



Cleveland Landmarks Commission

Thursday, July 28, 2022

****PLEASE MUTE YOUR MICROPHONE****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

Preamble

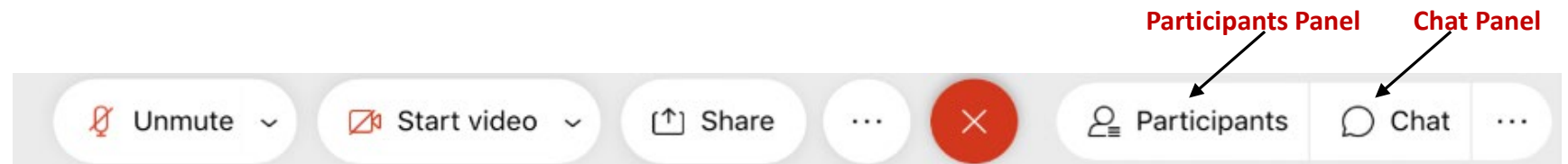
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



July 28, 2022

Cleveland Landmarks Commission

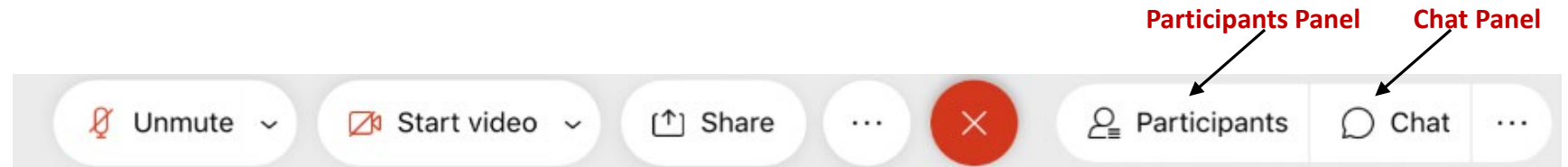
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



July 28, 2022

Cleveland Landmarks Commission

Public Hearing



February 28, 2022

Cleveland Landmarks Commission

Call to Order



July 28, 2022

Cleveland Landmarks Commission

Landmark Nomination



July 28, 2022

Landmark Nomination

July 28, 2022



Romanian Baptist Church
1416 West 57th Street
Ward 15: Spencer

Cleveland Landmark Nomination

Romanian Baptist Church

1416 W. 57th Street



Romania History



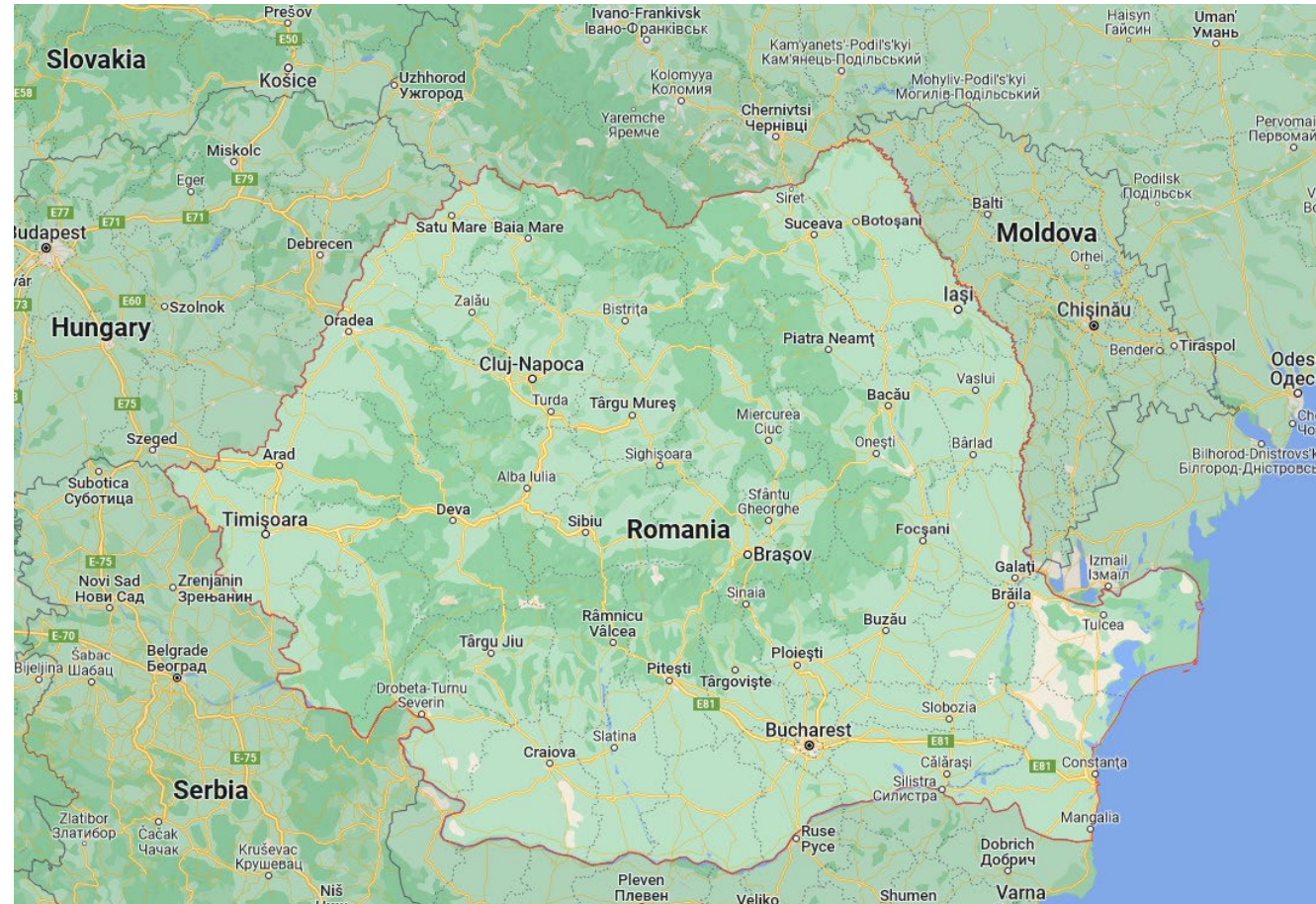
- Wallachia and Moldavia unified in 1859 via Prince Cuza
 - February 5, 1861 – Union formally declared creating Romania
 - Ottoman Empire
- 1877 – Romanian Parliament declares independence
- 1881 – Kingdom of Romania
 - Bessarabia occupied by Russian Empire
 - Transylvania part of the Austrian – Hungarian Empire

Romania History

- March 27, 1918 – Bessarabia and Romania unified
- December 1st, 1918 – Unification Day as Transylvania and Romania join together
- Romania officially recognized via the Treaty of Versailles and Treaty of Trianon



Romania



Romanians to America

- 1895-1914 Greatest migration
- 85% of migration from three areas
 - Carpathian Foothills
 - Transylvanian Plain
 - Bihor Massif
- “Migration proceeded along well-traveled courses to specific destinations in the city creating ethnic settlements from these concentrations.”
 - Broad cultural identity for Romanians
- Estimated 120,000 Romanians to America

Romanians to Cleveland

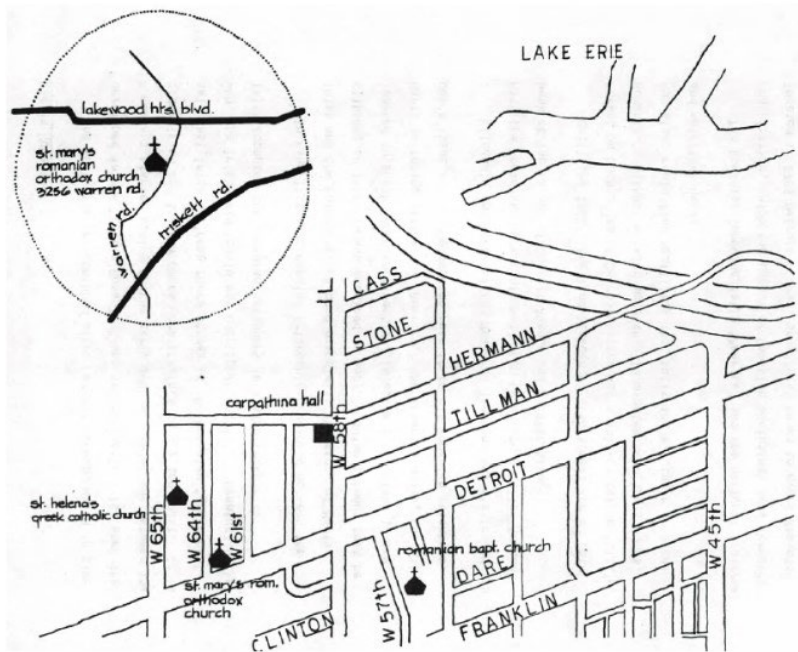
- Transylvanian Saxons were typically the first to leave
 - By 1891, this settlement was large enough to support a mutual benefits society
- “This settlement attracted peasants from ethnically mixed villages which affected more than 80 villages in the area.” (Saxon and Romanian)
- Solitary Migration vs. Chain Migration
- No regional separation
- Primarily to earn money to pay incurred debts and buy land back in Romania

Romanians in Cleveland

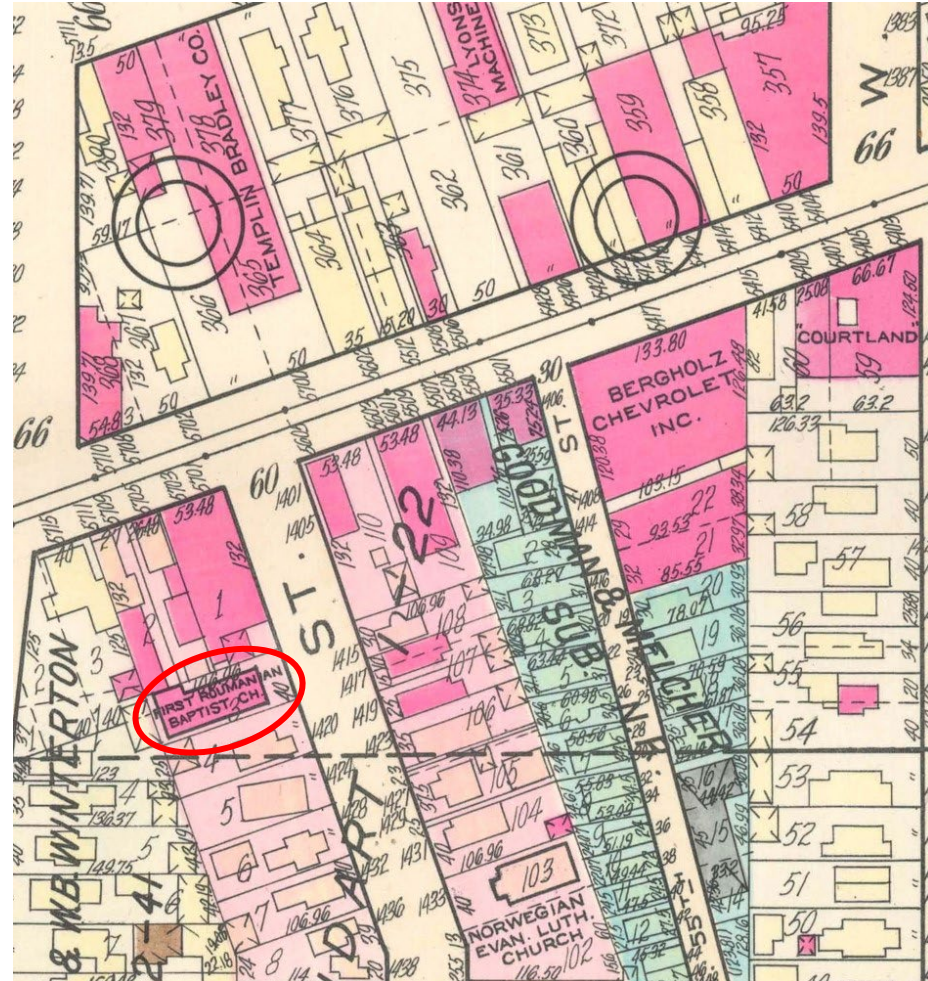
- 1902 – First Romanian mutual benefit society (Carpatina)
- Romanian settlement on west side of city
 - Detroit Avenue between W. 45th and W. 65th
 - Irish settlement
- First Romanian Parishes in America
 - St. Mary Orthodox
 - St. Helena Byzantine



Little Romania



LITTLE ROMANIA OF CLEVELAND IN 1920's: Some American Romanians still live between West 65th and West 61st, others moved one hundred streets to the west, within a half mile radius of St. Mary's Romanian Church on Warren Road.



Romanian Baptist Church

- Biserica Baptista Romana
- Organized in 1910
- One of the earliest of this denomination in the United States
- L.A. Gredys was a Romanian missionary in Cleveland
- Six members started meeting for services in Romanian at Olivet Baptist Church (Bridge Ave./ W. 52nd St.)
- Later rented a house on Tillman Ave. new W. 58th St.
- Later rented “Pilgrim Congregational Church” on Herman Ave.

Romanian Baptist Church

- Gredys also preached in Akron where he enlisted Mihai Farc (Michael Fark) to assist in Cleveland
- Gredys was called to pastor the Akron Romanian Baptist Church in 1914
- Under Fark's leadership, the congregation grew and a new church was planned.
- Fark was missionary to congregations on both east and west side of City
- Land donated for the church but construction delayed due to outbreak of WWI

Romanian Baptist Church

- Constructed in 1922
- Architect John H. Graham
- Designed buildings in greater Cleveland
 - Laurel School – Shaker Heights
 - Main Building
 - Residence Hall
 - Kindergarten Building
 - Fairmount Presbyterian Church – Cleveland Heights
 - Coventry Library – Cleveland Heights
 - Film Exchange Building - Cleveland



Romanian Baptist Church

- With the completion of the church, Fark was given full-time status as a Missionary.
- 1925 – Fark was ordained as a minister
- 1939 – Fark called to pastor the Romanian Baptist Church in Aurora, Illinois
- The new pastor to be called would be there for 35 years

Rev. Danila Pascu

- Unable to return to Romania due to the war
- Invited to become pastor of the parish in 1939
- 1940 – Initiated the Romanian Radio Hour ministry
- 1941 – His wife and two children arrived in Cleveland



Dănilă Pascu, pastor

Rev. Danila Pascu

- After World War II, he was sent to Europe to investigate the plight of refugees
- His report was influential in creating special funding through the Baptist World Alliance Board
- Helped resettle hundreds of displaced Immigrant families
- Immigration and Nationality Act of 1965
 - Testimony solicited by Congressman Michael Feighan
 - Family integration should be a top priority when granting entry permits

Romania in WWII

- Romania became a military dictatorship (National Legionary State) under Ion Antonescu in 1940 and was aligned with Nazi Germany
- King Michael (Regele Mihai) I participated in a coup which ousted Antonescu and declared an armistice agreement with the Allies in 1944



Romania Post WWII

- In 1945, King Michael forced to appoint a pro-Soviet government headed by Petru Groza as Prime Minister
- After two years, King Michael was forced to abdicate the throne, sent into exile, had his properties confiscated and his citizenship stripped
- Romania would become a Communist dictatorship until 1989

King Mihai visits Cleveland



Regele Mihai I semnează pe Biblia de pe amvonul bisericii. Cleveland. 1948



Regele Mihai I al României, în vizită la Biserica Baptistă Română din Cleveland 1948

Regele Mihai I, în cadrul bisericii din Cleveland, promite verbal și în scris, semnându-și angajamentul pe Biblia de pe amvonul bisericii, că va acorda libertate religioasă⁶² credincioșilor baptiști din România dacă va reveni pe tronul României.

Romanian Baptist Church

- The congregation would continue to grow primarily with new members arriving from Romania through refugee camps
- They would finally outgrow the West 57th location and actively began to look for a new property
- In December 1989, the congregation purchased property in Parma for their new sanctuary and the West 57th church is sold
- April 29, 1990 – Celebration of the inauguration of the new facility

Romanian Baptist Church



- The building meets the criteria for Landmark Designation
 - Age
 - Integrity
 - Significance

Romanian Baptist Church



Significance

- Its character, interest or value is part of the development, heritage or cultural characteristics of the City, State or the United States
- Its location is a site of a significant historical event
- Its identification is with a person who significantly contributed to the culture of the city
- The property exemplifies the cultural, economic, social or historic heritage of the city
- The historic property is identified with an architect whose work has influenced the development of the area
- The historic property embodies elements of architectural design, detail, materials, or craftsmanship which represent a significant architectural innovation
- The historic property relates to other distinctive areas which are eligible for preservation activities, based on a historic, cultural, or architectural motif
- The historic property's location or its singular physical characteristics represent the establishment or are a familiar visual feature of the neighborhood

Thank you

- Research assistance from:
 - Heather Lazar
 - David Jurca
- Source material
 - *Peasants and Strangers: Italians, Rumanians, and Slovaks in an American City* – Joseph J. Barton (1975)
 - *Romanian Americans and Their Communities of Cleveland* – Theodore Andrica (1977)
 - *History of the Romanian Baptist Church in Cleveland* (2017)

Cleveland Landmarks Commission

Adjournment



July 28, 2022

Cleveland Landmarks Commission

Call to Order & Roll Call



July 28, 2022

Cleveland Landmarks Commission

Certificates of Appropriateness



July 28, 2022



Case 22-053: East 4th Street Historic District

Blek Le Rat Tour de France à Cleveland, 417 Prospect Avenue, 2077 East 4th Street

Public Art

Ward 3: McCormack

Project Representatives: Stamy Paul, Luz Pellot (Graffiti HeArt)

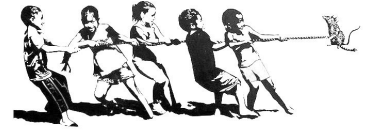


BLEK

Tour de France à Cleveland

#Blek2022
#Blek-Taki2022





Project Overview

- Project gained support by all building & business owners
- Project made possible by Graffiti HeArt 501(c)3 who is funding the project through existing funds, sponsorships, (and a CAC grant specifically for the Youth Stencil Workshop at Graffiti HeArt August 13th!)
- Installations to take place August 11th - 13th



Blek le Rat... the artist (wikipedia)



- **Blek le Rat** (pronounced [\[blɛk lə ʁa\]](#); born **Xavier Prou**,^[1] 1952)^[2] is a French [graffiti](#) artist. He was one of the first graffiti artists in Paris, and has been described as the "Father of [stencil graffiti](#)".^[3]
- Blek began his artwork in 1981, painting stencils of rats on the walls of Paris streets. He described the rat as "the only free animal in the city",^[4] and one which "spreads the plague everywhere, just like street art".^[5]



Blek le Rat... public mural installations

1. Warehouse District (Red): Ballerina
2. E. 4th Street (Blue Agave): Ball Player
3. Tremont (Wine & Design): Young Picasso
4. RTA (Merwin's Wharf): Blek le Rat, The man who walks through walls
5. St. Clair/Superior (Graffiti HeArt): Tug of War



1. Warehouse District: Red Steakhouse

417
Prospect
Ave E.



Original Blek mural

*"Ballerina" by
Blek le Rat*



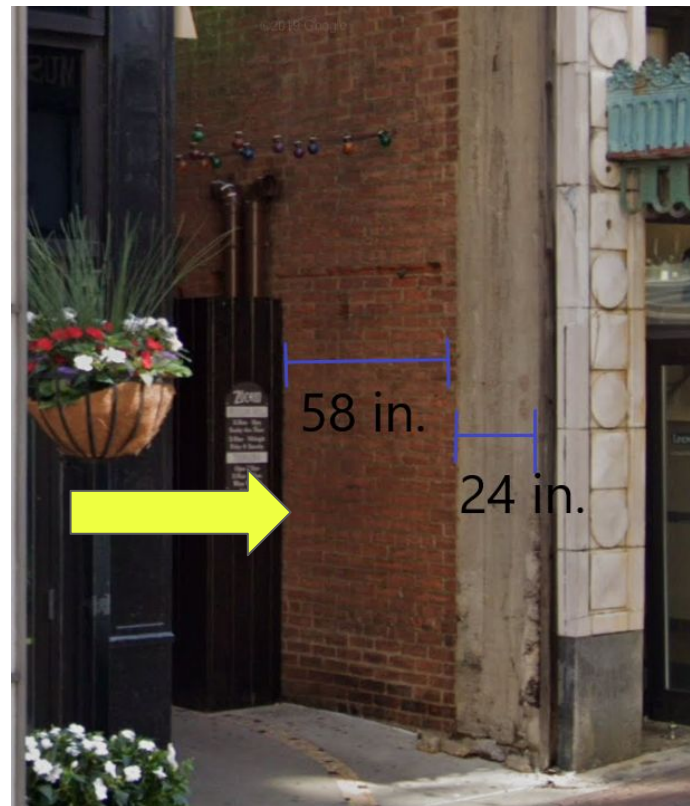
1. Warehouse District: Red Steakhouse

417 Prospect Ave E.



2. E.4th Street: Blue Agave

2073 E.4th



Original Blek mural

*"Ball Player" by
Blek le Rat*



2. E.4th Street: Blue Agave

2073 E.4th



3. Tremont: Wine & Design

751

Starkweather



Original Blek mural

*"Young Picasso" by
Blek le Rat*



3. Tremont: Wine & Design

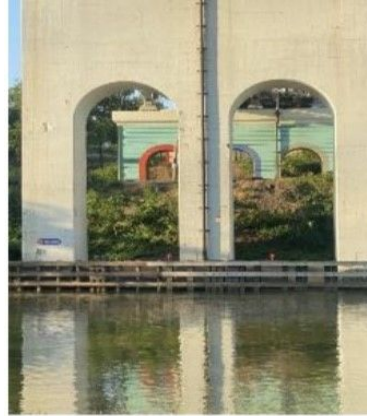
751

Starkweather



4. RTA: Merwin's Wharf/Flats

Rivergate Park



Original Blek mural

"The man who walks through walls" by Blek le Rat



4. St.Clair/Superior: Graffiti HeArt

Rivergate
Park



5. St.Clair/Superior: Graffiti HeArt

4829 Superior
Ave.



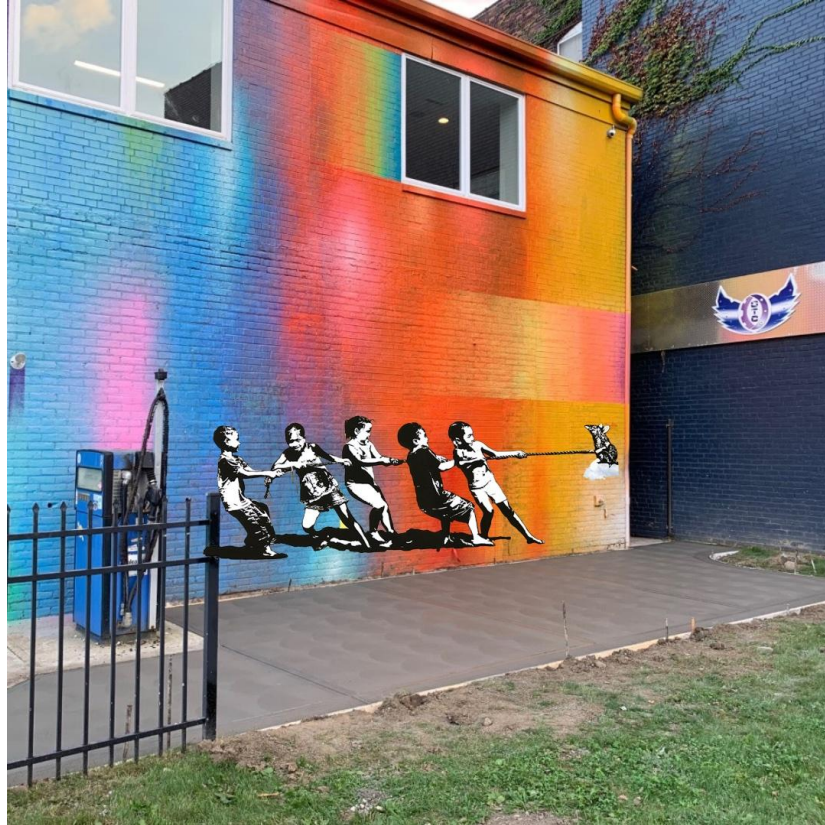
Original Blek mural

*"Tug o War" by
Blek le Rat*



5. St.Clair/Superior: Graffiti HeArt

4829
Superior
Ave.



Thank you!

a.w.e.s.o.m.e.

Art. Walls. Education.
Serving. Our. Mission.
Everywhere.



Cleveland Landmarks Commission

Design Review



July 28, 2022

Historic Downtown Cleveland Design Review Committee

July 20, 2022

Blek le Rat - Murals

Committee: Long, Benton, Zarnas

Staff: Thomas Starinsky, Tarra Petras, Don Petit

Applicant: Luz Pellot, Graffiti Heart

Proposal: Two locations for Blek le Rat murals

Details

- Blek le Rat is an international stencil mural artist
- Location at 417 Prospect (Red Steakhouse)
- Location at Sincere Building, 2077 E. 4th Street (at the Blue Agave entrance alley)

See presentation for further details.

Discussion

- Who is responsible for the maintenance? Graffiti Heart will put a protective coating. Typically, murals will last over 10 years.
- Will there be a plaque planned to identify the art? This has not been determined but will be considered.

Motion: Zarnas moved to approve the proposal as presented.

Second: Benton

Vote: Unanimous



Case 22-011: Fidelity Building (Baker Building) (Concept Plan 2/10/2022)

Fidelity Hotel 1940 East 6th Street

Renovation for Hotel and Retail

Ward 3: McCormack

Project Representatives: Paul Alessandro, Hartshorne Plunkard Architects

SHEET LIST	DESCRIPTION	DATE
A0.10	EXISTING CONDITIONS & LOCATION MAP	7/07/2022
A0.00	ARCHITECTURAL SITE PLAN	7/07/2022
C5.01	GRADING PLANS/WPP	7/07/2022
I2.012	GROUND FLOOR FURNITURE PLAN	7/11/2022
I3.012	MEZZANINE FLOOR FURNITURE PLAN	7/11/2022
I4.012	SECOND FLOOR FURNITURE PLAN	7/11/2022
IG.102	4TH-8TH FLOOR GUESTROOM PLAN	7/11/2022
IG.104	9TH-10TH FLOOR GUESTROOM PLAN	7/11/2022
IG.106	11TH FLOOR GUESTROOM PLAN	7/11/2022
A1.00	BASEMENT FLOOR PLAN	7/07/2022
A1.01	FIRST FLOOR PLAN	7/07/2022
A1.01m	MEZZANINE FLOOR PLAN	7/07/2022
A1.02	SECOND FLOOR PLAN	7/07/2022
A1.03	THIRD FLOOR PLAN	7/07/2022
A1.04	FOURTH - EIGHT FLOOR PLAN	7/07/2022
A1.09	NINTH - TENTH FLOOR PLAN	7/07/2022
A1.11	ELEVENTH FLOOR PLAN	7/07/2022
A1.12	ROOF PLAN	7/07/2022
A2.00	EAST BUILDING ELEVATION	7/07/2022
A2.01	NORTH BUILDING ELEVATION	7/07/2022
A2.02	WEST BUILDING ELEVATION	7/07/2022
A2.03	SOUTH BUILDING ELEVATION	7/07/2022
A2.04	ILLUSTRATIVE RENDERINGS	7/11/2022
A2.05	ILLUSTRATIVE RENDERINGS	7/11/2022
A3.00	BUILDING SECTION	7/07/2022
A3.01	BUILDING SECTION	7/07/2022
A4.00	WALL SECTION & DETAILS	7/07/2022
A5.00	STOREFRONT DETAILS	7/07/2022
A5.01	STOREFRONT DETAILS	7/07/2022
A5.02	STOREFRONT DETAILS	7/07/2022
A5.03	STOREFRONT DETAILS	7/07/2022
LT1.05	EXTERIOR FACADE LIGHTING	7/11/2022



EXISTING CONDITIONS - VIEW OF WEST FACADE



EXISTING CONDITIONS - VIEW OF SOUTH FACADE
@ PARKING GARAGE RAMP



EXISTING CONDITIONS - VIEW OF NORTH FACADE



EXISTING CONDITIONS - VIEW OF WEST FACADE



EXISTING CONDITIONS - VIEW OF PRIMARY ENTRANCE ON 6TH



EXISTING CONDITIONS - VIEW OF NORTH FACADE

FOR REFERENCE ONLY

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, and ensuring that all applicable building codes, and reflecting Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

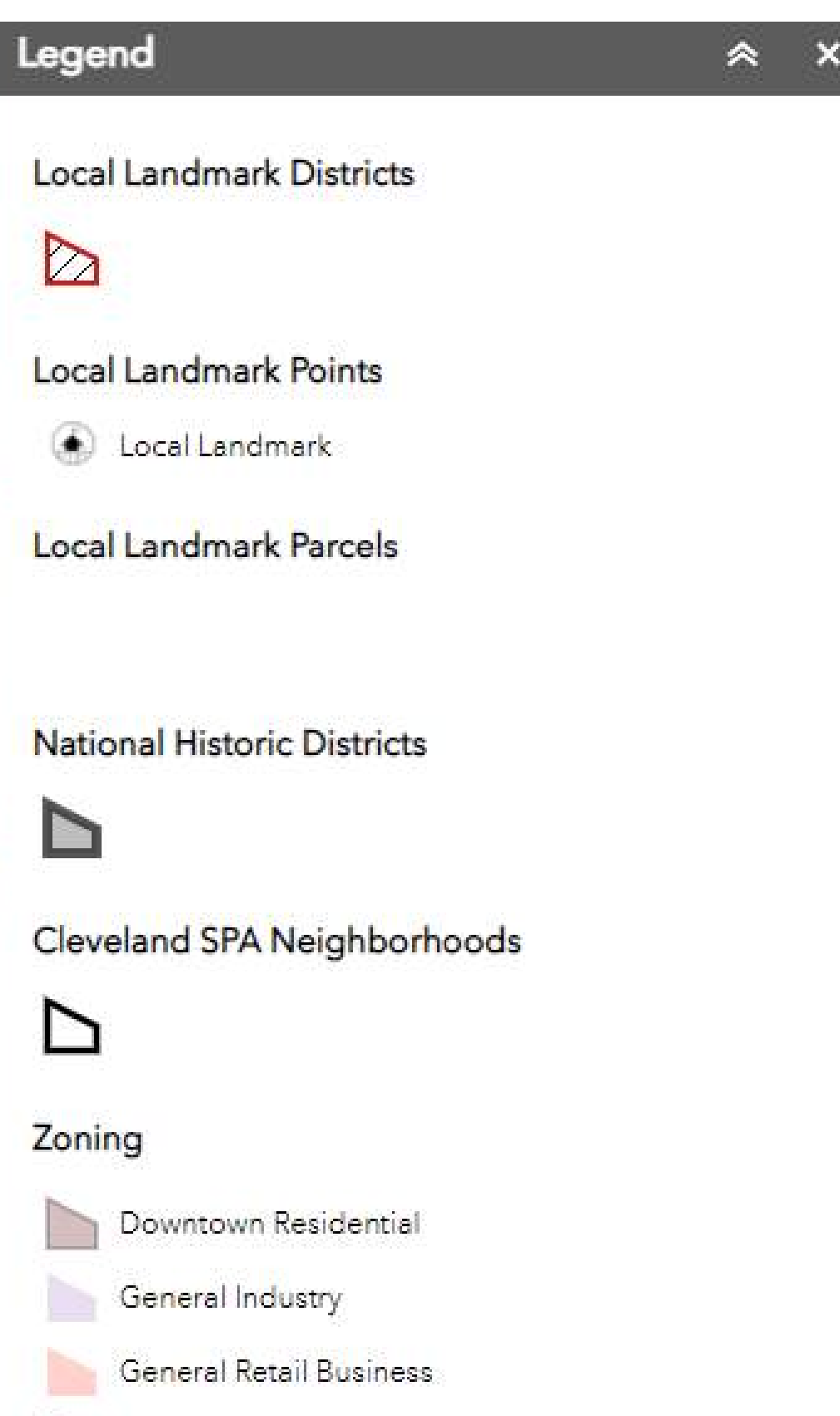
Contractor is responsible for design and installation of properly sized and supported systems. Submit shop drawings to architect for approval as conformity Architectural design intent.

Written Architectural Specification was issued for this project and along with printed documents constitute the Contract Documents for this project. The shop drawing is not a part of the Contract Documents. The shop drawing is a shop drawing separate to all disciplines except throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document and the site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hortshorne Plunkard, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hortshorne Plunkard, LLC.



SITE LOCATION MAP - DOWNTOWN/FLATS DISTRICT

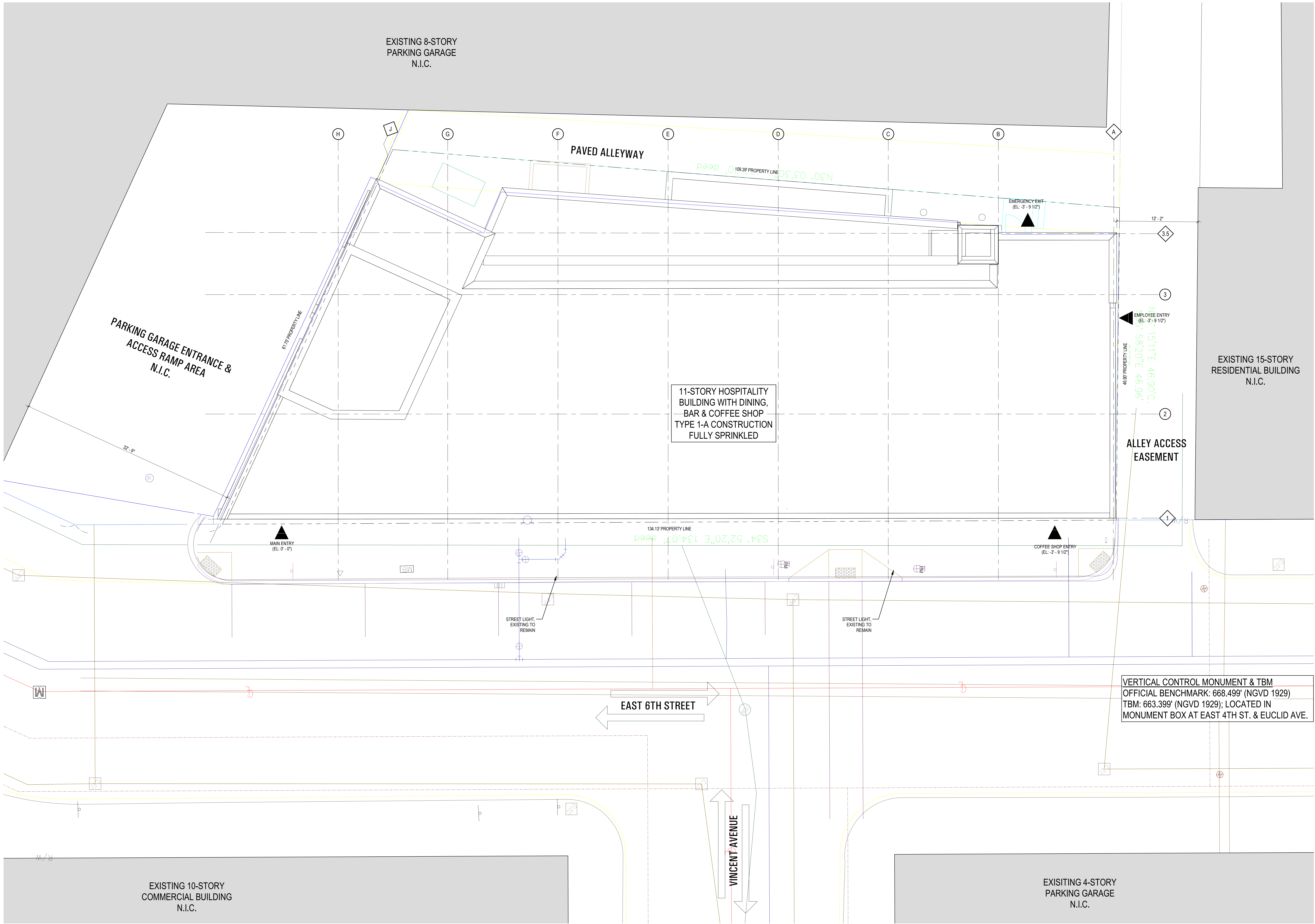


EXISTING CONDITIONS - VIEW OF EAST FACADE



HISTORIC PHOTO CIRCA 1920S

[illegible]



AREA FOR CITY APPROVAL STAMP

FOR REFERENCE ONLY

ARCH ELEVATION 0' - 0" = +658.78'

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Fidelity Hotel

1940 E 6th Street
Cleveland, Ohio

ISSUANCES

DATE	ISSUED FOR
2 11/18/2021	100 % SCHEMATIC DESIGN
5 11/17/2022	50% Design Development
6 21/11/2022	SHPO REVIEW 2
9 6/20/2022	50% Construction Documents
10 7/07/2022	City Design Development Review

VERTICAL CONTROL MONUMENT & TBM
OFFICIAL BENCHMARK: 668.499' (NGVD 1929)
TBM: 663.399' (NGVD 1929); LOCATED IN
MONUMENT BOX AT EAST 4TH ST. & EUCLID AVE.

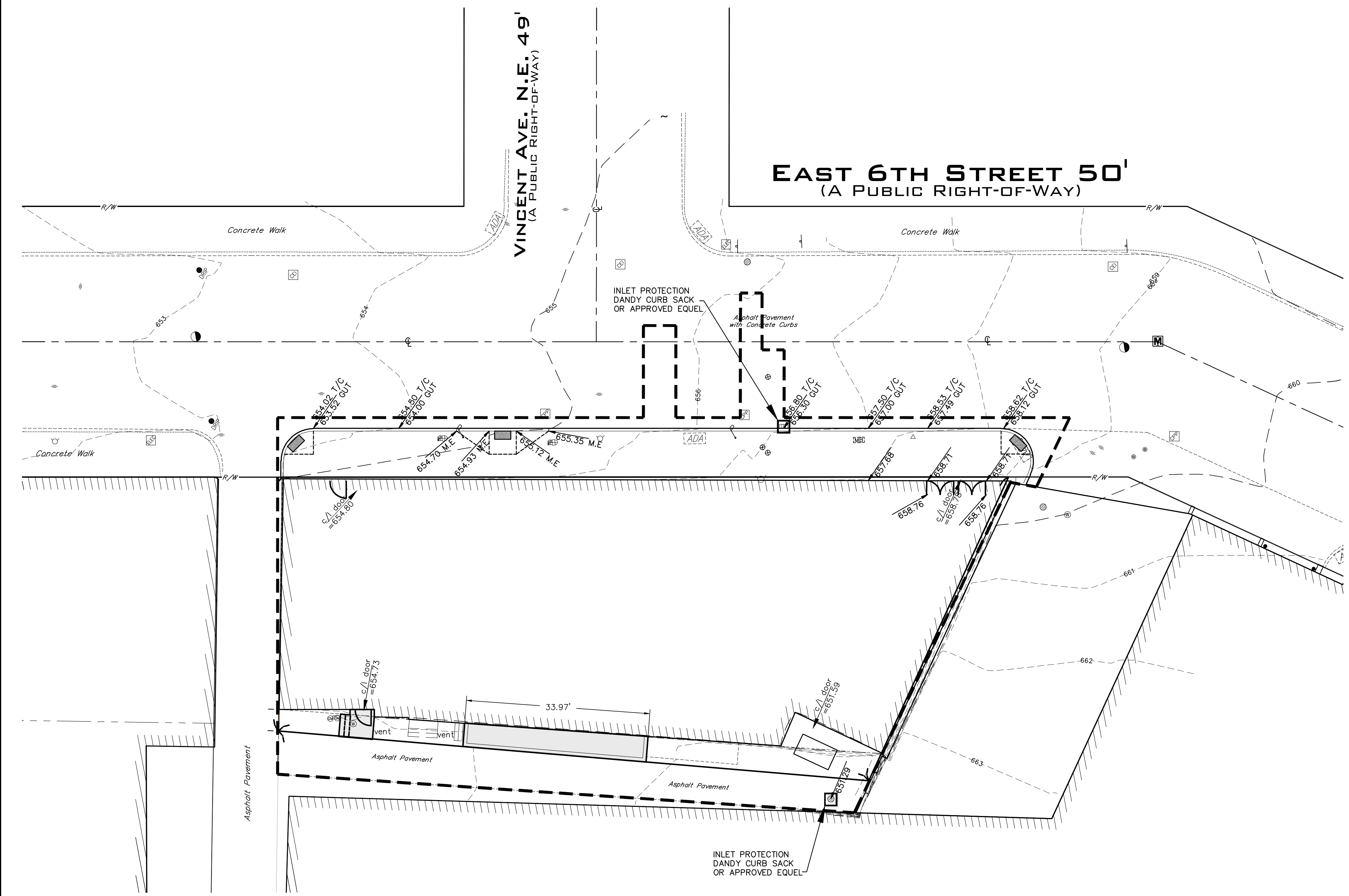
HARTSHORNE PLUNKARD ARCHITECTURE

HPA 232 NORTH CARPENTER STREET
CHICAGO, IL 60607
312.224.4488
HPARCHITECTURE.COM

PROJ. # 20-020
SCALE: 3/16" = 1'-0"

ARCHITECTURAL SITE
PLAN

A0.00



SWPPP NOTES

PROPERTY AREA: 0.144 ACRES
PROJECT AREA: 0.206 ACRES
DISTURBED AREA: 0.062 ACRES
LESS THAN 0.5 ACRES DISTURBED

SWPPP LEGEND

INLET PROTECTION

PROJECT LIMITS

LEGEND

<ul style="list-style-type: none">Monument Box FoundIron Pin or Pipe Found5/8" Iron Pin Set and Capped Riverstone Company Dudley PS6747P.K. NailGas MeterGas ValveUtility PoleLight PoleGuy Anchor & LineTelephone BoxElectric BoxCable BoxBallardCleanout / Test Tee	<ul style="list-style-type: none">Spot Elevation TagHydrantWater Service ValveWater ValveWater MeterReducerStorm ManholeSanitary ManholeCurb InletCatch BasinProperty LineCenterline
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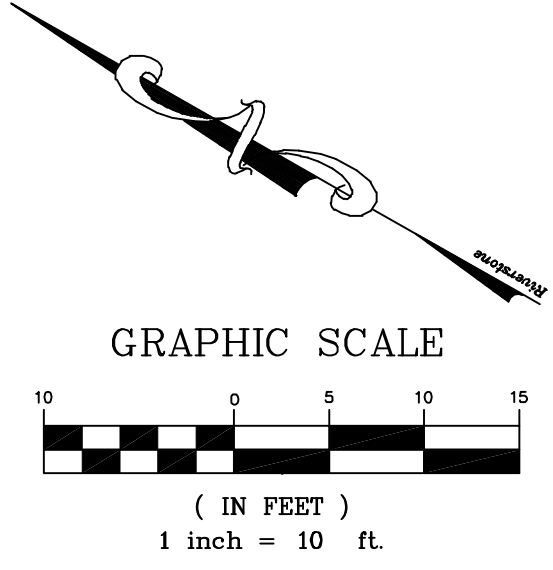
Ex. Parcel line
Original Sublot Line
Original Lot Line
Centerline
Property Line
Right-of-way Line
Easement Line
Railroad Tracks

Electric Line
Gas Line
Sanitary/Combination Sewer
Storm Sewer
Waterline
Fence Line (Wooden)
Fence Line (Chain-Link)
Guardrail

Existing	PROPOSED

Ac.	Acre	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map Records	Prop	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elec	Electric	T/C	Top of Curb
Elev	Elevation	Tele	Telephone
Encr.	Encroaches	T.F.	Top Of Footer
Ex.	Existing	T.T.	Test Tee
F.F.	Finished Floor	TW	Top of Wall
GUT	Gutter	Typ.	Typical
Inv.	Invert	Vol.	Volume
		Wat	Water

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION WAS PROVIDED TO THE RIVERSTONE COMPANY FOR OUR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



Preliminary
Not for Construction

RIVERSTONE

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3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND, OHIO 44115
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2022-021

PLAN REVISIONS:

PAGE REVISIONS:

ISSUED FOR:
50% CD PROGRESS
6/20/2022
NOT FOR CONSTRUCTION

FIDELITY BUILDING
1940 EAST 6TH STREET
CLEVELAND, OHIO

GRADING PLAN / SWPPP

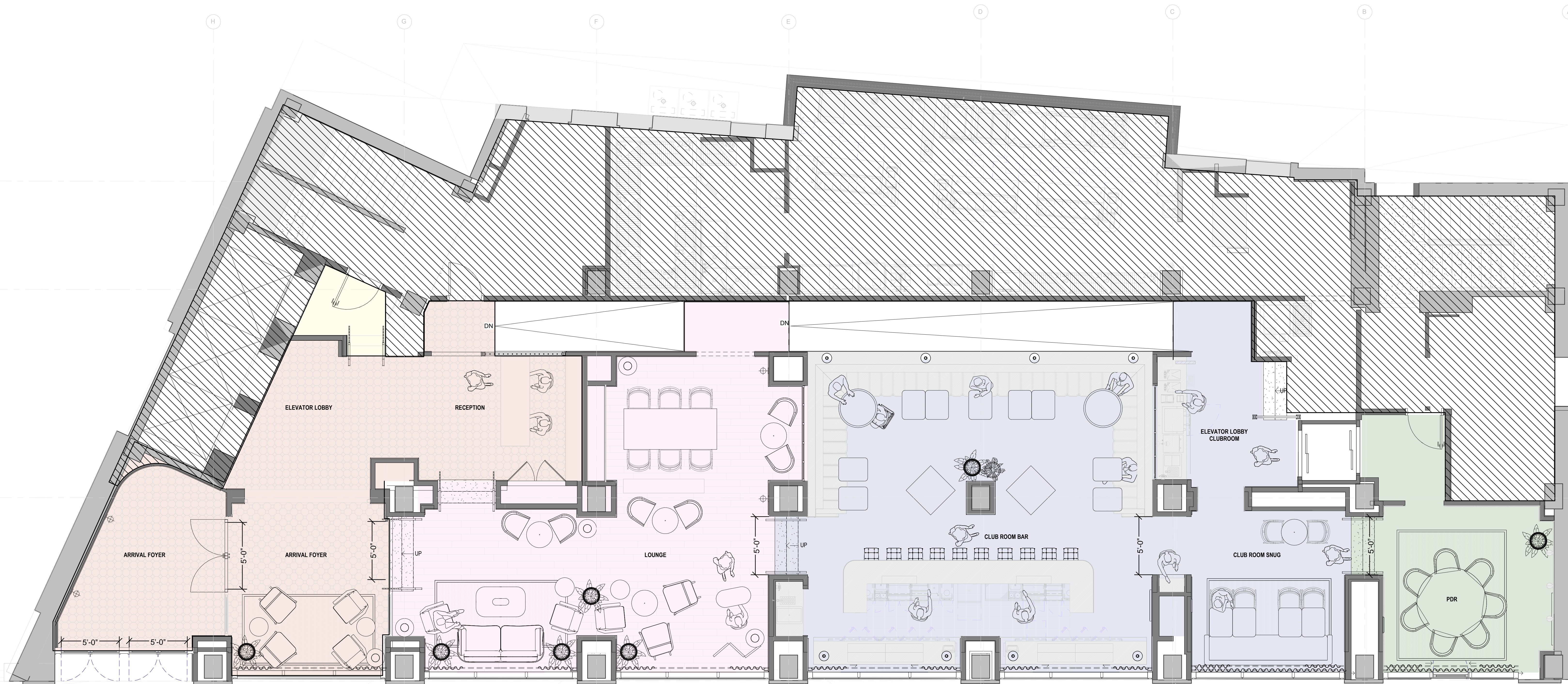


OGPUPS

Ohio Oil & Gas Producers Underground Protection Service
Call 814-715-5366 or 811

C5.01

AREA FOR CITY APPROVAL STAMP



SCALE: 1/4" = 1'-0"

