



# **Cleveland Landmarks Commission**

**Thursday, March 10, 2022**

**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Julie Trott, Commission Chair  
Donald Petit, Secretary

# Cleveland Landmarks Commission

## Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

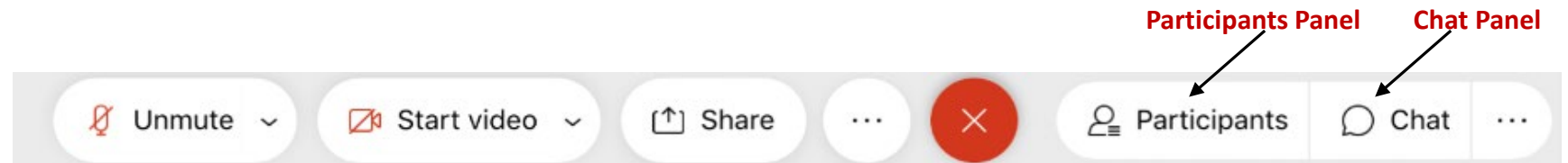
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING \*6



March 10, 2022



# Cleveland Landmarks Commission

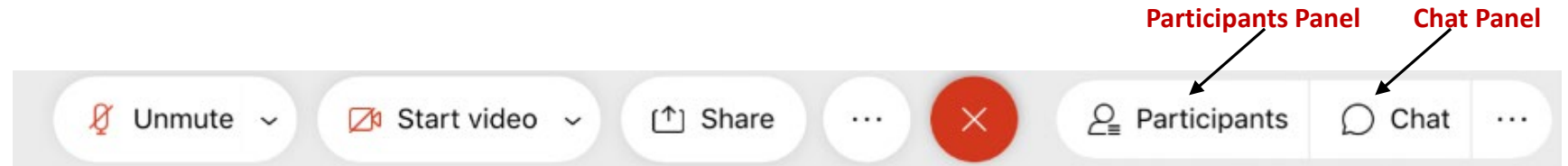
---

## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.  
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL  
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN  
COMMENT ON A PARTICULAR MATTER.**



March 10, 2022

# Cleveland Landmarks Commission

## Call to Order & Roll Call

---



March 10, 2022

# Cleveland Landmarks Commission

## Certificates of Appropriateness

---



March 10, 2022



**Case 22-007:** Ohio City Historic District

**Ohio City Burrito 1844 West 25th Street**

Garage Door Installation

Ward 3: McCormack

Project Representatives: Jeff Pizzuli, Ohio City Burrito



# Ohio City Burrito

1844 W. 25<sup>th</sup> Street

Garage Door Installation

# Original Presentation 7/16/2020



REPLACE EXISTING WINDOW  
WITH NEW SECTIONAL OVERHEAD  
DOOR IN EXISTING FACADE

OHIO CITY BURRITO

**PROPOSED BUILDING FACADE RENOVATION**  
VIEW FROM W. 25TH STREET  
JULY 2, 2020

**arkinetics**  
architects+urbanists

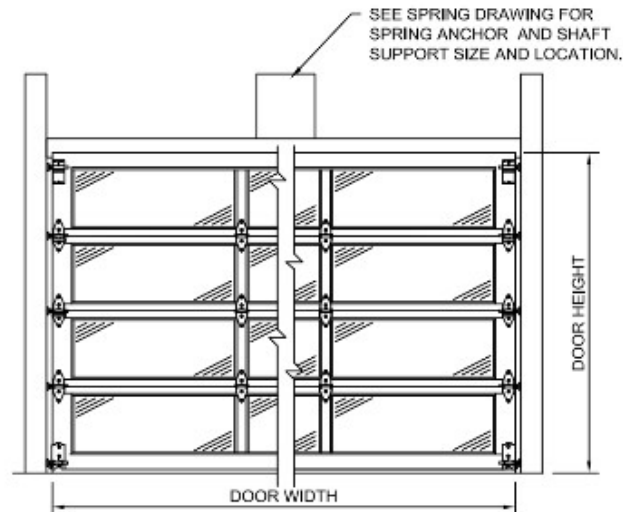
# Second Presentation 9/16/2021



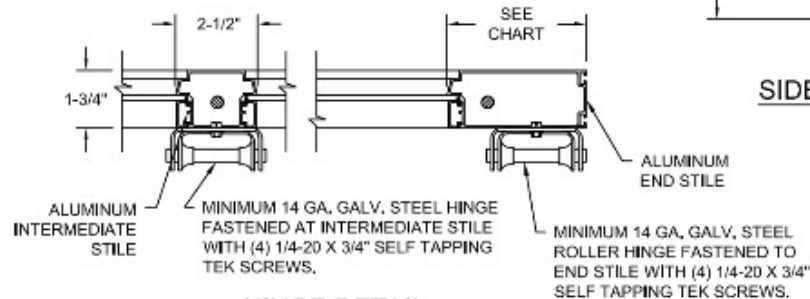








**INTERIOR ELEVATION**



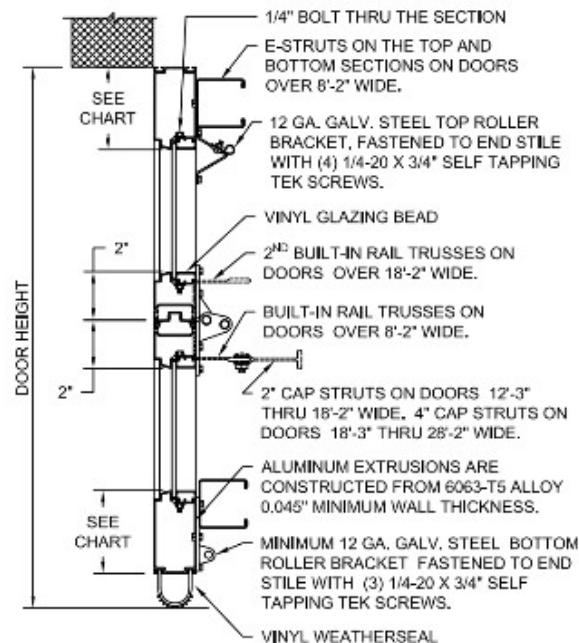
**HINGE DETAIL**

**GENERAL NOTES:**

DOORS ARE CONSTRUCTED OF (BOX SHAPED) ALUMINUM EXTRUSIONS FROM 6063-T5 ALLOY. EXTRUSIONS TO BE .045" MINIMUM WALL THICKNESS WITH .125" WALL THICKNESS WHEREVER HARDWARE ATTACHES. STILES AND RAILS ARE FACTORY ASSEMBLED WITH THRU-BOLT CONSTRUCTION.

STANDARD FINISH IS CLEAR ANODIZED. OTHER FINISHES AVAILABLE. SOLID PANELS ARE MANUFACTURED FROM 18 GA. STUCCO EMBOSSED OR SMOOTH ALUMINUM SHEETS TO MATCH DOOR FINISH.

GLAZING, GLASS OR PANELS TO BE SET IN GLAZING SEALANT AND HELD IN PLACE BY VINYL SNAP-IN BEAD.



**SIDE ELEVATION OF DOOR**

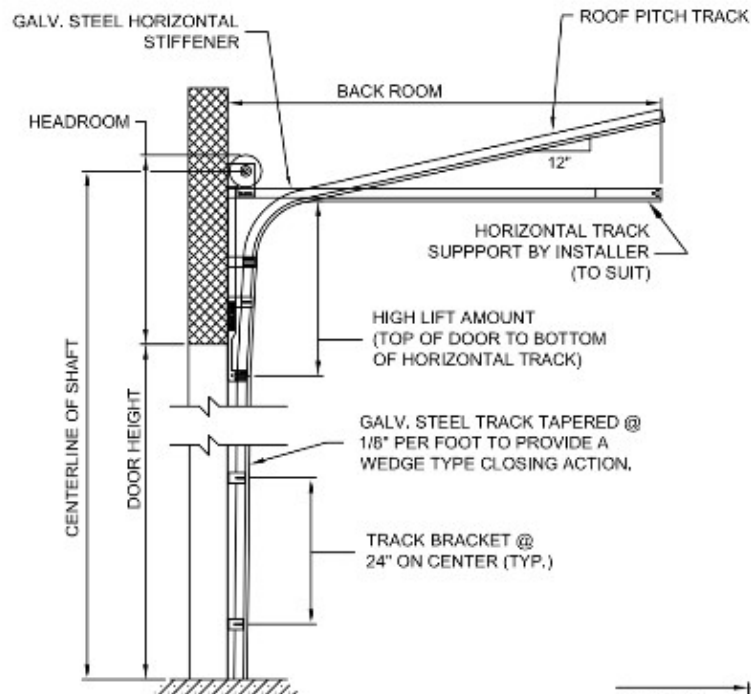
**DOOR DATA**

Job Name	City Burrito (Q-1144588)-1
Serial Number	C-1807808-W
Door Color	Black Anodized
Door Width	5'-9"
Door Height	5'-10"
Section Quantity	3
Quantity of Panels	2
Glass Type	1/2" INSULATED TEMP CLEAR
Solid in Sections	NONE;
Solid Panel Type	&nbsp;
Spring Quantity	2
Lift Type and High Lift	High-Lift Breakaway Incline (HL 15")
Top Rail	4"
Bottom Rail	4"
End Stile	4"
Operator (by other)	No

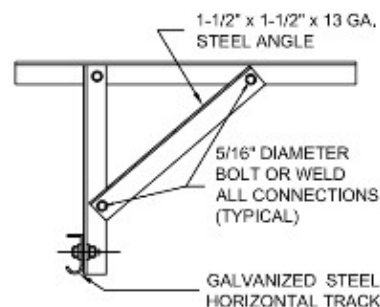
**MODEL CA320i**

320 Sycamore St.  
Wauseon, Ohio 43567  
© Copyright 2020

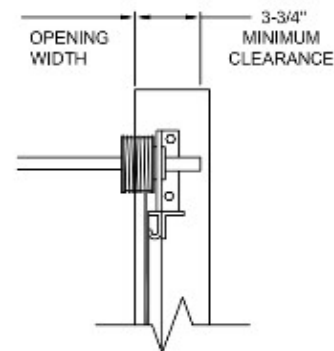




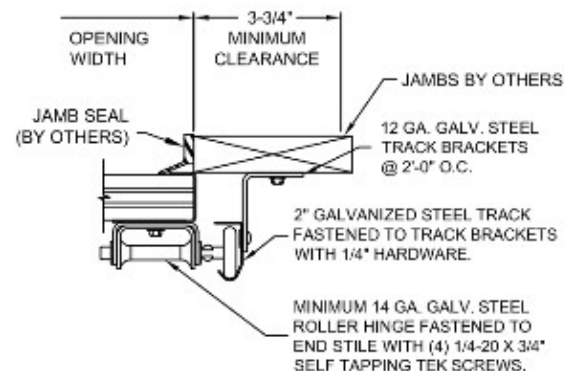
### HIGH LIFT



### HORIZONTAL TRACK SUPPORT



### DRUM SIDE ROOM CLEARANCE



### TRACK SIDE ROOM CLEARANCE

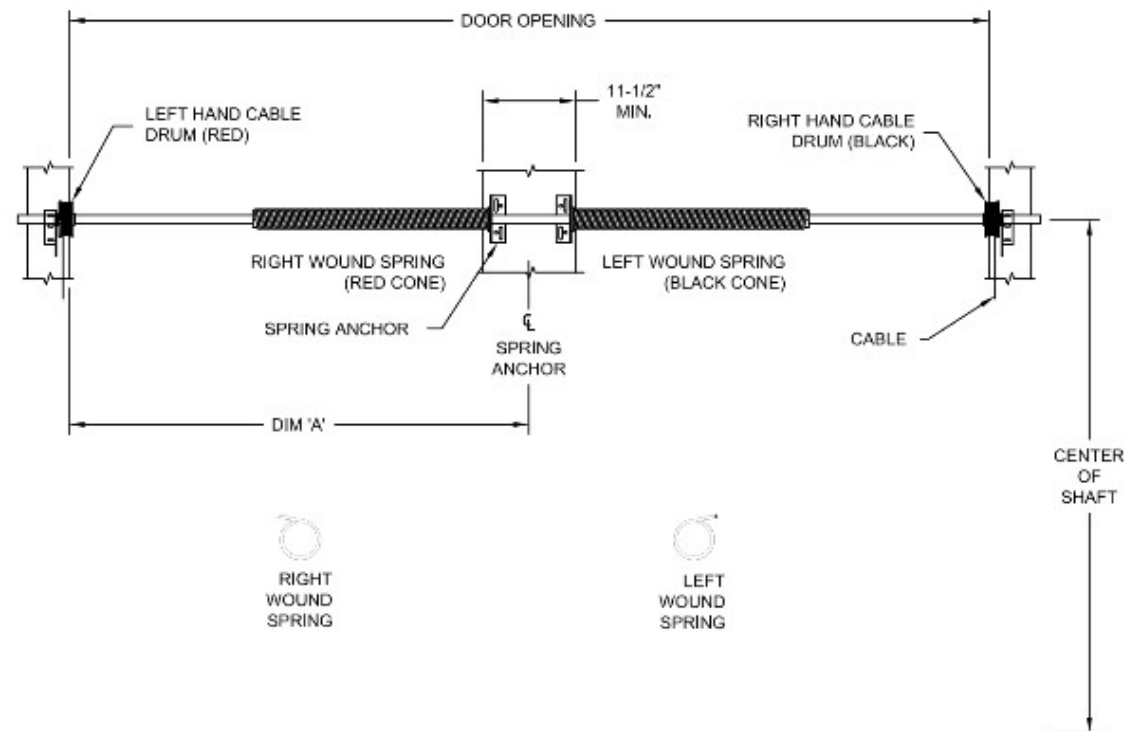
### 2" HIGH LIFT BREAKAWAY INCLINE BRACKET MOUNT

#### DOOR DATA

Job Name	City Burrito (Q-1144586)-1
Serial Number	C-1807808-W
Architect	NA
Contractor	NA
Distributor/ Dealer	NA
Door Schedule	NA
Door Width	5'-6"
Door Height	5'-10"
Lift Type	High-Lift Breakaway Incline
Roof Pitch	None
Center Line of Shaft	90
Headroom	23
Backroom	4
Drawn By	&nbsp;
Date	6/18/2020



320 Sycamore St.  
Wauseon, Ohio 43567  
© Copyright 2011



RIGHT  
WOUND  
SPRING



LEFT  
WOUND  
SPRING



320 Sycamore St.  
Wauseon, Ohio 43567  
© Copyright 2013

## (2) SPRING ON 1-PIECE SHAFT

### DOOR DATA

Job Name	City Burrito (Q-1144566)-1
Serial Number	C-1807808-W
Door Size and Model	5'-9" X 5'-10" CA-320K
Lift Type	High-Lift Breakaway Incline
Door Springing Weight	124
Shaft Size	1" TUBE ;
Spring Cycle Life	10K
Duplex Spring	NO
Spring Dia. & Wire Size	2.625" Dia. X 0.207" Wire
Spring Dia. & Wire Size (Inner)	N/A
Spring Length	23
Spring Turns	7.7
Total Torque (MIP)	285.5
Drum	400-54
Cable Diameter	1/8"
Cable Length	138
Center Line of Shaft	90
DIM SA1	35
DIM SA2	N/A
DIM SA3	N/A
DIM SA4	N/A
DIM SS1	N/A



# Third Presentation 1/20/2022



EXISTING



PROPOSED - BLUE LOWER LEVEL WINDOW FRAMES TO MATCH EXISTING UPPER WINDOWS, GRAY WOOD FACADE & GRAY DOORS



PROPOSED - BROWN UPPER WINDOW FRAMES TO MATCH WINDOW ON LOWER LEVEL, GRAY WOOD FACADE & GRAY DOORS

OHIO CITY BURRITO

**PROPOSED BUILDING FACADE REPAINT**  
VIEW FROM W. 25TH STREET  
January 4, 2022





# Previous Precedent



# Lakewood Location



# Ohio City Burrito

Staff report



320 Sycamore • Wauseon, OH 43567

#### Drawing Summary

Date: 6/18/2020  
Quotation #: Q-1144566  
Quote Name: City Burrito  
Job Name: None

Name:  
Phone:  
Address:

Item	Qty	Description	Lead	Reference	Configuration #
1	1	COMPLETE DOOR; 5'-9" X 5'-10" 3S-2P CA320iK; BLACK ANODIZED; 10K TORSION 15" BI HL 2 BRKT WOOD; GLASS SECTIONS - 1, 2, 3; 1/2"- INSULATED TEMP CLEAR; SOLID SECTIONS - NONE; 1" TUBE; SLIDE LOCK; 10-BALL STEEL; LF BUMP; 4" TOP RAIL; 4" BOTTOM RAIL; 4" END RAIL;	10		C-1807606-W <a href="#">Door Drawing</a> <a href="#">Track Drawing</a> <a href="#">STD Torsion Spring</a>



- Door ordered prior to 1<sup>st</sup> design review meeting (7/16/2020)
- A similar door was installed at the Lakewood location
- Applicant went through the design review process for that location 7/11/2019
- Lakewood Downtown Historic District added to the NR 9/23/2020









**Case 22-017:** Gordon Square Historic District (Motion Failed 2/10/2022)

**5817 Detroit Avenue**

Renovation

Ward 15: Spencer

Project Representatives: Mark Demchuk, Owner; Michael Rose, Architect

5817 Detroit Ave

56 PROPERTIES

Mark Demchuk



## DETROIT AVENUE

82'-0"

30'-0"

[illegible]

LOCATION PLAN  
N.T.S.

