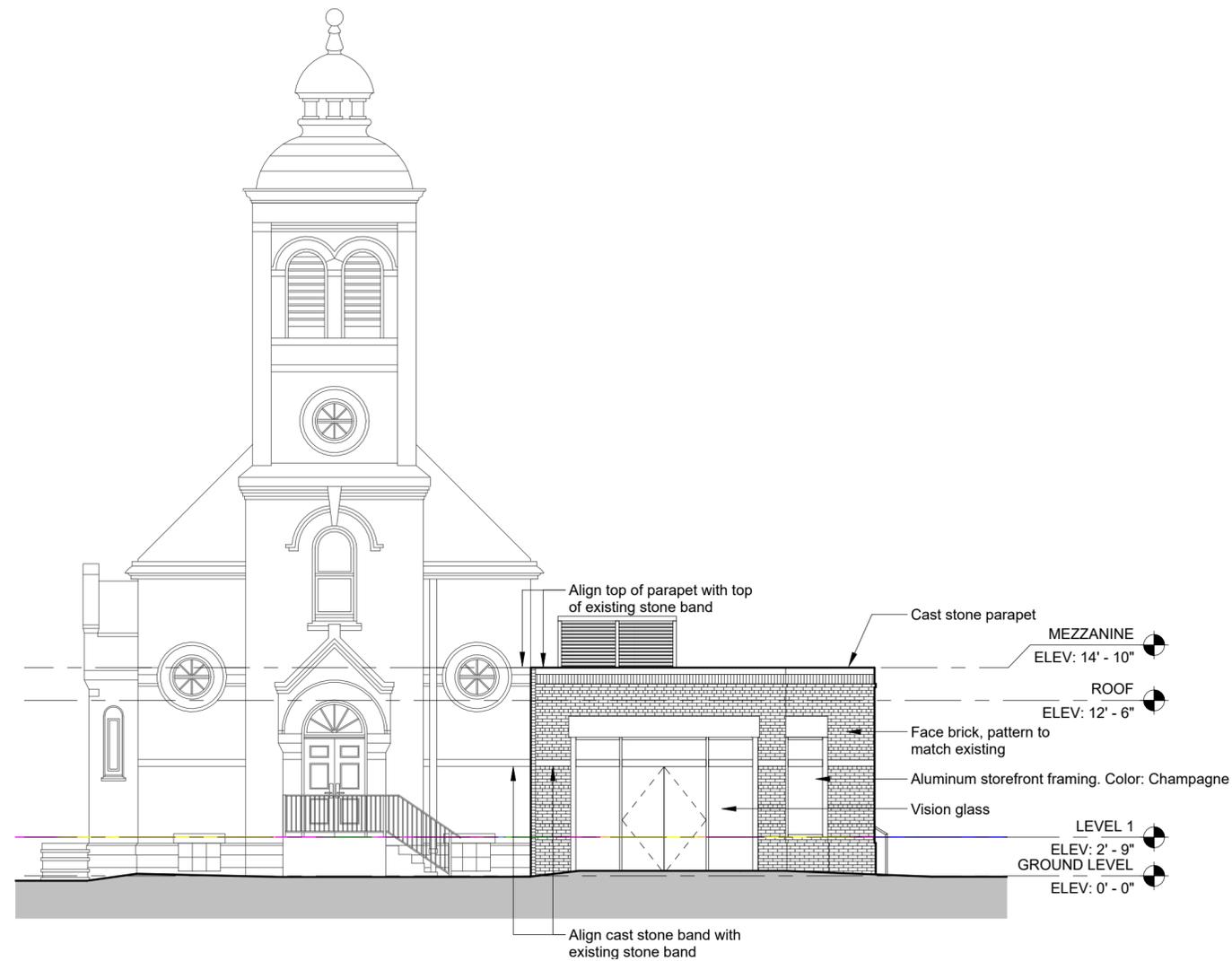


6' Ornamental Metal Fence

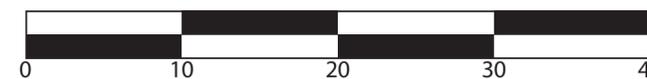


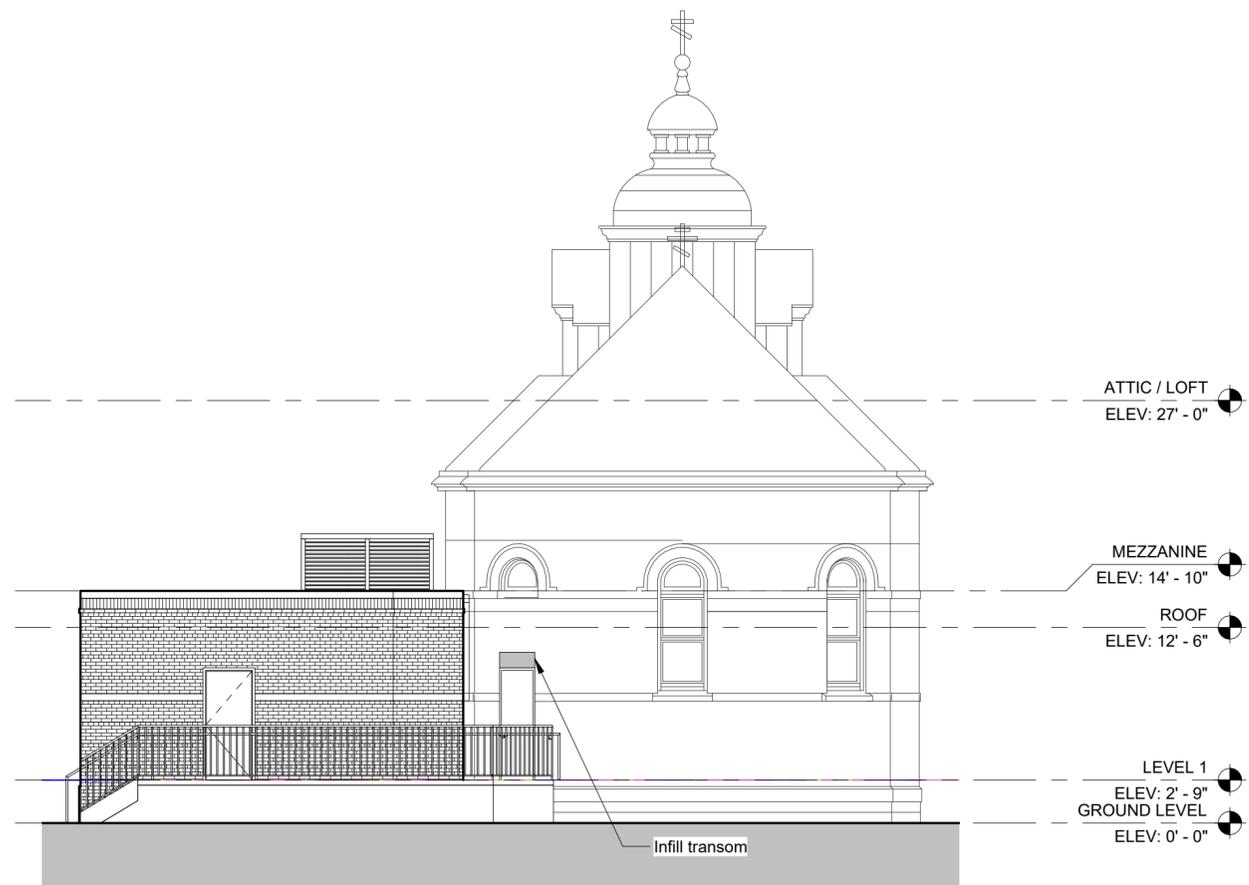


Proposed Face Brick



Note: Design intent is for all horizontal bands on the church to align with the corresponding bands on the addition.





Note: Design intent is for all horizontal bands on the church to align with the corresponding bands on the addition.









Case 24-089

Certificate of Appropriateness

Clifton/West Blvd Historic District

Schematic Review
completed November
14th, 2024

Marion Seltzer School
1468 West 98th Street

Demolition

Project Representatives: Sarah Klann, Robert P. Madison International, Inc.
Ward 15: Councilmember Spencer; Ward 11: Councilmember Kelly



Marion C. Seltzer PK-8 School

Demolition Permit Review

May 2025



A History of the Property

The current Marion C. Seltzer School was built in 1972. The three-story, 47,000 SF building sits in a residential, urban environment inside a local Landmark district adjacent to the Cudell Recreation Center and the Cudell clocktower.

The school is built from structural masonry and clad in a brick veneer unique to local architecture. Academic spaces are stacked in a L-shape with a skylight allowing daylight to reach interior spaces. The Student Dining doubles as the school's gymnasium and is one of the school's primary gathering spaces.

The two-acre site accommodates a playground, easy access to the Cudell Recreation Center and other sports facilities.

Marion C. Seltzer PreK-8 School

This design review presentation is to request approval for demolition only of the existing Marion C. Seltzer Elementary School at 1468 W. 98 St. The design for the new Marion C. Seltzer PreK-8 will return for final design review with a detailed design for the colorful façade elements, planting plans, and site and signage elements. The new school will offer educational programming for 450 Pre-Kindergarten through Eighth Grade Students, and it is proposed to be 63,280 square feet. The interior spaces include 2 classrooms per grade PK-8, and 2 flexible classrooms designed to accommodate specialized needs. Additionally, there is a Project Lab, an Art Room, a Music Room, a Media Center, a Gymnasium, and Student Dining. The Media Center, Gymnasium, and Student Dining are designed to support community use after hours. Space is also allocated for administration, physical education support spaces, the kitchen, custodial spaces, and other building services.

Exterior programming includes 52 parking spots (to accommodate all building staff and visitors), covered bicycle racks, PK-K playground and Elementary/Middle School playground, an outdoor learning garden, a multipurpose field, and stormwater management.

Since the previous presentation, the site has been developed, with input from the fire department and MOCAP, to provide emergency access to the perimeter of the building, while maintaining elements of the park.

The project will be pursuing LEED Silver Registration and will include sustainable features throughout.

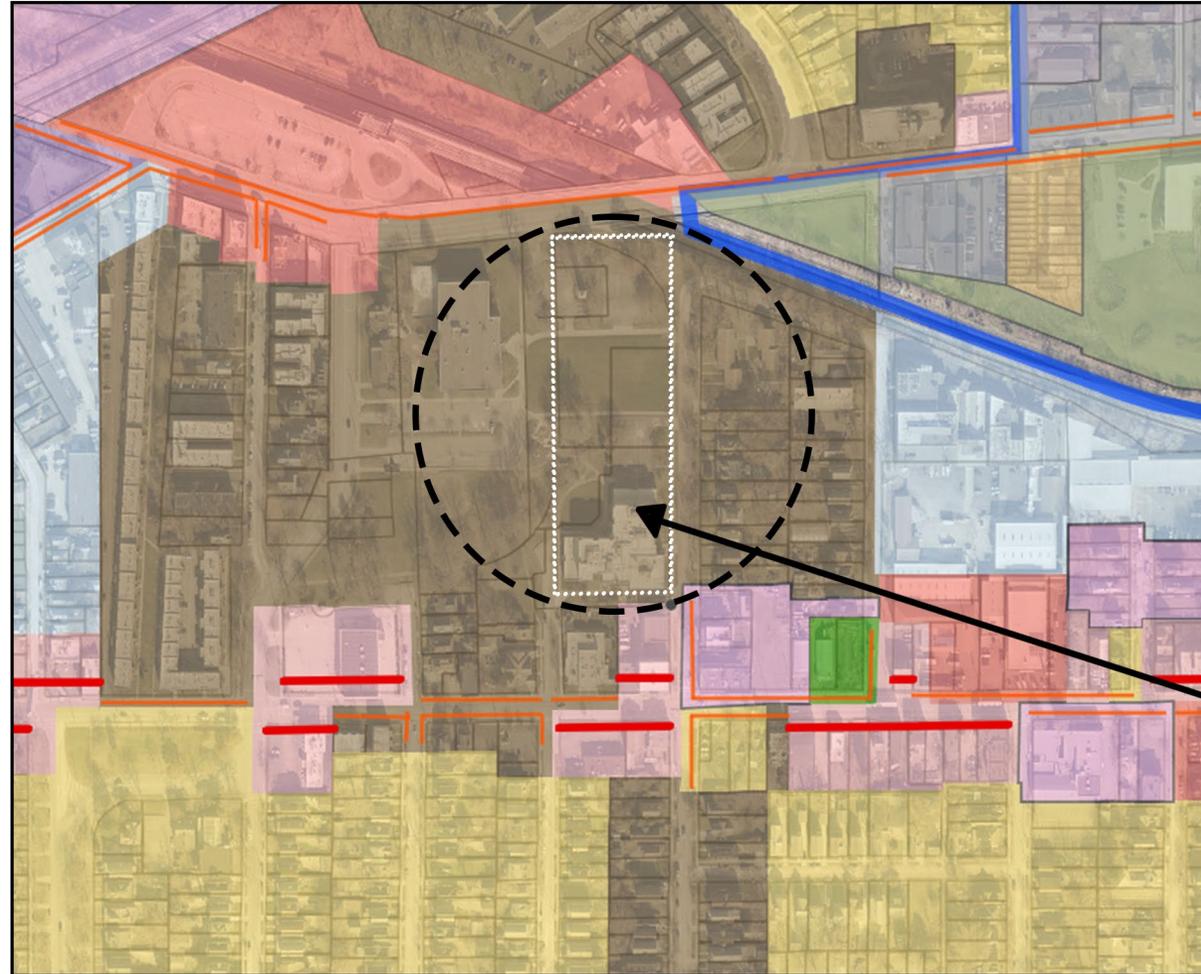
PARCEL MAP

1468 W. 98th St.
Cleveland, OH 44102



Cleveland Metropolitan School District
Marion C. Seltzer PK-8 School
Parcel Map - May 2025

-  Site location
-  Form-Based Code Pilot Neighborhoods
-  PRO Street Frontage
-  City Boundary
-  Urban Garden District
-  Active
-  General Industry
-  General Retail Business
-  Semi-Industry
-  Two Family
-  Local Retail Business
-  Residence Office
-  Multi-Family