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FIDELITY HOTEL
1940 E 6TH STREET, CLEVELAND, OH

ISSUANCES	
DATE	ISSUED FOR
1 2021.11.30	MODEL ROOM COORDINATION
2 2022.01.13	MODEL ROOM PERMIT SET
3 2022.03.18	100% DD SET
4 2022.04.13	MODEL ROOM CONSTRUCTION
5 2022.06.20	50% CD PROGRESS
07/11/2022	City Design Development Review

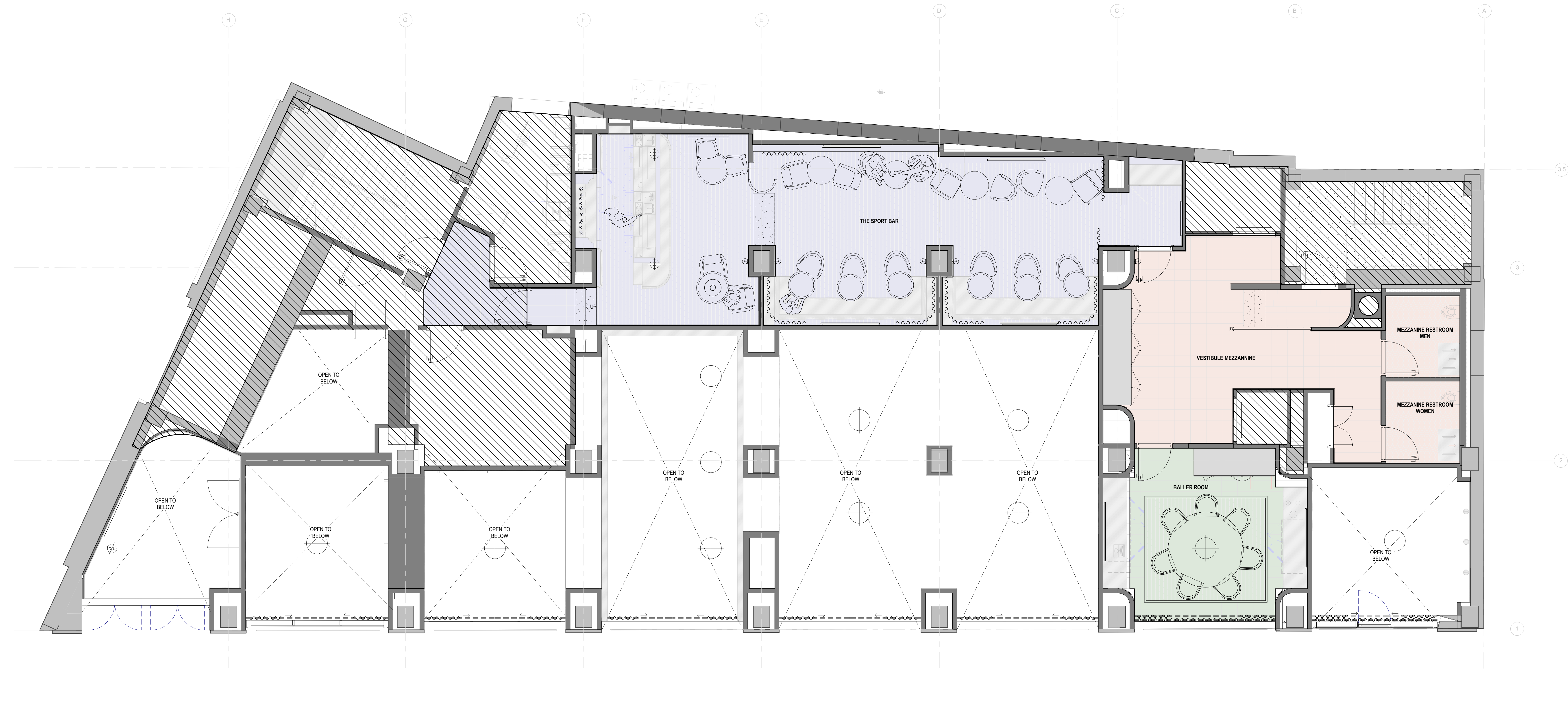
Curioso

SCALE: 1/4" = 1'-0"

GROUND FLOOR
INTERIOR DESIGN
FURNITURE KEY PLAN

12.012

GROUND FLOOR FURNITURE KEY PLAN



SCALE: 1/4" = 1'-0"

AREA FOR CITY APPROVAL STAMP

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FIDELITY HOTEL
1940 E 6TH STREET, CLEVELAND, OH

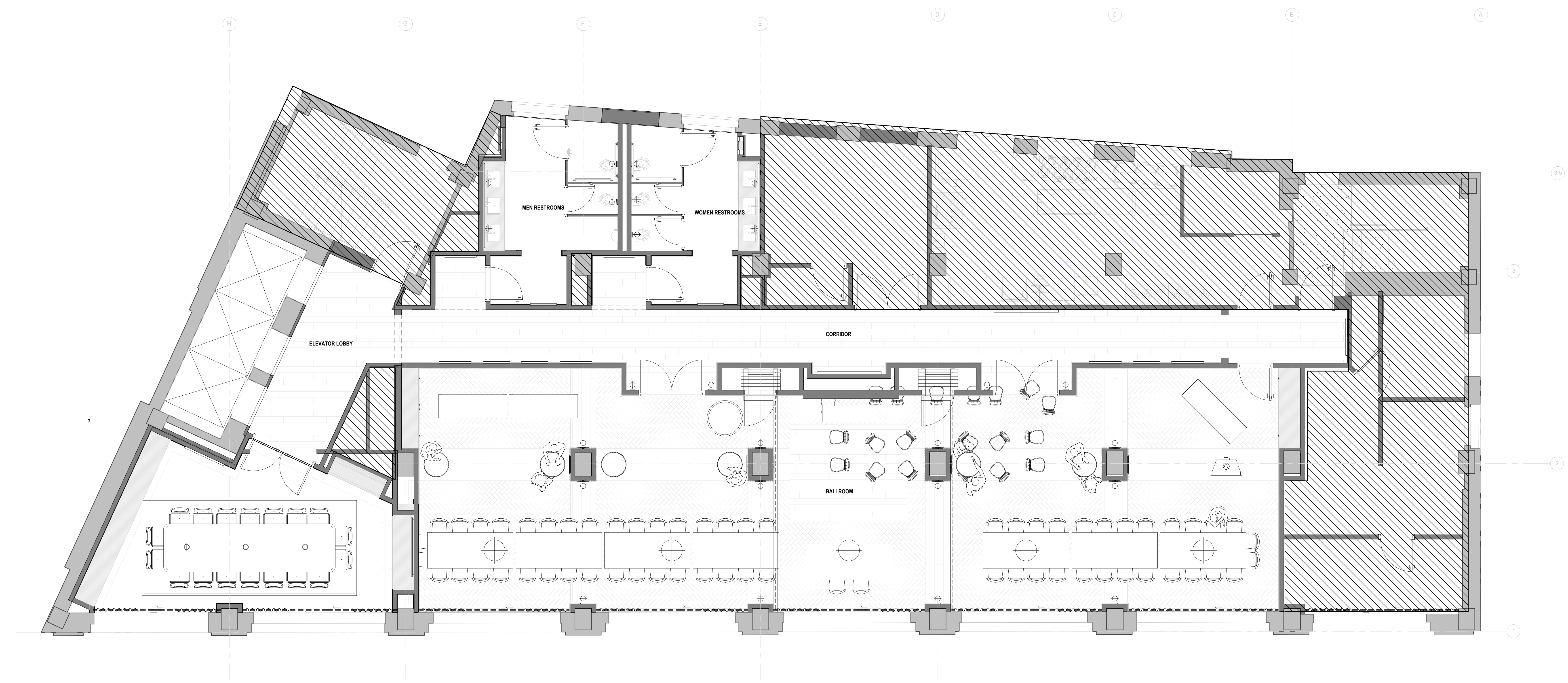
ISSUANCES	
DATE	ISSUED FOR
1 2021.11.30	MODEL ROOM COORDINATION
2 2022.01.13	MODEL ROOM PERMIT SET
3 2022.03.18	100% DD SET
4 2022.04.13	MODEL ROOM CONSTRUCTION
5 2022.06.20	50% CD PROGRESS
07/11/2022	City Design Development Review

Curioso

SCALE: 1/4" = 1'-0"

MEZZANINE INTERIOR
DESIGN FURNITURE
KEY PLAN

13.012



SCALE: 1/4" = 1'-0"

SECOND FLOOR FURNITURE KEY PLAN

AREA FOR CITY APPROVAL STAMP

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FIDELITY HOTEL
1940 E 6TH STREET, CLEVELAND, OH

ISSUANCES	
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5 2022.06.20	50% CD PROGRESS
07/11/2022	City Design Development Review

Curioso

SCALE: 1/4" = 1'-0"

SECOND FLOOR
INTERIOR DESIGN
FURNITURE KEY PLAN

14.012

AREA FOR CITY APPROVAL STAMP

FOR
REFERENCE

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FIDELITY HOTEL
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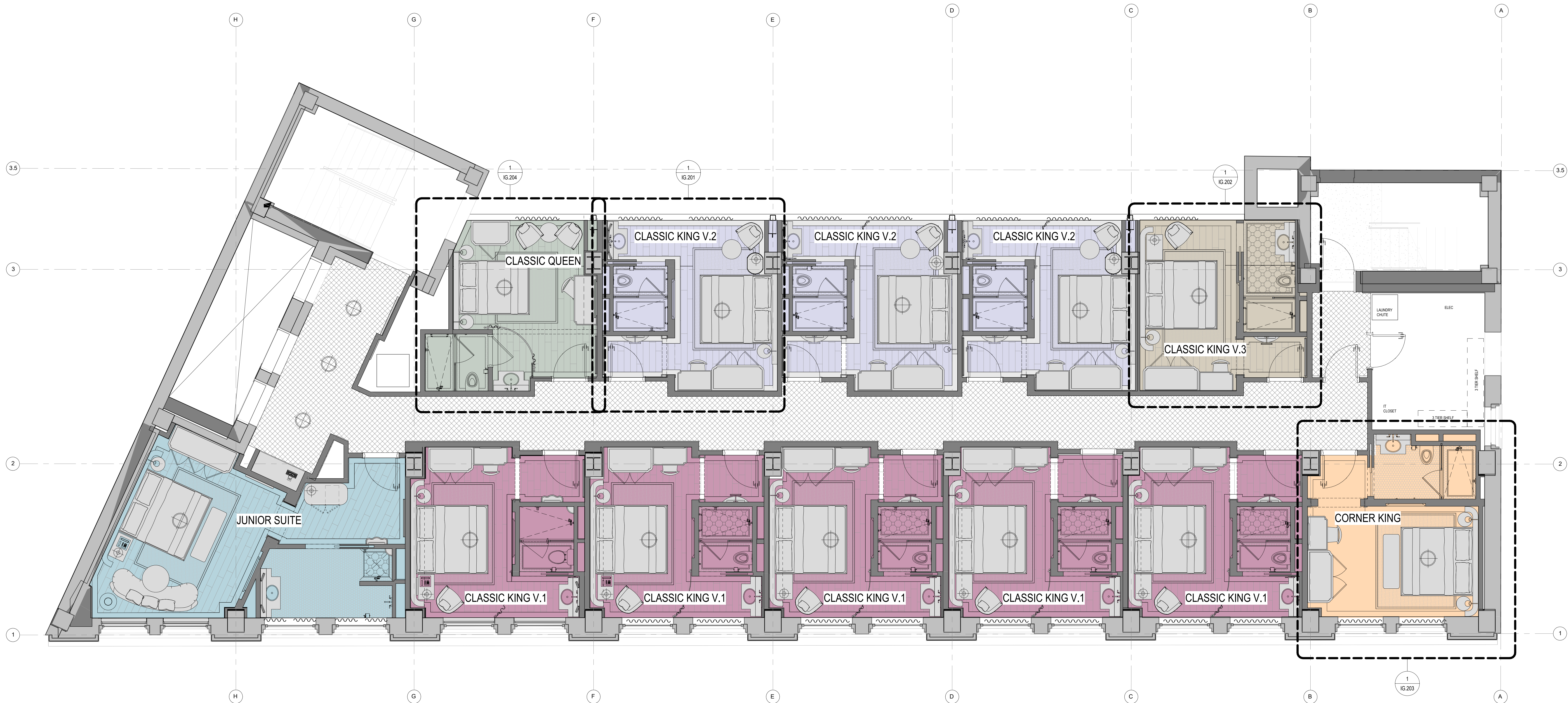
ISSUANCES	
DATE	ISSUED FOR
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4 2022.04.13	MODEL ROOM CONSTRUCTION
5 2022.06.20	50% CD PROGRESS
07/11/2022	City Design Development Review

Curioso

SCALE: 1/4" = 1'-0"

KEY ID PLAN - 4TH -
8TH FLOORS

IG.102



SCALE: 1/4" = 1'-0"

4TH FLOOR ROOM MATRIX					
LEGEND	ROOM CODE	ROOM NAME	CORNER	ADA	ROOM COUNT
	KC1	CLASSIC KING - V.1			5
	KC2	CLASSIC KING - V.2			3
	KC3	CLASSIC KING - V.3			1
	QC	CLASSIC QUEEN			1
	KCR	CORNER KING	✓		1
	JRS	JUNIOR SUITE	✓		1
TOTAL ROOMS: 12					

5TH FLOOR ROOM MATRIX					
LEGEND	ROOM CODE	ROOM NAME	CORNER	ADA	ROOM COUNT
	KC1	CLASSIC KING - V.1			5
	KC2	CLASSIC KING - V.2			3
	KC3	CLASSIC KING - V.3			1
	QC	CLASSIC QUEEN			1
	KCR	CORNER KING	✓		1
	JRS	JUNIOR SUITE	✓		1
TOTAL ROOMS: 12					


6TH FLOOR ROOM MATRIX					
LEGEND	ROOM CODE	ROOM NAME	CORNER	ADA	ROOM COUNT
	KC1	CLASSIC KING - V.1			5
	KC2	CLASSIC KING - V.2			3
	KC3	CLASSIC KING - V.3			1
	QC	CLASSIC QUEEN			1
	KCR	CORNER KING	✓		1
	JRS	JUNIOR SUITE	✓		1
TOTAL ROOMS: 12					

7TH FLOOR ROOM MATRIX					
LEGEND	ROOM CODE	ROOM NAME	CORNER	ADA	ROOM COUNT
	KC1	CLASSIC KING - V.1			5
	KC2	CLASSIC KING - V.2			3
	KC3	CLASSIC KING - V.3			1
	QC	CLASSIC QUEEN			1
	KCR	CORNER KING	✓		1
	JRS	JUNIOR SUITE	✓		1
TOTAL ROOMS: 12					

8TH FLOOR ROOM MATRIX					
LEGEND	ROOM CODE	ROOM NAME	CORNER	ADA	ROOM COUNT
	KC1	CLASSIC KING - V.1			5
	KC2	CLASSIC KING - V.2			3
	KC3	CLASSIC KING - V.3			1
	QC	CLASSIC QUEEN			1
	KCR	CORNER KING	✓		1
	JRS	JUNIOR SUITE	✓		1
TOTAL ROOMS: 12					

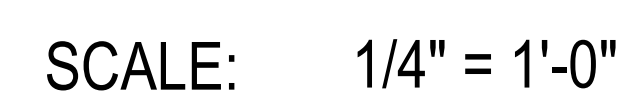
THE GUESTROOMS

FOR
REFERENCE

[illegible]


SCALE: 1/4" = 1'-0"

IG.104

TOTAL ROOMS: 10TOTAL ROOMS: 10

THE GUESTROOMS

FOR
REFERENCE

[illegible]

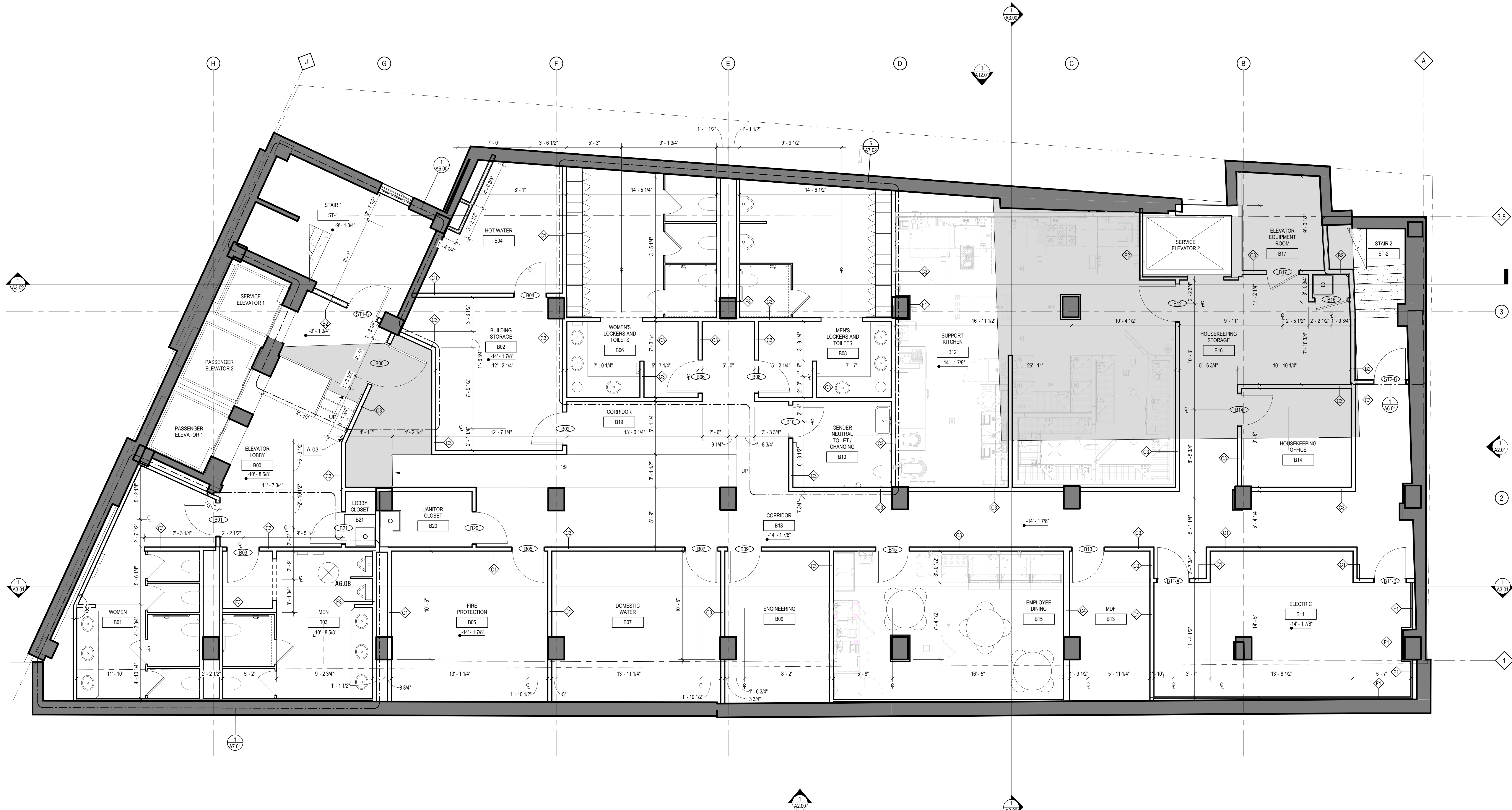
SCALE: 1/4" = 1'-0"

IG.106

TOTAL ROOMS: 7

THE GUESTROOMS

FLOOR PLAN KEYNOTES	
NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA FOR CITY APPROVAL STAMP
PLAN NOTES

- WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A9.01
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- SEE DOOR SCHEDULE ON SHEET A9.00 FOR DOOR FIRE RATINGS AND SIZES.
- SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- NEW METAL STUD & GYPSUM BOARD WALL
- HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN
- HATCH DENOTES AREA OF SLAB INFILL
- HATCH DENOTES WALL INFILL

FOR REFERENCE ONLY

ARCH ELEVATION 0' - 0" = +658.78'

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1940 E 6th Street Cleveland, Ohio	
ISSUANCES	
DATE	ISSUED FOR
2 11/18/2021	100 % SCHEMATIC DESIGN
5 11/17/2022	50% Design Development
6 21/11/2022	SNPD REVIEW 2
9 6/20/2022	50% Construction Documents
10 7/07/2022	City Design Development Review

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PROJ. # 20-020
SCALE: As indicated

BASEMENT FLOOR PLAN

A1.00

FLOOR PLAN KEYNOTES	
NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE

- AREA FOR CITY APPROVAL STAMP
- PLAN NOTES**
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- 2 SEE WALL TYPE SCHEDULE ON SHEET A9.01 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
- 3 SEE DOOR SCHEDULE ON SHEET A9.00 FOR DOOR FIRE RATINGS AND SIZES.
- 4 SEE WINDOW SCHEDULE ON SHEETS A8.02 FOR WINDOW ASSEMBLIES.

- PLAN MATERIAL KEY**
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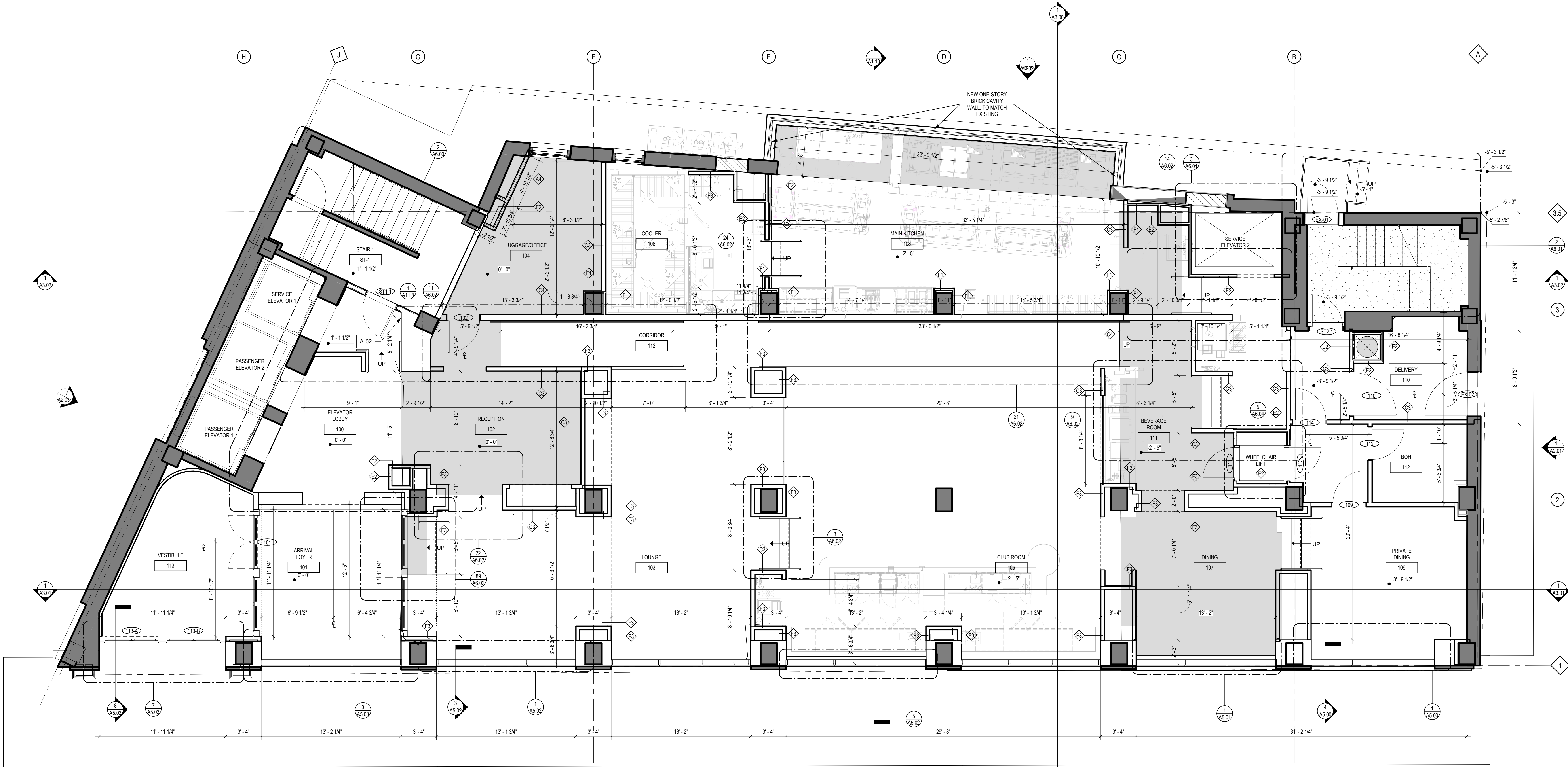
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PROJ. # 20-020
SCALE: As indicated

FIRST FLOOR PLAN

A1.01



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES	
NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE

- AREA FOR CITY APPROVAL STAMP
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- PLAN MATERIAL KEY**
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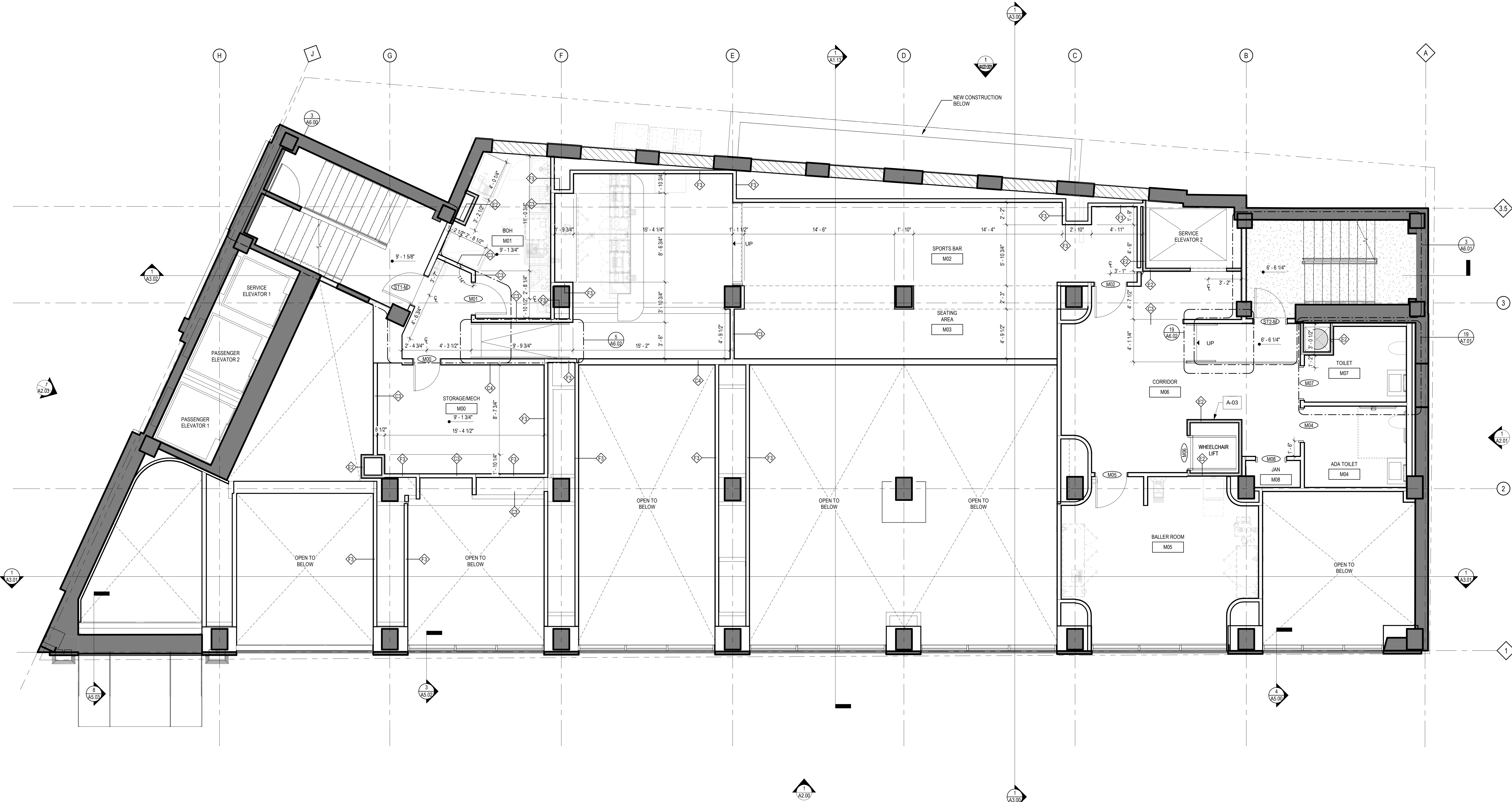
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PROJ. # 20-020

SCALE: As indicated

MEZZANINE FLOOR PLAN

A1.01m



1 MEZZANINE FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE

ROOFING KEYNOTES

- NEW FULLY ADHERED TPO ROOFING ON 1/2" COVERBOARD OVER TAPERED INSULATION, SLOPED TO DRAINS
- NEW PRIMARY AND SECONDARY ROOF DRAINS WITH INTERNAL PIPING CONNECTED TO EXISTING UNDERGROUND; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- NEW THRU-WALL SCUPPER AND DOWNSPOUT
- NEW CONCRETE PAVERS ON PEDESTALS
- NEW THRU-WALL LAMBS TONGUE FOR SECONDARY ROOF DRAINAGE; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION

AREA FOR CITY APPROVAL STAMP

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- SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- NEW METAL STUD & GYPSUM BOARD WALL
- HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN
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1940 E 6th Street
Cleveland, Ohio

ISSUANCES

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6 21/11/2022	SHPO REVIEW 2
9 8/20/2022	50% Construction Documents
10 7/07/2022	City Design Development Review

HARTSHORNE PLUNKARD ARCHITECTURE

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PROJ. # 20-020
SCALE: As indicated

SECOND FLOOR PLAN

A1.02

2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE

ROOFING KEYNOTES

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- NEW PRIMARY AND SECONDARY ROOF DRAINS WITH INTERNAL PIPING CONNECTED TO EXISTING UNDERGROUND; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- NEW THRU-WALL SCUPPER AND DOWNSPOUT
- NEW CONCRETE PAVERS ON PEDESTALS
- NEW THRU-WALL LAMBS TONGUE FOR SECONDARY ROOF DRAINAGE; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION

AREA FOR CITY APPROVAL STAMP

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SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY

- NEW METAL STUD & GYPSUM BOARD WALL
HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN
HATCH DENOTES AREA OF SLAB INFILL
HATCH DENOTES WALL INFILL

FOR REFERENCE ONLY

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Cleveland, Ohio

ISSUANCES

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PROJ. # 20-020
SCALE: As indicated

THIRD FLOOR PLAN

A1.03

3RD FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES	
NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE

- AREA FOR CITY APPROVAL STAMP
- PLAN NOTES**
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- PLAN MATERIAL KEY**
- NEW METAL STUD & GYPSUM BOARD WALL
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ISSUANCES	
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9 6/20/2022	50% Construction Documents
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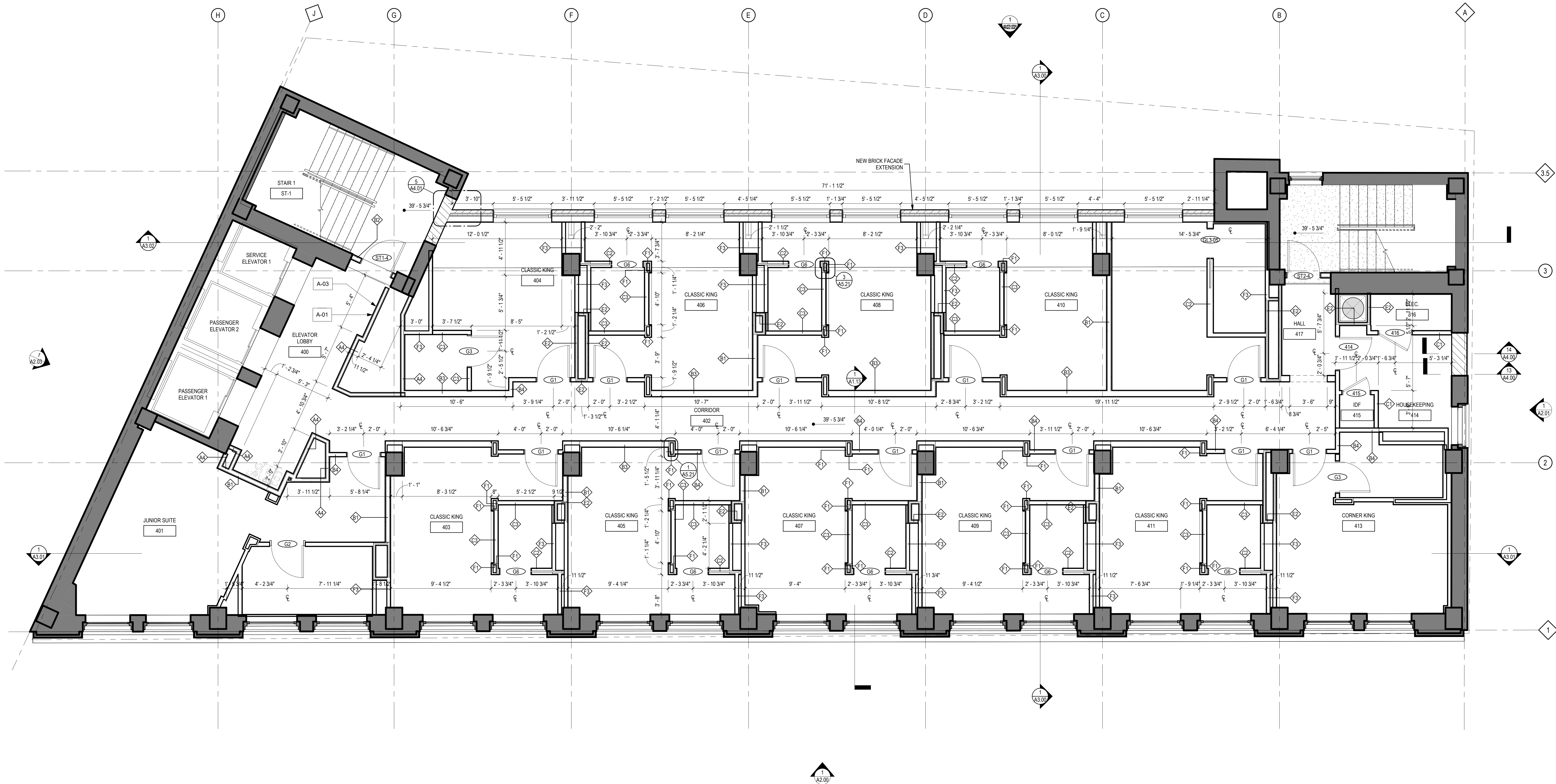
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PROJ. # 20-020
SCALE: As indicated

FOURTH - EIGHTH FLOOR
PLAN

A1.04



1 4TH-8TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE

ROOFING KEYNOTES

- NEW FULLY ADHERED TPO ROOFING ON 1/2" COVERBOARD OVER TAPERED INSULATION, SLOPED TO DRAINS
- NEW PRIMARY AND SECONDARY ROOF DRAINS WITH INTERNAL PIPING CONNECTED TO EXISTING UNDERGROUND; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- NEW THRU-WALL SCUPPER AND DOWNSPOUT
- NEW CONCRETE PAVERS ON PEDESTALS
- NEW THRU-WALL LAMBS TONGUE FOR SECONDARY ROOF DRAINAGE; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION

AREA FOR CITY APPROVAL STAMP

PLAN NOTES

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PLAN MATERIAL KEY

- NEW METAL STUD & GYPSUM BOARD WALL
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Fidelity Hotel

1940 E 6th Street
Cleveland, Ohio

ISSUANCES

DATE	ISSUED FOR
2 11/18/2021	100 % SCHEMATIC DESIGN
5 1/17/2022	50% Design Development
6 2/11/2022	SHOP REVIEW 2
9 6/20/2022	50% Construction Documents
10 7/07/2022	City Design Development Review

HARTSHORNE PLUNKARD ARCHITECTURE

HPA 232 NORTH CARPENTER STREET
CHICAGO, IL 60607
312.224.4488
HPARCHITECTURE.COM

PROJ. # 20-020
SCALE: As indicated

NINTH - TENTH FLOOR
PLAN

A1.09

9TH & 10TH FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES	
NUMBER	DESCRIPTION
A-01	REINSTALL EXISTING HISTORIC MAIL CHUTE
A-02	REINSTALL EXISTING BRASS MAILBOX
A-03	TWO-WAY COMMUNICATION CONSOLE & SIGNAGE

AREA FOR CITY APPROVAL STAMP	
PLAN NOTES	
1	WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A9.01
2	SEE WALL TYPE SCHEDULE ON SHEET A9.01 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
3	SEE DOOR SCHEDULE ON SHEET A9.00 FOR DOOR FIRE RATINGS AND SIZES.
4	SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

PLAN MATERIAL KEY	
[Symbol]	NEW METAL STUD & GYPSUM BOARD WALL
[Symbol]	HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN
[Symbol]	HATCH DENOTES AREA OF SLAB INFILL
[Symbol]	HATCH DENOTES WALL INFILL

FOR REFERENCE ONLY

ARCH ELEVATION 0' - 0" = +658.78'

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Fidelity Hotel	
1940 E 6th Street Cleveland, Ohio	
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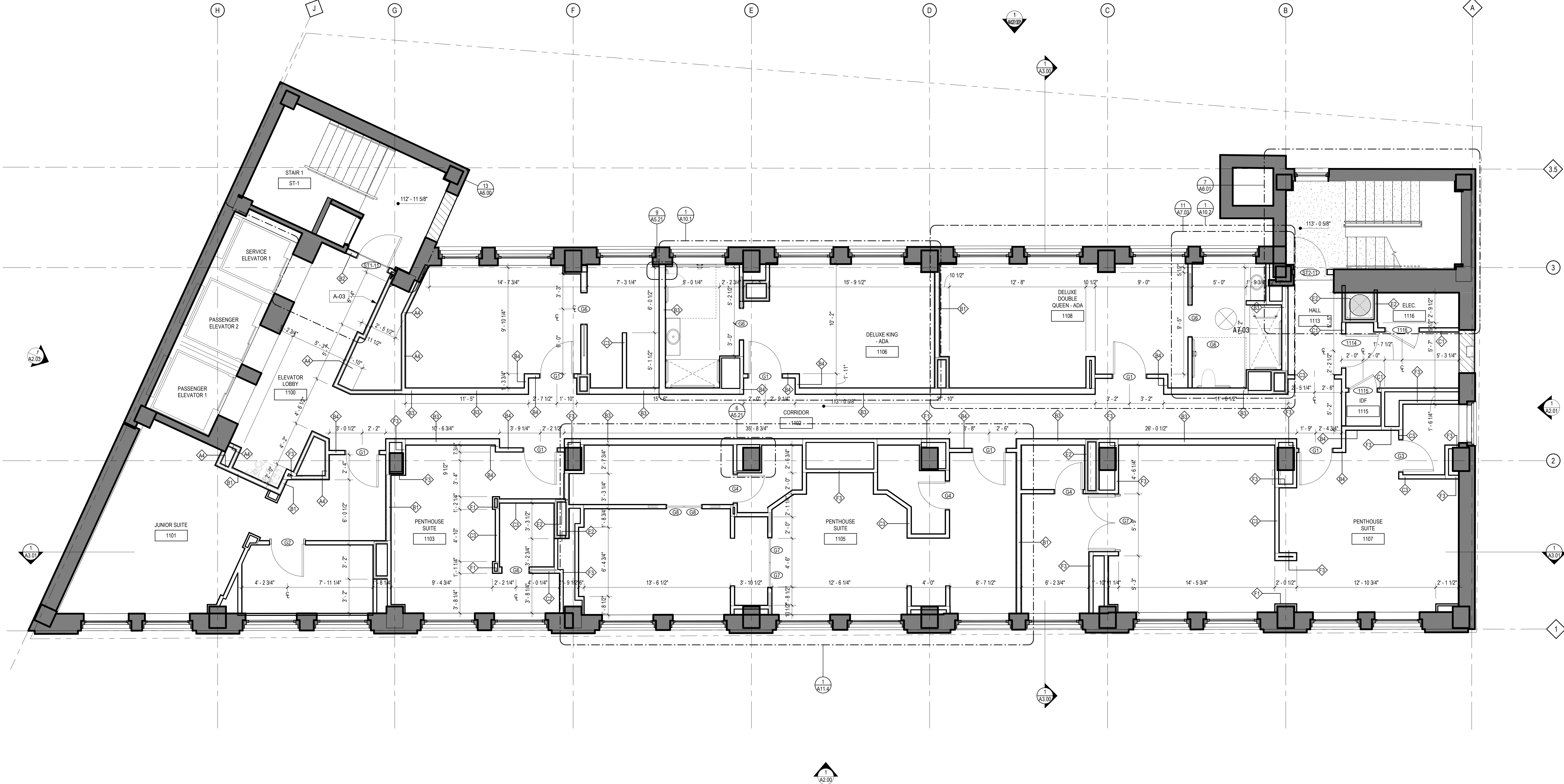
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PROJ. # 20-020
SCALE: As indicated

ELEVENTH FLOOR PLAN

A1.11



1 11TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

1. NEW FULLY ADHERED TPO ROOFING ON 1/2" COVERBOARD OVER TAPERED INSULATION, SLOPED TO DRAINS
2. NEW PRIMARY AND SECONDARY ROOF DRAINS WITH INTERNAL PIPING CONNECTED TO EXISTING UNDERGROUND; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
3. NEW THRU-WALL SCUPPER AND DOWNSPOUT
4. NEW CONCRETE PAVERS ON PEDESTALS
5. NEW THRU-WALL LAMBS TONGUE FOR SECONDARY ROOF DRAINAGE; SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION

GENERAL ROOF NOTES

TPO ROOFING SYSTEM TO
 CARRY 20 YEAR NO DOLLAR
 LIMIT WARRANTY AND HAVE A
 CLASS A FIRE RATING
 - PROVIDE ROOF DAVITS, TIE
 BACKS AND FACADE ANCHOR
 EQUIPMENT
 - WINDOW WASHING AND
 RELATED BUILDING
 MAINTENANCE SYSTEMS ARE
 NOT IN HPA'S SCOPE OF
 SERVICES. IT IS THE
 RESPONSIBILITY OF THE
 OWNER OR THE OWNER'S
 AGENT
 CONSULTANT/VENDOR TO
 PROVIDE INFORMATION
 RELATED TO THESE DEVICES,
 THEIR LOCATION, THE
 RESULTING IMPOSED LOADING
 AND OTHER RELEVANT
 INFORMATION. DEVICES AND
 IMPOSED LOADS RECEIVED
 FROM THE OWNER ARE
 SHOWN ONLY FOR
 REFERENCE TO
 DEMONSTRATE HOW OTHER
 BUILDING ELEMENTS, SUCH AS
 ROOFING, FLASHING,
 COPINGS, WINDOW MULLIONS
 ETC. COORDINATE.
 CONTRACTOR SHALL CONFIRM
 ALL WINDOW WASHING AND
 RELATED BUILDING
 MAINTENANCE WORK WITH
 OWNERS
 CONSULTANT/VENDOR
 COORDINATE WORK WITH
 OTHER TRADES.

MAINTENANCE WORK WITH
OWNERS
CONSULTANT/VENDOR
COORDINATE WORK WITH
OTHER TRADES.

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1940 E 6th Stree
Cleveland, Ohio

ISSUANCES

ISSU

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HARTSHORNE PLUNKARD ARCHITECTURE

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CHICAGO, IL 60607
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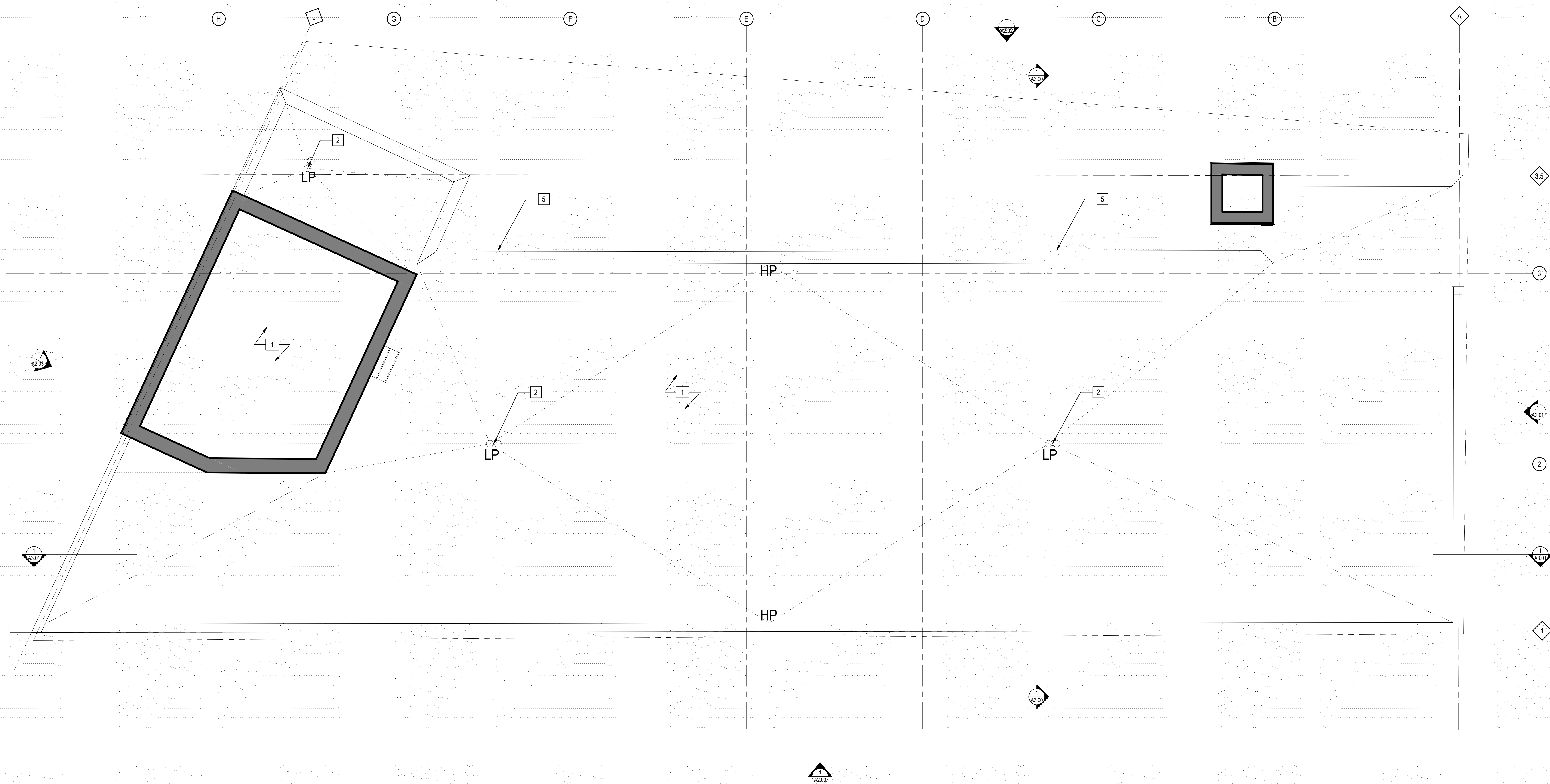


PROJ. # 20-020

SCALE: As indicated

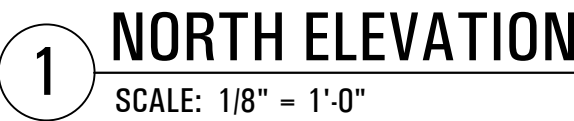
ROOF PLAN

A1.12



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND							
TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION
GLASS		METAL		BRICK		EXISTING TO REMAIN	
GL-01	STOREFRONT GLAZING @ GROUND LEVEL	MT-01	ALUMINUM STOREFRONT SYSTEM	BR-01	MASONRY CAVITY WALL, BRICK TO MATCH EXISTING	EX-01	STONE ENTABLATURE
GL-02	SPANDREL GLAZING @ GROUND LEVEL STOREFRONT	MT-02	ALUMINUM STOREFRONT PANEL WITH RELIEF	BR-02	NEW BRICK INFILL IN EXISTING OPENING; BRICK TO MATCH EXISTING. HOLD FACE OF BRICK BACK 1" FROM EXISTING FACE OF WALL.	EX-02	STONE PILASTER
GL-03	ENTRY CANOPY GLASS SURROUND	MT-03	ALUMINUM LOUVER - FINISH TO MATCH EXISTING WINDOW FRAME			EX-03	COMMON BRICK FACADE
GL-04	NEW GLASS AND ALUMINUM WINDOW AT PUNCHED OPENING			BR-03	NEW BRICK INFILL IN EXISTING OPENING; BRICK TO MATCH EXISTING. HOLD FACE OF BRICK BACK 1" FROM EXISTING FACE OF WALL; COORDINATE EXHAUST FAN ROUGH OPENING WITH MECHANICAL DRAWINGS	EX-04	MULTI-BAY WINDOW
						EX-05	SINGLE WINDOW
						EX-06	STONE VENEER FACADE



FOR REFERENCE ONLY

Contractor shall be responsible for procuring all Plans and Specifications, verifying all existing conditions for compliance with Construction, complying with all applicable building codes, and relying on Architect to provide all necessary information and approvals. Contractor shall construct the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity to Architectural design intent.