[illegible][illegible]

NOTES:

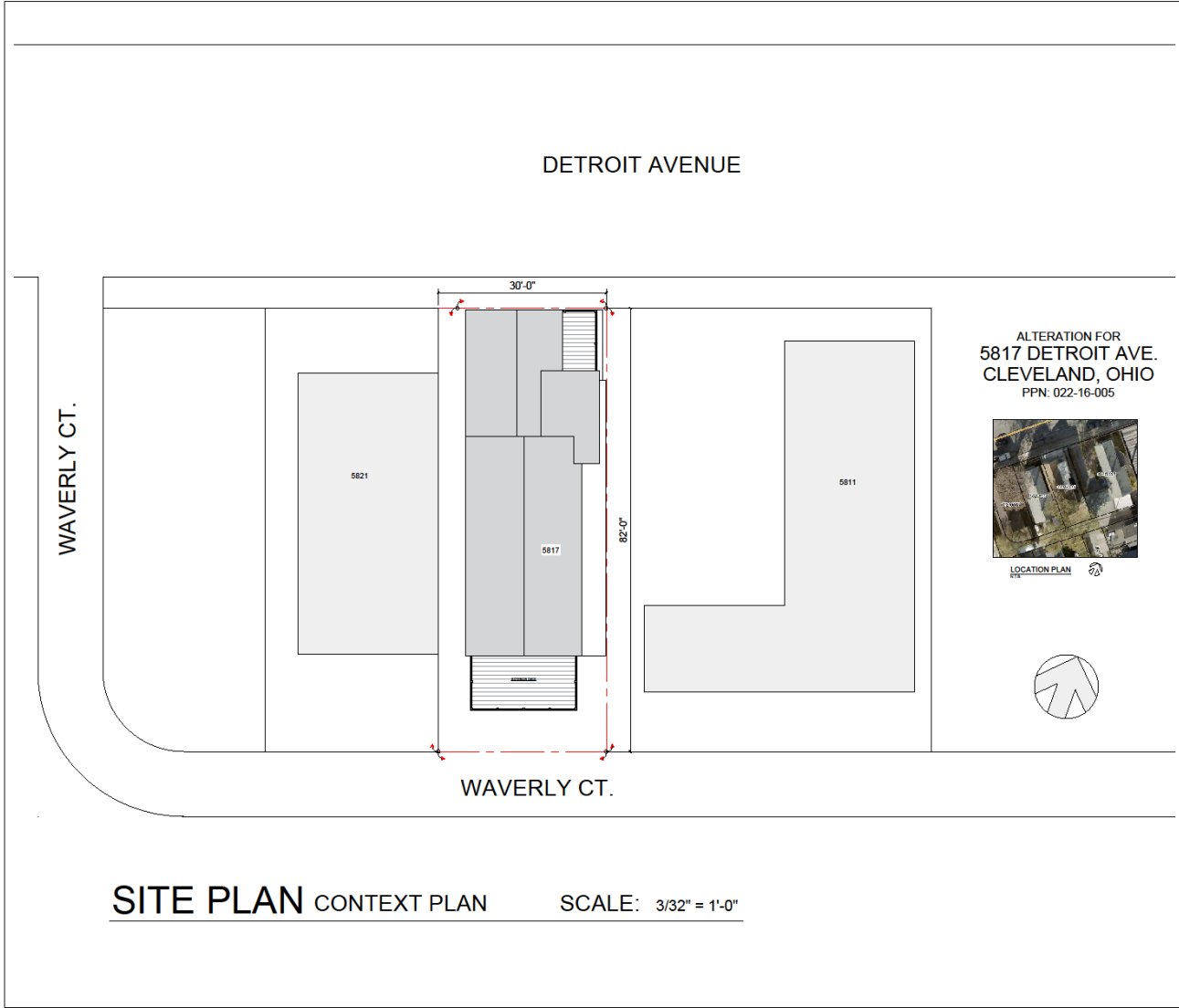
56 PROPERTIES  
5717 DETROIT AVE. CLEVELAND, OHIO



CUSTOMER: NAME	
56 PROPERTIES	
BUILDING:	
5717 DETROIT AVE. CLEVELAND, OHIO	
LOCATION:	
5717 DETROIT AVE. CLEVELAND, OHIO	
FILE LOCATION & NAME	
FOIR \ FOIR \ FILENAME	
DRAWN BY: DATE DRAWN	
WAR	11/02/1
SCALE	11/10/21

A-1

A-1



REVISIONS	NO.	DATE	BY

NOTES:

**56 PROPERTIES**  
5717 DETROIT AVE. CLEVELAND, OHIO

CUSTOMER: NAME  
56 PROPERTIES

BUILDING:  
5717 DETROIT AVE. CLEVELAND, OHIO

LOCATION:  
5717 DETROIT AVE. CLEVELAND, OHIO

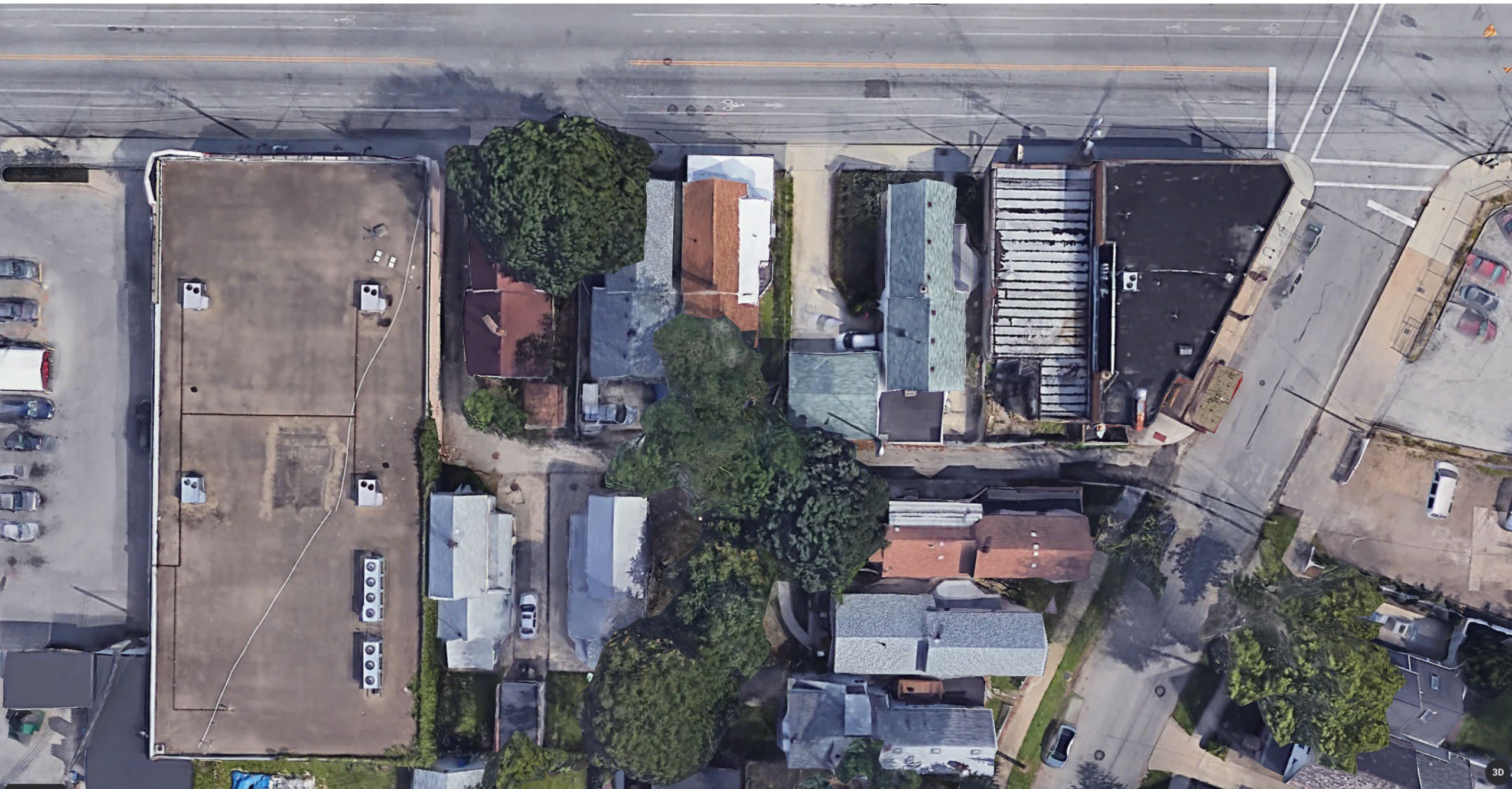
FILE LOCATION & NAME  
PDR \\_ PDR \\_ PRELIM.DWG

