



Cleveland Landmarks Commission

Thursday, June 23, 2022

****PLEASE MUTE YOUR MICROPHONE****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

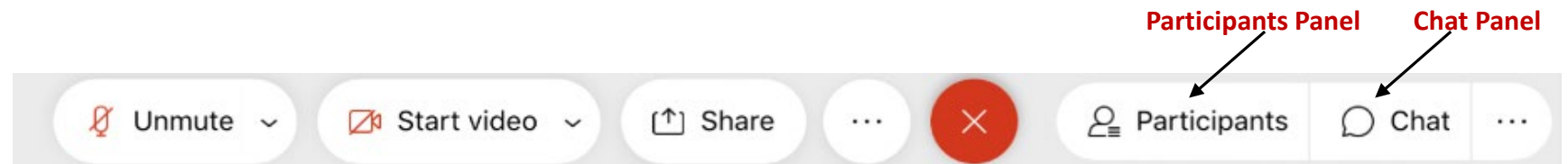
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING *6



June 23, 2022

Cleveland Landmarks Commission

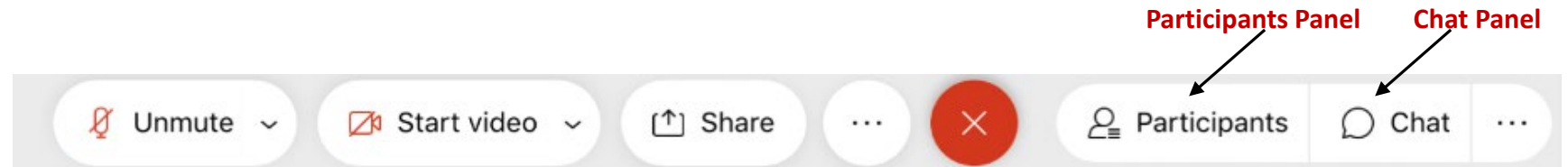
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



June 23, 2022

Cleveland Landmarks Commission

Call to Order & Roll Call



June 23, 2022

Cleveland Landmarks Commission

Certificates of Appropriateness



June 23, 2022



Case 22-045: Brooklyn Centre Historic District (Tabled 6/9/22)

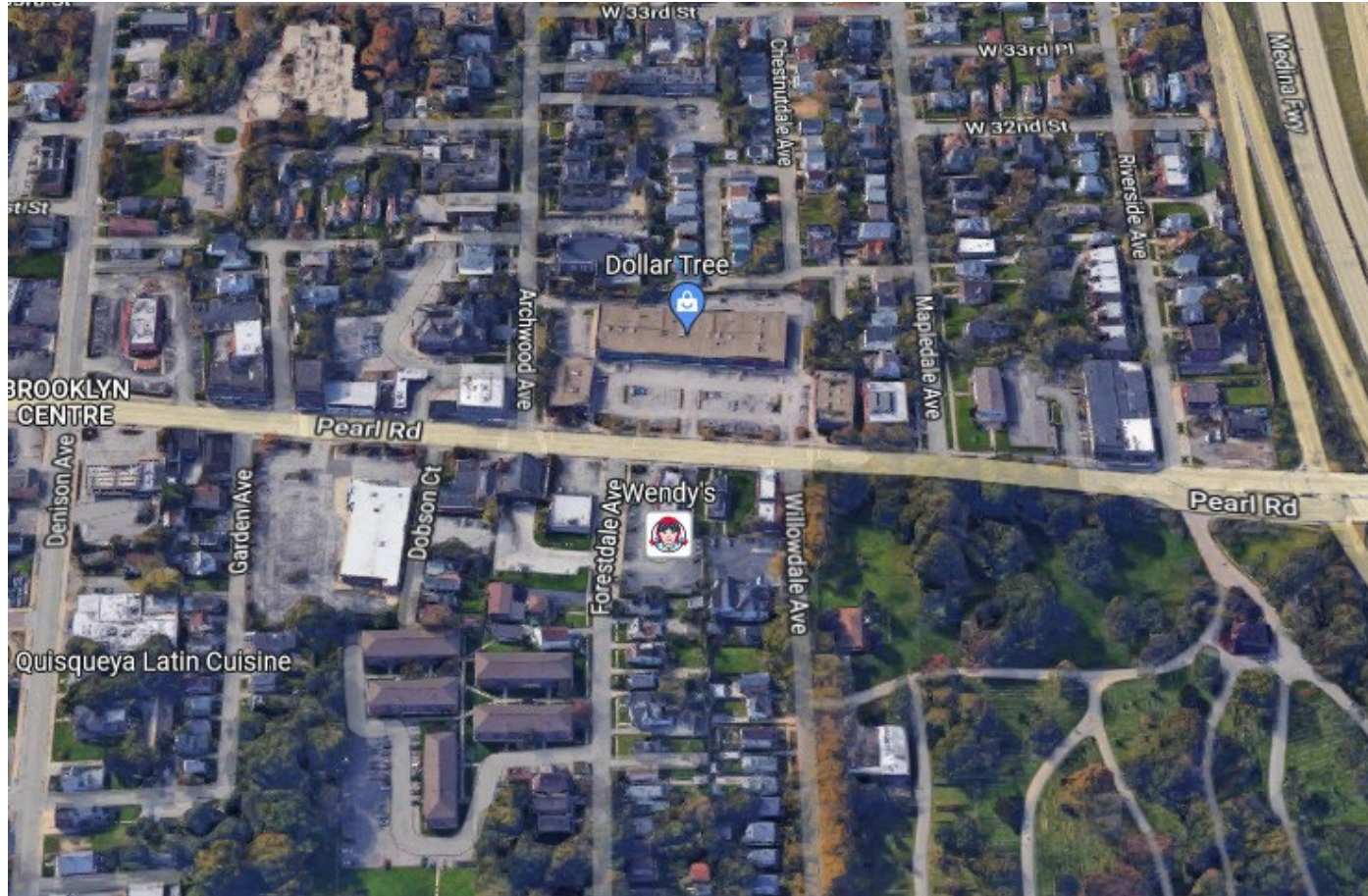
Shoppes on Pearl 3762 Pearl Road

Signs for Urgent Care and Health Express

Ward 14: Santana

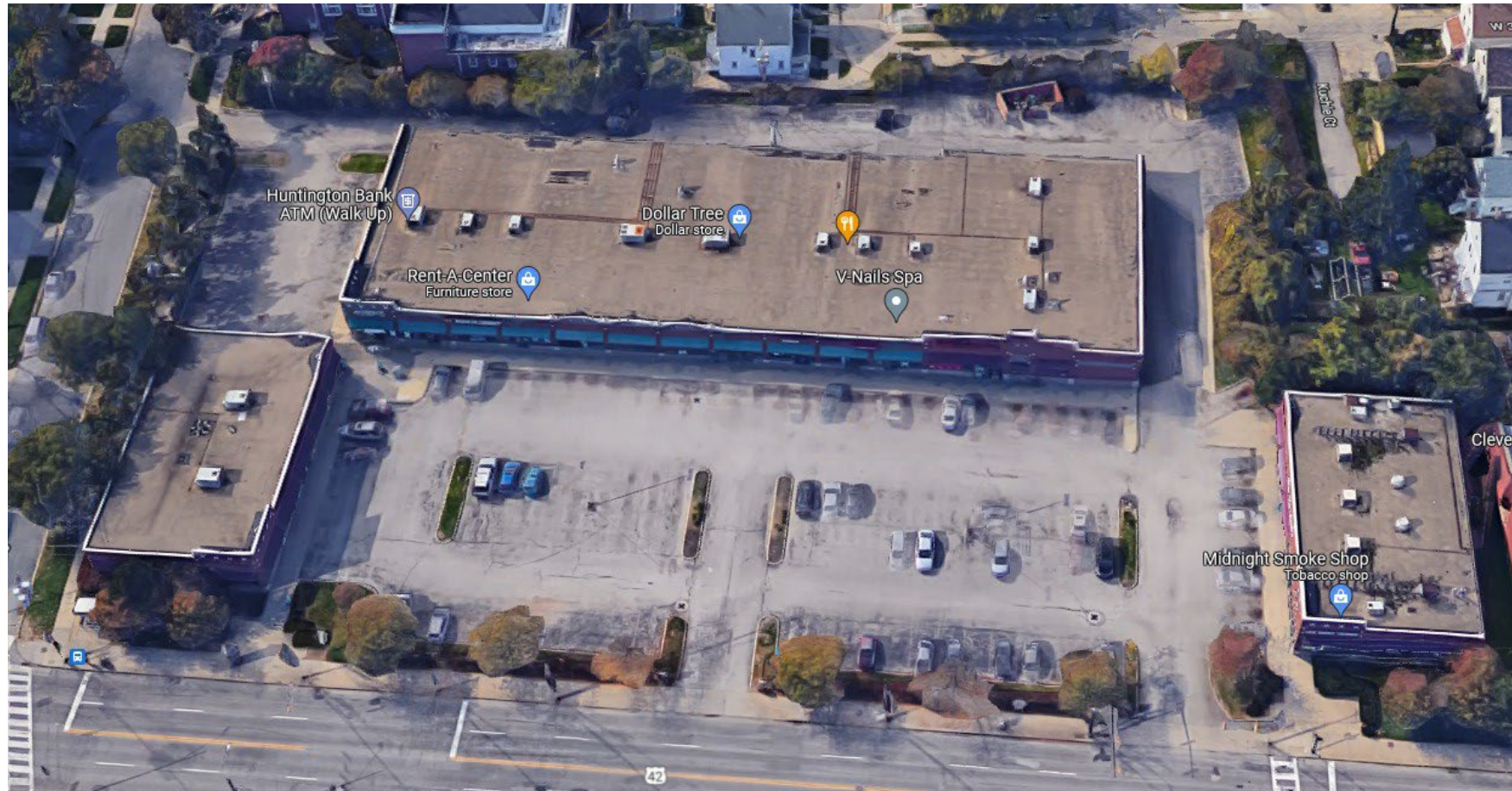
Project Representatives: Shadi Almikdad, Contractor, Neon & Signs

Neighborhood



N

Plaza



Plaza context

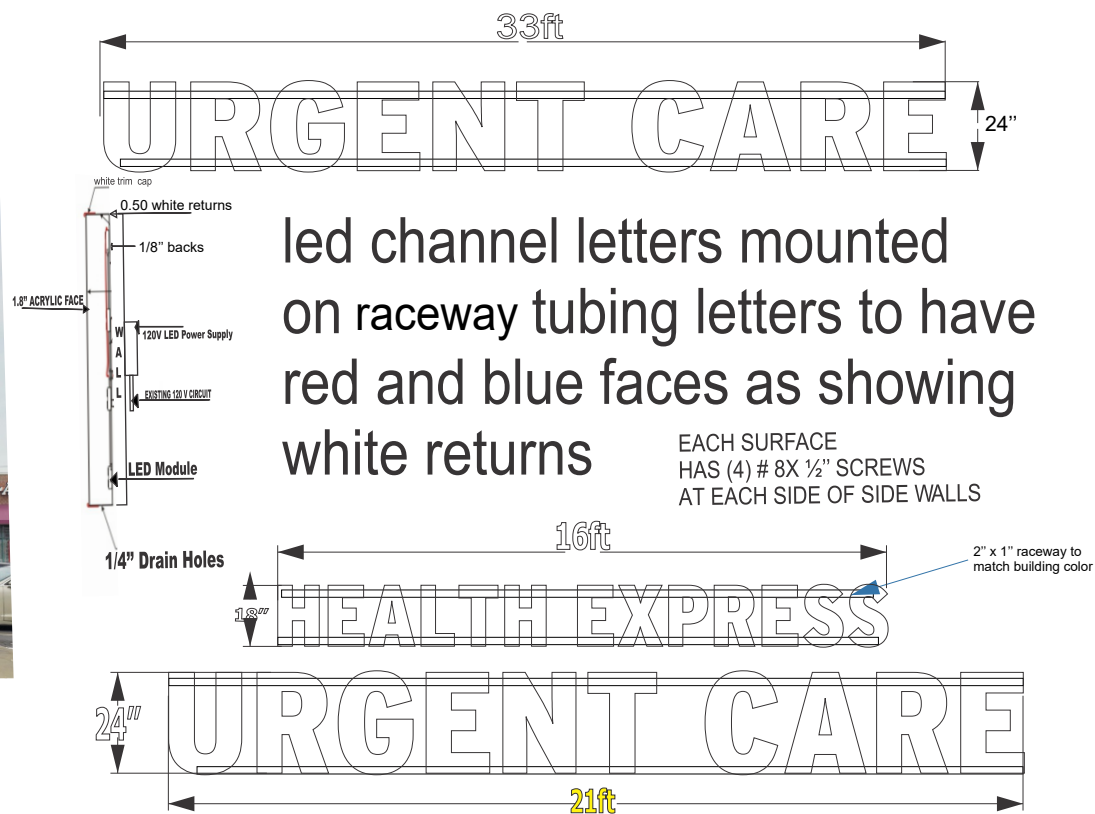


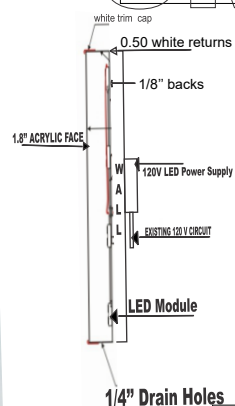
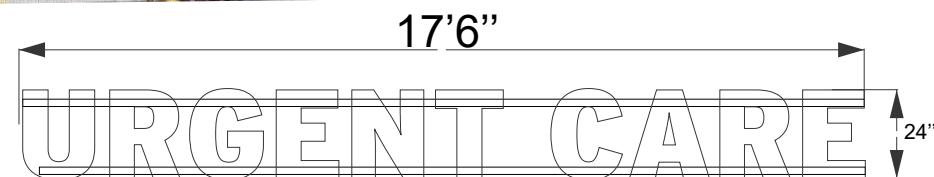
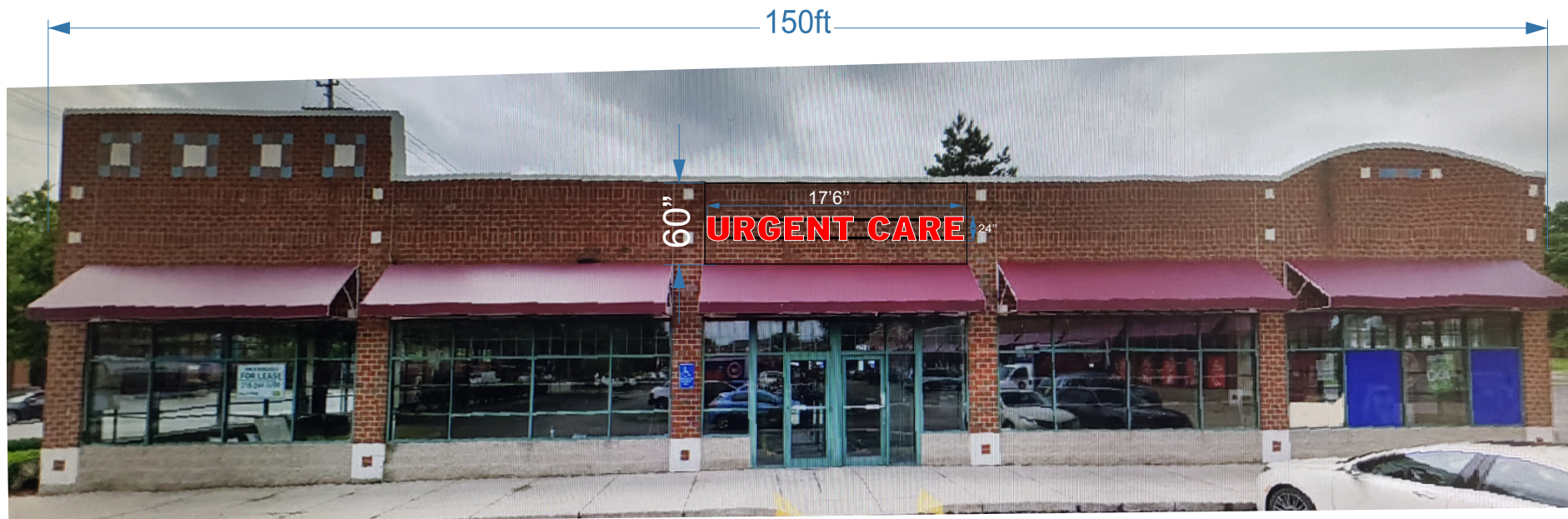
Plaza Context



Current Storefront

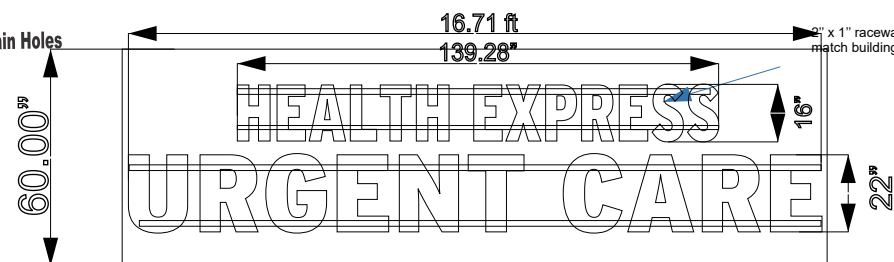






led channel letters mounted on raceway tubing letters to have red and blue faces as showing white returns

EACH SURFACE HAS (4) # 8X 1/2" SCREWS AT EACH SIDE OF SIDE WALLS



Brooklyn Centre

Tenant Building Sign Criteria

A. General Requirements

1. Prior to fabrication and installation of any signs, each tenant must submit detailed and dimensioned drawings (including graphic content, location, size, colors, construction, fastening details, and all electrical details) to Landlord for review and approval.
2. Signs shall be limited to letters designating the tenant's business name (or type of store) and the tenant's logo. Logos must be submitted in advance to Landlord for approval and must be compatible with these sign criteria.
3. The location, size, character, design, color, and layout of all signs must comply with these criteria and all applicable ordinances of the City of Cleveland. Signs must be fabricated and installed by a licensed sign installer approved in advance by the Landlord in compliance with local, state, and national codes governing sign installation. Each tenant must secure a sign permit from the City of Cleveland and provide a copy to Landlord prior to sign installation.
4. Each tenant is permitted one wall mounted (by use of "raceway") business sign for each storefront elevation. Any tenant occupying a corner unit with storefront facing two commercial streets is permitted a sign on each of the two faces of the store (facing the commercial streets) and the sign criteria shall apply individually to each of the two signs.

B. Sign Requirements

1. Tenant signs shall be placed on the masonry surface above the canopy over the covered sidewalk. Signs shall be mounted on a raceway(s), which shall be the sole means of attachment to the building.
2. Tenant signs shall be centered over the storefront; shall not have a sign face exceeding 100 square feet or 10% of the storefront area, whichever is less; and shall not be wider than 60% of the storefront length.
3. Letter height shall be 24-inches or less; the bottom of all signs shall be mounted 20 inches above the bottom of the masonry canopy over the covered sidewalk. No sign shall project more than 12 inches from the front of the canopy.
4. Signs shall not exceed maximum brightness of 100-foot lamberts.
5. The name, stamp, or other identification of the sign contractor/ sign company shall not be exposed to view.
6. One identification sign must be placed on the tenant's rear service door with 2" high white painted letters. This sign may only include then name and street address of tenant's business. This sign shall be in all capital letters and the letter style shall be "Helvetica Medium."
7. No flashing, moving, flickering, blinking illumination, floodlight illumination, noise-making, or animation is permitted. Back illuminated, halo effect letters and signs are prohibited. Box type signs or signs with formed plastic letters are prohibited.

C. Sign Specifications

1. These specifications establish minimum performance standards.
2. Raceway mounted, internally illuminated, and custom fabricated signs with individual letters and interior neon illumination. The frame of all letters shall be fabricated with aluminum.
3. Gauge of aluminum: .050
4. Minimum letter depth: 4 inches
5. Minimum letter stroke: 3 inches
6. Maximum raceway depth: 2 inches
7. Aluminum letter-frame finish: baked enamel, bronze, red, or white, with minimum 5-year guarantee.
8. Typography: each tenant may select letter style.
9. Face material and Color: The face of each letter will be made of STA-TUF. Color to be 120 Red or 600 white. The face of each letter to be attached to aluminum letter frame by continuous red, white, or bronze retainer.
10. All signs shall be constructed and installed according to UL Standards and bear UL label. Sign contractor to clarify to Landlord that construction and installation are consistent with UL standards.
11. Raceways shall not extend beyond the beginning and end of each separate word or logo on a sign.



Case 22-048: Lorain Avenue Historic District

4750 Lorain Avenue

Renovation

Ward 3: McCormack

Project Representatives: Tyler Brummett, Owner, Freeland Ventures

4750 LORAIN PROPERTY LLC

A wide-angle photograph of the Cleveland skyline, featuring several prominent skyscrapers like the Terminal Tower and the Key Tower. The city is situated behind a body of water, likely Lake Erie, with a rocky shoreline and some greenery in the foreground. The sky is a clear, pale blue with a few wispy clouds. In the bottom right corner, there are lush green trees that partially obscure the view of the water and city.

PROJECT NAME: 4750 Lorain Property LLC
PROJECT ADDRESS: 4750 Lorain Ave . Cleveland, Ohio 44102
CONTACT PERSON *(for design review):* Tyler Brummett
COMPANY: 4750 Lorain Property LLC
PHONE: **EMAIL:** Tbrummett@freelandventures.com
CELL: 440-983-1923
OWNER: Tyler Brummett (Entity 4750 Lorain Property LLC)

PROJECT SUMMARY AND BIO

Summary:

The primary goal for 4750 Lorain Property LLC project is to bring back a once vibrant historic building in one of Ohio Cities up and coming corner blocks. The plan is to improve the exterior appearance. To do so we will be replacing the store front windows and residential windows, doors, match the exterior brick around the entire property and match the neighboring property that is attached to the east of 4750 Lorain. Additionally, replace all the rotted and aged wood on the exterior cornice and turret with hardy board but matching the existing dimensions. Repairing and painting the turret's roof on the building back to its original black color.

Lastly, I will be moving my personal office to one of the commercial spots and will be operating my companies out of there.

The other unit plan would be for a coffee shop, brokerage, office space, speakeasy, bank or retail.

Location: corner of Lorain and w 48th

Project approval: Exterior updating only

Units: 2 storefront commercial units

Parking: 10 (front, side and rear)