A written Architect Specification was used for this project and along with these printed documents constitute the Contract Documents for this project. The project was designed and constructed in accordance with the Contract Documents. By submitting a bid on this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and its conditions and have included all applicable work. Additional Architect Specification copies are available anytime upon request.

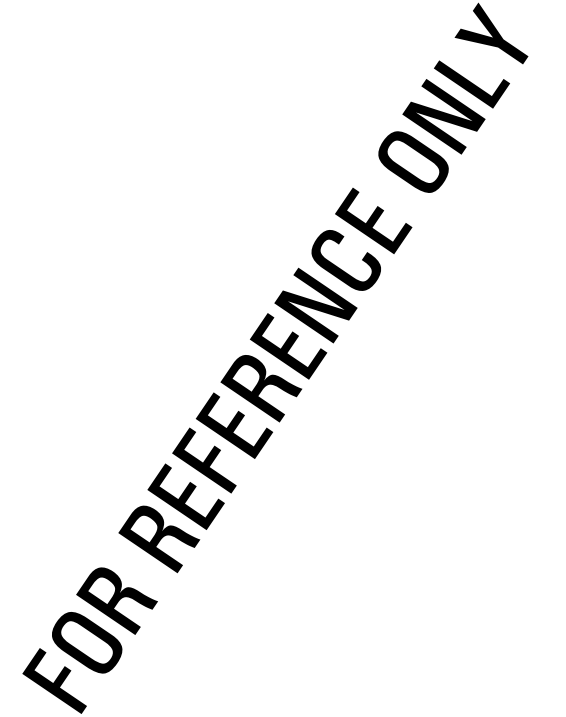
Marathon Petroleum, LLC shall retain all copyrights, statutory and common law rights in and to all designs and building designs. Reproduction, changes or assignment to any third party shall not occur without obtaining permission written permission and consent from Marathon Petroleum, LLC.

[illegible]

**NORTH BUILDING
ELEVATION**

A2.01

AREA FOR CITY APPROVAL STAMP



Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit design drawings to architect for approval as conformity to Architectural design intent.

A written Architectural Specification was issued for this project and all items within these printed documents constitute the Contract Documents for this project. It is the responsibility of the Contractor to obtain and review the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hartshorne Building, LLC shall retain all copyrights, statutory and common law built with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Building, LLC.

HARTSHORNE PLUNKARD ARCHITECTURE

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WEST BUILDING
ELEVATION

A2.02

A2.02



FOR REFERENCE ONLY

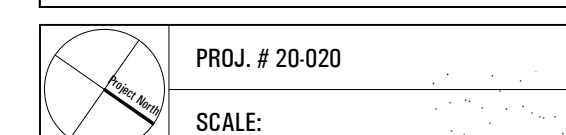
Fidelity Hotel

1940 E 6th Street
Cleveland, Ohio

ISSUANCES

ISSUANCES

HARTSHORNE PLUNKARD ARCHITECTS



ILLUSTRATIVE RENDERINGS

A2.04

FLOOR & ROOF ASSEMBLIES													
01	EXIST. FLOOR CONSTRUCTION	02	EXTENSION FLOOR CONSTRUCTION	03	TYPICAL INFILL FLOOR CONSTRUCTION	04	NEW ROOF CONSTRUCTION	05	EXISTING ROOF CONSTRUCTION	06	NEW FLOOR ROOF CONSTRUCTION	07	NEW FLOOR INFILL
X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	2 HR RATING PROVIDED PER UL #XXXX	X HR RATING PROVIDED PER UL #XXXX	1 1/2 HR RATING PROVIDED PER UL #P109	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	2 HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	2 HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	2 HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING PROVIDED PER UL #XXXX
- EXISTING CONCRETE STRUCTURE, SEE DRAWINGS FOR THICKNESS	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL - SPRAY-APPLIED FIRE-RESISTIVE MATERIAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE SLAB, SEE STRUCTURAL	- NEW MEMBRANE ROOFING, SEE PLANS - CONCRETE AND METAL DECK, SEE STRUCTURAL	- NEW MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- CONCRETE AND METAL DECK, SEE STRUCTURAL - SPRAY-APPLIED FIRE-RESISTIVE MATERIAL	- CONCRETE AND METAL DECK, SEE STRUCTURAL - SPRAY-APPLIED FIRE-RESISTIVE MATERIAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - SELF-LEVELING CONCRETE INFILL - EXISTING CONCRETE STRUCTURE						



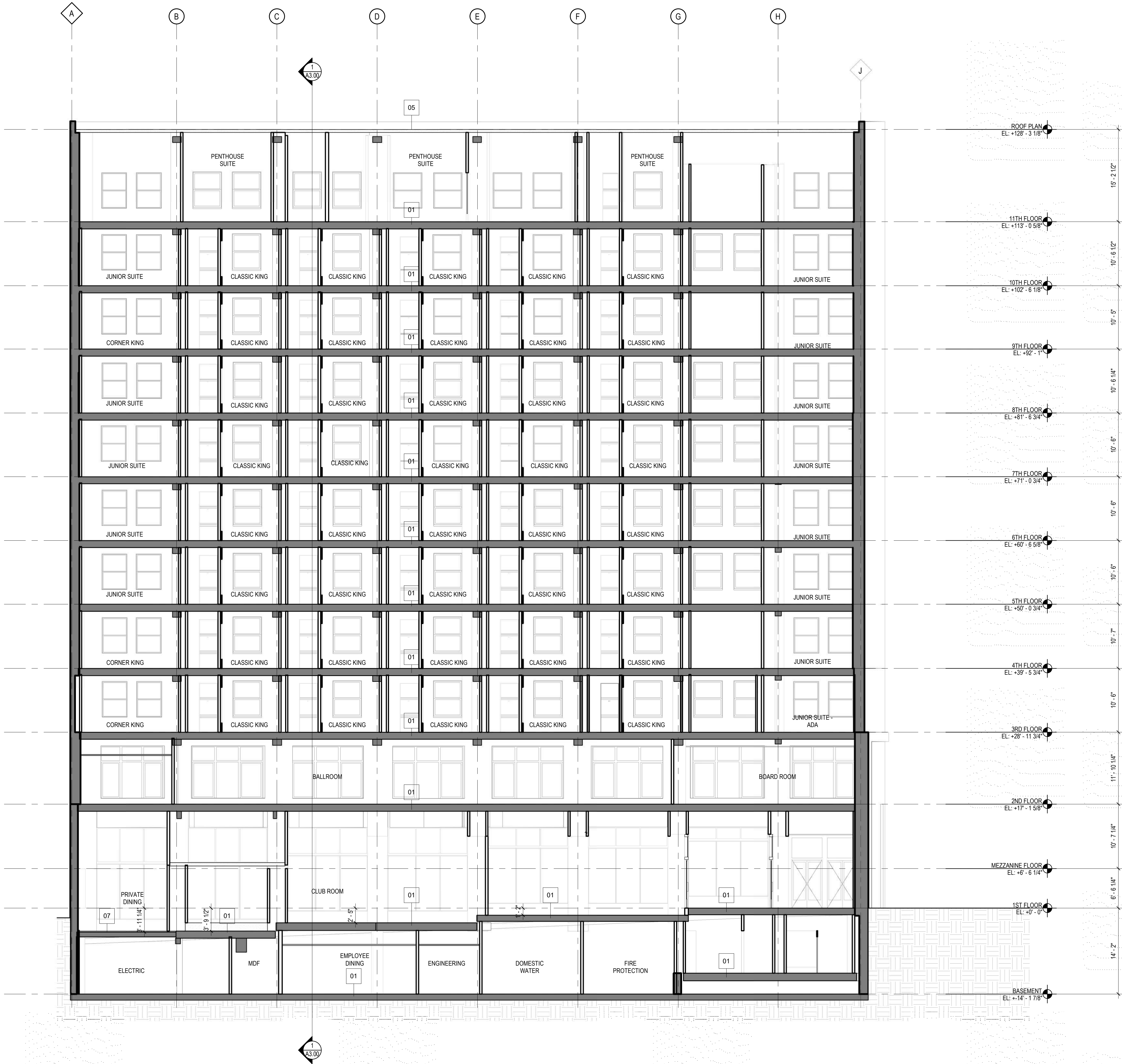
5) PROVIDE VAPOR BARRIER ON WARM SIDE OF ALL EXTERIOR STUD WALLS: BETWEEN STUD & OUTSIDE FACE OF INTERIOR GYPSUM BOARD LAYER(S): SEE SPECS.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

A3.00

FLOOR & ROOF ASSEMBLIES

FLOOR & ROOF ASSEMBLIES													
01	EXIST. FLOOR CONSTRUCTION	02	EXTENSION FLOOR CONSTRUCTION	03	TYPICAL INFILL FLOOR CONSTRUCTION	04	NEW ROOF CONSTRUCTION	05	EXISTING ROOF CONSTRUCTION	06	NEW FLOOR ROOF CONSTRUCTION	07	NEW FLOOR INFILL
X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX - EXISTING CONCRETE STRUCTURE, SEE DRAWINGS FOR THICKNESS		2 HR RATING PROVIDED PER UL #XXXX - FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL - SPRAY-APPLIED FIRE-RESISTIVE MATERIAL		X HR RATING PROVIDED PER UL #XXXX - FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE SLAB, SEE STRUCTURAL		1 1/2 HR RATING PROVIDED PER UL #709 - NEW MEMBRANE ROOFING, SEE PLANS - CONCRETE AND METAL DECK, SEE STRUCTURAL		X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX - NEW MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE		2 HR RATING PROVIDED PER UL #XXXX - CONCRETE AND METAL DECK, SEE STRUCTURAL - SPRAY-APPLIED FIRE-RESISTIVE MATERIAL		X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX - FINISHED FLOOR, SEE FINISH SCHEDULE - SELF-LEVELING CONCRETE INFILL - EXISTING CONCRETE STRUCTURE	



1 N/S BUILDING SECTION LOOKING EAST
SCALE: 1/8" = 1'-0"

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE ONLY

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Fidelity Hotel	
1940 E 6th Street Cleveland, Ohio	
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HARTSHORNE PLUNKARD ARCHITECTURE

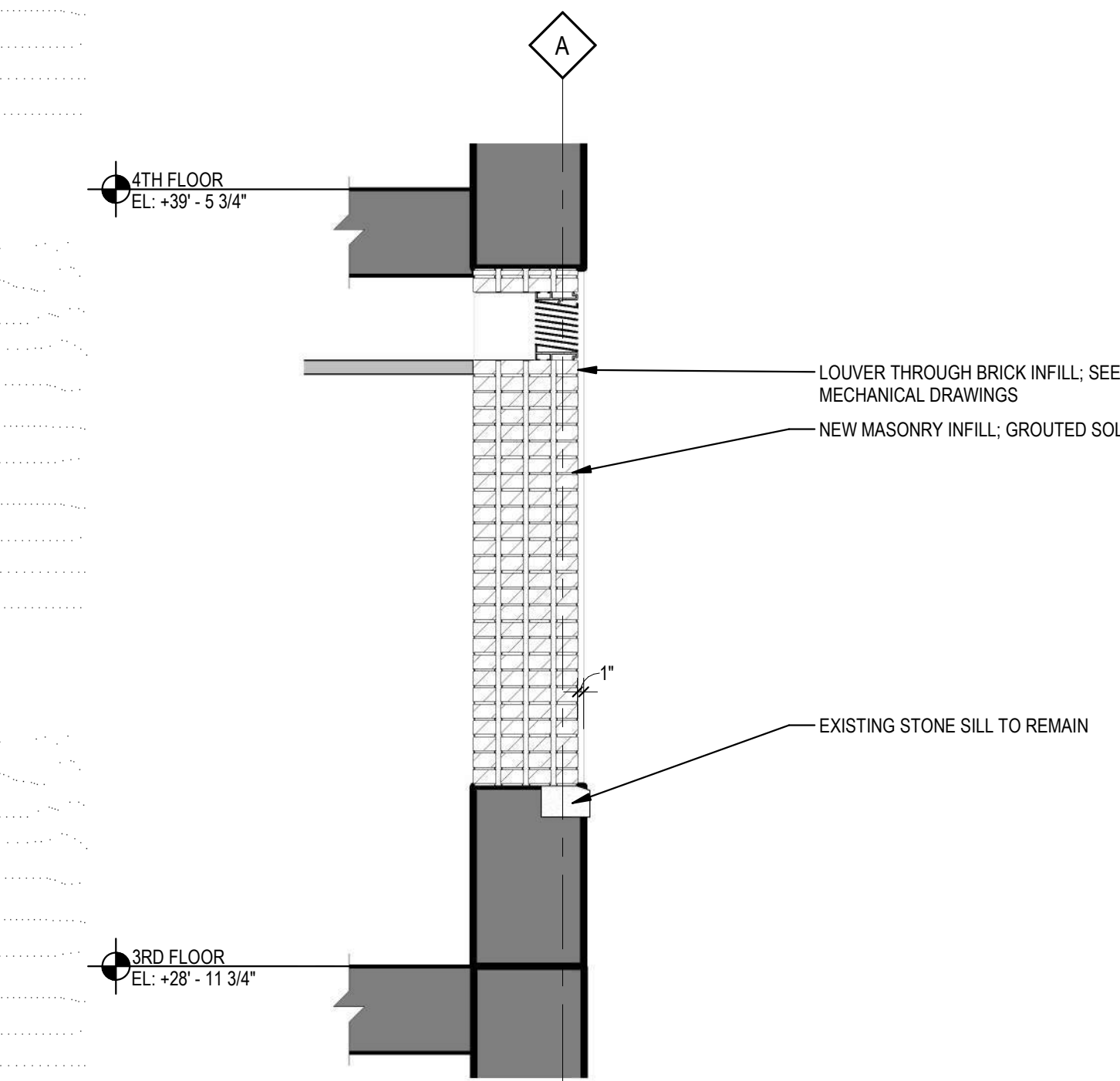
HPA

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CHICAGO, IL 60607
312.224.4488
HPARCHITECTURE.COM

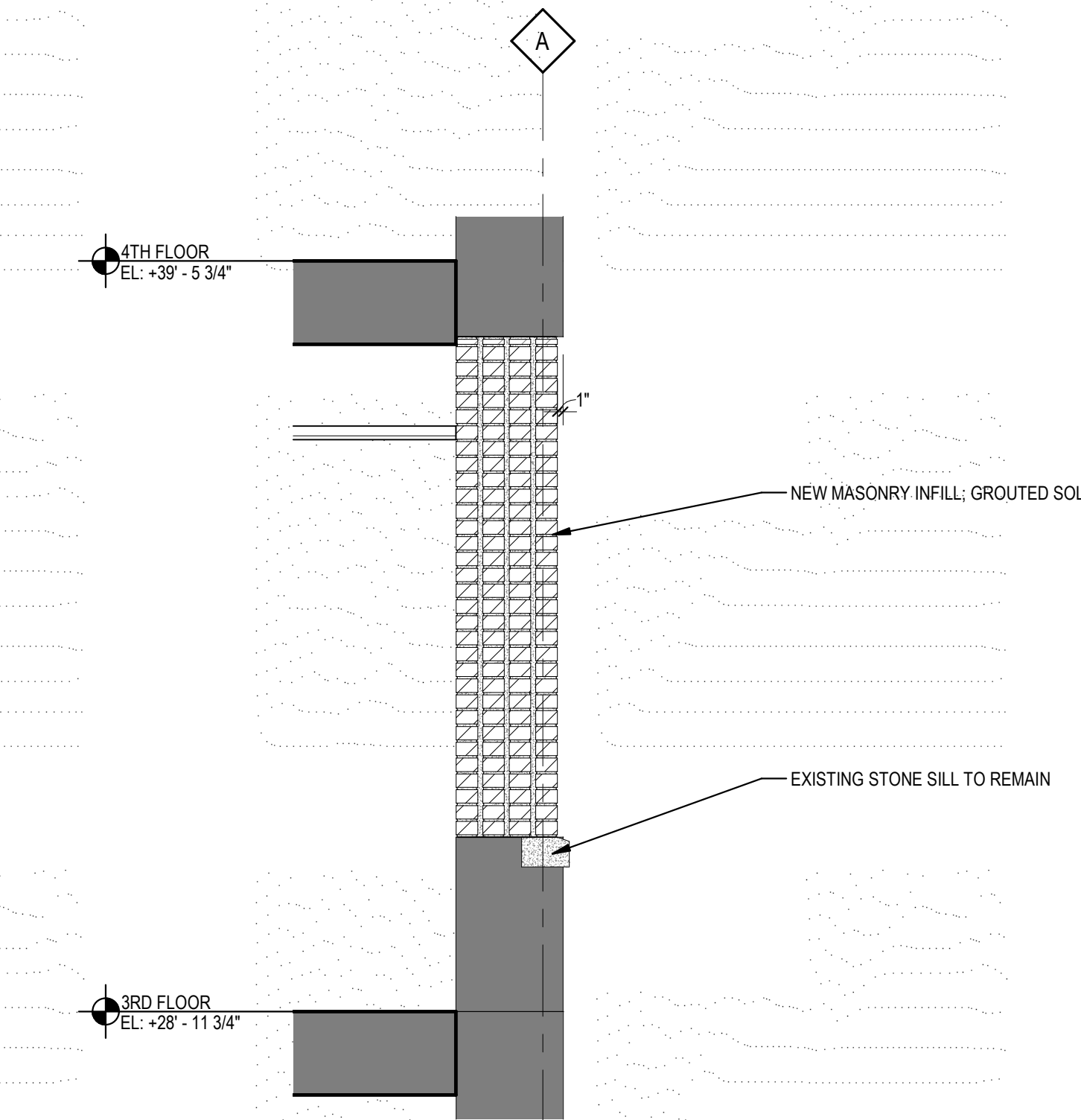
PROJ. # 20-020
SCALE: 1/8" = 1'-0"

BUILDING SECTION

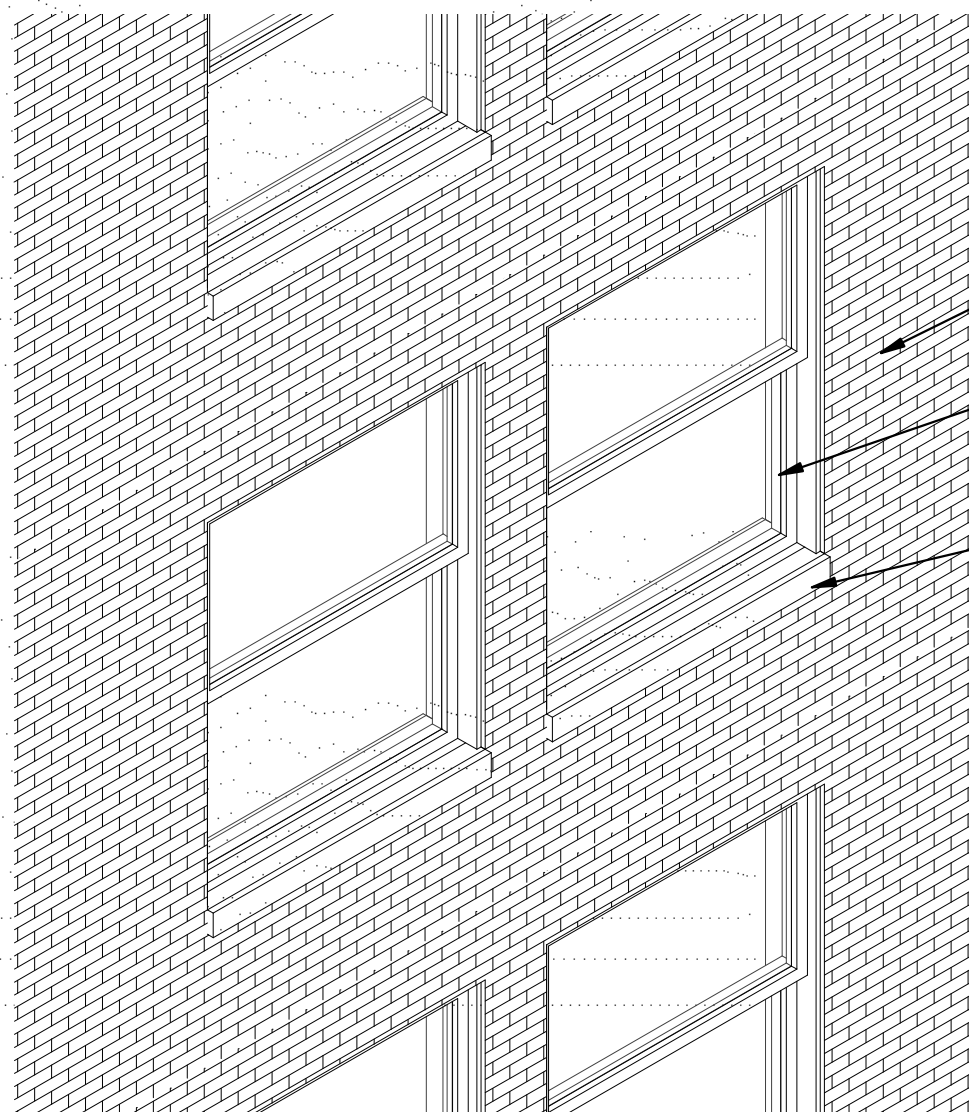
A3.01



14 SECTION THRU BRICK WINDOW INFILL WITH LOUVER
SCALE: 1/2" = 1'-0"



13 SECTION THRU BRICK WINDOW INFILL
SCALE: 1/2" = 1'-0"



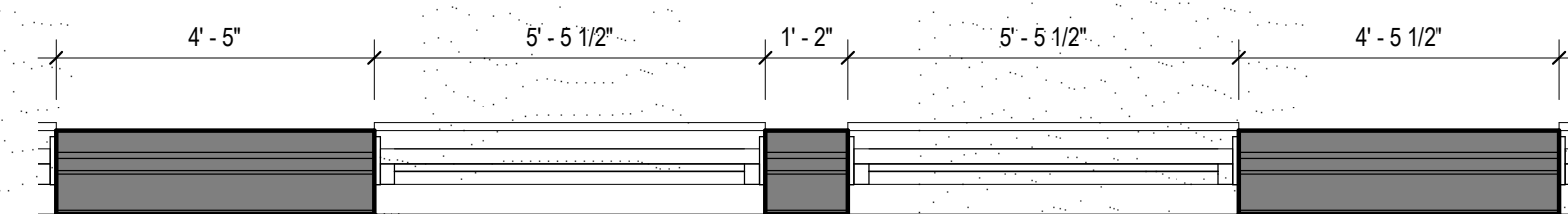
NEW FACE BRICK,
COLOR TO MATCH
EXISTING

NEW FIXED, THERMALLY-
BROKEN ALUMINUM
FRAMED WINDOWS WITH
OFFSET SASH

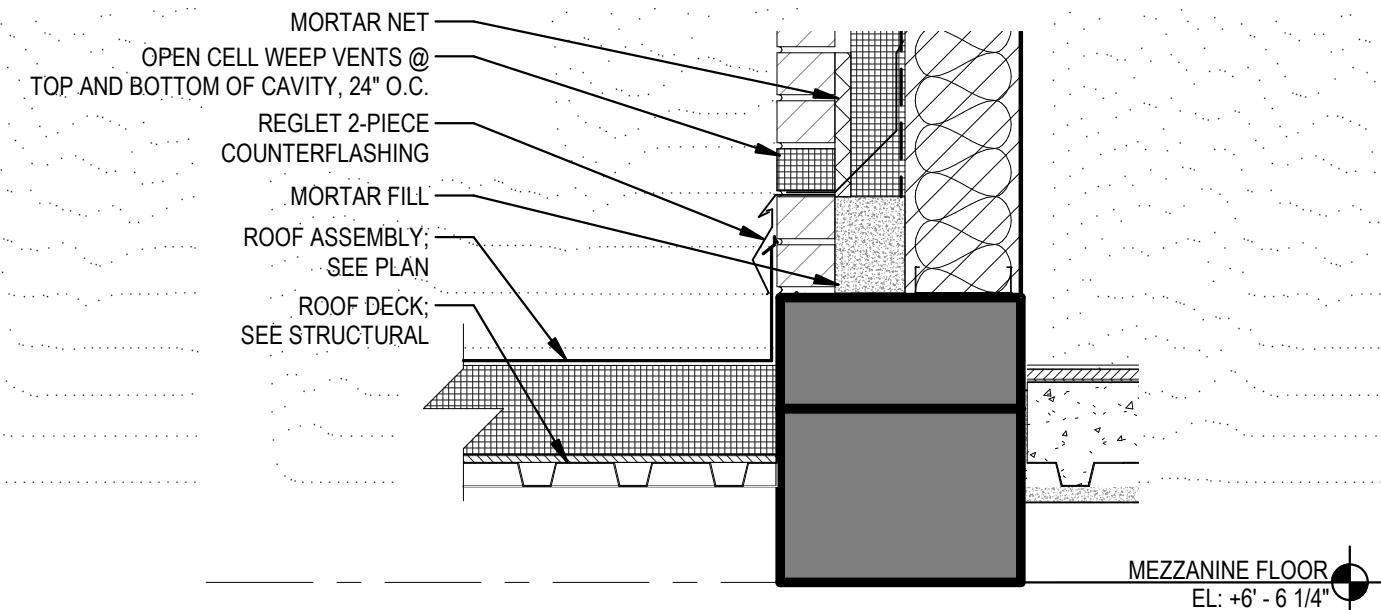
NEW STONE SILL,
PROFILE TO MATCH
EXISTING

ALL NEW WINDOWS TO
HAVE 1" LOW-E COATED
INSULATED GLAZING UNITS
(SOLARBAN 60 OR EQUAL)

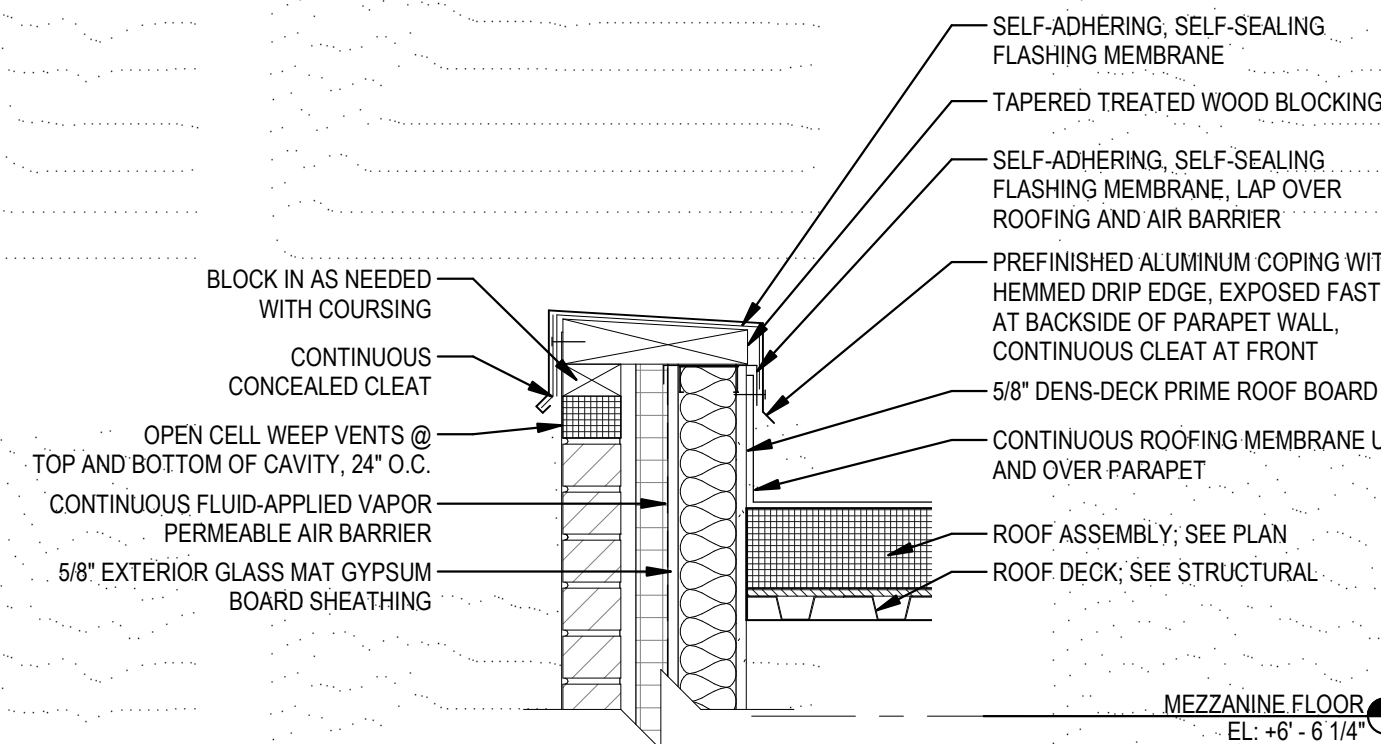
8 WEST ELEVATION WINDOW TYPE A ELEVATION
SCALE: 3/8" = 1'-0"



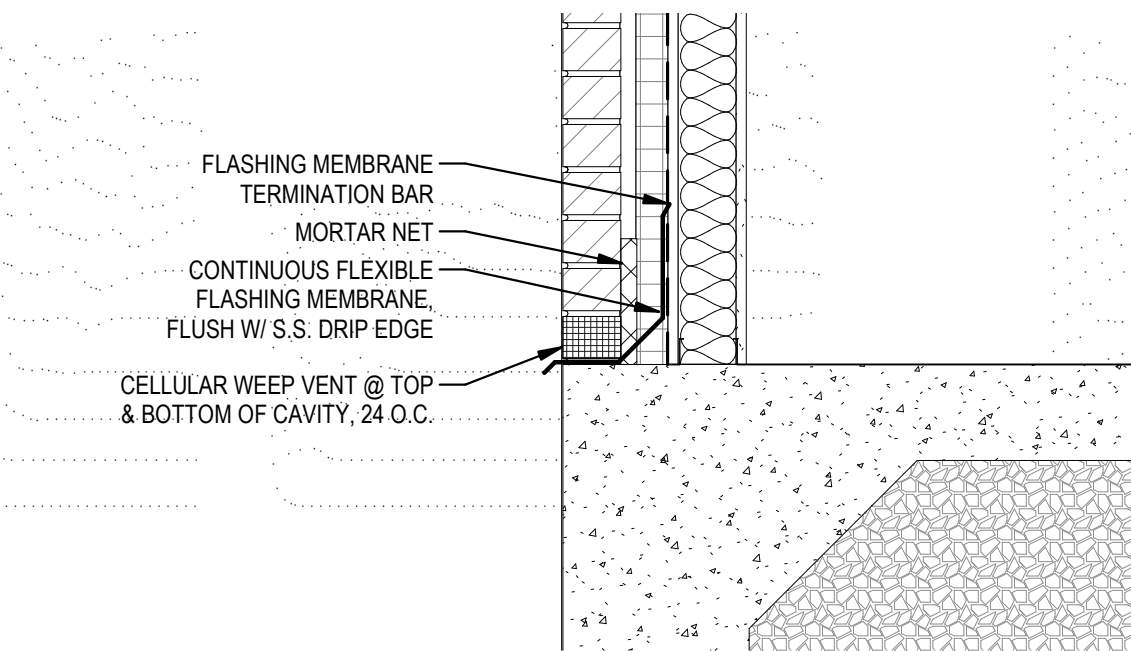
7 WEST ELEVATION WINDOW TYPE A PLAN
SCALE: 3/8" = 1'-0"



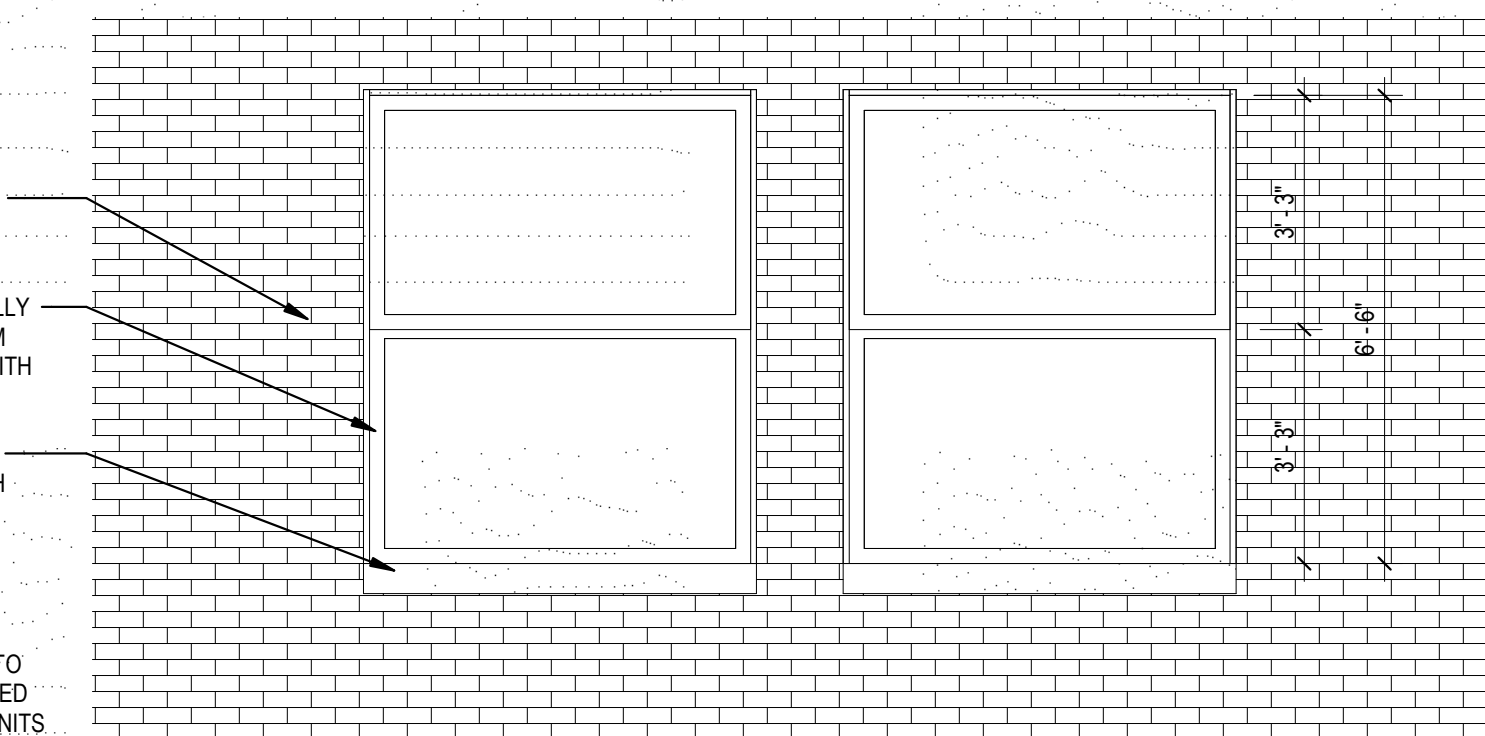
11 WALL TO ROOF CONNECTION DETAIL
SCALE: 1" = 1'-0"



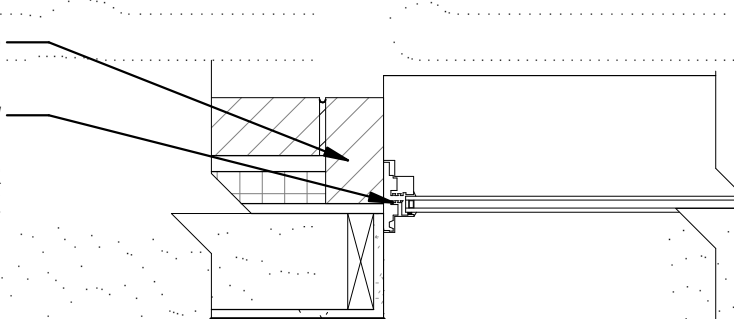
10 TYPICAL PARAPET WALL DETAIL
SCALE: 1" = 1'-0"



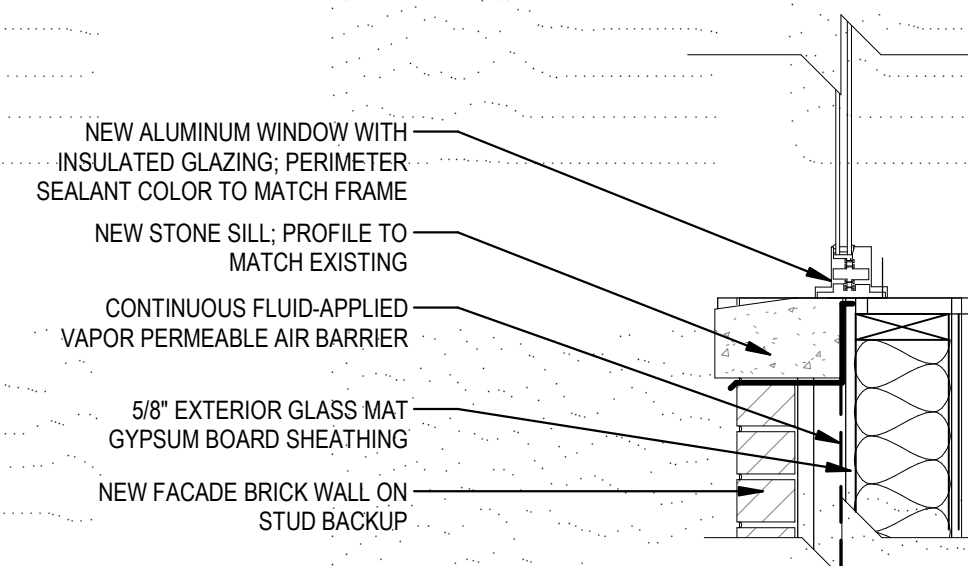
9 TYPICAL BASE OF WALL DETAIL
SCALE: 1" = 1'-0"



4 TYPICAL HEAD DETAIL
SCALE: 1" = 1'-0"



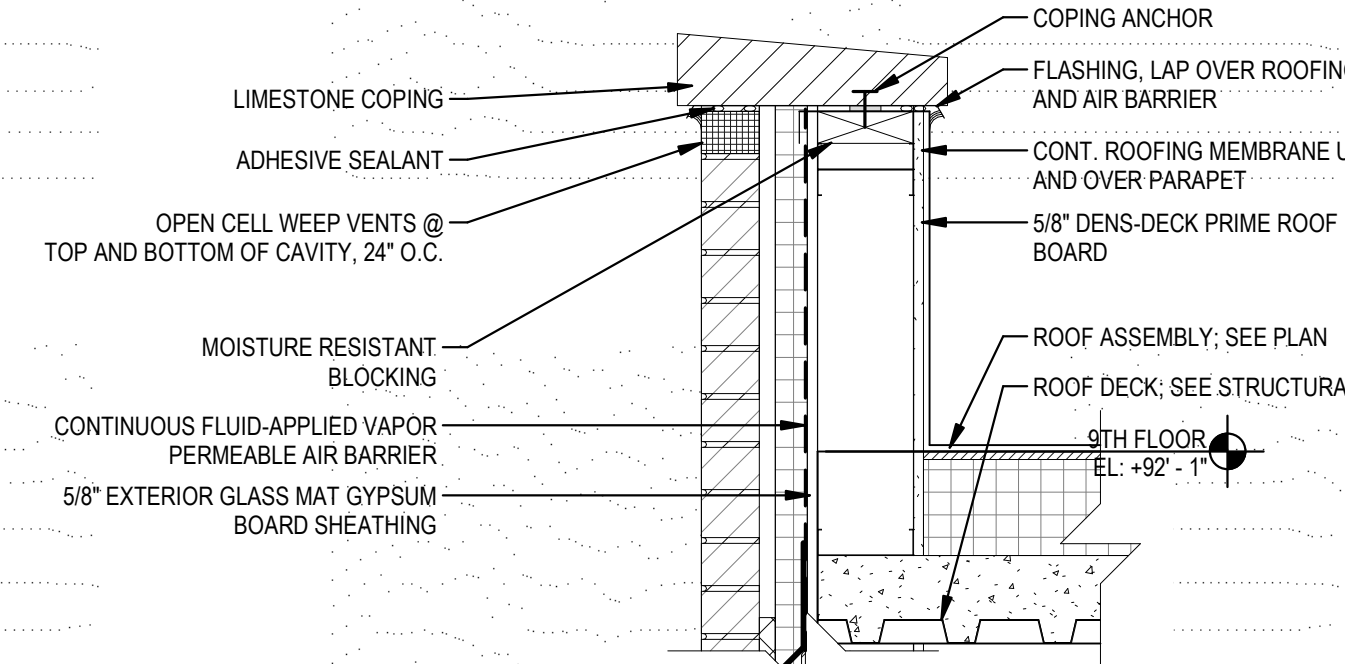
3 TYPICAL JAMB DETAIL
SCALE: 1" = 1'-0"



2 TYPICAL SILL DETAIL
SCALE: 1" = 1'-0"

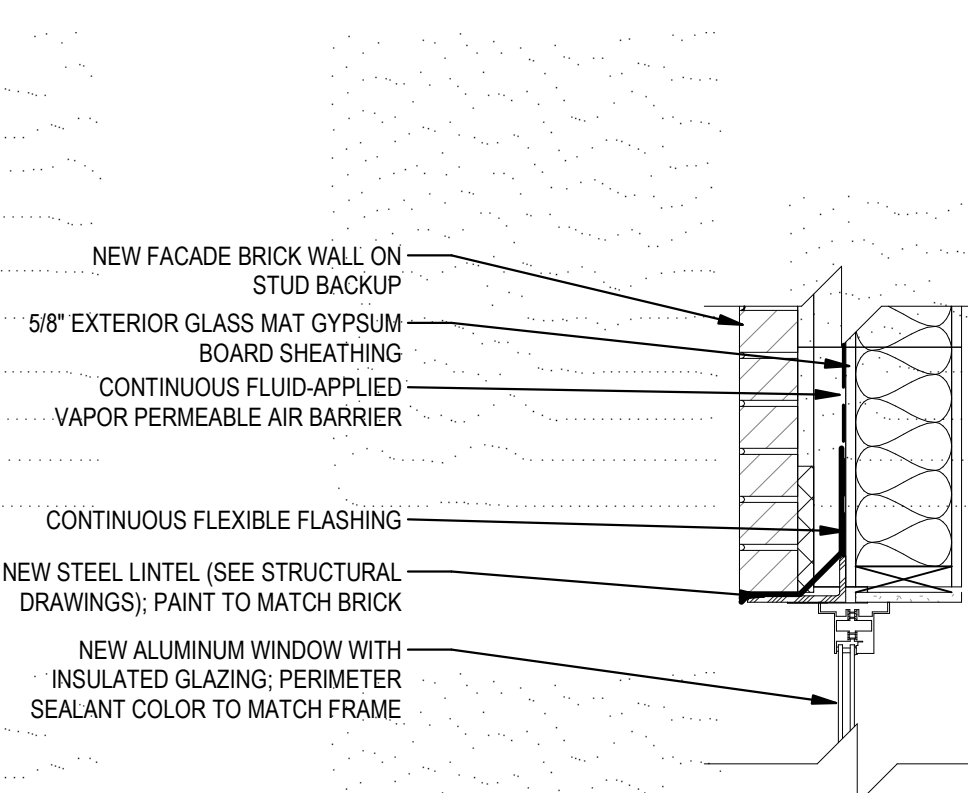
NEW EXTERIOR WALL CONSTRUCTION
- EXTERIOR BRICK VENEER SECURED W/ BRICK TIES
- 1" NOMINAL AIR SPACE
- 2" CONTINUOUS MINERAL WOOL-BOARD INSULATION (R-7.5 MIN)
- CONTINUOUS FLUID-APPLIED VAPOR-PERMEABLE AIR BARRIER
- (1) LAYER 5/8" EXTERIOR GLASS MAT GYPSUM BOARD SHEATHING
- 3 5/8" METAL STUDS FILLED W/ BATT INSULATION (R-13 MIN)
- 5/8" GYPSUM WALL BOARD INTERIOR

2" RIGID INSULATION (R-10 MIN)

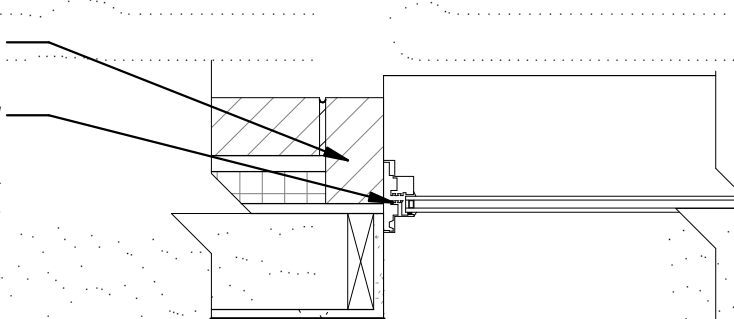


6 NORTH KITCHEN EXTENSION WALL SECTION
SCALE: 1/4" = 1'-0"

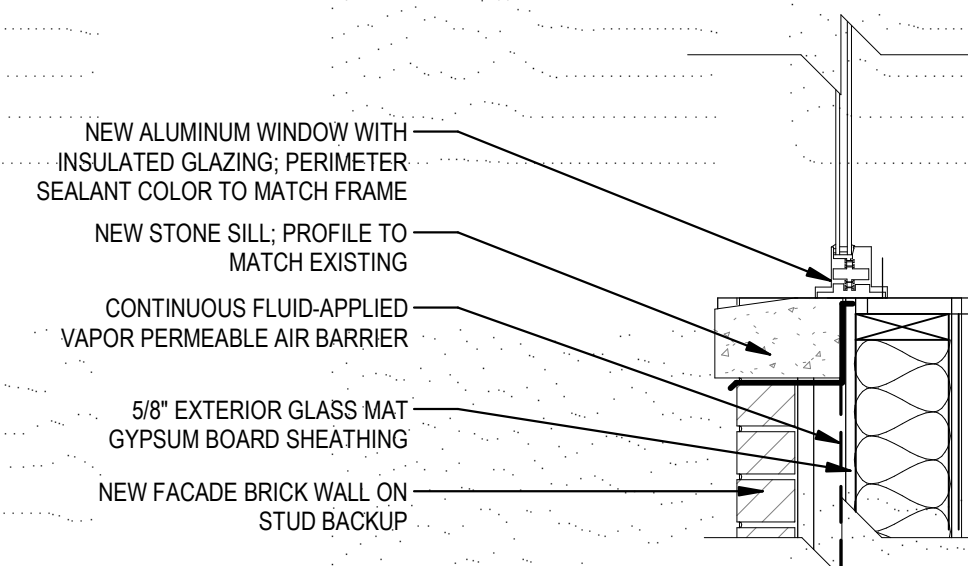
5 TYPICAL STONE PARAPET WALL DETAIL
SCALE: 1" = 1'-0"



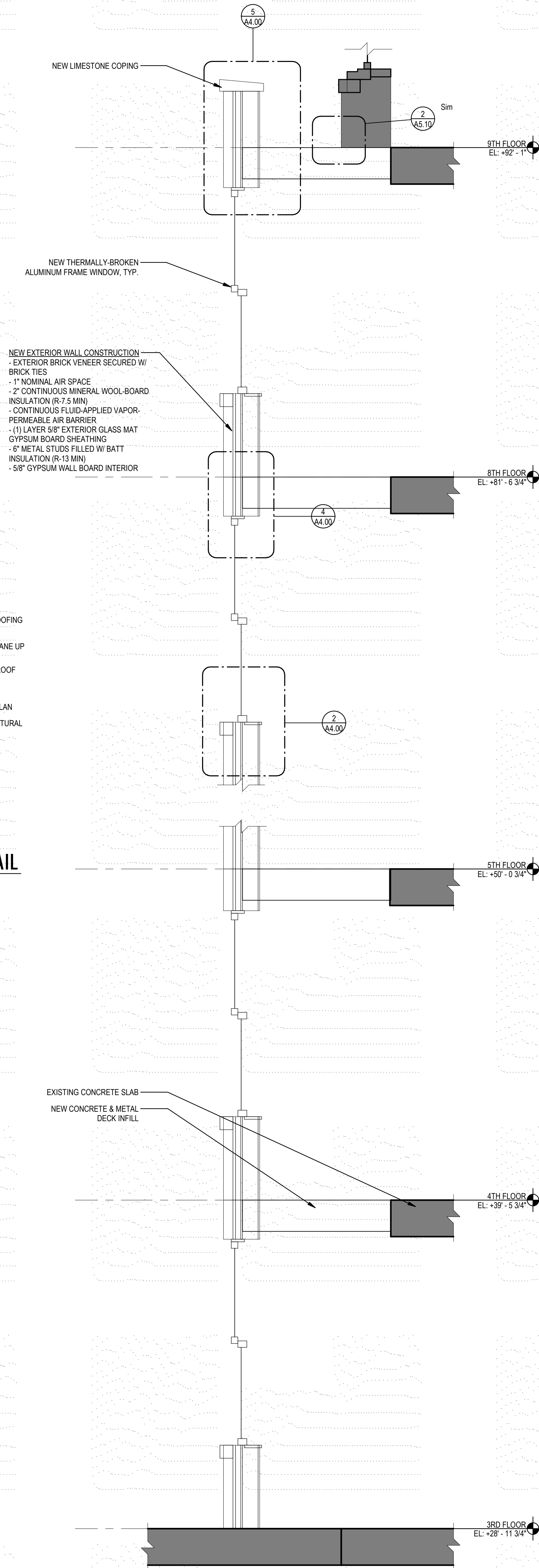
4 TYPICAL HEAD DETAIL
SCALE: 1" = 1'-0"



3 TYPICAL JAMB DETAIL
SCALE: 1" = 1'-0"



2 TYPICAL SILL DETAIL
SCALE: 1" = 1'-0"



1 WALL SECTION @ REAR FACADE EXTENSION
SCALE: 1/2" = 1'-0"

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE ONLY

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Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity to Architectural design intent.