DRAWN BY (DATE DRAWN)  
**MAR** 11/10/21

SCALE 11/10/21

**A-1**









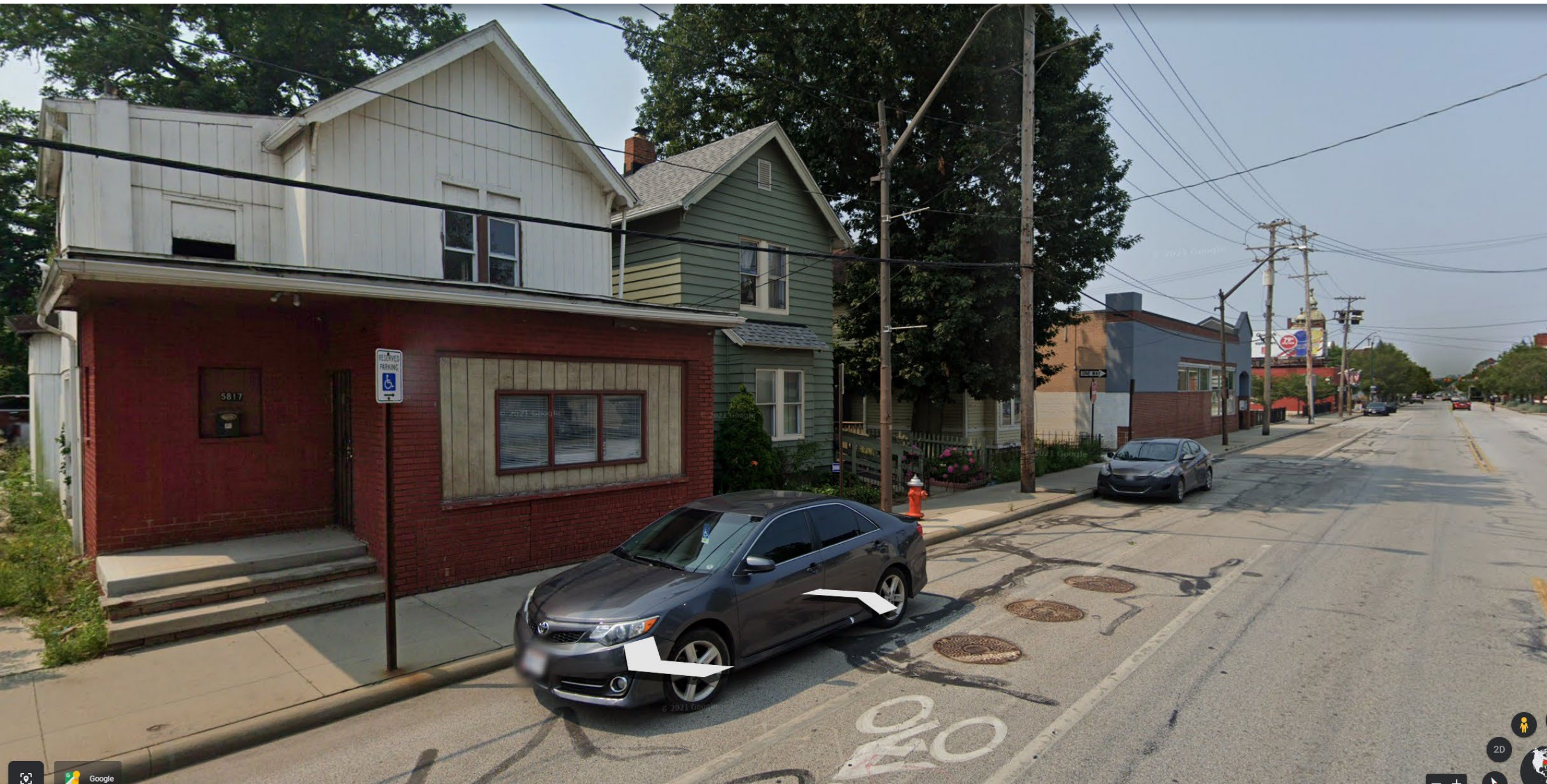




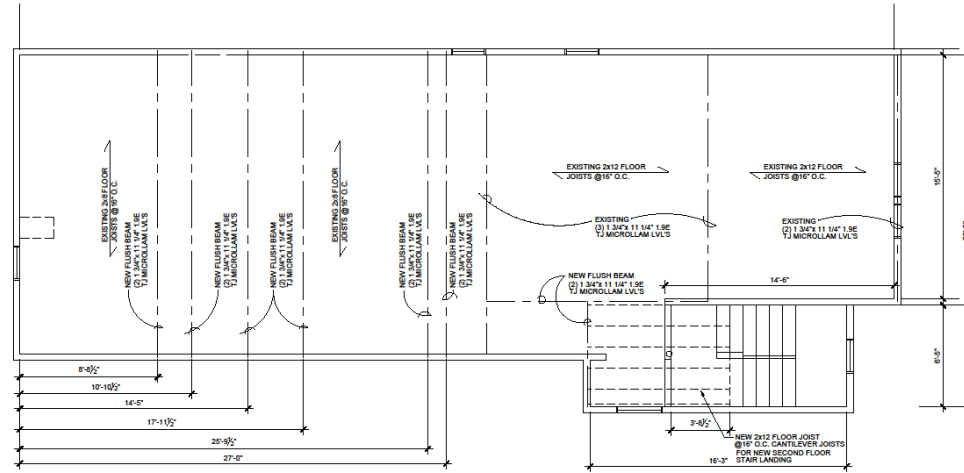




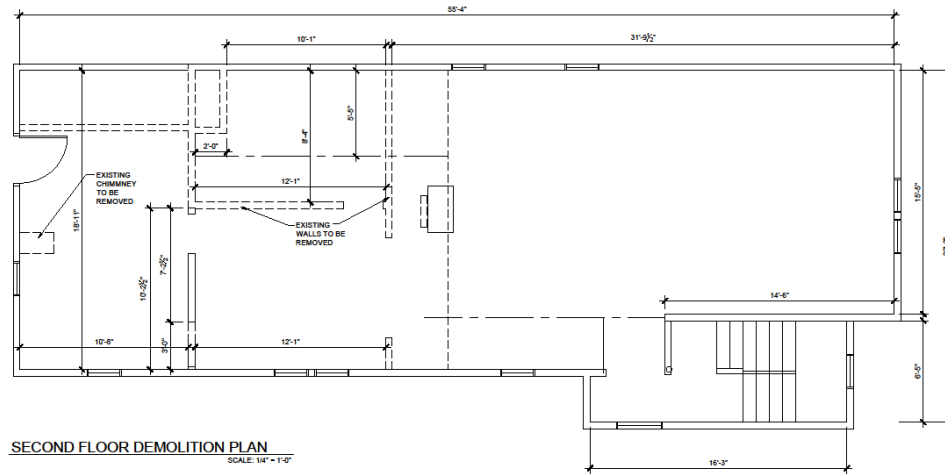








SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

REVISIONS	NO.	DATE	BY

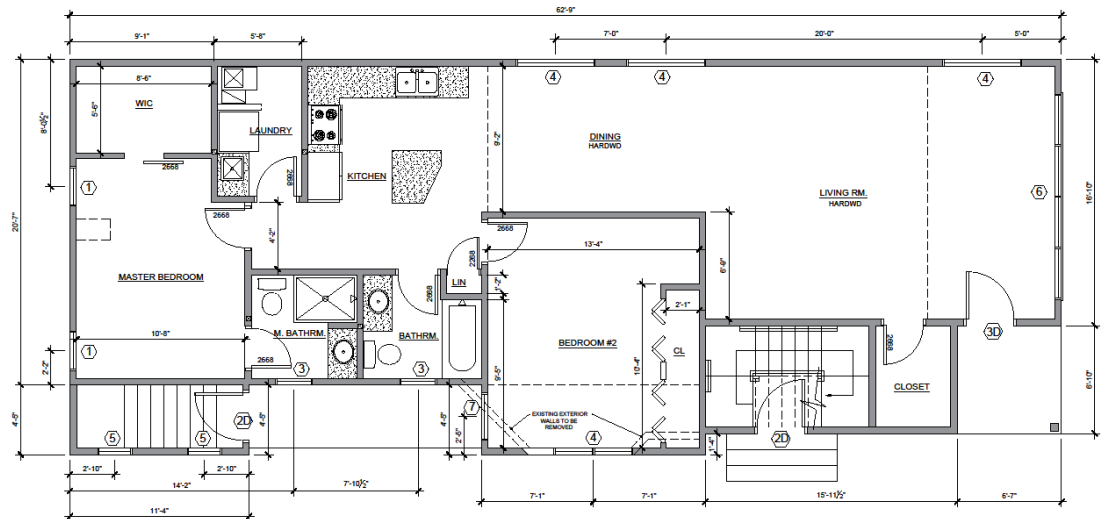
NOTES:

# 56 PROPERTIES

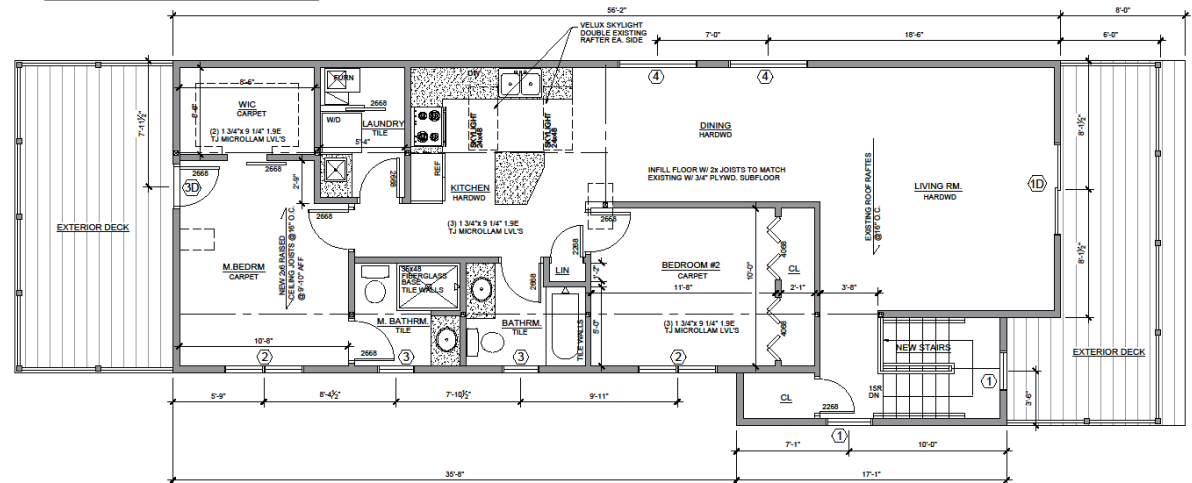
5717 DETROIT AVE. CLEVELAND, OHIO

56 PROPERTIES  
5717 DETROIT AVE. CLEVELAND, OHIO

CUSTOMER: 56 PROPERTIES	
BUILDING: 5717 DETROIT AVE. CLEVELAND, OHIO	
LOCATION: 5717 DETROIT AVE. CLEVELAND, OHIO	
FILE LOCATION & NAME: R01R \_R01R \_P012.DWG	
DRAWN BY (DATE DRAWN):	11/10/21
DRAWN BY (DATE DRAWN):	11/10/21
SCALE:	A-7



FIRST FLOOR PLAN 1/4" = 1'-0"



SECOND FLOOR PLAN 1/4" = 1'-0"

REVISIONS	NO.	DATE	BY

NOTES:

## 56 PROPERTIES

5717 DETROIT AVE. CLEVELAND, OHIO

CUSTOMER: 56 PROPERTIES

BUILDING: 5717 DETROIT AVE. CLEVELAND, OHIO

LOCATION: 5717 DETROIT AVE. CLEVELAND, OHIO

FILE LOCATION & NAME: 56PROPERTIES\5717DETROITAVE\56PROPERTIES.dwg

DRAWN BY (DATE DRAWN): MAR 11/10/21

SCALE: 1/4" = 1'-0"