Commercial store front Sq Ft: approx. 3,000



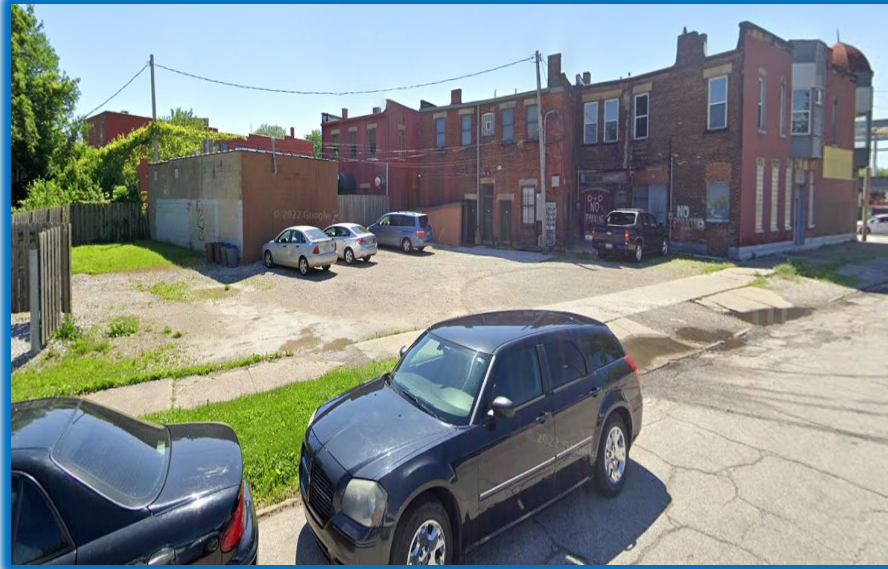
SITE CONTEXT PLAN PAGE I



SITE CONTEXT PLAN PAGE 2



Rear of the property



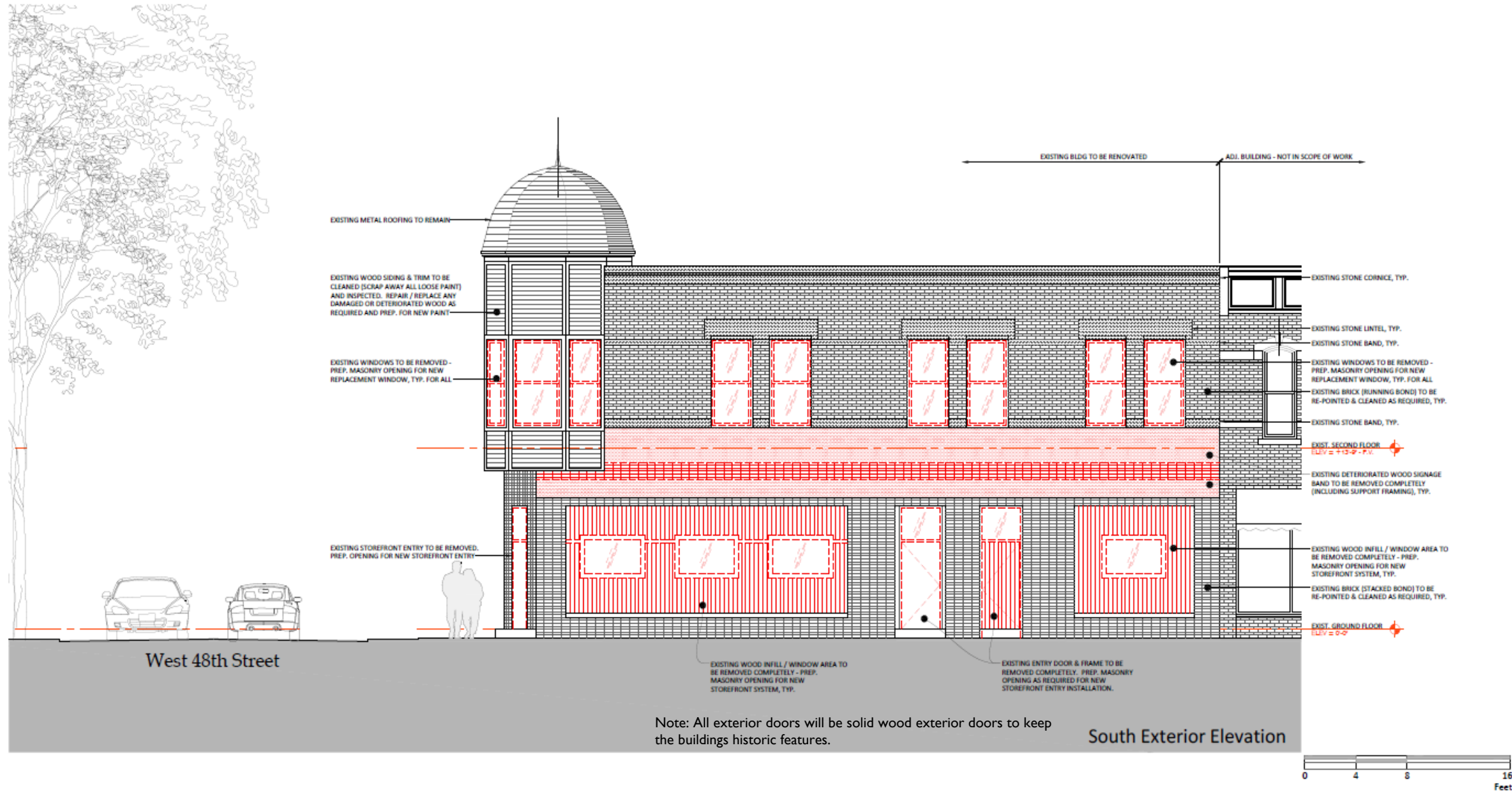
Lorain Ave side of the property

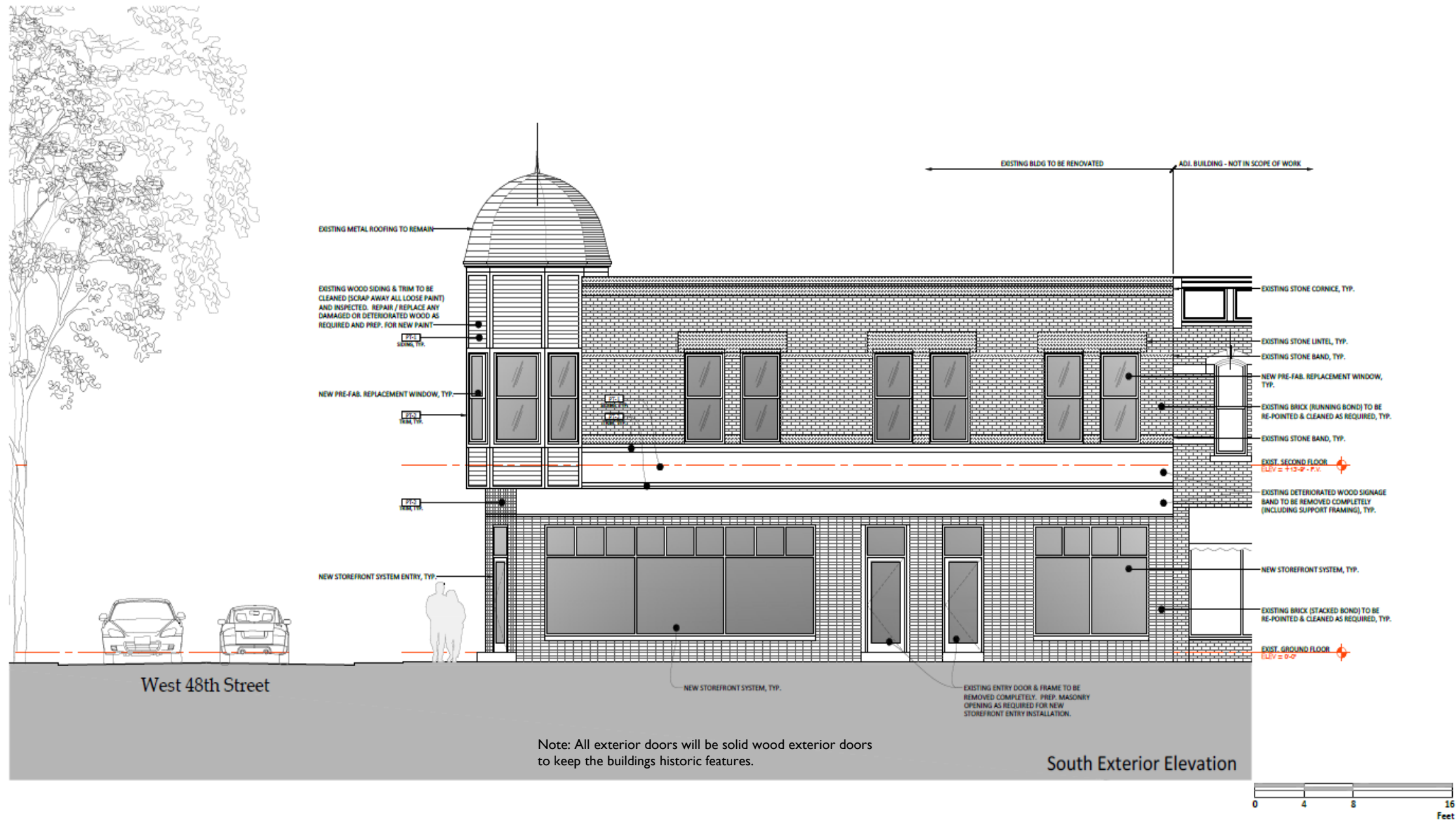


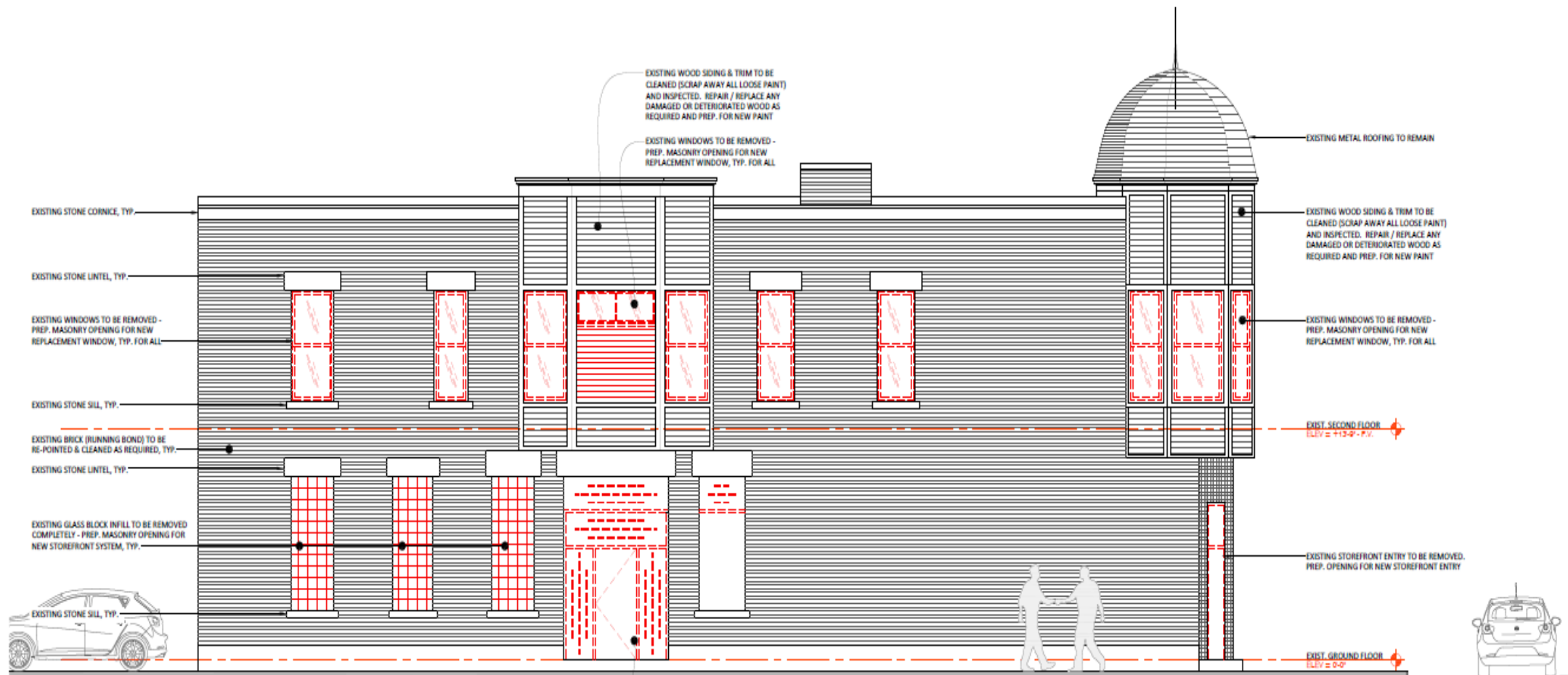
EXISTING CONDITION PLAN

W 48th/ Corner block of the property





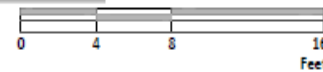




NOTE: Windows will be double hung and fill up the entire gap of the window frame

Note: All exterior doors will be solid wood exterior doors to keep the buildings historic features.

West Exterior Elevation





A horizontal number line with tick marks at 0, 4, 8, and 16. The word "Feet" is written below the 16 mark.



NOTE: Windows will be double hung and fill up the entire gap of the window frame.

Note: All exterior doors will be solid wood exterior doors to keep the buildings historic features.

Final Design for Approval:

City of Cleveland Storefront Renovation Program Designs & Color Schemes – Updated 4.27.22

Project Address: 4750 Lorain Property LLC (Ward 3) Applicant Name: Tyler Brummett



FINAL DESIGN FOR APPROVAL:

CITY OF CLEVELAND STOREFRONT RENOVATION PROGRAM
DESIGNS & COLOR SCHEMES – UPDATED 4.27.22

PROJECT ADDRESS: 4750 LORAIN PROPERTY LLC (WARD 3)

APPLICANT NAME: TYLER BRUMMETT

	<div>Westchester Gray</div> <div>Interior / Exterior</div> <div>*in preservation color palette</div>	<div>Chelsea Gray</div> <div>Interior / Exterior</div> <div>*in preservation color palette</div>
<div>Scheme 2</div>	<div>SW 2849</div> <div>Westchester Gray</div> <div>Interior / Exterior</div> <div>*preferred; in preservation color palette</div>	<div>SW 2814</div> <div>Rookwood Antique Gold</div> <div>Interior / Exterior</div> <div>*preferred; in preservation color palette</div>
<div>Scheme 3</div>	<div>SW 7069</div> <div>Iron Ore</div> <div>Interior / Exterior</div> <div>Location Number: 251-C7</div>	<div>SW 7066</div> <div>Gray Matters</div> <div>Interior / Exterior</div> <div>Location Number: 236-C3</div>
<div>Scheme 4</div>	<div>SW 6258</div>	<div>SW 6255</div>

FINAL DESIGN FOR APPROVAL:

CITY OF CLEVELAND STOREFRONT
RENOVATION PROGRAM DESIGNS & COLOR
SCHEMES – UPDATED 4.27.22

PROJECT ADDRESS: 4750 LORAIN PROPERTY
LLC (WARD 3)

APPLICANT NAME: TYLER BRUMMETT



CLEVELAND **DRAW**ARCHITECTURE
FREELAND VENTURES
48th Street

Lorain Building - Residential Feasibility Study
4750 Lorain | Lakewood, Ohio 44102

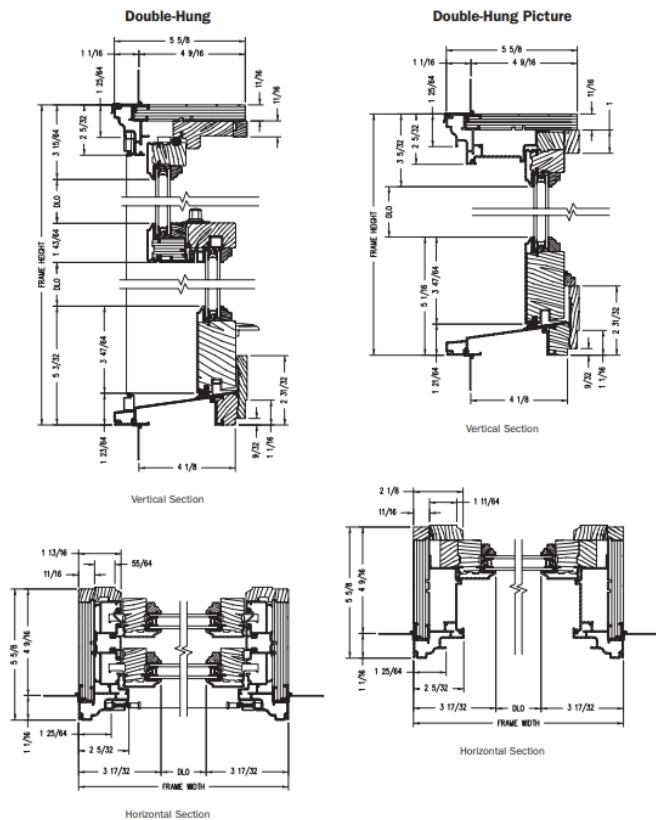
Proposed Elevation
June 5, 2022

A close-up, horizontal view of a wooden floor made of light-colored planks with visible grain and knots. The planks are arranged in a parallel pattern, and the lighting highlights the natural texture and color variations of the wood.

E-SERIES DOUBLE-HUNG & SINGLE-HUNG WINDOWS



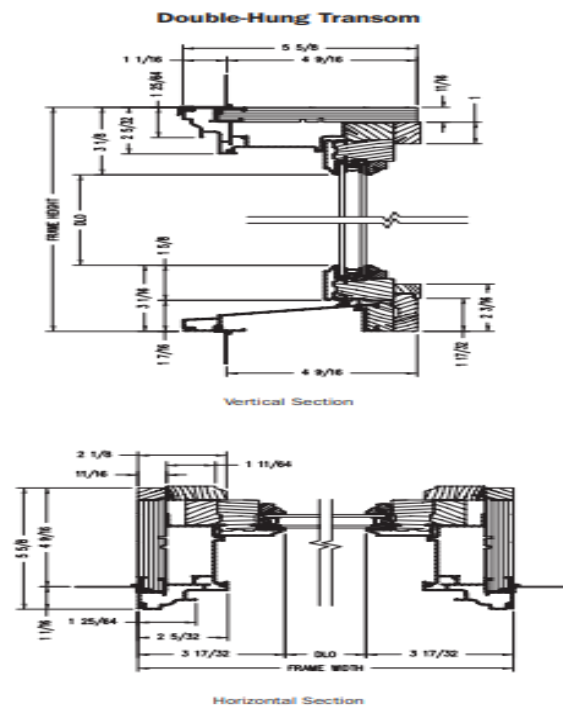
Double-Hung Windows



E-SERIES DOUBLE-HUNG & SINGLE-HUNG WINDOWS



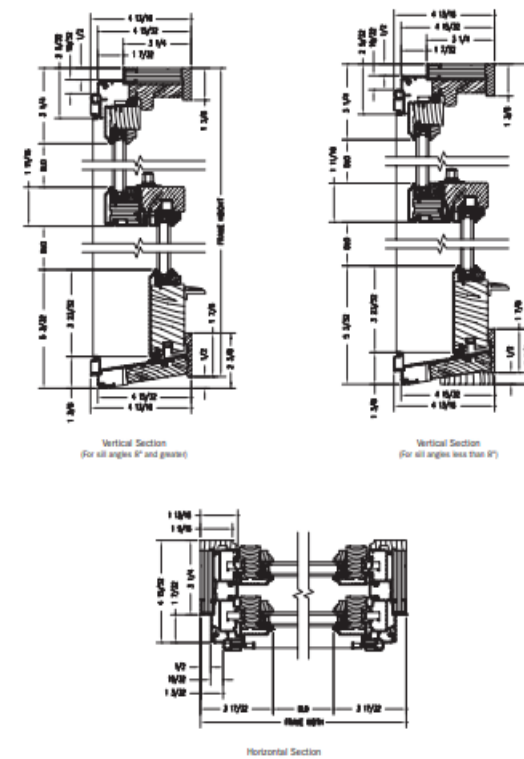
Double-Hung Windows



E-SERIES DOUBLE-HUNG & SINGLE-HUNG WINDOWS



Double-Hung Insert Windows



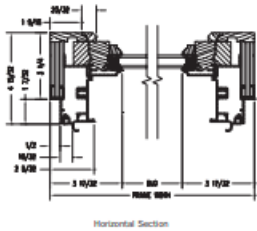
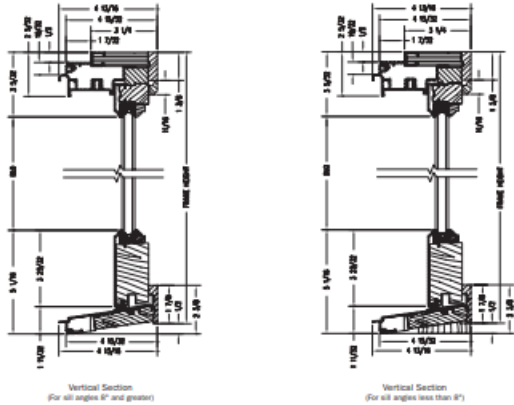
Shown with oval (colonial) glass stops.

A close-up, horizontal view of a wooden floor made of light-colored planks with visible grain and knots. The planks are arranged in a parallel pattern, and the lighting highlights the natural texture and color variations of the wood.

E-SERIES DOUBLE-HUNG & SINGLE-HUNG WINDOWS



Double-Hung Picture Insert Windows



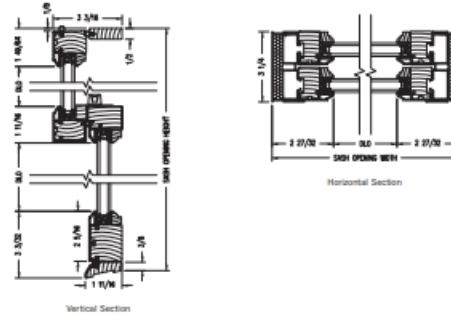
Shown with oval (colonial) glass stops.

E-SERIES DOUBLE-HUNG & SINGLE-HUNG WINDOWS

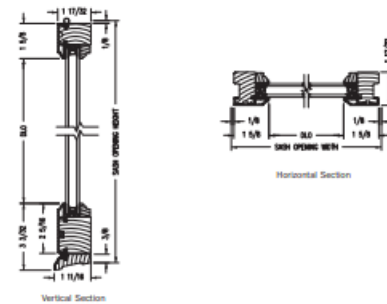


Double-Hung Sash Replacement Kits

Double-Hung Sash Replacement



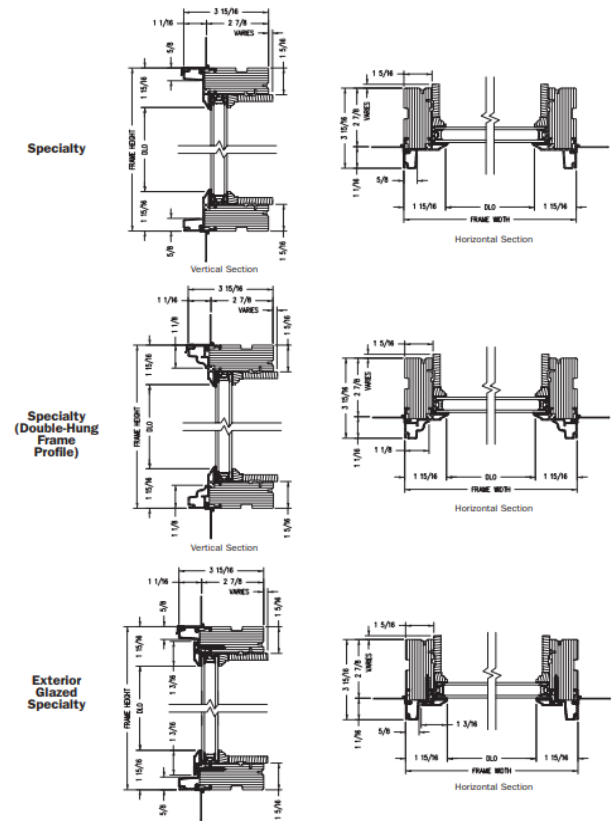
Double-Hung Picture Sash Replacement

[illegible]

E-SERIES SPECIALTY WINDOWS



Specialty Windows





E-SERIES

Architectural Collection



2020 PRODUCT GUIDE FOR PROFESSIONALS

Window Type and Color

MADE STRONG

Aluminum is a distinguishing element that enables us to offer the strength, beauty and design freedom for which E-Series products are known. Through decades of innovation, we have elevated the extruded aluminum-clad window and patio door category and perfected a made-to-order process that is unsurpassed.

STRENGTH

We harness the full strength of aluminum with heavy gauge, extruded aluminum-clad wood sash and frames. Our thick cladding offers greater structural capabilities than thinner, roll-form aluminum, while providing a superior exterior finish that resists the elements of inclement weather, abrasion and impact.

BEAUTY

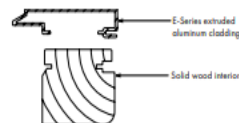
Aluminum offers a smooth finish and versatility in design that enables us to create windows and doors with distinctive character and unparalleled beauty. It provides an essential foundation for our quality, baked-on silicone polyester finish, and it enables us to offer a broad array of unique accessory metals to create or recreate the architectural style you need. And beauty doesn't stop on the outside — we give you the design freedom you need to create a look of distinction both inside and out.

VERSATILITY

Aluminum's strength and versatility allow us to offer beautiful made-to-order design solutions for practically any combination of shapes and styles you can imagine. We offer dozens of exterior accessory metals to match any architectural style, and our colorful 2-, 3- and 4-tone exteriors truly broaden your creative palette.

DURABILITY

Our aluminum cladding withstands nature's toughest elements — the extrusions slide onto the wood and are secured independently, allowing both wood and aluminum to expand and contract naturally. Our products are engineered to open, close, support, swing or slide reliably day after day.



A solid wood core and extruded aluminum cladding give E-Series windows both strength and flexibility in many design applications.



50 EXTERIOR COLORS

Our exclusive line of exterior colors offers a broad spectrum of quality, baked-on, silicone polyester enamel exteriors that meet AAMA 2604 specification. AAMA 2605 color compliance is also available.* Our limited warranty covers exteriors for 10 years against chalking and color change and 20 years against cracking, checking, peeling, flaking, blistering and loss of adhesion.**

EXTERIOR COLORS



7 ANODIZED FINISHES

Choose from a spectacular selection of anodized finishes. Anodizing is a process that penetrates the aluminum like a stain penetrates wood. The result is a rich, lustrous metallic appearance that cannot peel or flake and is not affected by sunlight. This process produces a harder, more durable finish that makes this a perfect choice for high-traffic areas in commercial or residential buildings.



Hardy Board Dimension

Note: Matching Existing size 4 inch



This has a 4" reveal that matches 4750 Lorain



Exterior brick cleaning

All exterior cleaning/power will be done by environmentally friendly supplies.

To the right is the Safety Data Sheet for the masonry cleaner. Full 9 page packet is provided in the email with this power point.

SAFETY DATA SHEET

Issuing Date 24-Nov-2014 Revision date 18-Jun-2018

PROSOCO
Revision Number 2

1. IDENTIFICATION OF THE SUBSTANCE/PREPARATION AND OF THE COMPANY/UNDERTAKING

Product identifier
Product Name Sure Klean® Heavy Duty Restoration Cleaner NE

Other means of identification
Product Code(s) 20033
UN number UN2922

Recommended use of the chemical and restrictions on use
Recommended use Restricted to professional users.
Uses advised against No information available

Details of the supplier of the safety data sheet
Manufacturer Address
PROSOCO, Inc.
3741 Greenway Circle
Lawrence, Kansas 66046
Emergency telephone number
8:00 AM – 5:00 PM CST Monday-Friday 785-865-4200
NON-BUSINESS HOURS (INFOTRAC) 800-535-5053

Distributed By:
The Chase, E. Phipps Company
Cleveland 1-800-362-9267
Canton 1-877-258-7601
Toledo 1-800-860-3352
www.chasephipps.com

2. HAZARDS IDENTIFICATION

Classification

Acute toxicity - Oral	Category 2
Acute toxicity - Dermal	Category 1
Acute toxicity - Inhalation (Gases)	Category 4
Acute toxicity - Inhalation (Dusts/Mists)	Category 2
Skin corrosion/irritation	Category 1 Sub-category B
Serious eye damage/eye irritation	Category 1


Label elements

Emergency Overview

Danger

Burns from this product may not be immediately painful or evident. Exposures require fluoride specific treatment

Hazard statements
Fatal if swallowed, in contact with skin or if inhaled
Causes severe skin burns and eye damage



Appearance clear **Physical state** Liquid **Odor** Irritating

Exterior Brick Color and Brand

1. Exterior brick paint will be light red to match connected building to the right.
2. Paint is from Sherwin Williams
3. Paint code is SW 6327 Bold Brick



Selected color below



SW 6327
Bold Brick
Interior / Exterior
Location Number: 114-C6

114

Bold Brick

SW 0006
Tote Red
Trusted Collections: Historic

SW 6327
Bold Brick
ColorSnap Studio
Locator Number: 114-C6

SW 6333
Foxy
ColorSnap Studio
Locator Number: 115-C6

SW 7098
Sierra Redwood
ColorSnap Studio
Locator Number: 125-C7



SHERWIN-WILLIAMS

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color stand, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

UPDATES FROM CONCEPTUAL MEETING

1. The brick on the exterior is solid brick and not a brick cover. The brick is in good condition and was stained blonde sometime in the mid 1900's. The brick will be stained light red through the entire building. The color will match the property to the east attached.
2. The turret roof seems to be in good shape and currently not leaking. We will be keeping existing and making maintenance to it to increase the longevity. We will be using a black paint designed for metal roofs to bring it back to its original color.
3. Exterior power wash cleaning is being handle by PD service which uses environmental cleaning supplies for historic properties. Details on this is provided on its own slide.
4. All permits have been filed for the property. Please review.

Cleveland Landmarks Commission

Design Review



June 23, 2022

**Ohio City Historic District
Design Review Committee
(Advisory committee to the [Landmarks Commission](#))
Certificate of Appropriateness Review**

Date: 06-17-22

File Number:

Building / Project Name: 4750 Lorain Ave

Property Address: 4750 Lorain Ave **Parcel #:**

Property Owner:

Presenters: Tyler Brummett

Historic Designation: ☐ Not Designated ☒ Local Landmarks District ☐ Landmark Building

Specifications of work proposed:

Façade Renovation – Final Approval

Recommendations of Design Review Committee:

Approved with conditions: Wooden entry doors on 4 exterior doors instead of aluminum doors. Adding either taller double hung windows or transoms to the western façade windows at both levels.

Notes/Comments:

Added full window on side bay updated from previous. Brick will be cleaned and repainted to match next door building. Removing glass block windows on west side of building. Installing aluminum clad black windows. Committee wants windows on west façade to match front façade and restore to full original height. Would prefer that it is tall double hung window, but transom would also be acceptable. Wood doors instead of aluminum storefront doors preferred by committee. 4 inch Hardie board is replacing existing wood on turret and front stripe. Antonia Marinucci noted that the proposed Andersen 400 Series windows are not offered in aluminum material.

Design Review Committee Record:

Alex Frondorf	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Antonia Marinucci	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Doug Wahl	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Margaret Lann	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Chris Loeser	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain
Marika Shiori-Clark	<input type="checkbox"/> Not Present	<input checked="" type="checkbox"/> In-Favor	<input type="checkbox"/> Opposed	<input type="checkbox"/> Table	<input type="checkbox"/> Abstain

Required to present at Cleveland Landmarks Commission? ☐ Yes ☐ No **Date:** na

Cleveland Landmarks Commission

Concept Plan



June 23, 2022



Case 22-049: Cleveland Cultural Gardens

Pakistani Garden 1220 Martin Luther King, Jr. Drive

New Garden Plan

Ward 9: Conwell

Project Representatives: Thomas F. Zarfoss, Behnke Landscape Architecture; Syed Abbas, Qaisra Haider, Pakistani Garden; Lori Ashyk, Cleveland Cultural Gardens Federation



City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F:

216/664-3281

www.planning.clevelandohio.gov

Planning Commission/Design Review Application

DATE: JUNE 14 2022

PROJECT NAME: PAKISTANI CULTURAL GARDEN

PROJECT ADDRESS:

PROJECT LOCATION (if no address): ROCKEFELLER PARK

CONTACT PERSON (for design review): THOMAS F. ZARFOSS

COMPANY: BEHNKE LANDSCAPE ARCHITECTURE

PHONE: 216 469 2185 EMAIL: TZARFOSS@BEHNKE LA.COM

OWNER: CITY OF CLEVELAND

ARCHITECT/ CONTRACTOR: BEHNKE LANDSCAPE ARCHITECTURE

PROJECT TYPE: ☐ New Building ☐ Rehabilitation ☐ Addition ☐ Sign ☐ Fence ☐ Parking

USE TYPE: ☐ Residential ☐ Commercial ☐ Industrial ☐ Institutional ☐ Mixed-Use

Review Level: ☐ Storefront ☐ Conceptual ☒ Schematic Design ☐ Final Design Development
MASTER PLAN

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project.

Thomas F. Zarfoss 6/14/22

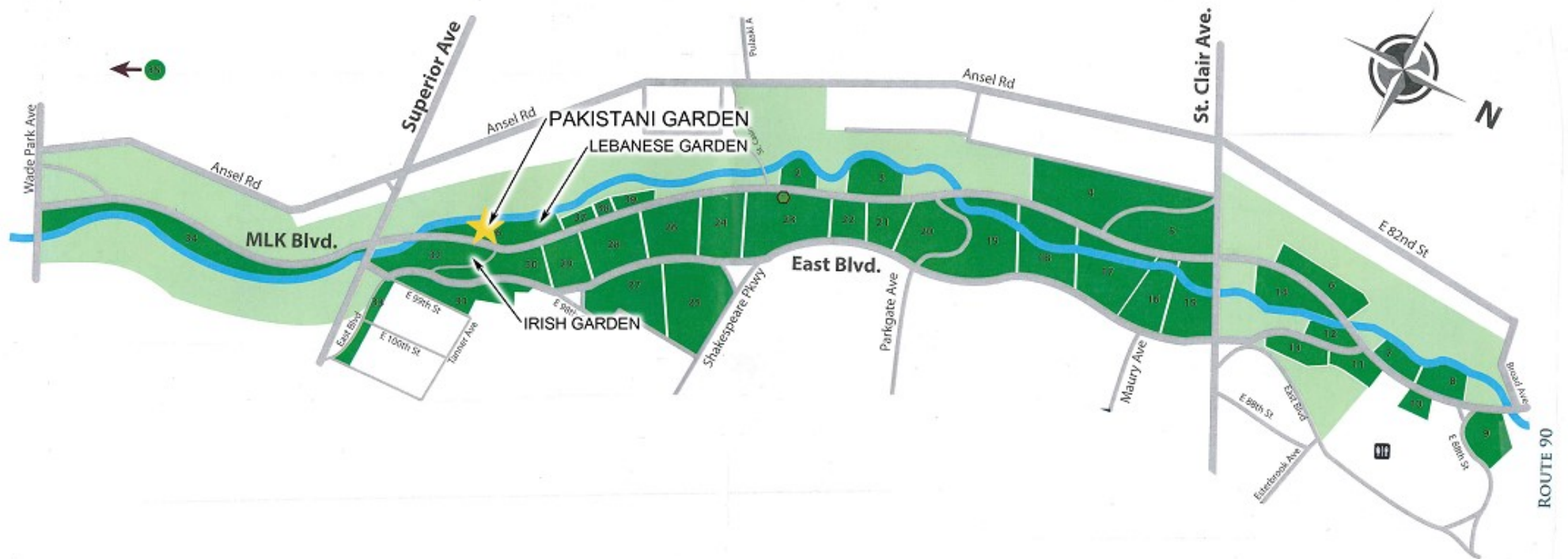
Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Pakistani Cultural Garden Location Map

Behnke Landscape Architecture
June 2022

List of Gardens (Clockwise from Kiosk) *Proposed Gardens (as of 2019)

2 Latvian	12 Azerbaijani	22 Lithuanian	32 Irish
3 Ukrainian	13 Turkish	23 German	33 Peace Garden of the Nations
4 African-American	14 Native American*	24 Hungarian	34 Ethiopian
5 Romanian	15 Polish	25 British	35 To Chinese Garden
6 Serbian	16 Slovenian	26 Croatian	36 Lebanese
7 Russian	17 Czech	27 Scottish*	37 India
8 Korean*	18 Rusin	28 Hebrew	38 Finnish
9 Albanian	19 Slovak	29 Syrian	39 Estonian
10 Vietnamese*	20 Italian	30 American	40 Pakistani*
11 Armenian	21 Greek	31 American Legion Peace - States	

Pakistani Cultural Garden

Concept Master Plan Narrative

6/22

The Pakistani Cultural Garden will celebrate Pakistan in a beautiful, garden setting.