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Fidelity Hotel

1940 E 6th Street
Cleveland, Ohio

ISSUANCES

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HARTSHORNE PLUNKARD ARCHITECTURE

HPA 232 NORTH CARPENTER STREET
CHICAGO, IL 60607
312.224.4488
HPARCHITECTURE.COM

PROJ. # 20 020

SCALE: As indicated

WALL SECTION &
DETAILS

A4.00



FOR REFERENCE ONLY

Contractor shall be responsible for reviewing all Plans and Specifications, and for existing conditions prior to proceeding with Construction, and complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the Work in accordance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and installed mechanical and electrical systems. Submit shop drawings to architect for approval in conformity with the mechanical design intent.

When Architectural Specification was issued for this project and along with the printed documents constitute the Contract Documents for this project. The Contract Documents shall include all drawings and specifications and all documents pertinent to all disciplines occur throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document and are in agreement with the terms and conditions of the contract. All site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Contractor, LLC shall retain all copyrights, statutory and common law rights with regard to these plans and building design. Reproduction, changes or use in any third party shall not be allowed without obtaining expressed permission and consent of Harborspan Nuclear, LLC.

940 E 6th Street
Cleveland, Ohio

[illegible]**RTSHORNE PLUNKARD ARCHITECTURE**

PROJ. # 20-020

SCALE: As indicated

STOREFRONT DETAILS

A5.00



FOR REFERENCE ONLY

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded structural systems. Submit shop drawings to architect for approval in conformity to Architect's design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertained to all disciplines except throughout the Contract Documents. By submitting a bid to this project, you have reviewed the entire contract documents and the conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

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1940 E 6th Street
Cleveland, Ohio

[illegible]

HARTSHORNE PLUNKARD ARCHITECTURE

HPA 232 NORTH CARPENTER STREET
CHICAGO, IL 60607
312.224.4488
HPARCHITECTURE.COM



PROJ. # 20-020

STOREFRONT DETAILS

A5.01



FOR REFERENCE ONLY

Fidelity Hotel

10 E 6th Street
Cleveland, Ohio

ISSUANCES

ISSUED FOR

ARTSHORNE PLUNKARD ARCHITECTURE

HPA 232 NORTH CARPENTER STREET
CHICAGO, IL 60607
312.224.4488
HPARCHITECTURE.COM

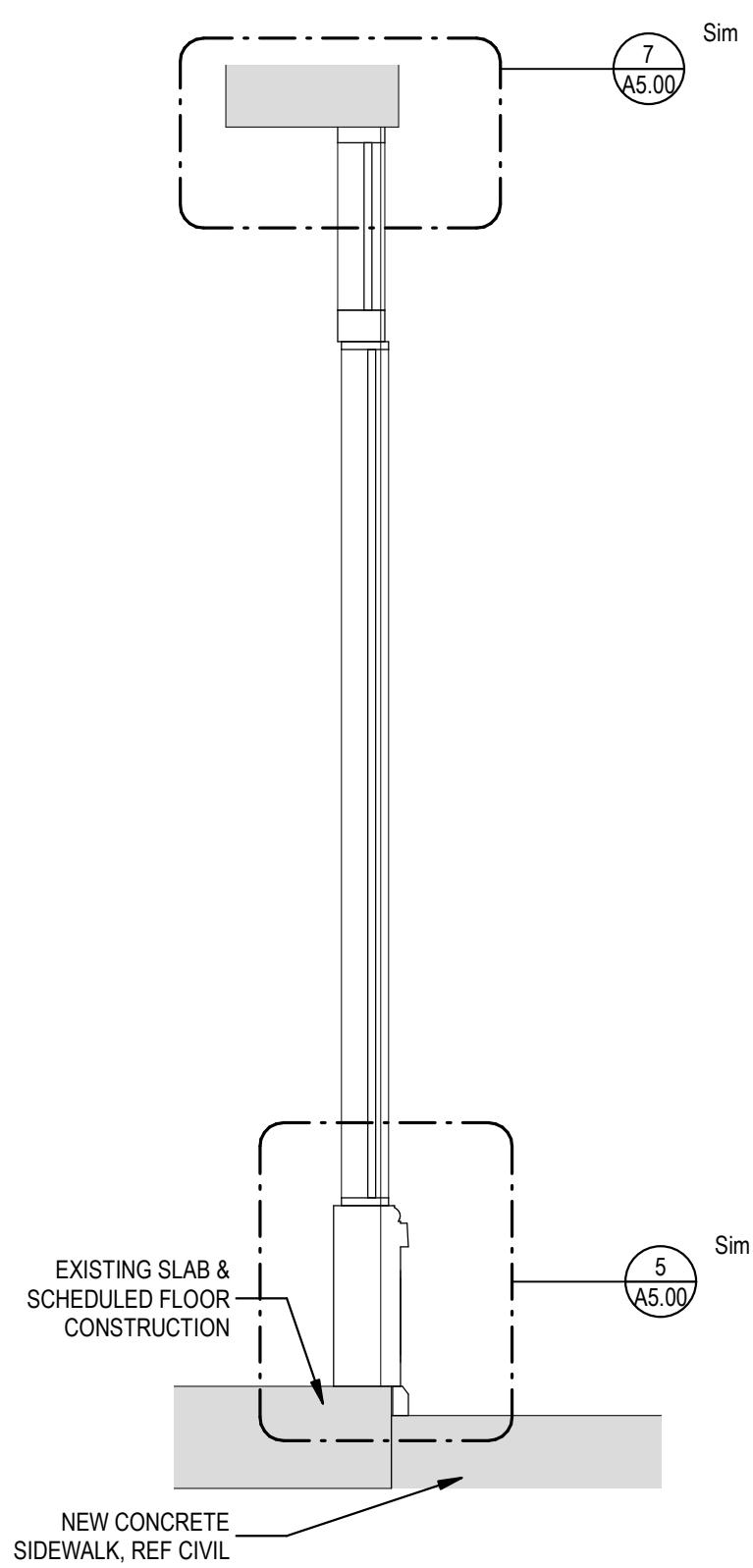
PROJ. # 20-020

STOREFRONT DETAILS

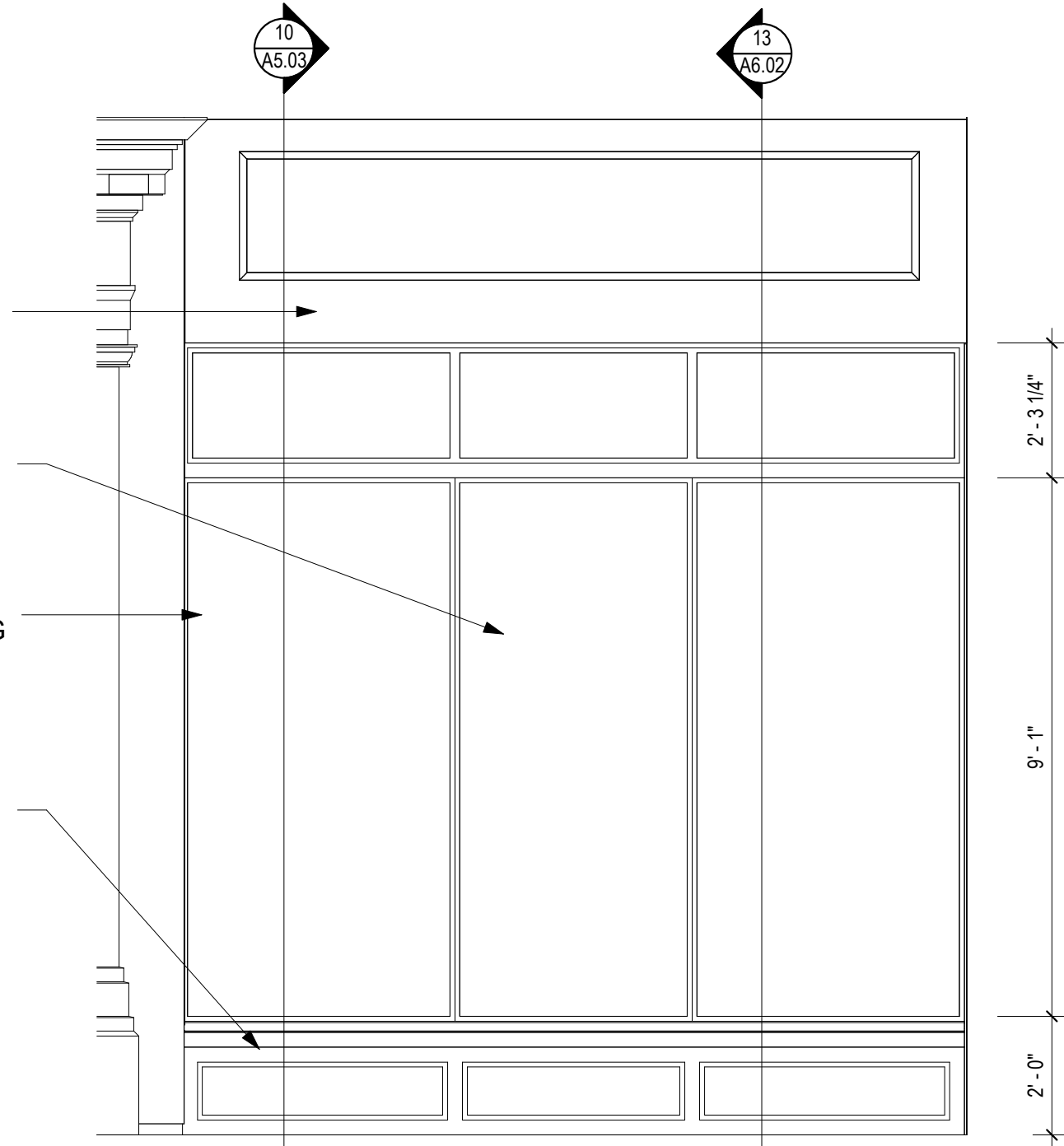
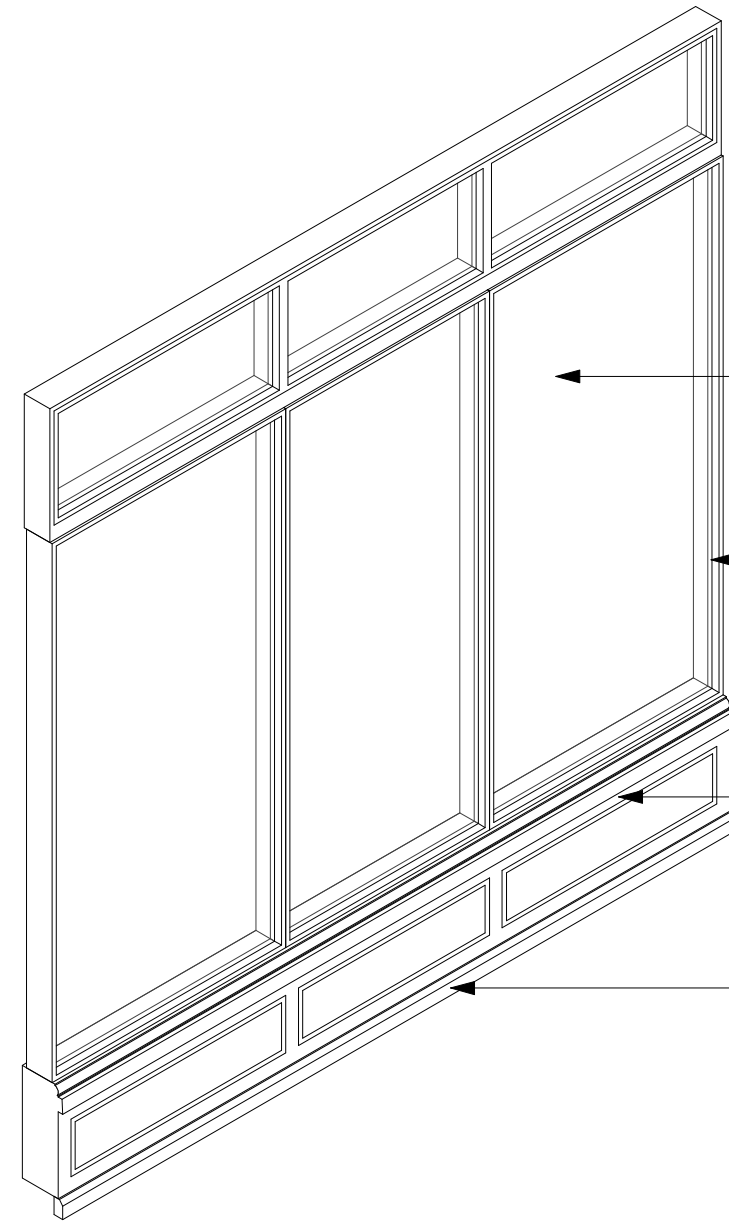
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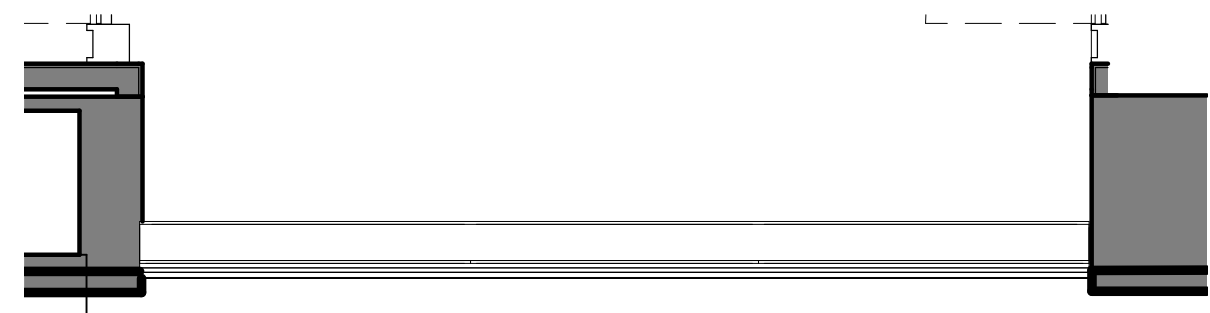
1 EAST ELEVATION - STOREFRONT - 4
SCALE: 1/8" = 1'-0"



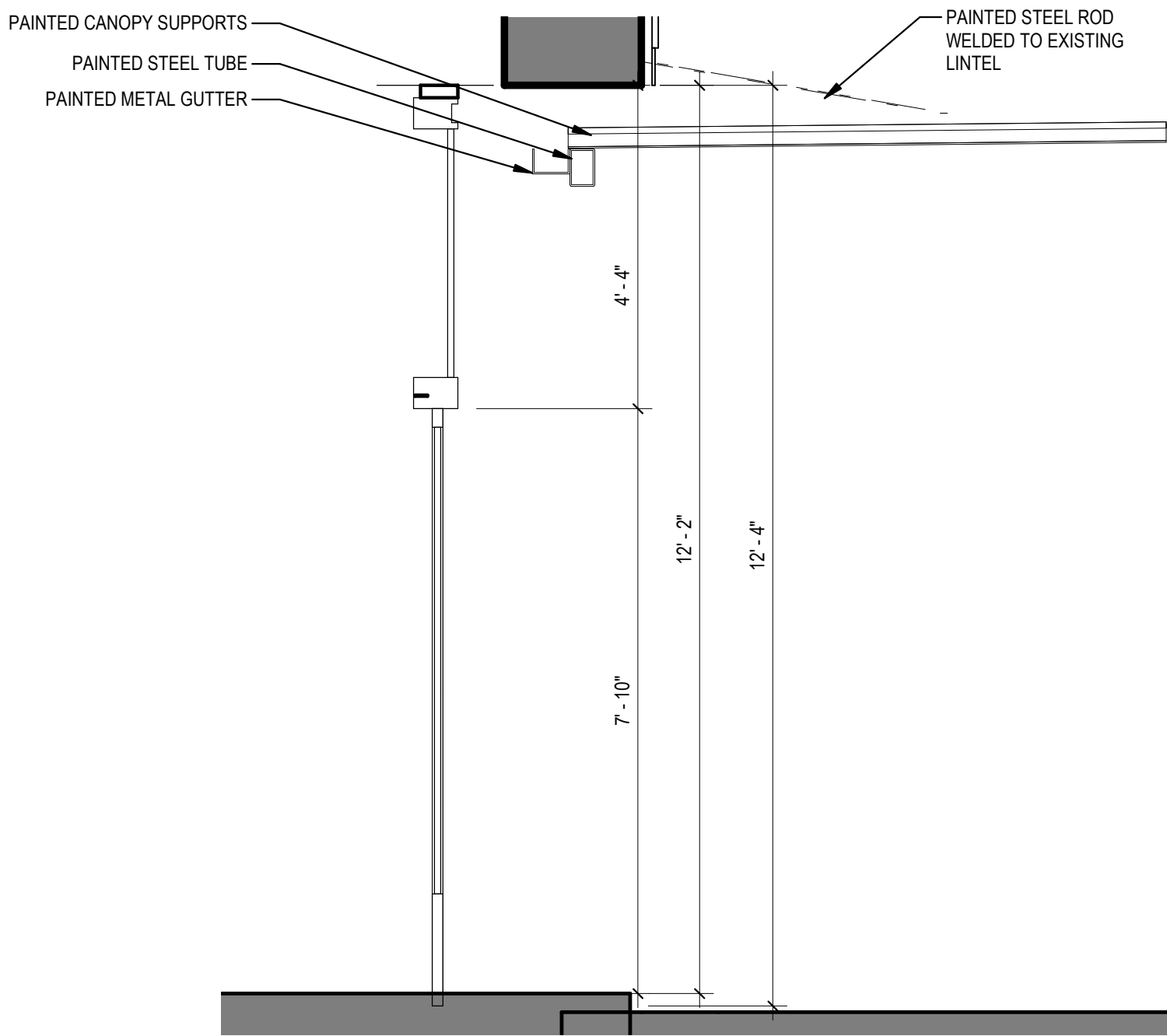
10 SECTION A - TYP
SCALE: 1/2" = 1'-0"



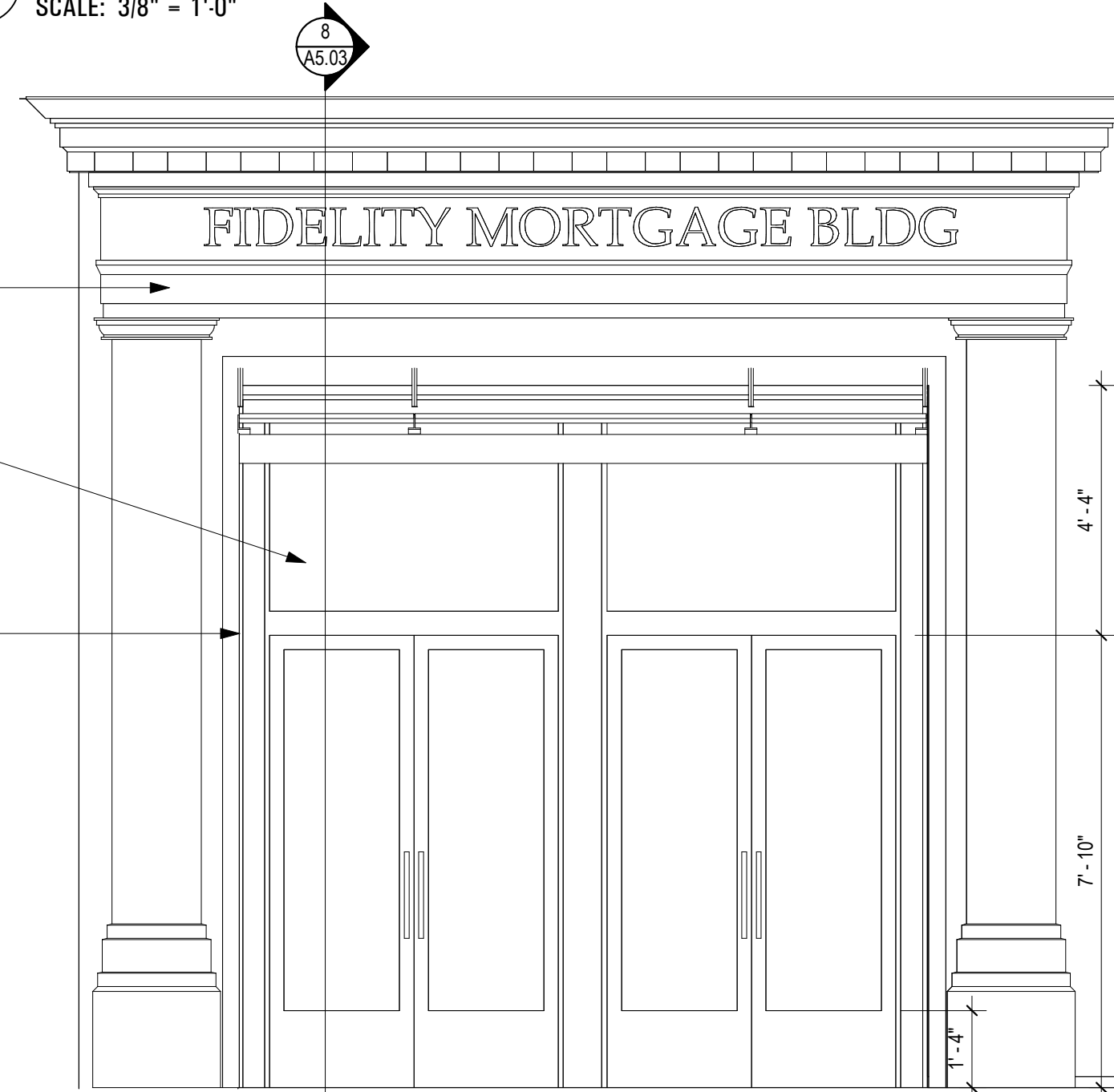
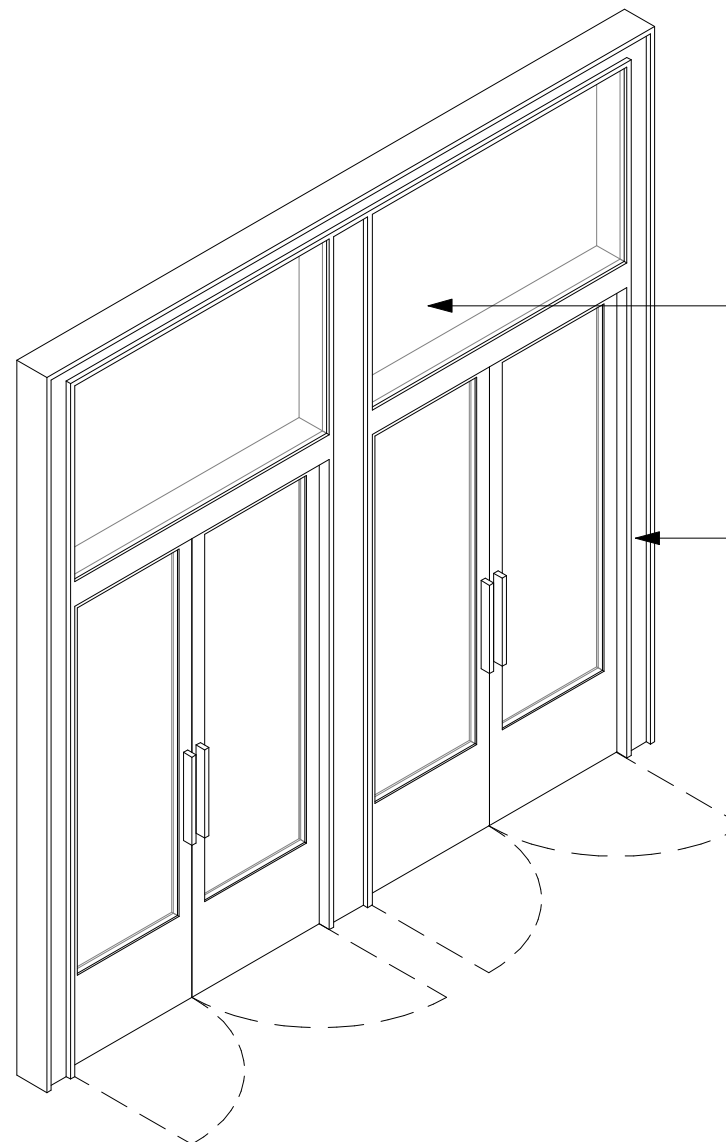
2 ARRIVAL LOUNGE STOREFRONT - ELEVATION
SCALE: 3/8" = 1'-0"



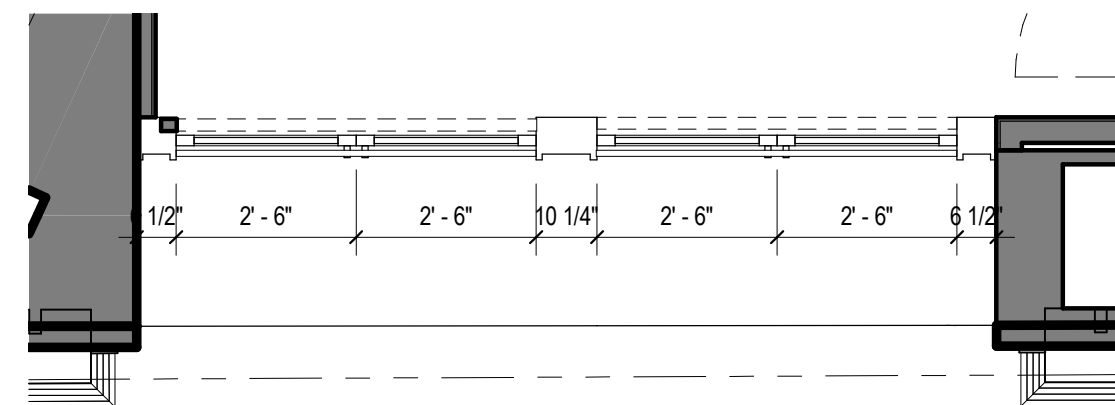
3 ARRIVAL LOUNGE STOREFRONT - PLAN
SCALE: 3/8" = 1'-0"



8 SECTION A
SCALE: 1/2" = 1'-0"



6 STOREFRONT @ ENTABLATURE - ELEVATION
SCALE: 3/8" = 1'-0"



7 STOREFRONT @ ENTABLATURE - PLAN
SCALE: 3/8" = 1'-0"

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE ONLY

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Fidelity Hotel

1940 E 6th Street
Cleveland, Ohio

ISSUANCES

DATE	ISSUED FOR
2 11/18/2021	100 % SCHEMATIC DESIGN
5 11/17/2022	50% Design Development
6 21/11/2022	SHOP REVIEW 2
9 6/20/2022	50% Construction Documents
10 7/07/2022	City Design Development Review

HARTSHORNE PLUNKARD ARCHITECTURE

HPA 232 NORTH CARPENTER STREET
CHICAGO, IL 60607
312.224.4488
HPARCHITECTURE.COM

PROJ. # 20-020
SCALE: As indicated

STOREFRONT DETAILS

A5.03




C70	CANOPY LINEAR	QTRAN	VERS-06-SW-5-24-WET-ENCL-NA-INP/IT-CONNECTION-WARE-MOUNTING-FINISH-LENGTH	5 W/FT	LED	2400	90	300	UNV	0-10V	CONTRACTOR TO VERIFY LENGTHS REQUIRED WITH APPROVED MILLWORK SHOP. DRAWINGS FUTURE. REQUIRES REMOTE DRIVER. ARCHITECT TO CONFIRM MOUNTING LOCATION.
C71	ANGLED IN-SLUIT	TARGETTI	KPLM-41-HE-SL-P2-L2110-02526A-10-L2521	14 W	LED	2700	80	1300	UNV	0-10V	ARCHITECT TO CONFIRM FINISH COLOR
C72	EXTERIOR LED LINEAR GRAZER UPLIGHT - SX10	GVA LIGHTING	STR9-G3-600-FINISH-SW-2700K-SMA-10-AC/SMA-1-PD-C-AC	5 W/FT	LED	2700	80	390	UNV	0-10V	CONTRACTOR TO SUPPLY WITH ALL PARTS AND COMPONENTS FOR A COMPLETE AND OPERATIONAL ASSEMBLY
C73	EXTERIOR FLEXIBLE TUBE LIGHT - WALL MOUNT	ARTEKIDE	LA LINEAR SMT L0002	4 W/FT	LED	3000	80	300	UNV	0-10V	CONTRACTOR TO SUPPLY WITH ALL PARTS AND COMPONENTS WITH FINAL DESIGN CONFIGURATION AND SUPPLY WITH ALL PARTS AND COMPONENTS FOR A COMPLETE AND OPERATIONAL ASSEMBLY
C74	EXTERIOR LED LINEAR HIGH OUTPUT GRAZER UPLIGHT WITH ARM MOUNT BRACKET	STR9-G3	1200-150W-15W-2700K-SMA-10-AC/SMA-1-PD-C-AC/121137	15 W/FT	LED	2700	80	1000	UNV	0-10V	CONTRACTOR TO SUPPLY WITH ALL PARTS AND COMPONENTS FOR A COMPLETE AND OPERATIONAL ASSEMBLY
C75	SQUARE CYLINDER WALL MOUNT DOWNLIGHT - RGBW	LIGMAN LIGHTING	U.E-30143-33W-M-RGBW30-FINISH-F	33 W	LED	RGBW	60	1429	UNV	DMX	ARCHITECT TO CONFIRM FINISH COLOR
C76	EXTERIOR LED LINEAR GRAZER UPLIGHT - 10X60	GVA LIGHTING	STR9-G3-LENGTH-FINISH-SW-2700K-10-AC/SMA-1-PD-C-AC	3 W/FT	LED	2700	80	240	UNV	0-10V	CONTRACTOR TO SUPPLY WITH ALL PARTS AND COMPONENTS FOR A COMPLETE AND OPERATIONAL ASSEMBLY

FOR
REFERENCE
ONLY

ARCH ELEVATION 0' - 0" = +658.78'

[illegible]

	PROJ. # 20-020
	SCALE:

LT1.05

fixture cutsheets

EXTERIOR FACADE LIGHTING

07.11.22

FIDELITY HOTEL

Cleveland, OH




VERS-ENCAPSULATED (06)

Linear Fixtures - Surface






The wet rated VERS Encapsulated (06) is a finished aluminum fixture that is fully encapsulated in polyurethane and suitable for use in various applications. Encapsulation is available in a clear finish where diodes are visible or a translucent finish, for diffused light. The internal WhiteOptics® technology combined with the polyurethane encapsulation provide optimal delivered lumens.

Part Number Builder

Static White    **5 YEAR WARRANTY**

Product	W/FT	CCT	Rated	Lens	Louver	Input/Output	Connector/Wire In	Connector/Wire Out	Wire Color	Wire Type	Mounting	Finish	Length* (in)
VERS-06-SW													
Voltage: 24 VDC	1.5	24	DRY (IP20)	ENC/CL	L1-WH	S1	BW	CLS	WH	CL2	CC	ST	
Typical lumens at 5.0W/ft at 3000K with ENC/CL: 347 lm/ft	3.0	27		ENC/TL	L1-BK	S2	CON6		BK	CL2P	MG	BK	
	4.0	30	WET (IP67)		N/A	S3	CON24					BZ	
	5.0	35				S4						WH	
		40											
						Single (Closed exit)							
						P1	BW	BW					
						P2	CON6	CON6					
						P3	CON24	CON24					
						P4							
						Pass through							

*Available in 1" increments for 1.5W/ft - 5.0W/ft. Maximum fixture length of 98". See fixture detail on page 5. Minimum fixture length 6".

Static White High Efficacy    **5 YEAR WARRANTY**

Product	W/FT	CCT	Rated	Lens	Louver	Input/Output	Connector/Wire In	Connector/Wire Out	Wire Color	Wire Type	Mounting	Finish	Length* (in)
VERS-06-SW													
Voltage: 24 VDC	1.5HE	24	DRY (IP20)	ENC/CL	L1-WH	S1	BW	CLS	WH	CL2	CC	ST	
Typical lumens at 6.0W/ft at 3000K with ENC/CL: 575 lm/ft	3.0HE	27		ENC/TL	L1-BK	S2	CON6		BK	CL2P	MG	BK	
	6.0HE	30	WET (IP67)		N/A	S3	CON24					BZ	
		35				S4						WH	
		40											
						Single (Closed exit)							
						P1	BW	BW					
						P2	CON6	CON6					
						P3	CON24	CON24					
						P4							
						Pass through							

*Available in 2" increments, maximum fixture length of 98". See fixture detail on page 5. Minimum fixture length 6".

C70
CANOPY LINEAR

custom length (Max 120") by writing it in inches next to "BW" in the order code box (ex. BW48)
needed to specify product. Standard configuration is Type S1, Connector/Wire In: BW & Connector/Wire Out: CLS

C73
ALLEY WALL ACCENT

arranty
data has +/- 5% tolerance

- Compatible for use with Q-Tran power supplies
- IK10 rated

VERS-ENCAPSULATED (06)

Linear Fixtures - Surface



Technical Information Delivered lumens See photometric files for complete details.

Static White [Calculated L70 = 70000 hours] Tested with VERS-06-SW-**-30-DRY-**

	1.5W/FT		3.0W/FT		4.0W/FT		5.0W/FT	
	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI
ENC/CL	139	96	242	96	286	96	347	96
ENC/TL	125	96	204	96	273	96	307	96

Static White High Efficacy [Calculated L70 = 70000 hours] Tested with VERS-06-SW-**-30-DRY-**

	1.5HE W/FT		3.0HE W/FT		6.0HE W/FT	
	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI
ENC/CL	185	97	335	96	575	96
ENC/TL	154	97	283	96	490	96

Dynamic White [Calculated L70 = 70000 hours] Tested with VERS-06-DW-6.0-**-DRY-**

	2400K		3000K	
	LM/FT	CRI	LM/FT	CRI
ENC/CL	204	92	218	94
ENC/TL	187	93	189	96

Dynamic White High Efficacy [Calculated L70 = 70000 hours] Tested with VERS-06-DW-5.0HE-**-DRY-**

	2400K		2700K		3000K		4000K	
	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI
ENC/CL	166	91	163	97	169	97	185	97
ENC/TL	137	92	136	97	141	96	160	97

RGB [Calculated L70 = 55000 hours] Tested with VERS-06-RGB-6.0-RGB-DRY-**

	Red		Green		Blue	
	LM/FT	Wavelength	LM/FT	Wavelength	LM/FT	Wavelength
ENC/CL	85	631	160	522	47	469
ENC/TL	71	631	127	523	37	470

Static Color [Calculated L70 = 30000 hours] Tested with VERS-06-SC-5.0-**-DRY-**

	Red		Green		Blue		Amber	
	LM/FT	Wavelength	LM/FT	Wavelength	LM/FT	Wavelength	LM/FT	Wavelength
ENC/CL	108	632	450	516	105	465	108	594
ENC/TL	100	632	395	515	98	465	98	594

RGBW [Calculated L70 = 30000 hours] Tested with VERS-06-RGBW-6.0-**-DRY-**

	2700K		3000K		Red		Green		Blue	
	LM/FT	CRI	LM/FT	CRI	LM/FT	Wavelength	LM/FT	Wavelength	LM/FT	Wavelength
ENC/CL	116	92	115	92	35	630	99	514	31	466
ENC/TL	92	92	104	93	32	633	87	512	28	464

RGBW High Efficacy [Calculated L70 = 70000 hours] Tested with VERS-06-RGBW-4.0HE-**-DRY-**

	2700K		3000K		Red		Green		Blue	
	LM/FT	CRI	LM/FT	CRI	LM/FT	Wavelength	LM/FT	Wavelength	LM/FT	Wavelength
ENC/CL	62	98	66	97	33	629	120	519	26	465
ENC/TL	51	98	53	97	27	629	94	520	21	465

Temperature Ratings Dependent on LED Strip W/FT

Light Engine (LED Strip)	W/FT	Minimum Limit (°F)	Maximum Limit (°F)
Static White	1.5	-4	138
	3.0	-4	124
	4.0	-4	115
	5.0	-4	108
Static White High-Efficacy	1.5HE	-4	152
	3.0HE	-4	140
	6.0HE	-4	118
	9.0HE	-4	95

C70
CANOPY LINEAR

C73
ALLEY WALL ACCENT

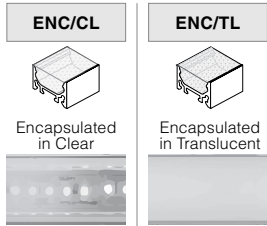
VERS-ENCAPSULATED (06)

Linear Fixtures - Surface

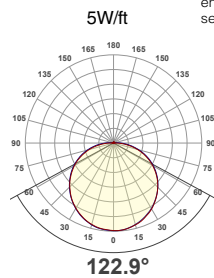


Lens

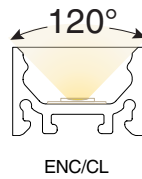
with LED visibility



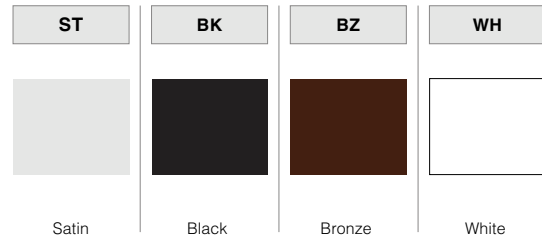
Beam Angle



NOTE: Nominal beam spread shown, beam spread varies based on light engine. For more detailed information, see IES PDF file.

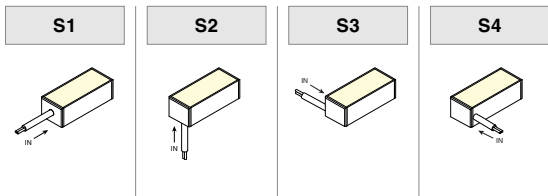


Finish

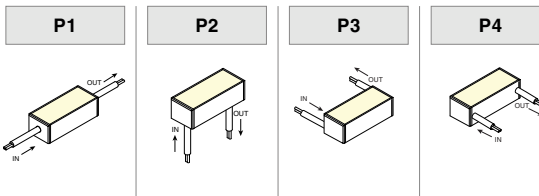


Input/Output

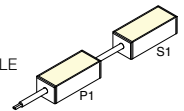
SINGLE (Input only)



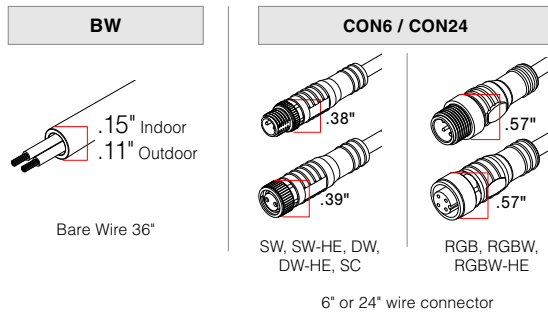
PASS THROUGH (Input/Output)



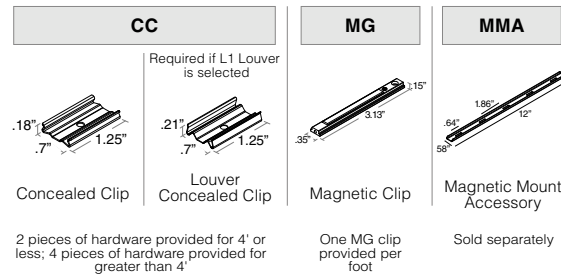
ORDER EXAMPLE



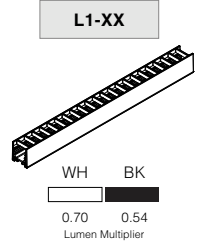
Connector/Wire – In/Out



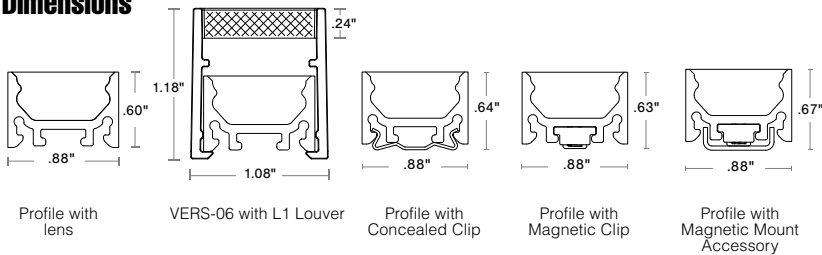
Mounting



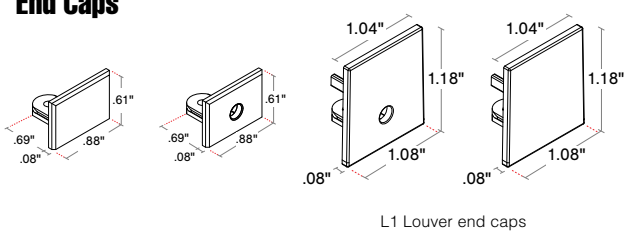
Louver



Dimensions



End Caps

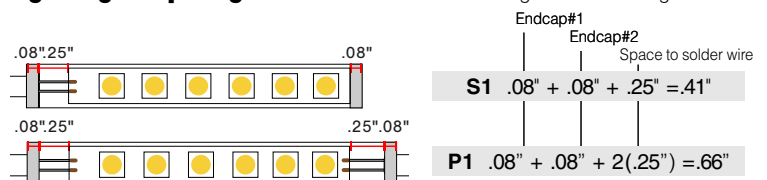


C70
CANOPY LINEAR

C73
ALLEY WALL ACCENT

Light Engine Spacing Detail

Add to nominal LED length for fixture length



KEPLERO MINI HE Efficiency & Interchangeability

Professional Inground Fixed LED Fixture

Concept: Compact high performance inground single source COB LED fixture with 3 different fixed optic beam options and an internal reflector for even beam spread and illumination of architectural objects with maximum efficiency of lumens per watt.

Housing: 8" tall x 6.625" diameter die-cast aluminum housing.

Materials: Anodized and powder coated black die-cast aluminum heat sink with PVC installation sleeve and stainless steel (AISI316L) trim ring with extra clear class. ^ABody completed with marine grade cataphoresis suitable for use in marine grade environments. Stainless steel trim will need to be maintained and cleaned regularly to avoid mineral deposits.

Trim: Stainless steel (AISI316L) trim available in ultra flat round or square decorative rings, with beveled edge in brushed natural, bronze or gun metal black finishes. Features tamper-proof Torx screws.

Optic: Optical chamber offers three different beam spreads with internal reflector; SP 11°, FL 18° or MWF 40°. Light beam can be tilted +/-20° on the vertical plane and rotated 355° on the horizontal plane with integral locking system.

Mounting: Flush and semi-flush installation sleeves or optional raised installation tube for landscape. Fixture includes screw down holes and stainless steel screws for attachment to installation sleeves. Includes optional stainless steel L brackets for mounting support. Installation sleeve required for flush or semi-flush mounting.

Driver: Integrated 4/1 driver (Non-dimmable / 0-10V / Reverse Phase / Forward Phase).

Installation: Fixture flush mount installation includes 8" tall x 6.625" diameter sleeve, extension pipe for wire slack and accessibility. Fixture is provided with 4ft IP68 connector cable, direct burial brass ingrade j-box (required, sold separately).

Wattage: 14W

Color Temperature: 2700K / 3000K / 3500K / 4000K

CRI: Ra84 (2700K, 3000K, 4000K) / Ra90 (3500K)

Lumen Maintenance (L70): 50,000hrs

Calculation for LED fixtures are based on measurements that comply with IES LM-80.

Voltage: Universal Voltage 120-277V AC 50/60Hz

IK Rating: IK10

IP Rating: IP67*, IP68 Tested**

Load Rating: Resistant to static loads up to 4,496lbs in flush mounted cement and pavement installations.