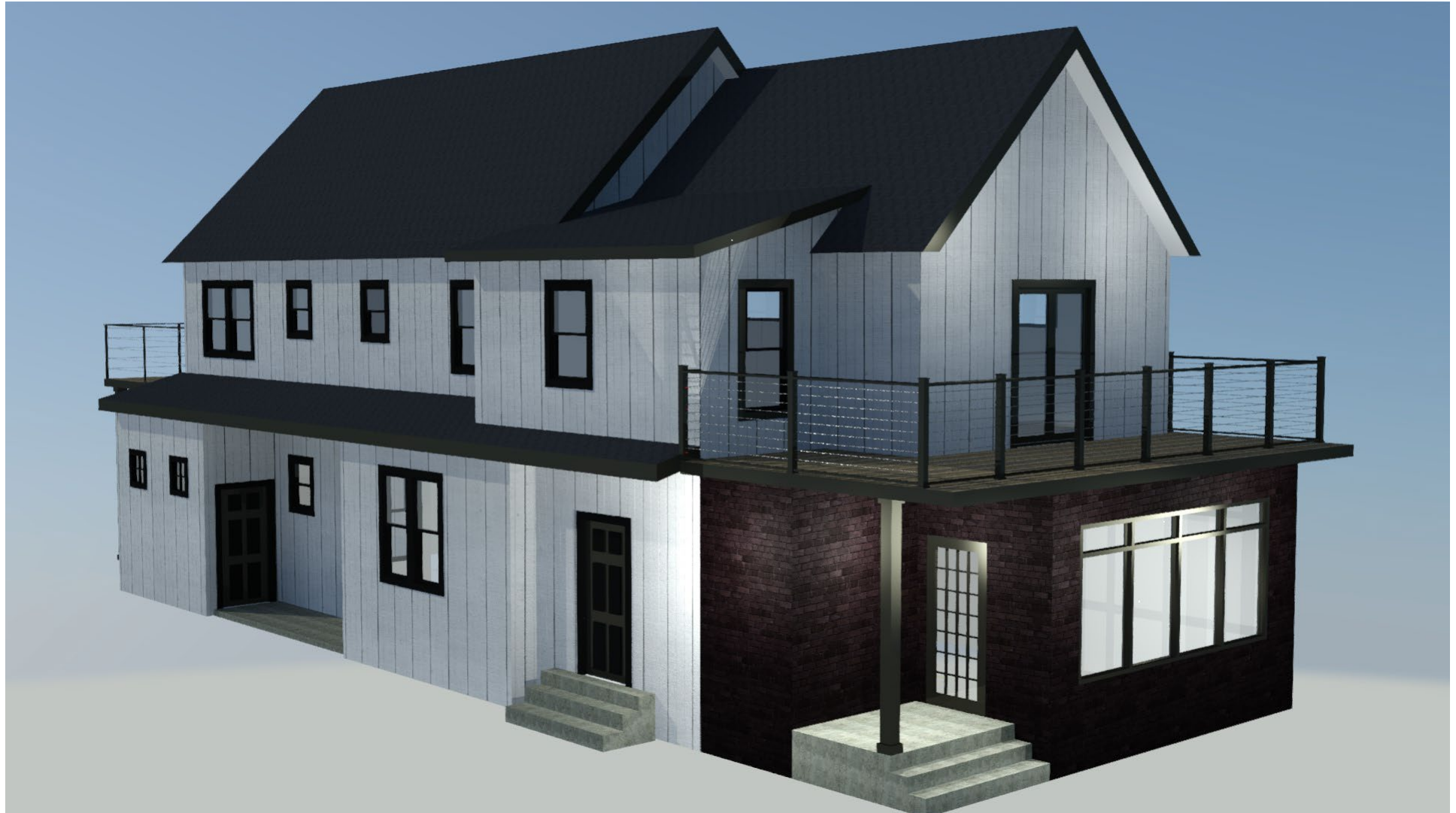
A-2



# Original Submission



# Revised Submission 1



# Revised Submission 2





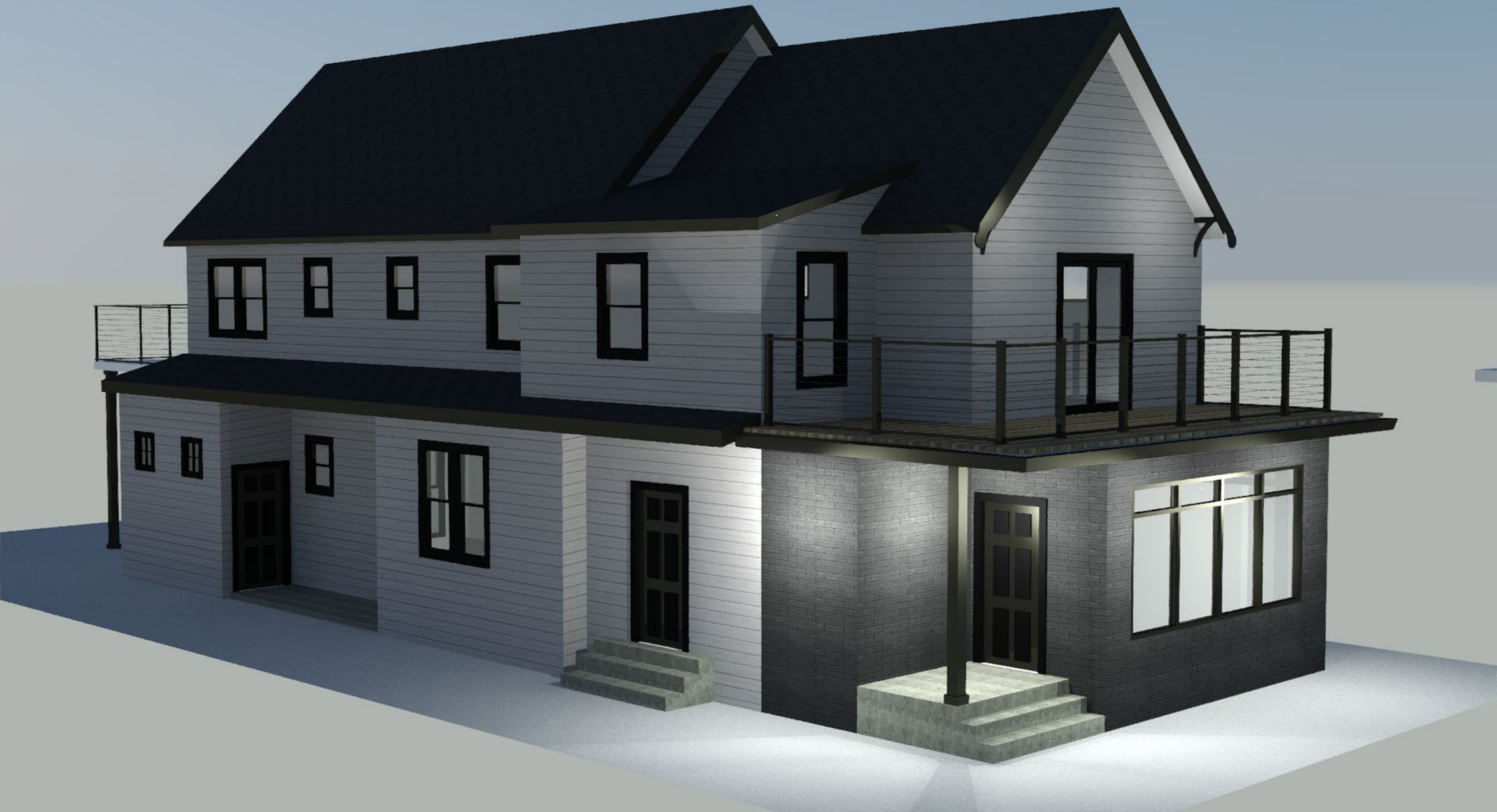






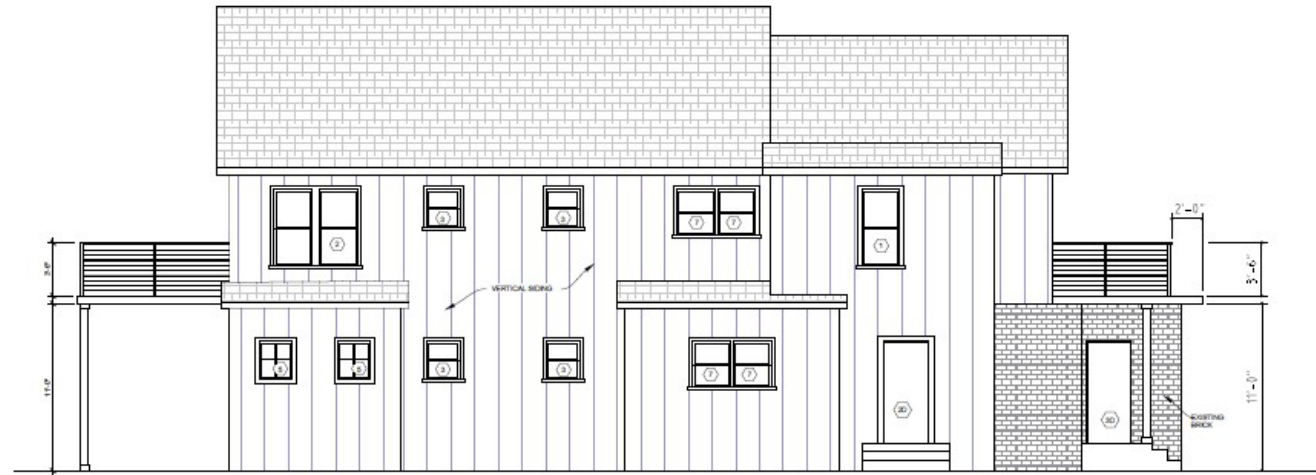








**NORTH ELEVATION**  $\frac{3}{16}" = 1'-0"$

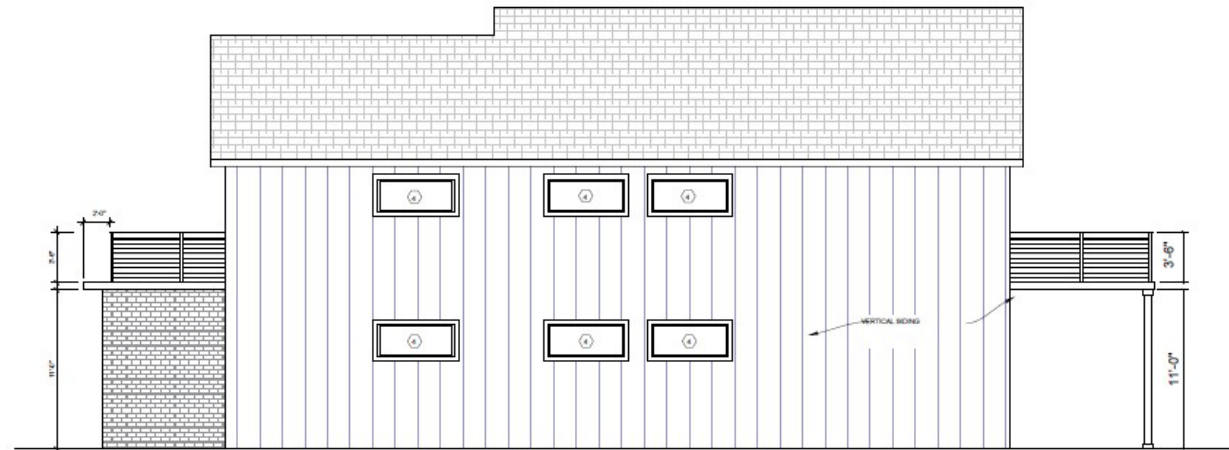


**EAST ELEVATION**  $\frac{3}{16}" = 1'-0"$

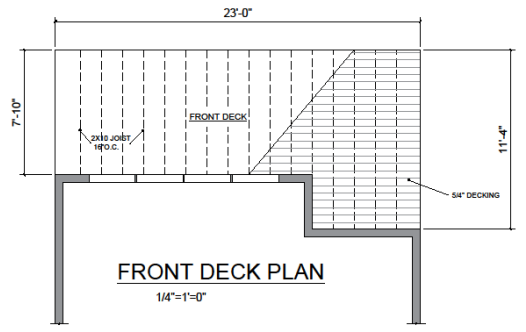
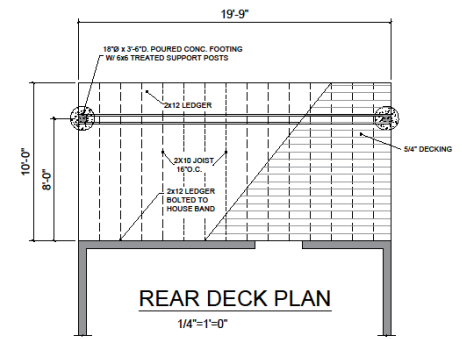
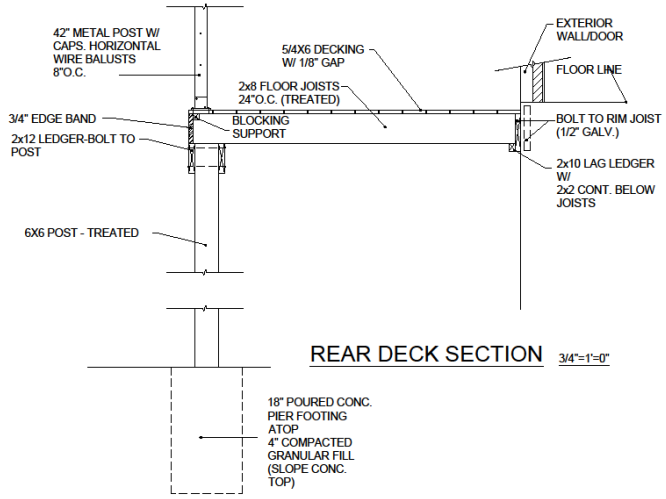




SOUTH ELEVATION 3/16" = 1'-0"



WEST ELEVATION 3/16" = 1'-0"



REVISIONS	NO.	DATE	BY

NOTES:

## 56 PROPERTIES

5717 DETROIT AVE. CLEVELAND, OHIO

56 PROPERTIES, INC.

CUSTOMER:	56 PROPERTIES
BUILDING:	5717 DETROIT AVE. CLEVELAND, OHIO
LOCATION:	5717 DETROIT AVE. CLEVELAND, OHIO
FILE LOCATION & NAME:	5717 DETROIT AVE. CLEVELAND, OHIO
DRAWN BY (DATE DRAWN):	MAR 11/10/21
SCALE:	A-10







1

WINDOW SCHEDULE											
		WINDOW SIZE		ROUGH OPENING		FRAME					
#	QTY	WIDTH	HEIGHT			ITEM NUMBER	MATERIAL	TYPE	NOTES		
1	4	29-3/8"	60"	30-1/8"	60-3/4"	SCD2960	CLAD/PINE	DOUBLE HUNG	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
2	3	58-3/4"	60"	59-1/2"	60-3/4"	SCD2960-2	CLAD/PINE	DOUBLE HUNG	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
3	4	25-3/8"	32"	26-1/8"	32-3/4"	SCD2532	CLAD/PINE	DOUBLE HUNG	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
4	6	61-3/8"	24"	62-1/8"	24-3/4"	SCDP6124	CLAD/PINE	TRANSOM/FIXED	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
5	2	24"	24"	-	-	TBD	CLAD/PINE	FIXED	WINDOWS FOR EXTERIOR STAIR WELL TO BASEMENT		
6	4	39"	72"	156"	72"	TBD	CLAD/PINE	FIXED	WINDOW OPENING IS 13' X 6' - (4) FIXED PANE WINDOWS REQUIRED		
7	1	35-3/8"	60"	36-1/8"	60-3/4"	SCD3560	CLAD/PINE	FIXED	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		

"(Y)" - DENOTES EXISTING CONDITIONS TO BE VERIFIED - GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK

1

All New windows shall have U-factor 0.30 maximum, or The new fenestration (& door) comply via an area-weighted average

DOOR SCHEDULE												
		DOOR SIZE			ROUGH OPENING		ITEM NUMBER	MATERIAL	TYPE	SWING	FIRE RATING	FRAME
#	QTY	WIDTH	HEIGHT	THKNS	WIDTH	HEIGHT						
1D	1	141-3/8"	79-1/2"	2"	142-1/8"	79-1/2"	TCSLDN12068	CLAD/PINE	SLIDING/PATIO	N/A	YES	CLAD/PINE
2D	2	3'-0"	6'-8"	2"	142-1/8"	79-1/2"	TBD	CLAD/PINE	ENTRY	RIGHT	YES	CLAD/PINE
3D	2	3'-0"	6'-8"	2"	142-1/8"	79-1/2"	TBD	CLAD/PINE	ENTRY	LEFT	YES	CLAD/PINE
4	-	-	-	-	-	-	-	-	-	-	YES	-
5	-	-	-	-	-	-	-	-	-	-	YES	-
6	-	-	-	-	-	-	-	-	-	-	YES	-

"(Y)" - DENOTES EXISTING CONDITIONS TO BE VERIFIED - GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK

REVISIONS	NO.	DATE	BY

NOTES:

56 PROPERTIES  
5717 DETROIT AVE. CLEVELAND, OHIO



CUSTOMER:		56 PROPERTIES
BUILDING:		5717 DETROIT AVE. CLEVELAND, OHIO
LOCATION:		5717 DETROIT AVE. CLEVELAND, OHIO
FILE LOCATION & NAME:		5717 DETROIT AVE. CLEVELAND, OHIO
DRAWN BY (DATE DRAWN):		MAR 11/10/21
SCALE:		

A-5



COLOR, **DELIVERED.**

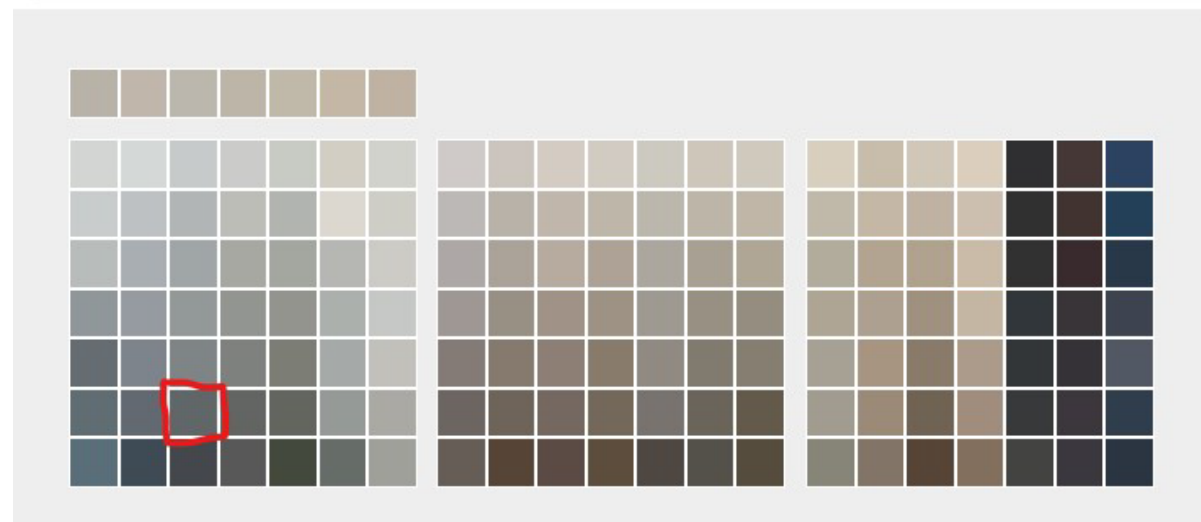
Order FREE color chips

## Neutral Paint Colors

Neutral paint colors have become very popular over the past several years for their versatility and ability to pair with many other colors and materials. Gray paint color can be cool or warm. Cool grays tend to work well with modern interiors contrasted with pure white. Warm grays are more inviting and pair well with wood finishes and natural stone. Dark gray is dramatic and light gray soothing. Gray paint colors are perfect for any room including nurseries as it pairs so well with yellow, mint, pink and blue.

[Explore all Paint Colors](#) →

### Find a color







**AFCO**  
Columns and Railings

ALUMINUM AFCO-RAIL



AVAILABLE  
IN SEVEN  
BEAUTIFUL  
FINISHES  
**THAT  
NEVER NEED  
REPAINTING**

GLOSS

WHITE

CLAY

WICKER

TEXTURED

WHITE

BLACK

BRONZE

BROWN

# SERIES 175

# SERIES 175



Combines the "breadloaf" shaped top rail of Series 100 with horizontal stainless steel cable.

Rail kit includes stabilizer baluster, which is pre-drilled to thread the cables through.

Pre-drilled 3" aluminum posts available for both Line and Corner applications.

## SERIES 175

Style	Length	Height
	4' 6' 8' 10'	36" 42"
Level	*	*
Fixed Stair	*	*



The modern look of cable in the AFCCO-Rail aesthetic

### Infill Options

1/8" Braided 316 Stainless Steel Cable with 2-3/4" pre-swaged threaded stud and mounting hardware.

Terminating fittings, for both Line and Corner run applications, packaged separately.

### Style Options



Level



Stair

### Posts Kits

	Cable Length					Style	Height
	10'	20'	30'	50'			38" 44"
Level	*	*	*	*		Line	*
Fixed Stair	*	*	*	*		Corner	*





Siteline®  
Clad-Wood Patio Doors  
Outswing Patio Door

Architectural Elevations



Siteline® Clad-Wood  
2-Panel Swinging

Also called French doors or double doors. Choose two operating doors to fully open the space to the outdoors, or have one operating and one fixed. Built with AuraLast® pine, with many options for colors, finishes, grilles and glass. Available with exclusive handle sets that complement the architectural style of the home.





SITELINE®  
CLAD-WOOD PATIO DOOR  
OUTSWING PATIO DOOR

FORMULAS

Understanding JELD-WEN Book Codes:

Product	Prefix	Width Code	Height Code
Siteline® Clad-Wood Outswing Patio Door	PRCOSW	WW	HH
Siteline® Clad-Wood Outswing Patio Door Transom	PRCOSTW		

Sample Book Codes:

PRCOSW3280 = Siteline® Clad-Wood Outswing Patio Door, 3'-2" x 8'-0" Frame Size  
PRCOSTW3614 = Siteline® Clad-Wood Outswing Patio Door Transom, 3'-6" x 1'-4" Frame Size

Formulas		
Rough Opening	(Frame Width + 3/4") x (Frame Height + 1/2")	
Masonry Opening	(Overall Width + 1/2") x (Overall Height + 1/2")	
Daylight Opening ft² - Wide Stile	((Frame Width - 11 7/16") x (Frame Height - 15 7/8")) / 144	
Daylight Opening ft² - Narrow Stile	((Frame Width - 8 15/16") x (Frame Height - 15 7/8")) / 144	
Daylight Opening ft² - Sidelite Stile	((Frame Width - 6 11/16") x (Frame Height - 15 7/8")) / 144	
Clear Opening Horizontal	@ 90°	@ Maximum
1 Panel Unit	Frame Width - 4 17/32"	Frame Width - 2 7/16"
2 Panel Unit Hinged from Mull Post	(Frame Width/2) - 4 17/32"	(Frame Width/2) - 2 7/16"
French Door Unit Hinged Off Jambs (Both Panels Open)	Frame Width - 6 5/8"	Frame Width - 2 7/16"
French Door Unit Hinged Off Jambs (Only Active Panel Open)	(Frame Width/2) - 4 29/32"	N/A
Clear Opening Vertical		
Standard Sill	Frame Height - 2 19/32"	
ADA Sill	Frame Height - 1 23/32"	

Note: "Overall" dimensions include frame and trim.

Unit elevations are shown without exterior trim and with standard 8 1/4" bottom rail.