The center of the garden is a Plaza will be a welcoming and gathering space. I will also be the setting for an artist's interpretation of the Minar-e-Pakistan. See attached photo. It will include interpretive materials that will educate, by sharing the historical, cultural, biological, and economic diversity of Pakistan. QR codes will provide a link to a website that will provide more detailed information.

The plaza floor will be constructed of pavers, and, or colored, stamped concrete. The plaza is surrounded by a seating and plantings.

To the north of the plaza there is a stepped seat wall built into a mound that serves as a small amphitheater.

To the south there is a more intimate seating area for small groups.

The design is intended to require minimal maintenance. Trees and grass except for the plantings that surround the plaza and the intimate seating area.

Everything in the garden will be handicapped accessible. There are no steps or excessive grade changes.

Phase I includes the central plaza and the area to the amphitheater to the north. The Minar and the area to the south is in future phases. The Phase I budget is approximately \$200,000 and construction is expected to begin late summer or early fall of 2022.



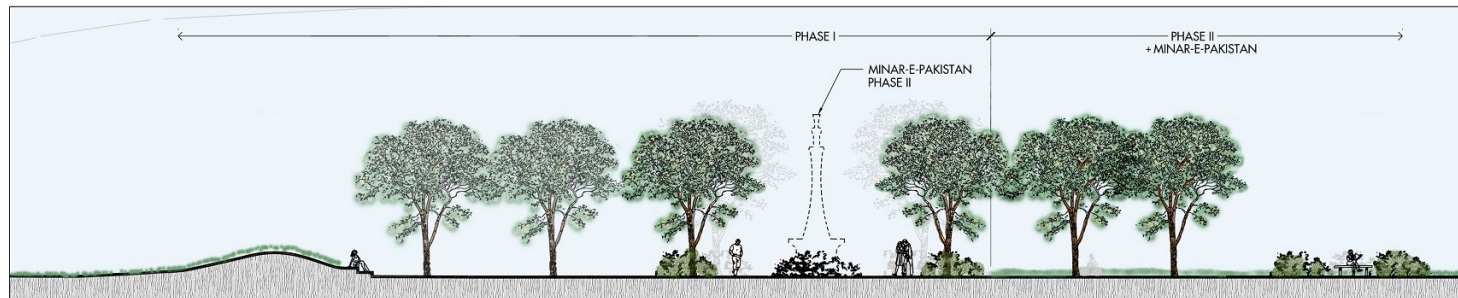
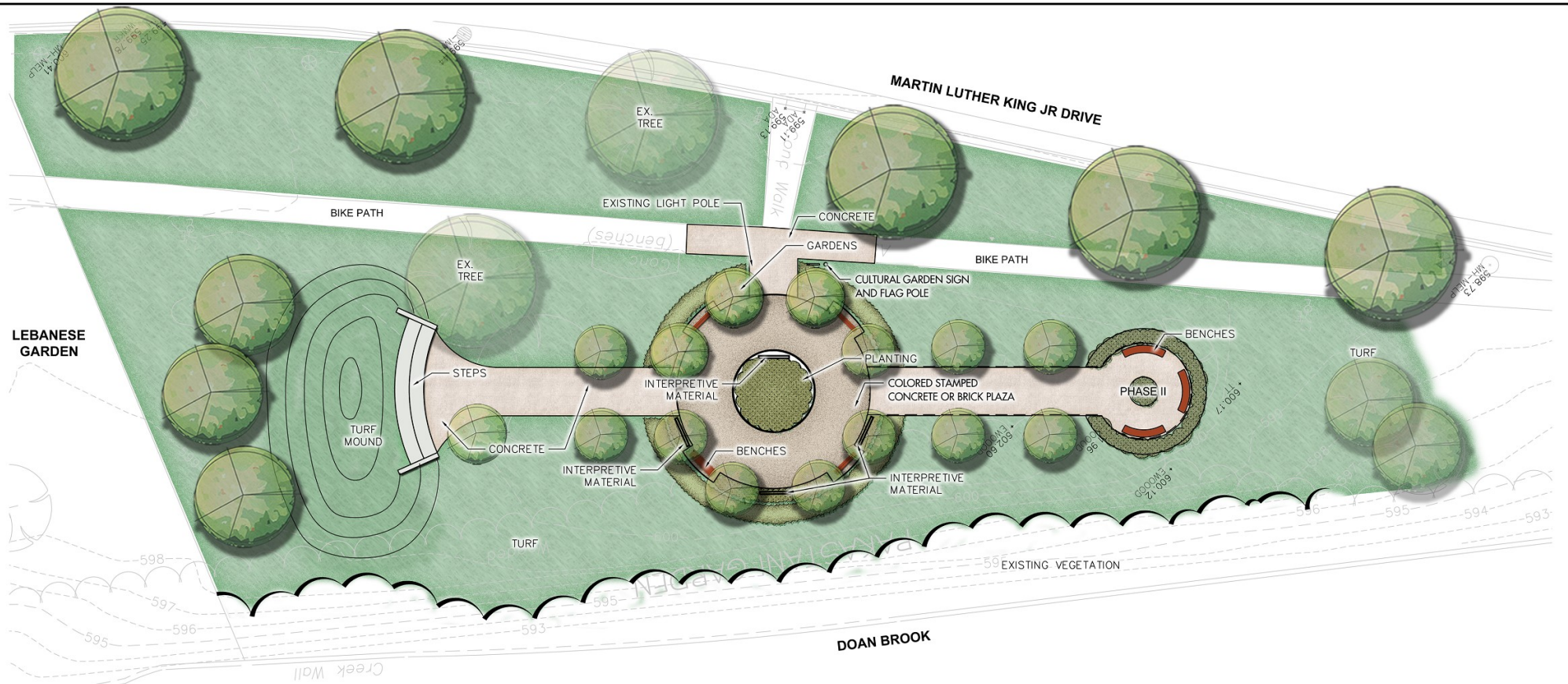


Google Earth

© 2022 Google

4.84 ft











THE CLEVELAND CULTURAL GARDENS FEDERATION

First Garden Dedicated in 1916

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Mr. Don Petit
Landmarks Commission
City of Cleveland
601 Lakeside Ave.
Cleveland, Ohio 44114

Members of the Landmarks Commission:

June 17, 2022

The executive board of the Cleveland Cultural Gardens Federation approved the conceptual design plans for the Pakistani Cultural Gardens at its Oct. 18, 2021, meeting. This followed the recommendation of the board's Design and Preservation Committee, which approved the design on Oct. 6, 2021.

The CCGF supports approval of these design plans. We congratulate the members of the Pakistani community for bringing the plans to fruition. We wish them the best of luck.

Sincerely,

Lori Ashyk
Executive Director
Cleveland Cultural Gardens Federation
216-2220-3075

*AFRICAN AMERICAN * AMERICAN * PEACE GARDEN OF THE NATIONS * ALBANIAN * ARMENIAN * AZERBAIJANI * BRITISH
CHINESE * COLOMBIAN * CROATIAN * CZECH * EGYPTIAN * ESTONIAN * ETHIOPIAN * FINNISH * FRENCH * GERMAN
GREEK * HEBREW * HUNGARIAN * INDIAN * IRISH * ITALIAN * KOREAN * LATVIAN * LEBANESE * LITHUANIAN * NATIVE-
AMERICAN * PAKISTANI * POLISH * ROMANIAN * RUSIN * RUSSIAN * SCOTTISH * SERBIAN * SLOVAK * SLOVENIAN
SYRIAN * TURKISH * UKRAINIAN * VIETNAMESE*

The Cleveland Cultural Gardens Federation, 10823 Magnolia Dr., Cleveland, OH 44106 Tel: 216-220-3075.

www.clevelandculturalgardens.org



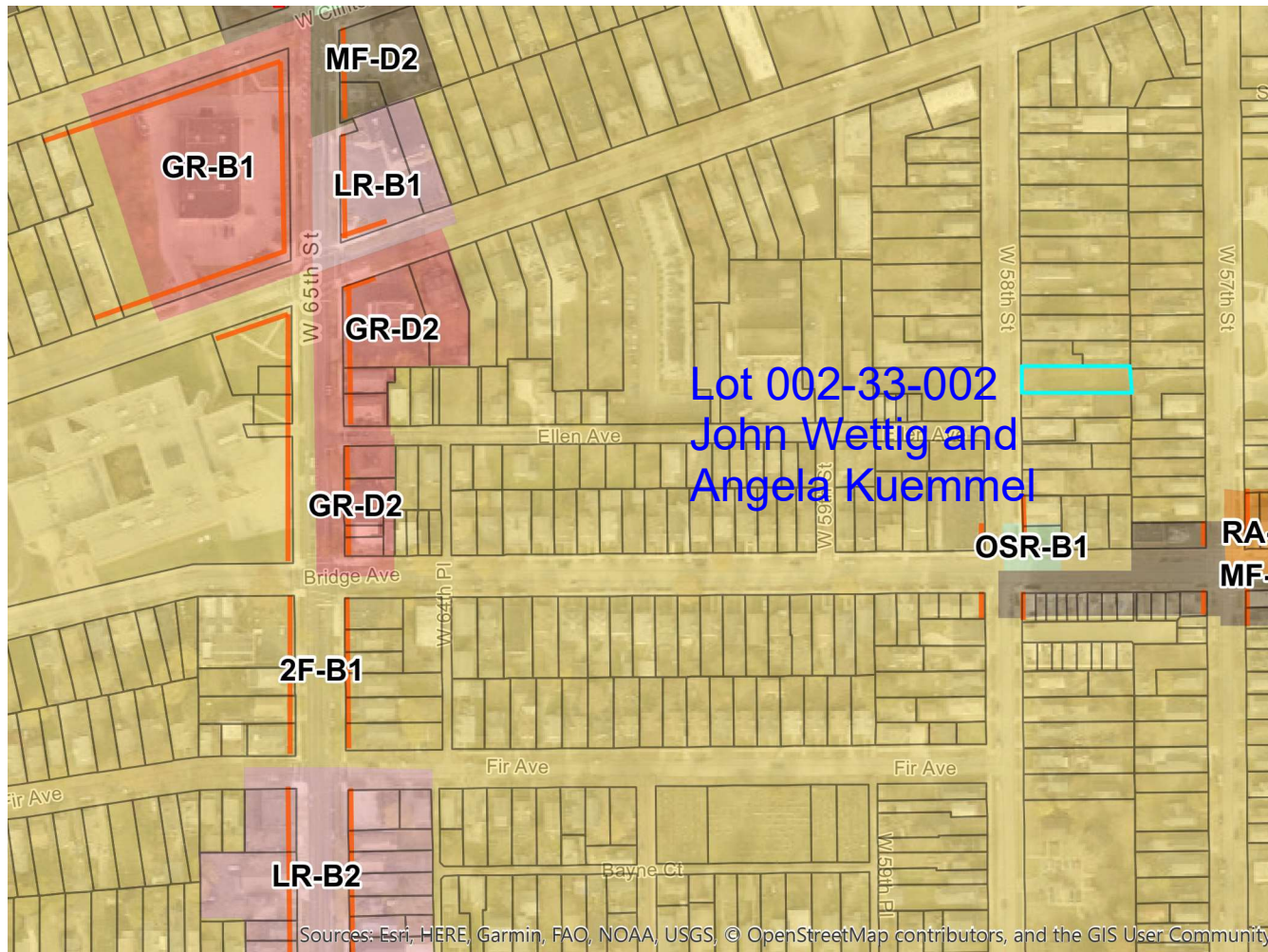
Case 22-050: Franklin-West Clinton Historic District

Wettig-Kuemmel Residence 1483 West 58th Street

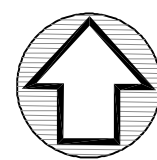
New Single-Family House Construction

Ward 15: Spencer

Project Representatives: John Wettig, Angela Kuemmel, Owners; Kathy Webb,
Diyanni Custom Homes

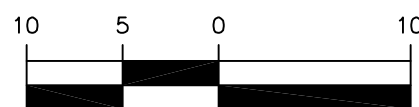


FRANKLIN AVE.
N.W. 66'



NORTH

GRAPHIC SCALE



(IN FEET)

1 INCH = 10 FT.

MAY 17, 2022

SEWER WORK NOTE:

THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF WATER POLLUTION CONTROL, PRIOR TO PERFORMING THE SEWER WORK. (216) 664-2513.

SEWER MATERIAL OPTIONS:

OUTSIDE OF RIGHT OF WAY
PVC (707.45) or HDPE (707.33)

IN THE CITY RIGHT OF WAY, INCLUDING TEST TEE
VITRIFIED CLAY PIPE (VCP) WITH PREMIUM JOINTS

PIPE MATERIAL MUST MEET OR EXCEED ANSI/AWWA STANDARDS.

CITY SEWER CONNECTION RECORD:

WEST 58th ST. W.P.C. - BOOK 1, PG. 315

BENCH MARK:

BENCH MARK: TOP OF HYDRANT
EAST SIDE OF W. 58th ST., FRONT OF H.N. 1841
ELEVATION = **682.91**

NOTES:

XXXX* PROPOSED GRADE
XXXX EXISTING ELEVATION
XXXX EX. CONTOUR
XXXX PROP. CONTOUR

BMP LEGEND

SF SILT FENCE or SILT SOCK
CE CONSTRUCTION ENTRANCE

SITE IMPROVEMENT PLAN

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being Sublot 32 in Charles G. Sommer and William B. Winterton's Subdivision of part of Original Brooklyn Township Lot Nos. 49 and 50 as shown by the recorded plat in Volume 2 of Maps, Page 41 of Cuyahoga County Records.

Deed Reference: P.P.Nos. 002-33-002
AFN 202107130458

Site Address: 1843 West 58th Street

For: The Wettig / Kuemmel Residence

Builder: Diyanni Custom Homes
1537 Brice Road
Reynoldsburg, Ohio 43068
Phone: 614-886-3318

P.P.N. 002-33-003
S/L 31 (PART)
MATTHW COATES
AFN 200809260520
1839 W. 58th ST.

P.P.N. 002-33-002

S/L 32
6,763 SQ. FT.
0.1553 Ac.

LEGEND:

○	5/8" Iron Pin Fd.
⊙	Mag Nail Fd.
●	Manhole
⊕	Hydrant
⊕	Power Pole

NOTES:

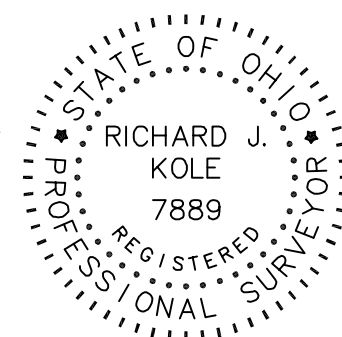
- SEWER DEPTHS TO BE VERIFIED PRIOR TO EXCAVATION.
- INSTALL SEWER WITH MINIMUM 1% SLOPE.
- CLEANOUTS TO BE PROVIDED AT ALL SEWER BENDS.
- BOTTOM OF FOOTERS TO BE MINIMUM 42" BELOW GRADE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION.
- MEET EXISTING GRADES ALONG PROPERTY LINES.
- ANY EXISTING SIDEWALK IN DISREPAIR MUST BE REPLACED.
- EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO EXCAVATION AND COMPLY WITH "SPECIFICATIONS FOR INDIVIDUAL LOT PROTECTION" AND "EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES"
- STREET OPENING PERMIT AND FULL TIME INSPECTION REQUIRED FOR WORK IN THE RIGHT-OF-WAY OR EASEMENT AREA.
- BUILDER AND OWNER RESPONSIBILITY FOR FINAL GRADING AND DRAINAGE.
- ALL TEST TEES SHALL HAVE A METAL CAP OR AN AFFIXED METAL PLATE NO LESS THAN 5 INCHES IN DIAMETER.

NOTES:

- CONSTRUCTION LIMITS MUST BE PROPERLY SECURED, ESPECIALLY WITHIN THE PUBLIC USE AREA.
- CONSTRUCTION MATERIALS AND DEBRIS TO BE ENCLOSED BY A TEMPORARY FENCE, NO BURIAL OF DEBRIS IS PERMITTED.
- TEMPORARY SWALES OR THE INSTALLATION OF OTHER DRAINAGE IMPROVEMENTS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION SO AS NOT TO CREATE A NUISANCE ON ADJOINING PROPERTIES.
- SPECIAL LANDSCAPING MAY BE REQUIRED TO ALLOW FOR PROPER DRAINAGE.
- UNDERGROUND INFORMATION SHOWN TAKEN FROM IMPROVEMENT PLANS AND TYPE, SIZE AND ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST CHECK BENCH MARK WITH PERMANENT GRADE BEFORE ANY EXCAVATION OR WORK IS STARTED.
- THIS PLAN FOR SITE PURPOSES ONLY, SEE FOUNDATION PLANS (dated 3/25/22) FOR HOUSE DETAILS.

Dimensions shown hereon are expressed in feet and decimal parts thereof. Monuments were found or set as indicated hereon. Bearings shown are to an assumed meridian and are for the sole purpose of describing the relative angular value between lines, all of which I certify to be correct to the best of my knowledge and belief.

Richard J. Kole 5/17/22
Richard J. Kole, Reg. Surveyor #7889 Date



ELLEN AVE.
N.W. 30'

M.H.
RIM 682.20
INV. 664.90



Prepared by:
5316 Ridge Road - Cleveland, Ohio 44129
Phone 440.885.7137 - Fax 440.885.7139
www.kolesurvey.com
File No. 22114 Site







Wettig Neighbor to Left (standing on road)

photo courtesy of - Diyanni Custom Homes - www.diyannihomes.com



Wettig lot vacant

photo courtesy of - Diyanni Custom Homes - www.diyannihomes.com



Wettig - house across street from lot

photo courtesy of - Diyanni Custom Homes - www.diyannihomes.com

FOUNDATION PLAN NOTES
ALL FOOTINGS ARE DESIGNED BY ENGINEER TO TIE FOOTINGS OF DIFFERENT LEVELS TOGETHER, HOLD HIGH FOOTINGS BACK FROM LOWER LEVELS. USE POURED LINTELS TO BRIDGE & TIE.
ALL FOOTING DESIGNS ARE BASED ON 1500 PSF SOIL BEARING. ALL FOOTINGS ARE TO BE PLACED ON UNDISTURBED SOIL LOCATED BELOW THE FROST LINE DICTATED BY THE CONSTRUCTION LOCATION. GRADE IS TO BE 8" OR MORE BELOW TOP OF FOUNDATION, SLOPING AWAY FROM THE HOUSE MIN. 6" FALL IN FIRST 10'-0".
HORIZONTAL CONCRETE SLABS (FLATWORK) ARE TO BE A MINIMUM 3.5" THICK (3500 PSI COMPRESSIVE STRENGTH) ON MIN. 4" GRAVEL FILL. w/ 6 MIL VAPOR BARRIER OVERLAPPED BY 4" AND TAPED; ALL EXTERIOR FLATWORK SHALL HAVE 5-1% AIR ENTRAINMENT PER 402.2
MAX. UNBALANCED FILL FOR 8" WIDE 1'-0" ABOVE SLAB FOR 8" HIGH FOUNDATION WALLS 8'-0" ABOVE SLAB FOR 8" HIGH FOUNDATION WALLS
WATERPROOFING PER LOCAL CODE
AVOID FLOOR JOISTS LOCATED DIRECTLY BELOW PLUMBING
BLOCK BETWEEN FLOOR JOISTS BELOW STRUCTURAL POINTS
CONTRACTORS SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO DIYANNI HOMES

FLOOR PLAN NOTES
EXTERIOR HOUSE WALLS MEASURED 4" FOR 2X4, 6" FOR 2X6 INTERIOR WALLS 3/4" UNLESS NOTED OTHERWISE
FIRST FLOOR DESIGN LIVE LOAD + 40 P.S.F. SECOND FLOOR DESIGN LIVE LOAD + 40 P.S.F. SLEEPING AREA DESIGN LIVE LOAD + 30 P.S.F.
ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MIN. OF 5.7 SQ.FT. WITH A MIN. CLEAR OPENING HT. OF 24" AND A MIN. CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISHED FLOOR.

FRAMING NOTES
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OF CORNERS OF WOOD FRAMING LENGTHS AND/OR FENESTRATION.
ALL STRUCTURAL LUMBER MINIMUM #2 SOUTHERN YELLOW PINE OR BETTER UNLESS NOTED OTHERWISE.
FREEBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) TO FORM AN EFFECTIVE BARRIER BETWEEN STORES AND AT ROOF SPACE
ALL OTHER LUMBER MINIMUM #2 CANADIAN SPECIES SPRUCE-PINE-FIR.
ALL HEADERS IN EXTERIOR WALLS TO BE MINIMUM 2X6 OR AS NOTED ON FLOORPLAN.
ALL LUMBER IS TO BE GRADED AND MARKED WITH THE APPROPRIATE GRADE STAMP.
PROVIDE MINIMUM 2X4 STUDS AT ALL BEARING POINTS UNLESS NOTED OTHERWISE.
ALL MULTIPLE MEMBER BEAMS ARE TO BE NAILED TOGETHER WITH 2 ROWS OF 16p NAILS (TOP AND BOTTOM) SPACED EVERY 12" ON CENTER.
ENDS OF JOISTS, BEAMS OR GIRDERS TO BEAR 1/2" OR GREATER ON WOOD OR METAL AND TO BEAR 3" OR GREATER ON MASONRY.
ANY CUTTING, NOTCHING OR OTHER ADJUSTMENTS TO STRUCTURAL MEMBERS MUST COMPLY WITH CODE ALLOWANCES AND NOT LESSEN THE STRUCTURAL INTEGRITY OF THE BUILDING IN ANY MANNER
PROVIDE SOLID BLOCKING BELOW ALL BEARING POINTS (CRUSH ZONES).
ROOF TRUSSES, MANUFACTURED BEAMS, AND ALL OTHER PRE-CONSTRUCTED MATERIALS ARE DESIGNED AND ENGINEERED BY THE MANUFACTURER.
AVOID FLOOR JOISTS DIRECTLY BELOW PLUMBING DRAINS.
USE OF METAL HANGERS MUST BE IN CONFORMANCE WITH MANUFACTURERS RECOMMENDATIONS.
CONTRACTORS SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO DIYANNI CUSTOM HOMES AT (614) 866-3318.
DESIGN LIVE LOADS: 40 PSF FIRST FLOOR 30 PSF SECOND FLOOR SLEEPING ROOMS 40 PSF SECOND FLOOR NON-SLEEPING ROOMS 25 PSF ROOF FRAMING (WITHSTAND 15 MPH WIND LOAD w/ 3 SECOND BURSTS)

ROOF PLAN GENERAL NOTES
ALL STRUCTURAL LUMBER SOUTHERN YELLOW PINE #2 UNLESS NOTED OTHERWISE
HAT VENTS/ RIDGE VENTS/ GABLE VENTS SHOWN ON ELEVATIONS
PROVIDE FLASHING FOR ROOF/ WALL INTERSECTIONS
DOUBLE UNDERLAYMENT FOR ASPHALT SHINGLED ROOFS THAT ARE AT OR BETWEEN 2:12 AND 4:12
ROOF-TRUSS MANUFACTURER IS RESPONSIBLE FOR THE DESIGN, ENGINEERING, MANUFACTURING, AND SAFE DELIVERY OF TRUSSES, AS WELL AS PROVIDING TRUSS LAYOUT AND DETAIL SHEETS WITH THE STAMP OF AN ENGINEER REGISTERED IN THE STATE OF OHIO.
NOTE: ICE GUARD PROTECTION INSTALLED PER MANUFACTURER'S SPECIFICATIONS & PER SECTION 305.12 WHICH STATES: AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF- ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ICE GAURD INSTALLED MIN. OF 36" PAST EXTERIOR WALL ON 8/12 OR GREATER ROOF SLOPES

BUILDING CODE NOTES
THESE PLANS WERE DESIGNED AND ENGINEERED TO COMPLY WITH ALL APPLICABLE BUILDING CODES TO THE BEST KNOWLEDGE OF THE AUTHOR. THESE NOTES INCLUDE: • RESIDENTIAL CODE OF OHIO 2018 • NATIONAL ELECTRICAL CODE 2017 • LOCAL BUILDING & ZONING AMENDMENTS
THE NOTES ON THIS SPECIFIC SET OF BUILDING PLANS ARE INTENDED TO ADDRESS TYPICAL METHODS OF CONSTRUCTION WITHIN THE LIMITS OF ALL GOVERNING BUILDING CODES. WHILE EVERY EFFORT HAS BEEN MADE TO NOTE THE MOST TYPICAL AND ALL NON TYPICAL METHODS OF CONSTRUCTION IN RELATION TO GOVERNING BUILDING CODES AND REGULATIONS, IT IS NOT POSSIBLE NOR PRACTICAL TO STATE THE ENTIRE CONTENTS OF ALL GOVERNING CODES AND REGULATIONS ON THIS SPECIFIC SET OF PLANS. THEREFORE IT IS HERE STATED THAT THIS RESIDENTIAL CONSTRUCTION PROJECT WILL ADHERE TO ALL APPLICABLE BUILDING CODES, REGULATIONS AND ENGINEERING REQUIREMENTS IN THE CONSTRUCTION OF THIS SPECIFIC JOB WRITTEN AND/OR IMPLIED.

CODE COMPLIANCE NOTES
FOUNDATION WALL REINFORCEMENT MUST COMPLY WITH SECTION 404.
FOUNDATION WATERPROOFING MUST COMPLY WITH SECTION 406.
ALL ELECTRICAL EQUIPMENT AND INSTALLATION SHALL COMPLY WITH THE N.E.C. WHICH IS IN EFFECT AT THE TIME OF ITS INSTALLATION.
SMOKE DETECTORS MUST BE LOCATED AND INSTALLED IN ACCORDANCE WITH SECTION 314.
CARBON MONOXIDE ALARMS MUST COMPLY WITH SECTION 315.
ALL HANDRAILS MUST COMPLY WITH SECTION 311.
ALL GUARDRAILS MUST COMPLY WITH SECTION 312.
STAIR CONSTRUCTION MUST COMPLY WITH SECTION 311.
BATHROOM VENTILATION MUST COMPLY WITH SECTION 309.3
ALL DOORS AND HALLWAYS SHALL COMPLY WITH SECTION 311.
CRAWLSPACES MUST COMPLY WITH SECTION 408.
ALL GLAZING SHALL COMPLY WITH SECTION 308.
ATTIC ACCESS MUST COMPLY WITH SECTION 801.
GARAGE SEPARATION MUST COMPLY WITH SECTION 309.
AT LEAST ONE (1) EXTERIOR OPENING IN EACH BEDROOM SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 310.

IECC (CHAPTER 11 OF RCO 2019)	
ENERGY CODE COMPLIANCE FOR THIS PROJECT: PRESCRIPTIVE METHOD OHBA ALTERNATIVE CODE COMPLIANCE PATH #1	
OHBA ALTERNATIVE	
	CLIMATE ZONE
	ALL
	COMPLIANCE PATH #1
Exterior Wall R-Value	R-9 or 13.0
Ceiling R-Value	49
Ceiling R-Value (Rataed heat)	38
Penetration U-Factor	0.33
Bay/ight U-Factor	0.60
Sh-IGG	NR
Floor R-Value Over Unconditioned Space	30
Basement Wall R-Value R-10 Continuous, R-13 Cavity Space	10/13 Minimum 4 feet
Slab R-Value	10-2 ft.
Crawl Space Wall R-Value R-10 Continuous, R-13 Cavity Space	10/13
Building Air Leakage	5 ACH @ 50 Pa Handerson Testing
Controls	Programmable Thermostat Initially Heating No Higher than 10 F Cooling No Lower than 18 F
Duct Insulation R-Value Outside Thermal Envelope	Supply R-6 Others R-6
Duct Air Tightness, Sealing, Outside Conditioned Space, at 25 Pa.	Post-construction Test: Leakage to outdoors less than 6 CPM (Fan 1) per 100 sq.ft. conditioned floor area. Test total leakage less than 3 CPM (Fan 1) per 100 sq.ft. floor area. Rough-In Test: Total leakage less than 6 CPM (Fan 1) per 100 sq.ft. of conditioned floor area. No air handler total leakage less than 4 CPM (Fan 1) per 100 sq.ft. of conditioned floor area.
Lighting	Minimum of 30% of permanent lighting high- efficiency lamps

PROJECT SPECIFIC INFO	
OWNER	WETTIG & KUEMMEL
JOB #	1205
ADDRESS	1843 W 58TH ST
CITY/STATE/ZIP	CLEVELAND, OH 44102
COUNTY	CUYAHOGA
TOWNSHIP	

AREA SCHEDULE	
NAME	AREA
BASEMENT SLAB	937 sq ft.
GARAGE SLAB	647 sq ft.
FIRST FLOOR	1023 sq ft.
SECOND FLOOR	1123 sq ft.
FRONT PORCH SLAB	232 sq ft.
SIDE PORCH SLAB	16 sq ft.