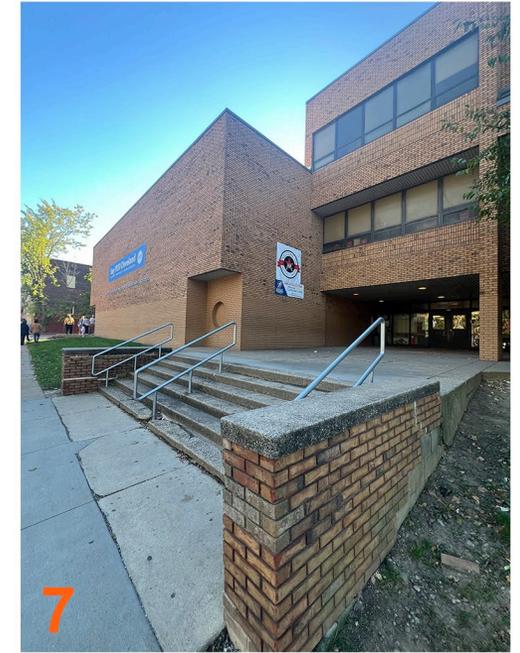
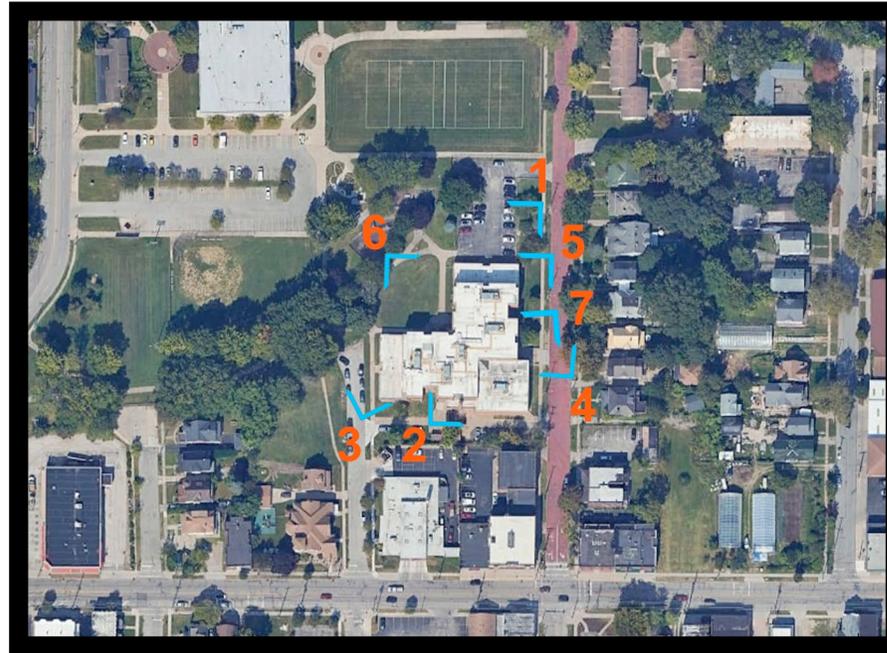
SITE LOCATION

1468 W 98th St
Cleveland, OH 44102

ZONING MAP









1



2



3



4

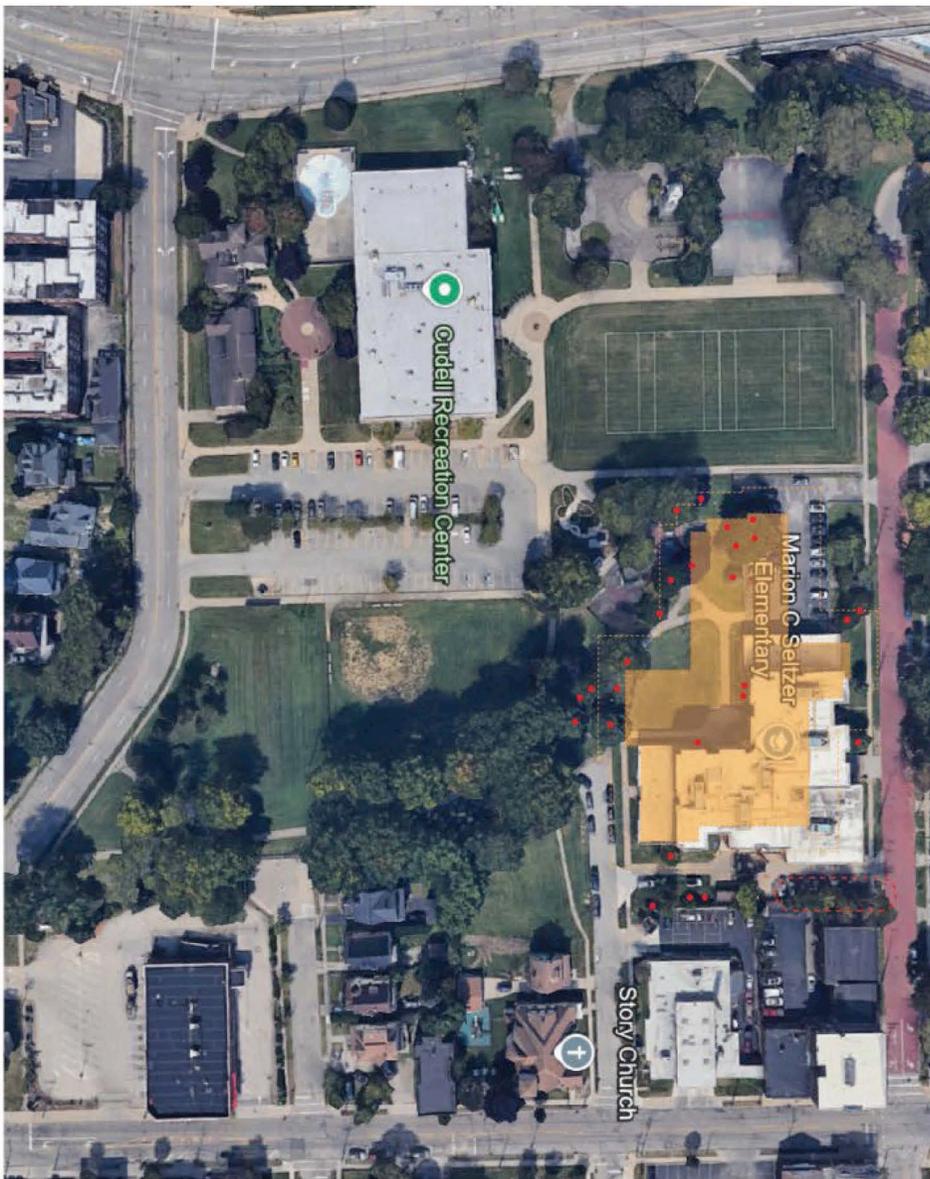


5



Cleveland Metropolitan School District
Marion C. Seltzer PK-8 School
Parcel Map - May 2025





Cleveland Metropolitan School District
Marion C. Seltzer PK-8 School
Tree preservation plan - May 2025

New Marion C. Seltzer PreK-8 School – Salvage Consideration

Salvage of the existing Marion Seltzer school was considered, but for the following reasons, the decision to replace the existing structure with a new building was made:

- Building security does not meet current CMSD standards for secure vestibules, bullet resistant glazing, door function, building activity monitoring, etc.
- Classroom sizes are smaller than current state guidelines require.
- The Gym and Student Dining functions share a space, which is smaller than is required for either activity by state guidelines.
- Technology systems would need a major update to provide the teaching and security capabilities at other CMSD schools.
- An addition to the existing building would be required to meet current state facilities guidelines.
- The cost of a renovation and addition to the building would exceed 2/3 the cost of demolition and new construction. The State of Ohio will not provide funding for building renovation that surpasses the 2/3 threshold.



MARION C. SELTZER ELEMENTARY - SITE PLAN



Cleveland Metropolitan School District
Marion C. Seltzer PK-8 School
Site Plan - May 2025



Detroit Ave

West Blvd

W 100th St

W 99th St

W 98th St

W 96th St

Madison Ave



VIEWS FROM W98th



VIEWS FROM CUDELL CAMPUS

MARION SELTZER - MATERIALS & SELECTION



"KHAKI MATT"
UTILITY FACE BRICK



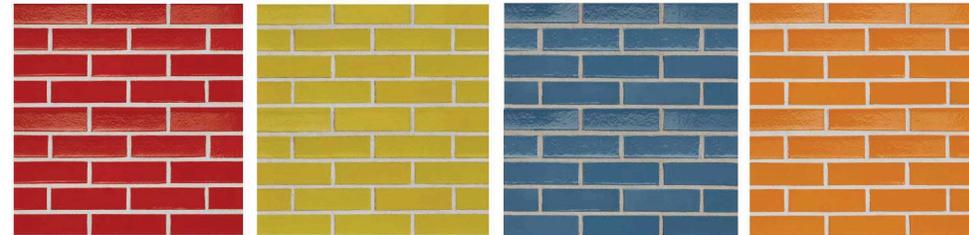
"TAWNY BEIGE WIRECUT"
UTILITY FACE BRICK



"HARVEST"
SPLIT FACED EMERALD CMU BLOCK



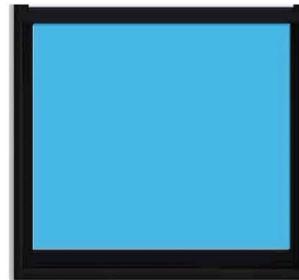
WOOD-GRAINED METAL PANEL



"VARIED GLAZE"
GLAZED BRICK



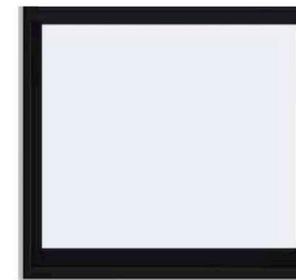
BLUE-ACCENT METAL PANEL
SUN SHADING WINDOW CANOPY



BLUE GLASS



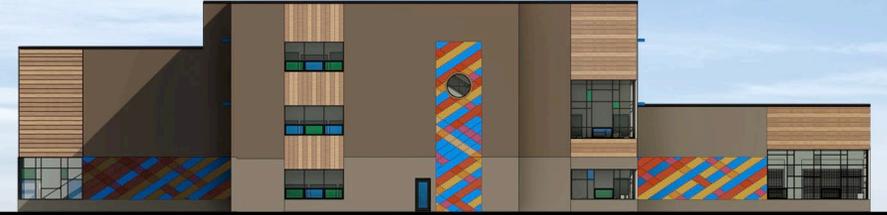
GREEN GLASS



CLEAR GLASS



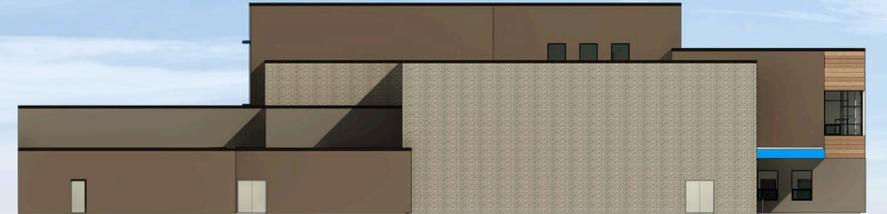
EAST ELEVATION



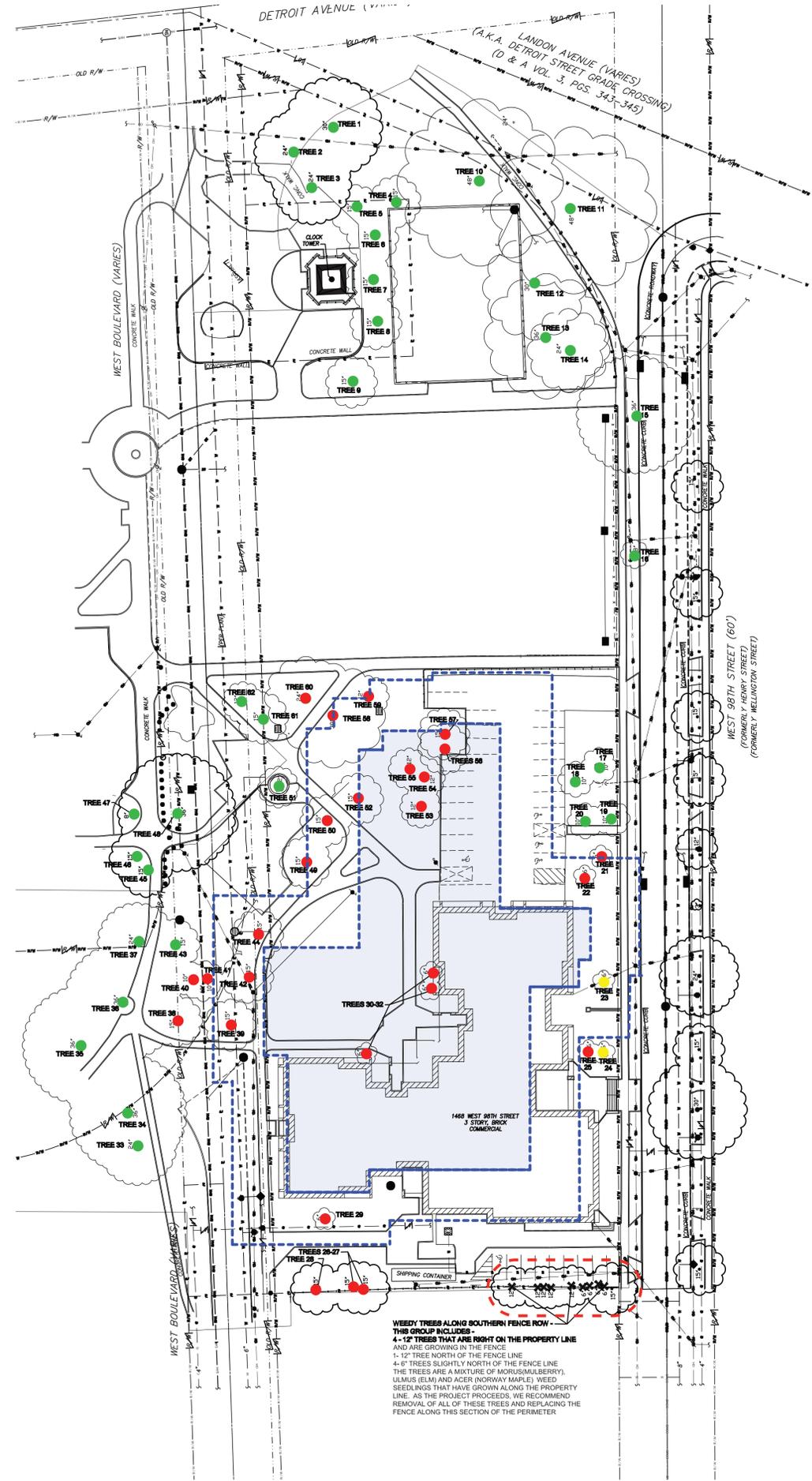
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



SURVEY LEGEND

- BOLLARD
- CATCH BASIN
- CURB INLET BASIN
- ELECTRIC TRANSFORMER
- ⚡ FLAG POLE
- ⊕ GAS VALVE
- GUY WIRE
- ⊕ HANDICAP PARKING SPACE
- ⊕ HYDRANT
- ⊕ LIGHT POLE
- ⊕ COMBINATION MANHOLE
- ⊕ SIGN
- TREE
- ⊕ UTILITY POLE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ BENCHMARK
- CENTERLINE
- R/W RIGHT-OF-WAY
- C.C.M.R. CUYAHOGA COUNTY MAP RECORDS
- D.O.D.T. OHIO DEPARTMENT OF TRANSPORTATION
- CHAIN LINK FENCE
- METAL FENCE
- OVERHEAD UTILITY WIRES
- ELECTRIC LINES
- GAS LINES
- COMBINATION LINES
- STORM LINES
- WATER LINES