Certifications: cULus Wet Listed E477426

Tested in accordance with LM-79-08

Energy efficient for California installations.

Warranty: 5 year limited warranty

* Up to 1 METER DEPTH of water for up to a maximum of 30 MINUTES

** Not suitable for submersible installations

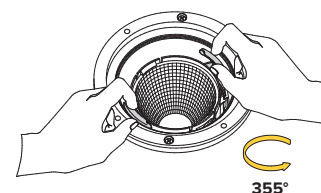
^ANot to be in direct contact with salt for extended periods of time or used with corrosive agents.



KEPLERO® Mini High Efficacy with Clear Lens



Delivered Lumens:	3000K	4000K
Spot 11° =	1387Lm	1423Lm
Flood 18° =	1397Lm	1434Lm
Medium Wide Flood 40° =	1384Lm	1420Lm



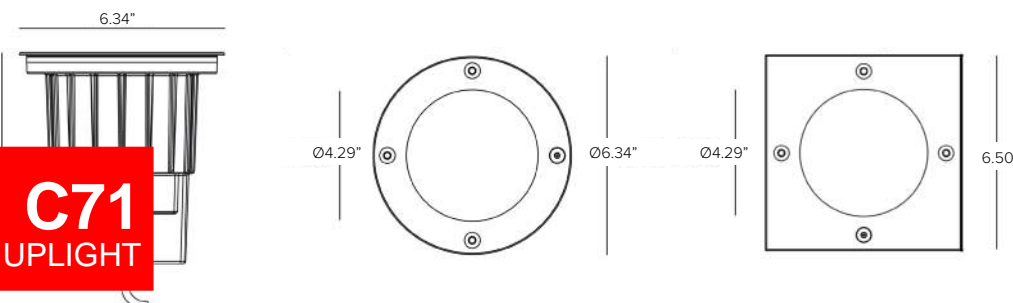
PRODUCT CODE	DRIVER	TYPE	OPTICS	WATTAGE	COLOR TEMP	+	TRIM & INSTALLATION
KPLM - KEPLERO Mini	41 - 4/1 Dimming (Non-Dimming / 0-10V / Reverse Phase / Forward Phase)	HE - High Efficacy	SP - Spot 11° FL - Flood 18° MF - Medium Wide Flood 40°	L2 - 14W	27 - 2700K 30 - 3000K 35 - 3500K 40 - 4000K		Required (See Pg 2)

QUICK SHIP
1-2 weeks

KPLM41HE_L230-QS + 1E2525-QS + 1DU2521-QS + 1DU2530-QS

Lead time for quick ship fixtures is 1-2 weeks from processed PO date. Consult factory for quantities of over 20 fixtures to confirm lead time.

Views



TRIM RING (REQUIRED) - CHOOSE 1			
Round Trim Ring (Available in Brushed Natural, Bronze, and Black PVD finishes)			
			Description
1E2525	1DU2525B	1DU2525K	Round stainless steel (AISI316L) decorative ring. 10mm thick extra clear protective glass. Silicone gasket. Tamper proof (AISI316L) Torx screws.
1DU2525A	1DU2525BA	1DU2525KA	Round stainless steel (AISI316L) decorative ring with anti-slip glass. 10mm thick extra clear protective glass. Silicone gasket. Tamper proof (AISI316L) Torx screws.
1DU2525E	1DU2525BE	1DU2525KE	Round stainless steel (AISI316L) decorative ring with half frosted glass. 10mm thick extra clear protective glass. Silicone gasket. Tamper proof (AISI316L) Torx screws.
Square Trim Ring (Available in Brushed Natural Stainless Steel finish) ¹			
	Description		
1E2526	Square stainless steel (AISI316L) decorative ring. 10mm thick extra clear protective glass. Silicone gasket. Tamper proof (AISI316L) Torx screws.		
1DU2526A	Square stainless steel (AISI316L) decorative ring with anti-slip glass. 10mm thick extra clear protective glass. Silicone gasket. Tamper proof (AISI316L) Torx screws.		
1DU2526E	Square stainless steel (AISI316L) decorative ring with half frosted glass. 10mm thick extra clear protective glass. Silicone gasket. Tamper proof (AISI316L) Torx screws.		

¹Square trim available in Bronze and Black finish upon request. Consult factory.

INSTALLATION SLEEVE (REQUIRED) - CHOOSE 1	
1DU2521	Installation sleeve for concrete pour applications. Grey Nylon 8" casing with 10" PVC installation outer pipe. Round ring for flush or semi-flush installations.
1DU2522	Installation sleeve for concrete pour applications. Grey Nylon 8" casing and stainless steel profile with 10" PVC installation outer pipe. Square ring for flush installation only. For use with square trim options only.
1DU4344	Raised installation sleeve for landscape applications. 36"H stainless steel painted deep black finish, includes 8" inner sleeve. To be used with round trim options. (Field cuttable. Used for fixture elevation 21" above ground). Not suitable with 1DU2521 and 1DU2522.
1DU434418	Raised installation sleeve for ground cover (succulents and low level planting) applications. 18"H stainless steel painted deep black finish, includes 8" inner sleeve. To be used with round trim options. (Field cuttable. Used for fixture elevation 7" above ground). Not suitable with 1DU2521 and 1DU2522.
1DU434412	At grade or raised installation sleeve for turf or ground cover applications. 12"H stainless steel painted deep black finish, includes 8" inner sleeve. To be used with round trim options. (Field cuttable. Used for fixture elevations at grade to 3" above grade). Not suitable with 1DU2521 and 1DU2522.

INSTALLATION ACCESSORIES:	
1DU2530	Direct burial brass ingrade j-box. Features stainless steel cover screws and strain relief for power cord, (2) 3/4" NPT bottom holes and (2) 3/4" NPT side holes. Includes (4) 3/4" to 1/2" adaptors and (2) 1/2" NPT plugs. (REQUIRED)
1E2495	Anti-vandal torx head. Suggested one per 5 fixture.
1E2524	Fixture metal maintenance removal handle. Helpful one per 10 fixtures.
1E0388	Glass suction removal tool. Helpful one per 20 fixtures.



Round Trim Ring



Square Trim Ring



1DU2522



1DU2530



Anti-Slip Glass



Half Frosted Glass



1E2495



1E2524



1E0388

C71
INGROUND UPLIGHT

OPTICAL ACCESSORIES:	
Maximum of one optical filter or louver accessory per fixture.	
1T3727	Transparent polycarbonate holder ring for the accessories. Required for use of all filters and glare grid.
1T1712	Chromatic filter Red. Glass made, with dichroic treatment. To be completed with dedicated holder ring. Diameter 2.8".
1T1713	Chromatic filter Green. Glass made, with dichroic treatment. To be completed with dedicated holder ring. Diameter 2.8".
1T1714	Chromatic filter Blue. Glass made, with dichroic treatment. To be completed with dedicated holder ring. Diameter 2.8".
1T1715	Chromatic filter Yellow. Glass made, with dichroic treatment. To be completed with dedicated holder ring. Diameter 2.8".
1T1716	Chromatic filter Magenta. Glass made, with dichroic treatment. To be completed with dedicated holder ring. Diameter 2.8".
1T1777	Chromatic filter Cold tone. Interference glass filter to vary the colour temperature of light. To be completed with dedicated holder ring. Diameter 2.8".
1T1786	Chromatic filter Gold tone. Interference glass filter to vary the colour temperature of light. To be completed with dedicated holder ring. Diameter 2.8".
1T1759	Chromatic filter Peach tone. Interference glass filter to vary the colour temperature of light. To be completed with dedicated holder ring. Diameter 2.8".
1T1708	Parallel ribbed glass light blade filter. This makes the beam take on an oval shape and when combined with spotlights, the light blade appears more prominent. To be completed with dedicated holder ring. Diameter 2.8".
1T1711	Anti-glare grid. Black lacquered metal honeycomb structure. To be completed with dedicated holder ring. Diameter 2.8".
1E2523	Half Moon Anti glare shutter. Black finish. Can be used as one per fixture with a filter or louver, not considered as part of the maximum optical accessories.



Chromatic Filters



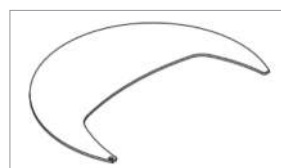
Tonal Filters



1T1708



1T1711



1E2523

C71

INGROUND UPLIGHT

C71

INGROUND UPLIGHT

STR9[®] GEN3

INFINITY[®]
GVA TECHNOLOGY

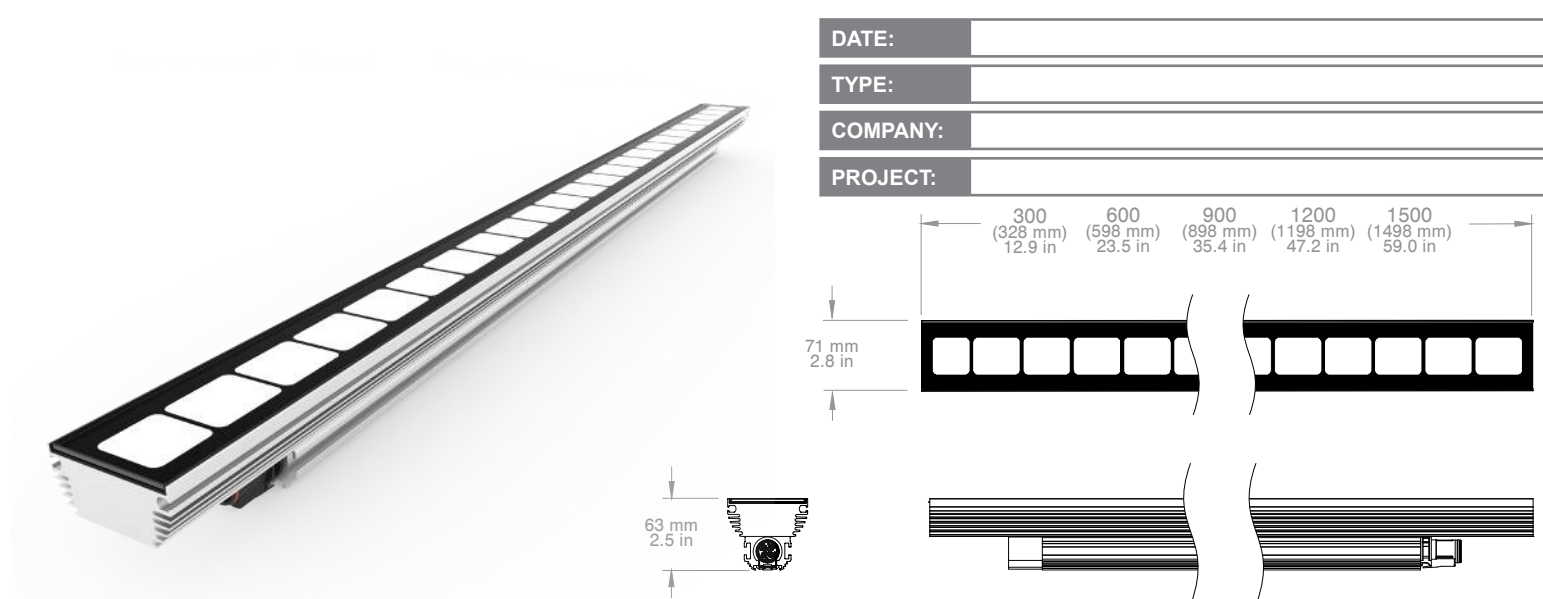
UNIBODY[®]
GVA TECHNOLOGY



GVA
LIGHTING

Monochromatic Linear Wall Washing and Grazing LED Lighting

PRODUCT SPECIFICATION SHEET



FEATURES:

Lighting Performance:

- Up to 3755 delivered lumens/meter (1144 lumens/foot)
- Superior quality of white light: excellent LED to LED color consistency
- Diffusing optical film creates uniform light output immediately adjacent to luminaire
- LED pitch is maintained within and between luminaires (no dark spots between fixtures)

Mechanical Details:

- Compact size, only 63 mm (2.5 in) high x 71 mm (2.8 in) wide
- IP66 rated with proprietary sealing process and solid extruded, anodized aluminum UNIBODY™ design
- Electronic micro leak detection test performed for each hermetically sealed fixture
- Meets 3G ANSI C136.31-2010 Vibration Standard for Bridge and Overpass Applications
- Optically clear tempered glass lens (no yellowing over time)
- Through wiring for end-to-end connection via snap-in and lock connectors
- IK06 rated fixture body construction, IK10 accessories available upon request¹

Control:

- DMX, DALI or 0-10V dimming through GVA's power-data equipment
- 300mm resolution, each 300mm section can be addressed individually, self-addressing fixtures

Projected Lifetime: L70 > 100,000hrs @ t_a = 25°C (77°F)

Operating Temperatures: -40°C to +50°C (-40°F to 122°F)

OPTIONS:

Power Source: 48VDC, 120VAC, 220-240VAC, 277VAC, 380VDC

Power Options: 3W, 5W (ASHRAE/IESNA), 10W, or 15W per 300mm (1ft)

Nominal Length: 300 mm (1ft)¹, 600mm (2ft), 900mm (3ft), 1200mm (4ft) and 1500mm (5ft)

Beam Distribution: Range of symmetrical and elliptical beam angles available

Body Color: Black matte and clear matte anodized or custom color²

Accessories:

- Adjustable and non-adjustable mounting brackets
- Glare control louvers

LED Color:

- Custom LED color combinations available

SPECIFICATION LOGIC: STR9 MONOCHROMATIC

FAMILY	NOMINAL LENGTH	BODY COLOR	POWER per 300mm (1ft)	LED COLOR	OPTICS (FWHM)	INPUT VOLTAGE	OPTIONAL
STR9-G3	300 ²	CM - Clear Matte Anodized	3W	2200K	5 - 5°x5°	ELV - 48VDC	NL - No Louver
	600	BM - Black Matte Anodized	5W - ASHRAE/IESNA	2700K	8 - 8°x8°	AC - 120 to 277VAC	MLH- Micro Louver, Horizontal
	900		10W	3000K	10 - 10°x10°	INF - 380VDC	MLV- Micro Louver, Vertical
	1200		15W	3500K	30 - 30°x30°		
C72 GRAZER @ FACADE				4000K	60 - 60°x60°		
				5000K	80 - 80°x80°		
				6500K	100 - 100°x100°		
				RD - Red	5x10 - 5°x10°		
				AM - Amber	5x30 - 5°x30°		
				GR - Green	5x60 - 5°x60°		
				BL - Blue	10x30 - 10°x30°		
				RB - Royal Blue	10x60 - 10°x60°		
					10x90 - 10°x90°		
					20x60 - 20°x60°		
				30x60 - 30°x60°			
			Other distributions available; consult factory.				
C74 GRAZER @ TOWER			PRODUCT CONFIGURATION				
C76 GRAZER @ CANOPY							

PRODUCT CONFIGURATION

2. Actual length of 328mm. Pitch is not maintained.

STR9[®] GEN3


INFINITY[®] UNIBODY[®]
GVA TECHNOLOGY GVA TECHNOLOGY



GVA
LIGHTING

Monochromatic Linear Wall Washing and Grazing LED Lighting

PRODUCT SPECIFICATION SHEET

PRODUCT SPECIFICATIONS: STR9 MONOCHROMATIC							
Nominal Length			300	600	900	1200	1500
Electrical		Nominal Wattage					
	Power Consumption for 48VDC Input	3W/ft	3W	6W	9W	12W	15W
		5W/ft	5W	10W	15W	20W	25W
		10W/ft	10W	20W	30W	40W	50W
		15W/ft	15W	30W	45W	60W	75W
Power Consumption ¹ for 120-277VAC Input	3W/ft	5.3W	8.5W	11.6W	14.8W	18.5W	
	5W/ft	7.5W	12.7W	18.0W	23.7W	29.0W	
	10W/ft	12.7W	23.7W	34.3W	45.0W	56.1W	
	15W/ft	18.0W	34.3W	50.6W	67.5W	84.3W	
Power Consumption for 380VDC Input	3W/ft	3W	6W	9W	12W	15W	
	5W/ft	5W	10W	15W	20W	25W	
	10W/ft	10W	20W	30W	40W	50W	
	15W/ft	15W	30W	45W	60W	75W	
Optical	Light Source	6 x High Power LEDs per 300mm (1ft)					
	CRI	>80					
	Lumen Output (typical) ^{2,3}	3W	240 lm	480 lm	720 lm	960 lm	1,200 lm
		5W	397 lm	794 lm	1,191 lm	1,588 lm	1,985 lm
		10W	780 lm	1,560 lm	2,340 lm	3,120 lm	3,900 lm
15W		1,119 lm	2,238 lm	3,357 lm	4,476 lm	5,595 lm	
Control	Projected Lumen Maintenance		L70 > 100,000hrs @ t _a =25°C (77°F)				
	Control Protocol	DMX, DALI or 0-10V control through GVA Power-Data Equipment					
	Control Protocol for ELV and AC	DMX	300mm (1ft) resolutions				
		DALI	Each run is 1 address				
		0-10V					
	Control Protocol for INF	DMX	1 fixture resolution				
DALI		Each run is 1 address					
0-10V							
Physical	Length		328 mm (12.9 in)	598 mm (23.54 in)	898 mm (35.35 in)	1,198 mm (47.17 in)	1,498 mm (58.98 in)
	Width x Height		71 mm x 63 mm (2.8 in x 2.5 in)				
	Weight (ELV)		1.1 kg (2.4 lbs)	1.9 kg (4.2 lbs)	2.85 kg (6.28 lbs)	3.85 kg (8.5 lbs)	4.85 kg (10.7 lbs)
	Weight (INF)		1.2 kg (2.6 lbs)	2 kg (4.4 lbs)	3 kg (6.6 lbs)	4 kg (8.8 lbs)	5 kg (11 lbs)
	Weight (AC)		1.2 kg (2.6 lbs)	2 kg (4.4 lbs)	3 kg (6.6 lbs)	4 kg (8.8 lbs)	5 kg (11 lbs)
	Housing & Lens		Aluminum body and tempered flat glass lens, IK06 rated, Optional IK10				
	Fixture Connections		IP68 sealed input and output connectors, with audible "click" snap-in & lock				
Temperature Ranges	Rated Operation Temperature		-40°C to +50°C (-22°F to 122°F)				
	Minimum Starting Temperature		-30°C (-22°F)				
	Storage Temperature		-40°C to +85°C (-22°F to 185°F)				
Certification & Safety	IES Classifications		Class 1 LED Luminaire				
	Certifications						
			QPS (US Field Evaluation) or ETL (Special Electrical Equipment Inspection) where applicable CE Certified RoHS Compliant Constructed to meet requirements outlined in UL1598 & IEC60598 Meets ANSI C136.31, 3G Vibration standard for bridge and overpass applications Dry, damp, or wet locations, 0-100% humidity, IP66				

These figures are subject to change due to further development and innovations of LED light sources

Wavelengths. Warmer color temperatures typically have a lower lumen output. data.


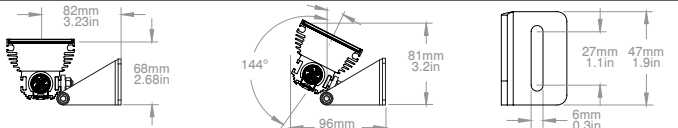
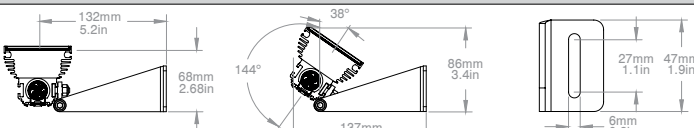
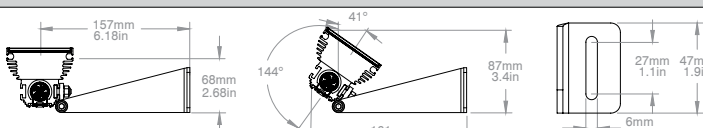
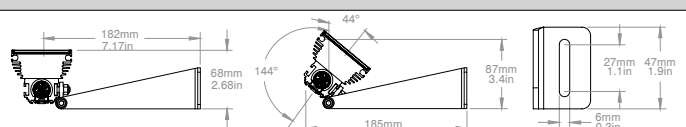
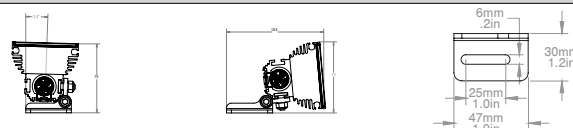
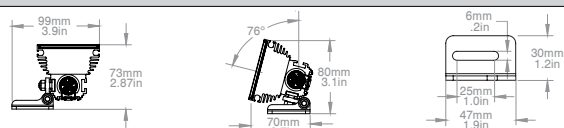

C72
GRAZER @ FACADE

C74
GRAZER @ TOWER

C76
GRAZER @ CANOPY

Monochromatic Linear Wall Washing and Grazing LED Lighting

PRODUCT SPECIFICATION SHEET

ORDERING LOGIC: STR9 MOUNTING ACCESSORIES			
WXX - ADJUSTABLE WALL MOUNT BRACKET KIT			
W40 ADJUSTABLE WALL MOUNT			
PART NUMBER	COLOR	WEIGHT	
121128 121129	Clear Matte Anodized Black Matte Anodized	0.10 kg (0.21 lbs)	
W80 ADJUSTABLE WALL MOUNT			
PART NUMBER	COLOR	WEIGHT	
121130 121131	Clear Matte Anodized Black Matte Anodized	0.12 kg (0.27 lbs)	
W130 ADJUSTABLE WALL MOUNT			
PART NUMBER	COLOR	WEIGHT	
121132 121133	Clear Matte Anodized Black Matte Anodized	0.15 kg (0.32 lbs)	
W155 ADJUSTABLE WALL MOUNT			
PART NUMBER	COLOR	WEIGHT	
121134 121135	Clear Matte Anodized Black Matte Anodized	0.16 kg (0.35 lbs)	
W180 ADJUSTABLE WALL MOUNT			
PART NUMBER	COLOR	WEIGHT	
121136 121137	Clear Matte Anodized Black Matte Anodized	0.17 kg (0.38 lbs)	
SMA-I - INSIDE ADJUSTABLE SURFACE MOUNT BRACKET KIT			
PART NUMBER	COLOR	WEIGHT	
121138 121139	Clear Matte Anodized Black Matte Anodized	0.09 kg (0.20 lbs)	
SMA-T - INSIDE ADJUSTABLE SURFACE MOUNT BRACKET KIT			
PART NUMBER	COLOR	WEIGHT	
121826	Black Matte Anodized	0.09 kg (0.20 lbs)	
SMA-C - INSIDE ADJUSTABLE SURFACE MOUNT BRACKET KIT, NON-ADJUSTABLE			
PART NUMBER	COLOR	WEIGHT	
		0.08 kg (0.18 lbs)	

C72
GRAZER @ FACADE

C74
GRAZER @ TOWER

C76
GRAZER @ CANOPY

UJE-30413

Jet 52 Square Surface RGBW

LIGMAN
LIGHTING USA

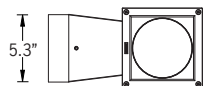
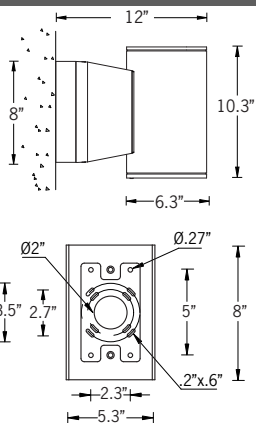


33w LED 1429 Lumens

IP65 • Suitable For Wet Locations

IK08 • Impact Resistant (Vandal Resistant)

Weight 12.3 lbs



Mounting Detail

Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B2 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure Jet can be configured for any application.

Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

Mounting plate for 3" junction box is provided with the fixture. A 4" junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

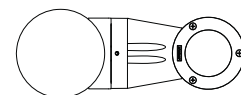
For the Square downlight option, see Jet 32, 34 and 52. For type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires.

For RGBW options, see Jet 51 to 54.

Additional Options (Consult Factory For Pricing)



SCDT
Surface Conduit Decorative Trim



RPA
Round Pole Adapter



C75
WALL MOUNT CYLINDER

PROJECT					DATE	
QUANTITY		TYPE		NOTE		

ORDERING EXAMPLE || UJE - 30413 - 33w - M - RGBW30 - 02 - 120/277v - Options

UJE-30413					
LAMP	BEAM	RGBW COLOR	FINISH COLOR	VOLTAGE	
33w LED 1429 Lumens	N - Narrow 21° M - Medium 35° E - Elliptical 26°x 48°	RGBW30 - Warm White 3200K RGBW40 - Neutral White 4000K RGBW65 - Cool White 6850K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

ADDITIONAL OPTIONS			

NAT - Natatorium Rated	4MP - 4" Junction Box Mounting Plate
SCDT - Surface Conduit Decorative Trim	F - Frosted Lens
REMG - Remote Emergency Battery Pack	RPA - Round Pole Adapter
HGT - Custom Height	



Cleveland Landmarks Commission

Design Review



July 28, 2022



Downtown | Flats Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 9:00 AM

Case Number:

Meeting Date:

Project Name:

Ward #:

Project Address:

Project Rep. :

Existing Use:

Proposed Use:

Project Scope:

Design Review Level Applied For:

Motion by Design Review Committee:

Approve (as presented)

Approve (with stated conditions)

Disapprove

Table

Conditions:

Committee Action:										(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)									
Bialosky (C)		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.		Schwartzberg		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.	
Bogart		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.		Soltis		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.	
Boyd		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.		VanderWiel		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.	
Brown		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.		Yablonsky		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.	
Geist (VC)		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.		Zarfoss		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.	
Pesarchick		<input type="checkbox"/> Yea		<input type="checkbox"/> Nay		<input type="checkbox"/> Abst.		<input type="checkbox"/> Pres.											

Non-Voting Members in Attendance:

☐ Dro Sohrabian ☐ Michael Bosak ☐ Director Huang

Applicant Signature & Date:

Virtual Meeting – No Signature Required



Case 22-054: Clifton – West Boulevard Historic District

Lemaire – Misenko Residence – 1324 West Blvd

Window Replacements

Ward 15: Spencer

Project Representatives: Renee Lemaire, Brent Misenko (Owners)



Window Replacement

Renee Lemaire & Brent Misenko
1324 West Blvd, Cleveland, OH

Location & Information

- Address: 1324 West Blvd, Cleveland, OH 44102
 - Located on West Blvd, south of Baltic Ave, north of Detroit Ave.
 - Adjoining historic bridge

District Map 1



District Map 2



Current Condition

- Main bottom sash of front (facade) window is rotted
- Weights in all original windows are broken, preventing the windows from being opened, along with properly maintained and cleaned.



Detailed photo of the wood rot in original window



Current state of our front window

Current Condition

- The muntin/grids in the original windows are disintegrating
 - Thin metal (lead?) has holes in it and the material holding the panes in is no longer there or crumbling.
- Some windows no longer have material holding the panes in the muntins, which is a hazard for the glass to fall out and cut someone.



Muntin with holes



Large gap with no material holding in window pane



Disintegrating material in muntins

Current Condition

- Old storm windows are covering all original windows, preventing the original details of the craftsman window to be seen from the exterior
- Windows have mis-matched muntins/ paint colors from previous owners.
- Peeling lead paint and damage to the outside window exterior



Peeling lead paint



Paint on original muntins from previous owner



Mis-matched details from previous owner

Current exterior of home



Storm windows covering detail of original windows

Oldest Exterior Photo



Original photo from a 1964 appraisal (built in 1912)

Inspiration Photos



Craftsman homes with similar aesthetic and new craftsman style vinyl window details

Before & After Mockup



Removing the storm windows and creating more craftsman window detail

Repair Research

- We have contacted several contractors from the resources given to us from the historical district and the city. Only two have working phone numbers and only one has given us a quote for our current repairs needed.
- The repair of the current rotted front sash is \$1,695; the entire window repair (both sashes) would be \$3,390. For the entire series of 7 original windows would be in the ballpark of \$20,000. (see quote attached)
- The cost to repair the 7 original windows would be 12% of our entire home’s appraised value
- Due to contractors availability, this wouldn’t be done until the end of summer. Leaving us without a proper window during the summer heat. We would have to board the window to maintain proper efficiency.



The Western Reserve Preservation Company, LLC
613 S. Court St.
Medina, OH 44256

dwalker@westernreserve-preservation.com
https://www.westernreserve-preservation.com
931-494-1904

Estimate

Date	Estimate #
6/26/2022	22027

Expiration Date
7/3/2022

Brent Misenko
1324 West Blvd
Cleveland, OH 44102

330-421-7675brentmisenko@gmail.com

			Project
Description	Qty	Rate	Total
REPAIR WINDOW SASH: We will use traditional wood joinery to match the existing. Anywhere paint is removed, we will sand lightly and apply a grey primer. Window will be reglazed using 1/4" tempered glass per conversation with customer. Price includes material and pickup.	1	1,375.00	1,375.00
ACHIEVE OPERABILITY: Double-Hung Sashes will be removed, sash channels and edges of the sash will be scraped of any excess paint or debris. Parting beads may break when they are removed. If so, they will be replaced with a new parting bead, primed grey or white depending on paint color. Pulleys will be cleaned of excess paint and lubricated. If pulley is inoperable, it will be replaced with a similar style pulley. Sash cord will be replaced with copper coated steel chain. Sashes will be reinstalled with interior stops and adjusted. If existing sash weights do not counterbalance the sash, new weights may be added at an additional cost at the customer's approval.	1	320.00	320.00
Thank you for the opportunity, Brent.		Total	\$1,695.00

Accepted:

Signature / Date

Replacement Options

- We have received several quotes from a local companies, Window Universe (Lakewood), Pella, Renewal by Andersen in a range of materials that are currently offered by window manufacturers. Most have recently done window replacement for historic homes in Lakewood, Tremont, etc. They are familiar with the design review process. Fiberglass options were not offered to us because the windows cannot be manufactured in a large enough size that fits our current window openings. Full wood options are not offered by these companies any longer because they are not a sound material that the company can guarantee.
- As you can see in the following slides, the quotes that are available to us range from \$6,000-20,000 for replacement of only 7 windows. Some options are significantly more expensive due to the high cost of lumber. Much like extreme cost repairing the windows, the wood-aluminum clad material would not only be a financial burden, but it wouldn't even be offering the same material as the original windows anyway.
- Our only financially sound option would be to make the necessary replacements with vinyl windows, at a significantly lower cost of around \$6,000. The company has assured us that we would be able to maintain the same size, character, and craftsman detail of the muntins with the vinyl option.
- With new windows, we would be able to remove the current storm windows, showing much more of the historic craftsman aesthetic

Total cost of composite windows: \$19,110

Total cost of craftsmen vinyl (company 1): \$9,600

RENEWAL
by ANDERSEN
FULL SERVICE WINDOW & DOOR REPLACEMENT

Renewal Investment Planner

5.31.2022 C6

Brent Misenko

Enter Representative Name and Phone Number

06/29/2022

Quote

1 Year Investment

\$24,626

\$/MONTH

WINDOWS

7

DOORS

0

Buy 1 Get One 40% Off

x

\$3,655

☰ SAVINGS BASED ON 7 UNITS

SEE OFFER DETAILS

Cleveland Offer

x

\$4,925

☰ RENEWAL SAVINGS DISCOUNT 20%

SEE OFFER DETAILS

Customer Savings Program

x

\$591

3% SAVINGS WHEN YOU BUY TODAY!


\$5,516

SAVINGS

RENEWAL
by ANDERSEN
100% SERVICE WINDOW & DOOR REPLACEMENT

Item	Amount	Frequency
Initial Payment	\$19,110	\$/MONTH
Deposit	\$0	DEPOSIT
Balance	\$19,110	BALANCE

Payment Options



Proposal - Detailed

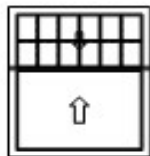
Pella Window and Door Showroom of Westlake
975 Crocker Road
Westlake, OH 44145-1030

Sales Rep Name: Kukon, Dennis
Sales Rep Phone: 440-656-8724
Sales Rep E-Mail: dennis_kukon@gunton.com
Sales Rep Fax:

Customer Information	Project/Delivery Address	Order Information
<p>Brent Misenko 1324 West Blvd</p> <p>Cleveland, OH 44102-1783 Primary Phone: (330) 4217675 Mobile Phone: Fax Number: E-Mail: brentmisenko@gmail.com Contact Name:</p> <p>Great Plains #: 1006795021 Customer Number: 1010631848 Customer Account: 1006795021</p>	<p>Brent Misenko - 1324 West Blvd, Cleveland, OH, US 1324 West Blvd</p> <p>Lot # Cleveland, OH 44102 County: Owner Name: Brent Misenko Owner Phone: (330) 4217675</p>	<p>Quote Name: Brent Misenko - 1324 West Blvd, Cleveland, OH, US</p> <p>Order Number: 759 Quote Number: 15697058 Order Type: Installed Sales Wall Depth: Payment Terms: Tax Code: Cust Delivery Date: None Quoted Date: 6/28/2022 Contracted Date: Booked Date: Customer PO #:</p>

Customer Notes: 7 WINDOWS INSTALLED START TO FINISH FOR \$9,600.00

PLEASE SEE OPTIONS/SPECS QUOTED BELOW

Line #	Location:	Attributes	Qty
10	LR	<p>Pella 250 Series, Double Hung, White</p> <div>  <div> <p>PK # 2118</p> <p>Viewed From Exterior</p> </div> </div> <p> 1: Size Double Hung, Cottage General Information: Standard, Vinyl, Block, Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, No Head Expander Exterior Color / Finish: White Interior Color / Finish: White Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, Standard Vent Stop, No Limited Opening Hardware Screen: Half Screen, InView™ Grille: GBG, No Custom Grille, 5/8" Flat, Traditional (6W2H / 0W0H), White, White </p>	2

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Printed on 6/29/2022 Detailed Proposal Page 1 of

Total cost of wood aluminum-clad (company 1): \$16,298.84

OMS Ver. 0003.14.00 (Current)
Product availability and pricing subject to change.

RENEE LEMAIRE
1324 W BLVD CLEVELAND
 Quote Number: **D6MDLQH**

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 5		TOTAL UNIT QTY: 8		EXT NET PRICE: USD		16,298.84
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	LIVE FRONT/SIDE	Ultimate	Double Hung G2	2,570.55	2	5,141.10
2	LIVE FRONT ENDS	Ultimate	Glider	2,406.33	2	4,812.66
3	DINE SIDE	Ultimate	Double Hung G2	2,178.26	2	4,356.52
4	DINE SIDE MIDDLE	Ultimate	Glider	1,793.56	1	1,793.56
5	PROJECT SET UP FEE	Non-Marvin	Other PERMITS AND DISPOSAL OF OLD MATERIAL	195.00	1	195.00

Total cost of wood aluminum-clad (company 2): \$20,800



Proposal - Detailed


Pella Window and Door Showroom of Westlake
975 Crocker Road
Westlake, OH 44145-1030

Sales Rep Name: Cukon, Dennis
Sales Rep Phone: 440-656-8724
Sales Rep E-Mail: dennis_cukon@gunton.com
Sales Rep Fax:

Customer Information	Project/Delivery Address	Order Information
Brent Misenko 1324 West Blvd Cleveland, OH 44102-1783 Primary Phone: (330) 4217675 Mobile Phone: Fax Number: E-Mail: brentmisenko@gmail.com Contact Name: Great Plains #: 1006795021 Customer Number: 1010631848 Customer Account: 1006795021	Brent Misenko - 1324 West Blvd, Cleveland, OH, US 1324 West Blvd Lot # Cleveland, OH 44102 County: Owner Name: Brent Misenko Owner Phone: (330) 4217675	Quote Name: Brent Misenko - 1324 West Blvd, Cleveland, OH, US Order Number: 759 Quote Number: 15702822 Order Type: Installed Sales Wall Depth: Payment Terms: Tax Code: Cust Delivery Date: None Quoted Date: 6/29/2022 Contracted Date: Booked Date: Customer PO #:

Customer Notes: 7 WINDOWS INSTALLED START TO FINISH FOR \$20,800.00

PLEASE SEE OPTIONS/SPECS QUOTED BELOW

Line #	Location:	Attributes	
10	LR	<p>Architect, Traditional, Double Hung, White</p> <p>Qty 2</p>	
	 <p>PK # 2118</p> <p>Viewed From Exterior</p>	<p>1: Non-Standard Size Double Hung, Cottage</p> <p>General Information: Standard, Style, Clad, Pine, 5", 3 11/16", No Certification</p> <p>Exterior Color / Finish: Painted, Standard Enduraclad, White</p> <p>Interior Color / Finish: Linen White Paint Interior</p> <p>Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs</p> <p>Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude</p> <p>Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor</p> <p>Screen: Half Screen, Standard EnduraClad, White, Standard, InView™</p> <p>Grille: ILT, No Custom Grille, 7/8", Traditional (6W2H / 0W0H), Putty Glaze, Ogee</p>	

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Printed on 6/29/2022

Detailed Proposal

Page 1 of 6

Total cost of craftsmen vinyl windows: \$6,044

Angi

2021

Super Service Award

Window Universe

www.The Future of Replacement Windows.com

Greater Cleveland: 216.485.2656 17411 Detroit Ave., Lakewood, OH 44107

Akron: 330.595.7604 520 S. Main St. Suite 2511, Akron, OH 44311

Addendum A - OKNA: ECO-PRO 600 Series Quote

BBB

Customer Name:LEMAIREQuote Guaranteed Until:Initial:LANCE

WINDOWS		
4	Double Hung - Eco-Pro 600	\$ 565 \$ 2,260
3	2 Lite Slider - Eco-Pro 600	\$ 610 \$ 1,830
	3 Lite Slider - 1/4-1/2-1/4 or Equalite	\$ 1,150 \$ -
	Awning	\$ 665 \$ -
	Single Casement	\$ 680 \$ -
	Double Casement	\$ 1,400 \$ -
	Triple Casement - 1/4-1/2-1/4 or Equalite	\$ 2,110 \$ -
	Small Picture Window (< 72 UI)	\$ 505 \$ -
	Medium Picture Window (73-100 UI)	\$ 660 \$ -
	Large Picture Window (>100 UI)	\$ 930 \$ -
	Enviro-Star 800 Series	\$ 55 \$ -
	Specialty Window	\$ -
	Specialty Window	\$ -

PREMIUM OKNA WINDOW FEATURES		
Construction	★ Stylish Fully Welded Mainframe and Sash	
	- Beveled exterior curve add beauty and strength	
	★ Sill Dam Wall is Mortised into the Jamb	
	- Adds strength and lowers possibility of leaks at corner seals	
	★ Insulated Double Strength Glass	
	★ Beautifully Designed Metal Handles	
	- Standard on top sash, optional on bottom sash	
	★ Slim Profile Sash Lock	
	★ Power Lift Balance System	
	- Leads industry with over 28,000 test cycles	
Efficiency	★ High Density Composite Reinforcement	
	- Structurally stronger, eliminates bowing	
	★ Full Interlock with Triple Weather-Stripping	
	- Low air infiltration (0.02 cfm/ft2) for increased comfort	
	★ One Piece Sloped Sill with Double Dam Leg	
	- Adds strength and eliminates weep holes that clog and freeze	
	★ Locking Screen Frame	
	★ Heatseal Warm Edge Spacer System	
	- Reduces condensation and provides thermal efficiency	
	★ Heatseal Deluxe Exceeds Energy Star Rating with a 0.26 U-factor	
- Can achieve as low as 0.16!		
Warranty	★ 11 Layer Low-E Coating and Argon Gas are Standard	
	- Outperforms industry standard 3-layer applications	
	★ Foam Filled Frame	
	★ Lifetime Glass Break Warranty	
	★ Lifetime Labor Warranty	
	★ Transferrable Warranty	
	★ AAMA Gold Certified	
	<div>Window Universe, LLC is not responsible for removal of window treatments, AC units or furniture. Painting, staining and alarm systems are the responsibility of the homeowner. Unexpected issues found during installation will require repair at rates listed on this agreement. The age of your home may require us to test for Lead Based Paint and could result in a fee of \$40/window. I have read and agree to the terms and conditions stated here and on both sides of the contract.</div>	

OKNA

WINDOW COLOR OPTIONS		
*** Unless otherwise noted, option prices are per sash for casements, multiplied by 2 for 3 Lite Slider and Large Picture Windows		
7	White (inside and out)	Standard
	Almond (inside and out)	\$ 53 \$ -
	Woodgrain Interior	\$ 185 \$ -
	Almond, Cocoa, Bronze Exterior Color	\$ 170 \$ -
	Premium or Custom Exterior Color	\$ 230 \$ -
	Custom Color Setup Charge	\$ 565 \$ -

ADDITIONAL UPGRADES AND OPTIONS		
*** Unless otherwise noted, option prices are per sash for casements, multiplied by 2 for 3 Lite Slider and Large Picture Windows		
	Triple Pane with Argon Upgrade	\$ 100 \$ -
	*Low-E Coating on 2 surfaces for Optimal Energy Efficiency	
	Triple Pane with Krypton Upgrade	\$ 190 \$ -
	*Ultimate in Energy Efficiency	
	SunSeal Deluxe Glass Upgrade	\$ 62 \$ -
	*Extra Protection for Very High Sun Areas	
	Obscure Glass (per sash)	\$ 50 \$ -
	Tempered Glass (per sash double pane)	\$ 100 \$ -
	Tempered Glass (per sash triple pane)	\$ 155 \$ -
	Tempered Glass (per sq. ft. for lg pw)	\$ 17 \$ -
8	Grids- Internal - Colonial/Prairie (per sash)	\$ 45 \$ 360
	Flat or Contoured	
	Grids - Simulated Divided Lite (per lite)	\$ -
2	Cottage Style Window*living front/side	\$ 45 \$ 90
	Full Screen	\$ 47 \$ -
	Matte Bronze Hardware	\$ 30 \$ -
	Brass or Nickel Hardware Double Hung	\$ 77 \$ -
	Brass or Nickel Hardware Casement	\$ 145 \$ -
	EZ Glide for Sliding Windows (per foot)	\$ 14 \$ -
	(Required on 2 lite over 85" wide)	

LABOR ITEMS		
Professional window installation		
Including Exterior Trim:		
7	_white	\$ 135 \$ 945
	Custom Color Exterior Trim (per color)	\$ 40 \$ -
7	Storm Window Removal	\$ 12 \$ 84
	Full Frame Replacement (requires casing)	\$ 150 \$ -
	Vinyl New Construction Removal	\$ 35 \$ -
	Steel/Aluminum Window Removal	\$ 55 \$ -
	Steel Pan With Interior Capping	\$ 95 \$ -
	Remove Mull	\$ 35 \$ -
	Mull to Form Multi Unit	\$ 35 \$ -
	Install New Interior Casing	\$ 30 \$ -
	Install New Interior Stool	\$ 30 \$ -
	Interior Casing/Stool per foot	\$ 6 \$ -
	Repair Exterior Sill	\$ 40 \$ -
7	Lead Paint Containment	\$ 40 \$ 280
	Misc. Labor	\$ -
	Misc. Labor	\$ -
1	Project Setup Fee (includes disposal)	\$ 195 \$ 195

TOTAL PROJECT COST \$ 6,044

Information & Materials Used

www.oknawindows.com



Double Hung Windows

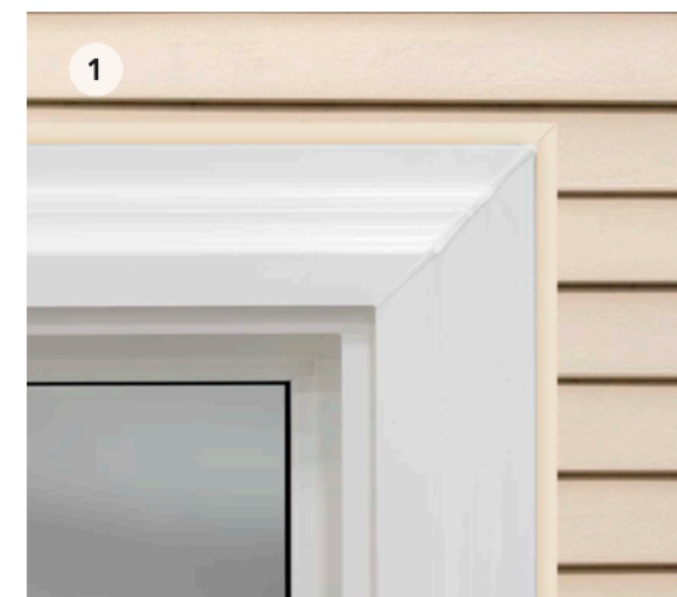
For many years, our engineers have worked on providing our customers with a product that contains the best features available in our other vinyl series.

Eco-Pro 600 Double Hung Windows give you excellent energy efficiency and finishing options, like our most popular laminates and exterior colors, to match any style ranging from quaint to extravagant architecture. With our slim profile, we are maximizing the visible glass area on all products, giving you the best views from your home. By combining all of these features, our product will stand the test of time in your home and will never go out of style.

Available in Replacement and New Construction applications.

Vinyl windows manufactured by Okna Windows, provided by Window Universe (Lakewood)

Sliding Windows



- **Fully Welded 3 1/4" Depth uPVC Fusion Welded Frame and Sashes** with a beveled colonial exterior featuring curves that are not only beautiful, but also allow for maximum weld surface resulting in exceptional strength and years of long lasting performance. (Img. 1)

- **HeatSeal® Warm Edge Spacer System** for excellent thermal efficiency and drastic reduction in the possibility of condensation on the inside of the window.

- **The Slider Features a Handle Style** based on traditional wood windows. (Img. 2)

- **Fiberglass Mesh Half Screens** standard on all windows.

- **Standard Factory Bumpers** are installed for a quieter operation.

- **OKNA Windows Offers 2-Lite and 3-Lite Sliding Windows.**

Available in Replacement and New Construction applications.



- **Standard Brass Wheels** allows the slider to smoothly glide across its track.

- **Optional EZ Glide System** improves operation especially with oversized and triple pane units.

- **Push Button Spring-Loaded Vent Latches** allow both window sashes to remain partially open for ventilation. WOCD latches also available. See Double Hung page for details.
Vent latches not available on laminates.

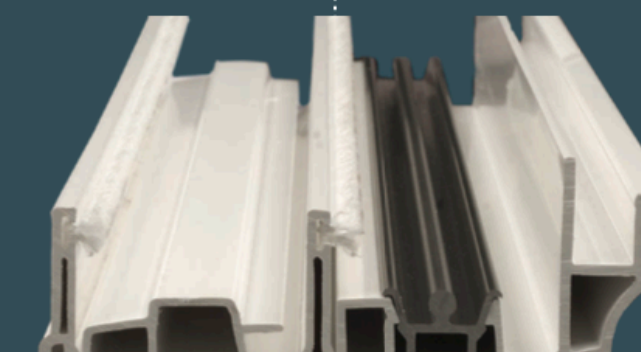
Smooth Glide System (Standard)



High quality brass wheels allow the slider to smoothly glide across its track.

EzGlide System (Optional)

This system contains an anodized aluminum track and precision ball bearing wheels for smoother glide and operation especially with oversized and triple pane units.



Colors for Interior and Exterior

www.oknawindows.com

Beautiful Hardware Finishes

OKNA Eco-Pro Series offers a wide selection of hardware finishes that harmonize well with any interior design.

Double Hung and Sliding Window Hardware Finish Selection



Color Selection

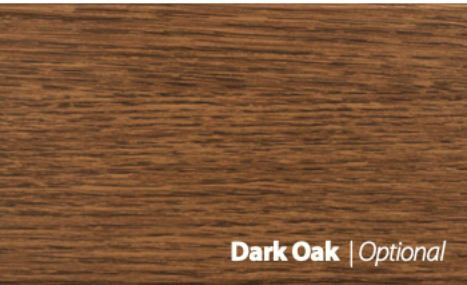
OKNA Windows offers three beautiful internal laminates in addition to our solid Almond and standard Euro-White to give your home a distinct look. We also offer seven optional exterior stock colors and custom exterior colors from a virtually unlimited selection of paints. Our paints are environmentally safe and durable, giving your exterior a vibrant and long-lasting color finish.