Architectural Elevations  
September 2020

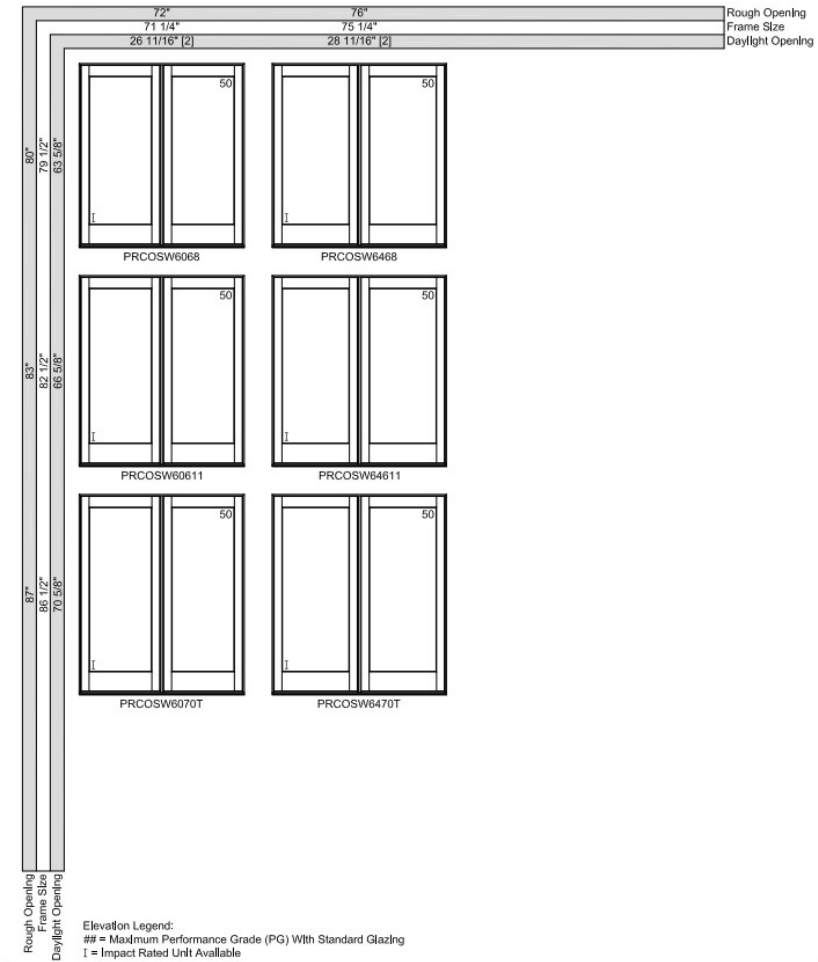
Product specifications may change without notice.  
Questions? Consult JELD-WEN customer service.

Scale: NTS  
2



SITELINE®  
CLAD-WOOD PATIO DOOR  
OUTSWING PATIO DOOR

2 PANEL FRENCH NARROW STILE UNITS



Architectural Elevations  
September 2020

Product specifications may change without notice.  
Questions? Consult JELD-WEN customer service.

Scale: 1/4" = 1'-0"  
22

# Construction & Framing

## CONSTRUCTION

---



### Tilt Sash

Our double-hung windows include a tilt latch which allows you to easily tilt the sash in to allow for convenient cleaning from the inside of your home. Tilt latches will match the hardware color of your window.

## FRAME OPTIONS

---



### Pocket Replacement Window

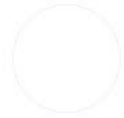
Our pocket replacement window is perfect for residential and light commercial applications where the building's existing window frame and surrounding wall are in good condition, but the sash is in need of improvement. With a wide range of styles, colors, and finishes available and innovative features that make installation easy, ensuring a beautiful appearance and superior quality and performance.

## EXTERIOR COLORS

*Note: Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.*



Bone White



Brilliant White



Ivory



French Vanilla



Heirloom White



Mocha Cream



Desert Sand



Silver



Smoke



Stone



Flagstone



Cocoa



Surf



Sea Foam



Hunter Green



Moss



Hartford Green



Cranberry



Mesa Red



Stormy



Admiral



Navy



Steele Gray



Dark Chocolate



Chestnut Bronze



# Siteline® Clad-Wood Window: Double-Hung Pocket



## Model Overview

### PROJECT TYPE

New construction and replacement

### COLORS & FINISHES

27 Exterior Colors

28 Interior Finish Options

### GLASS

Energy efficient, tinted, textured and protective.

### CONSTRUCTION

Tilt Sash

GOOD

## Trex Enhance®

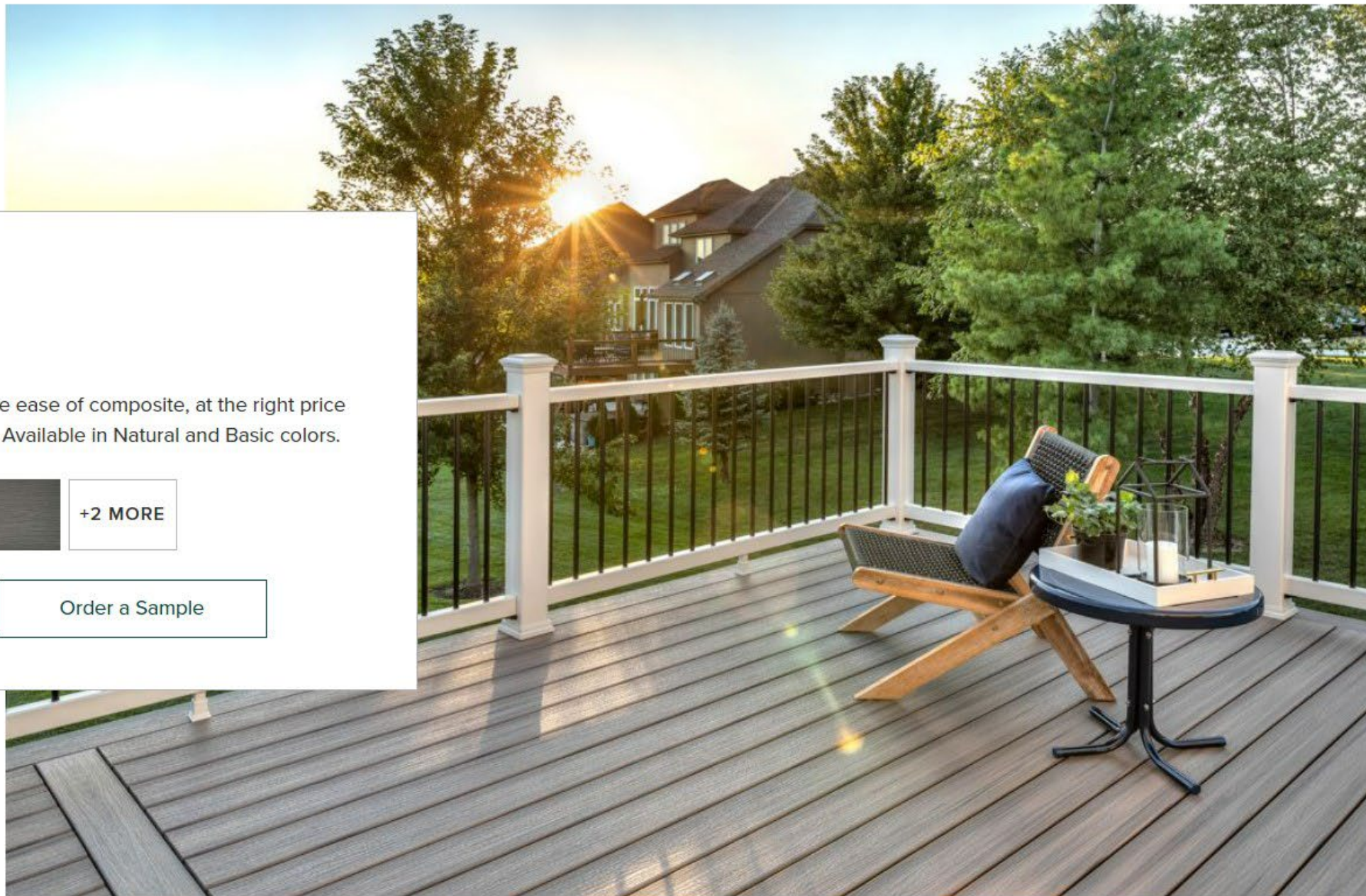
Pair the beauty of wood with the ease of composite, at the right price and with minimal maintenance. Available in Natural and Basic colors.



+2 MORE

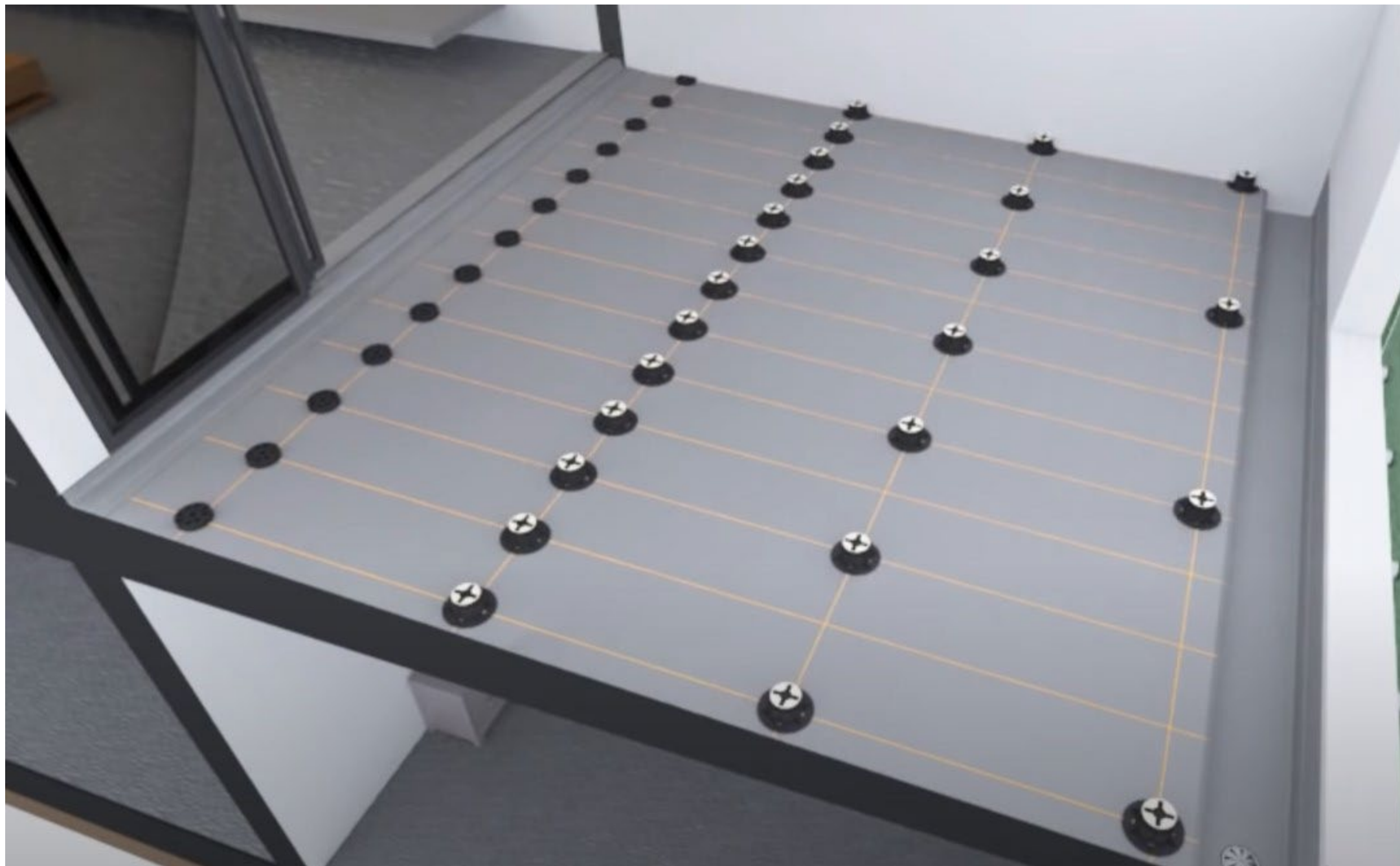
[Learn More](#)

[Order a Sample](#)













**Case 22-024:** Gordon Square Historic District

**8206 Detroit Avenue**

Storefront Renovation

Ward 15: Spencer

Project Representatives: Nick Berardi, NB Enterprises, Paisano Properties, Inc.; Michael Tomsik, Tomsik-Tomsik, Architects