NOTE

1. EXISTING TREES / PLANTS -
 - EVALUATE EXISTING TREES ON SITE AND REMOVE ALL WEEDY, DISEASED OR UNDESIRABLE TREES SUCH AS MULBERRY, ASH, ELM OR WEAK WOODED SPECIES.
 - ALL EXISTING PLANT MATERIALS ON SITE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION WITH TREE PROTECTION FENCE. TREES, SHRUBS AND LAWN WITHIN THE PROJECT SITE SHALL BE MAINTAINED DURING CONSTRUCTION.
 - CONTRACTOR SHALL ENGAGE AN ARBORIST TO PROVIDE ROOT PRUNING, BRANCH PRUNING AND FERTILIZING SERVICES AS MAY BE REQUIRED TO MITIGATE CONSTRUCTION DAMAGE OR ACTIVITIES.
2. EXISTING TREES TO REMAIN -
 - ROOT PRUNING SHALL BE PROVIDED FOR ALL TREES TO REMAIN THAT ARE ADJACENT TO CONSTRUCTION EXCAVATIONS, GRADING OR UTILITY INSTALLATIONS.
 - ROOT PRUNING SHALL BE PROVIDED BY A TREE COMPANY AND UNDER THE DIRECTION OF A CERTIFIED ARBORIST.
3. MULCH -
 - PROVIDE A RING OF MULCH SURROUNDING THE BASE OF ALL TREES TO REMAIN. MULCH RING SHALL BE 2\"/>
4. TREE PROTECTION FENCE SHALL IN AS SHOWN ON THE PLAN. FENCE SHALL BE EITHER A CHAIN LINK OR ORANGE PVC CONSTRUCTION FENCING MIN 6\"/>

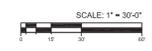
PRESERVATION PLAN LEGEND

- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RELOCATED
- PROPOSED SCHOOL BUILDING

TREE PRESERVATION / REMOVAL LIST

TREE NUMBER	TREE - SCIENTIFIC NAME	COMMON NAME	DBH	CONDITION	PRESERVE	REMOVE	RELOCATED
1	QUERCUS ALBA	WHITE OAK	30"	SOME BRANCH LOSS - NEEDS PRUNING AND FERTILIZING	X		
2	QUERCUS RUBRA	RED OAK	24"	GOOD	X		
3	TILIA	LINDEN	24"	GOOD	X		
4	ACER PLATANOIDES	NORWAY MAPLE	15"	POOR CONDITION - BRANCH LOSS	X		
5	FRAXINUS	ASH	15"	POOR CONDITION - BRANCH LOSS	X		
6	FRAXINUS	ASH	15"	FAIR	X		
7	FRAXINUS	ASH	15"	FAIR	X		
8	FRAXINUS	ASH	15"	POOR CONDITION - BRANCH LOSS	X		
9	FRAXINUS	ASH	15"	POOR CONDITION - BRANCH LOSS	X		
10	TAXODIUM DISTICHUM	BALD CYPRESS	48"	GOOD	X		
11	PLATANOIDES	SYCAMORE	48"	GOOD	X		
12	TILIA	LINDEN	30"	GOOD	X		
13	PLATANOIDES	SYCAMORE	36"	FAIR - LEANING	X		
14	CATALPA	CATALPA	24"	FAIR - WEAK WOODED TREE - LEANING	X		
15	PLATANOIDES	SYCAMORE	36"	FAIR - TREE IN R.O.W. - LIMBS IN CONTACT W/ UTILITY LINES	X		
16	ACER PLATANOIDES	NORWAY MAPLE	8"	FAIR - TREE IN R.O.W. UNDER UTILITY LINES	X		
17	CERCIS CANADENSIS	EASTERN REDBUD	10"	FAIR	X		
18	CERCIS CANADENSIS	EASTERN REDBUD	10"	FAIR	X		
19	CERCIS CANADENSIS	EASTERN REDBUD	10"	FAIR	X		
20	CERCIS CANADENSIS	EASTERN REDBUD	10"	FAIR	X		
21	MORUS	MULBERRY TREE	6"	GOOD - WEAK WOODED AND MESSY TREE		X	
22	MORUS	MULBERRY TREE	6"	GOOD - WEAK WOODED AND MESSY TREE		X	
23	SYRINGA RETICULATA	JAPANESE TREE LILAC	6"	GOOD			X
24	SYRINGA RETICULATA	JAPANESE TREE LILAC	6"	FAIR - LARGE HOLE IN TRUNCK		X	X
25	MORUS	MULBERRY TREE	6"	GOOD - WEAK WOODED AND MESSY TREE		X	
26	ULMUS	ELM	15"	POOR - WEEDY SEEDLING ON FENCE LINE		X	
27	ULMUS	ELM	15"	POOR - WEEDY SEEDLING ON FENCE LINE		X	
28	ACER PLATANOIDES	NORWAY MAPLE	15"	POOR - WEEDY SEEDLING ON FENCE LINE		X	
29	MORUS	MULBERRY TREE	6"	GOOD - WEAK WOODED AND MESSY TREE		X	
30	MALUS	CRAB	6"	FAIR		X	
31	MALUS	CRAB	6"	FAIR		X	
32	MALUS	CRAB	6"	FAIR		X	
33	PICEA	SPRUCE	24"	FAIR - LIMBED UP AND LEANING	X		
34	QUERCUS PALUSTRIS	PIN OAK	36"	GOOD - NEEDS SOME PRUNING	X		
35	QUERCUS PALUSTRIS	PIN OAK	36"	GOOD - NEEDS A LOT OF PRUNING	X		
36	QUERCUS PALUSTRIS	PIN OAK	36"	GOOD - NEEDS SOME PRUNING	X		
37	GINKGO	GINKGO	24"	POOR - LARGE LIMB AND BRANCH LOSS ON ONE HALF	X		
38	ACER PLATANOIDES	NORWAY MAPLE	15"	POOR - LARGE SPLIT IN TRUNK		X	
39	ACER PLATANOIDES	NORWAY MAPLE	15"	GOOD		X	
40	MORUS	MULBERRY TREE	10"	POOR - WEEDY SEEDLING		X	
41	PICEA PUNGENS	SPRUCE	10"	FAIR		X	
42	FRAXINUS	ASH	15"	FAIR		X	
43	ACER PLATANOIDES	NORWAY MAPLE	15"	FAIR	X		
44	GLEDITSIA TRI. INERMIS	HONEYLOCUST	15"	FAIR - NEED SIGNIFICANT PRUNING		X	
45	GINKGO	GINKGO	15"	GOOD	X		
46	GINKGO	GINKGO	15"	POOR - NEED SIGNIFICANT PRUNING	X		
47	ACER PLATANOIDES	NORWAY MAPLE	8"	GOOD	X		
48	QUERCUS PALUSTRIS	PIN OAK	36"	GOOD	X		
49	MORUS	MULBERRY TREE	15"	FAIR - WEEDY SEEDLING WITH SPRUCE GROWING WITH IT		X	
50	LIQUIDAMBAR STYR.	SWEET GUM	15"	GOOD		X	
51	GLEDITSIA TRI. INERMIS	HONEYLOCUST	12"	GOOD	X		
52	ACER PLATANOIDES	NORWAY MAPLE	15"	GOOD		X	
53	PICEA PUNGENS	SPRUCE	12"	GOOD		X	
54	PICEA PUNGENS	SPRUCE	12"	GOOD		X	
55	PICEA PUNGENS	SPRUCE	12"	GOOD		X	
56	MORUS	MULBERRY TREE	MULTISTEM-4-12"	GOOD - WEEDY SEEDLING		X	
57	ACER PLATANOIDES	NORWAY MAPLE	15"	GOOD		X	
58	ACER SACCHARINUM	SILVER MAPLE	30"	GOOD - WEAK WOODED PLANT, DESTRUCTIVE ROOTS		X	
59	ACER PLATANOIDES	NORWAY MAPLE	12"	GOOD		X	
60	ACER SACCHARINUM	SILVER MAPLE	24"	GOOD - WEAK WOODED PLANT, DESTRUCTIVE ROOTS		X	
61	GLEDITSIA TRI. INERMIS	HONEYLOCUST	15"	GOOD	X		
62	ACER PLATANOIDES	NORWAY MAPLE	12"	GOOD	X		

TREE PRESERVATION PLAN



Case 25-033

Certificate of Appropriateness

Ohio City Historic District

1468 West 25th Street

Renovation and New Construction

Project Representatives: Denver Brooker, Vocon

Ward 3: Councilmember McCormack





OHIO CITY HISTORIC DESIGN REVIEW COMMITTEE AND LANDMARKS COMMISSION
SCHEMATIC DESIGN PRESENTATION

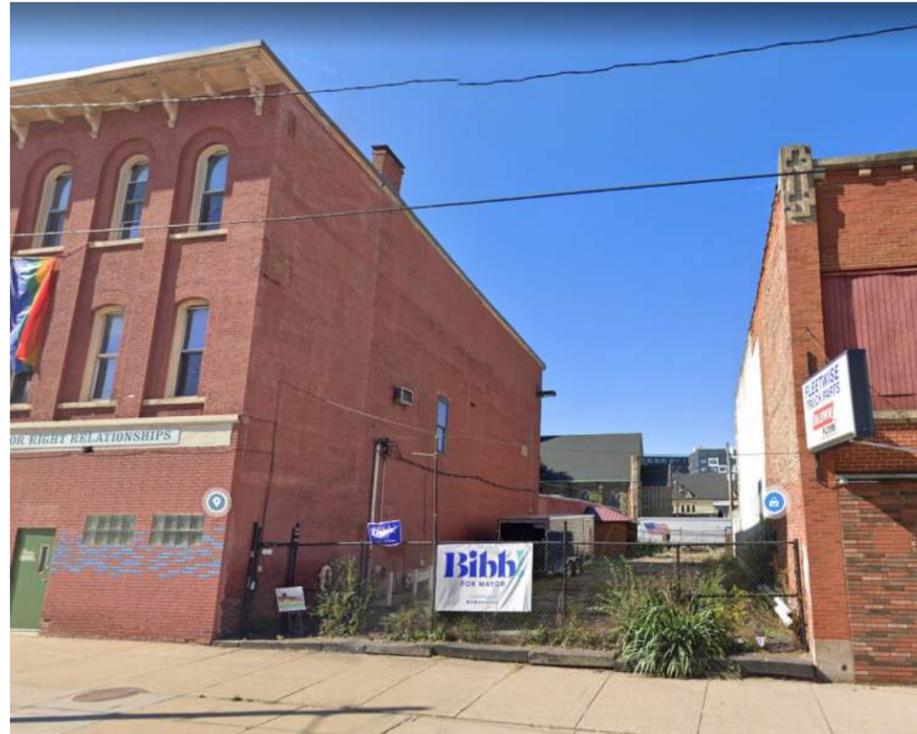
May 8th, 2025

TD 1468 W25TH ST LLC
1468 W. 25TH STREET APARTMENTS & TOWNHOUSES

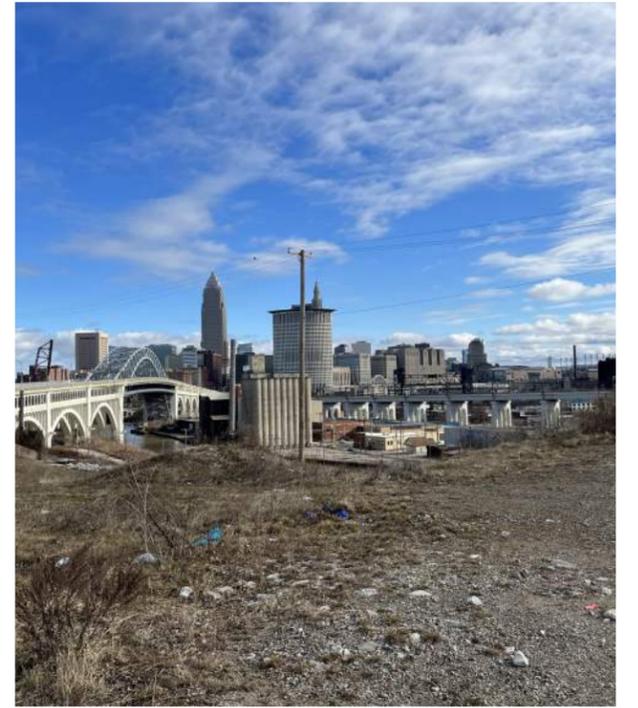
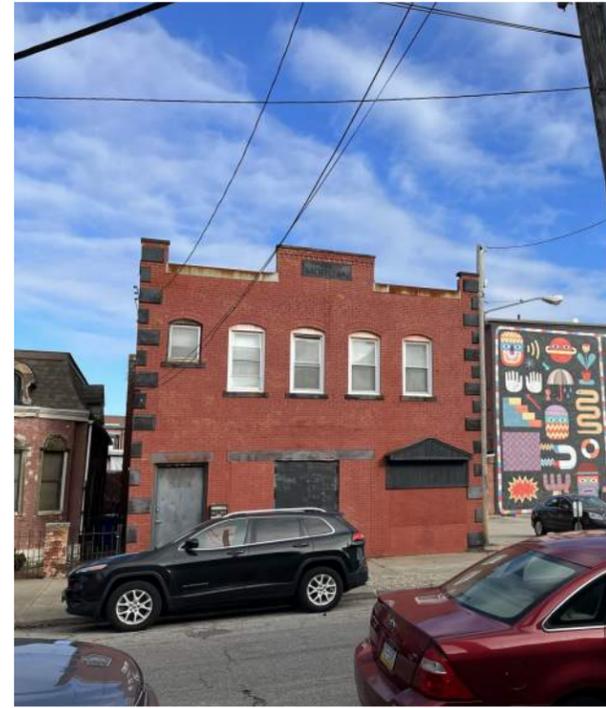
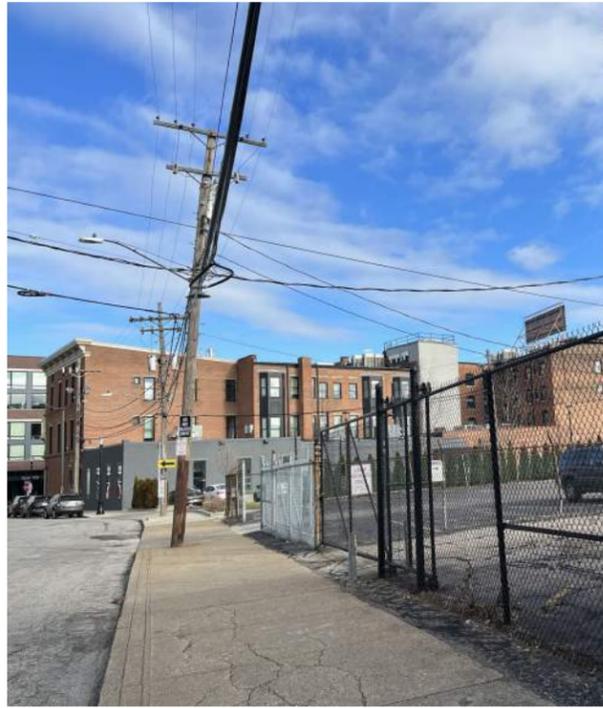