DIYANNI CUSTOM HOMES INC.
1531 BRICE ROAD, REYNOLDSBURG, OH 43068
MAIN PHONE (614) 866-3318
FAX (614) 866-0166

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WETTIG & KUEMMEL RESIDENCE

SHEET INDEX	
COVER	1
FOUNDATION	2
1ST FLOOR	3
2ND FLOOR	4
FLOORING	5
FRONT & REAR	6
RIGHT & LEFT	7
ROOF PLAN	8
DETAIL 1	9
DETAIL 2	10
DETAIL 3	11
1ST FLR ELECT	12
2ND FLR ELECT	13

OH

JOB NUMBER:	REGION:
1205	OH 3

SINGLE FAMILY
RESIDENCE DETACHED

COVER



1531 BRICE ROAD
REYNOLDSBURG, OH 43068
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FAX: 614-866-0166

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G2 CUSTOM HOME

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DH CONTACT:
SCOTT MCMASTER
614-866-3318

DRAWN BY:
STAFF

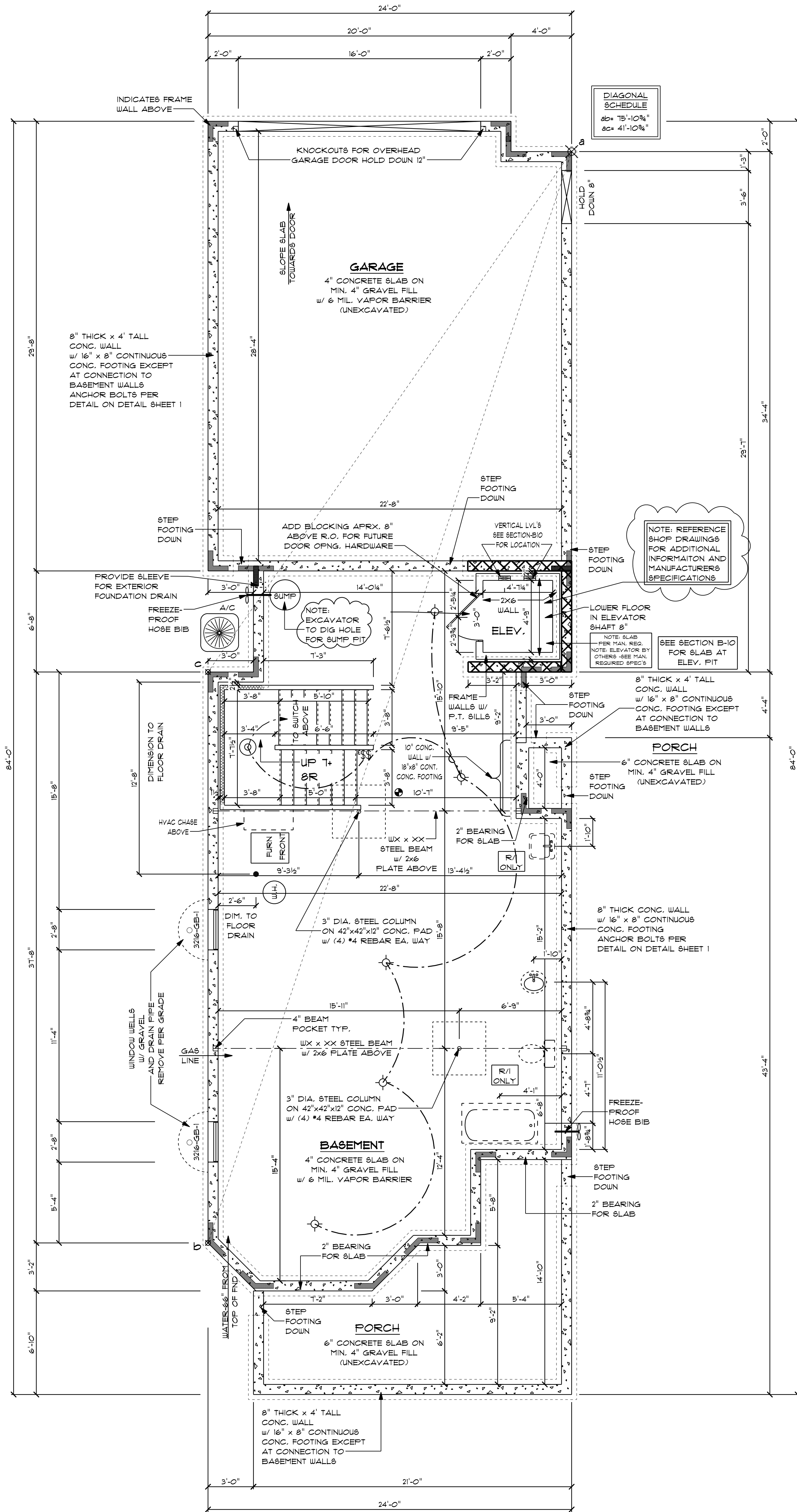
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DATE PLOTTED:
5/18/2022

PAGE:

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



9' CONCRETE WALL REINFORCEMENT

(3) ROWS OF NO. 4 REBAR SPACED 12" FROM TOP & (2) AT THIRD POINTS CONT. IN THE HORIZONTAL DIRECTION & NO. 6 REBAR RUNNING VERTICAL AT 28" O.C. REBARS TO BE PLACED AT 6" FROM OUTSIDE FACE OF WALL

ALL FOOTINGS DESIGNED AND APPROVED BY LICENSED ENGINEER

ENGINEERED F/J BY OTHERS. ALL JOISTS MEET 2X10 FIREPROOFING EXCEPTION PER RCO 302.13.4

ALL STRUCTURAL COLUMNS TO BE SCHEDULE 40 ALL FOUNDATION DETAILS ON DETAIL SHEETS 1 & 2

HATCHED FOUNDATION WALL INDICATES 9'-8" FOUNDATION WALL

COMMON STEEL BEAM SIZES		
BEAM CALLOUT	DEPTH	WIDTH
W8x15	8-1/8"	4"
W8x18	8-1/8"	5-1/4"
W8x21	8-1/4"	5-1/4"
W8x24	7-7/8"	6-1/2"
W8x28	8"	6-1/2"
W8x31	8"	8"
W8x35	8-1/8"	8"
W8x40	8-1/4"	8-1/8"
W8x48	8-1/2"	8-1/8"
W10x15	10"	4"
W10x17	10-1/8"	4"
W10x19	10-1/4"	4"
W10x22	10-1/8"	5-3/4"

COMMON STEEL BEAM SIZES		
BEAM CALLOUT	DEPTH	WIDTH
W10x26	10-3/8"	5-3/4"
W10x30	10-1/2"	5-3/4"
W10x33	8-3/4"	8"
W10x39	9-7/8"	8"
W10x45	10-1/8"	8"
W10x49	10"	10"
W12x26	12-1/4"	6-1/2"
W12x30	12-3/8"	8-1/2"
W12x35	12-1/2"	6-1/2"
W12x40	12"	8"
W12x45	12"	8"
W12x50	12-1/4"	8-1/8"
W12x53	12"	10"

ADJUST BEAM POCKET WIDTH & HEIGHT PER CHART ABOVE. 4" DEEP POCKET TYP. EXTEND BEAM PAST POSTS 6" WHERE BEAM ENDS OR IN FRAME WALLS.

PORCHES WITH STONE: 4 1/2" TRIPLE RING BOARD WHERE POURING SLAB

PORCHES WITHOUT STONE: 3" DOUBLE RING BOARD WHERE POURING SLAB

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
KEYLESS LIGHT	5	⬤
SMOKE DETECTOR	1	⬤
CEILING LIGHT	1	⊙
SWITCH	1	⌞
SWITCH 3 WAY	1	⌞

B6MT ELECTRICAL NOTES

SWITCH & FIXTURE LOCATIONS ARE DETERMINED BY ELECTRICAL CONTRACTOR, HOMEOWNER, BUILDER AND/OR BUILDING SPECS.

ALL WIRING DONE TO LATEST N.E.C. AND LOCAL CODES

ALL SWITCHES AND OUTLETS INSTALLED PER LATEST N.E.C.

ELECTRIC PANEL TO BE LOCATED BY THE ELECTRIC CONTRACTOR

SMOKE DETECTOR LISTING, INSTALLATION, & TECHNOLOGY: ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE CODE AND THE HOUSEHOLD WIRE WARNING EQUIPMENT OF THE NFPA 72. ON EACH LEVEL WITHIN EACH DWELLING UNIT SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SEPARATE OR DUAL-SENSING SMOKE ALARMS MAY BE USED. A SMOKE ALARM LOCATED IN ACCORDANCE WITH SECTION 314.3(2) SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY.

NOTE: FURNACE LOCATION AND ORIENTATION PER HYAC DRAWINGS. LOCATION SHOWN ON PLAN IS APPROXIMATE.

JOB NUMBER: 1205 REGION: OH 3

SINGLE FAMILY RESIDENCE DETACHED

FOUNDATION

BLA The Home Builders

Dynamai Homes 1831 BEUCE ROAD REYNOLDSBURG, OH 43068 OFFICE: 614-866-3318 FAX: 614-866-0166

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WETTIG & KUEMMEL RESIDENCE Q2 CUSTOM HOME

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DRAWN BY: STAFF

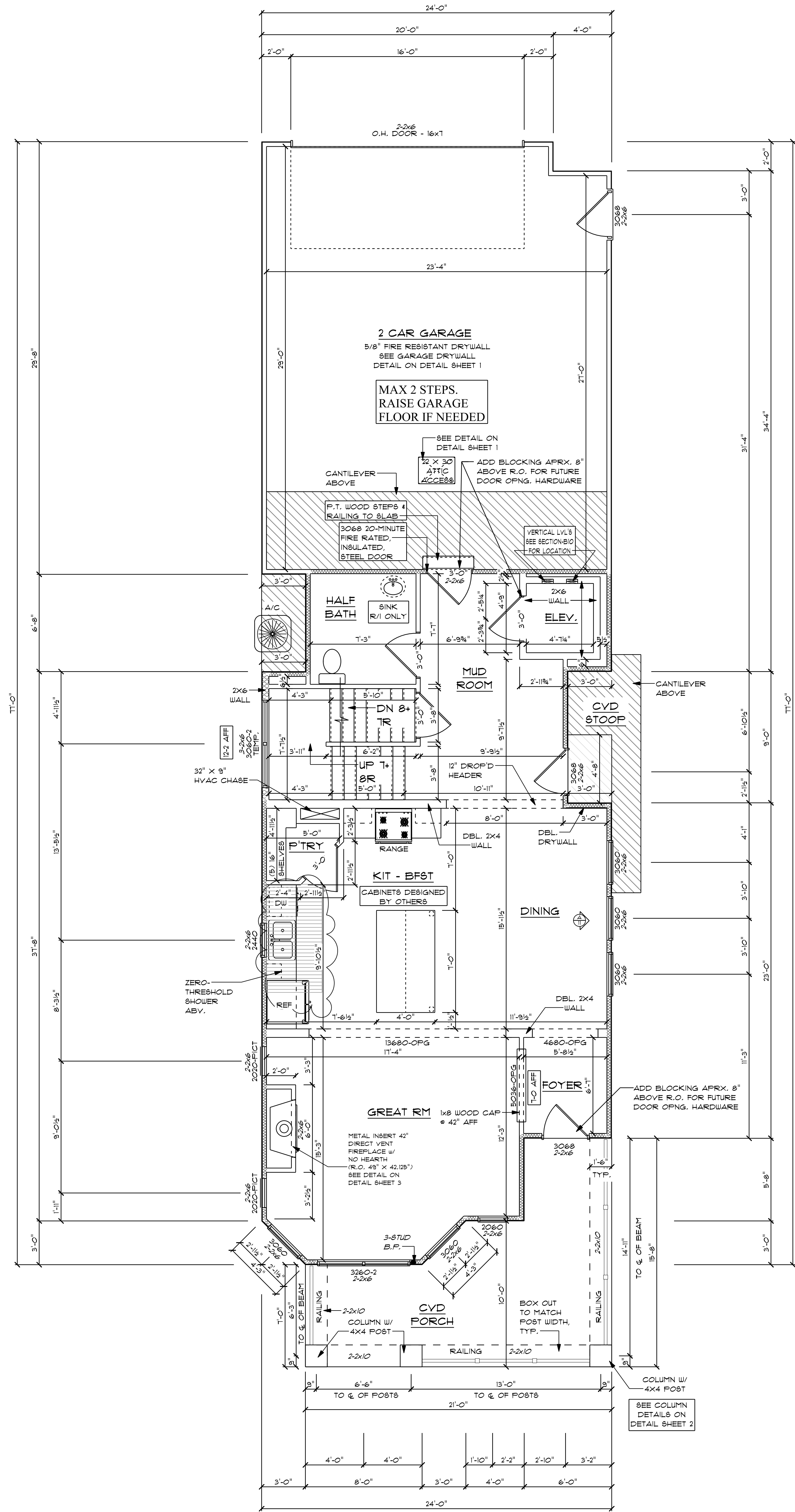
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PAGE:

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ALL EXTERIOR WALLS
ARE 2X4 @ 9'-1 1/8" U.N.O.

EXTERIOR WINDOWS SET AT
T-6" AFF U.N.O.

INTERIOR DOORS & OPGs
NEAR CORNERS ARE SET 6"
OFF CORNER WHERE
POSSIBLE U.N.O.

INTERIOR DOORS & OPGs
BETWEEN TWO WALLS ARE TO
BE ASSUMED CENTERED U.N.O.

ALL INTERIOR DOORS
ARE 6'-8" TALL
W/ 83" R.O. HT U.N.O.

ALL PASS THROUGH OPGs
AND BIPASS DOORS
ARE FRAMED 2" WIDER
AND 1" TALLER THAN
NOTED ON PLAN U.N.O.

SEE D3 SHEET FOR SPLIT
WINDOW CASING DETAIL AND
HEAVY TRIM DETAIL

HEADER KEY

LVLs ARE FIGURED TO BE 194" WIDE.

"J" & "K" IN HEADER NAMES
REPRESENT JACKS & KINGS.
MIN. 1 JACK & 1 KING PER OPG. U.N.O.

THE NUMBER PRECEDING "J" OR
"K" REPRESENTS THE NUMBER
OF JACKS OR KINGS REQUIRED.

THE NUMBER OF JACKS & KINGS
ARE FIGURED TO BE PLACED
ON BOTH SIDES OF THE HEADER
UNLESS NOTED OTHERWISE.

EX. 2-2X10
2-J 2-K

THIS IS A 2-2X10 HEADER WITH
(2) JACK AND (2) KING STUDS
AT EACH END OF THE HEADER.

REFERENCE APPROVED CABINET DRAWINGS
FOR ADDITIONAL LAYOUT & C-TOP INFORMATION.
KITCHEN LAYOUT SHOWN MAY NOT BE ACCURATE.
SEE APPROVED CABINET DRAWINGS FOR
ACTUAL LAYOUT.

CONT. SHEATHED METHOD

CS-WBP WALL BRACING: PER RCO 2019.
ALL EXTERIOR WALL SHEATHING TO BE
MIN. 4x8 SHEETS OF 1/2" (7/16")
ORIENTED-STRAND BOARD (OSB) OR
APPROVED ALTERNATIVE, AND NAILED
WITH MIN. 8d COMMON NAILS EVERY
6" O/C @ OUTSIDE STUDS AND
12" O/C @ INTERIOR STUDS

GB METHOD
-BRACED WALL PANEL
GYPSUM BOARD METHOD.
ATTACH DRYWALL @ 1" O/C
@ EDGES AND IN FIELD.
BLOCKING AS REQ. BY
FIGURE 602.10.8 TYP.

CS-PF
- CONTINUAL-SHEATHED
PORTAL FRAME (SEE DETAIL)

***** HORIZONTAL BRACING

JOB NUMBER: 1205 REGION: OH 3

SINGLE FAMILY
RESIDENCE DETACHED

1ST FLOOR

BIA
The Home Builders

Diyanni Homes

1531 BRICE ROAD
REYNOLDSBURG, OH 43068
OFFICE: 614-866-3318
FAX: 614-866-0166

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WETTIG & KUEMMEL
RESIDENCE
G2 CUSTOM HOME

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DHI CONTACT:
SCOTT MCMASTER
614-866-3318

DRAWN BY:
STAFF

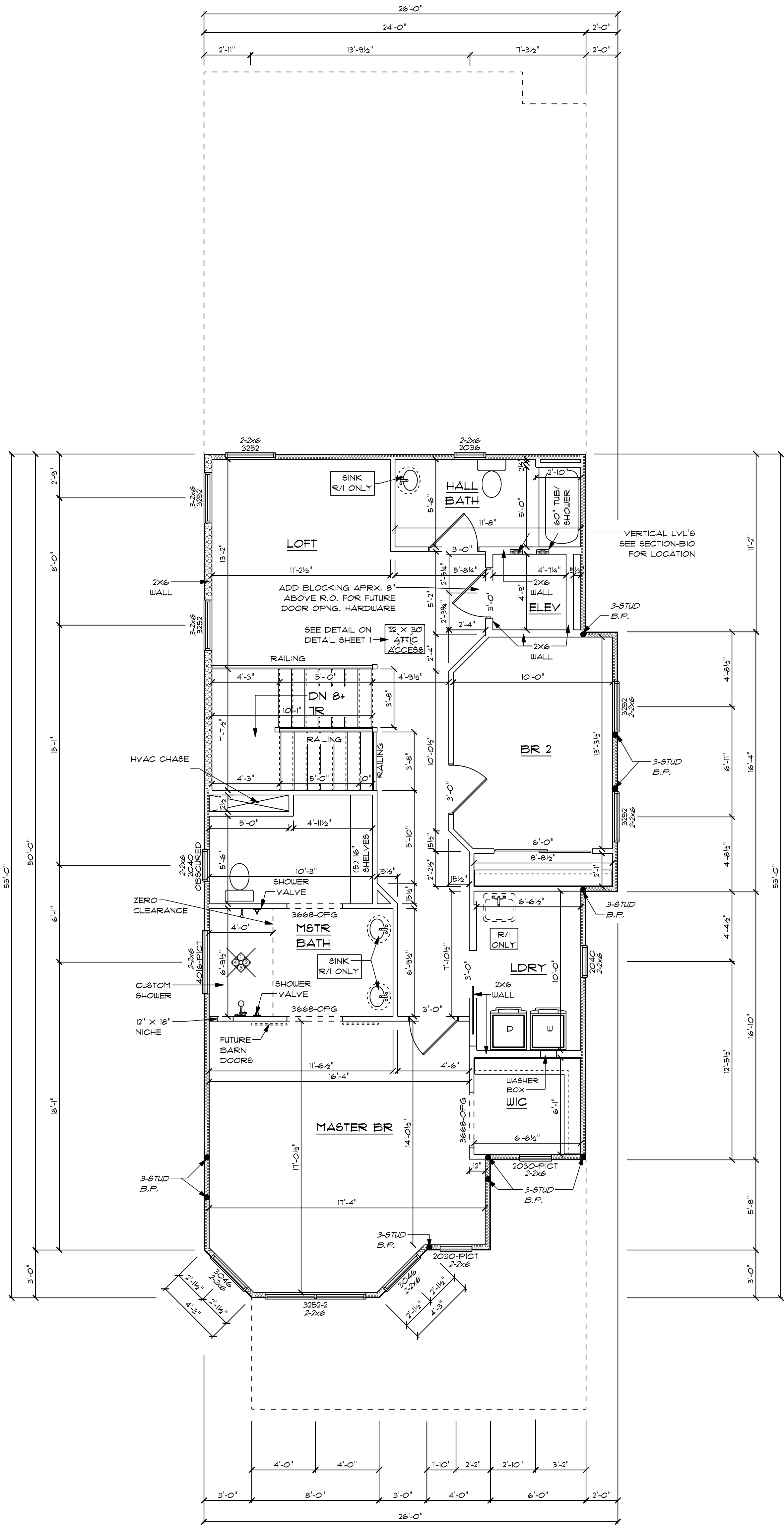
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



ALL EXTERIOR WALLS ARE 2X4 @ 8'-1 1/8" U.N.O.

EXTERIOR WINDOWS SET AT 6'-10" AFF U.N.O.

INTERIOR DOORS & OPGS NEAR CORNERS ARE SET 6" OFF CORNER WHERE POSSIBLE U.N.O.

INTERIOR DOORS & OPGS BETWEEN TWO WALLS ARE TO BE ASSUMED CENTERED U.N.O.

ALL INTERIOR DOORS ARE 6'-8" TALL W/ 83" R.O. HT U.N.O.

ALL PASS THROUGH OPGS AND BIPASS DOORS ARE FRAMED 2" WIDER AND 1" TALLER THAN NOTED ON PLAN U.N.O.

SEE D3 SHEET FOR SPLIT WINDOW CASING DETAIL AND HEAVY TRIM DETAIL

HEADER KEY

LVLs ARE FIGURED TO BE 1 3/4" WIDE.

"J" & "K" IN HEADER NAMES REPRESENT JACKS & KINGS. MIN. 1 JACK & 1 KING PER OPG. U.N.O.

THE NUMBER PRECEDING "J" OR "K" REPRESENTS THE NUMBER OF JACKS OR KINGS REQUIRED.

THE NUMBER OF JACKS & KINGS ARE FIGURED TO BE PLACED ON BOTH SIDES OF THE HEADER UNLESS NOTED OTHERWISE.

EX. 2-2X10 2-J 2-K

THIS IS A 2-2X10 HEADER WITH (2) JACK AND (2) KING STUDS AT EACH END OF THE HEADER.

REFERENCE APPROVED CABINET DRAWINGS FOR ADDITIONAL LAYOUT & C-TOP INFORMATION. KITCHEN LAYOUT SHOWN MAY NOT BE ACCURATE. SEE APPROVED CABINET DRAWINGS FOR ACTUAL LAYOUT.

CONT. SHEATHED METHOD

C8-WSP WALL BRACING PER RCO 2019. ALL EXTERIOR WALL SHEATHING TO BE MIN. 4x8 SHEETS OF 1/2" (1/16") ORIENTED-STRAND BOARD (OSB) OR APPROVED ALTERNATIVE, AND NAILED WITH MIN. 8d COMMON NAILS EVERY 6" O/C @ OUTSIDE STUDS AND 12" O/C @ INTERIOR STUDS

GB METHOD BRACED WALL PANEL GYPSUM BOARD METHOD. ATTACH DRYWALL @ 1" O/C @ EDGES AND IN FIELD. BLOCKING AS REQ. BY FIGURE 602.10.8 TYP.

C8-PF CONTINUAL-SHEATHED PORTAL FRAME (SEE DETAIL)

HORIZONTAL BRACING

JOB NUMBER: 1205 REGION: OH 3

SINGLE FAMILY RESIDENCE DETACHED

2ND FLOOR

BIA The Home Builders

Dynamili Homes

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G2 CUSTOM HOME

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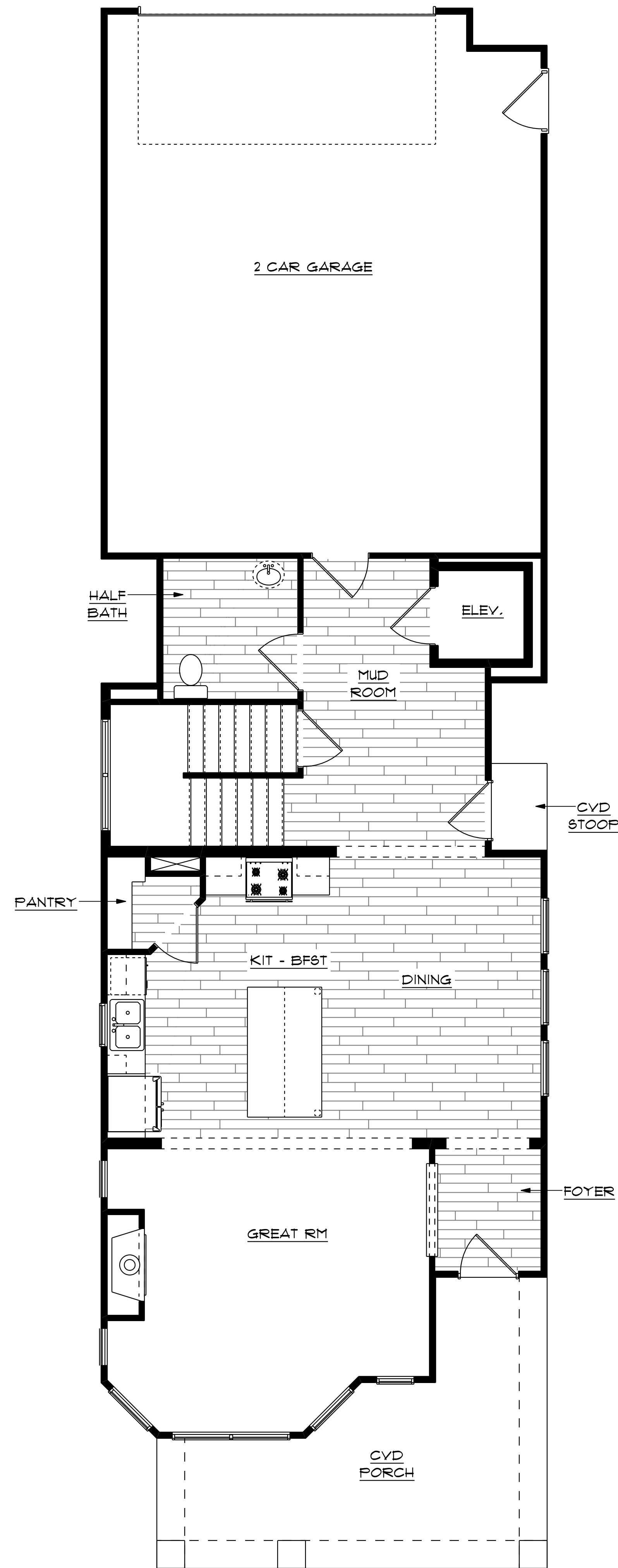
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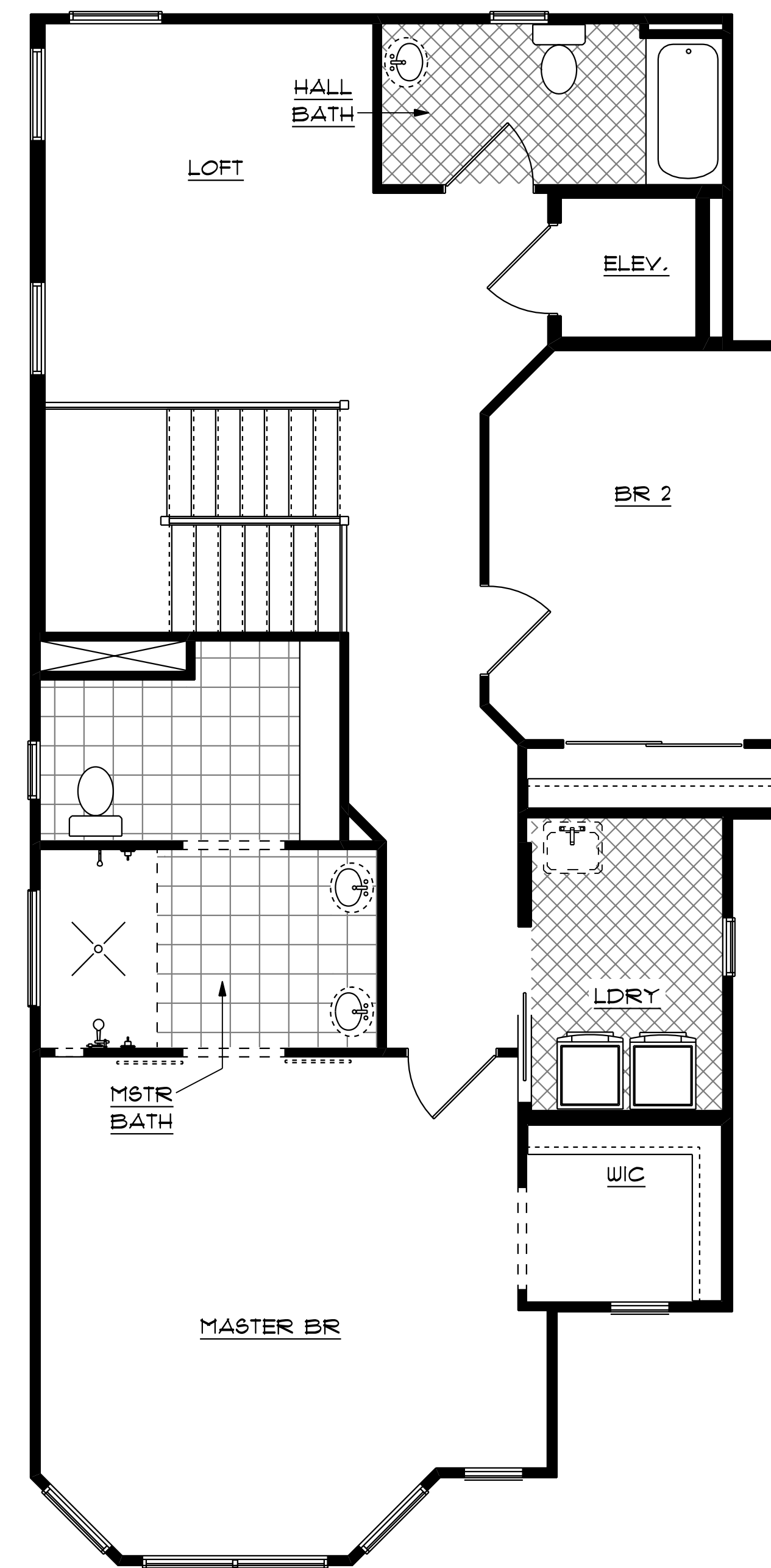
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1ST FLOOR-FLOORING
SCALE: 1/4" = 1'-0"



2ND FLOOR-FLOORING
SCALE: 1/4" = 1'-0"

FLOORING KEY

	CERAMIC
	HARDWOOD
	LAMINATE
	LVT - LUXURY VINYL TILE
	LVP - LUXURY VINYL PLANK

FLOORING SHOWN FOR LOCATION OF FLOOR TYPE ONLY.