Solid Color Windows and Patio Doors | Same Interior and Exterior Colored Vinyl

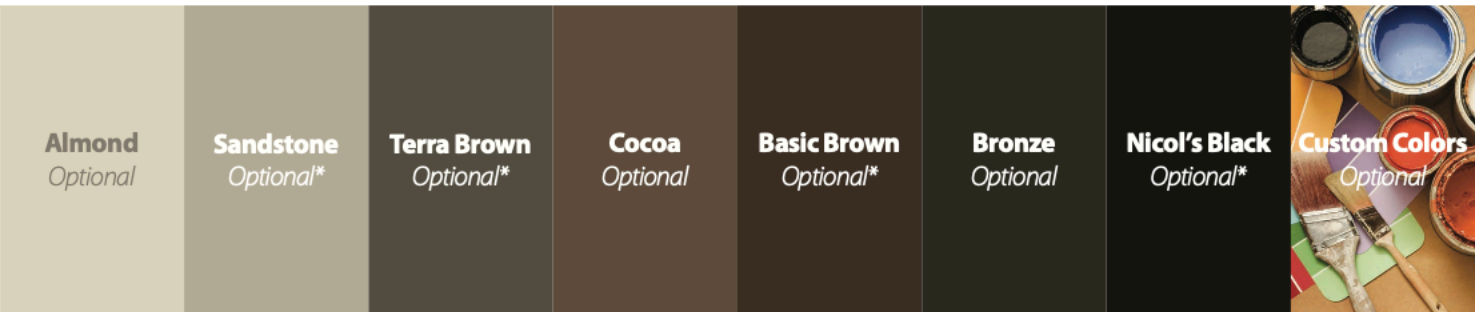


Two Tone Windows and Patio Doors | Different Interior and Exterior Color

Interior Woodgrain Laminates



Exterior Painted Colors



* Surcharge applied for painted screens.

All colors except Euro-White are available at an additional charge. All painted Double Hung and Sliding Windows must have a full screen. Printed colors may not match the product's color. Please visit a local dealer to view color samples.

Vinyl windows manufactured by Okna Windows, provided by Window Universe (Lakewood)

Energy Efficiency

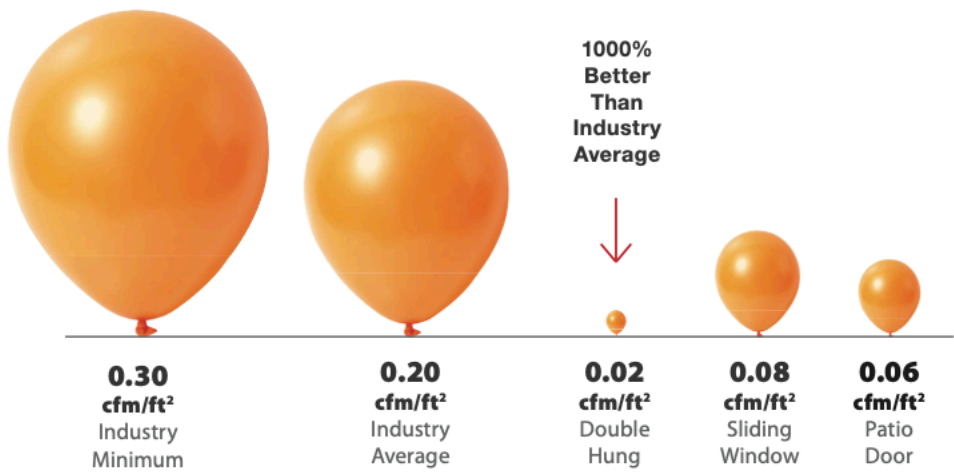
Of new vinyl windows

When you purchase a window or patio door that is advertised as the most energy efficient, you want to be sure the claims are based on facts, certified by a truly independent and objective authority. Their unbiased test results educate purchasers allowing them to make a more educated choice.

Air Infiltration

Air Infiltration/drafts is a term used to describe the air leaking into or out of your home through the window frames. The graph shows the amount of air in cubic feet that may come through the window at speeds of 25mph.

The results are based on a tested window sample by AAMA testing window guidelines. Title of Test & Method: Air Infiltration - ASTM E 283 75 PA - (1.6 psf) 25 mph.



Structural Performance			
	Industry Minimum	Eco-Pro DH	Eco-Pro SL
AAMA Rating resistance to wind	R15	R 50	R40
Air Infiltration (cfm/ft2) at speeds of 25mph.	0.30	0.02	0.08
Water Penetration (MPH) 8" per hour	33	56	59
Structural Integrity (MPH) Wind load	94	171	153

Numbers are subject to change depending on size of window.



American Architectural Manufacturers Association

The AAMA Certification Program is the only program in the window and door industry that requires that components used in the finished window and door assembly pass their own set of performance tests. The program also requires the use of AAMA-accredited certification agencies, such as Keystone Certifications Inc., so that tests are performed by qualified, experienced professionals using properly calibrated equipment. Also, there are two surprise manufacturing plant inspections every year that offer added quality assurance that translates to peace of mind.

If you demand windows and doors that meet stringent performance standards, just look for the AAMA/Keystone Certification Label which tells you that a sample of the unit passed required performance tests for resistance to air leakage, water penetration and wind pressure. OKNA Windows is using Keystone Certifications Inc. for AAMA testing and ratings. For more information on our window testing, go to www.keystonecerts.com.

OKNA Window's and Patio Door's Gold Label AAMA Certification



The **ENERGY STAR Most Efficient** designation is an extension of the ENERGY STAR® brand and is designed to recognize and advance the most efficient products among those that qualify for the ENERGY STAR. This recognition is offered for specific categories and awarded for a specific year. The goal of this effort is to encourage new, more energy-efficient products into the market more quickly by targeting early adopters.

Each year, EPA will establish criteria for specific product categories to earn Most Efficient recognition. Products that are recognized as ENERGY STAR Most Efficient must already qualify for the ENERGY STAR label.

OKNA Windows proudly displays
ENERGY STAR MOST EFFICIENT
on our products.



In Conclusion

- Replacing our current original windows with a vinyl option will give us the same craftsman aesthetic, if not making the detail more noticeable, creating a beautiful exterior and curb-appeal, improving the home values in our community.
- These windows would also add significant energy efficiency and add insulation in the exterior walls where our current windows have none.
- As you can see by the provided quotes and our appraised home value, it is unreasonable and unnecessary to create a financial hardship and continued inefficiency to us as homeowners.

Cleveland Landmarks Commission

Design Review



July 28, 2022



Gordon Square - Clifton West Design Review Committee Certificate of Appropriateness Review

Date: 7/13/2022

File Number: NA

Building / Project Name: West Blvd Window Replacemet

Property Address: 1324 West Blvd.

Property Owner: Brent Misenko, Renee Lemaire

Historic Designation: ☐ National Register ☒ Local Landmarks District ☐ Landmark Building

Presenters: Brent Misenko, Renee Lemaire

Specifications of work proposed: Request to replace seven wood windows on front and side of house with vinyl replacements: Cottage Style with grids between the glass. Applicants request consideration for financial hardship.

Recommendations of Design Review Committee: The committee felt vinyl replacements on the front were not appropriate; that the grids should be exterior applied; and that vinyl replacement would be allowable on the side of the house. Committee attempted for compromise but applicants were unable or unwilling to do so.

Motion to recommend the denial of a Certificate of Appropriateness for the replacement windows as presented.
(Motion – Brent E., Second – Erik F.)

Design Review Committee:

Jeff Blazek	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Brent Eysenbach	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Erik Fabian	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Timothy Karas	<input checked="" type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Krysta Pesarchick	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
	<input type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain

Non-Voting In Attendance

Karl Brunjes (Landmarks Staff)

Required to present at Cleveland Landmarks Commission? ☒ Yes ☐ No **Date:** 7/28/2022

Cleveland Landmarks Commission

Concept Plan



July 28, 2022



Case 22-055: Ohio City Historic District

3401 Clinton Avenue

Renovations

Ward 3: McCormack

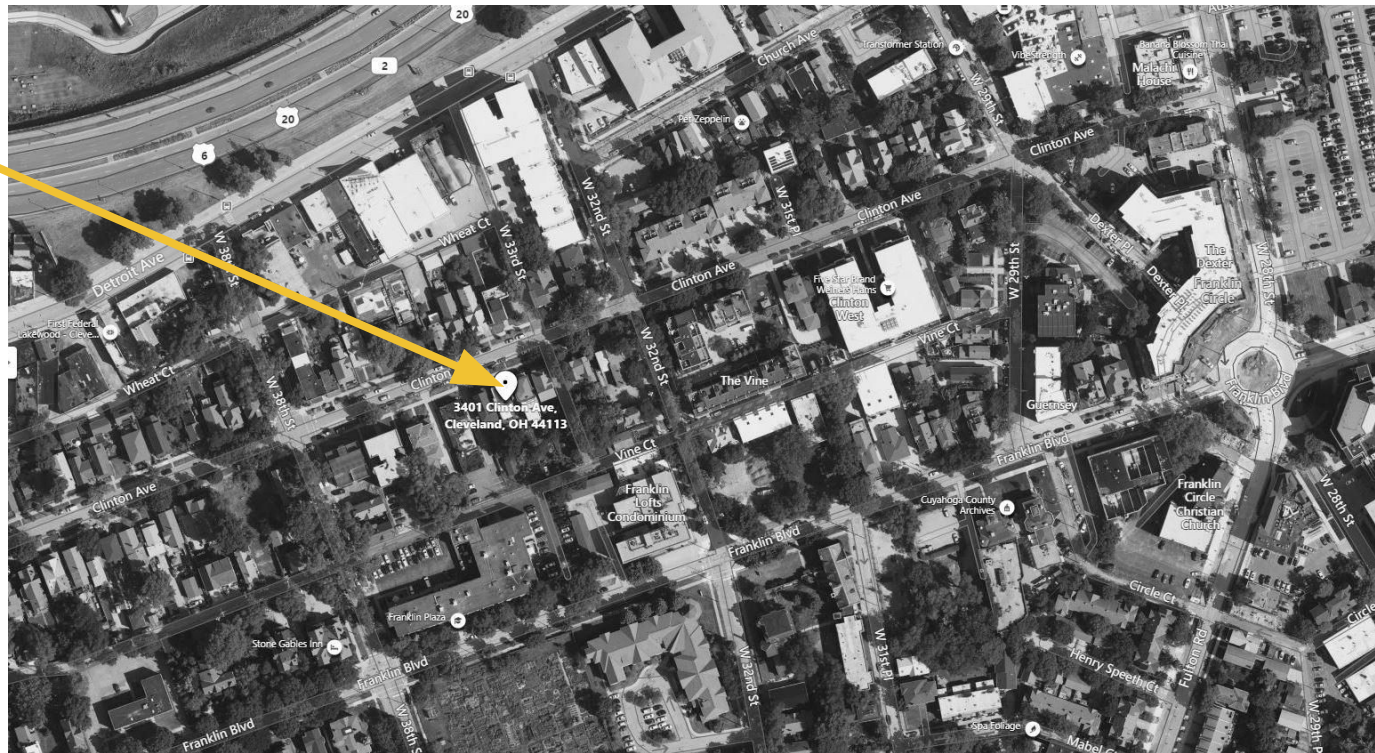
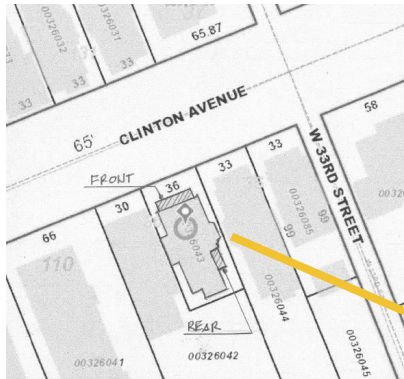
Project Representatives: Keith Hayes (Architect)



3401 Clinton Ave. Restoration

Franklin Clinton Block Club
May 26th, 2022

Jose & Claudine Aviles





Prior Porch Proposal from Previous Owner (not approved)



Existing Conditions



Temporary Entry

Exterior Items to Address @ 3401 Clinton Ave:

- ✓ ● *New wood frame windows (by previous owner)*
- ✓ ● *Removal of existing piers (complete)*
- ✓ ● *Install temporary stairs for insurance purposes (complete)*
- ✓ ● *Design portico entry consistent with Italianate (approved)*
- ✓ ● *Tear vinyl siding off of primary facade(s) (complete)*
- ✓ ● *Test layer of siding below for asbestos (complete)*
- ✓ ● *Replace siding to match 4" profile (Hardie smooth plank approved)*
 - *Remove chain link fence at front yard; replace with wrought iron*
 - *Remove chain link on east side with privacy fence*
 - *Landscape the front yard adjacent to porch / portico*
- ✓ ● *Remove and/or replace rear two story porch (complete)*
 - *Repair vinyl siding at rear half of property*
 - *Look at acquiring backlot for rear access to 3401 Clinton. Ave*



LOWER UNIT FLOORPLAN
@ 3401 CLINTON AVENUE
CLEVELAND, OHIO 44113



UPPER UNIT FLOORPLAN
@ 3401 CLINTON AVENUE
CLEVELAND, OHIO 44113

Upper and lower apartment units @ 3401 Clinton Ave. (as-built; not in scope)



State as abandoned/sold



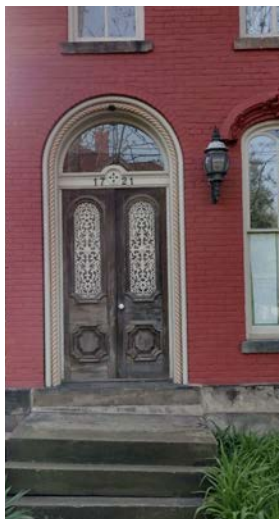
Initial Drafting of historic elevation



Historically renovated Italianate

Italianate history

By the 1830s, Italianate had spread to the United States, where architects began to transform the style into something truly American with only hints of its Italian origin. Thus, working in the Italianate style, architects had a higher degree of artistic freedom than they had in earlier, more rigid architectural styles.

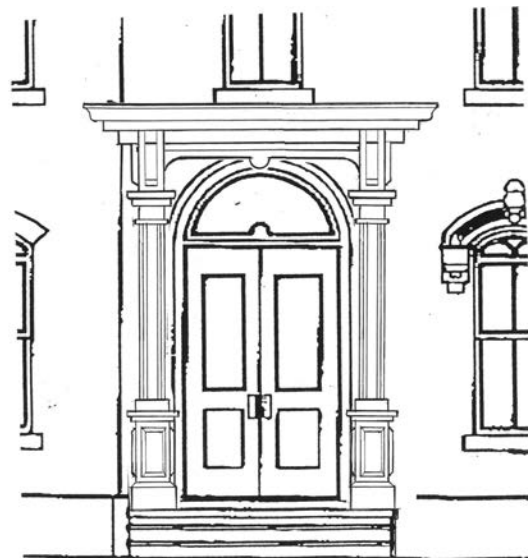


Research of contextual Italianate entries at neighboring Italianates



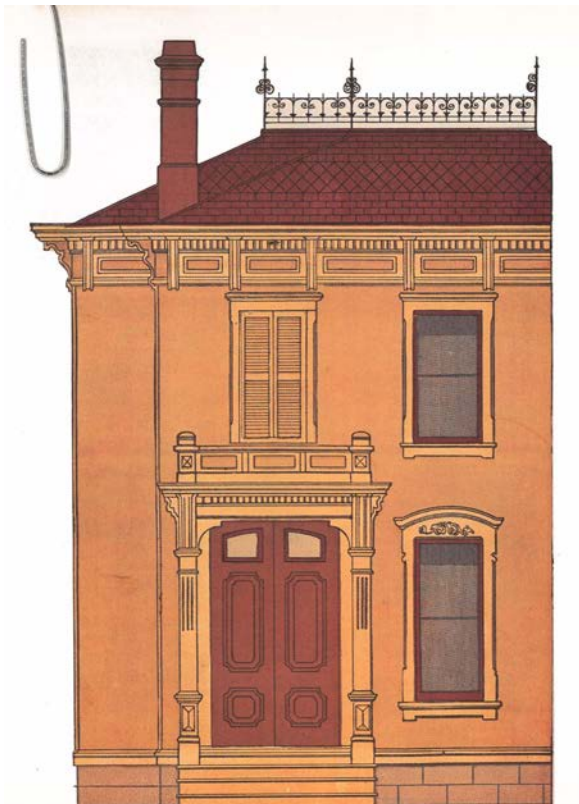
PROPOSED FRONT ELEVATION (9/26/03)
 SCALE: 1/4" = 1'-0"

Porch Forms Tim Barrett 10/03



Stoop form Sanderson House
 Design: Tim Barrett 10/03

Local stoop Design by Tim Barrett



Historic Italianate entry precedent



Introduction of portico @ 3401 Clinton



Projecting eaves (historic) + vinyl siding (not historic)

Italianate features

Italianate homes are identifiable by their wide projecting cornices with heavy brackets and their richly ornamented windows, porches and doorways.

Brick and wood clapboard were the most common building materials for Italianate homes with brick being more expensive. The ornamentation was typically wood and occasionally the brick homes had elaborate, durable cast iron window and door hoods.



*Vinyl siding over
Asbestos Transite siding over
Original old growth dutch lap*

Cladding & Fenestration Issues @ 3401 Clinton Ave:

- *Vinyl siding is insensitive to this historic Italianate*
- *Vinyl is in disrepair at the back of the house*
- *Shingle siding under vinyl may contain asbestos*
- *Original dutch lap is in decent condition; not enough to patch*
- *New cedar, poplar, cypress is not as durable as old growth*
- *Composite siding comes recommended for sustainability*
- *No wood grain permitted on composite material*
- *New siding DOES NOT HAVE TO match or resemble dutch lap profile*

**originally was informed no Hardie and siding had to be wood*



Documentation of existing condition of original siding



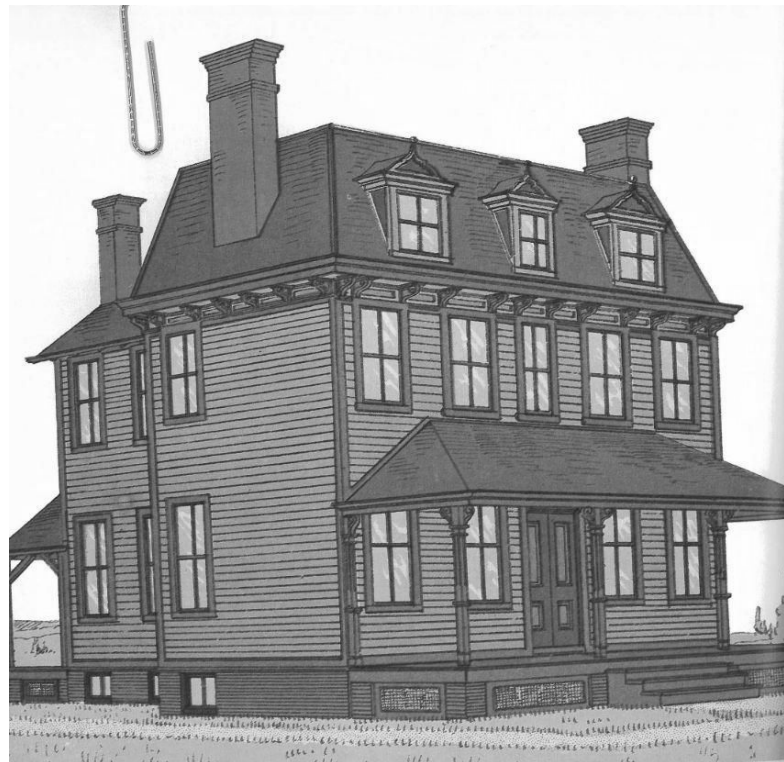
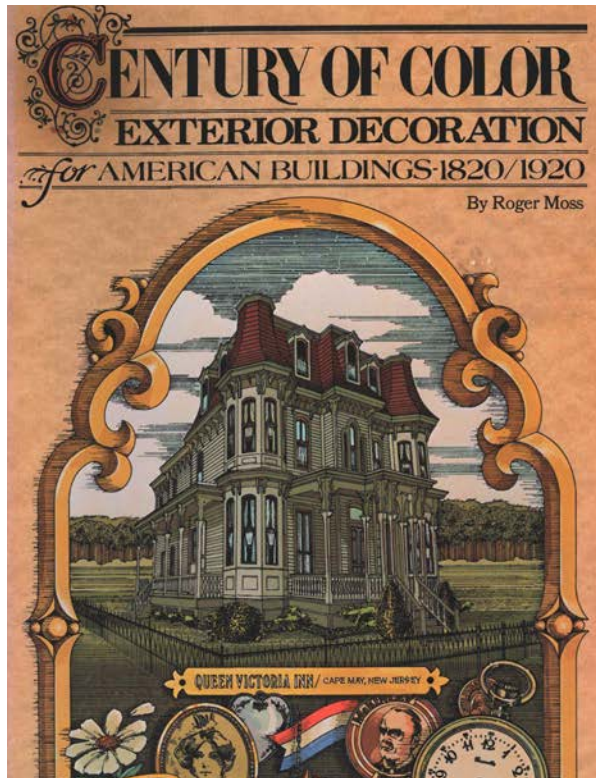
Documentation of existing layers of siding @ 3401 Clinton



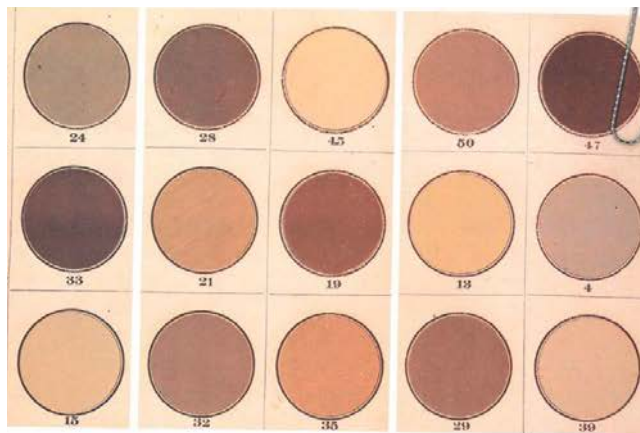
Transite Siding shingle sent to lab contained asbestos.

Whether to restore original wood vs. replace siding.

- *Contractor is scheduled to remove vinyl @ 3401 Clinton Ave.*
- *Shingling below vinyl was tested and contains asbestos*
- *Condition of original dutch lap where visible is poor*
- *Disturbing asbestos requires remediation, a major undertaking*
- *Rather than invasive removal, contractor advises to side over.*
- *Prior to siding over, a containment layer was be applied over shingled siding to reduce asbestos particles getting into the air*
- *Recommend installing lath @ 16" O.C. over containment layer*
- *Encapsulating was approved by FCBC, later contested by OCDR*
- *Client removed vinyl AND ASBESTOS as recommended by OCDR*
- *Condition of underlying dutch lap is good, but there are far too many locations to patch / not enough existing, solid material*
- *Considered salvaging from rear addition; however it is not dutch lap*



Color palette studies of century old homes



The original chips were coated with a clear oil-resin varnish for protection which has yellowed with age. This varnish was removed in a small area to expose the original color for matching to the Munsell System.

Color Number	Munsell Notation	Neighboring Munsell Standards
24	10 Y 6.5/1*	10 Y 7/1 & 10 Y 6/1
33	4 YR 4.5/2*	5 YR 5/2 & 2.5 YR 4/2
15	5 Y 8/1	
28	5 YR 5.2/1*	5 YR 5/1 & 5 YR 6/1
21	10 YR 7/1.8*	10 YR 7/1 & 10 YR 7/2
32	6 YR 6/1.75*	5 YR 6/1 & 7.5 YR 6/2
45	1 Y 8.2/1.5*	10 YR 8/1 & 2.5 Y 8.5/2
19	7 YR 4.5/3.5*	7.5 YR 5/4 & 5 YR 5/2
35	9 YR 7/3.5*	10 YR 7/4 & 10 YR 7/2
50	8.5 YR 6/1.5*	10 YR 6/1 & 10 YR 6/2
13	10 Y 7.2/1.8*	10 Y 7/1 & 10 Y 8/2
29	10 YR 5.5/2*	10 YR 5/2 & 10 YR 6/2
47	2 Y 4/2*	10 YR 4/2 & 2.5 Y 4/2
4	5 B 7/0.5*	5 B 7/1 & N 7.0/
39	N 8.0/	

*indicates an estimated notation



PLATE 14 The wide range of colors which might have been used for exterior decoration in the late 1860s and early 1870s is well illustrated in this rare Harrison Brothers "Town and Country" paint card of 1871. The pale Downing colors survive together with the darker palette that will dominate the next twenty years. For reference purposes, the chips have been matched to the Munsell System color notation and given National Bureau of Standards color names by Frank S. Welsh, historic paint specialist, Bryn Mawr, PA.

The original chips were coated with a clear oil-resin varnish for protection which has yellowed with age. This varnish was removed in a small area to expose the original color for matching to the Munsell System.

Color palette precedents for 3401 Clinton



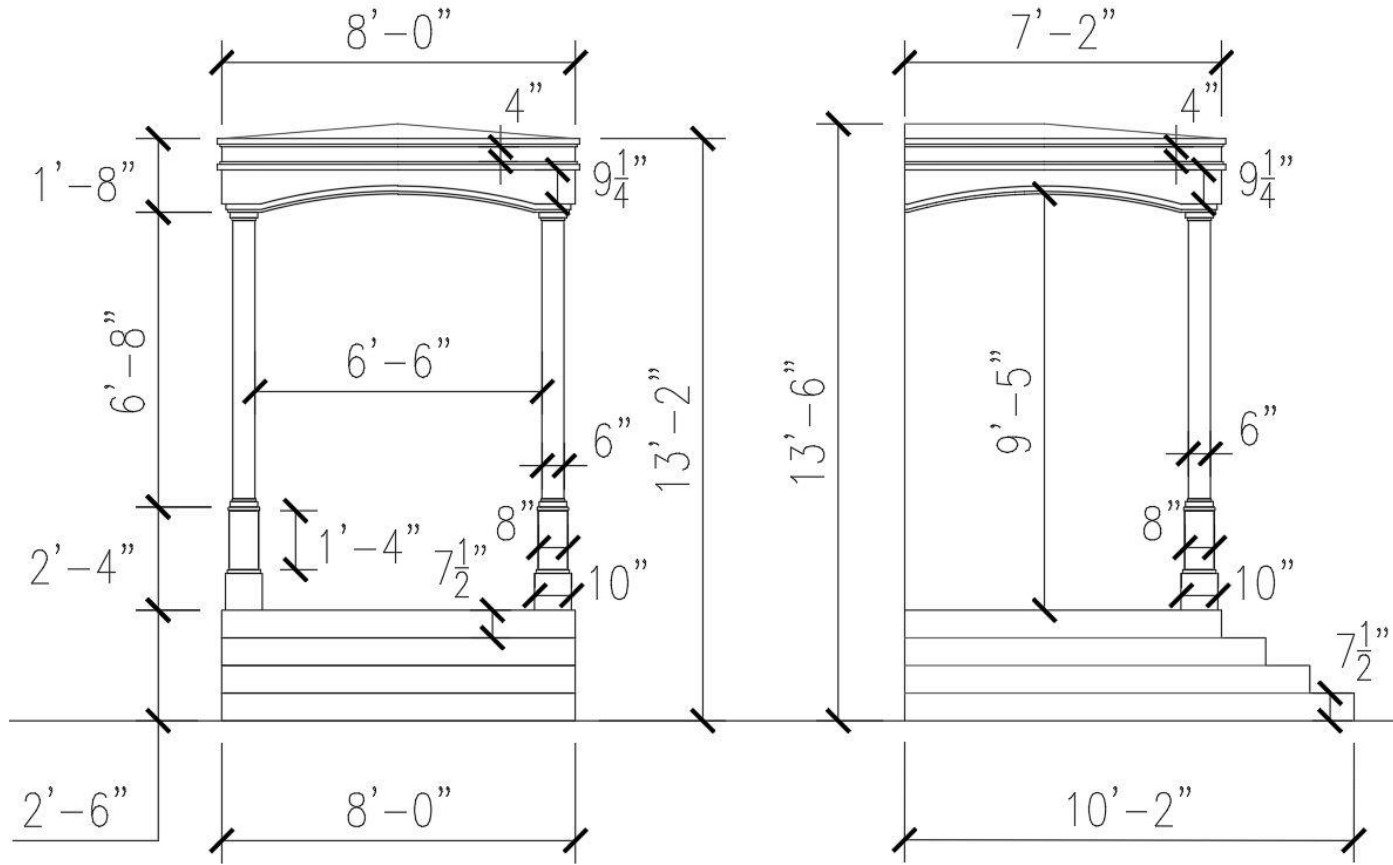
Option 3 (of 5) colors presented for 3401 Clinton Ave.



Final approved colors @ 3401 Clinton Ave.



*North and east elevations @ 3401 Clinton
(beyond Franklin Clinton Block Club 5/26/22)*



*Proposed Portico dimensions
(beyond Franklin Clinton Block Club 5/26/22)*



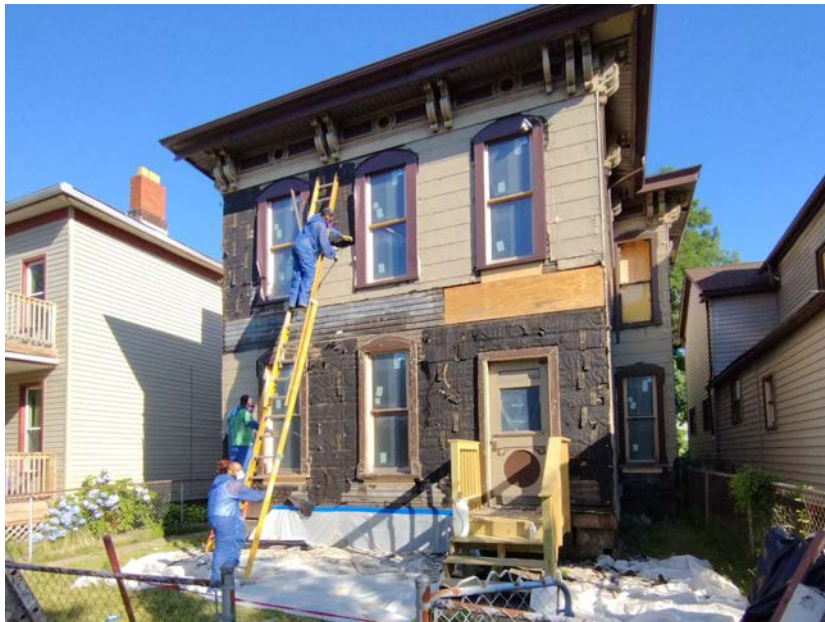
Documentation of investigative demo on 7/8/2022



Initial investigative demo by asbestos remediation crew 7/12/22



Asbestos remediation crew beginning work on 7/13/22



Progress of asbestos remediation crew 7/14/22



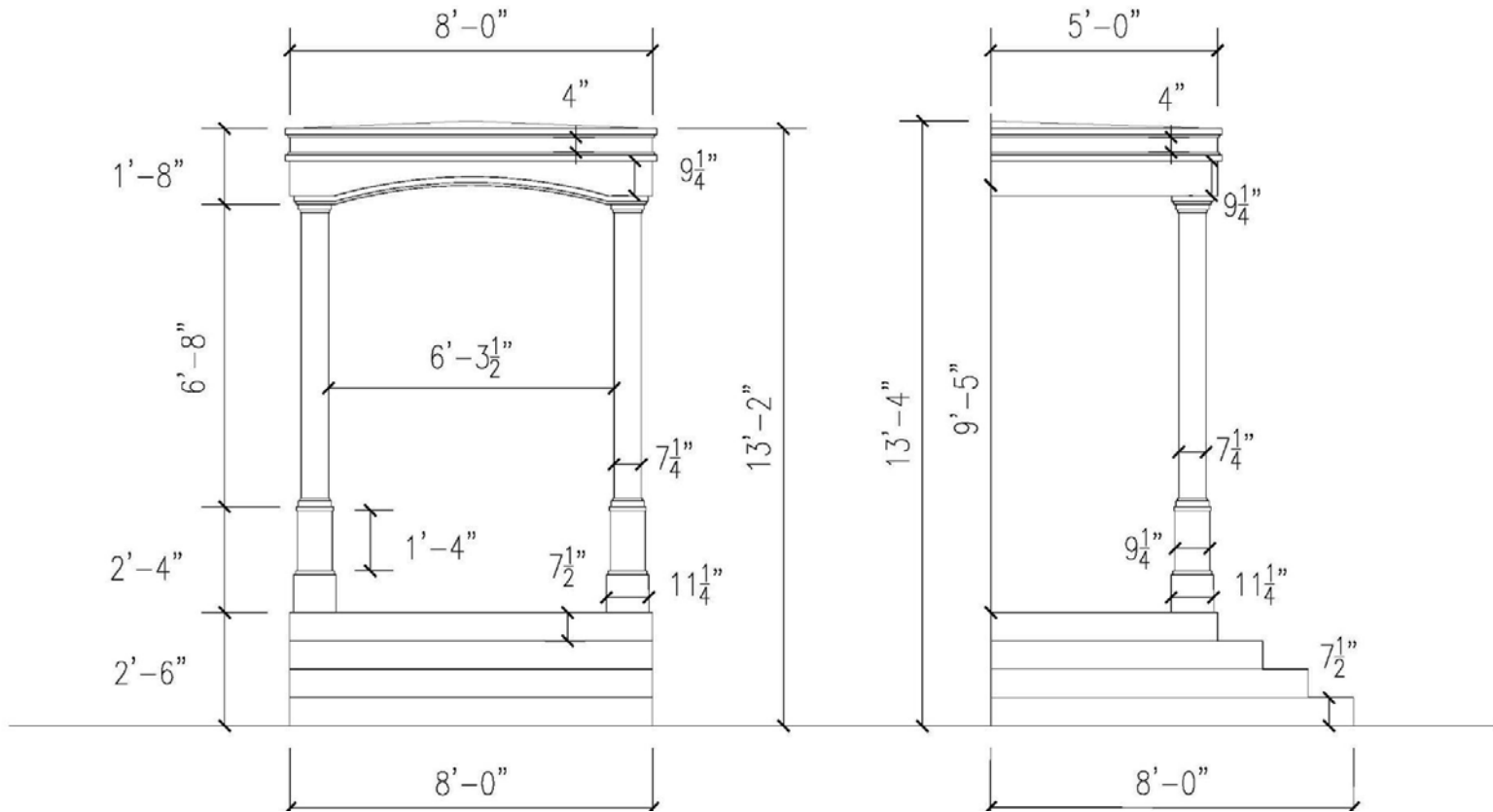
Asbestos remediation crew hauling transite off site 7/16/22



Documentation of 3401 Clinton post Transite siding removal 7/18/22



*North and east elevations @ 3401 Clinton
(beyond Ohio City Design Reviews
06/16/22 + 07/07/22)*



*New Portico dimensions
(beyond Ohio City Design Reviews
06/16/22 + 07/07/22)*



Color palette precedents for 3401 Clinton



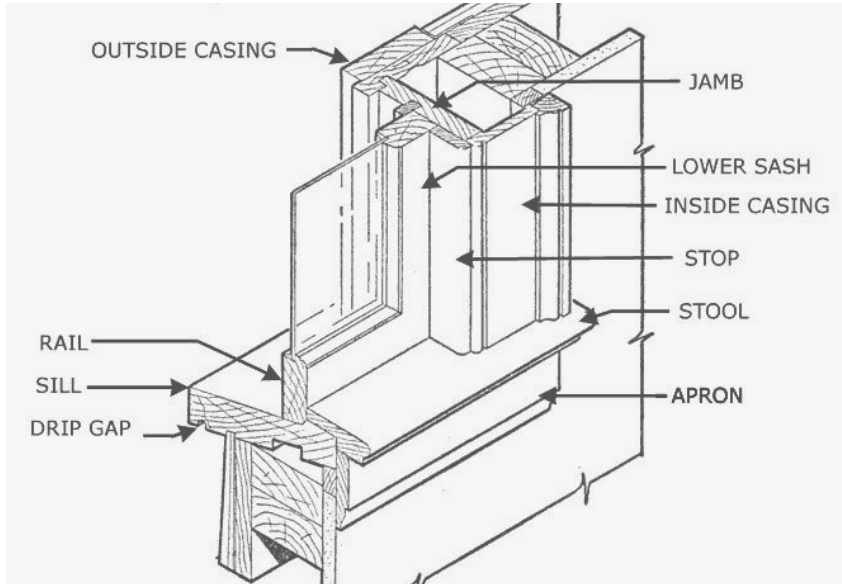
4" Smooth Hardie plank approved; Rich Espresso best color match



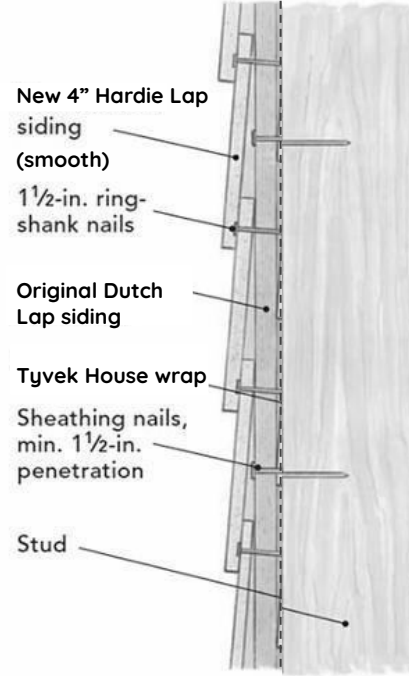
Final approved 3401 Clinton Ave. Colors



Example of Rich Espresso cladding a home (in shake)



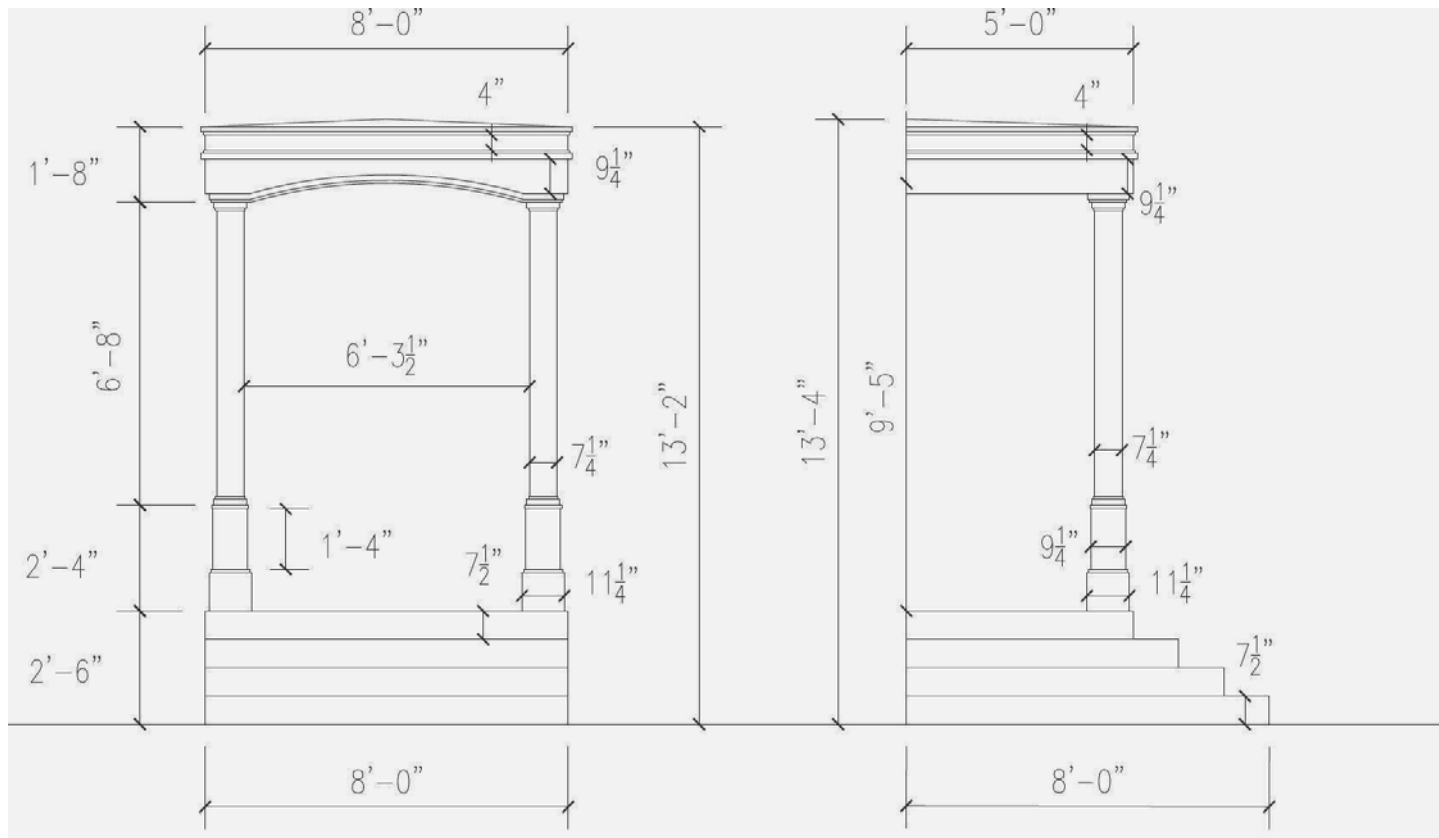
Window Jamb Axonometric



Exterior Wall Section



*Final approved N+E elevations @ 3401 Clinton
(for Landmarks presentation 07/28/22)*



*Final approved Portico dimensions
(beyond Ohio City Design Review 07/28/22)*

Thank you!

Cleveland Landmarks Commission

Design Review



July 28, 2022

**Ohio City Historic District
Design Review Committee
(Advisory committee to the [Landmarks Commission](#))
Certificate of Appropriateness Review**

Date: 07-07-22

File Number:

Building / Project Name: 3401 Clinton Ave

Property Address: 3401 Clinton Ave **Parcel #:**

Property Owner:

Presenters:

Historic Designation: ☐ Not Designated ☒ Local Landmarks District ☐ Landmark Building

Specifications of work proposed

Renovation of existing home – Final Approval

Recommendations of Design Review Committee:

Approved: 4 inch smooth hardie

Come back with: details regarding cornice and details on trim and furring

Notes/Comments:

Asbestos removal considered. Heavy duty asphalt roofing. Historic window framing is unknown at this time. Need to peel back layers of house to make sure that is not exposed to elements.