# FINAL DESIGN PROPOSAL

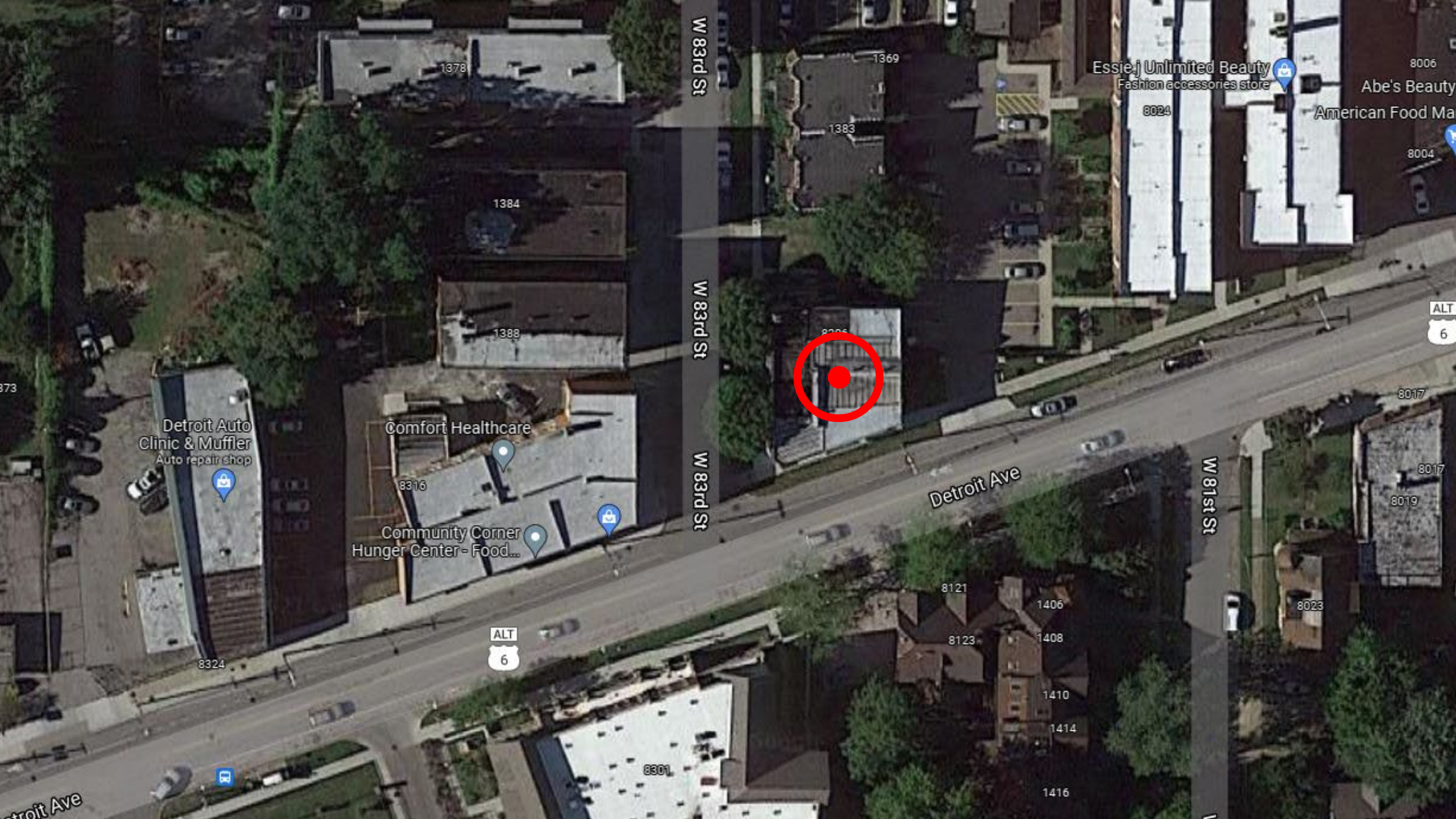
8206 DETROIT AVE, CLEVELAND, OHIO





existing building



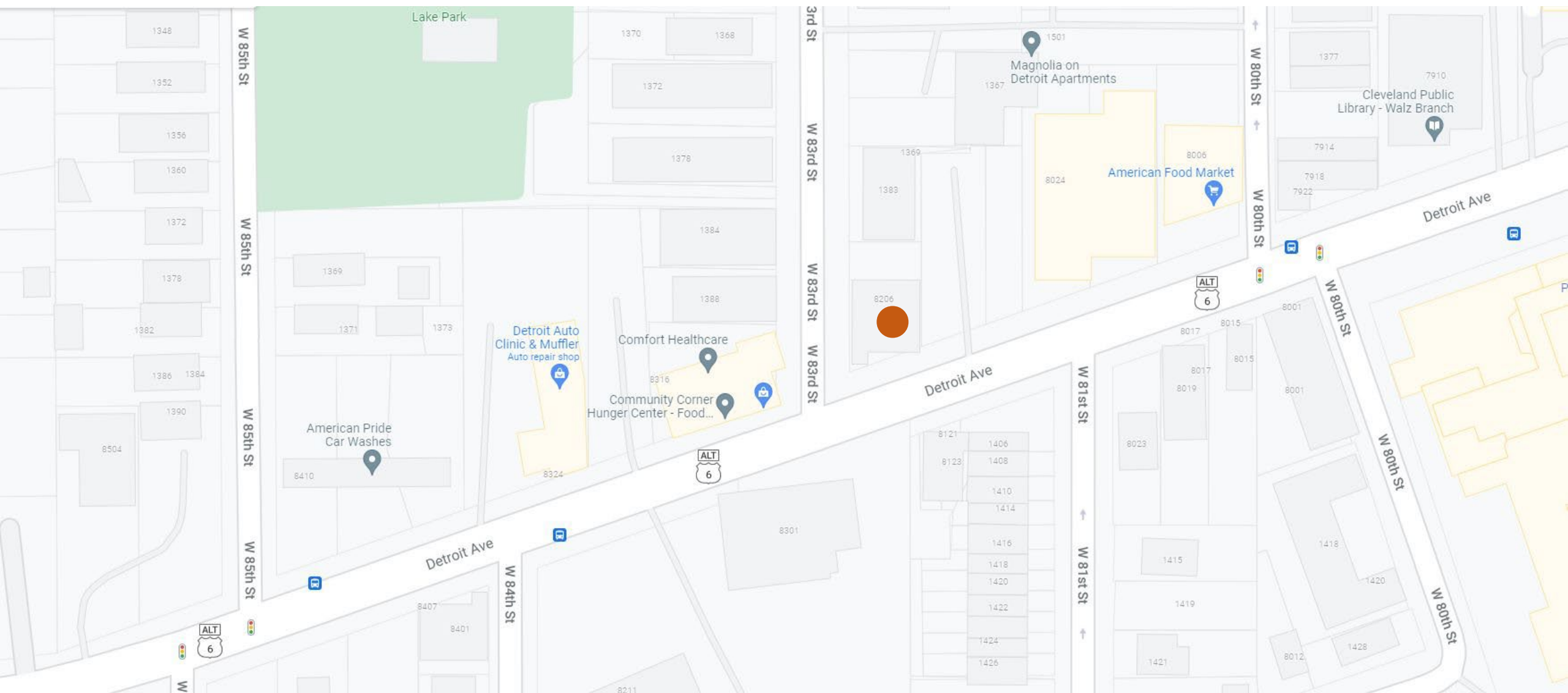




# SQUARE FEET ALLOCATION

1<sup>st</sup> Floor = 3,430 sq. ft.

2<sup>nd</sup> Floor : Apartments



Site Context Plan

● EXISTING BUILDING

OBC DATA:

CONSTRUCTION TYPE— 3B  
USE GROUP B AND R3 — BUSINESS/RESIDENTIAL

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE W/  
OBC 2017,
2. PROTECT EXIST. PROPERTY—SHORE & BRACE AS REQ.  
FOR ALL WORK.
3. CONTRACTORS SHALL ACQUIRE & PAY FOR ALL PERMITS.

APPLICABLE BUILDING CODE 2017 OHIO BUILDING CODE  
SNOW LOAD

$P_f = \text{GREATER } 0.7 (I_s)(C_e)(C_t)(P_g) \text{ OR } (I_s)(P_g)$   $P_f = 23 \text{ PSF}$   
SNOW LOAD IMPORTANCE FACTOR  $I_s = 1.0$   
SNOW EXPOSURE FACTOR  $C_e = 1.0$   
THERMAL FACTOR  $C_t = 1.1$   
GROUND SNOW LOAD  $P_g = 30 \text{ PSF}$

SLOPED ROOF SNOW LOAD

ROOF SLOPE FACTOR  $C_s = 0.93$

WIND LOAD - MAINFORCE

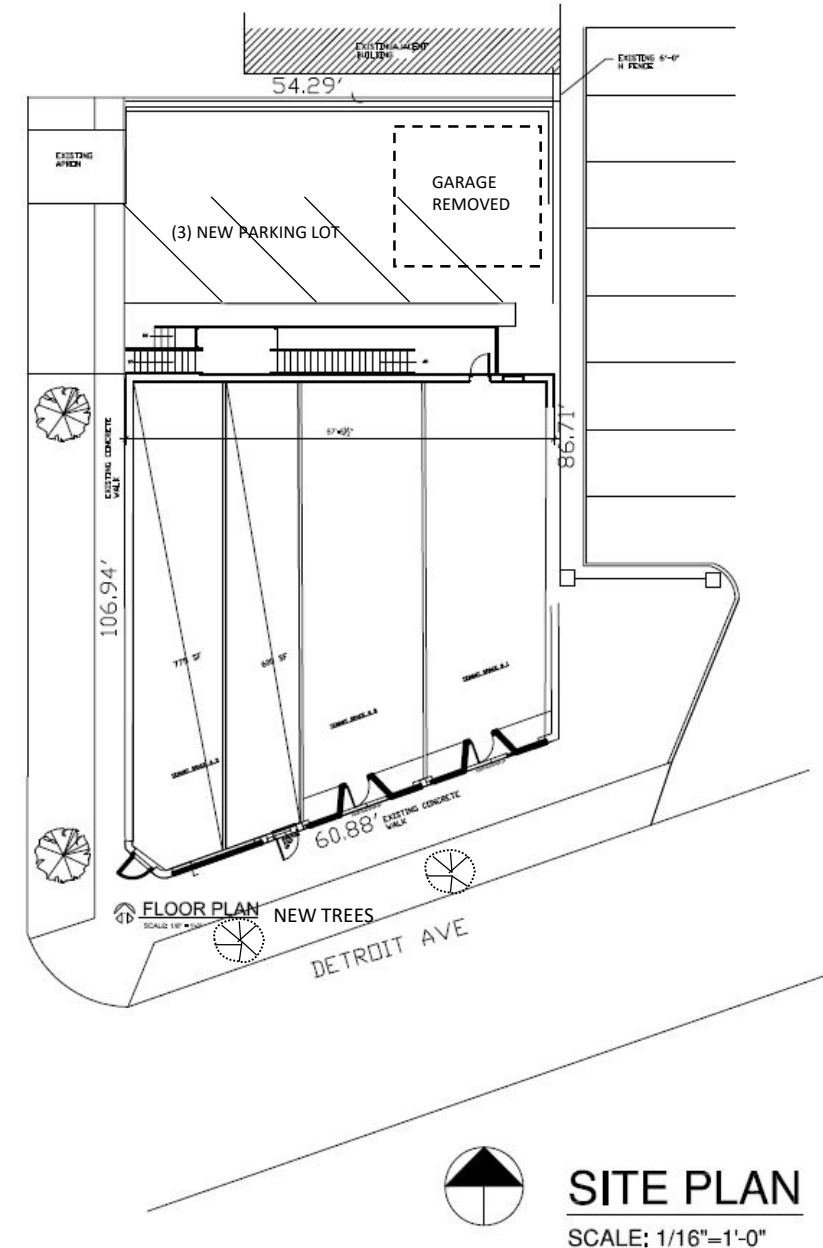
BASIC WIND SPEED ( 3-SECND GIST)  $V = 90 \text{ MPH}$   
WIND IMPORTANCE FACTOR  $I_w = 1.0$   
WIND EXPOSURE  $B$   
INTERNAL PRESSURE COEFFICIENT  $GCP +0.18$

COMPONENTS AND CLADDING WIND PRESSURES (PSF)						
ZONE	SIGN	AREA (SF)				
		10	50	75	100	500
ROOF	1	-	-15	-13	-12	-12
		+	13	13	12	12
	2	-	-17	-15	-15	-15
		+	13	13	12	12
	3	-	-17	-15	-15	-15
		+	8	7	6	6
OVERHANG	1	-	-27	-25	-25	-24
		+	N.A.	N.A.	N.A.	N.A.
	2	-	-27	-25	-25	-24
		+	N.A.	N.A.	N.A.	N.A.
WALL	1	-	-16	-14	-14	-12
		+	15	13	13	12
	2	-	-20	-17	-16	-15
		+	15	13	13	12

DRAWING INDEX

1: SITE PLAN, OBC DATA & ELEVATIONS

WEST 83RD STREET







EXISTING BUILDING





SPEED  
LIMIT  
25

















COMMUNITY

Detroit

THROUGH  
VEHICLES  
ONLY  
NO  
LEFT  
TURN

179-57





8206 Detroit 1967 BOZA



BRICK:  
DOWNING SAND  
SW 2822

DOOR:  
RUSTIC RED  
SW 7593

PANELS:  
EVERGREENS  
SW 6447

MOLDINGS:  
ALABASTER  
SW 7008

WINDOW  
FRAMES:  
BLACK

STONE  
DETAILS:  
SANDSTONE  
COLOR



# SOUTH ELEVATION

SCALE: 1/8"=1'-0"

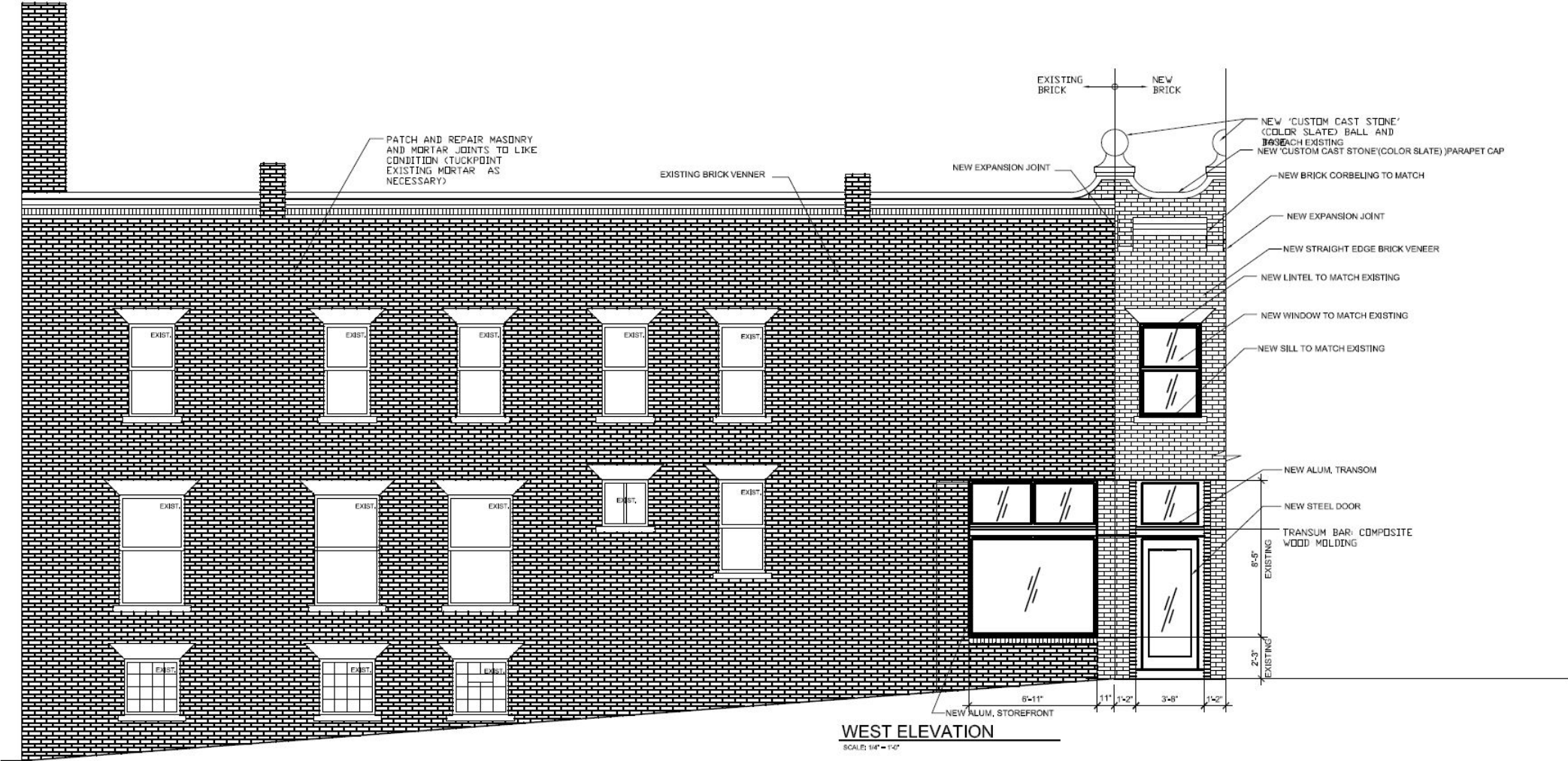


BRICK:  
DOWNING SAND  
SW 2822

DOOR:  
RUSTIC RED  
SW 7593

WINDOW  
FRAMES:  
BLACK

STONE  
DETAILS:  
SANDSTONE  
COLOR



WEST ELEVATION

SCALE: 1/8"=1'-0"

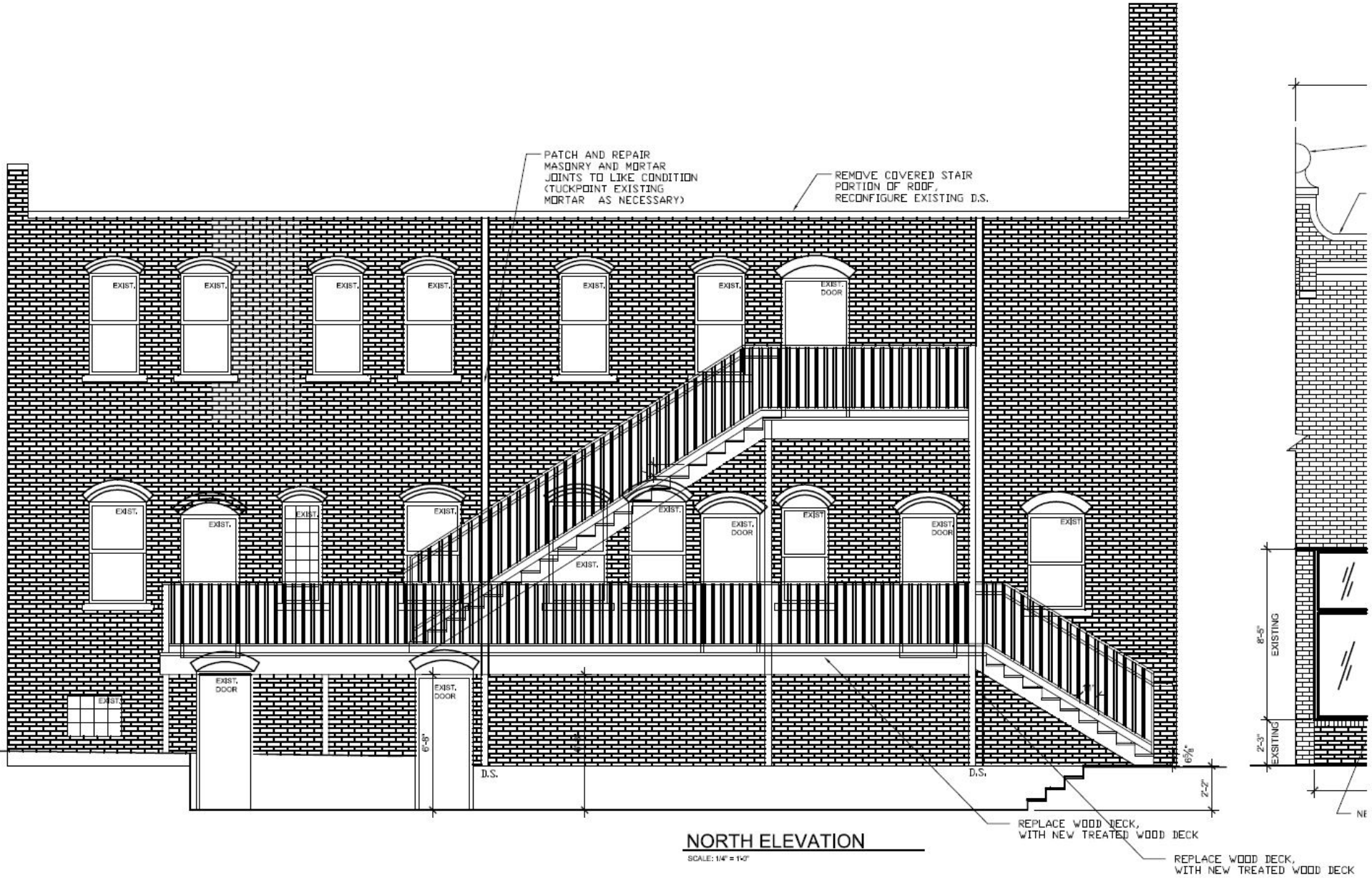
BRICK:  
DOWNING SAND  
SW 2822

DOOR:  
RUSTIC RED  
SW 7593

PANELS:  
EVERGREENS  
SW 6447

MOLDINGS:  
ALABASTER  
SW 7008

DECK: STAINED  
HARBOR MIST  
SW3542





# MATERIALS

- CUSTOM STONE CAST BALLS
- BRICK CORBELLING
- BRICK VENEER
- ALUMINUM WINDOW FRAMES
- STEEL DOORS
- COMPOSITE WOOD MOLDINGS
- CEMENT BOARD PANELS

# PAISANO PROPERTIES INC.



ARCHITECTS, INC.