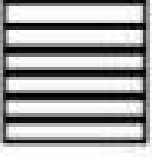
DOES NOT REPRESENT SIZE, DIRECTION, PATTERN, OR ORIENTATION. SEE FLOORING SELECTIONS FOR SPECIFICS OF EACH AREA.

JOB NUMBER: 1205	REGION: OH 3
SINGLE FAMILY RESIDENCE DETACHED	
FLOORING	
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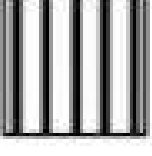
FRONT ELEVATION:
1x6 TRIM AT ALL
EXTERIOR DOORS, WINDOWS, OUTSIDE
CORNERS, UNDER SOFFITS & RAKES
ALL OTHER TRIM AS NOTED

RAKES @ FRONT = 12"
RAKES @ SIDES = 6"
OVERHANGS ENTIRE HOME = 12"
EYEBROW OVERHANGS @ FRONT = 16"
ALL FASCIAS = 2x6 U.N.O.

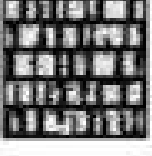
ELEVATION KEY




HORIZONTAL
SIDING



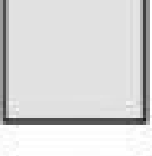
VERTICLE BOARD
& BATTEN SIDING



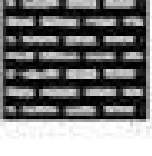
SHAKE
SIDING



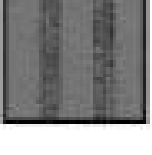
CULTURED
STONE




STUCCO




BRICK



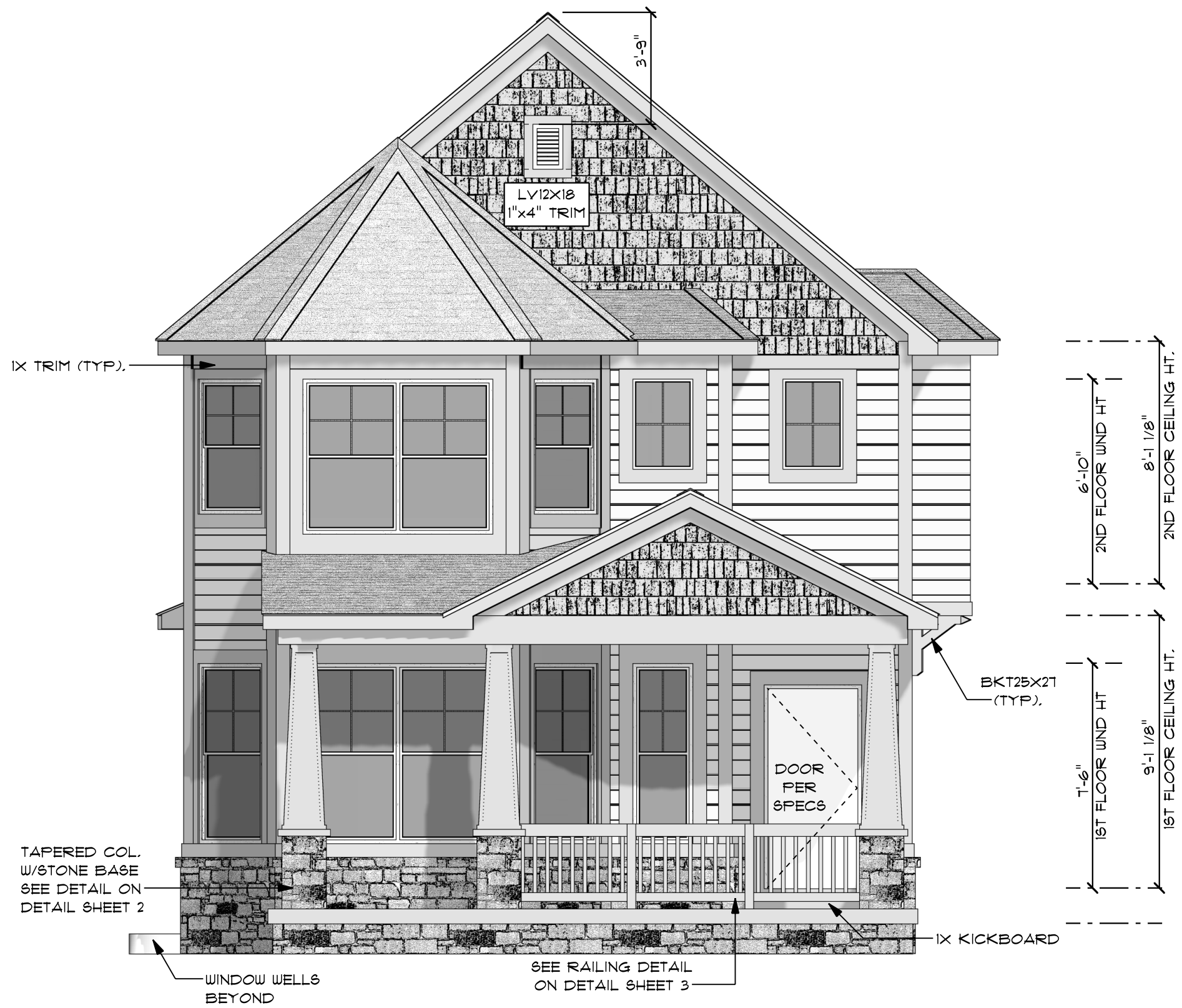
STANDING SEAM
METAL ROOF



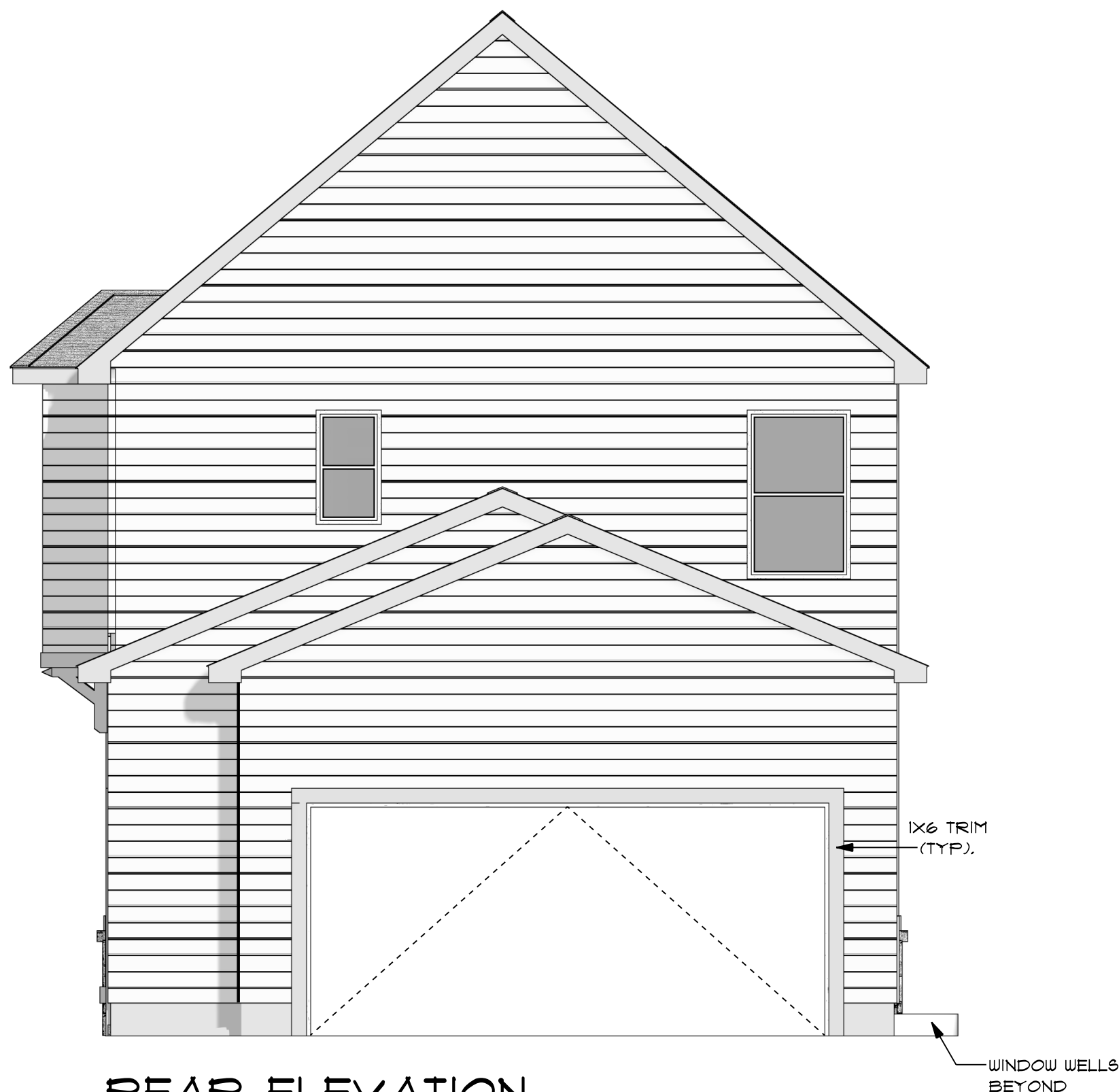
ASPHALT ROOF
SHINGLES



CEDAR OR
CEDAR WRAP'D



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

FINAL GRADE TO BE
DETERMINED AT SITE

JOB NUMBER: 1205
REGION: OH 3

SINGLE FAMILY
RESIDENCE DETACHED

FRONT & REAR

BIA
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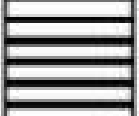
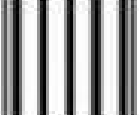
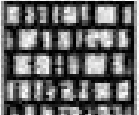



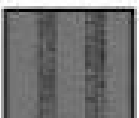


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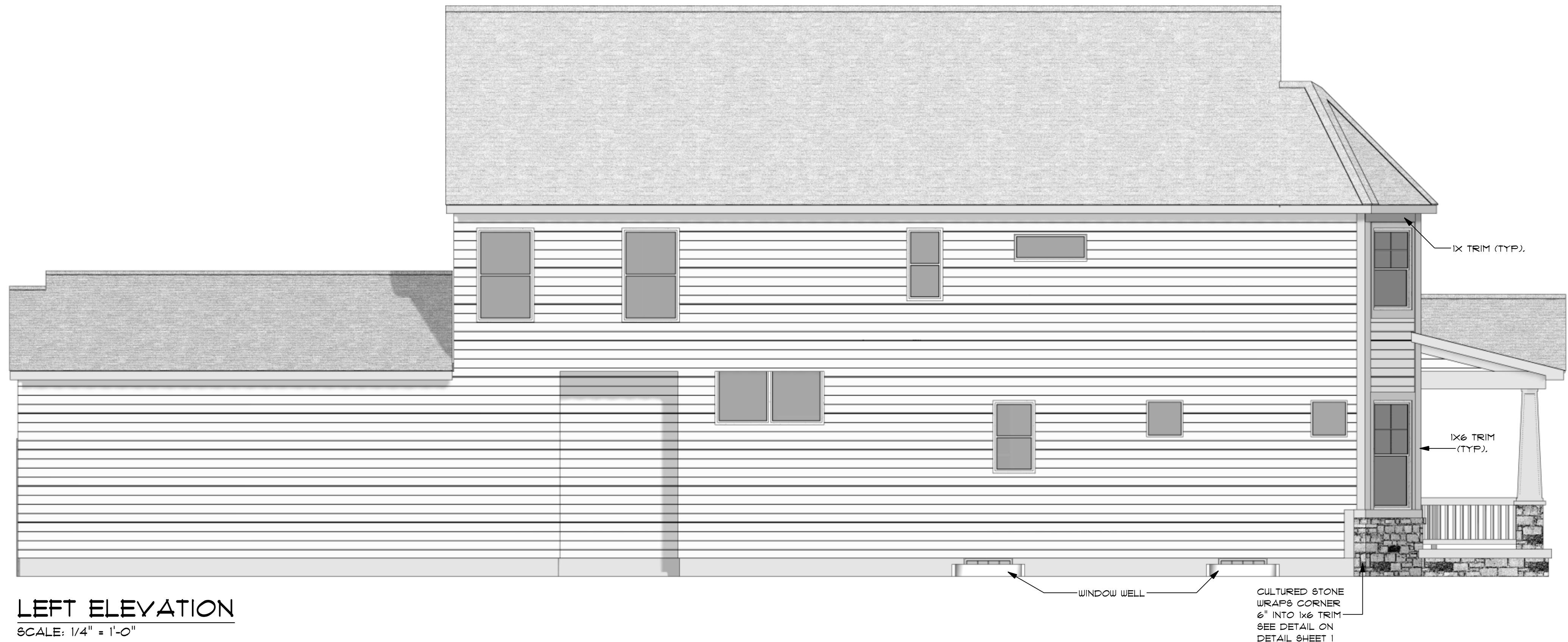
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ELEVATION KEY	
	HORIZONTAL SIDING
	VERTICLE BOARD & BATTEN SIDING
	SHAKE SIDING
	CULTURED STONE
	STUCCO
	BRICK
	STANDING SEAM METAL ROOF
	ASPHALT ROOF SHINGLES
	CEDAR OR CEDAR WRAP'D



FINAL GRADE TO BE
DETERMINED AT SITE

JOB NUMBER: 1205 REGION: OH 3

SINGLE FAMILY
RESIDENCE DETACHED

RIGHT & LEFT




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7

ROOF NOTES

PARTIAL EYEBROWS ARE 36" U.N.O
PROVIDE RIDGE VENTS AT ALL
RIDGE LINES

SEE ENGINEERED DRAWINGS FOR
ADDITIONAL TRUSS INFORMATION

RAFTER MAX. SPAN CHART

SOUTHERN YELLOW PINE (S.Y.P.) #2 GRADE

MODULUS OF ELASTICITY "E" = 1.6 MIL PSI

LIGHT ROOF COVERING, 30# LIVE LOAD, 1# DEAD LOAD

2x6'S AT 24" O/C	- 10'-5"	(FB = 1650 PSI)
2x8'S AT 16" O/C	- 12'-3"	(FB = 1650 PSI)
2x8'S AT 24" O/C	- 13'-3"	(FB = 1590 PSI)
2x8'S AT 16" O/C	- 16'-10"	(FB = 1590 PSI)
2x10'S AT 24" O/C	- 17'-1"	(FB = 1390 PSI)
2x10'S AT 16" O/C	- 21'-6"	(FB = 1390 PSI)
2x12'S AT 24" O/C	- 18'-5"	(FB = 1290 PSI)
2x12'S AT 16" O/C	- 21'-6"	(FB = 1290 PSI)

REPETITIVE MEMBER USE - SNOW LOADING (CP = 1.15)

RAFTER MAX. SPAN CHART

CANADIAN SPECIES S.P.F. #1/2 GRADE


MODULUS OF ELASTICITY "E" = 1.4 MIL PSI


LIGHT ROOF COVERING, 30# LIVE LOAD, 1# DEAD LOAD


2x6'S AT 24" O/C	- 9'-9"	(FB = 1310 PSI)
2x6'S AT 16" O/C	- 11'-9"	(FB = 1310 PSI)
2x8'S AT 24" O/C	- 12'-4"	(FB = 1210 PSI)
2x8'S AT 16" O/C	- 15'-1"	(FB = 1210 PSI)
2x10'S AT 24" O/C	- 15'-1"	(FB = 1105 PSI)
2x10'S AT 16" O/C	- 18'-5"	(FB = 1105 PSI)
2x12'S AT 24" O/C	- 17'-6"	(FB = 1005 PSI)
2x12'S AT 16" O/C	- 21'-5"	(FB = 1005 PSI)

REPETITIVE MEMBER USE - SNOW LOADING (CP = 1.15)