SITE | Context - Existing Conditions



SITE | Context - Existing Conditions



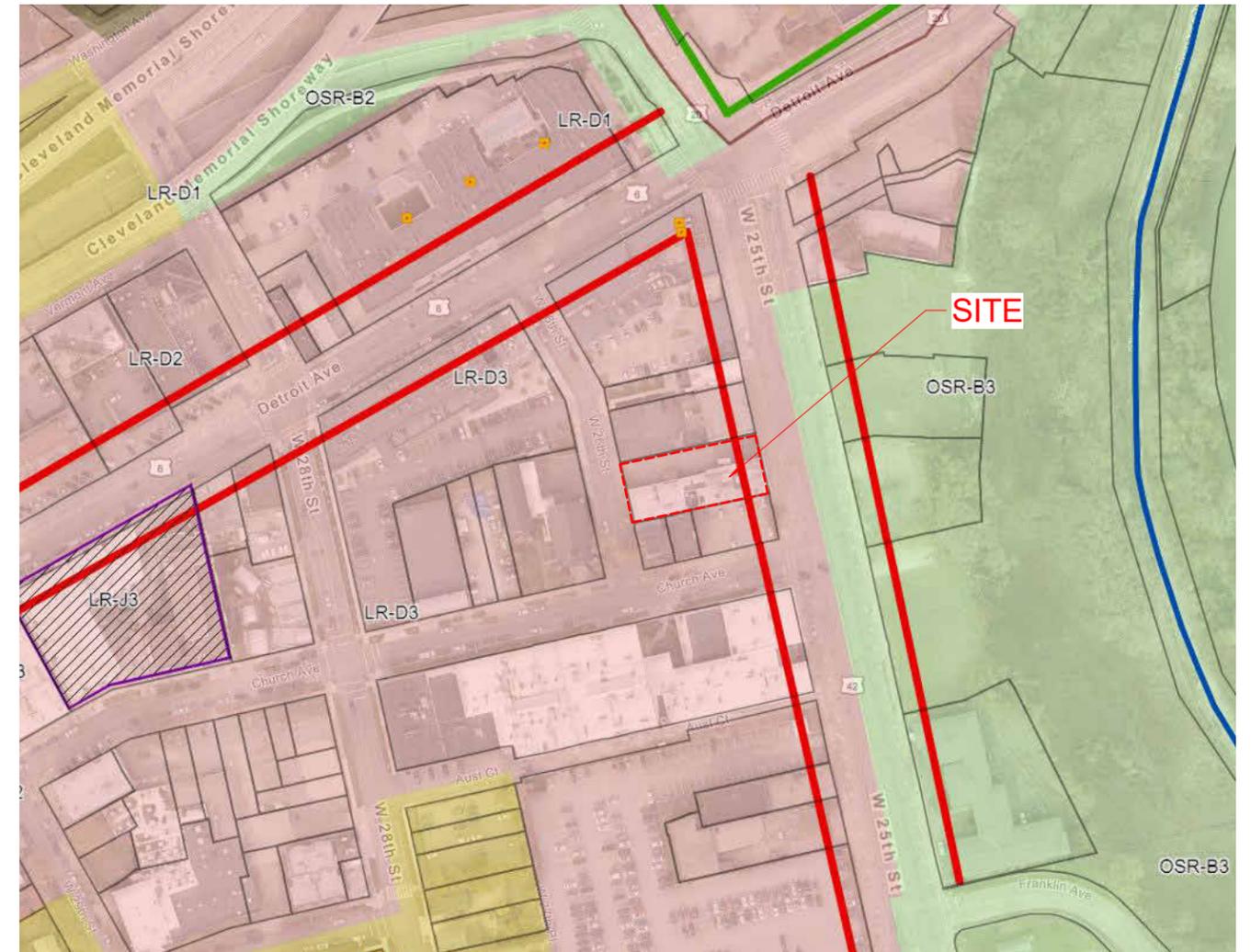
SITE | Context - Detroit Historic District Facades





LANDMARK DISTRICT MAP

- Local Landmark Districts
- National Historic Districts



ZONING MAP

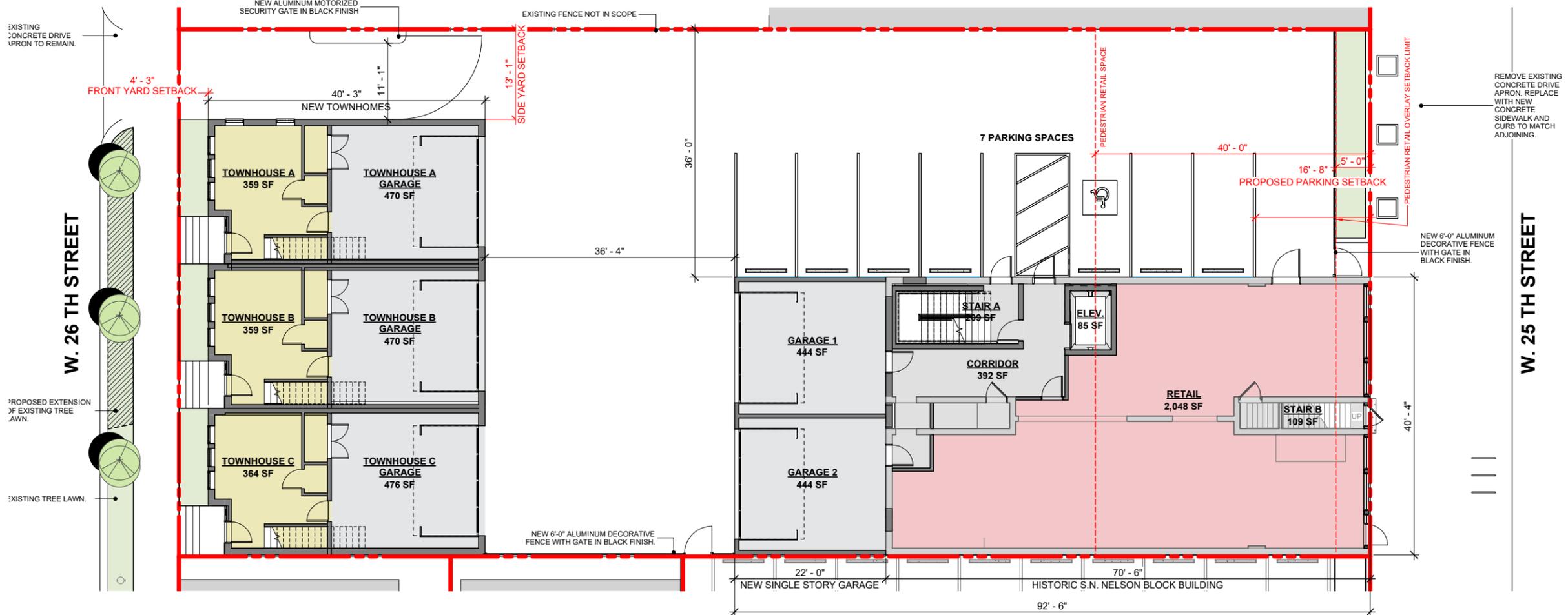
- Local Retail Business
- One Family
- PRO Street Frontage
- Open Space Recreation

FLOOR PLANS | Existing Site & Zoning Metrics



SITE ZONING DATA			
PROJECT INFORMATION			
PROJECT NAME:	1468 W 25th		
LAND USE CODE:	(4800) C - 1-UNIT WHSE -75000SF		
ZONING CODE:	LR-D3		
ADDRESS:	1468 W 25TH ST CLEVELAND, OH 44113		
PARCEL NUMBER:	#00328095		
DISTRICT NAME:	CLARK METRO		
NEIGHBORHOOD:	78387 OHIO CITY		
USE DISTRICT:	LOCAL RETAIL BUSINESS		
AREA DISTRICT:	D		
HEIGHT DISTRICT:	1 HL - 115'-0"		
LANDMARK DISTRICT:	OHIO CITY LOCAL LANDMARK DISTRICT		
HISTORIC DISTRICT:	N/A		
OVERLAY DISTRICT:	PRO. STREET FRONTAGE OVERLAY		
LAND USE CODE:	(4800) C - WALKUP OFFICE >2 ST		
ZONING CODE:	LR-D3		
BUILDING METRICS			
EXISTING USE/OCCUPANCY:	BUSINESS		
PROPOSED USE/OCCUPANCY:	BUSINESS & RESIDENTIAL		
BUILDING AREA BY USE (GROSS):			
TOWNHOMES:	2,892 SF * 3 =	8,676 SF +/-	
MIXED USE BUILDING:			
APARTMENT A:	2,480 SF +/-		
APARTMENT A ROOF TOP PATIO:	887 SF +/-		
APARTMENT B:	2,547 SF +/-		
APARTMENT B ROOF TOP PATIO:	843 SF +/-		
RETAIL:	2,048 SF +/-		
CIRCULATION:	1,994 SF +/-		
ACCESSORY:	3,366 SF +/-		
TOTAL SQUARE FOOTAGE:	22,870 SF +/-		
(Total Building above grade not including basement and covered parking)			
PROJECT NOTES:			
Allowable Area = lot Area* 24,838 sf			
Actual Area = 22,870 sf			
ZONING STANDARDS AND RESTRICTIONS			
BUILDING REQUIREMENTS			
	CHAPTER	REQUIRED	PROPOSED
HEIGHT LIMIT (FEET):	353.01	115'-0"	50'-0"
WHEN ADJACENT TO RESIDENTIAL DISTRICT	353.02	< 110' SETBACK FT	
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
BUILDING FRONTAGE REQUIREMENTS			
FRONTING PRINCIPAL STREET:	343.23	< 5'-0"	5'-0"
FRONTING INTERIOR SIDE STREETS:	343.23	4'-0"	TBD
BUILDING SETBACK REQUIREMENTS:			
FRONT YARD: TO ANY FRONT PROPERTY LINE	343.23	< 5'-0" FROM PRSF	5'-0"
WHEN ADJACENT TO RESIDENTIAL DISTRICT	357.05	15% OF LOT DEPTH	TBD
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
SIDE YARD:	343.23	< 4'-0"	5'-3" NORTH 10'-11" SOUTH
WHEN ADJACENT TO RESIDENTIAL DISTRICT	357.08	NOT REQUIRED R USE-15% LOT DEPTH	4'-0"
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			TBD
REAR YARD:	357.15	> 10'-0"	13'-0"
WHEN ADJACENT TO RESIDENTIAL DISTRICT			
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
BUILDING NOTES:			
§ 343.23 Pedestrian Retail Overlay (PRO) District			
(e) Use Regulations. All uses permitted in the underlying retail zoning district shall be permitted in the PRO District, except that the use of Pedestrian Retail Spaces, as defined in this section, shall be further limited as follows.			
(2) Conditional Uses. For Pedestrian Retail Spaces, as defined in this section, the following uses shall be permitted as Conditional Uses, as approved by the City Planning Commission under the approval criteria provided in this section:			
A. Off-street parking or loading areas and located within 100' feet of W 25th Street ROW.			
E. A building with an interior side yard more than four (4) feet in width.			
(f) Criteria for Conditional Uses. The City Planning Commission shall approve a Conditional Use application if it determines that the application meets the following criteria:			
(2) In the case of a proposed off-street parking or loading area or driveway, one (1) or both of the following conditions apply:			
A. The size, shape or layout of the subject property does not permit placement of the parking, loading or driveway in a more suitable location.			
B. It has been demonstrated by the applicant that placement of the parking, loading or driveway in an allowed location would jeopardize the continued occupancy of the subject property by uses suited to the PRO District.			
PARKING REQUIREMENTS			
	CHAPTER	REQUIRED	PROPOSED
PARKING SETBACK REQUIREMENTS:			
FRONT YARD: TO ANY FRONT PROPERTY LINE	349.05	< 400'-0"	N/A
WHEN ADJACENT TO RESIDENTIAL DISTRICT			
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
SIDE YARD/REAR YARD:	349.05	< 400'-0"	
WHEN ADJACENT TO RESIDENTIAL DISTRICT			
WHEN ADJACENT TO NON-RESIDENTIAL DISTRICT			
MINIMUM SETBACK FROM BUILDING:	349.05	> 10'-0"	N/A
WHEN ADJACENT TO RESIDENTIAL BUILDING OR STRUCTURE			
PARKING REQUIREMENTS (BY USE):			
USE #1: ONE-FAMILY & CLASS A MULTIPLE DWELLINGS	349.04	1 dwelling unit	10
USE #4: RETAIL	349.04	dependent on tenants	7
(1) On-site parking to be used for residential and retail employee parking only. No public parking provided on-site.			
343.23 In recognition of the expected greater use of public transit, bicycles and walking by customers and employees traveling to PRO Districts, the minimum number of parking spaces otherwise required by the Zoning Code shall be reduced by thirty-three percent (33%) for retail business uses in the districts.			
TOTAL PARKING REQUIREMENTS:			
Total Parking Spaces Required = (5 residential + dependent on retail use) * .66 (PRO District Reduction)			
Current Spaces Provided = 7 retail + (5) two-car garages = 12 SPACES			
SITE REQUIREMENTS			
	TBD	REQUIRED	PROPOSED
OFF STREET LOADING REQUIREMENTS:			
PRINCIPAL STREET:	1143.02	2' 40,000-100,000	TBD
SECONDARY STREET:	1143.02	2' 40,000-100,000	TBD
OFF STREET LOADING NOTES:			
1143.03: Except for access drives, no part of the off-street loading or parking area required by this zoning ordinance shall be within the setback distance on any street.			
SITE DEVELOPMENT STANDARDS			
	TBD	REQUIRED	PROPOSED
FRONTAGE STRIP			
FRONT YARD:	N/A	N/A	
SIDE YARD:	352.10	N/A	
OPEN OFF-STREET PARKING:	352.10	MEDIUM 6'-0"	6'-0"
FENCING			
HEIGHT:	358.05	< 6'-0"	6'-0"
OPACITY:	358.05	OPEN OR CLOSED	OPEN
PLANTING REQUIREMENTS:			
352.03			
(b) Other: Frontage Strips, Island Strips, and Screen Barriers shall be required as provided in the table contained in Section 352.10.			
SITE DEVELOPMENT NOTES:			

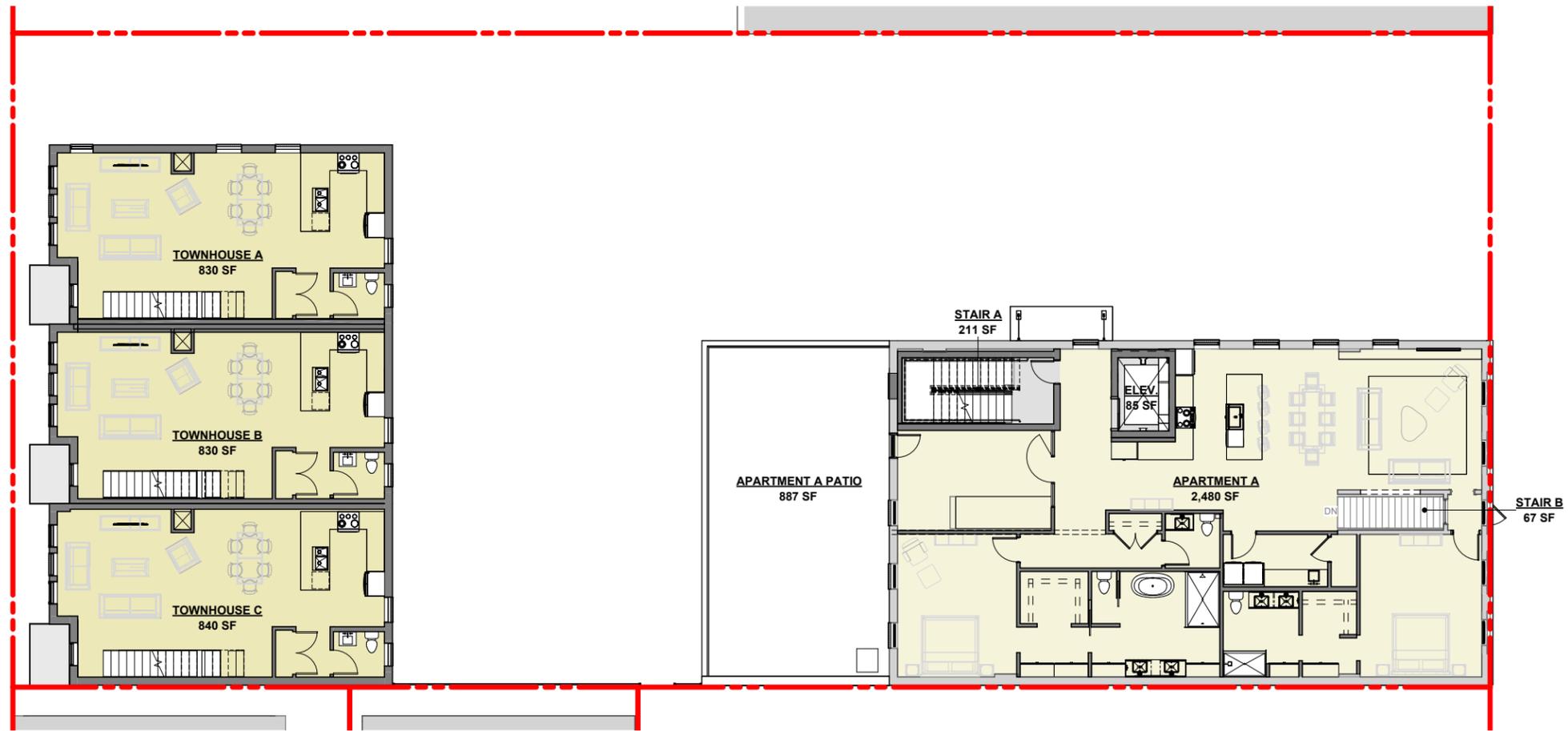
FLOOR PLANS | Proposed - Ground Level Plan



Gross Building Area Square...