Design Review Committee Record:

Alex Frondorf	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Antonia Marinucci	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Doug Wahl	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Margaret Lann	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Chris Loeser	<input checked="" type="checkbox"/> Not Present	<input type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Marika Shiori-Clark	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain

Required to present at Cleveland Landmarks Commission? ☐ Yes ☐ No **Date:** na



Case 22-058: Ohio City Historic District (19-019 Approved)

1424 West 48th Street

Demolition and New Construction of Townhouses

Ward 3: McCormack

Project Representatives: Jeff Foster (Architect); Yu Fei, Developer



A OVERALL CONTEXT MAP
A001 NO SCALE



EAST SIDE OF 48TH STREET FACING NORTH EAST
7 IMAGE OF EXISTING
A001 NO SCALE



EAST SIDE OF 48TH STREET FACING SOUTH EAST
6 IMAGE OF EXISTING
A001 NO SCALE



VIEW FACING NORTH WEST FROM 48TH STREET TOWARDS SITE ENTRANCE
5 IMAGE OF EXISTING
A001 NO SCALE



VIEW OF NORTH SIDE OF SITE FROM 48TH STREET - ACROSS EXISTING COMMERCIAL PARKING LOT
4 IMAGE OF EXISTING
A001 NO SCALE



VIEW OF SOUTH SIDE OF SITE ALONG FRONTING PROPERTY
3 IMAGE OF EXISTING
A001 NO SCALE



SITE ENTRANCE ALONG 48TH STREET
2 IMAGE OF EXISTING
A001 NO SCALE



PANORAMA ALONG 48TH STREET FACING WEST TOWARDS SITE
1 IMAGE OF EXISTING
A001 NO SCALE

This set was previously
approved by
Ohio City Design Review on
February 6, 2020

W48TH STREET TOWNHOMES

1424 WEST 48TH STREET
OHIO CITY



FACADE STUDY
3/32"=1'-0"

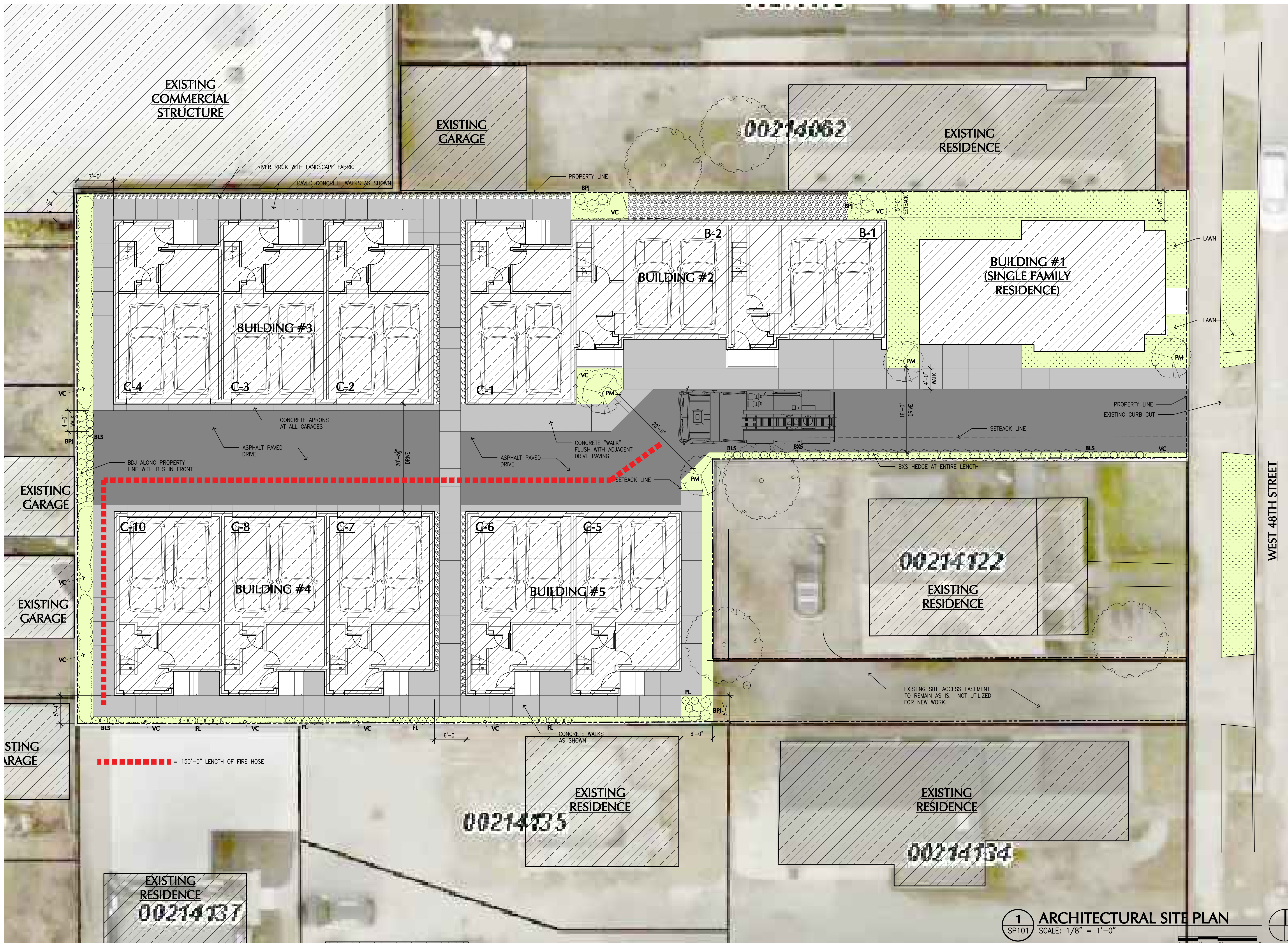


SITE PLAN
 1/16" = 1'-0" N^



LOOKING WEST FROM W48TH STREET





ISSUE DATE: 07.14.22

PRINTS FULL SCALE
ON 24"x36" SHEET

PRELIMINARY
NOT FOR CONSTRUCTION

THE EQUINOX
TOWNHOME DEVELOPMENT
1424 WEST 48TH STREET
CLEVELAND, OH

PAYTO Architects
405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE: (216) 241-6800
WWW.PAYTOARCHITECTS.COM

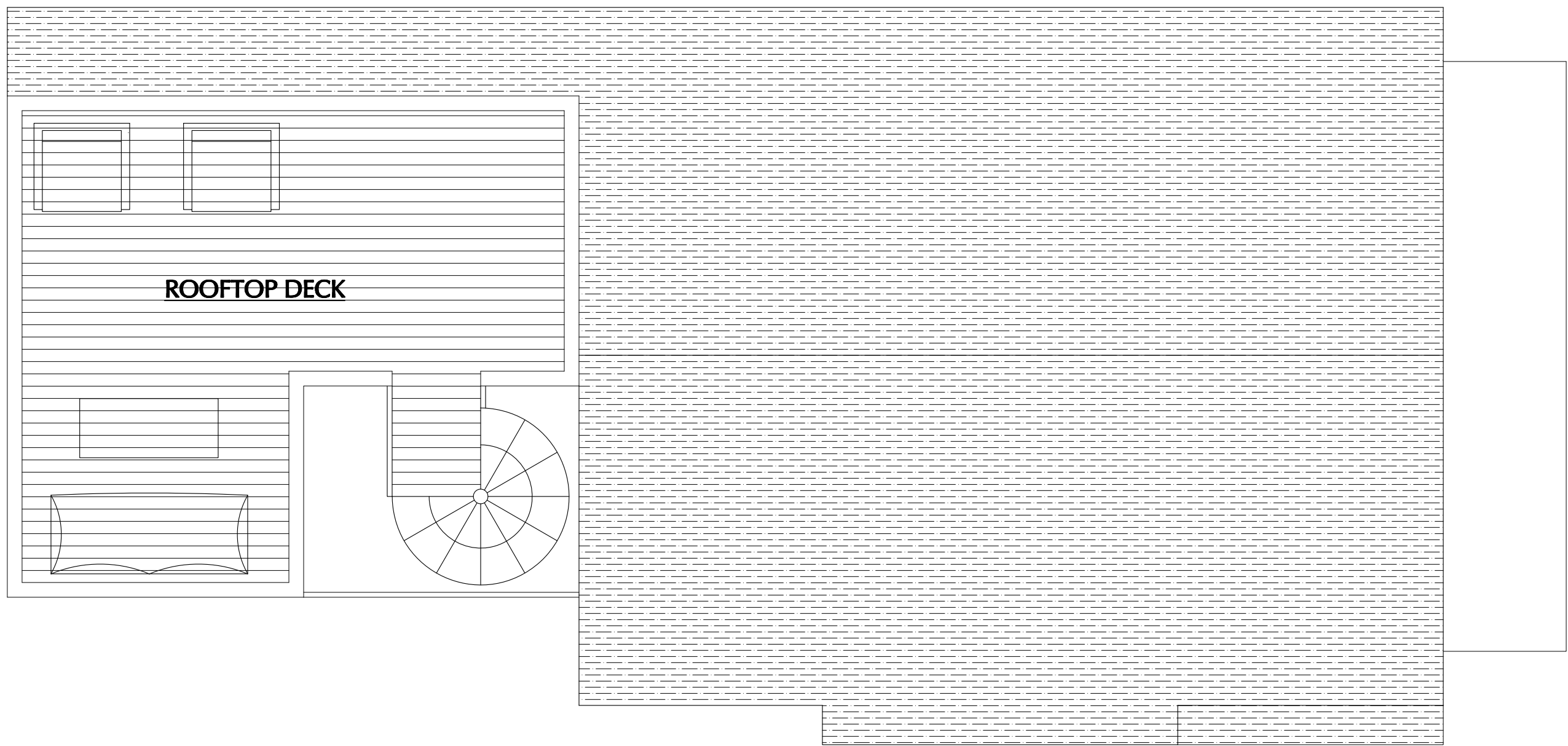
ARCHITECTURAL SITE
& LANDSCAPE PLAN

PA PROJECT NO. 2022-46
CURRENT DATE 07.14.22

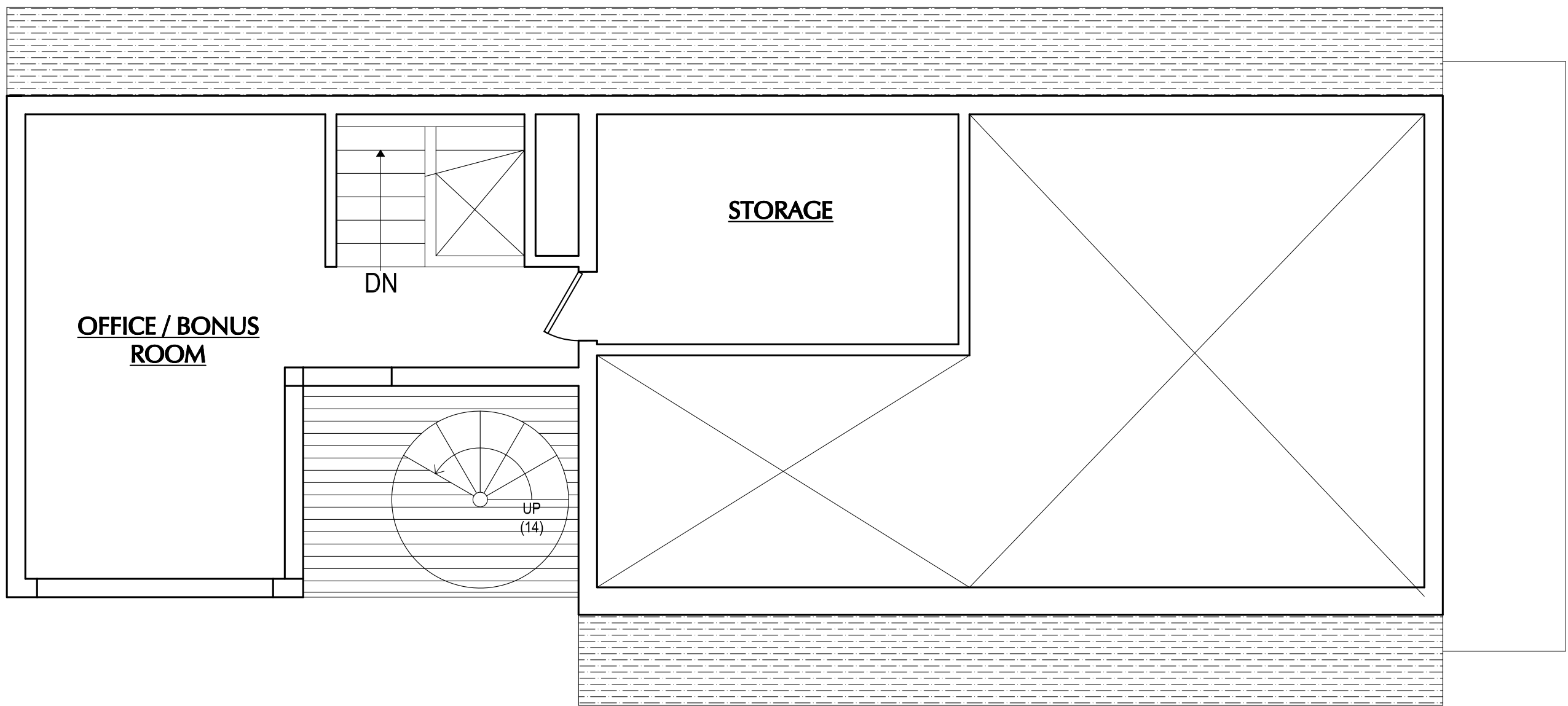
SP101

LANDMARKS COMMISSION
SUBMISSION

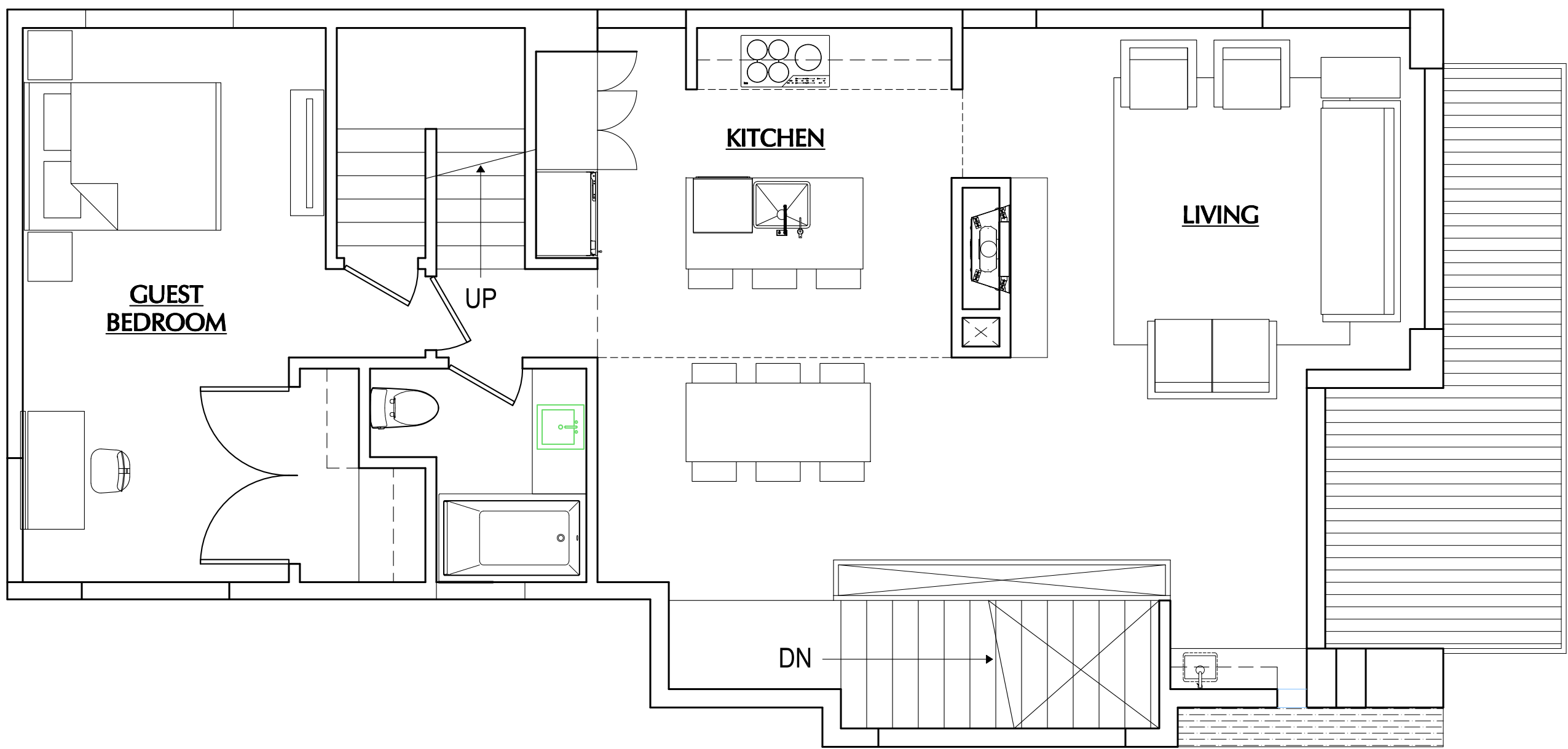
1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



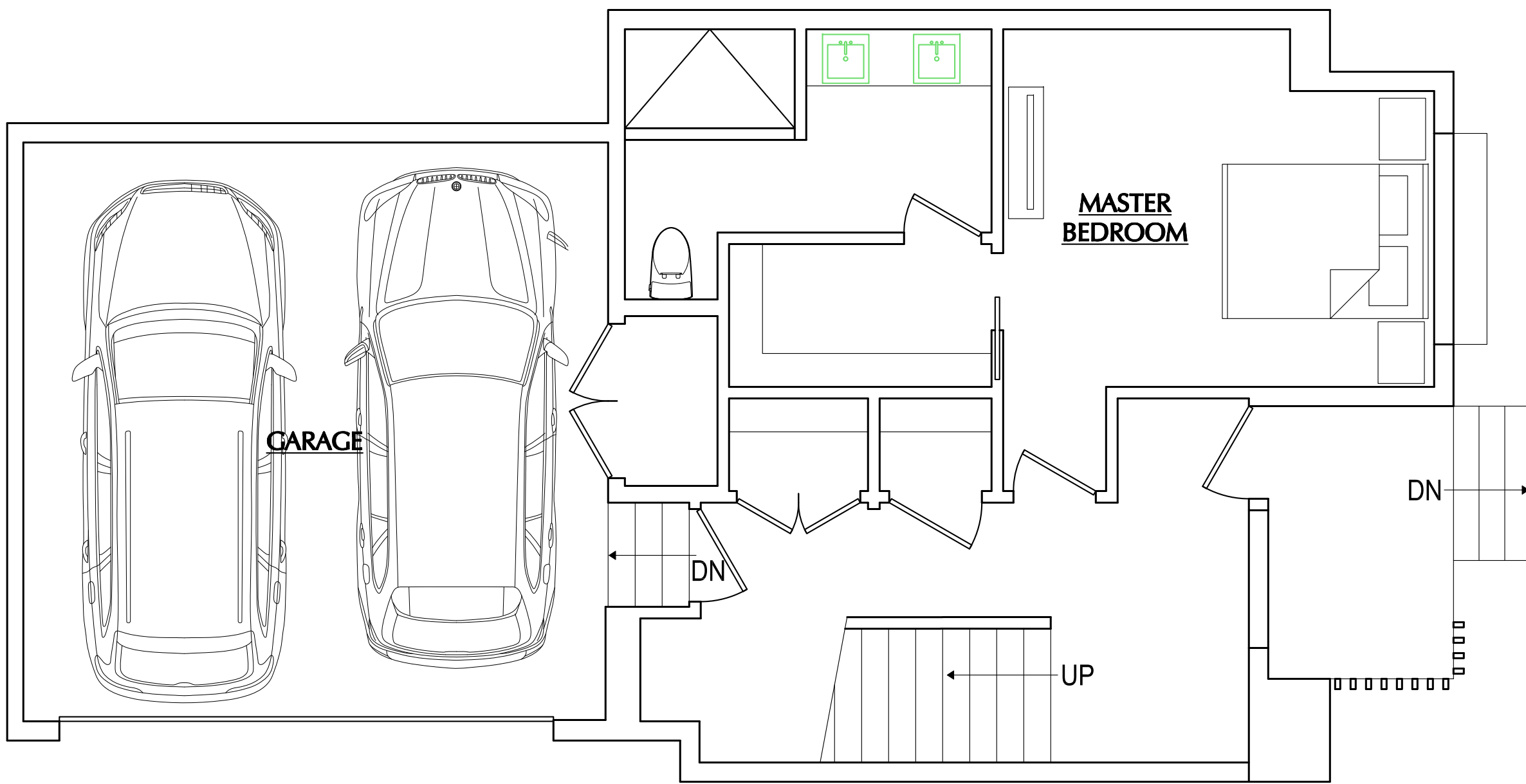
4 ROOFTOP PLAN - TYPE A
A101-A SCALE: 1/4" = 1'-0"
0 2' 4' 8'



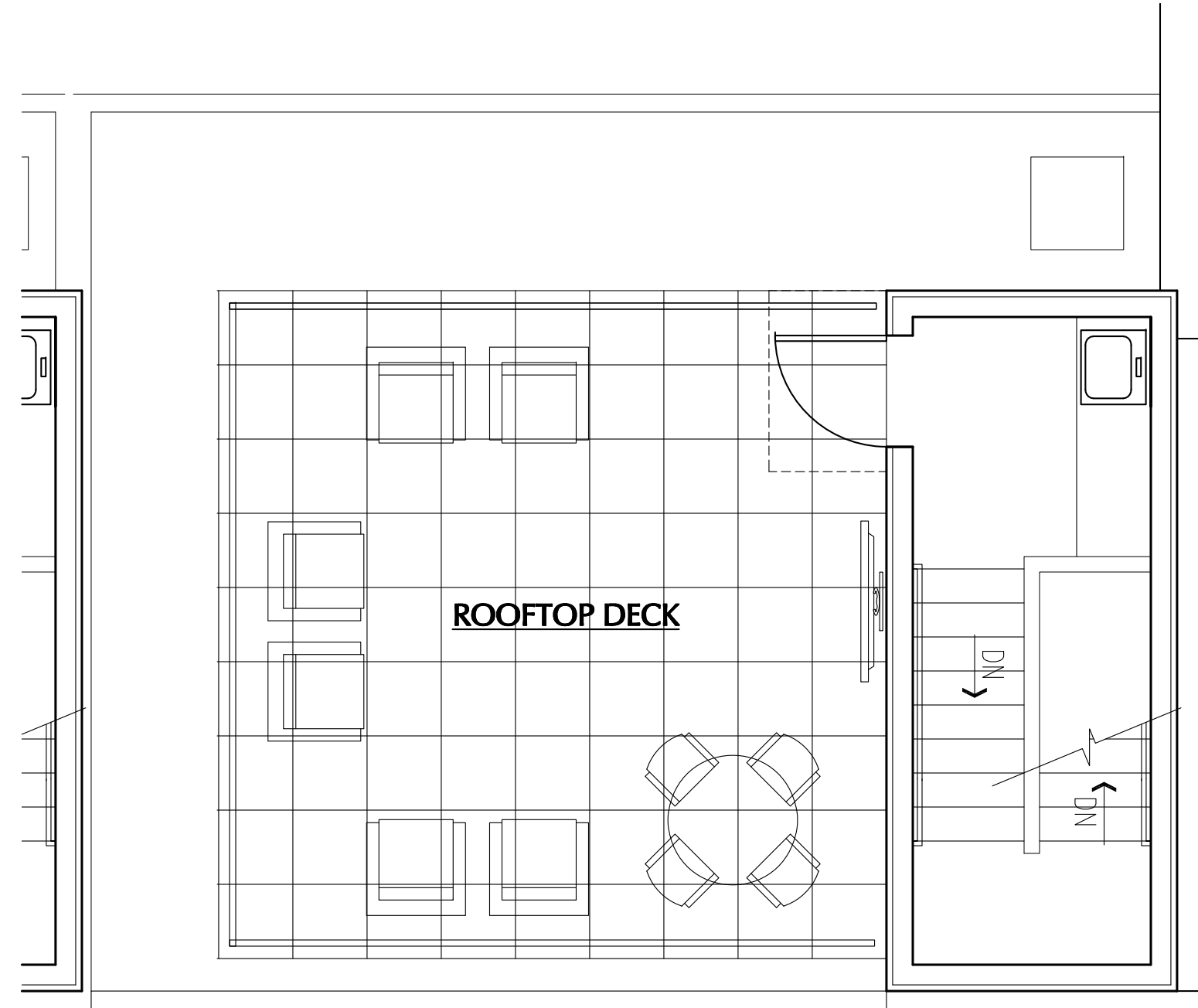
3 THIRD FLOOR PLAN - TYPE A
A101-A SCALE: 1/4" = 1'-0"
0 2' 4' 8'



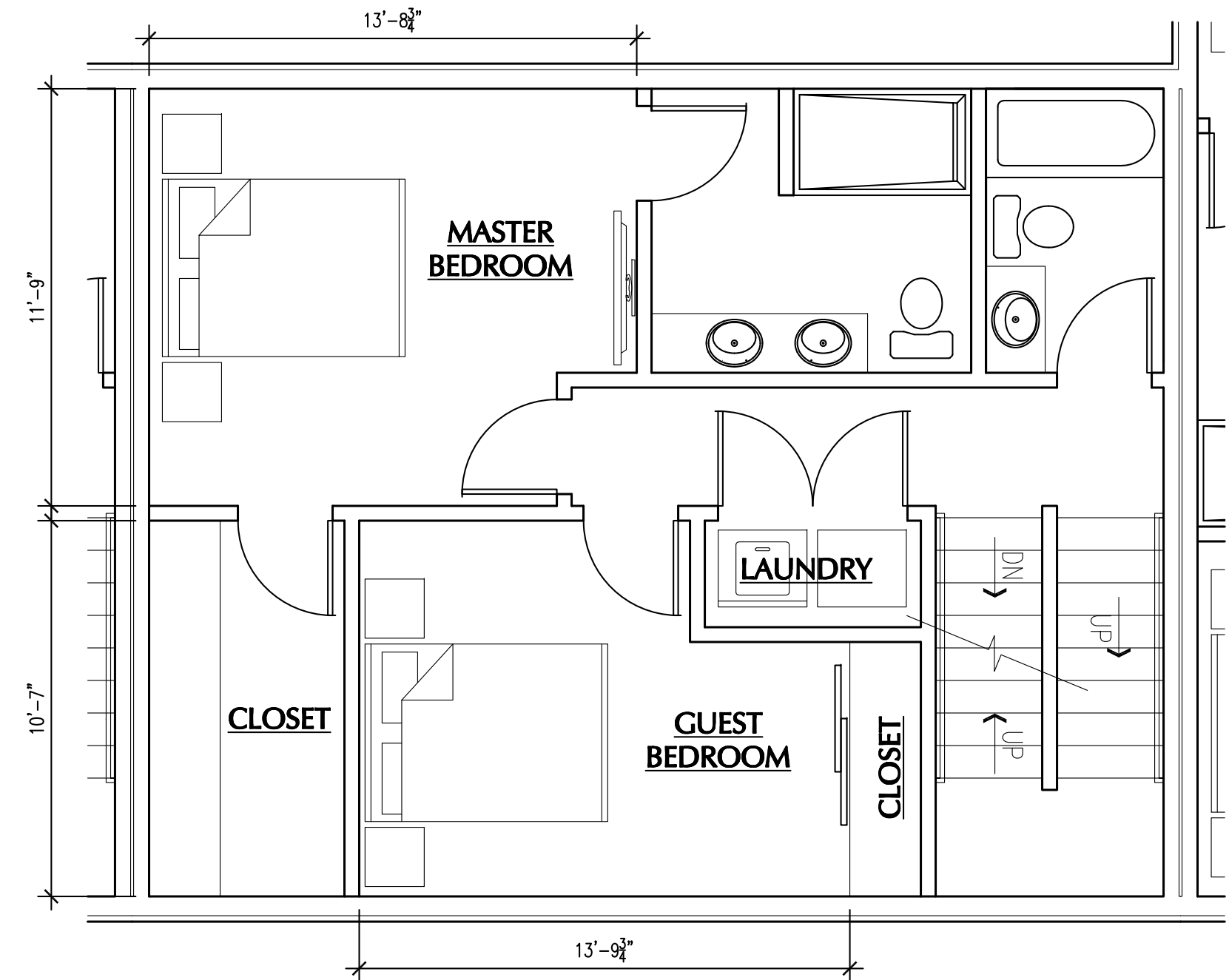
2 SECOND FLOOR PLAN - TYPE A
A101-A SCALE: 1/4" = 1'-0"
0 2' 4' 8'



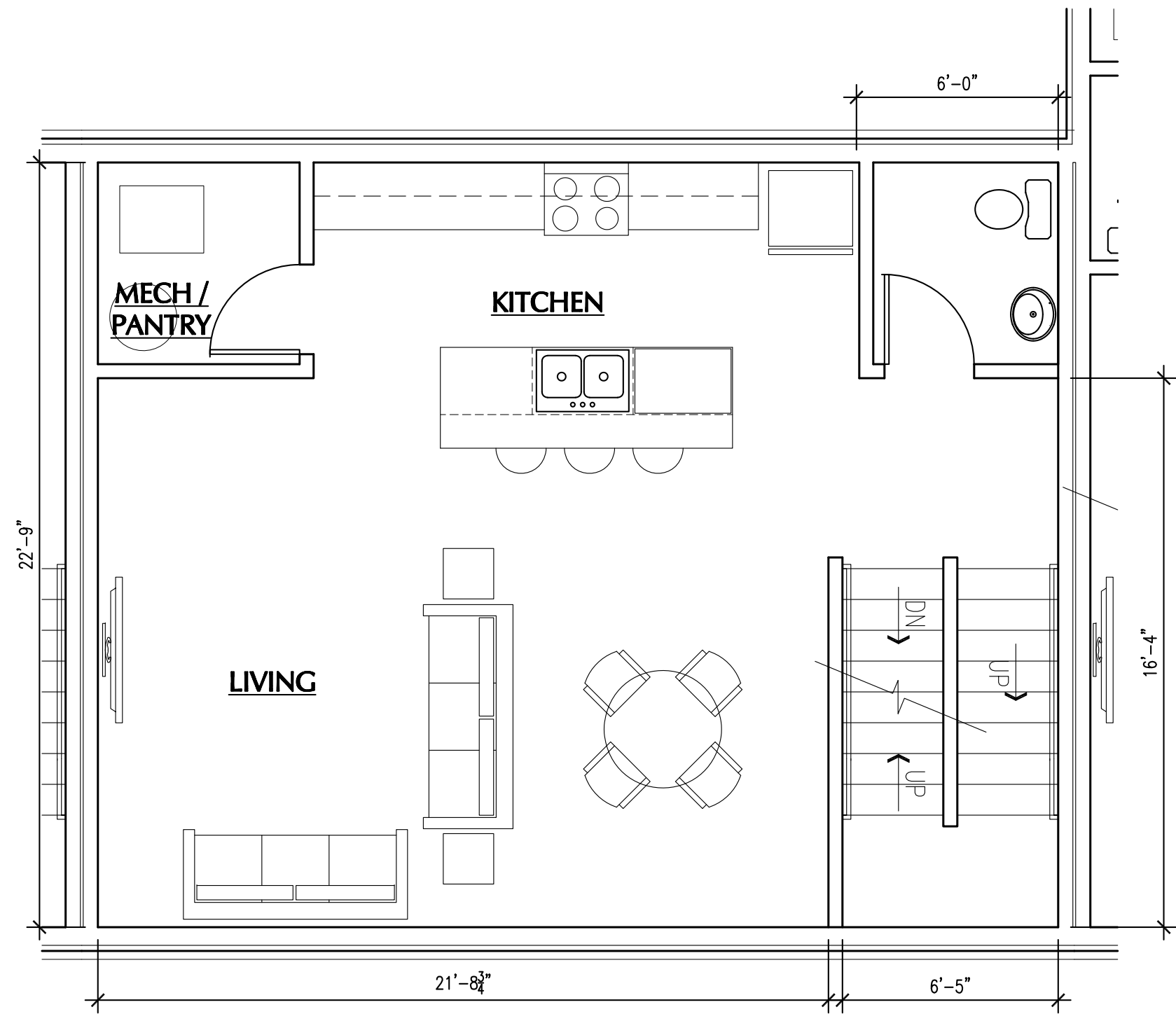
1 FIRST FLOOR PLAN - TYPE A
A101-A SCALE: 1/4" = 1'-0"
0 2' 4' 8'



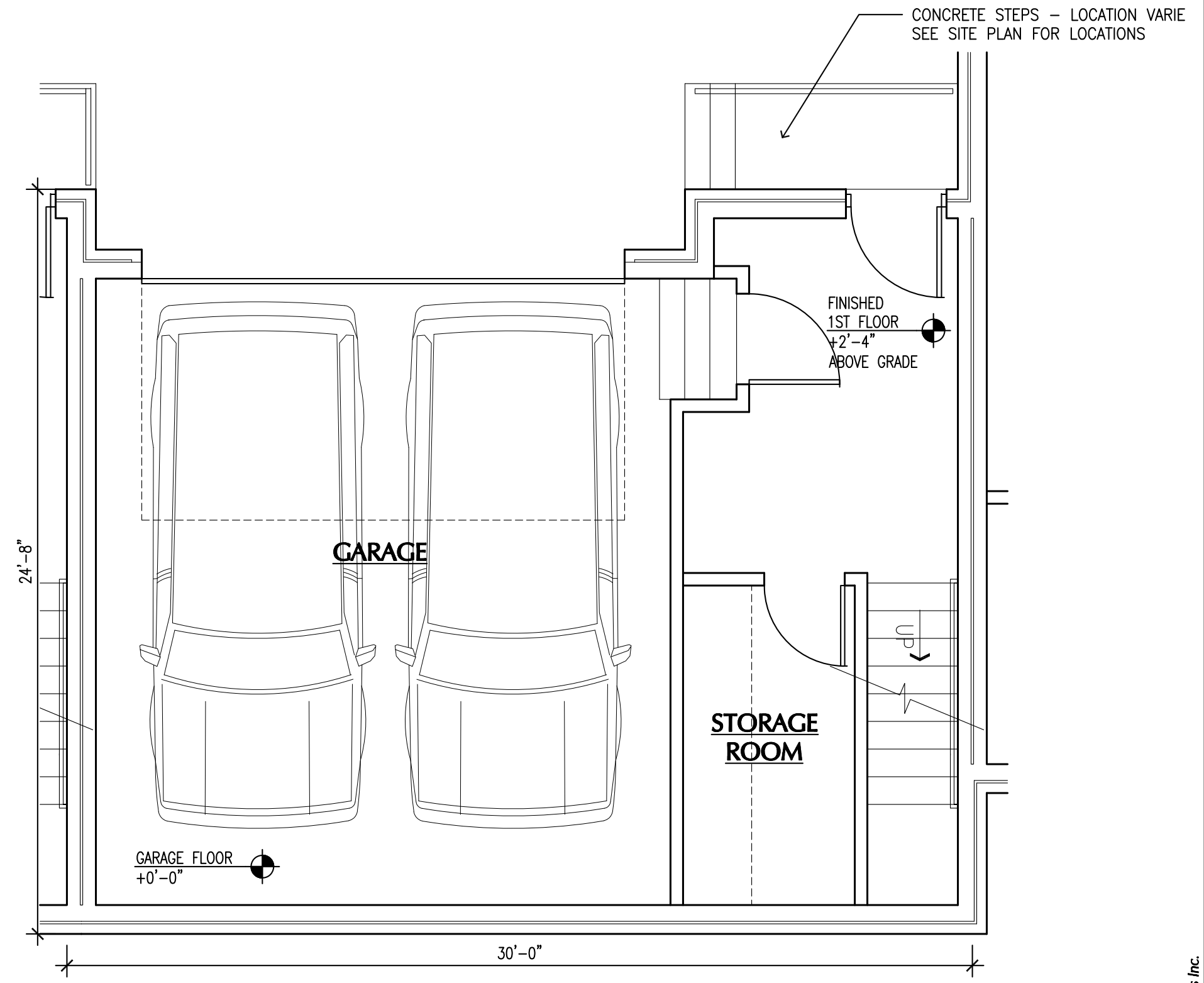
4 ROOFTOP PLAN - TYPE B
A101-B SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN - TYPE B
A101-B SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - TYPE B
A101-B SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - TYPE B
A101-B SCALE: 1/4" = 1'-0"

SUMMARY OF UNIT AREAS:

LEVEL 1 LIVING SPACE:	216 SF
LEVEL 2 LIVING SPACE:	703 SF
LEVEL 3 LIVING SPACE:	703 SF
LEVEL 4 LIVING SPACE:	1,622 SF

ISSUE DATE: 07.07.22

PRINTS FULL SCALE
ON 24"X36" SHEET

PRELIMINARY
NOT FOR CONSTRUCTION

THE EQUINOX
TOWNHOME DEVELOPMENT
1424 WEST 48TH STREET
CLEVELAND, OH

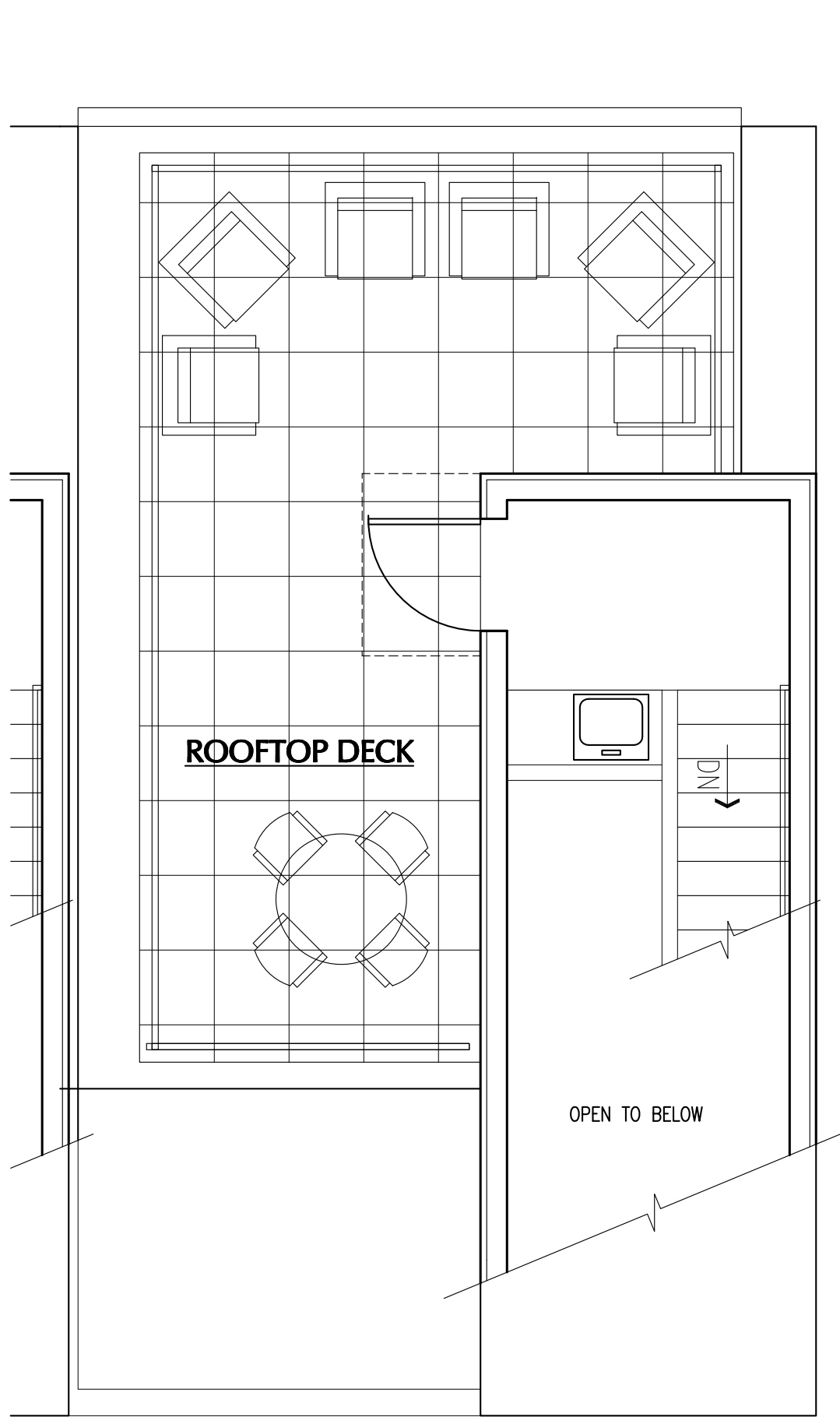
PAYTO Architects
405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE : (216) 241-6800
WWW.PAYTOARCHITECTS.COM

PROPOSED FLOOR
PLANS - UNIT TYPE B

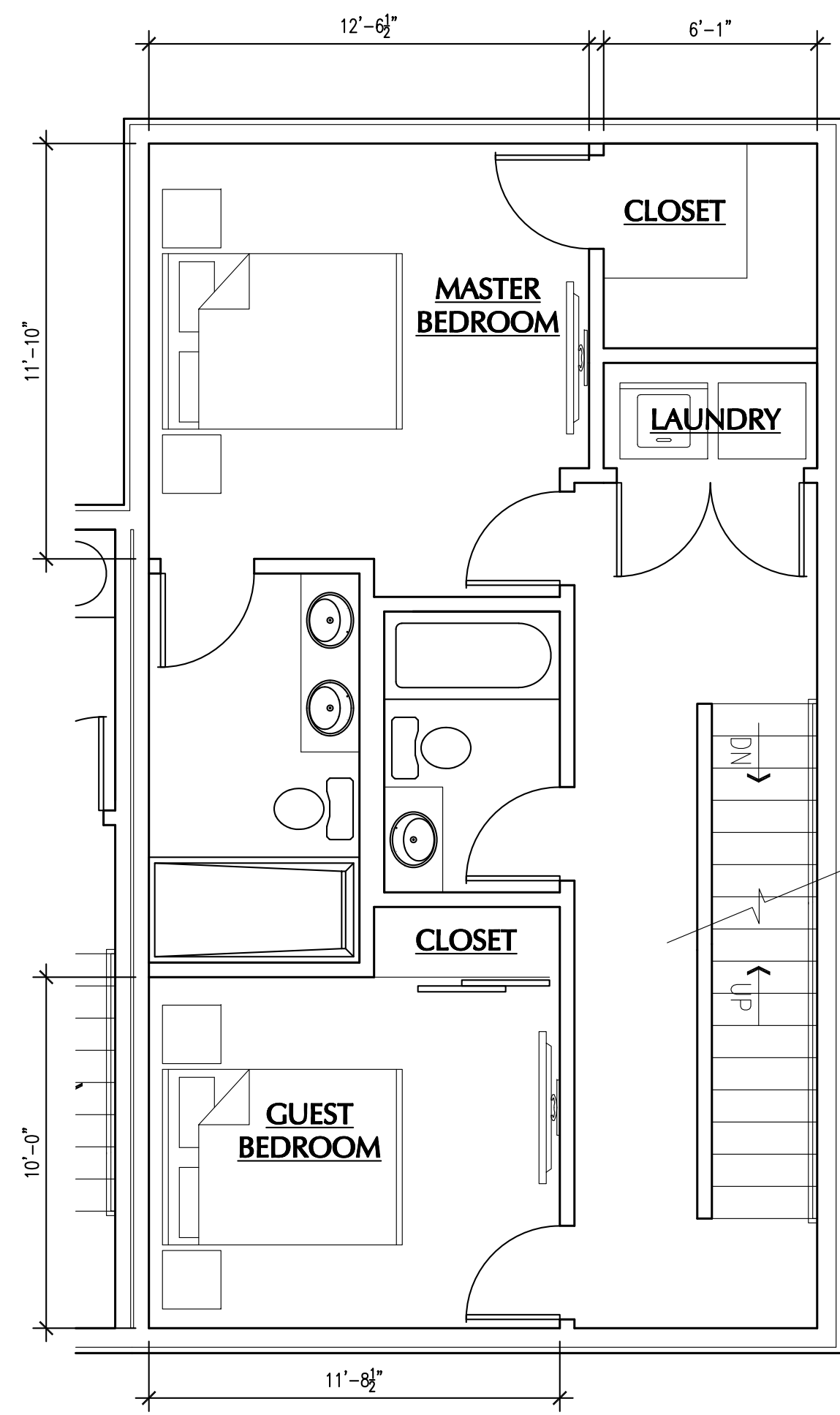
PA PROJECT NO. 2022-46
CURRENT DATE 07.07.22

A101-B

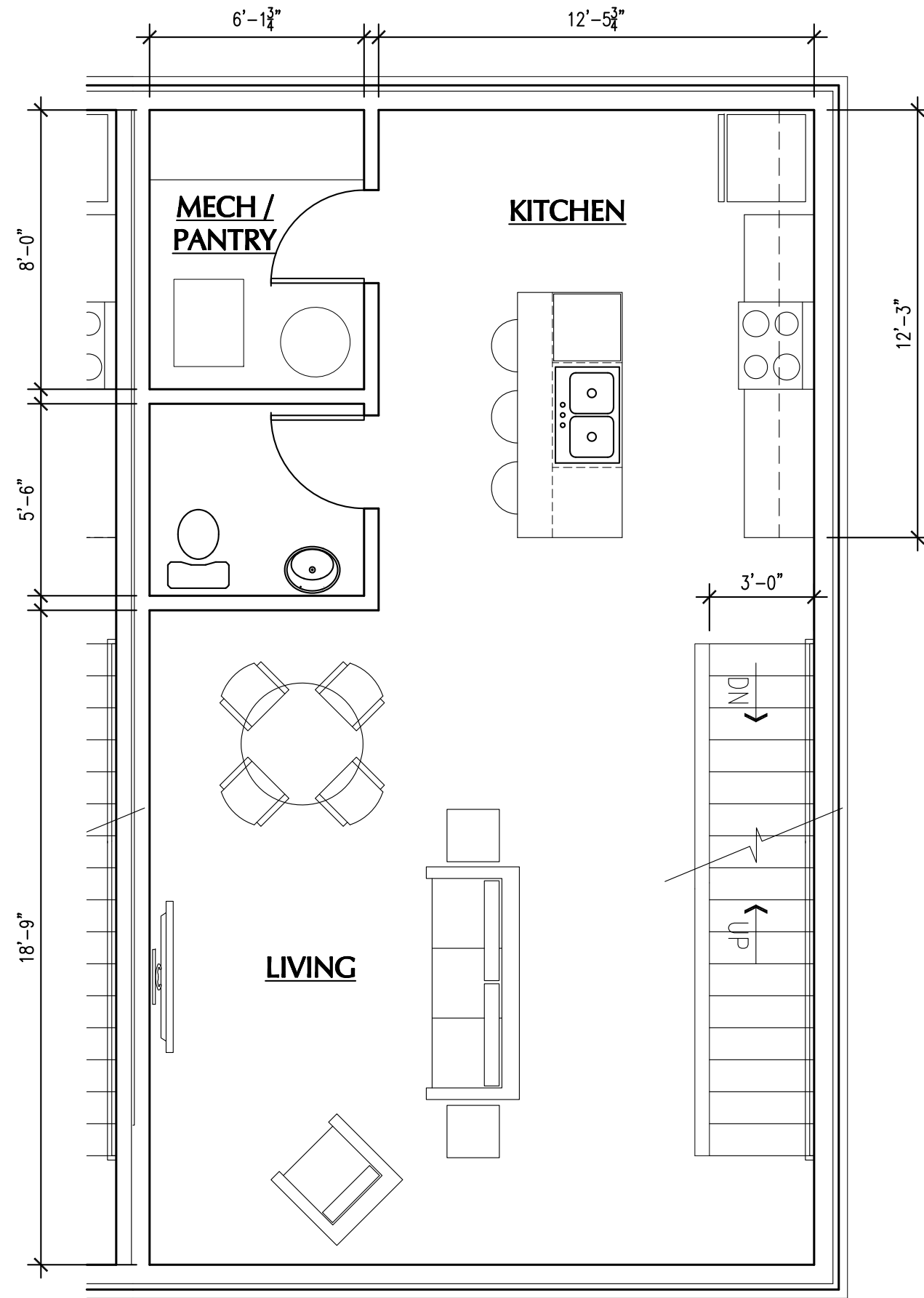
LANDMARKS COMMISSION
SUBMISSION



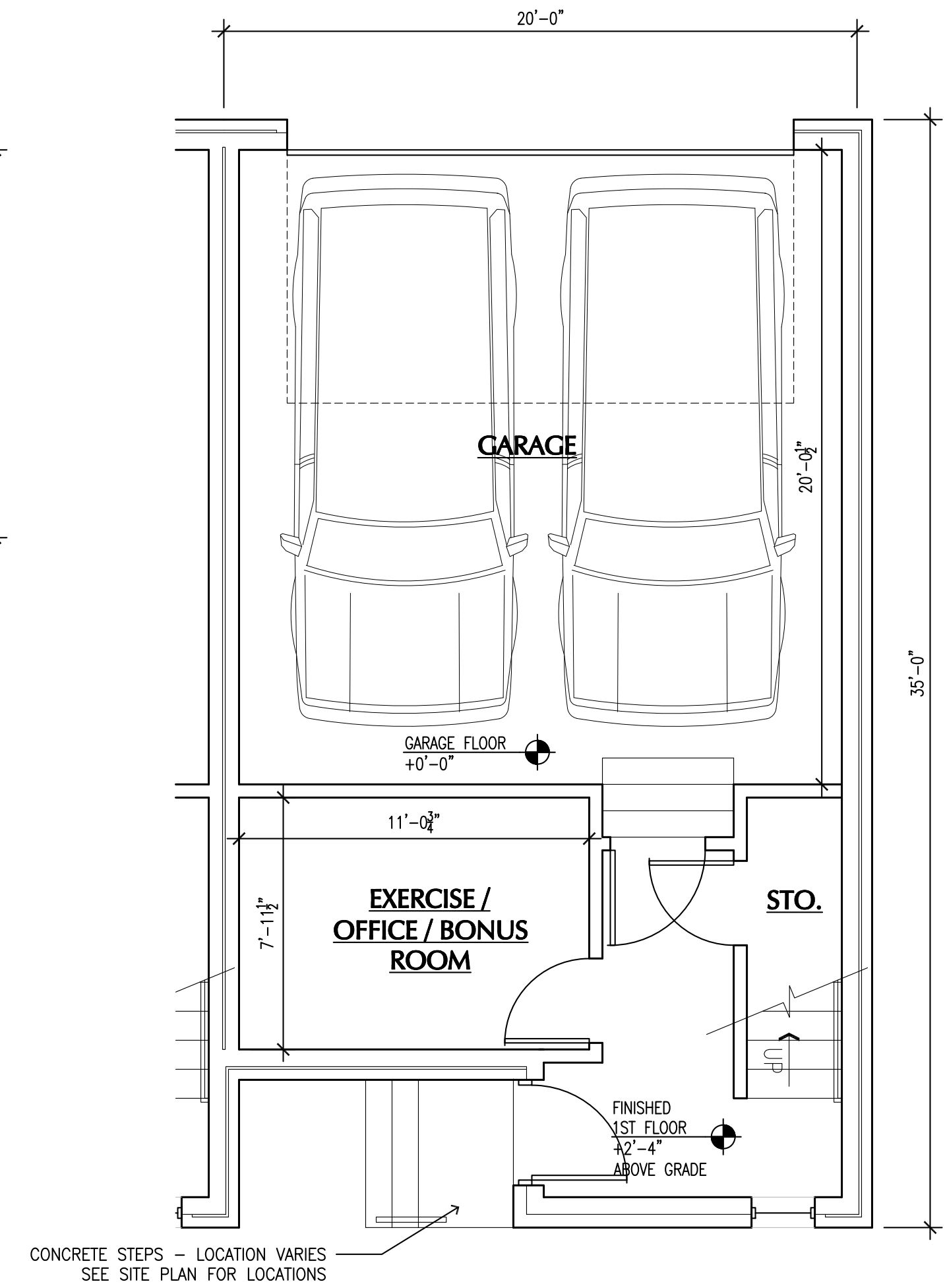
4 ROOFTOP PLAN - TYPE C
A101-C SCALE: 1/4" = 1'-0"
0 2' 4' 8'