SEE DETAIL SHEET 1
FOR ROOF DETAILS

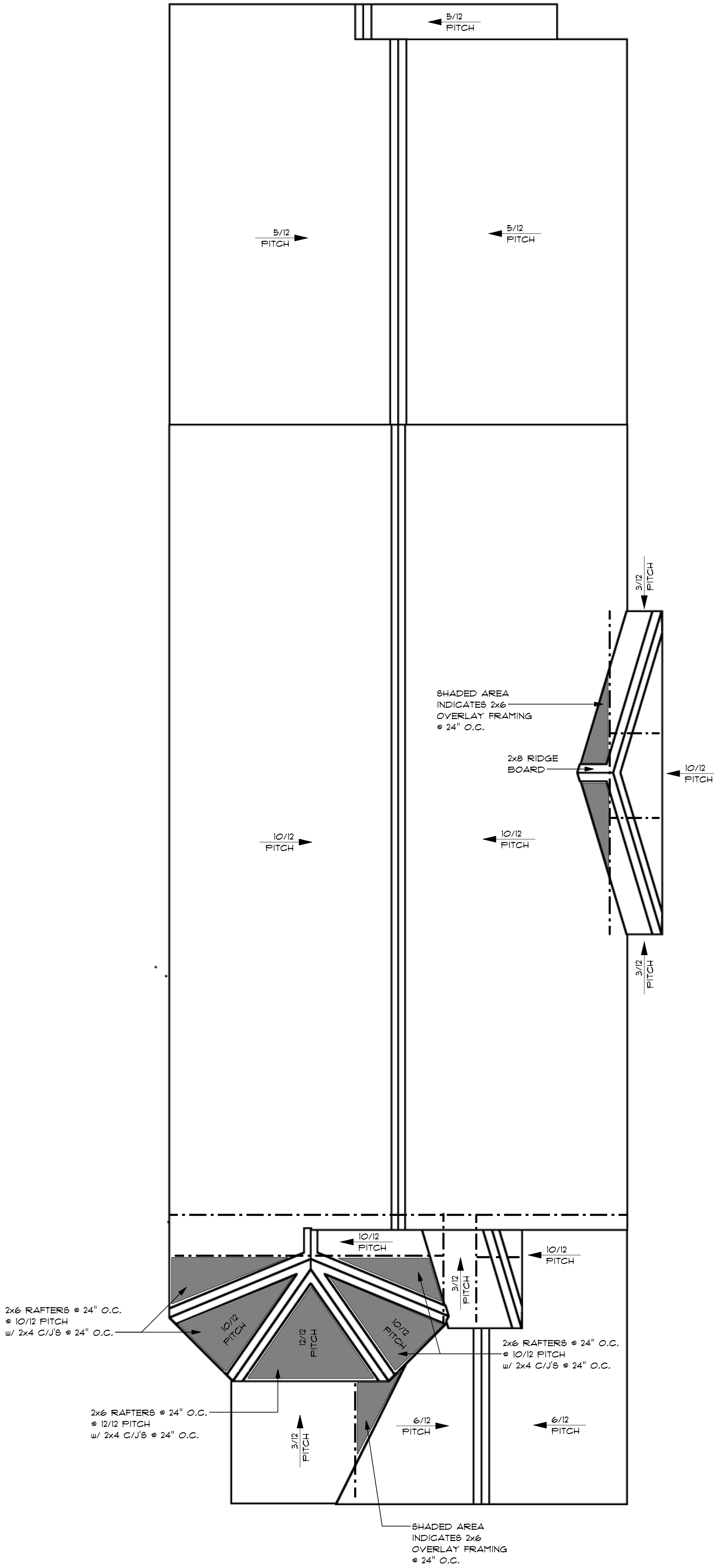
 RAFTER
OVERLAY

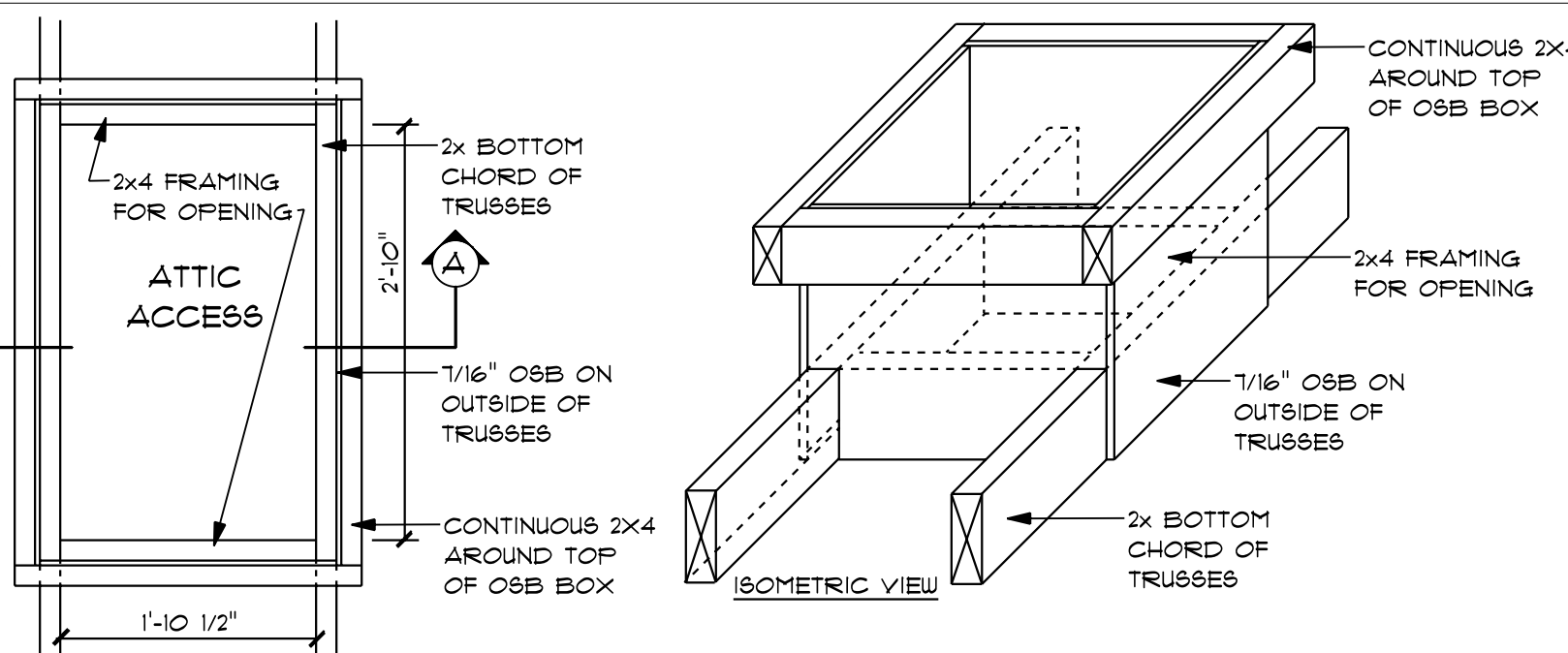
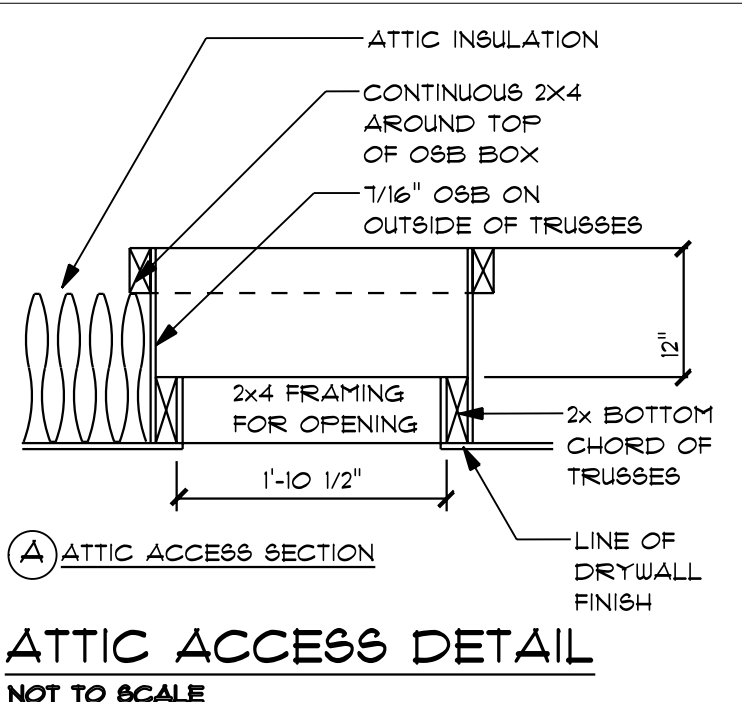
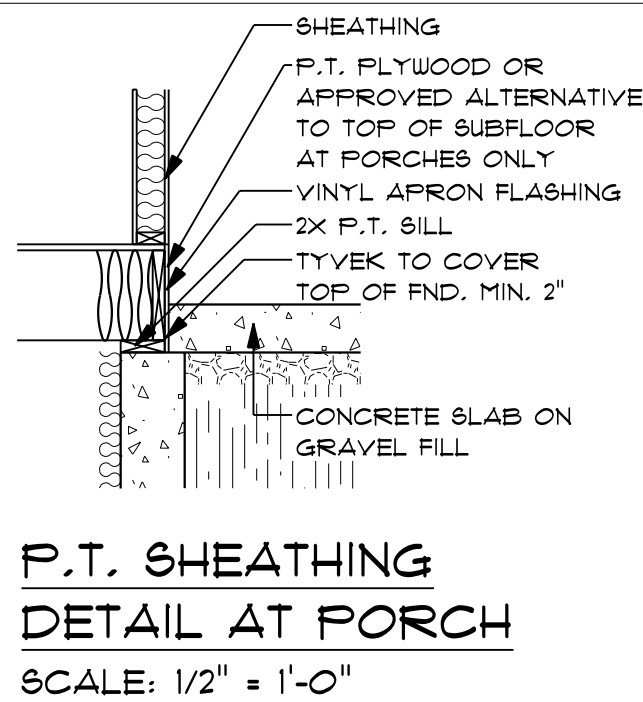
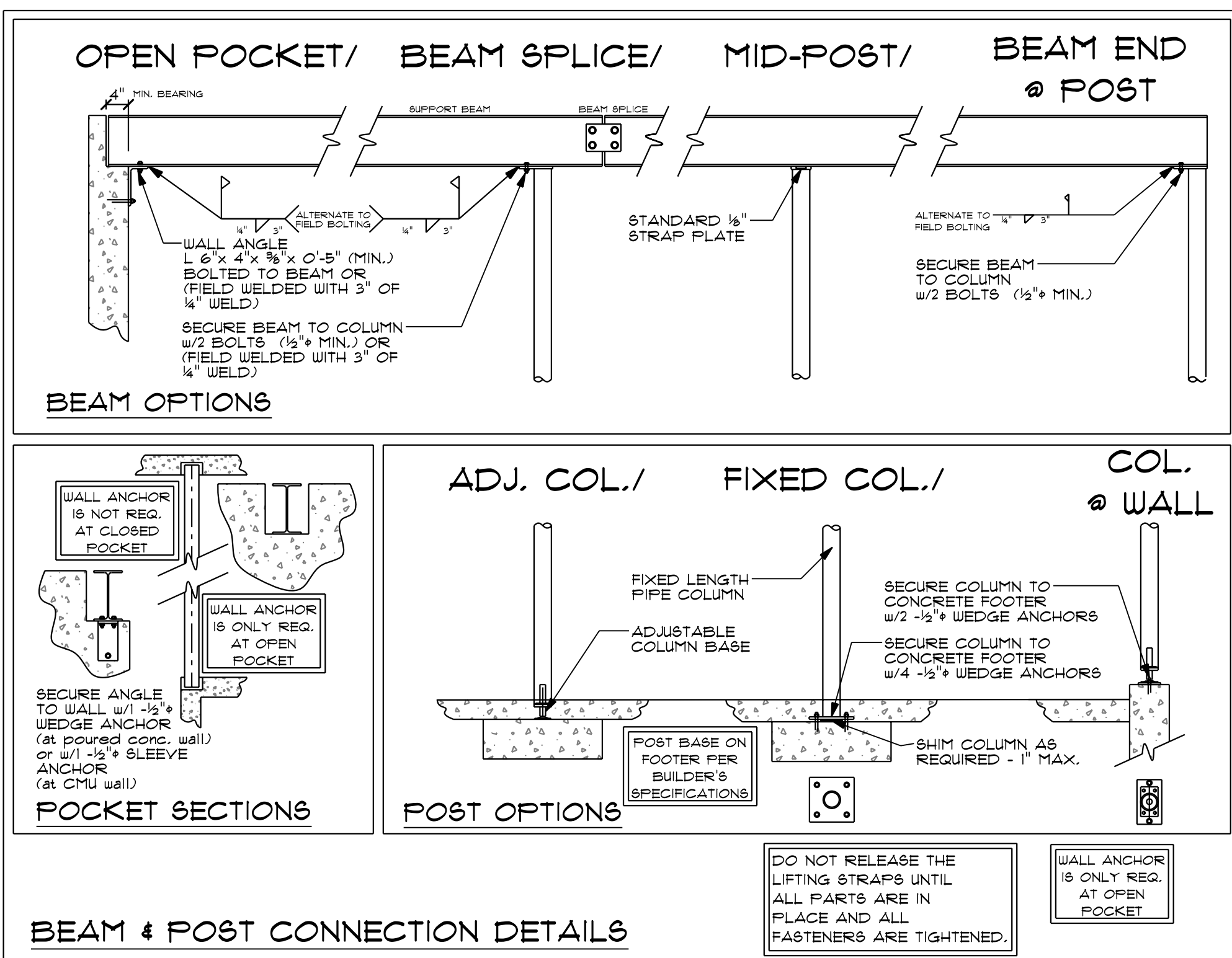
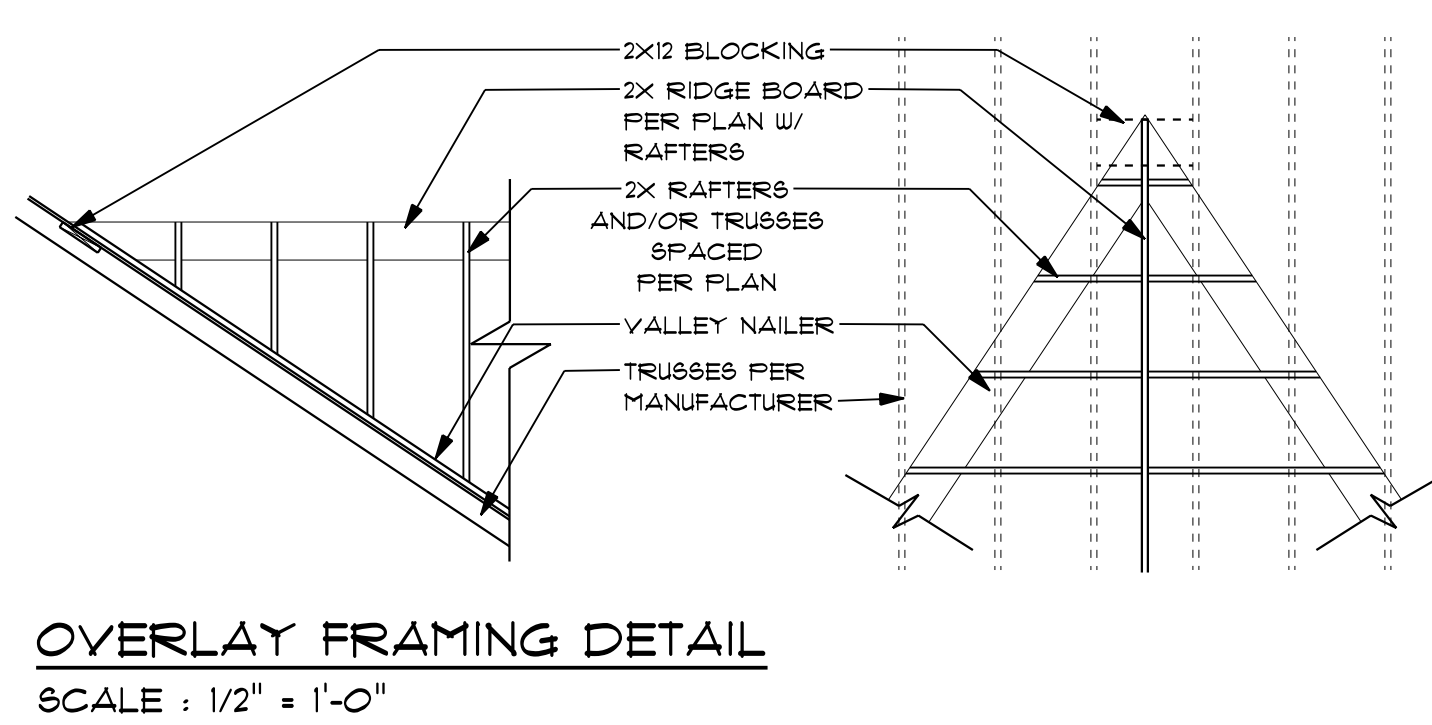
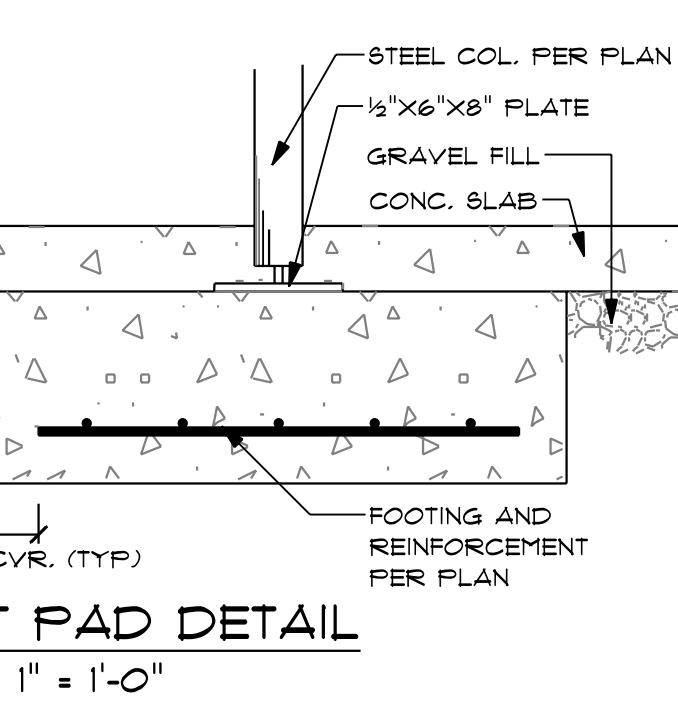
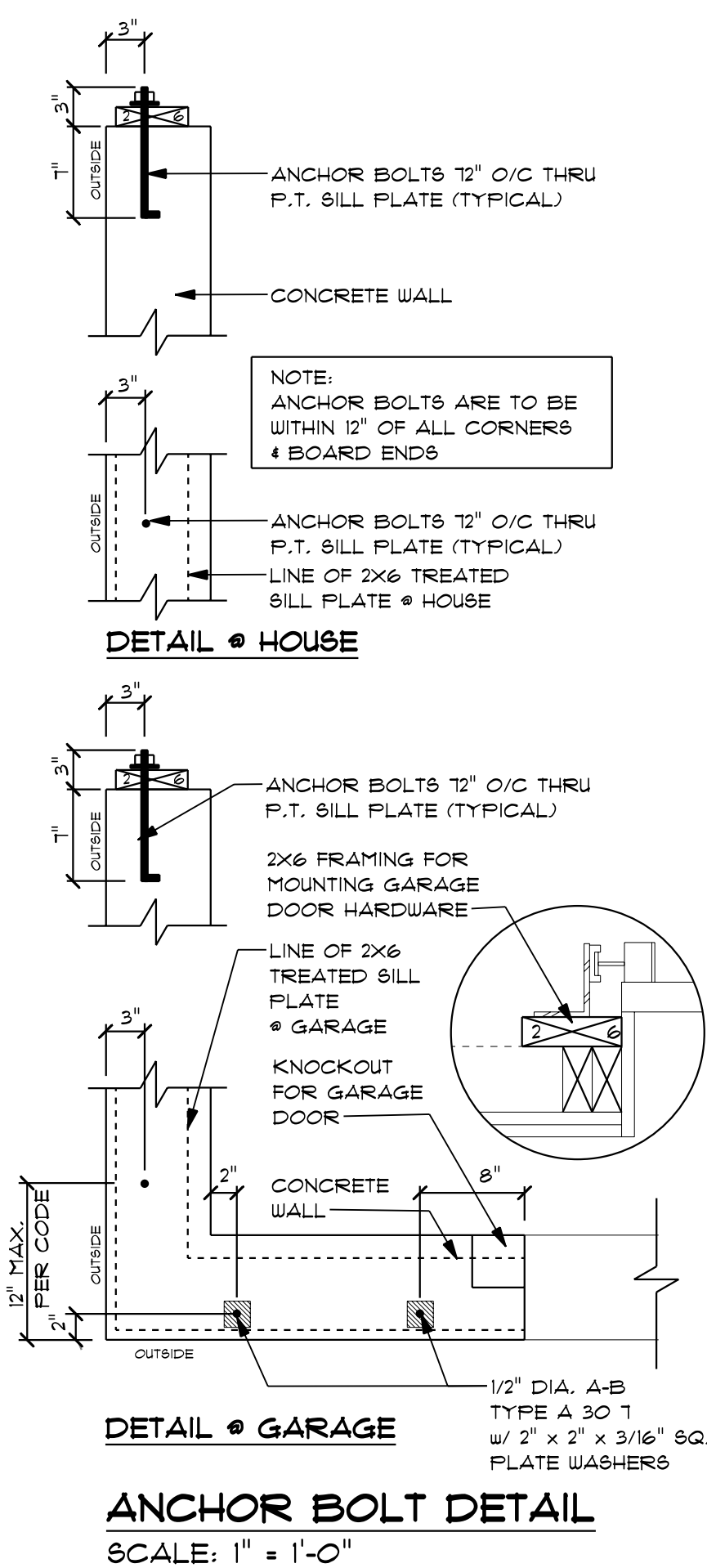
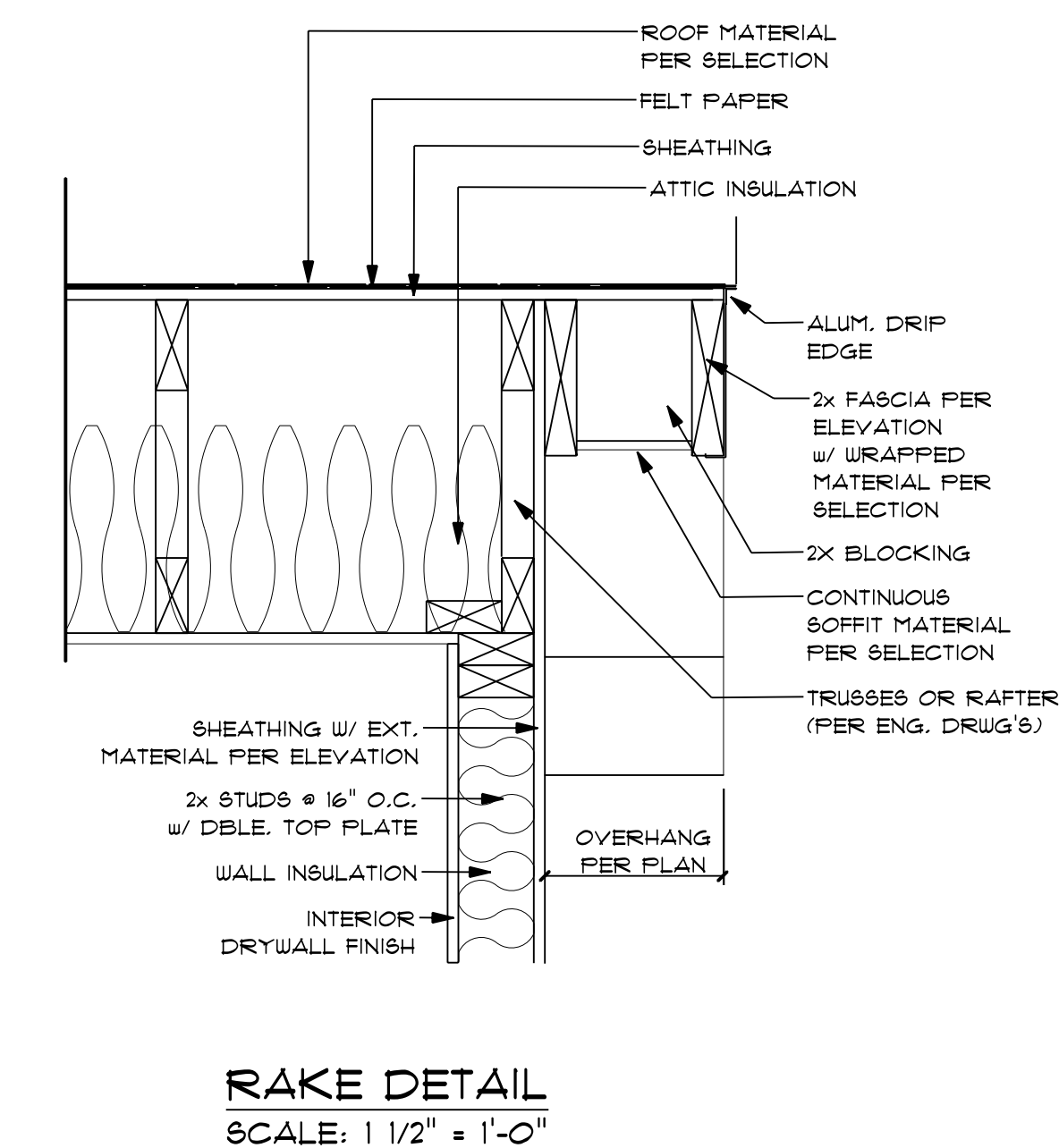
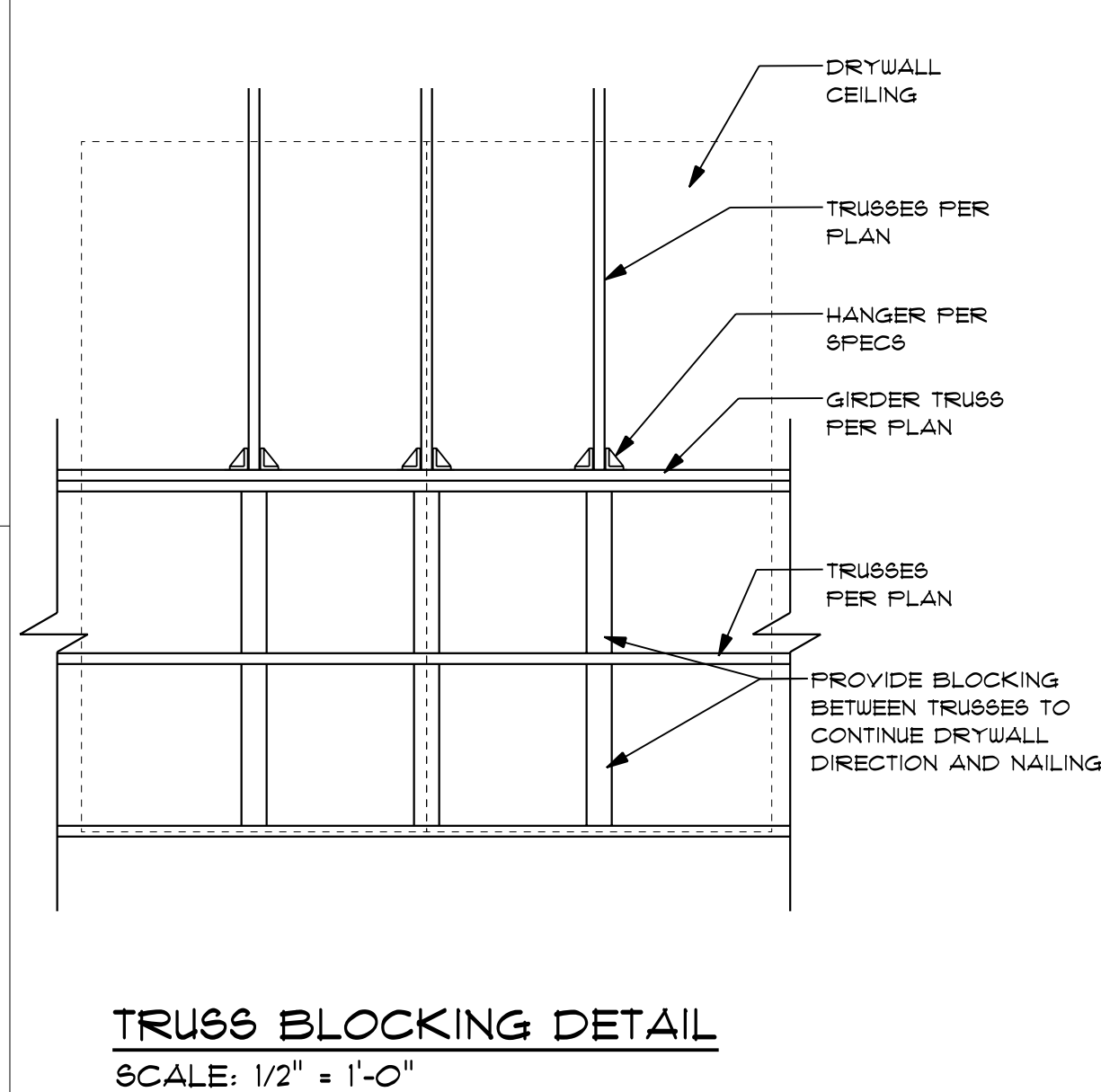
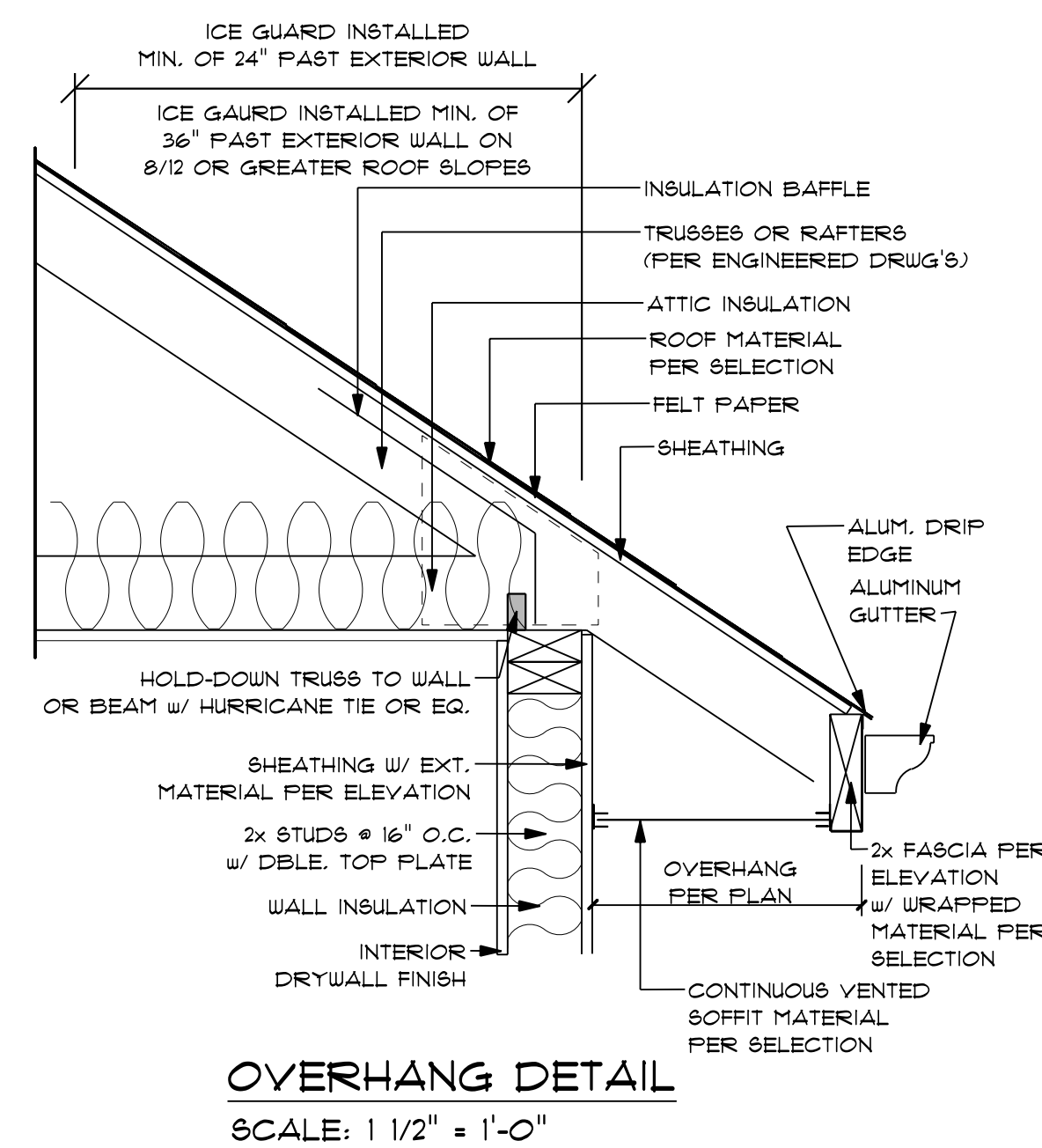
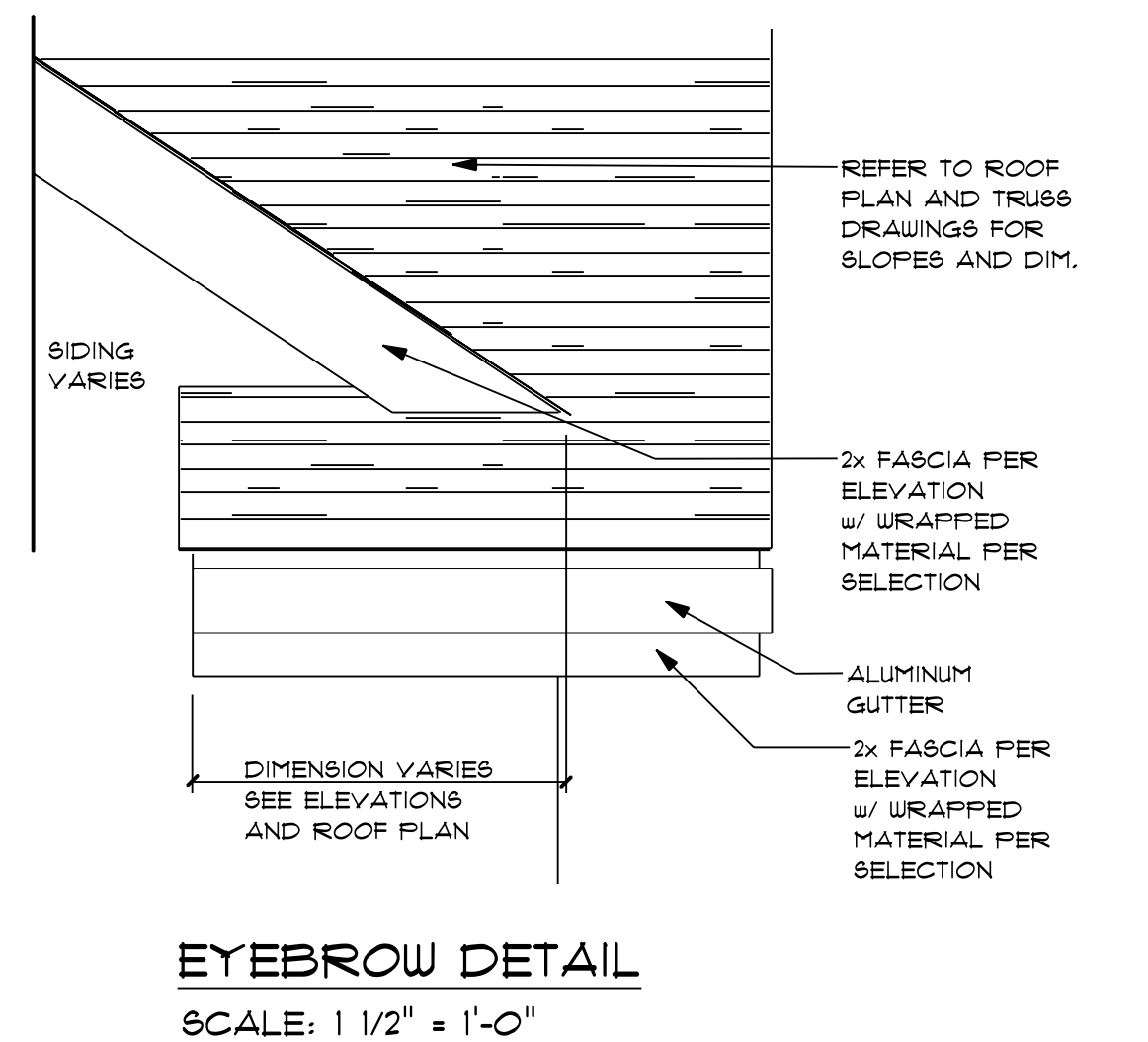
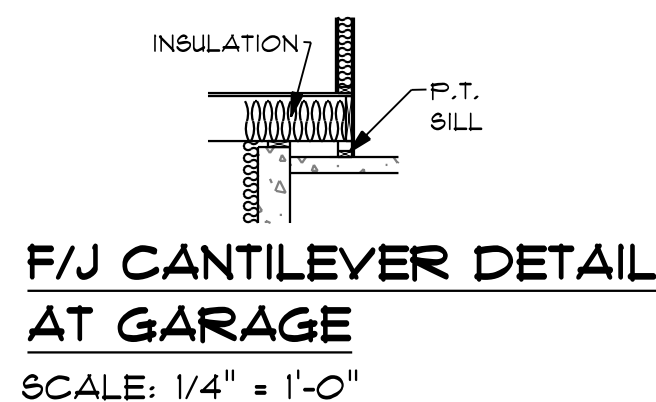
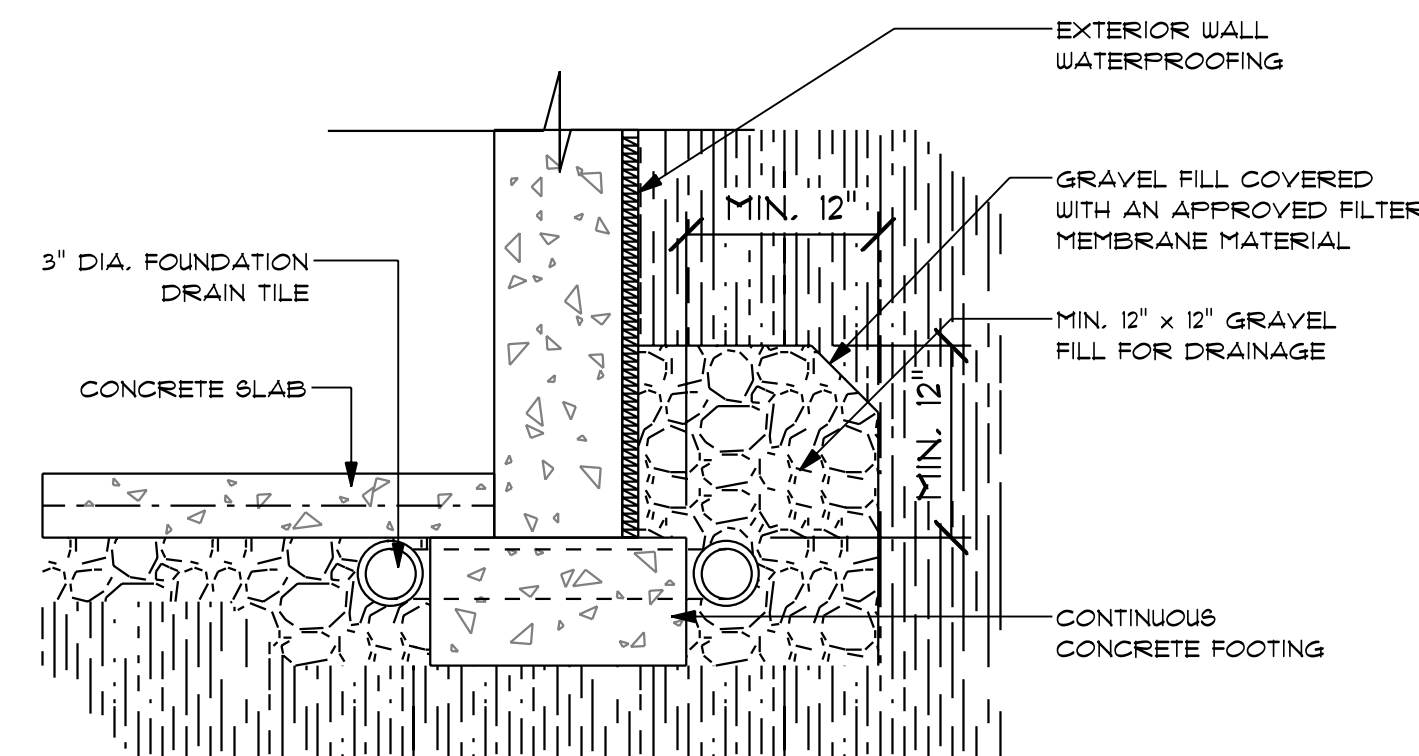
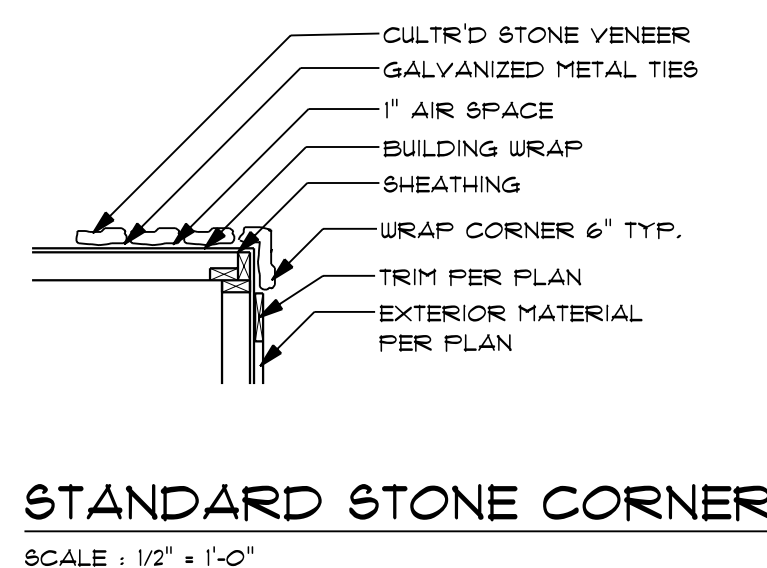
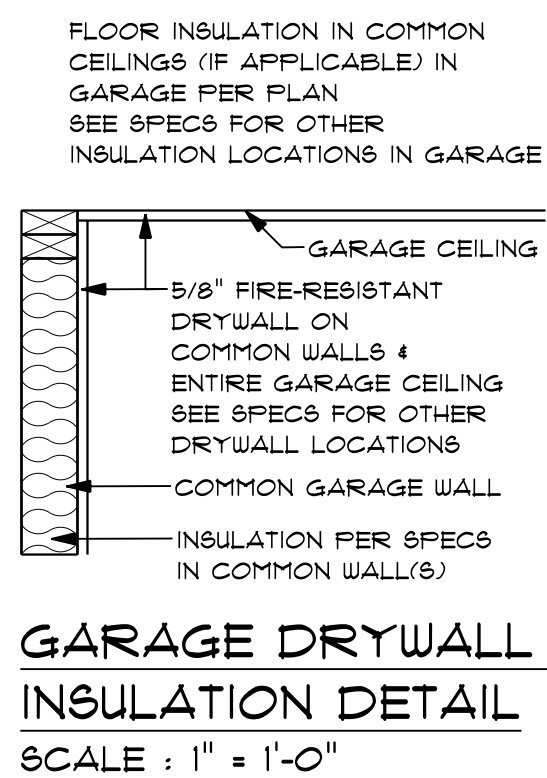
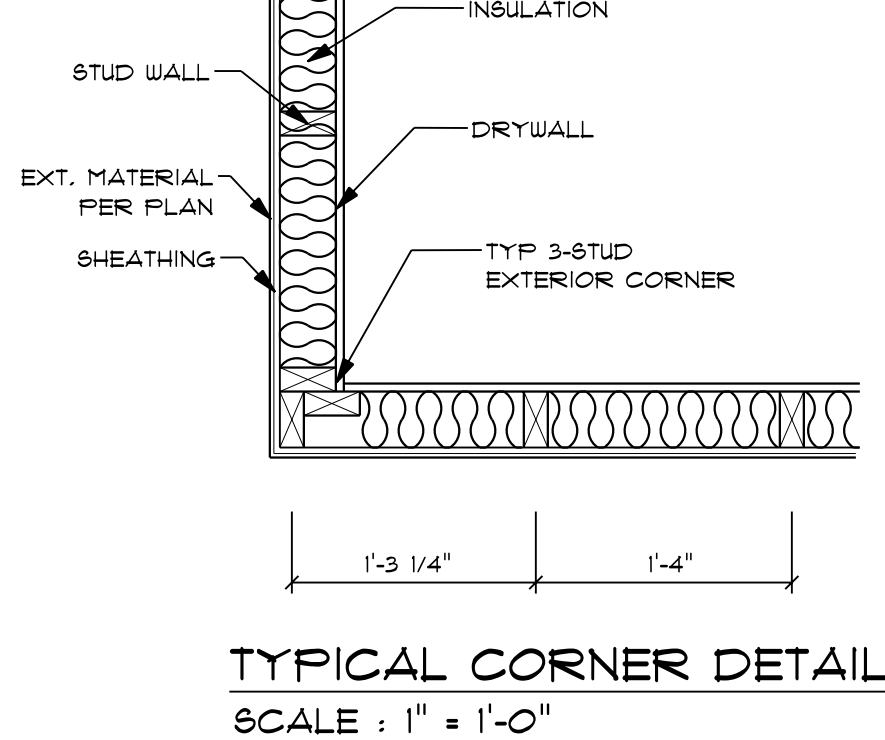
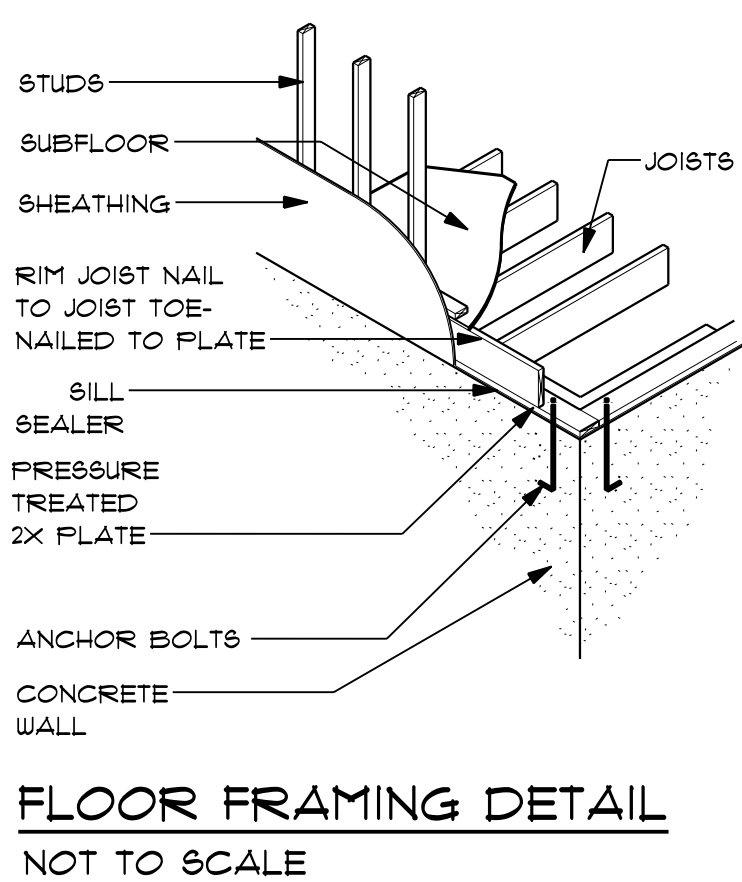
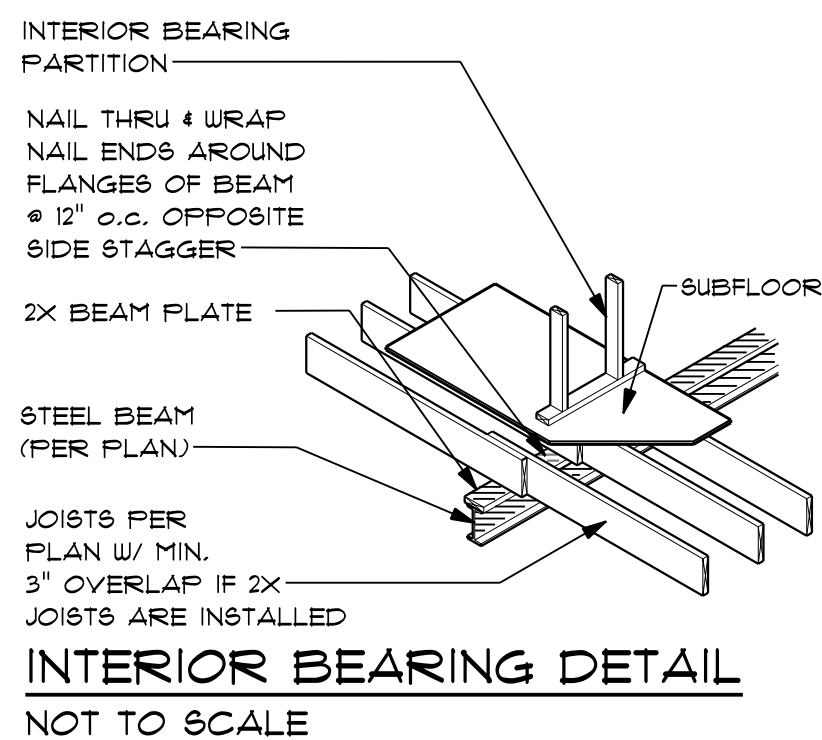
 TRUSS
OVERLAY