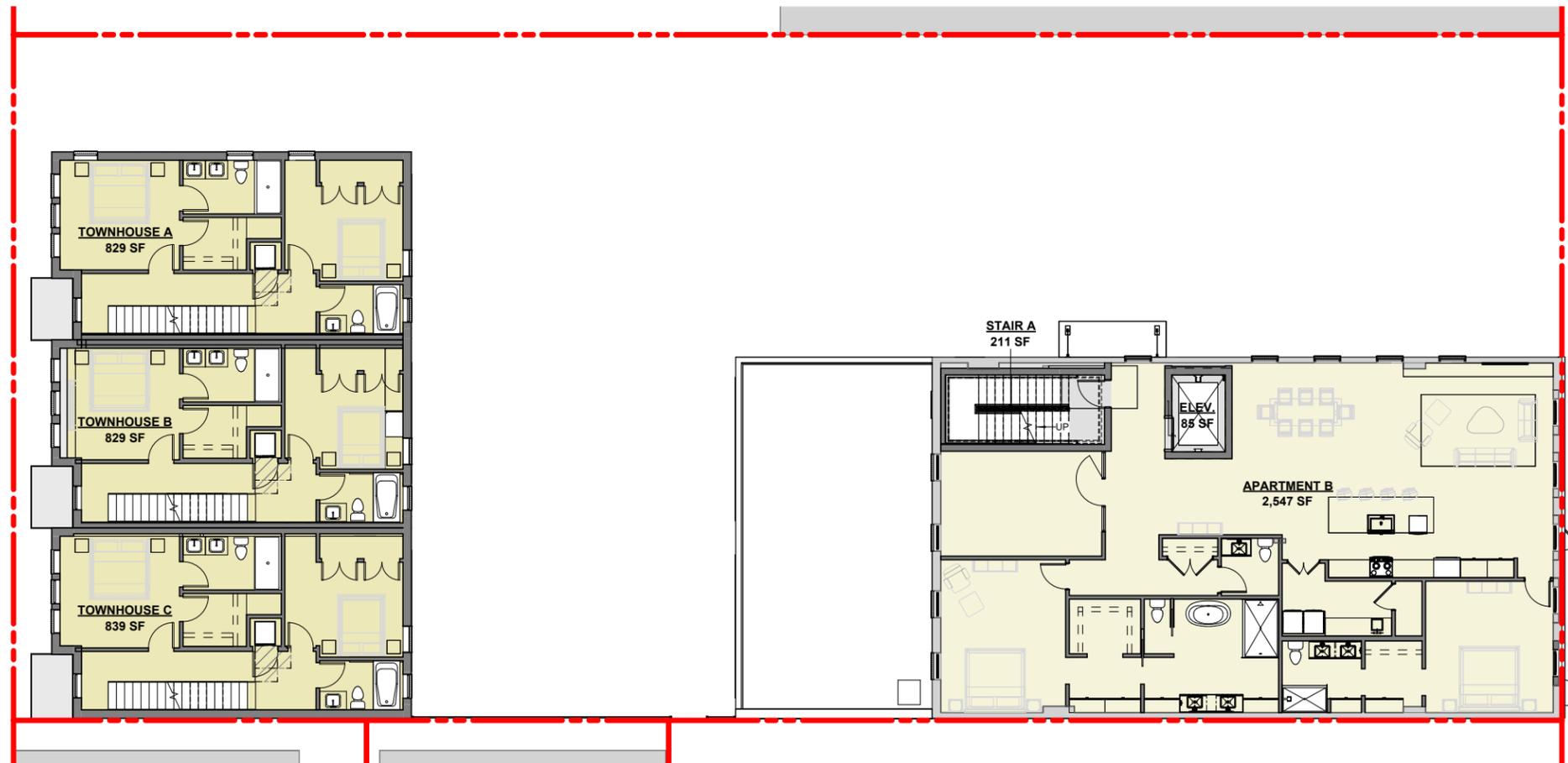
Level	Room	Area (SF)
1468 BASEMENT	BUILDING SERVICES	453 SF
	CORRIDOR	69 SF
	ELEV.	85 SF
	RESTAURANT SERVICE	2,027 SF
	STAIR A	209 SF
	STAIR B	2,844 SF
1468 LEVEL 01	CORRIDOR	392 SF
	ELEV.	85 SF
	GARAGE 1	444 SF
	GARAGE 2	444 SF
	RETAIL	2,048 SF
	STAIR A	209 SF
	STAIR B	109 SF
	TOWNHOUSE A	359 SF
	TOWNHOUSE A GARAGE	470 SF
	TOWNHOUSE B	359 SF
	TOWNHOUSE B GARAGE	470 SF
	TOWNHOUSE C	364 SF
TOWNHOUSE C GARAGE	476 SF	
		6,229 SF
1468 LEVEL 02	APARTMENT A	2,480 SF
	APARTMENT A PATIO	887 SF
	ELEV.	85 SF
	STAIR A	211 SF
	STAIR B	67 SF
	TOWNHOUSE A	830 SF
	TOWNHOUSE B	830 SF
	TOWNHOUSE C	840 SF
		6,231 SF
1468 LEVEL 03	APARTMENT B	2,547 SF
	ELEV.	85 SF
	STAIR A	211 SF
	TOWNHOUSE A	829 SF
	TOWNHOUSE B	829 SF
	TOWNHOUSE C	839 SF
		5,341 SF
LEVEL 04	ELEV.	0 SF
	ROOF TOP PATIO	843 SF
	STAIR	195 SF
	STAIR A	177 SF
	TOWNHOUSE A ROOFTOP PATIO	333 SF
	TOWNHOUSE B ROOFTOP PATIO	339 SF
TOWNHOUSE C ROOFTOP PATIO	338 SF	
		2,225 SF
Grand total		22,870 SF

FLOOR PLANS | Proposed - Second Level Plan



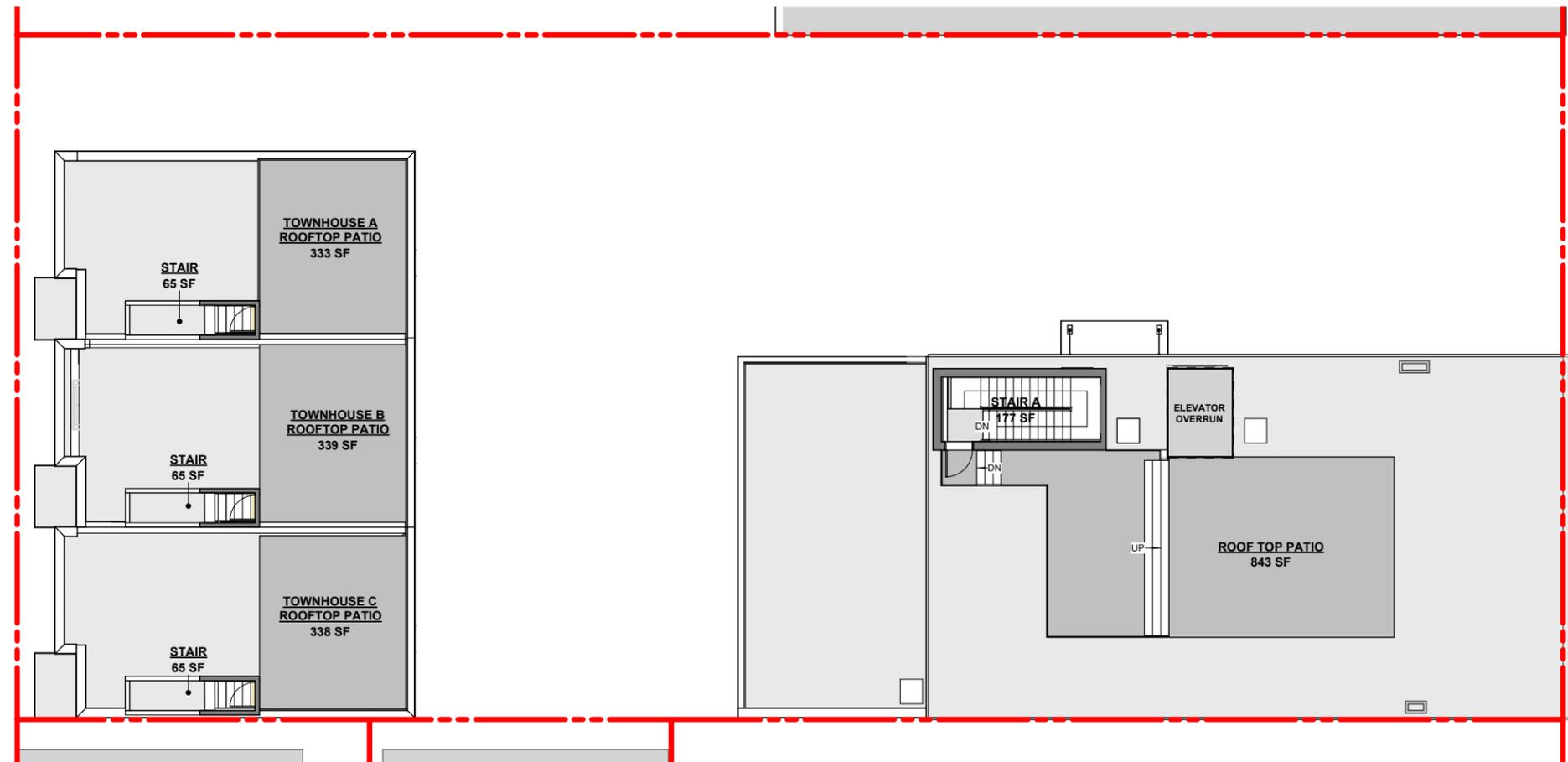
Gross Building Area Square...	
1468 BASEMENT	
1468 BUILDING SERVICES	453 SF
1468 CORRIDOR	69 SF
1468 ELEV.	85 SF
1468 RESTAURANT SERVICE	2,027 SF
1468 STAIR A	209 SF
	2,844 SF
1468 LEVEL 01	
CORRIDOR	392 SF
ELEV.	85 SF
GARAGE 1	444 SF
GARAGE 2	444 SF
RETAIL	2,048 SF
STAIR A	209 SF
STAIR B	109 SF
TOWNHOUSE A	359 SF
TOWNHOUSE A	470 SF
GARAGE	
TOWNHOUSE B	359 SF
TOWNHOUSE B	470 SF
GARAGE	
TOWNHOUSE C	364 SF
TOWNHOUSE C	476 SF
GARAGE	
	6,229 SF
1468 LEVEL 02	
APARTMENT A	2,480 SF
APARTMENT A PATIO	887 SF
ELEV.	85 SF
STAIR A	211 SF
STAIR B	67 SF
TOWNHOUSE A	830 SF
TOWNHOUSE B	830 SF
TOWNHOUSE C	840 SF
	6,231 SF
1468 LEVEL 03	
APARTMENT B	2,547 SF
ELEV.	85 SF
STAIR A	211 SF
TOWNHOUSE A	829 SF
TOWNHOUSE B	829 SF
TOWNHOUSE C	839 SF
	5,341 SF
LEVEL 04	
ELEV.	0 SF
ROOF TOP PATIO	843 SF
STAIR	195 SF
STAIR A	177 SF
TOWNHOUSE A	333 SF
ROOFTOP PATIO	
TOWNHOUSE B	339 SF
ROOFTOP PATIO	
TOWNHOUSE C	338 SF
ROOFTOP PATIO	
	2,225 SF
Grand total	22,870 SF