3 THIRD FLOOR PLAN - TYPE C
A101-C SCALE: 1/4" = 1'-0"
0 2' 4' 8'



2 SECOND FLOOR PLAN - TYPE C
A101-C SCALE: 1/4" = 1'-0"
0 2' 4' 8'

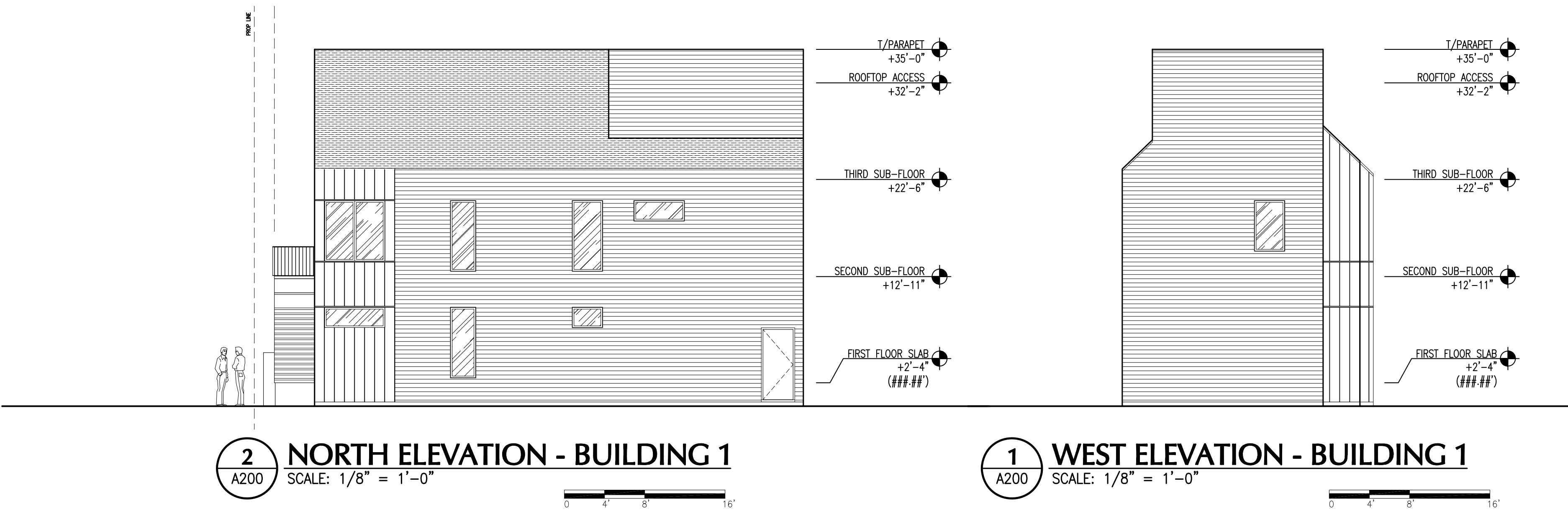
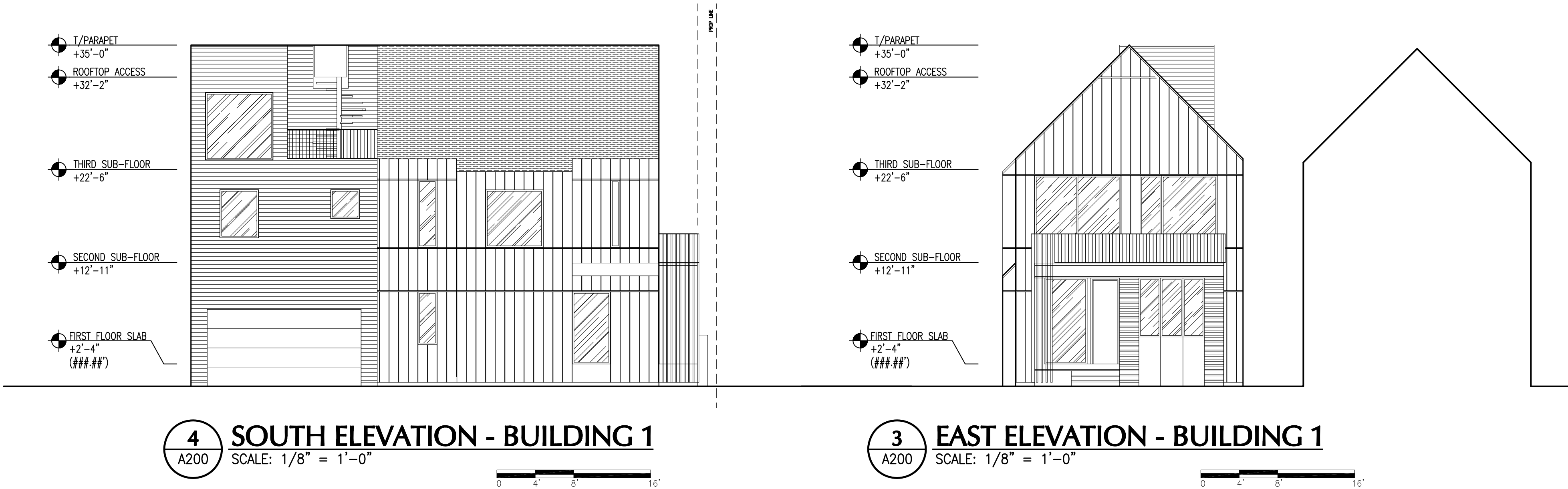


1 FIRST FLOOR PLAN - TYPE C
A101-C SCALE: 1/4" = 1'-0"
0 2' 4' 8'

SUMMARY OF UNIT AREAS:	
LEVEL 1 LIVING SPACE:	227 SF
LEVEL 2 LIVING SPACE:	697 SF
LEVEL 3 LIVING SPACE:	697 SF
LEVEL 4 LIVING SPACE:	1,621 SF

ELEVATION MATERIAL LEGEND:

- METAL PANEL #1
- FACE BRICK
- METAL PANEL #2 IN ONE OF (2) COLORS
- METAL PANEL #3
- ASPHALT SHINGLED ROOF
- VINYL CASEMENT WINDOWS

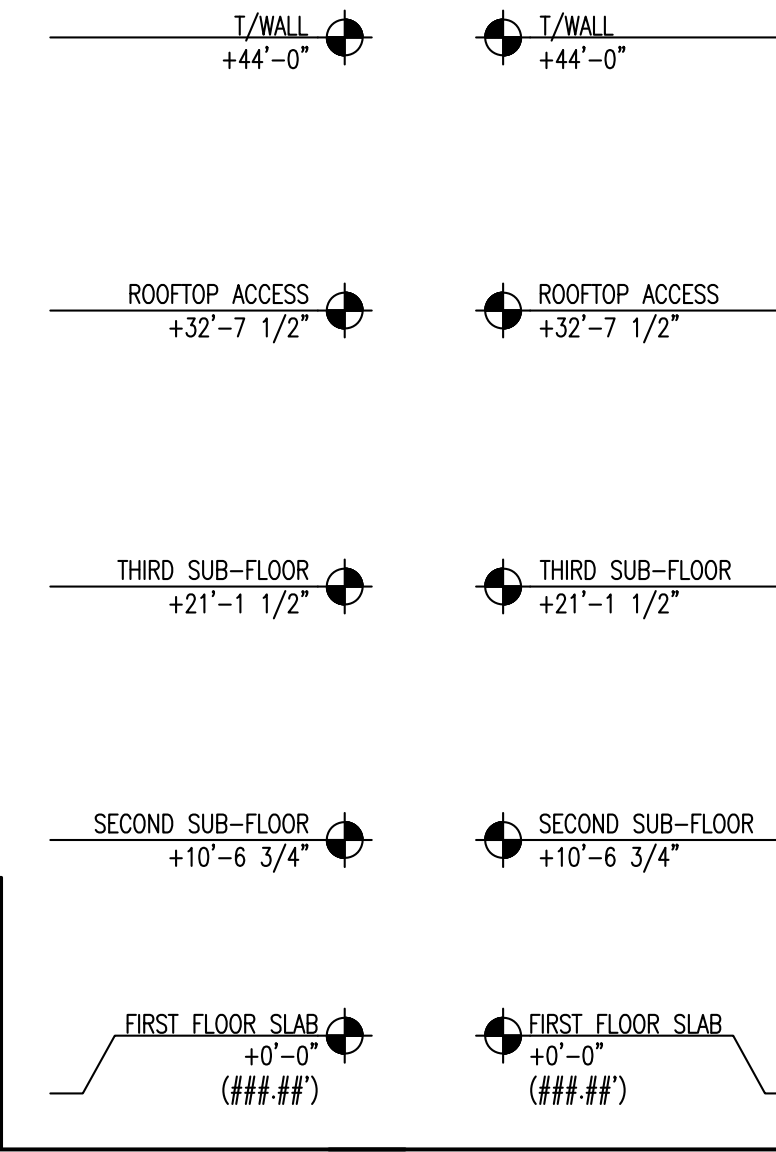


ELEVATION MATERIAL LEGEND:

- METAL PANEL #1
- FACE BRICK
- METAL PANEL #2 IN ONE OF (2) COLORS
- METAL PANEL #3
- ASPHALT SHINGLED ROOF
- VINYL CASEMENT WINDOWS



4 SOUTH ELEVATION - BUILDINGS 2 & 3
A201 SCALE: 1/8" = 1'-0"

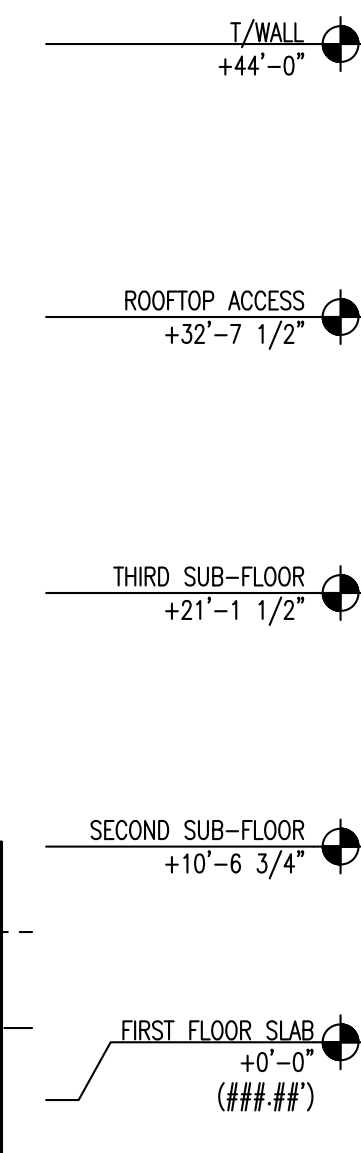


3 EAST ELEVATION - BUILDINGS 2 & 3
A201 SCALE: 1/8" = 1'-0"



FIRST FLOOR GLAZING, SECONDARY ELEVATION,
25% MIN. REQUIRED BETWEEN 3' AND 7' AFF. =
141 SF REQUIRED < 137 SF PROVIDED

2 NORTH ELEVATION - BUILDINGS 2 & 3
A201 SCALE: 1/8" = 1'-0"

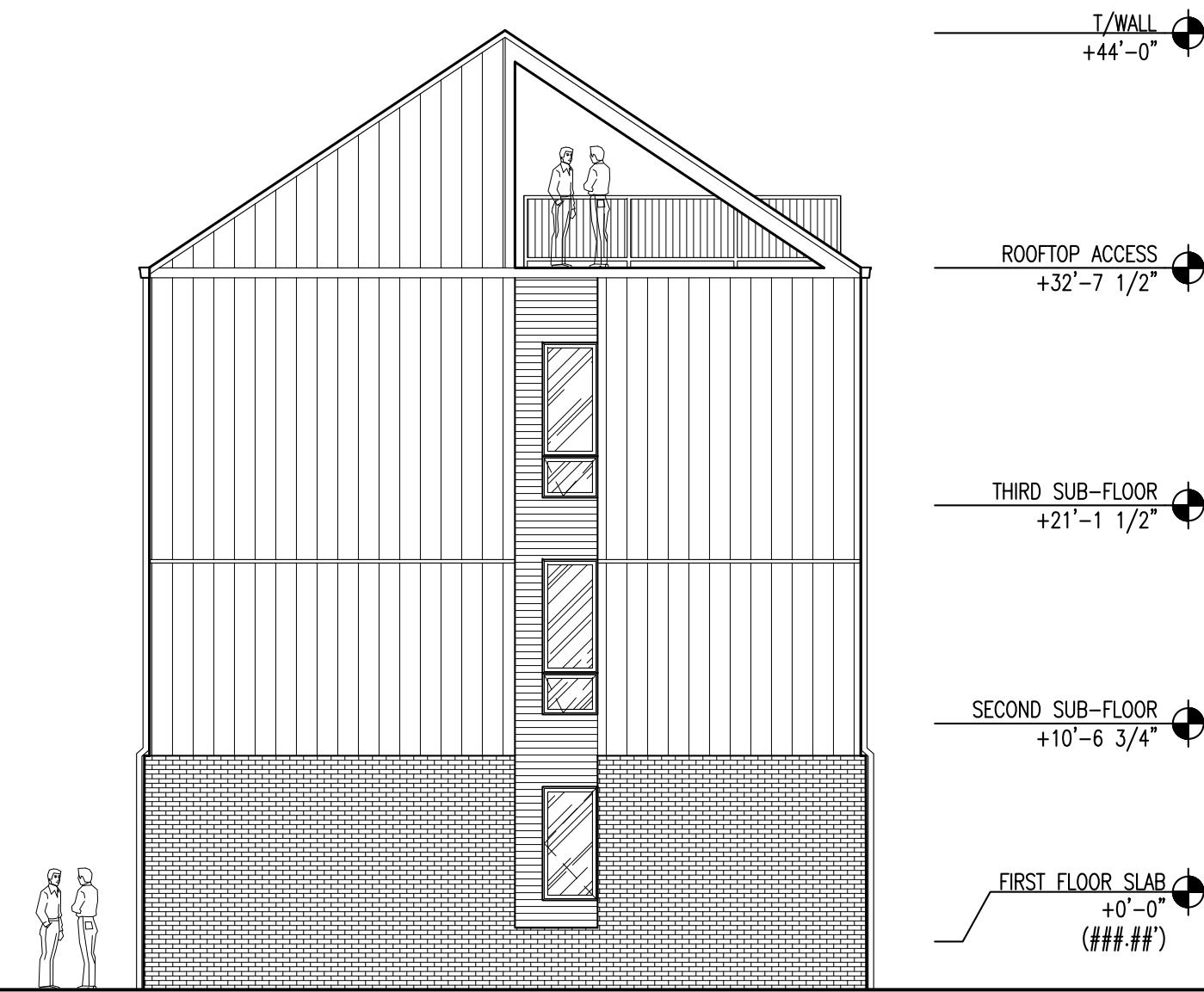


1 WEST ELEVATION - BUILDING 3
A201 SCALE: 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND:	
	METAL PANEL #1
	FACE BRICK
	METAL PANEL #2 IN ONE OF (2) COLORS
	METAL PANEL #3
	ASPHALT SHINGLED ROOF
	VINYL CASEMENT WINDOWS



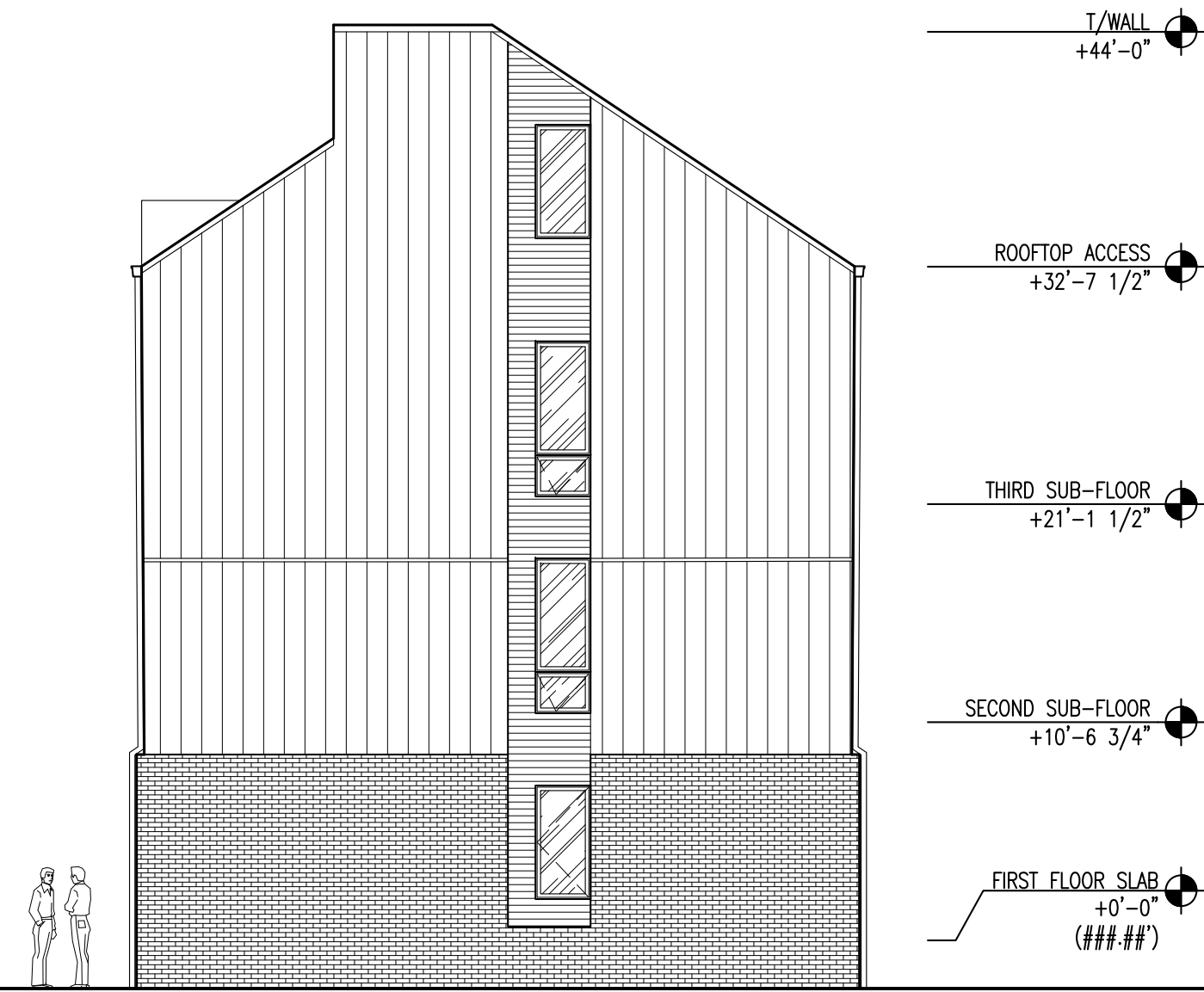
4 SOUTH ELEVATION - BUILDINGS 4 & 5
A202 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - BUILDING 5
A202 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - BUILDINGS 4 & 5
A202 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION - BUILDING 4
A202 SCALE: 1/8" = 1'-0"



PROPOSED BUILDING #1

6 **FACADE STUDY AND RELATIONSHIP TO NEIGHBORING PROPERTIES**
A210 NO SCALE



VIEW ALONG SOUTH EDGE OF PROPERTY LINE ACROSS ADJOINING PROPERTY

5 **RENDERED VIEW**
A210 NO SCALE



BUILDING #1 AT ENTRANCE TO THE SITE VIEW FROM SOUTH EAST

4 **RENDERED VIEW**
A210 NO SCALE



BUILDING 1 AT ENTRANCE TO THE SITE

3 **RENDERED VIEW**
A210 NO SCALE



BUILDING 1 AT NEIGHBORING HOUSE TO THE NORTH

2 **RENDERED VIEW**
A210 NO SCALE



VIEW OF NORTH SIDE OF SITE FROM ACROSS COMMERCIAL PARKING LOT ALONG DETROIT

1 **RENDERED VIEW**
A210 NO SCALE



BUILDING #5 - FACING SOUTH

5 RENDERED VIEW
A211 NO SCALE



BUILDING #2 - FACING SOUTH

4 RENDERED VIEW
A211 NO SCALE



BUILDING #5 & #2 - FACING SOUTH

3 RENDERED VIEW
A211 NO SCALE



2 BIRD'S EYE VIEW
A211 NO SCALE



1 RENDERED VIEW
A211 NO SCALE



FRENCH LAVENDER =FL



BRISTLE LEAF SEDGE =BLS



BOXWOOD SHRUB=BXS



BLUE POINT JUNIPER=BPJ



VIRGINIA CREEPER=VC



PAPERBARK MAPLE=PM

4 LANDSCAPE MATERIALS
A220 NO SCALE



BLACK EXTERIOR WALL SCONCE
LOCATED AT EACH GARAGE DOOR AND
NEXT TO EACH ENTRY DOOR



CERTAINTEED 3-TAB XT25 - NICKEL GRAY

3 SHINGLE ROOFING
A220 NO SCALE

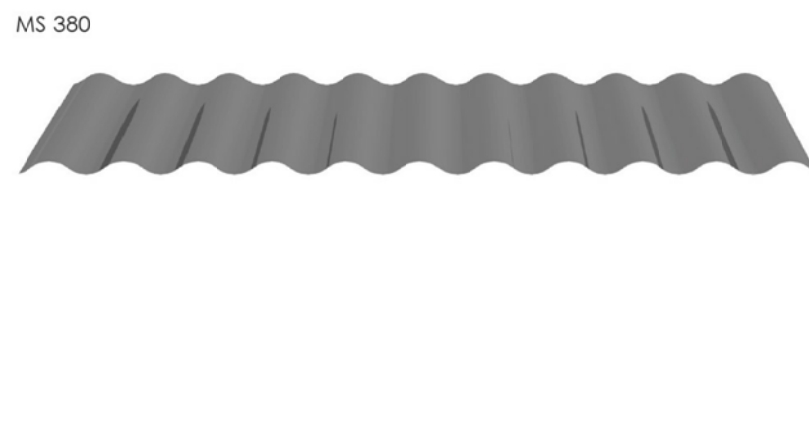


FACE BRICK #1: US BRICK - BLUE/BLACK

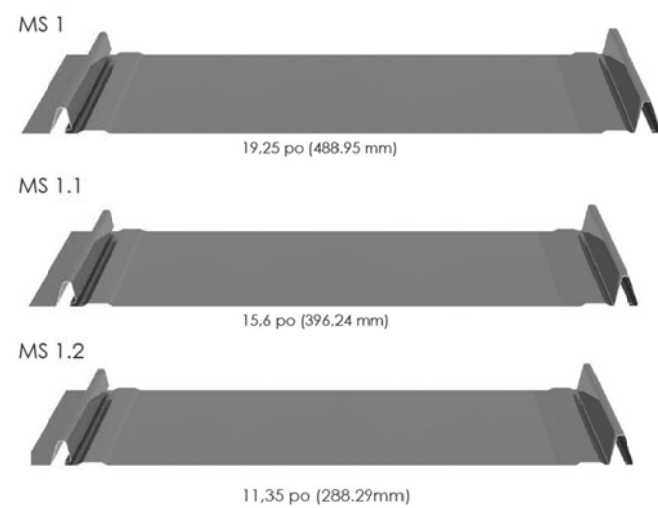
1 FACE BRICK
A220 NO SCALE



COLOR: SLATE GRAY COLOR: BRUSHED ZINC



METAL PANEL #2 & #3 - MAC METALS MS380 CORRUGATED



METAL PANEL #1 - MAC METALS MS-1 12' WIDE PANELS



COLOR: SLATE GRAY COLOR: TITANIUM WHITE

2 METAL PANELS
A220 NO SCALE





Case 22-056: Brooklyn Centre Historic District

Flats on Pearl

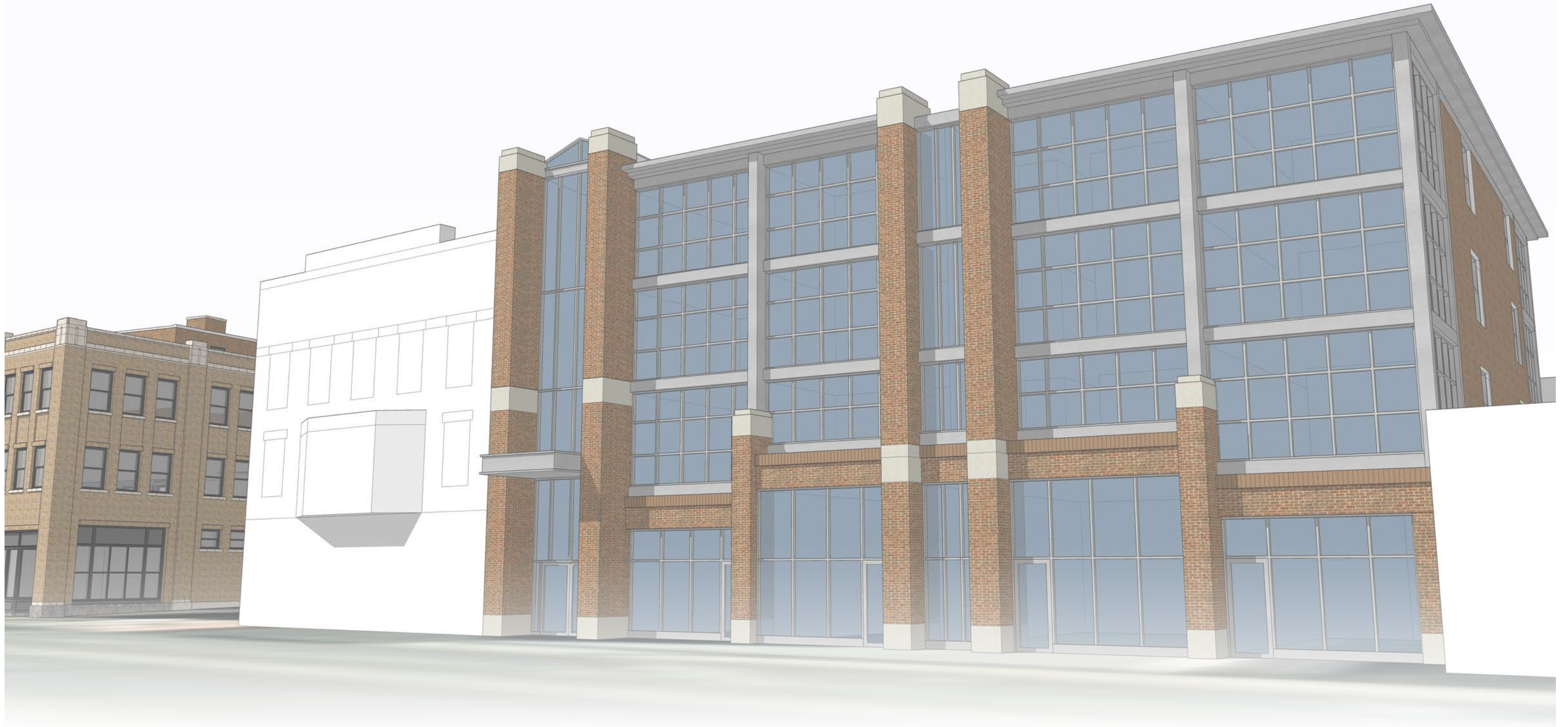
3784 Pearl Road

Demolition and New Construction

Ward 14: Santana

Project Representatives: Jill Brandt, Pasquale Esposito, Brandt Architecture; Kosta Almiroudis, Developer

FLATS ON PEARL



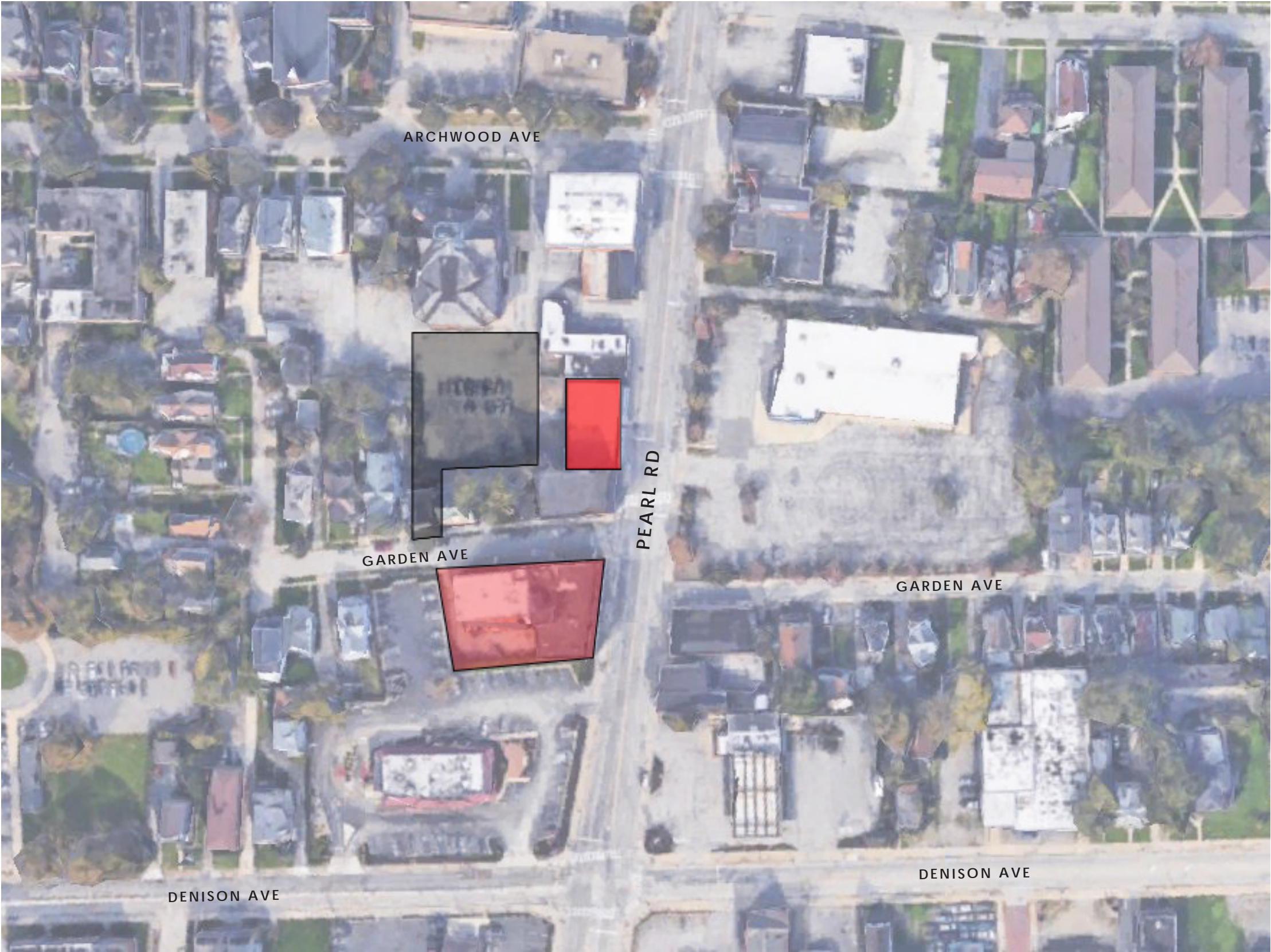
CITY OF CLEVELAND
DESIGN REVIEW

July 7 2022

FLATS ON PEARL

3784 PEARL ROAD
CLEVELAND, OHIO





-  SITE
-  LOFTS ON PEARL
PHASE 1
-  PARKING





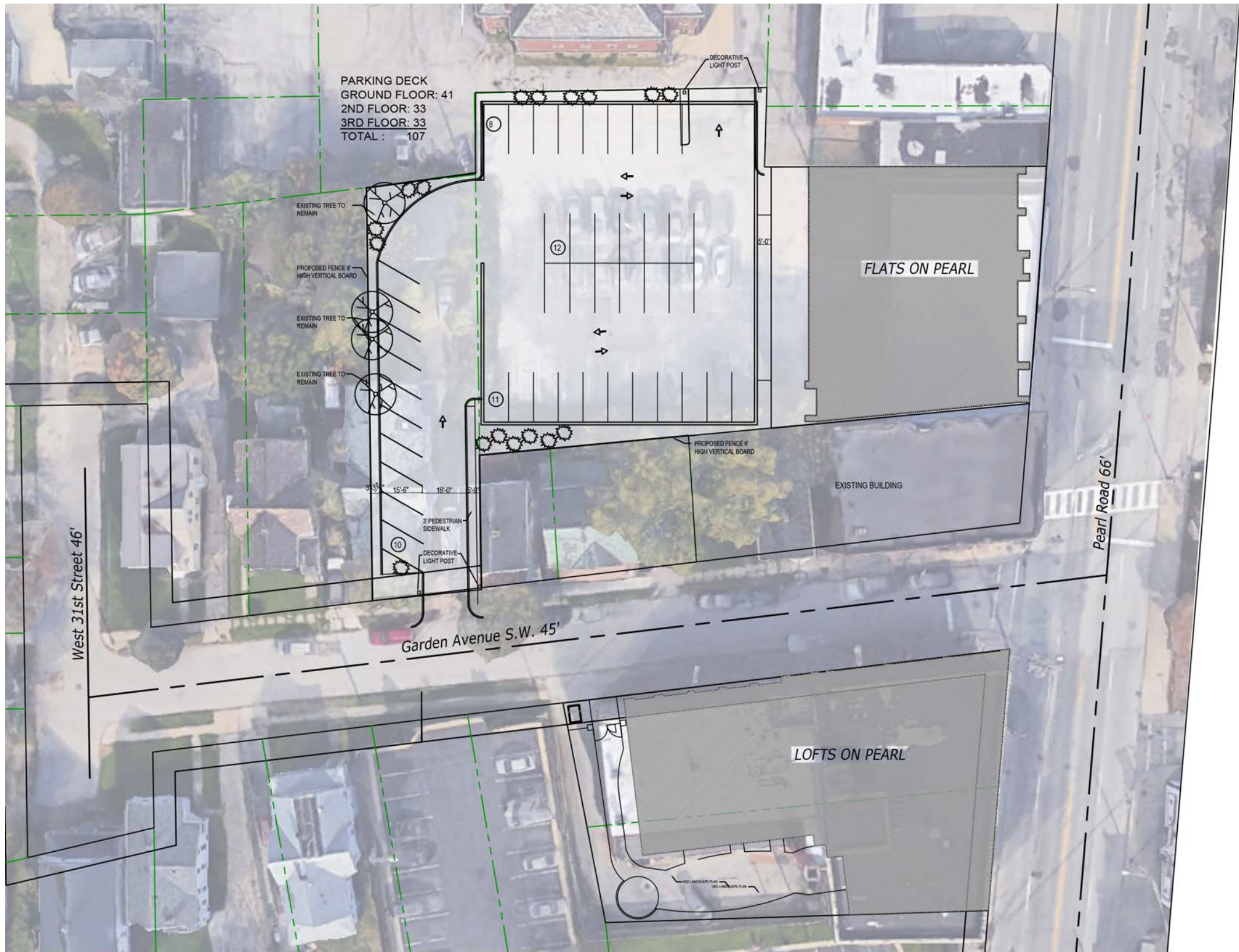
VIEW NORTH FROM PEARL RD



VIEW SOUTH FROM PEARL RD



VIEW OF EXISTING CONDITION OF SITE FROM PEARL RD



PARKING REQUIREMENTS

MASONIC HALL PARKING REQUIRED: 39 SPACES

RESIDENTIAL: 1/UNIT & 2/UNIT

1BR UNITS: 12 @ 1 SP/UNIT = 12 SPACES

2 BR UNITS: 12 @ 1.5 SP/UNIT = 18 SPACES

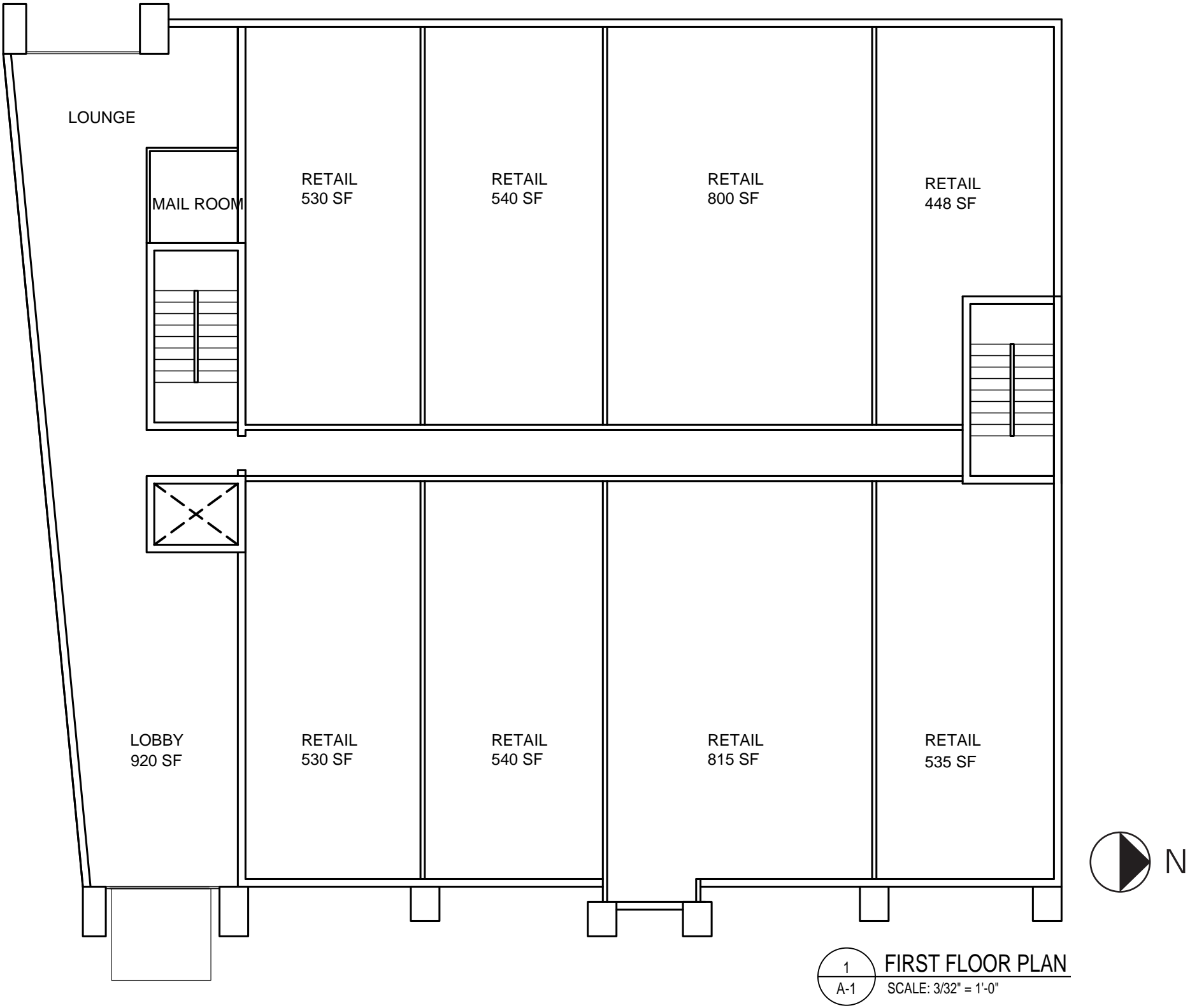
RETAIL: 4.5 SP/1K

4,700 SQFT = 21 SPACES

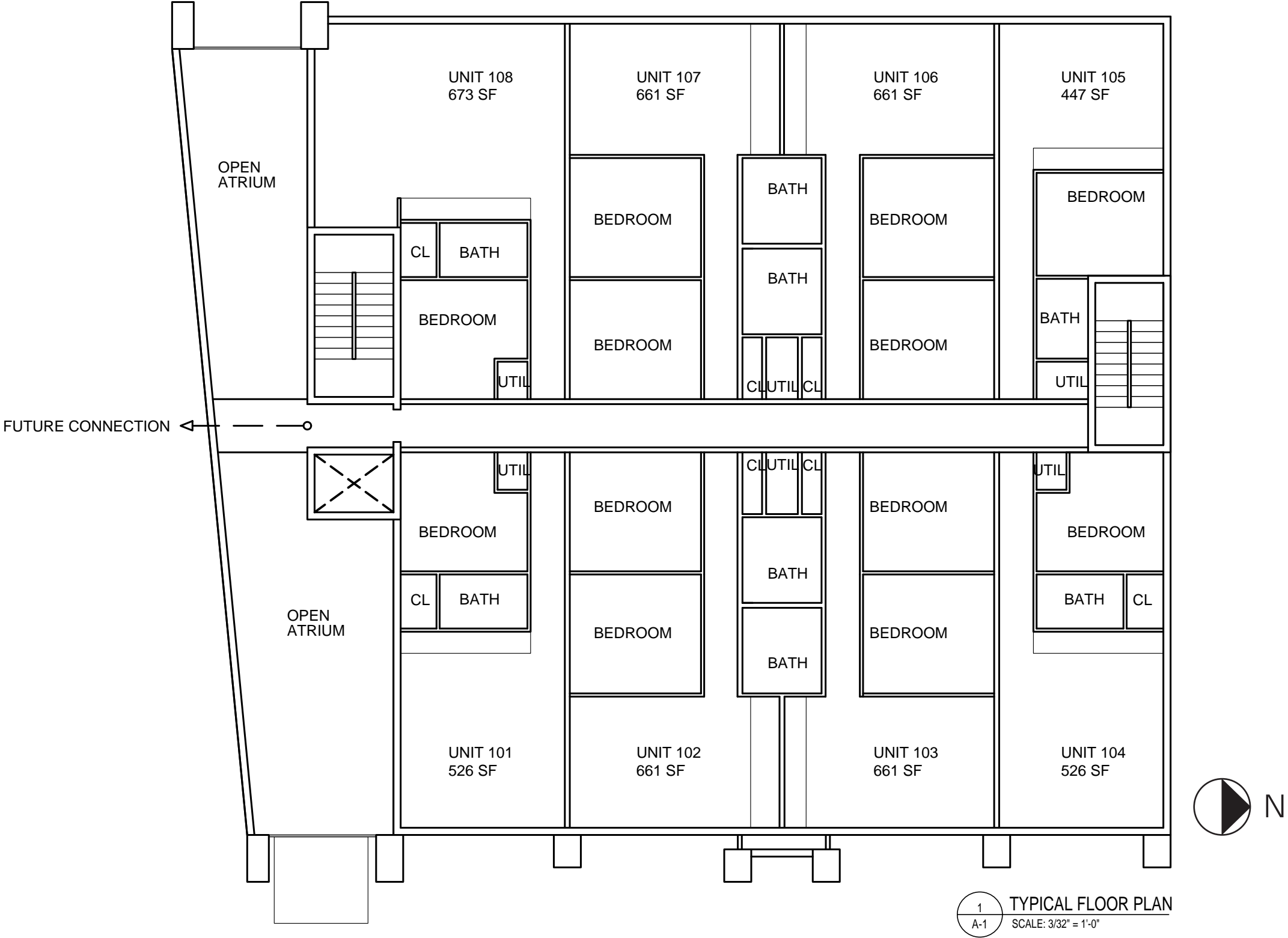
TOTAL PARKING REQUIRED: 90 SPACES

TOTAL PROVIDED: 107 SPACES (+17)

FIRST FLOOR PLAN

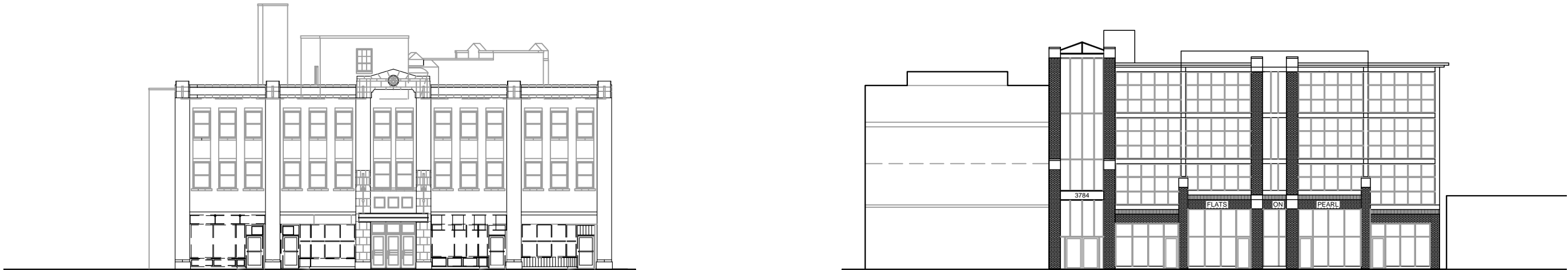


TYPICAL FLOOR PLAN





1 FRONT ELEVATION
A-1 SCALE: 3/32" = 1'-0"



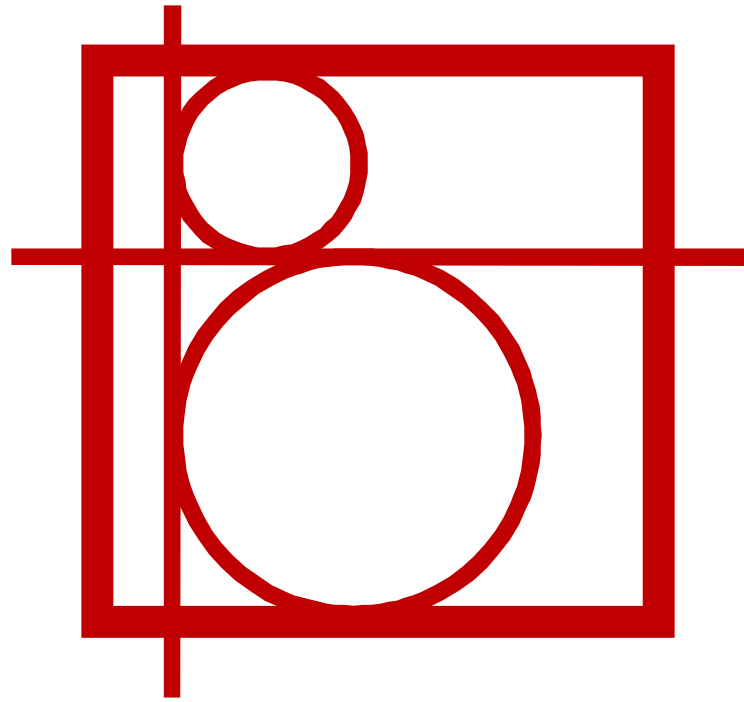
1 PEARL ROAD ELEVATION
A-1 SCALE: NTS











B R A N D T
ARCHITECTURE, LLC

19440 RIVERWOOD AVE.

ROCKY RIVER, OHIO 44116

440-865-1824

www.brandtarchitecture.com

Cleveland Landmarks Commission

Design Review



July 28, 2022



CITY OF CLEVELAND
Mayor Justin M. Bibb

Near West Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: South Branch Library, 3096 Scranton Road

Case Number: NW 2022-025

Meeting Date: 07/13/2022

Project Name: Flats on Pearl

Project Address: 3784 Pearl Road

Contact Person: Jill Brandt

Architect/Contractor: _____

General Description: New construction mixed use building on Pearl Road.

Motion by Design Review Committee:

Conceptual Approval

Approve: Gallagher, Gardin, Jurca, Rakauskas, Sandoval

Disapprove:

Abstain: Esposito

Non-Voting Members:

-
- bedrooms don't receive natural light, consider revising internal layout to improve this condition
 - clarify finished floor heights
 - detail glazing types and locations
 - confirm parking counts and clarify if a deck is needed, and how it impacts the ground floor retail
 - investigate green infrastructure possibilities

Cleveland Landmarks Commission

Administrative Reports



July 28, 2022

Cleveland Landmarks Commission

Adjournment



July 28, 2022