 GIRDER TRUSS

ROOF PLAN

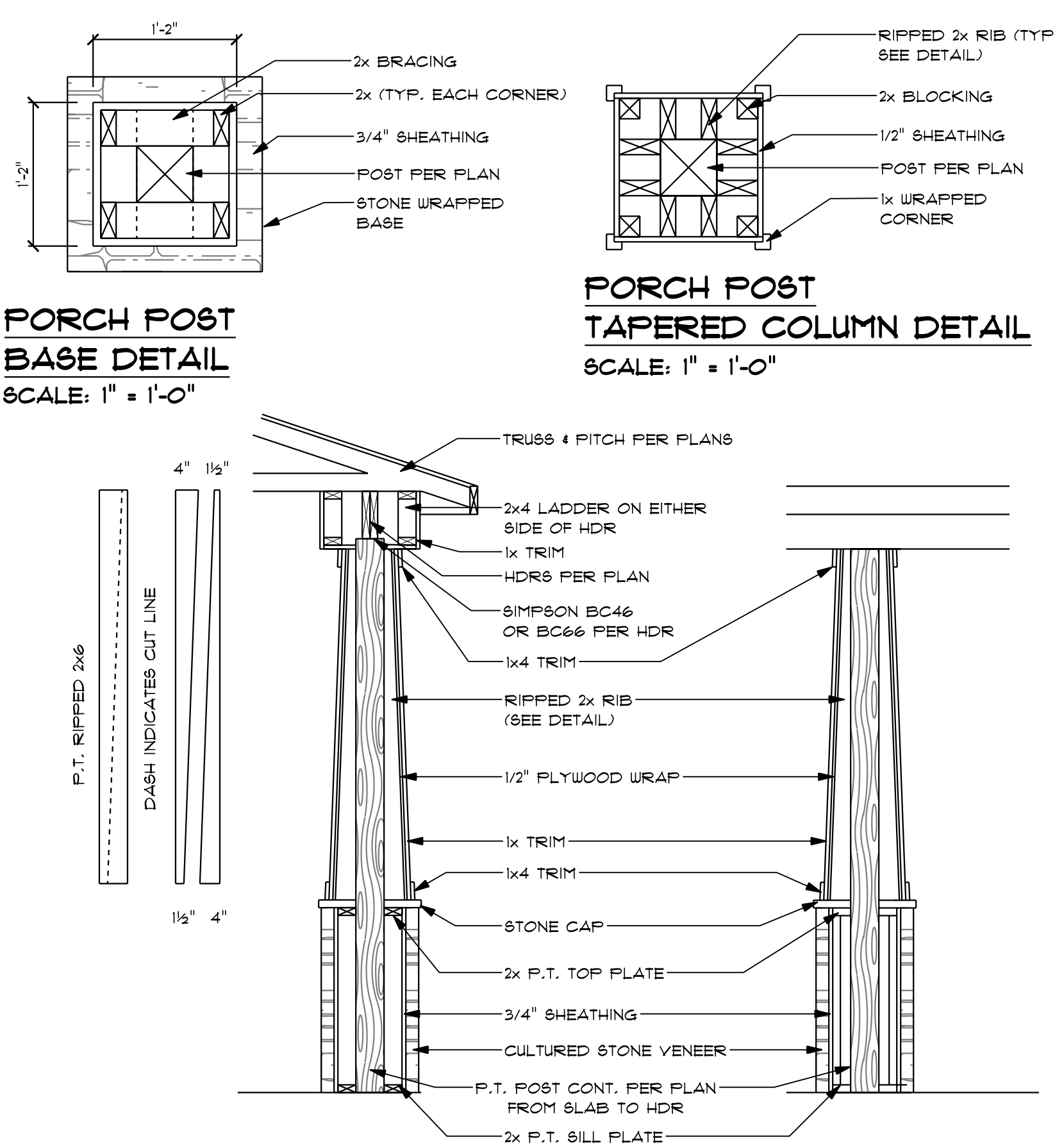
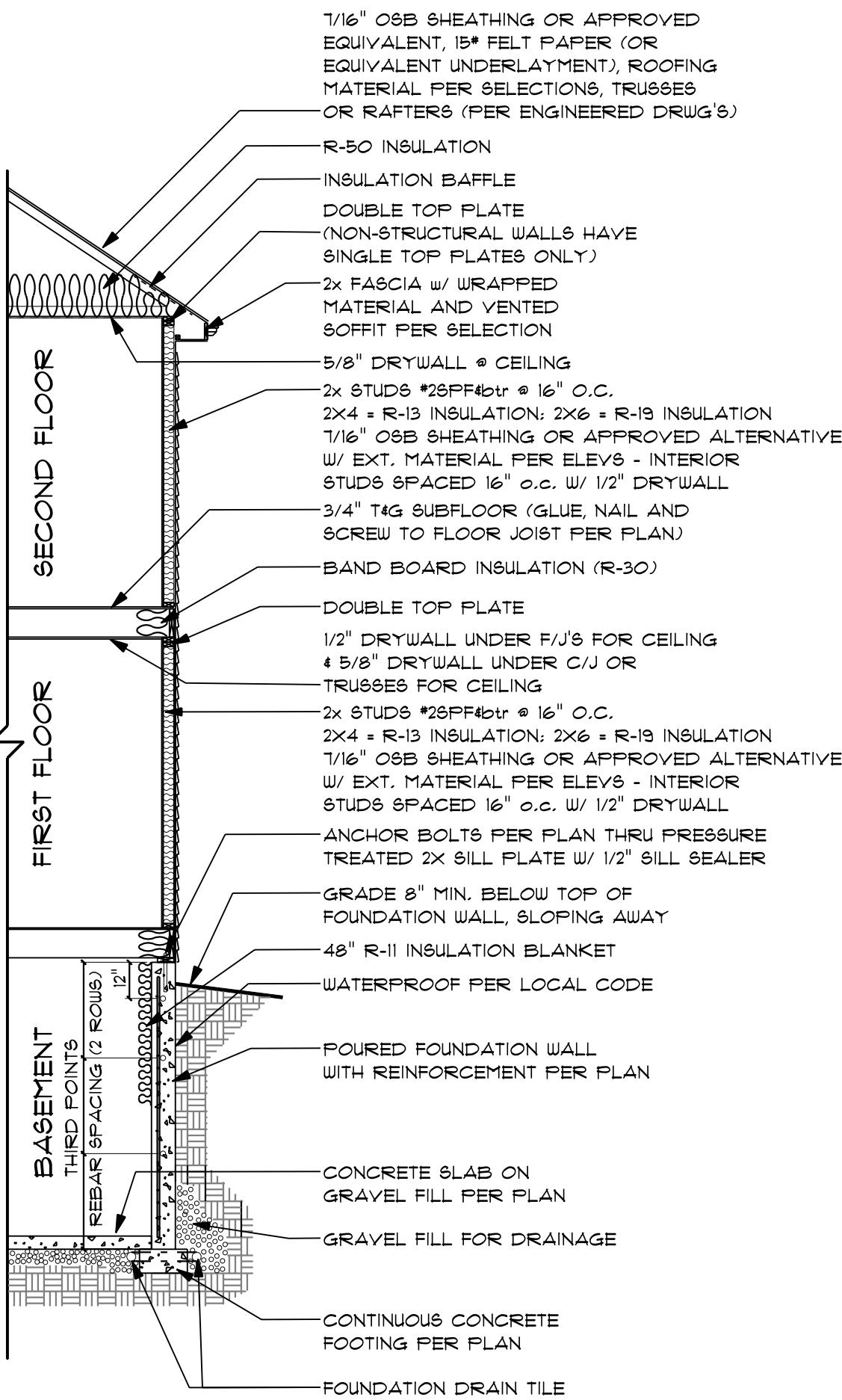
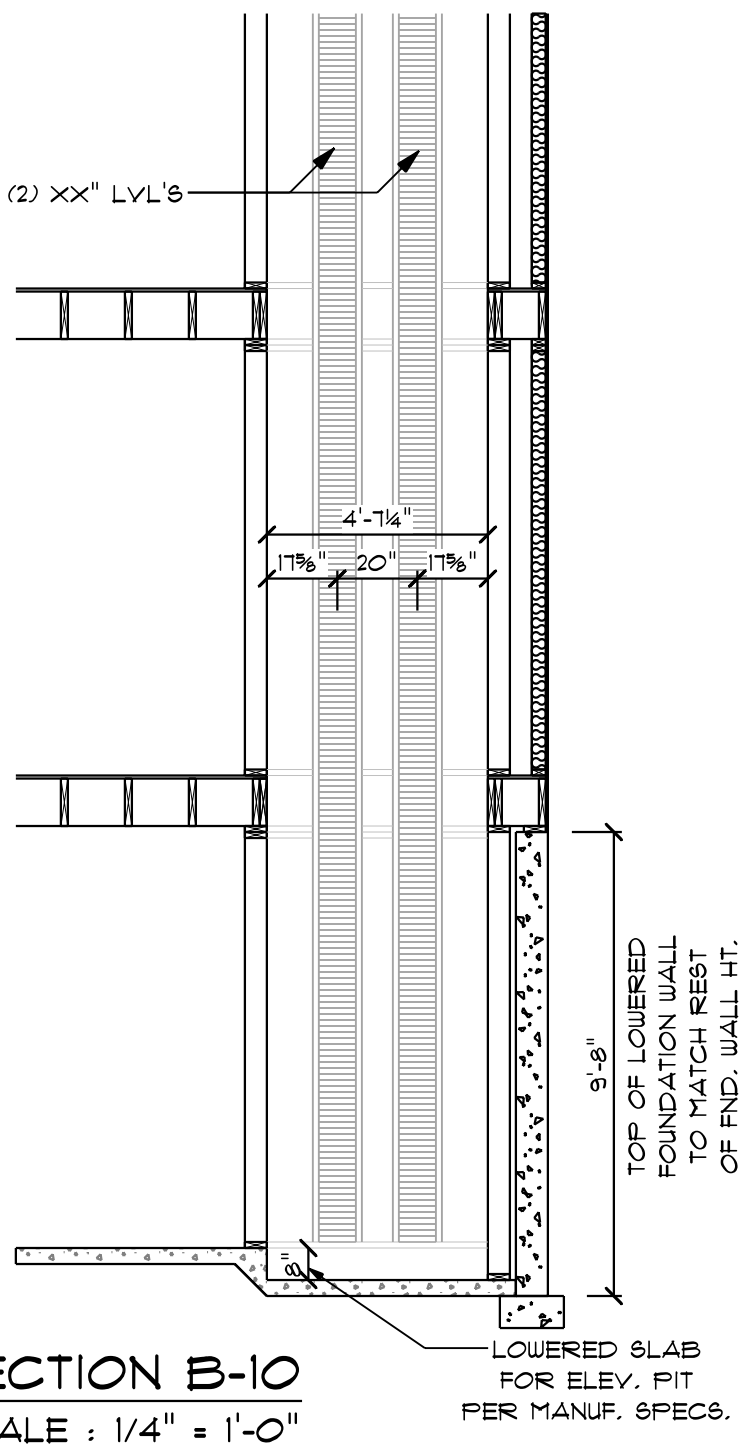
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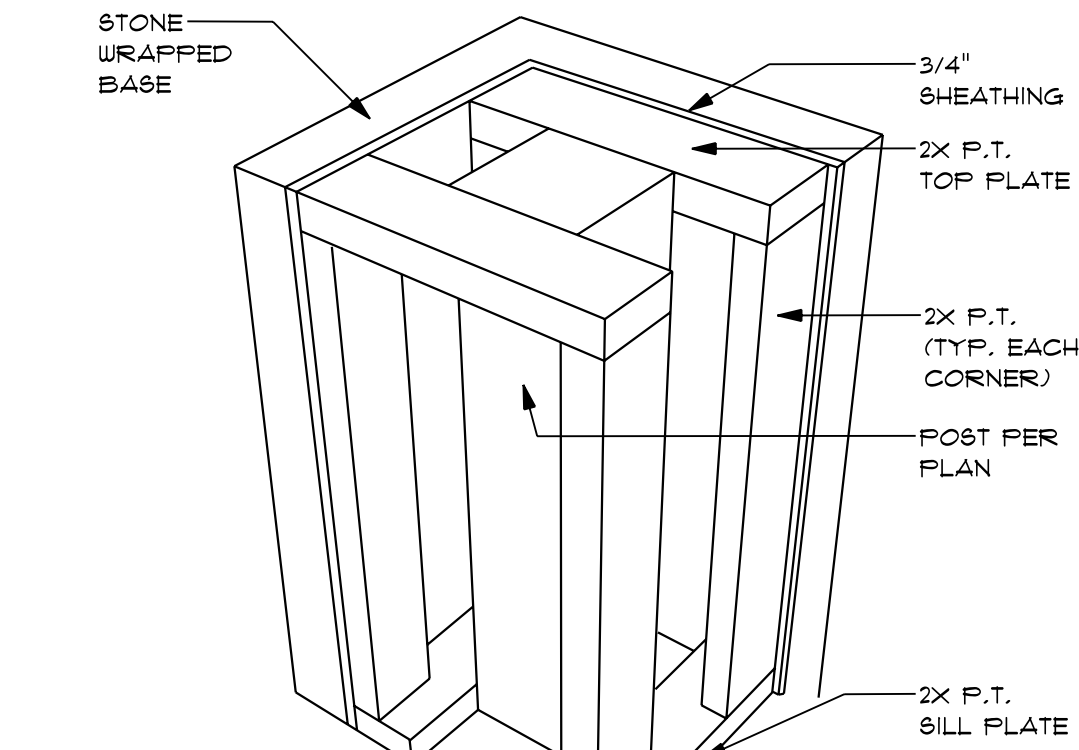


TYPICAL STAIR NOTES				
HANDRAILS INSTALLED PER SECT. 311.1.8				
TREADS = 10" U.N.O. SEE PLAN (NOSING-TO-NOSING)				
RISERS = 8 1/4"				
ADJUST STAIR RISERS FOR FLOORING MATERIAL LAMINATE = 5/8" HARDWOOD = 3/4"				
FLOOR-TO-FLOOR HEIGHT CHART				
TOP OF SLAB TO TOP OF SUBFLR				
FLOOR HT.	3.25'	9.5'	11.875'	14'
8'	8'-1.5"	8'-1.75"	8'-10.125"	9'-0.25"
9'	9'-1.5"	9'-1.75"	9'-10.125"	10'-0.25"
10'	10'-1.5"	10'-1.75"	10'-10.125"	11'-0.25"
TOP OF SUBFLR TO TOP OF SUBFLR				
FLOOR HT.	3.25'	9.5'	11.875'	14'
8'	8'-11.125"	8'-11.375"	8'-11.75"	9'-3.875"
9'	9'-11.125"	9'-11.375"	9'-11.75"	10'-3.875"
10'	10'-11.125"	10'-11.375"	10'-11.75"	11'-3.875"
11'	11'-11.125"	11'-11.375"	11'-11.75"	12'-3.875"
12'	12'-11.125"	12'-11.375"	12'-11.75"	13'-3.875"

REFERENCE SHOP DRAWINGS FOR LIFT BY OTHERS



PORCH POST SECTION DETAIL
SCALE: 1/2" = 1'-0"



PORCH POST BASE 3D DETAIL
NO SCALE

BRACED WALL DETAIL

C5-48P WALL BRACING: PER RCO 2019, ALL EXTERIOR WALL SHEATHING IS TO BE MIN. 4X8FT SHEETS OF 1/2" (7/16") ORIENTED-STRAND BOARD (OSB) OR APPROVED ALTERNATIVE, AND NAILED WITH MIN. 8d COMMON NAILS EVERY 6" C/C @ OUTSIDE STUDS AND 12" C/C ON INTERIOR STUDS
HORIZONTAL BRACING & LENGTH PER ENGINEERING REQ. (SEE PLAN)
IF APPROVED ALTERNATIVE SHEATHING IS SELECTED, INSTALL PER MANUFACTURER'S SPECS.

TRUSS/RAFTER BRACING

A: TRUSS/RAFTER BRACING
HEEL IS BTWN 9 1/4" & 15 1/4"
SCALE: 1/2" = 1'-0"

B: TRUSS/RAFTER BRACING
HEEL IS BTWN 15 1/4" & 4'-0"
SCALE: 1/2" = 1'-0"

WALL BRACING DESIGN CRITERIA

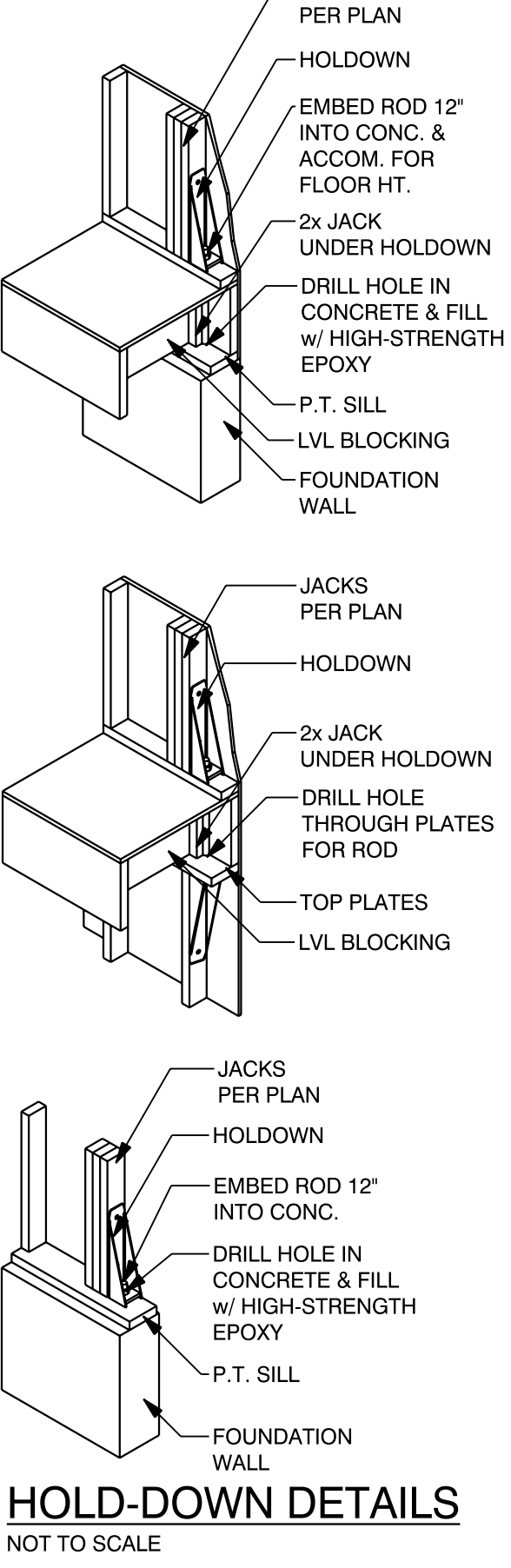
EXTERIOR	INTERIOR
EXTERIOR BRACED WALL PANEL (ALL EXTERIOR WALLS) CONTINUOUS SHEATHING, MINIMUM 1/16" OSB OR PLYWOOD PER CODE.	INTERIOR BRACED WALL PANEL (ALL INTERIOR WALLS) GYPSUM WALL BOARD FASTENED BOTH SIDES PER CODE.
METHOD C5-48P PER TABLE 602.10.4 ATTACHED PER TABLE 602.3(3)	METHOD G5 PER TABLE 602.10.4 - 1/2" GYPSUM BOARD WITH T O.C. FIELD AND EDGE NAILING PER TABLE 1002.3.5
TABLE 602.10.3 - BRACED WALL LINE SPACING 60 FT MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO	TABLE 602.10.4 - MINIMUM 48" LENGTHS OF PANELS
SECTION 602.10.4.2 - CONTINUOUS SHEATHING METHODS	
TABLE 602.10.3 - MINIMUM LENGTH OF BRACED WALL PANELS	

BRACED WALL DETAIL

TYPICAL BRACED WALL SHEATHING ATTACHMENT

WALL BRACING DESIGN CRITERIA

EXTERIOR BRACED WALL PANEL	INTERIOR BRACED WALL PANEL
EXTERIOR BRACED WALL PANEL MINIMUM 1/16" OSB OR PLYWOOD PER CODE.	INTERIOR BRACED WALL PANEL (ALL INTERIOR WALLS) GYPSUM WALL BOARD FASTENED BOTH SIDES PER CODE.
FOR C5-48P METHOD, PER TABLE 602.10.4 ATTACHED PER TABLE 602.3(3)	METHOD G5 PER TABLE 602.10.4 - 1/2" GYPSUM BOARD WITH T O.C. FIELD AND EDGE NAILING PER TABLE 1002.3.5
FOR INTERMITTENT BRACING, SEE PLAN LOCATIONS PER ENGINEER	
TABLE 602.10.3 - BRACED WALL LINE SPACING 60 FT MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO	TABLE 602.10.4 - MINIMUM 48" LENGTHS OF PANELS
SECTION 602.10.4.2 - CONTINUOUS SHEATHING METHODS	
TABLE 602.10.3 - MINIMUM LENGTH OF BRACED WALL PANELS	



JOB NUMBER: 1205

REGION: OH 3

SINGLE FAMILY RESIDENCE DETACHED

DETAIL 2

BIA

The Home Builders

Dynamili Homes

1531 BRICE ROAD
REYNOLDSBURG, OH 43068
OFFICE: 614-866-3318
FAX: 614-866-0166

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WETTIG & KUEMMEL
RESIDENCE
G2 CUSTOM HOME

PRELIMINARY DRAWINGS ONLY NOT FOR CONSTRUCTION

DHI CONTACT: SCOTT MCMASTER 614-866-3318

DRAWN BY: STAFF

ALL DRAWINGS ARE SCALED FOR ARCH D PAPER 11X17 PRINTS ARE TO BE PRINTED AT 100% AND ARE NOT TO SCALE

DATE PLOTTED: 5/18/2022

PAGE: 10



ELECTRIC PANEL TO BE
LOCATED BY THE
ELECTRIC CONTRACTOR

SMOKE DETECTOR LISTING, INSTALLATION, & TECHNOLOGY:
ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE
WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE
PROVISIONS OF THE CODE AND THE HOUSEHOLD WIRE
WARNING EQUIPMENT OF THE NFPA 72. ON EACH LEVEL
WITHIN EACH DWELLING UNIT SMOKE ALARMS UTILIZING
PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL
BE INSTALLED. SEPARATE OR DUAL-SENSING SMOKE
ALARMS MAY BE USED. A SMOKE ALARM LOCATED IN
ACCORDANCE WITH SECTION 314.3(2) SHALL INCLUDE
PHOTOELECTRIC TECHNOLOGY.