FLOOR PLANS | Proposed - Third Level Plan



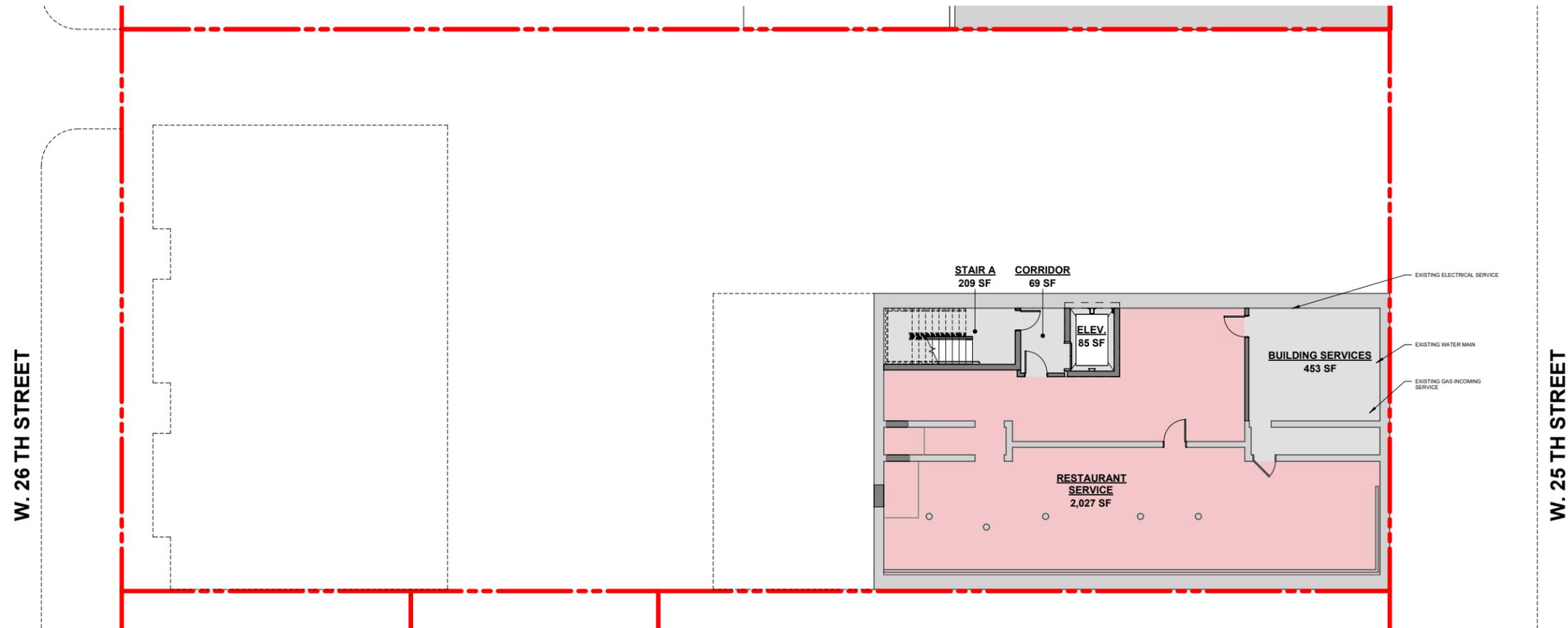
Gross Building Area Square...	
1468 BASEMENT	
1468 BUILDING SERVICES	453 SF
1468 CORRIDOR	69 SF
1468 ELEV.	85 SF
1468 RESTAURANT SERVICE	2,027 SF
1468 STAIR A	209 SF
	2,844 SF
1468 LEVEL 01	
CORRIDOR	392 SF
ELEV.	85 SF
GARAGE 1	444 SF
GARAGE 2	444 SF
RETAIL	2,048 SF
STAIR A	209 SF
STAIR B	109 SF
TOWNHOUSE A	359 SF
TOWNHOUSE A GARAGE	470 SF
TOWNHOUSE B	359 SF
TOWNHOUSE B GARAGE	470 SF
TOWNHOUSE C	364 SF
TOWNHOUSE C GARAGE	476 SF
	6,229 SF
1468 LEVEL 02	
APARTMENT A	2,480 SF
APARTMENT A PATIO	887 SF
ELEV.	85 SF
STAIR A	211 SF
STAIR B	67 SF
TOWNHOUSE A	830 SF
TOWNHOUSE B	830 SF
TOWNHOUSE C	840 SF
	6,231 SF
1468 LEVEL 03	
APARTMENT B	2,547 SF
ELEV.	85 SF
STAIR A	211 SF
TOWNHOUSE A	829 SF
TOWNHOUSE B	829 SF
TOWNHOUSE C	839 SF
	5,341 SF
LEVEL 04	
ELEV.	0 SF
ROOF TOP PATIO	843 SF
STAIR	196 SF
STAIR A	177 SF
TOWNHOUSE A ROOFTOP PATIO	333 SF
TOWNHOUSE B ROOFTOP PATIO	339 SF
TOWNHOUSE C ROOFTOP PATIO	338 SF
	2,225 SF
Grand total	22,870 SF

FLOOR PLANS | Proposed - Roof Level Plan



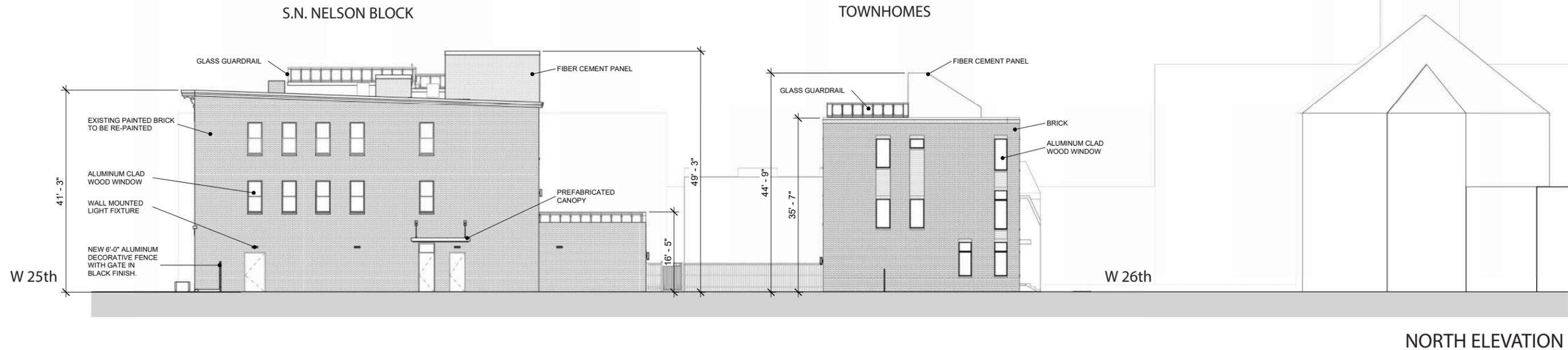
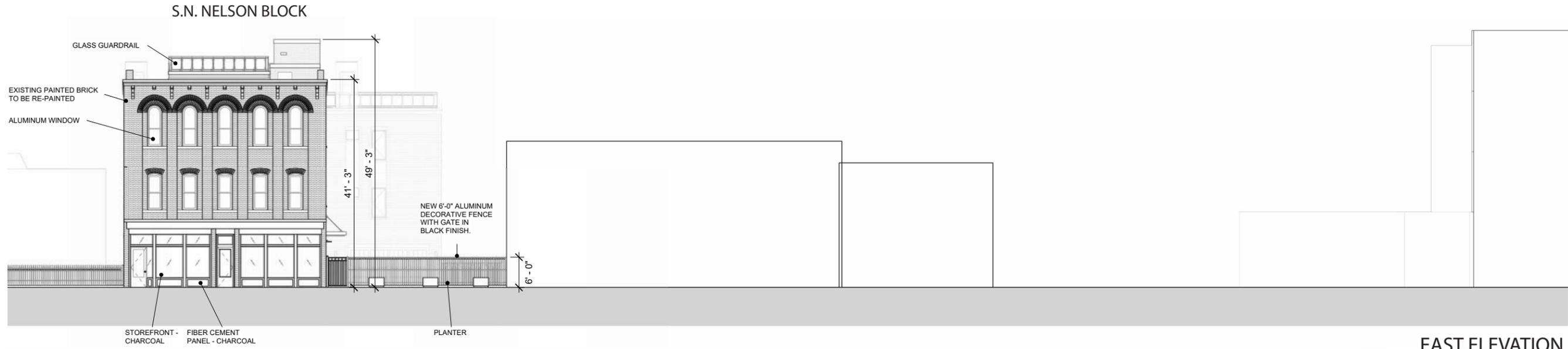
Gross Building Area Square...	
1468 BASEMENT	
1468	BUILDING SERVICES 453 SF
1468	CORRIDOR 69 SF
1468	ELEV. 85 SF
1468	RESTAURANT SERVICE 2,027 SF
1468	STAIR A 209 SF
	2,844 SF
1468 LEVEL 01	
	CORRIDOR 392 SF
	ELEV. 85 SF
	GARAGE 1 444 SF
	GARAGE 2 444 SF
	RETAIL 2,048 SF
	STAIR A 209 SF
	STAIR B 109 SF
	TOWNHOUSE A 359 SF
	TOWNHOUSE A GARAGE 470 SF
	TOWNHOUSE B 359 SF
	TOWNHOUSE B GARAGE 470 SF
	TOWNHOUSE C 364 SF
	TOWNHOUSE C GARAGE 476 SF
	6,229 SF
1468 LEVEL 02	
	APARTMENT A 2,480 SF
	APARTMENT A PATIO 887 SF
	ELEV. 85 SF
	STAIR A 211 SF
	STAIR B 67 SF
	TOWNHOUSE A 830 SF
	TOWNHOUSE B 830 SF
	TOWNHOUSE C 840 SF
	6,231 SF
1468 LEVEL 03	
	APARTMENT B 2,547 SF
	ELEV. 85 SF
	STAIR A 211 SF
	TOWNHOUSE A 829 SF
	TOWNHOUSE B 829 SF
	TOWNHOUSE C 839 SF
	5,341 SF
LEVEL 04	
	ELEV. 0 SF
	ROOF TOP PATIO 843 SF
	STAIR 196 SF
	STAIR A 177 SF
	TOWNHOUSE A ROOFTOP PATIO 333 SF
	TOWNHOUSE B ROOFTOP PATIO 339 SF
	TOWNHOUSE C ROOFTOP PATIO 338 SF
	2,225 SF
Grand total	22,870 SF

FLOOR PLANS | Lower Level Plan

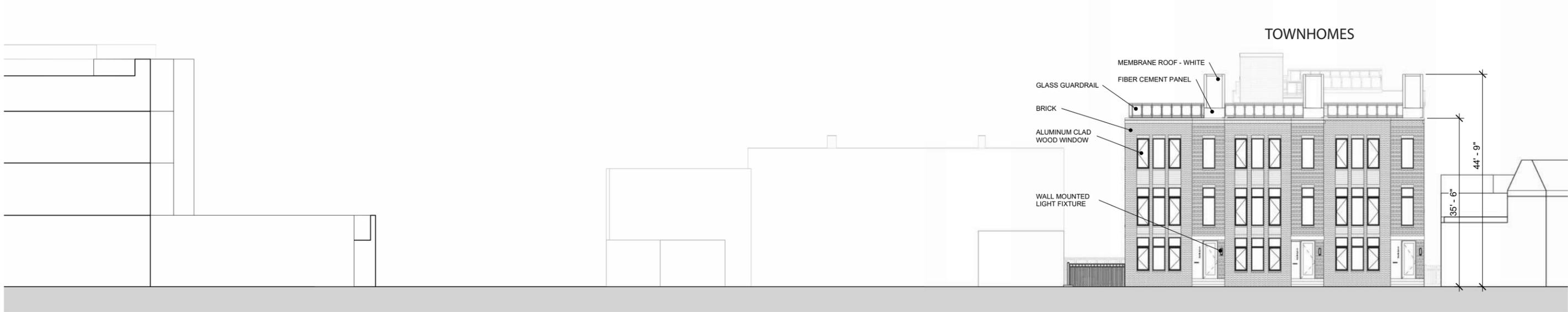


Gross Building Area Square...	
1468 BASEMENT	
1468 BUILDING SERVICES	453 SF
1468 CORRIDOR	69 SF
1468 ELEV.	85 SF
1468 RESTAURANT SERVICE	2,027 SF
1468 STAIR A	209 SF
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1468 LEVEL 01	
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APARTMENT B	2,547 SF
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Grand total	22,870 SF

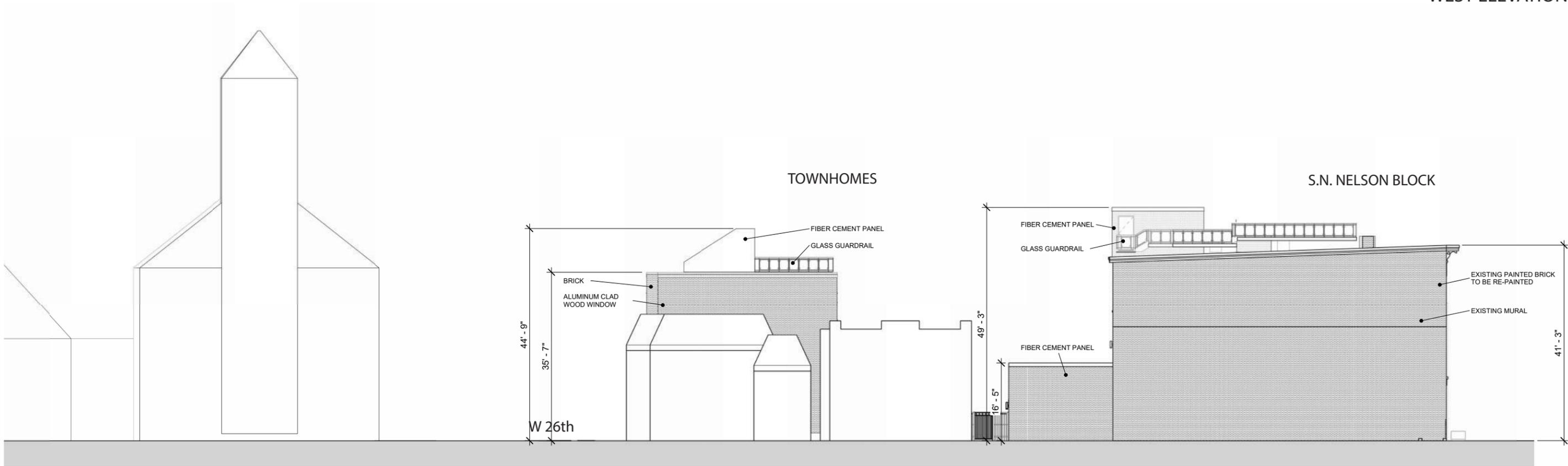
ELEVATIONS | East Elevation & North Elevation