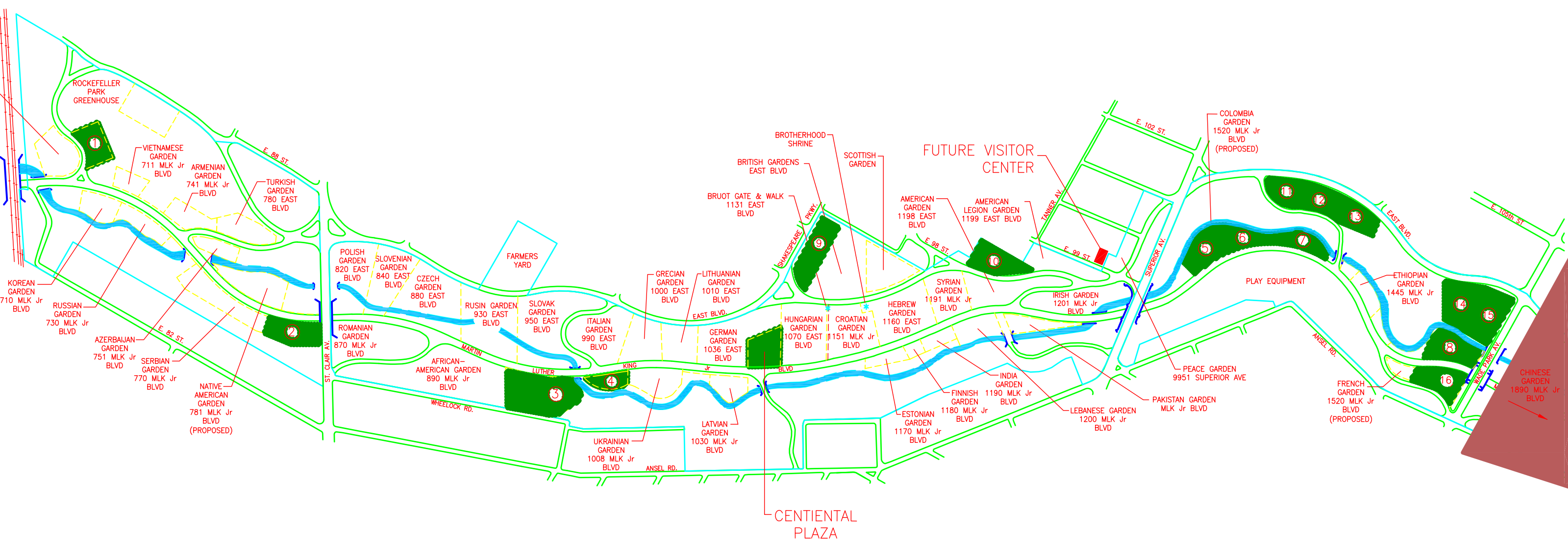
**Case 21-023:** Cleveland Cultural Gardens (Concept Plan 3/25/21)

**Romanian Garden 870 Martin Luther King, Jr. Drive**

Revised Garden Plan

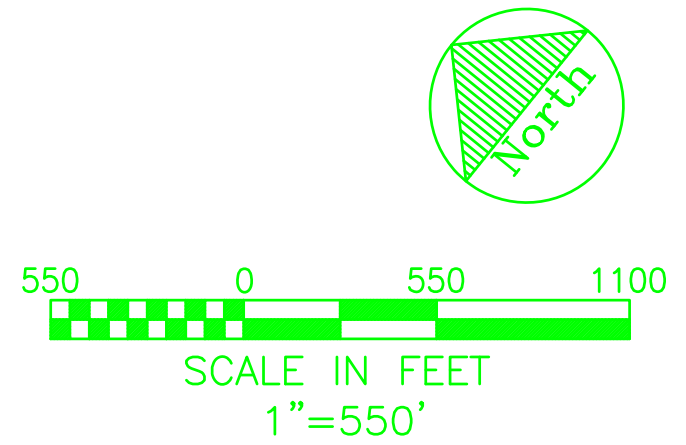
Ward 9: Conwell

Project Representatives: George Cantor, Romanian Garden; David Jurca, Seventh Hill Design;  
Lori Ashyk, Cleveland Cultural Gardens Federation



# CLEVELAND CULTURAL GARDENS

JULY, 2021





E:\FRIENDS OF THE ROMANIAN CULTURE GARDEN\15-00317-010 ROMANIAN CULTURAL GARDEN\CADD\TITLE 15-00317-010 - 9/9/2021 11:26:17 AM

SITE PLAN LEGEND

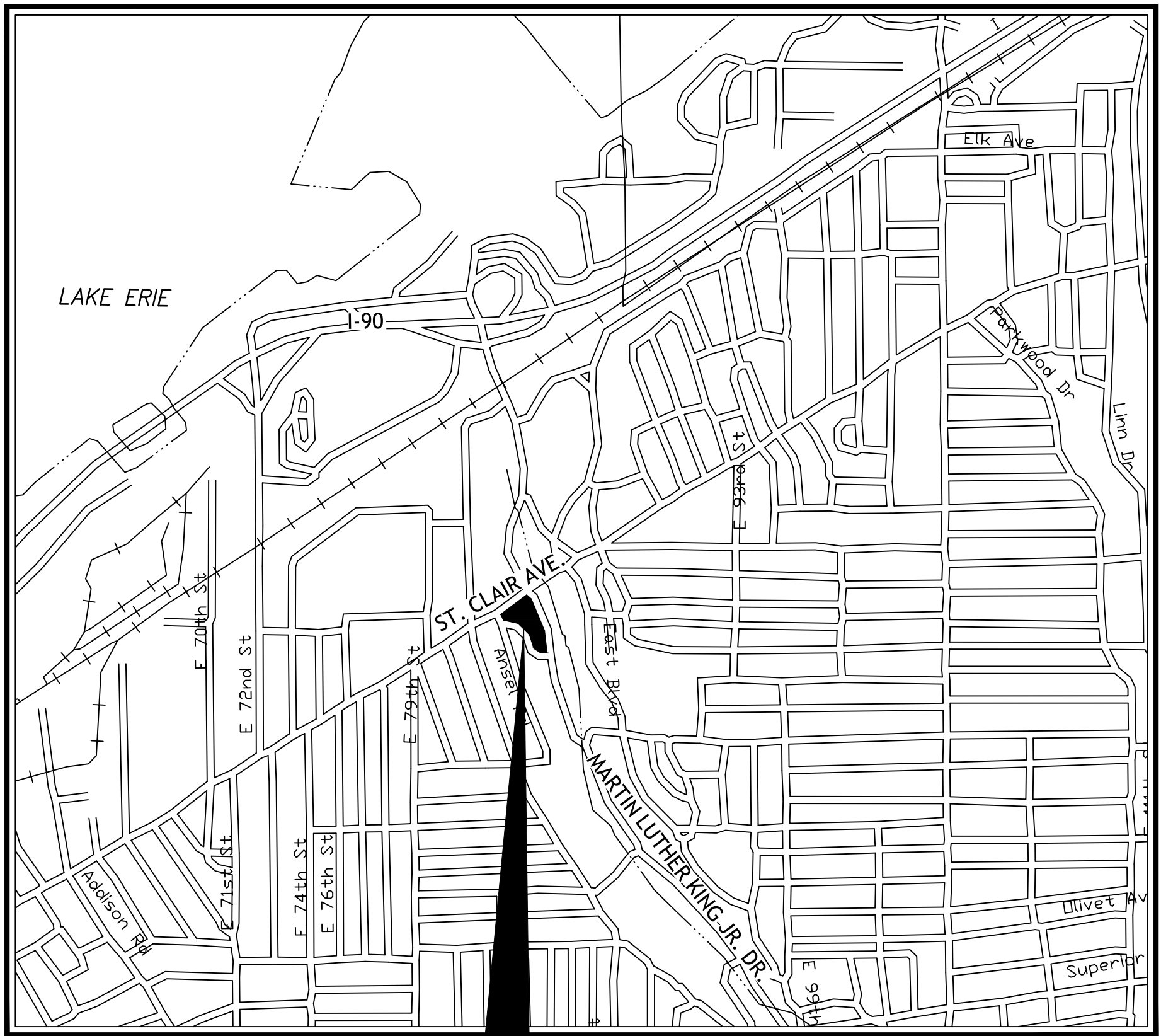
EXISTING	PROPOSED	
		CENTERLINE/BASELINE CONSTRUCTION
		PROPERTY LINE
		RIGHT OF WAY
		EASEMENT
		TEMPORARY RIGHT OF WAY
		SWALE
		CONTOUR
		UNDERDRAIN
		STORM SEWER
		SANITARY SEWER
		WATER LINE
		WATER SERVICE
		GAS LINE
		ELECTRIC LINE, UNDERGROUND
		TELEPHONE LINE, UNDERGROUND
		FIBER OPTIC LINE, UNDERGROUND
		CABLE LINE, UNDERGROUND
		CATCH BASIN, MANHOLE
		MANHOLE ADJUSTED TO GRADE
		HYDRANT, HYDRANT ASSEMBLY
		VALVE, WV=WATER VALVE GV=GAS VALVE
		METER, E=ELECTRIC, G=GAS, W=WATER
		ELECTRIC CABINET, PULL BOX, PEDESTAL, MANHOLE
		TELEPHONE MANHOLE, UTILITY MARKER
		POWER POLE, TELEPHONE POLE, COMBINATION POLE, LIGHT POLE
		IRON PIN/PIPE FOUND, IRON PIN SET
		MONUMENT BOX
		SIGN
		FLAG POLE, DECORATIVE/YARD LIGHT
		TREE LINE, TREE, TREE RELOCATED, TREE REMOVED.
		CONSTRUCTION LIMIT LINE
		TREE PROTECTION FENCE
		SILT FENCE
		CONCRETE PAVERS
		CONCRETE PAVEMENT
		HEAVY DUTY CONCRETE PAVEMENT
		EXPOSED AGGREGATE CONCRETE PAVEMENT
		HEAVY DUTY EXPOSED AGGREGATE CONCRETE PAVEMENT
		REINFORCED TURF GRASS
		AGGREGATE PAVEMENT
		MULCH TRAIL
		BENCH
		FUTURE BENCH
		FUTURE MONUMENT

2019 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THESE PLAN BID DOCUMENTS SHALL GOVERN THIS IMPROVEMENT. FOR PURPOSES OF THIS PLAN, REFERENCES TO DIRECTOR OR ENGINEER SHALL BE CONSTRUED TO MEAN THE CITY ENGINEER AND/OR HIS REPRESENTATIVES.

FRIENDS OF THE ROMANIAN CULTURAL GARDEN  
ROMANIAN CULTURAL GARDEN

CUYAHOGA COUNTY, OHIO  
CONSTRUCTION DRAWINGS Project 15-00317-010  
ISSUED: 2021/09/10





E:\FRIENDS OF THE ROMANIAN CULTURE GARDEN\15-00317-010 ROMANIAN CULTURAL GARDEN\CAD\NOTES\15-00317-010 - 4/9/2021 11:26:25 AM

ALL ITEM NUMBERS REFER TO THE 2019 STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. ALL EQUIPMENT, MATERIAL AND WORKMANSHIP SHALL BE PERFORMED ACCORDING TO THESE SPECIFICATIONS AND THE REFERENCED OHIO DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS NOTED ON THE TITLE SHEET.

MATERIAL STORAGE/EQUIPMENT STORAGE

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE EQUIPMENT AND MATERIAL STORAGE AREA TO SUIT HIS NEEDS.

PERMITS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS PROJECT.
- 2. THE EXECUTED PROJECT CONTRACT SHALL SERVE TO FULFILL THE CITY OF CLEVELAND PERMITTING REQUIREMENTS.

UNDERGROUND UTILITIES

THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE AS OBTAINED FROM THE OWNER'S SUPPLIED SURVEY DATED JUNE 12, 2014 BY RICHARD HANTEL.

UTILITY OWNERSHIP

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THE PROJECT:

CLEVELAND PUBLIC POWER  
1300 LAKESIDE AVENUE  
CLEVELAND, OHIO 44114  
216-664-3922

WORK HOURS

NO NIGHT WORK BETWEEN THE HOURS OF 5:00 P.M. TO 8:00 A.M. SHALL BE PERMITTED UNLESS OTHERWISE SPECIFICALLY APPROVED BY THE ENGINEER AND THE CITY OF CLEVELAND.

CONSTRUCTION SEQUENCE

THE CONTRACTOR SHALL INCLUDE COSTS IN THE PRICE BID FOR MAINTENANCE OF TRAFFIC. ONCE THE CONTRACTOR IS ENGAGED IN THE PROJECT, WORK SHALL BE CONTINUOUS USING FULL CREWS.

REMOVAL OF DEBRIS AND SITE CLEANUP

THE PROJECT SITE MUST BE KEPT FREE OF CONSTRUCTION DEBRIS, TRASH, PAPER AND OTHER WASTE ITEMS. COLLECT AND REMOVE THESE ITEMS AT THE END OR EACH WORK DAY.

DUST NUISANCE ORIGATION

DUST PRODUCED FROM ANY OPERATIONS INSIDE OR OUTSIDE THE RIGHT-OF-WAY SHALL BE CONTROLLED BY THE CONTRACTOR IN ACCORDANCE WITH ITEM 616. WATER AND/OR CALCIUM CHLORIDE SHALL NOT BE APPLIED UNLESS ORDERED BY THE ENGINEER.