ELECTRICAL NOTES

SWITCHES, CANS, CEILING FANS,
4 OTHER FIXTURE LOCATIONS
ARE DETERMINED BY ELECTRICAL
CONTRACTOR, HOMEOWNER,
BUILDER AND/OR BUILDING SPECS.

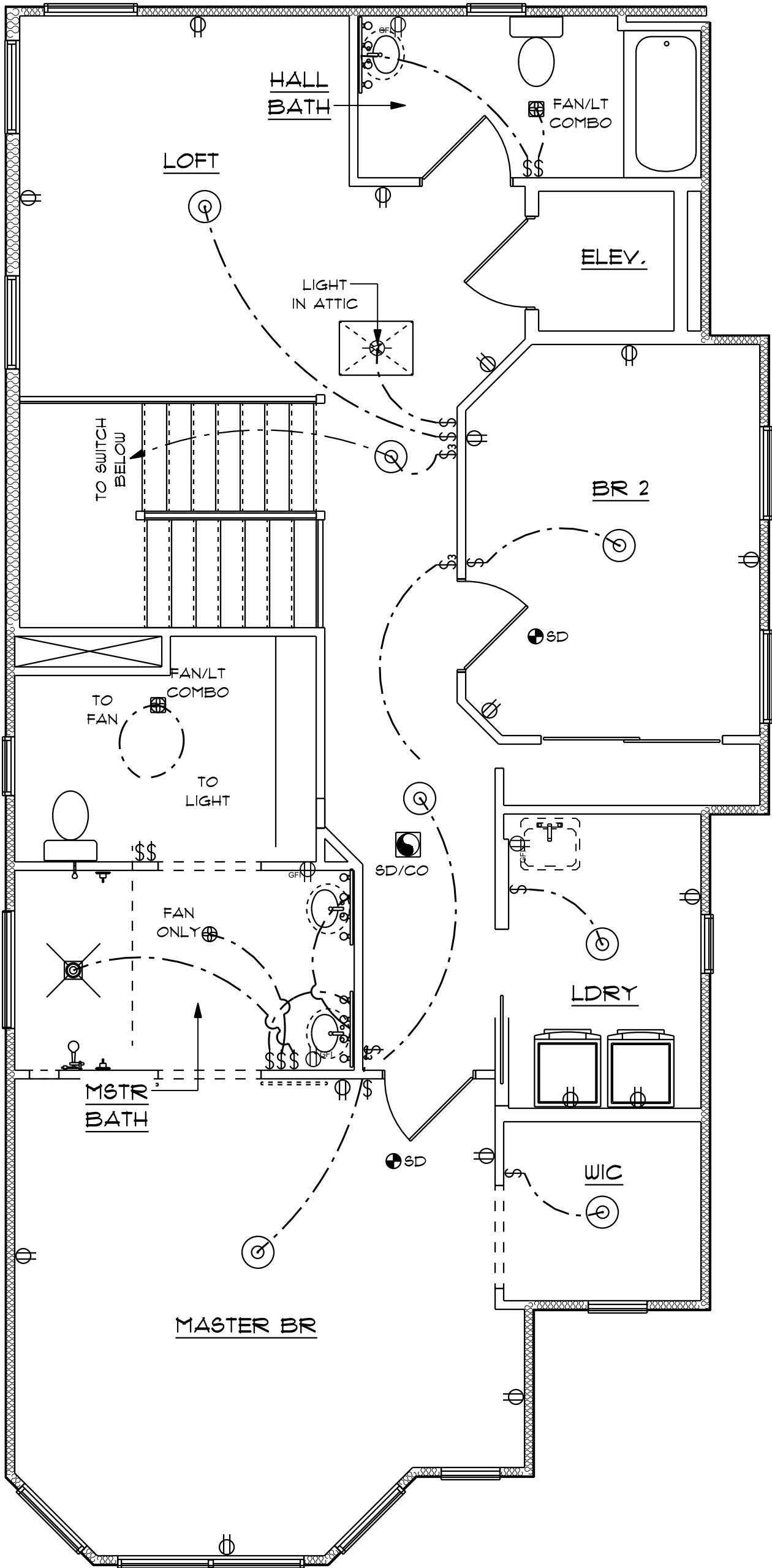
ALL WIRING DONE TO LATEST
N.E.C. AND LOCAL CODES

ALL SWITCHES AND OUTLETS
INSTALLED PER LATEST N.E.C.

ELECTRIC PANEL TO BE
LOCATED BY THE
ELECTRIC CONTRACTOR

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
BATHROOM FAN-LIGHT COMBO	2	
CEILING LIGHT	7	
SWITCH	13	
SWITCH 3 WAY	3	
VANITY LIGHT 1	3	
KEYLESS LIGHT-ATTIC	1	
SMOKE DETECTOR	2	
BATHROOM FAN	1	
CAN LIGHT	1	
SD-CD COMBO	1	
OUTLET	16	
OUTLET GFI	4	

SMOKE DETECTOR LISTING, INSTALLATION, 4 TECHNOLOGY:
ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE
WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE
PROVISIONS OF THE CODE AND THE HOUSEHOLD WIRE
WARNING EQUIPMENT OF THE NFPA 72. ON EACH LEVEL
WITHIN EACH DWELLING UNIT SMOKE ALARMS UTILIZING
PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL
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ALARMS MAY BE USED. A SMOKE ALARM LOCATED IN
ACCORDANCE WITH SECTION 314.3(2) SHALL INCLUDE
PHOTOELECTRIC TECHNOLOGY.



JOB NUMBER: 1205 REGION: OH 3

SINGLE FAMILY
RESIDENCE DETACHED

2ND FLR ELECT



1531 BRICE ROAD
REYNOLDSBURG, OH 43068
OFFICE: 614-866-3318
FAX: 614-866-0166

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COMPANY LLC
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WETTIG & KUEMMEL
RESIDENCE
G2 CUSTOM HOME

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CONSTRUCTION

DH CONTACT:
SCOTT MCMASTER
614-866-3318

DRAWN BY:
STAFF

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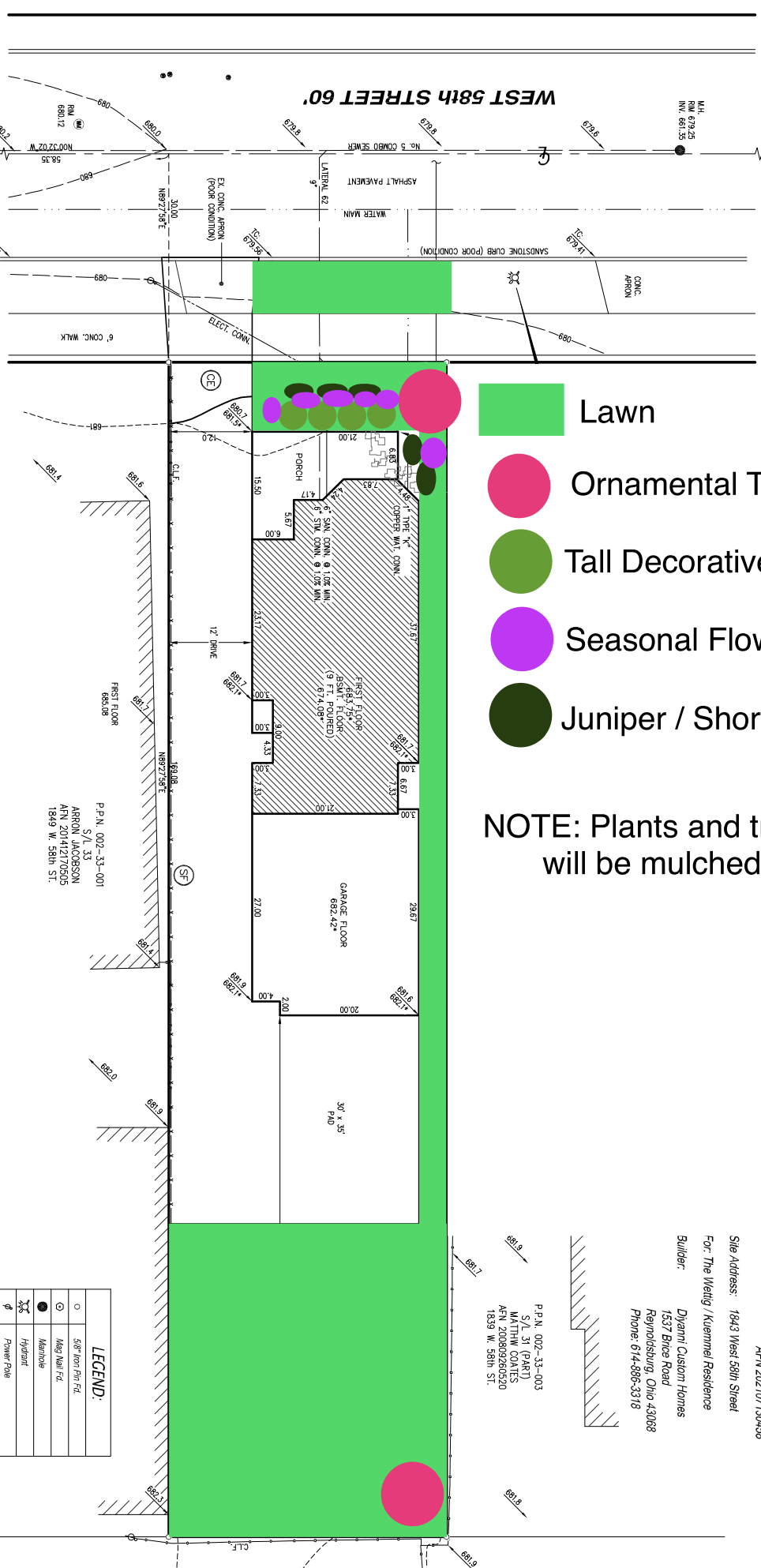
FRANKLIN AVE.
N.W. 66'

WEST 58th STREET 60'

ELLEN AVE.
N.W. 30'

-  Lawn
-  Ornamental Tree
-  Tall Decorative Grass
-  Seasonal Flowers
-  Juniper / Short Evergreen

NOTE: Plants and trees will be mulched



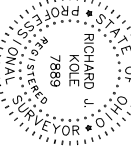
NOTES:

1. SETBACKS TO BE MAINTAINED PRIOR TO EXCAVATION.
2. INSTALL SINKER WITH MINIMUM 18" SLOPE.
3. CEMENTS TO BE PROVIDED AT ALL SINKER BENCHES.
4. BOTTOM OF FOOTERS TO BE MINIMUM 42" BELOW GRADE.
5. ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED.
6. MEET EXISTING GRADES ALONG PROPERTY LINES.
7. ANY EXISTING SEWER IN JOINDER MUST BE REPLACED.
8. EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO EXCAVATION AND COMPLY WITH "SPECIFICATIONS FOR INDIVIDUAL LOT PROTECTION AND EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES".
9. STREET PAVING PERMIT AND FULL TIME INSPECTION REQUIRED FOR WORK IN THE RIGHT-OF-WAY OR EASEMENT AREA.
10. BUILDER AND OWNER RESPONSIBILITY FOR FINAL GRADING AND DRAINAGE.
11. ALL TESTS SHALL HAVE A METAL CAP OR AN APPROVED METAL PLATE NO LESS THAN 5" THICK IN DIAMETER.

NOTES:

12. CONSTRUCTION LIMITS MUST BE PROPERLY SECURED, ESPECIALLY WITHIN THE PUBLIC USE AREA.
13. CONSTRUCTION MATERIALS AND DEBRIS TO BE ENCLOSED BY A TEMPORARY FENCE. NO EXCESSIVE NOISE OR VIBRATION TO BE TOLERATED.
14. TEMPORARY EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT CONSTRUCTION SO AS NOT TO CREATE A NUISANCE ON ADJACENT PROPERTIES.
15. SPECIAL LANDSCAPING MAY BE REQUIRED TO ALLOW FOR PROPER DRAINAGE.
16. UNDERGROUND UTILITIES SHOWN FROM IMPROVEMENT PLANS AND TYPE, SIZE AND ELEVATIONS TO BE MAINTAINED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.
17. CONSTRUCTION MUST BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ANY DELAY IN COMPLETION SHALL BE AT THE RISK OF THE CONTRACTOR.
18. THE PLAN FOR SITE PURPOSES ONLY. SEE FOUNDATION PLANS (dated 3/25/22) FOR HOUSE DETAILS.

LEGEND:	
○	50' Iron Pin Rd.
⊙	Mag Nail Rd.
●	Mainline
⊗	Hydrant
⊕	Power Pole



Richard J. Koe, Reg. Surveyor #7889
Date 5/17/22

Site Address: 1843 West 58th Street
For: The Welty / Kuemmel Residence
Builder: Dyanini Custom Homes
1537 Brice Road
Reynoldsburg, Ohio 43068
Phone: 614-886-3318

SITE IMPROVEMENT PLAN
Sited in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being Sublot 32 in Charles G. Sommer and William B. Winter's Subdivision of part of Original Brooklyn Township Lot Nos. 49 and 50 as shown by the recorded plat in Volume 2 of Maps, Page 41 of Cuyahoga County Records.
Deed Reference: P.P. Nos. 002-33-002
AFN 202107130458

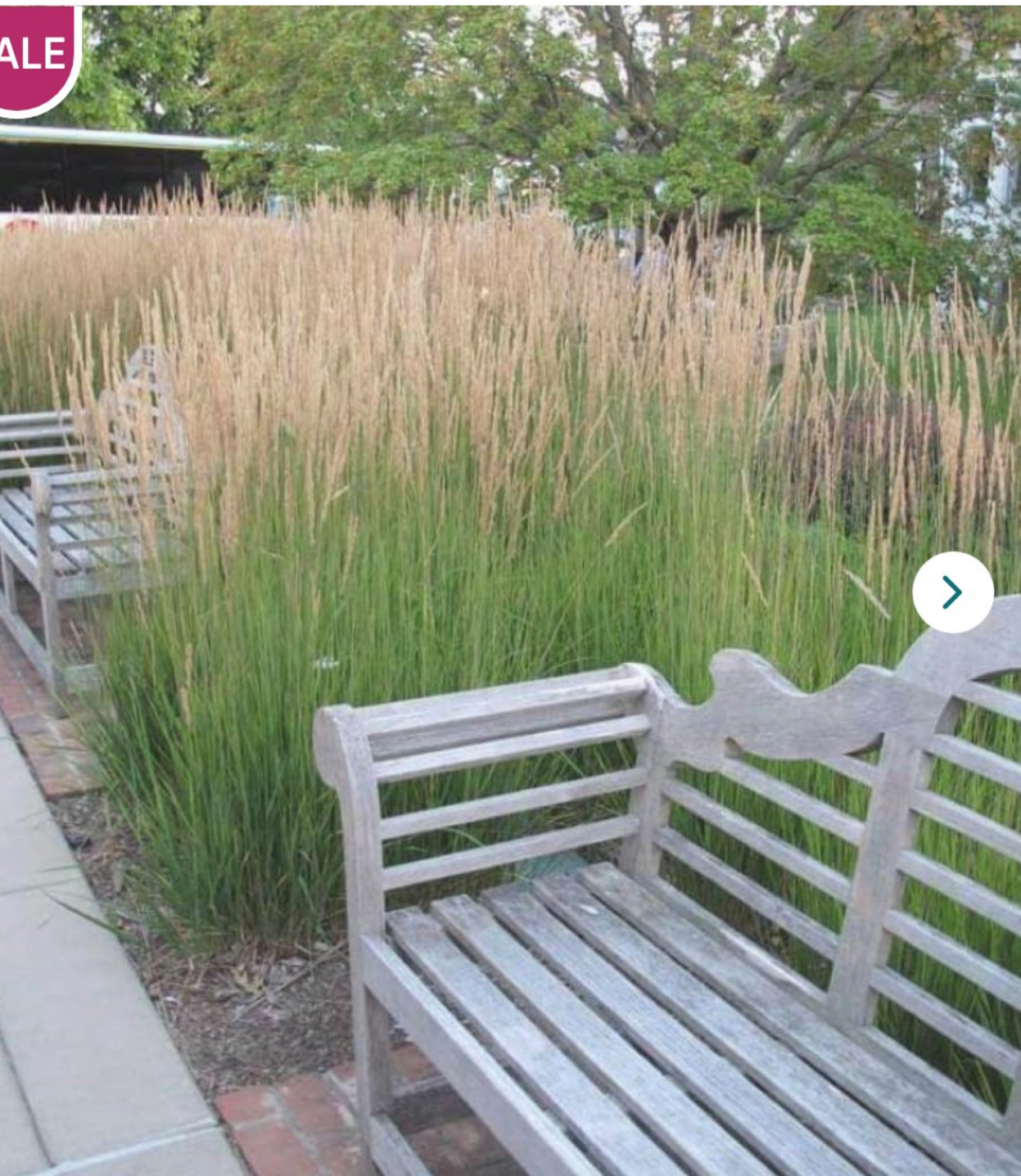
P.P.N. 002-33-003
S/L 31 (PART)
MATTHEW COATES
AFN 200609260520
1839 W. 58th ST.



★★★★★ 213 reviews



KARL FOERSTER' FEATHER REED GRASS



'Karl Foerster' Feather Reed Grass

★★★★★ (10) View reviews & questions

DESCRIPTION

- Compact grass with a striking impact!
- Feather reed grass creates a fast privacy screen
- Easy to grow and thrives in nearly any soil
- Long-lasting blooms add a contrast in texture
- Zones 5-8, sun, 60" tall x 24" wide at maturity

SALE \$10.99

~~\$14.99~~ EACH

Buy More, Save More:

~~\$10.99~~ \$10.49 / 3-5 qty.

~~\$10.99~~ \$9.99 / 6-8 qty.

~~\$10.99~~ \$9.49 / 9-11 qty.

~~\$10.99~~ \$8.99 / 12+ qty.

TOTAL
\$10.99



sign

W & Care for Juniper Shrubs & Trees | Garden Design

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Phlox paniculata 'Forever Pink' pp24918

*Dwarf Garden Phlox***✕ SOLD OUT**

Developed by Dr. Jim Ault at the Chicago Botanic Garden. These compact clump-forming early blooming phlox have 1" wide sterile vibrant purple-pink blooms with over-lapping petals. Blooms 3 weeks in June with repeat bloom into October

- Vibrant purple-pink flowers
- Bloom earlier than taller types, long blooming
- Dwarf phlox are compact, some mildew resistance

Recommended Substitution



PHLOX PANICULATA 'PIXIE MIRACLE GRACE'

Dwarf Garden Phlox

Short and compact with good mildew resistance and exceptional long bloom time. Fragrant lavender-purple flowers with white centers and dark stems.



Phlox paniculata 'Forever Pink'



Fast, Reliable Shipping

Free shipping on all orders over \$125

Healthy Plants, Guaranteed

Every plant is backed by our 30-day guarantee

Over 1.5 Million Happy Customers

[Home](#) › [Shrubs & Hedges](#) › May Night Salvia

May Night Salvia

Salvia x sylvestris 'May Night'

★★★★☆ 8 reviews

GROUNDCOVERS & VINES

\$19.97 ~~\$39.95~~ 50% off

Ships In 1-2 Days

1-Year Warranty Eligible [View Details](#)[See how our plants are shipped to you!](#)

Available Sizes:

50% Off

1 Gallon

37% Off

Pollinator's Friend Garden


Quantity:

-

1

+

Add to Cart

Job Name: WETTIG & KUEMMEL, JOHN & ANGELA						
Job # 1205						
Designer : Kati Dougherty						
Region: OH-3						
Exterior & Plumbing	<u>Product/Level</u>	<u>Style</u>		<u>Color</u>	<u>Buyer Notes</u>	<u>Option Source</u>
4000: Basement						
Standard Basement Awning windows				White Only		
4004: Shingles						
Owens Corning	Standard	TruDef Duration		Teak		
4006: Windows						
Pella	Level 1 : Encompass			White		
4008: Doors						
Front entry door - main entry (sidelights if applicable)	Thermatru	6'8" TALL Thermatru. S4814 Door. S2000 Sidelight. SDL. Smooth fiberglass door with Duratech frame. Door, Sidelights and Frame are PAINT grade. Clear Glass UNLESS otherwise noted. (number of sidelights included are per plan) Item B368	6'8"	Refer to phase 4044 (exterior paint/stain colors)		
<p><i>Note: If a door or sidelight includes glass, the glass will be clear unless there is an upgrade on the color sheets specifying privacy glass.</i></p> <p>General Note : Steel doors are not Masonite. They WILL NOT match your interior door selection (examples: . Garage FIRE door (mud room) , garage service doors, rear or side access doors, etc.) If you would like a price on upgrading your exterior steel doors , please consult you Design Center coordinator at your color appointment.</p>						
4010: Garage Overhead Doors						
Garage Overhead Door(s)	Wayne Dalton	9100 Factory Painted	Sonoma	White		
Garage Door Windows	Unavailable					
Decorative hardware & lift handles	None Included					
4026: Exterior Cladding (Vinyl, Hardi, Stucco, Stone, Brick)						
Exterior Portfolio Horizontal Siding	Level 3	Market Square	Clapboard	Regatta	4"	PCP-A
Exterior Portfolio Vinyl Shakes (shingles)	Level 1	Portsmouth Cedar Style Straight S7		Country Beige		
Dutch Quality Cultured Stone	Level 1	Limestone		Great Lakes		
Dutch Quality Plinth Sill				Tan		
Grout Mortar				Standard Gray		
<p>Note: Variation in stone should be expected. The stone sample boards do not represent the complete size or color range.</p> <p>Note: Vinyl Siding and Board & Batten are NOT insulated unless the "Craneboard" insulated upgrade has been purchased.</p> <p>Note: Vinyl Board and Batten is NOT insulated unless teh Craneboard Insulated Board and Batten upgrade has been purchased.</p> <p>Note: Vinyl Shakes are NOT insulated. Shakes are not available in "Craneboard" insulated ..</p>						
4024 Fireplace Stone (interior)	None					
4030: Exterior Trim Detail						
MRV Fascia (aluminum)	Level 1	MRV		White		
Exterior Portfolio Soffits (vinyl)	Level 1	Exterior Portfolio T4		Aspen White		

Hardie Trim (Door Trim, Corner Board and windows per plan) Rustic Texture	Level 1	James Hardie Color Plus (choice of 6 colors)		Arctic White		
Note: If a porch has vinyl soffits, color will match the house SOFFITS.						
4032: Exterior Decks	None					
4034: Gutters						
Gutter (Ogee)				Low Gloss White		
Downspout				Matches Gutters		
4044 Exterior Paint Colors						
Front Door Slab	Paint			Rave Red - SW 6608		
Front Door frame	Paint			Rave Red - SW 6608		
Front Porch Post				Matches Exterior Hardie Trim		
Gable Vents (if applicable)	Paint			Waterloo - SW 9141		
Garage Fire Door	Paint			matches interior doors		
Garage Service Door -Man Door (If applicable)	Paint			Rave Red - SW 6608		PCP-A
Cedar Porch Railing	STAIN		Flood Brand Semi Transparent	Expresso		CA1-A
Cedar Porch Spindles	STAIN		Flood Brand Semi Transparent	Grey Beige		CA1-A
Side Porch - Door	Paint			Rave Red - SW 6608		
Note If a porch has LP smart trim in ceiling , it will be painted to match the house SOFFIT color.						
Note Builder recommends the Flood Semi Transparent stain for exterior products versus the Semi Opaque. Buyer understands that if they select the Semi Opaque formula, the stain will have more pigment and the wood grain of the products will be less noticeable.						
4050 Hardware Exterior & Interior						
Front Door Handleset		Schlage	Match Interior	matches interior	Note: Interior side of entry door to match interior door hardware	
Door Hardware	Level 2	Schlage	Accent Levers	Satin Nickel		CA1-A
Note 1: If you have the Craftsman or the Farmhouse Baseboard and Casing, we use "extended " strike plates on the door jamb due to the thickness of the trim. The extended strike plates will be OIL RUBBED BRONZE. The do not come in other colors.						
4012 Plumbing						
Vanity Bowls, Toilets				White		
Tubs & swanstone shower base (if applicable)				White		
Plumbing fixtures (to be selected at Fergusons Meeting)				per specifications		
Note: All plumbing fixtures must be Delta so that they fit the Delta RI valves used by the plumber.						
General Notes:						
General Note 1: Buyer has had an opportunity to review the CABINET CHECKLIST						
General Note 2: Builder is not responsible, nor will warrant, nor will insure any work or materials installed by any subcontractor not directly hired by Diyanni Homes. If customer hires any subcontractors, they must carry their own liability insurance or be insured by customer, builder will not be held liable.						
General Note 3: Any work done by any contractors/subcontractor, not hired by builder, that interferes with or causes added work or cost to builders responsibilities, or causes and delays in getting inspection approvals or loss of time to builders schedule, will be billed to customer at a time & materials basis. Interest charges will be billed accordingly if work causes delays to builder schedule.						
General Note 4: Builder has the right to substitute products with equal to or better quality products when specified products are unavailable, or will delay job. Customer will be notified.						
General Note 5: All upgrades must be on a Change Order or the contract Pricing Addendum in order for DiYanni to carry our the change. Please make sure this step has been completed before approving the Color Selection Sheets.						

General Note 6 Stucco: Moisture content, temperature, and sunlight are all variables that can affect the finish coat on stucco. The finish color on our home DiYanni Showroom sample, depending on the weather conditions at the time of may be lighter or darker than the application.						
General Note 7: Cultured stone - variation in cultured stone should be expected. The stone sample boards do not represent the complete size or color range.						
General Note 8: Slight variations in color, size, and finish are natural characteristics of most building products. The samples in the DiYanni Showroom are to be used as a reference only. The actual material used on your home will be very similar but not an exact match.						
General Note 9: Exterior Color Matching If you've inquired about exterior colors of an existing DiYanni Home, we cannot guarantee the colors we have on record are 100% accurate. The homeowner may have changed a color or product that we may not have a record of. It's best to make sure you are satisfied with your selections as picked at your selections appointment.						
General Note 10: Once the Color Appt 1 has been completed and approved on Builder Trend, the NEXT TIME (and last time) to make color changes will be at the Pre Construction Orientation Meeting. A design fee will be applied. .						
By approving these selections , Buyer is agreeing they have reviewed the products & colors with the DiYanni Homes designer and the information as listed is correct. Buyer has also read all General Notes.						



Shingles, Owens Corning, Color Teak

Vinyl Shakes, Portsmouth Cedar Style Straight S7
Color: Country Beige

Horizontal Siding Market Square, Clapboard, Color Regatta

Cultured stone: Limestone, Color Great Lakes Tan/Mortar Color
Standard Gray









Cleveland Landmarks Commission

Design Review



June 23, 2022

Franklin – West Clinton Landmark District

Design Review Committee

Meeting Motion and Report Form

Gordon Square Arcade, Atrium Conference Room - 6516 Detroit Avenue

Project Number: FWC-2022-04 Committee Meeting Date: June 15, 2022

Project Name: Wettig – Kuemmel Residence

Project Address: 1843 w 58th St Landmark Status: _____

Project Representative(s) Attending: John Wettig and Angela Kuemmel - owners

Description of Proposed Work:
(additional notes available upon request)

Construct a new infill home per attached presentation. Use of vinyl siding and Cultured stone through out per drawings. Vinyl windows also. This presentation is a concept review. The builder's representative did not attend.

Committee Member Discussion:
(additional notes available upon request)

Committee members were impressed with the visual design of the home and how it integrated with the neighborhood's other homes.

The Committee expressed some concern of the extensive use of vinyl siding and running the cultured stone to the bottom of the front windows.

A suggestion was made to use fiberglass/composite windows vs the vinyl windows.

There was a discussion concerning the various textures on the front façade.

There was a long discussion regarding the cost to the owner to comply with the guidelines of the historical district.

Motion by Design Review Committee:

This was a Conceptual review. No motions were made

- ☐ Approved (as presented)
- ☐ Approved (conceptually)
- ☐ Approved (with stated conditions)
- ☐ Disapproved
- ☐ Tabled

Committee Action: (check box and/or note: 1=motion; 2=seconded; App=Approve; Disapp=Disapprove; Abst.=Abstain; Pres=Present)

McCrickard (Chair) <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Polichuk <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Wunzin (V. Chair) <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Sanbury <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Hopcian <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Talley <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Matisak <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Teeter <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Noye <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	<input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.

Non-Voting members in attendance:

☐ Don Petit ☒ Karl Brunjes ☐ Jenny Spencer ☐ Michael Englehart ☐ Joseph Giuliano ☒ Jamie Miles (CRS)

☐ _____ ☐ _____ ☐ _____ ☐ Others (on reverse)

Chairman's Signature & Date:  June 17, 2022

Cleveland Landmarks Commission

Administrative Reports



June 23, 2022

Cleveland Landmarks Commission

Adjournment



June 23, 2022