ELEVATIONS | West Elevation & South Elevation

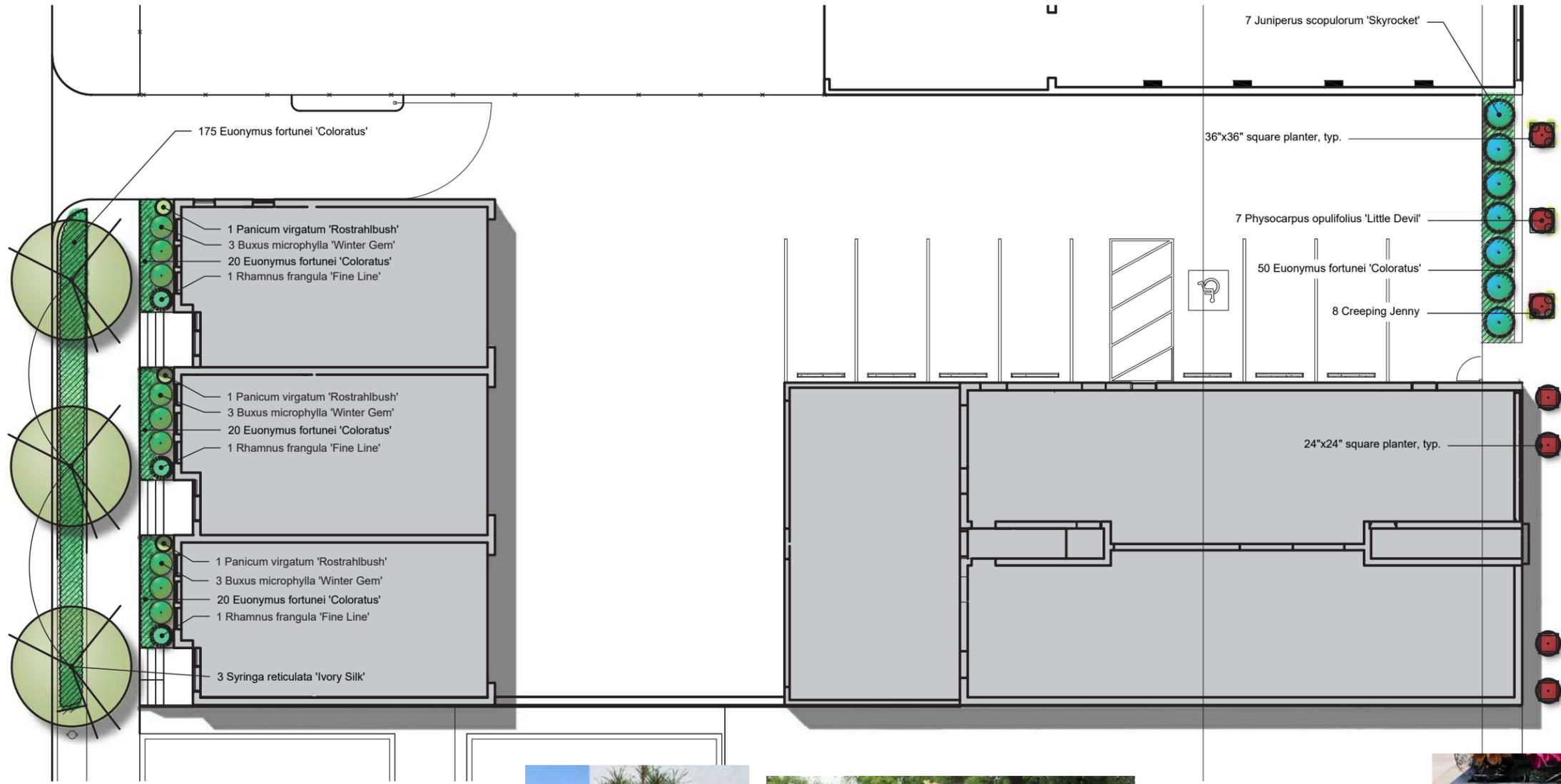


WEST ELEVATION



SOUTH ELEVATION

LANDSCAPE | Landscape Plan & Plantings



Euonymus fortunei 'Coloratus'
Purple Leaf Wintercreeper



Juniperus scopulorum 'Blue Arrow'
Blue Arrow Juniper



Panicum virgatum
'Rostrahlbush'
Red Rays Switchgrass



Buxus microphylla 'Winter Gem'
Winter Gem Boxwood



Rhamnus frangula 'Fine Line'
Fine Line Buckthorn



Syringa reticulata 'Ivory Silk'
Ivory Silk Tree Lilac



Physocarpus opulifolius 'Little Devil'
Little Devil Ninebark



Square planter



Creeping Jenny





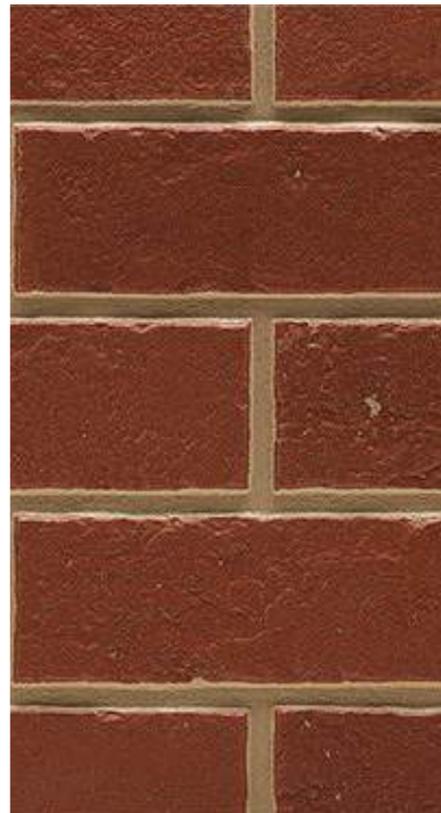




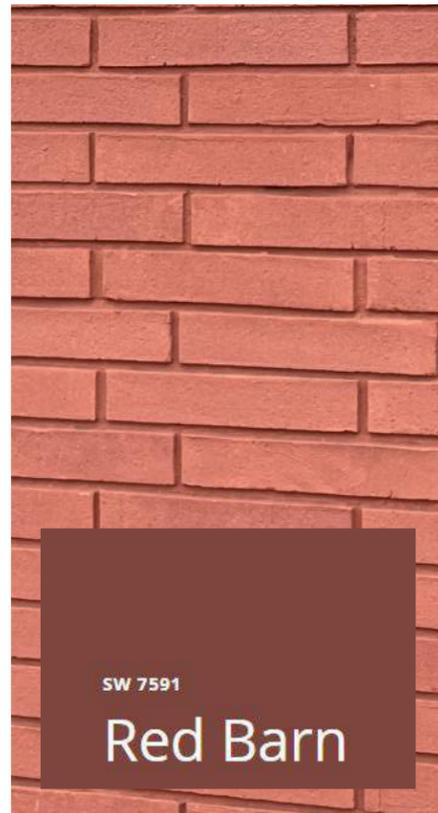








Fiber Cement Panel - Brick
Nichiha - Plymouth Brick - Crimson



Existing Re-painted Brick Masonry
Sherwin-Williams - Red Barn (SW7591)



Aluminium Clad Wood Windows
profile to match historic profile
Double Hung - Off -White



Wall Mounted Light Fixture
Cooper - Amertrix - Asyx - Black
HEWilliams - 4" Direct / Indirect - Black

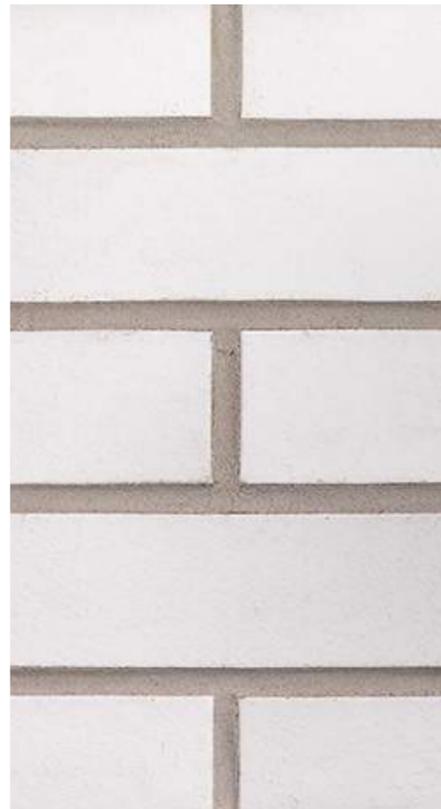


Roof Top Guardrail
TBD



Unit Garage Door
Clopay - Gallery Steel - Black

MATERIALITY | Townhome Building Palette



White Brick Masonry
Glen -Gery - Aspen White



Aluminium Clad Wood Windows
Casement & Fixed - Black



Fiber Cement Panels
Hardie Panel - Arctic White



Wall Mounted Light Fixture
HEWilliams - 4" Direct / Indirect - Black



Roof Top Guardrail
TBD



Unit Garage Door
Clopay - Avante - Black Anodized w/
White Laminate Glass

HE Williams - 4" Direct / Indirect

4 INCH

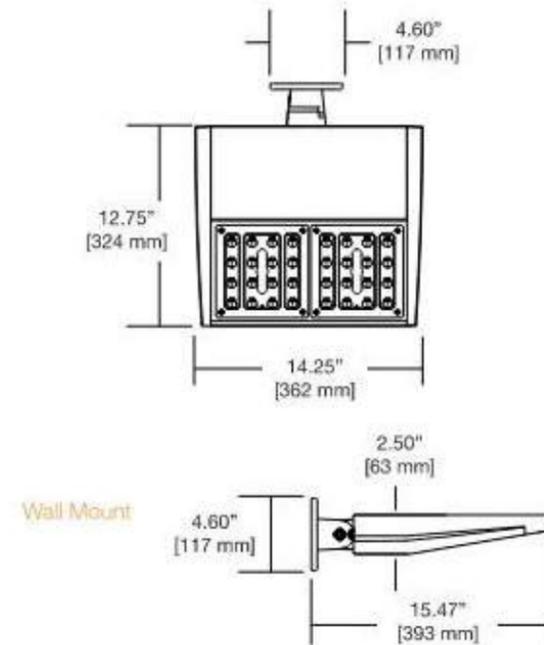


Click for more info →	4CRDI		4C
	Height	13"	17"
Round	✓		
Square	✓		
Max Delivered Lumens	4,000	4,000	
Beam Angles	8, 15, 40, 70	14, 20, 30, 40	
Uplight	✓		
Emergency Battery	✓		
Tunable White	✓		
Dim to Warm	✓		
PoE	✓		
Cable	✓		
Pendant	✓		
Power Cord	✓		
Surface	✓		
Wall	✓		
Open Anodized Reflector	✓		
Flush Lens	✓		
Regressed Lens	✓		

Cooper - Ameritrix - Asyx



Asyx 2.0 S2 Wall Mount



SERIES			
ASYX	Asymmetric Luminaire		
MOUNTING			
WM	Wall Mount		
SP	Single Pendant		
DP	Dual Pendant		
SIZE			
S	Small		
LIGHT LEVEL			
2	Two Light Squares (9612 LMS/ 107W)*	* Based on 4000K and Wide throw distribution	
ENVIRONMENT			
ID	Indoor		
OD	Outdoor		
NT	Natorium		
ORIENTATION			
U	Uplight		
D	Downlight		
DISTRIBUTION			
F	Forward Throw		
W	Wide Throw		
COLOR TEMPERATURE			
27	LED 2700K	35	LED 3500K
30	LED 3000K	40	LED 4000K
NUMBER OF CIRCUITS			
1	Single Circuit		
VOLTAGE			
UNV	Universal 120V-277V		
FINISH			
W	White	Z	Bronze
S	Silver	C	Custom Color (RAL available)
B	Black		
SURFACE TYPE			
R	Mounting Plate (mounts to recessed junction box, by others)		
C	Surface Mount Box (mounts to surface junction box, by others)		
DRIVER OPTIONS			
STD	Standard 0-10V		
SLT	DALI Dimming		
INTEGRAL CONTROL			
SV	Mini Sensor - Integral Occupancy Sensor/ Daylight Sensor		
OPTICAL ORIENTATION (OPTIONAL)			
R90	Optics Rotated 90° right, from standard		
L90	Optics Rotated 90° left, from standard		
180	Optics Rotated 180° from standard		
OPTIONS			
RM	Rigid Fixed Knuckle (replaces standard adjustable knuckle)		
ACCESSORIES (OPTIONAL)			
FSIR-100	Remote control for Mini Sensor (order separately and per group of fixtures. Order only with SV option)		
ORDERING EXAMPLE			
ASYX-WM-S-2-OD-D-F-L40-1-UNV-W-R-STD-RM			

vocon.

**LET YOUR
SPACES SPEAK.**



CITY OF CLEVELAND
Mayor Justin M. Bibb

Schematic Plan Review

May 22nd, 2025



Case 25-034

Schematic Plan Review

Shaker Square Historic District

Colony Apartments 2809-2935 Van Aken Boulevard

Signage

Project Representatives: Brandon Cline, Smartland LLC

Ward 4: Councilmember Gray



Colony Apartments Monument Signs



Project Summary: Colony Apartments Monument Signage Installation

This project proposes the installation of two new freestanding monument signs at Colony Apartments, a historically significant multifamily community. The signage package includes one primary monument sign measuring 13 feet wide by 6.5 feet high and a secondary sign measuring 9 feet wide by 6 feet high. Both signs are designed with internally illuminated lettering and surrounding light boxes to maximize visibility and present a clean, timeless appearance, both day and night.

Each sign will be strategically positioned near key entry points to the property, set back from sidewalks and pedestrian walkways to maintain open sightlines and ensure safe, unobstructed access. The design and placement of the signage reflect a thoughtful balance between historic sensitivity and modern functionality, reinforcing the property's identity while elevating its visibility, curb appeal, and overall presence within the community.



At Smartland, we specialize in revitalizing undervalued properties to enhance neighborhoods and deliver high-quality housing options. Our mission is to provide residents with a unique blend of affordability and luxury through thoughtfully renovated apartment communities. Every applicant undergoes a thorough screening process including background, credit, and employment verification to ensure a safe and respectful living environment. We hold all of our properties to the highest standards, creating communities where residents can enjoy a superior quality of life that stands apart from the rest.



Project Benefits

- Establishes a strong, professional identity for the property
- Enhances curb appeal and creates a positive first impression
- Improves wayfinding for residents, visitors, and emergency services
- Increases visibility from the street, day and night
- Acts as a 24/7 marketing tool to attract prospective tenants
- Signals pride of ownership and quality property management
- Contributes to a clean, cohesive neighborhood appearance
- Promotes safety by reducing confusion at entry points

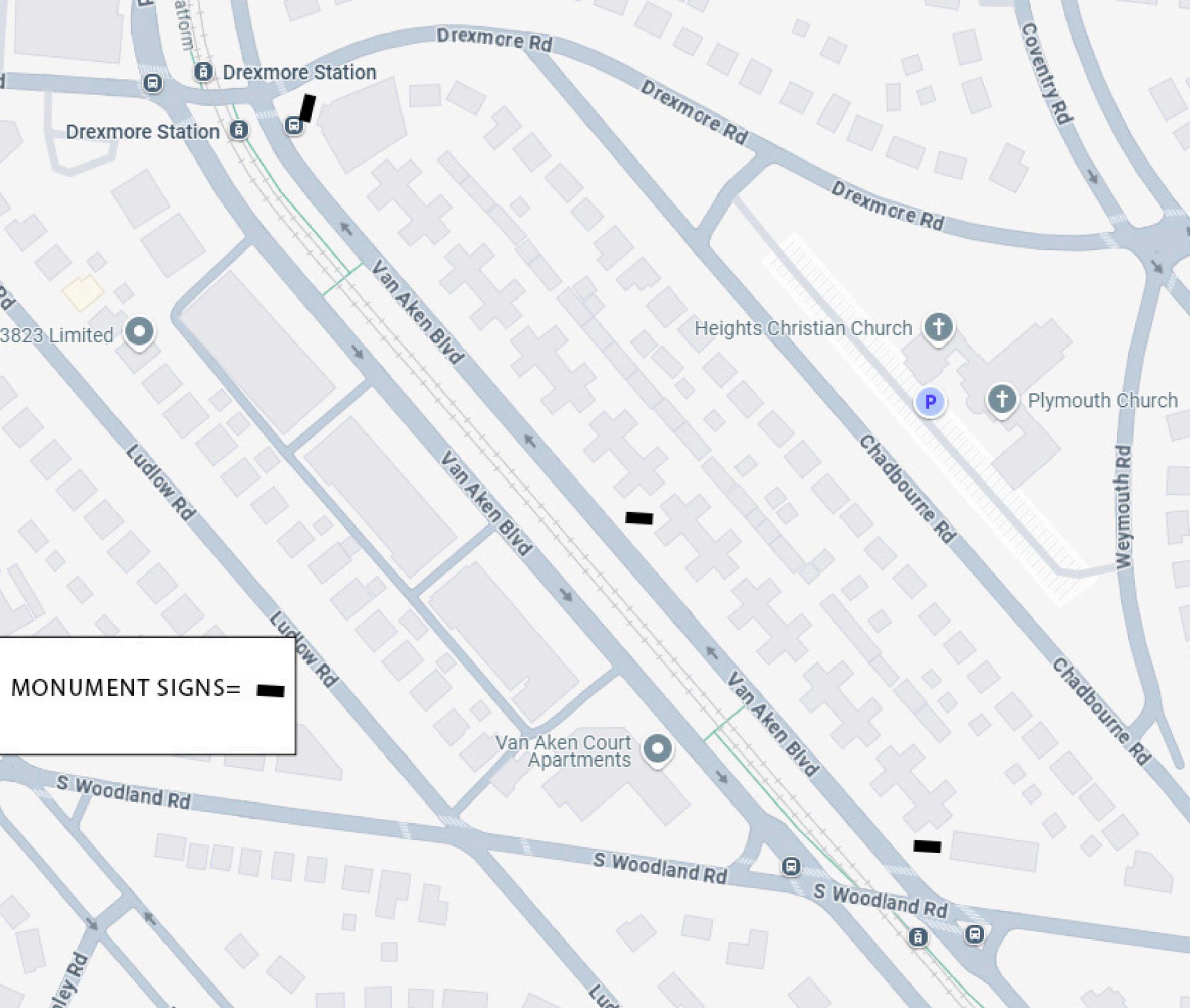


Existing Conditions

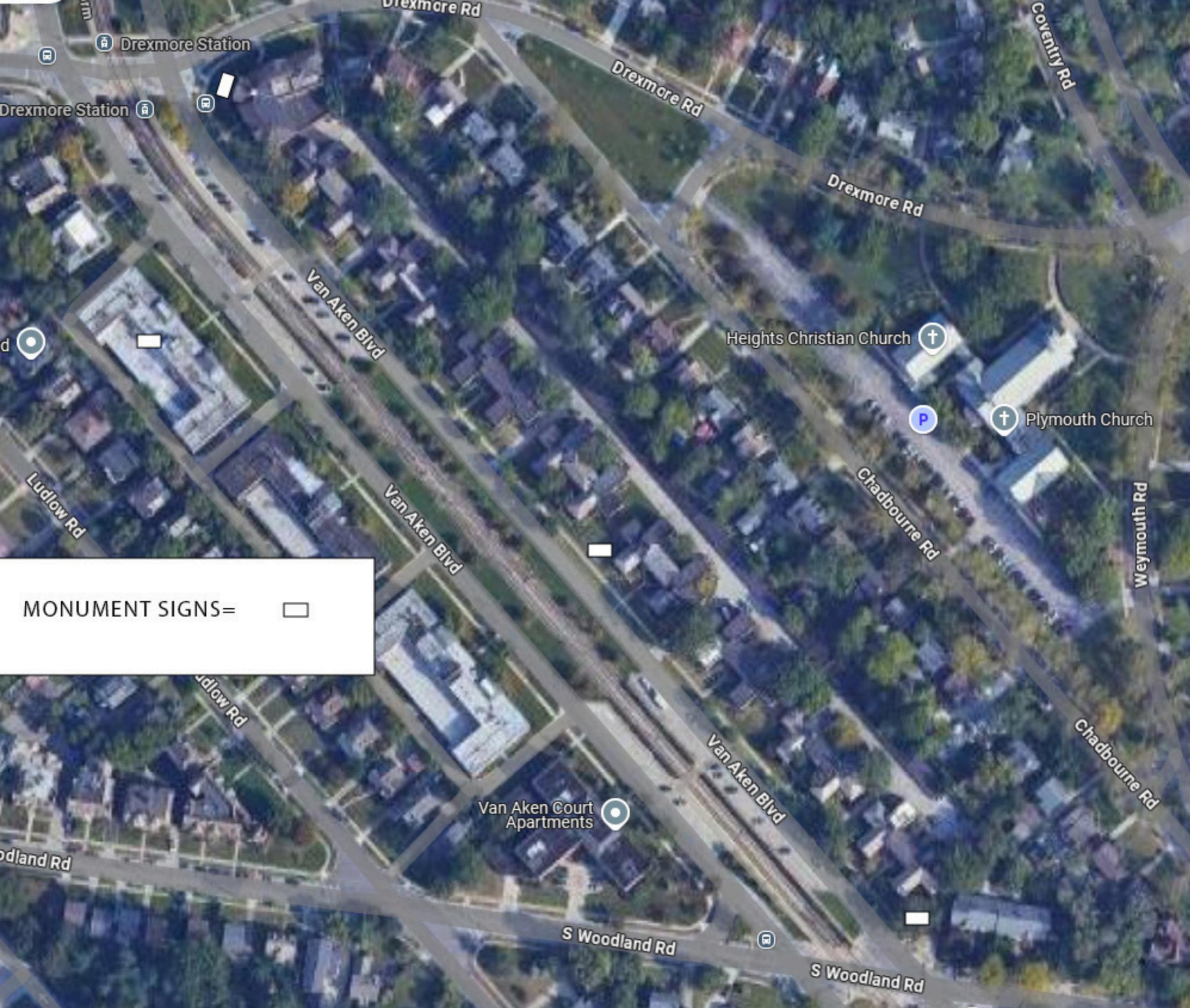


Existing Conditions

Signage Locations



Signage Locations



MONUMENT SIGNS= 



The proposed signage locations have been carefully selected to maximize visibility, accessibility, and visual impact for both residents and prospective tenants. The monument signs are strategically placed at each end of the property and at the center along Van Aken Boulevard to ensure clear and consistent identification of the community from multiple directions. These placements take advantage of existing sightlines and natural breaks in the landscaping, allowing the signage to stand out while complementing the historic character of the site. Positioned near key entrances, driveways, and pedestrian pathways, the signs are designed to capture attention, enhance wayfinding, and reinforce the property's presence within the neighborhood. Collectively, this signage approach strengthens identity, supports resident experience, and elevates overall curb appeal in a cohesive and intentional manner.

Sign Design

Side View



The sleek, modern design of the monument signs enhances the visual identity of Colony Apartments while maintaining a respectful balance with the property’s historic charm. Each sign will feature two illuminated text boxes: the primary "Colony Apartments" box measuring 1.5 feet tall by 5.5 feet wide, and a secondary "Managed by Smartland" box measuring 0.75 feet tall by 3 feet wide. The clean typography, structured layout, and illuminated lettering create a strong, recognizable presence that improves visibility and reinforces the community’s brand.

Sign Design

5.5 FT WIDE

3 FT WIDE

COLONY
APARTMENTS

MANAGED BY
SMARTLAND[®]

.75 FT TALL

1.5 FT TALL

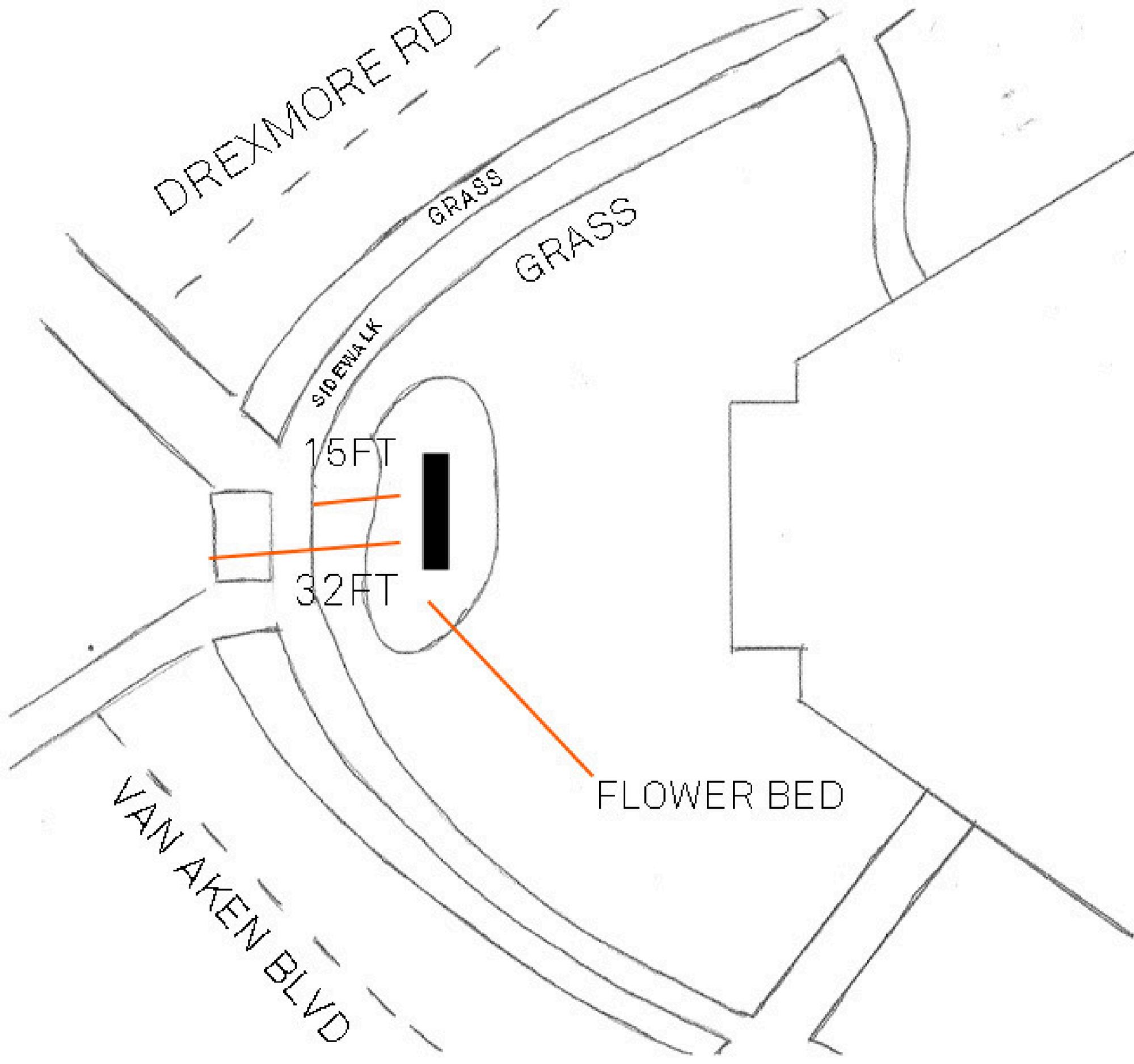


Site Plans/ Materials

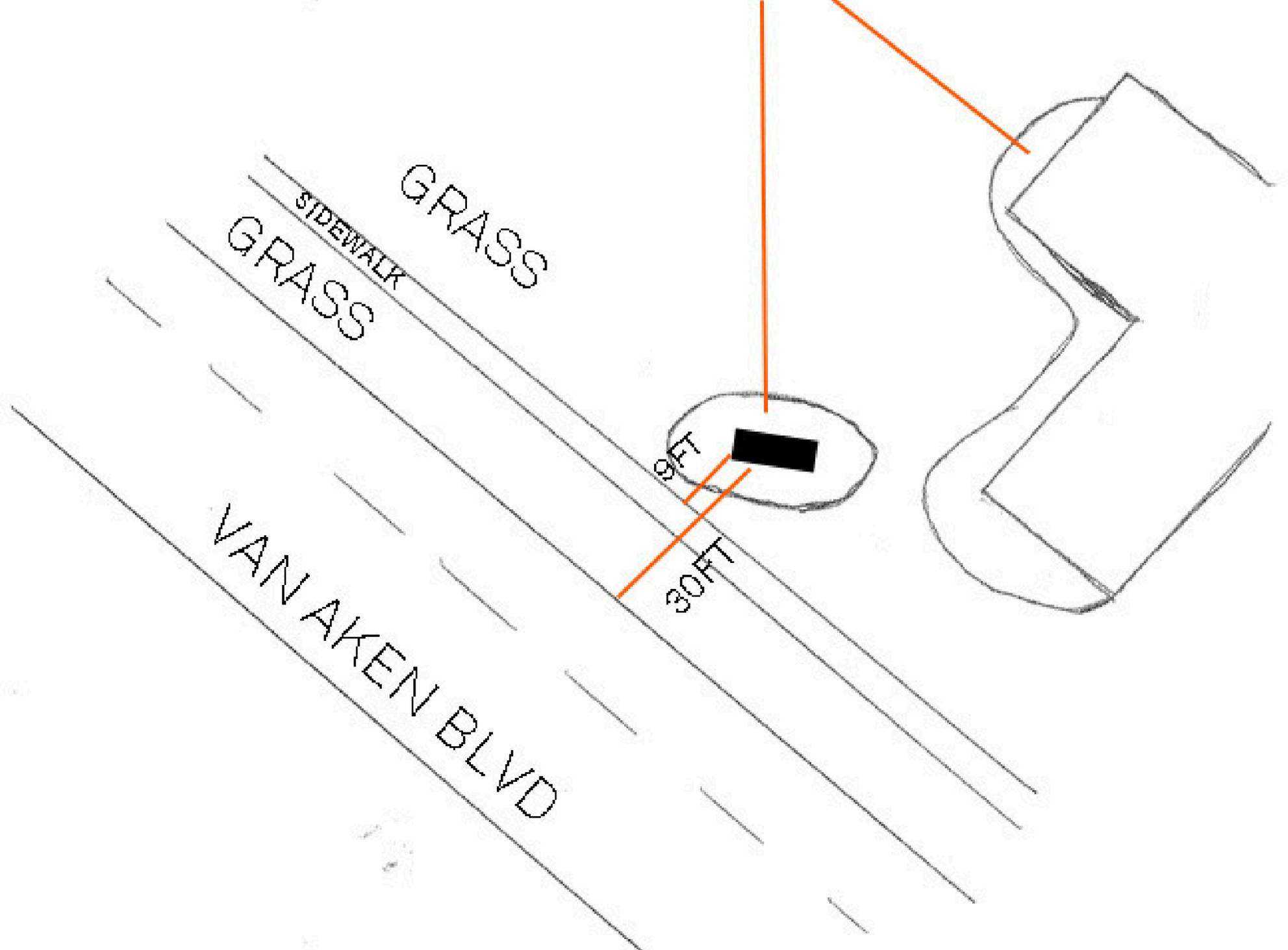
The proposed monument signage package for Colony Apartments includes two freestanding signs designed to enhance visibility, support wayfinding, and strengthen the overall identity of the property. The package consists of one sign measuring 9 feet wide by 6 feet high (approximately 35 square feet) and one primary monument sign measuring 13.5 feet wide by 6.5 feet high (approximately 70 square feet).

Both signs will be constructed from high-quality materials including stainless steel, aluminum, and acrylic, ensuring long-lasting durability and weather resistance suitable for exterior use. Each sign will feature internally illuminated lettering and surrounding light boxes, incorporating waterproof LED modules for consistent performance in all weather conditions. The lighting system is engineered for energy efficiency and low power consumption.

The signs will be freestanding and strategically positioned away from sidewalks to preserve open sightlines and ensure safe pedestrian access. Their scale, materials, and illumination have been thoughtfully designed to complement the property's historic character while meeting modern standards for visibility, functionality, and aesthetic appeal.



FLOWER BED





Renderings



Renderings