PAVEMENT SWEEPING

AS REQUIRED DURING THE COURSE OF EACH WORK DAY, THE CONTRACTOR SHALL SWEEP ALL PAVED AREAS AFFECTED BY THE DAYS WORK. PAVEMENT SHALL BE SCRAPED AND SWPT TO REMOVE ALL DIRT, MUD AND DEBRIS. INCLUDE THE COST OF THIS WORK IN THE PRICE BID FOR THE EXCAVATION.

CLEARING AND GRUBBING

ALL TREES, STUMPS, ROOTS, SHRUBS AND DEBRIS REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR OFF SITE AT A LOCATION LICENSED TO ACCEPT SUCH MATERIAL. REMOVE ALL TREES AND STUMPS SPECIFICALLY MARKED FOR REMOVAL WITHIN THE CONSTRUCTION LIMITS OR AS NOTED ON THE DRAWINGS SHALL BE PAID FOR UNDER THE LUMP SUM BID FOR ITEM 201, CLEARING AND GRUBBING. FOR TREES, REMOVAL INCLUDES THE ROOT MASS. NO ROOT MASS IS PERMITTED WITHIN THE FOOTPRINT OF ANY PAVEMENT (ASPHALT, CONCRETE, AGGREGATE)

CLEARING AND GRUBBING – TREE, LIMB AND ROOT PRUNING

THE DECISION TO PRUNE TREES DESIGNATED ON THE PLAN SHALL BE MADE BY THE OWNER AT THE TIME OF CONSTRUCTION. THE OWNER AND CONTRACTOR SHALL CONDUCT A FIELD REVIEW PRIOR TO BEGINNING WORK. THE PLANS DO NOT ALWAYS ACCURATELY REPRESENT THE TREE CANOPY. PRIOR TO BIDDING ON THIS PROJECT, THE CONTRACTOR SHALL MAKE A SITE VISIT TO ASSESS THE EXTENT OF THIS WORK. IF AN EXISTING TREE THAT IS DESIGNATED TO BE TRIMMED IS OUTSIDE OF THE RIGHT-OF-WAY LIMITS, THE PROPERTY OWNER SHALL BE NOTIFIED PRIOR TO PRUNING THE TREE. A PROFESSIONAL TREE TRIMMER SHALL PERFORM THIS WORK IN ACCORDANCE WITH ODOT ITEM 201.03. WHERE LIMBS ARE PRUNED WITHIN THE LIMITS OF EARTHWORK, PIPE/STORM STRUCTURE INSTALLATION, OR PAVEMENT INSTALLATION, THE ROOTS SHALL ALSO BE PROFESSIONALLY PRUNED. PAYMENT SHALL BE MADE PER EACH TREE PRUNED WHETHER BRANCHES AND/OR ROOTS ARE TRIMMED.

PROTECTION AND RESTORATION OF PROPERTY

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE PROPERTY.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE OR INJURY TO PROPERTY OF ANY CHARACTER, DURING THE EXECUTION OF THE WORK, RESULTING FROM ANY ACT, OMISSION, NEGLIGENCE, OR MISCONDUCT OF HIS MANNER OR METHOD OF EXECUTING THE WORK, OR AT ANY TIME DUE TO DEFECTIVE WORK OR MATERIALS, AND SAID RESPONSIBILITY WILL NOT BE RELEASED UNTIL THE PROJECT SHALL HAVE BEEN COMPLETED AND ACCEPTED.
- 4. WHEN OR WHERE ANY DIRECT OR INDIRECT DAMAGE OR INJURY OCCURS TO PUBLIC OR PRIVATE PROPERTY BY OR ON ACCOUNT OF ANY ACT, OMISSION, NEGLIGENCE, OR MISCONDUCT IN THE EXECUTION OF THE WORK, OR IN CONSEQUENCE OF THE NON-EXECUTION THEREOF BY THE CONTRACTOR, HE SHALL RESTORE, AT HIS OWN EXPENSE, SUCH PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING BEFORE SUCH DAMAGE OR INJURY WAS DONE, BY REPAIRING, REBUILDING OR OTHERWISE RESTORING AS MAY BE DIRECTED, OR SHALL MAKE GOOD SUCH DAMAGE OR INJURY IN AN ACCEPTABLE MANNER.
- 5. WHEN SIGNS AND SUPPORTS INTERFERE WITH CONSTRUCTION, THE CONTRACTOR SHALL REMOVE AND ERECT THEM IN A TEMPORARY LOCATION DURING CONSTRUCTION IN A MANNER SATISFACTORY TO AND AS DIRECTED BY THE ENGINEER. AFTER COMPLETION OF THE CONSTRUCTION AND BEFORE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL ERECT THE SIGNS AND SUPPORTS IN THEIR ORIGINAL LOCATION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

REMOVAL OF EXISTING STRUCTURES

- 1. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING PIPES, CATCH BASINS, YARD DRAINS, CONCRETE DRAINAGE CHANNELS, GUARDRAILS, LANDSCAPE TIMBERS, AND OTHER ITEMS WITHIN THE LIMITS OF WORK THAT WILL BE ABANDONED OR OTHERWISE NOT USED AS PART OF THE ROADWAY AND STORM SEWER IMPROVEMENTS. ABANDONING PIPES IN PLACE OR FILLING THEM WITH GROUT IS NOT ACCEPTABLE, UNLESS AUTHORIZED BY THE ENGINEER. THE PROPERTY OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR ALL LANDSCAPE ITEMS REMOVED.

SIGNS AND POSTS REMOVED

THE CITY OF CLEVELAND SHALL HAVE FIRST REFUSAL OF ALL SIGNS AND POSTS REMOVED.

TOPSOIL

EXISTING TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE IN AN APPROVED LOCATION. THE AREA TO BE STRIPPED SHALL INCLUDE THE AREA WHERE THE PROPOSED WORK WILL BE LOCATED. UPON COMPLETION OF THE WORK, THE STOCKPILED TOPSOIL WILL BE EVENLY DISTRIBUTED OVER THE DISTURBED WORK AREA IN A UNIFORM THICKNESS OF AT LEAST 4 INCHES. STOCKPILED TOPSOIL IN EXCESS OF THE AMOUNT NEEDED FOR THE ABOVE NOTED WORK WILL BE WASTED AT A DISPOSAL AREA AS DETERMINED BY THE CITY OF CLEVELAND.

TOPSOIL STOCKPILE

TOPSOIL WILL BE STOCKPILED AT LOCATIONS AS SHOWN ON THE DRAWINGS. A CONSTRUCTION ACCESS DRIVE FROM THE ROAD TO THE STOCKPILE LOCATION(S) ALONG WITH A SILT FENCE SURROUNDING THE PILE IS REQUIRED. IF STOCKPILE IS IN PLACE FOR OVER 14 WORKING DAYS, SEEDING AND MULCHING ARE ALSO REQUIRED. THE STOCKPILE(S) SHALL BE GRADED SMOOTH AND COMPACTED TO 90% DENSITY.

ARCHITECTURAL STONE BENCH & AMPHITHEATER BLOCKS

STONE BENCH AND BLOCKS SHALL BE SOLID BLOCKS THAT ARE PRE-CAST UNITS CONFORMING TO ASTM C1776. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND PER THE PLANS.

ITEM 659 – SEEDING AND MULCHING, AS PER PLAN

THE VARIOUS SECTIONS OF ITEM 659, SEEDING AND MULCHING, AS DESCRIBED IN ODOT CMS SHALL APPLY, EXCEPT AS AMENDED BY THE FOLLOWING:

ITEM 659.04 COMMERCIAL FERTILIZER SHALL BE REPLACED BY LAWN FERTILIZER AS FOLLOWS:

659.04 LAWN FERTILIZERS. "STARTER" FERTILIZER FOR LAWNS SHALL BE A DRY TYPE WITH A RATIO AS NOTED IN THE SOIL TEST ANALYSIS RESULTS AND APPLIED AT THE RATE SPECIFIED IN THOSE ANALYSES.

"FOLLOW-UP" FERTILIZER SHALL BE A DRY TYPE FERTILIZER SUCH AS AN 18-5-9 OR 25-5-10 OR SIMILAR RATIO, APPLIED AT THE RATE OF ONE POUND OF ACTUAL NITROGEN PER 1,000 SQUARE FEET UNLESS OTHERWISE DIRECTED BY THE ENGINEER. FIFTY PERCENT OF THE TOTAL NITROGEN SHALL BE WATER INSOLUBLE (W.I.N.). OTHER ANALYSIS REQUIRES APPROVAL OF THE ENGINEER. CONTRACTOR SHALL APPLY THE "FOLLOW-UP" FERTILIZER UPON ACCEPTANCE.

ITEM 659.07 SEED SHALL BE REPLACED BY THE FOLLOWING:

659.07 SEED.

ALL SEED SHALL MEET THE FOLLOWING REQUIREMENTS:

98 PERCENT PURITY  
85 PERCENT GERMINATION

THE CONTRACTOR SHALL FURNISH TO THE ENGINEER A LETTER OF CERTIFICATION THAT ALL SEED TO BE USED COMES FROM A SOURCE APPROVED BY THE CITY, AND MEETS THE REQUIREMENTS OF THESE SPECIFICATIONS. SEED WHICH IS WET, MOLDY OR OTHERWISE DAMAGED IN TRANSIT SHALL NOT BE ACCEPTABLE. THE SEED MIX SHALL BE DELIVERED IN CLEAN SEALED BAGS BEARING CERTIFIED ANALYSIS AS FOLLOWS (PERCENTAGES ARE BY WEIGHT):

LAWN SEED MIX:

SUNNY SEED MIX  
(RELATIVELY LOW MAINTENANCE)

FAIRLAWN BRAND  
35% KENTUCKY BLUEGRASS  
10% BARON KENTUCKY BLUEGRASS  
15% PENNLAWN RED FESCUE  
10% BRIGHTSTAR II PERENNIAL RYEGRASS  
10% PIZZAZZ PERENNIAL RYEGRASS  
10% SEVILLE II PERENNIAL RYEGRASS

OR AN EQUAL APPROVED BY THE ENGINEER. APPLY SEED AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET.

ALTERNATE SUNNY SEED MIX  
(LOW MAINTENANCE)

FESCUE PLUS MIXTURE  
25% MILLENIUM TALL FESCUE  
25% PLANTATION TALL FESCUE  
25% CROSSFIRE II TALL FESCUE  
15% BRIGHTSTAR II PERENNIAL RYEGRASS  
10% KENTUCKY BLUEGRASS

OR AN EQUAL APPROVED BY THE ENGINEER. APPLY SEED AT THE RATE OF 6-7 POUNDS PER 1,000 SQUARE FEET.

SHADY SEED MIX

FAIRLAWN "SHADY"  
15% SHADOW CHEWINGS FESCUE  
15% PENNLAWN RED FESCUE  
15% INTRIGUE CHEWINGS FESCUE  
15% CREEPING RED FESCUE  
10% SHADEMASTER II RED FESCUE  
20% SEVILLE II PERENNIAL RYEGRASS  
10% KENTUCKY BLUEGRASS

OR AN EQUAL APPROVED BY THE ENGINEER. APPLY SEED AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET.

ALTERNATE SHADY SEED MIX  
(LOW MAINTENANCE)

FESCUE "PLUS" MIXTURE  
25% MILLENIUM TALL FESCUE  
25% PLANTATION TALL FESCUE  
25% CROSSFIRE II TALL FESCUE  
15% BRIGHTSTAR II PERENNIAL RYEGRASS  
10% KENTUCKY BLUEGRASS

OR AN EQUAL APPROVED BY THE ENGINEER. APPLY SEED AT THE RATE OF 6.7 POUNDS PER 1,000 SQUARE FEET.

A DETERMINATION WILL BE MADE DURING CONSTRUCTION REGARDING WHICH TYPE OF SEED MIX BEST FITS THE PROJECT CONDITIONS. IT IS POSSIBLE THAT ONE TYPE OF SEED MIX WILL NOT BE USED FOR THE ENTIRE PROJECT AREA.  
ITEM 659.10 SITE PREPARATION SHALL BE REPLACED BY THE FOLLOWING:

659.10 SITE PREPARATION.

PRIOR TO PLACING TOPSOIL, INSPECT THE SURFACE OF THE SUBGRADE. REMOVE ALL STONES, ROOTS, OR OTHER MATERIAL FROM THE SURFACE THAT IS LARGER THAN ONE INCH AS MEASURED IN ANY ONE DIRECTION. THEN PLACE TOPSOIL IN ACCORDANCE WITH ITEM 659.11.

LIME, IF REQUIRED AS A RESULT OF SOIL TEST OR AS REQUIRED BY THE ENGINEER, SHALL BE INCORPORATED INTO THE SOIL BY DISC, HARROW OR TILLER TO A DEPTH OF SIX INCHES OR AS OTHERWISE DIRECTED.

"STARTER" FERTILIZER SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 4 INCHES, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. "STARTER" FERTILIZER SHALL BE INCORPORATED SEPARATELY FROM LIME INCORPORATION.

SEEDBED SHALL THEN BE PREPARED REMOVING ALL ROCK AND FOREIGN MATERIAL GREATER THAN ONE INCH IN ANY DIRECTION AND FINE GRADED BY RAKING TO PLAN GRADE, TO THE SATISFACTION OF THE ENGINEER.

THE CONTRACTOR SHALL PERFORM CORE AERATION TO A MINIMUM DEPTH OF THREE (3) INCHES WITH A MINIMUM OF TWENTY (20) HOLES PER SQUARE FOOT PRIOR TO THE APPLICATION OF A "FOLLOW-UP" FERTILIZER.

A "FOLLOW-UP" FERTILIZER SHALL BE APPLIED TO THE NEWLY ESTABLISHED LAWN AFTER ACCEPTANCE.

ITEM 659 – MAINTENANCE SHALL BE REPLACED BY THE FOLLOWING:

659.18 MAINTENANCE OF LAWN SEED AREAS. ALL SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL ACCEPTANCE. MAINTENANCE SHALL ALSO INCLUDE FURNISHING AND INSTALLING APPROVED BARRICADES AND SIGNS TO PROTECT NEWLY SEEDED AND MULCHED AREAS. ALL AREAS DAMAGED FOLLOWING SEEDING OR MULCHING OPERATIONS DUE TO WIND, WATER, FIRE, OR OTHER CAUSES SHALL BE REPAIRED. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION AND GRADE OF THE AREA PRIOR TO SEEDING. IT THEN SHALL BE REFERTILIZED, RESEEDED AND REMULCHED, AS DIRECTED BY THE ENGINEER.

CONTRACTOR SHALL MAINTAIN SEEDED AREAS UNTIL ACCEPTANCE; MINIMUM OF 30 DAYS AFTER A SATISFACTORY STAND OF GRASS IN VIGOROUS AND THRIVING CONDITION IS ESTABLISHED. MAINTENANCE SHALL INCLUDE WATERING, MOWING, WEEDING, AERATING, RESEEDING, FERTILIZING AND DISEASE AND PEST CONTROL, ETC. WATER SHALL BE APPLIED, UNDER SUFFICIENT PRESSURE, WITH A NOZZLE THAT WILL PRODUCE A SPRAY PATTERN THAT WILL ADEQUATELY WATER BUT NOT DISLodge THE MULCHING MATERIAL, EVERY SEVEN DAYS DURING THE MAINTENANCE PERIOD UNLESS OTHERWISE DETERMINED BY THE ENGINEER, AT A RATE OF 120 GALLONS PER 1,000 SQUARE FEET. MOW TO A HEIGHT OF TWO INCHES WHENEVER GRASS BECOMES THREE INCHES HIGH. NOT MORE THAN ONE-THIRD OF THE GRASS HEIGHT SHALL BE REMOVED WITH EACH MOWING. AREAS WHICH DO NOT SHOW A SATISFACTORY STAND OF GRASS SHALL BE RESEEDED AT INTERVALS OF TEN TO FIFTEEN DAYS UNTIL A SATISFACTORY STAND OF GRASS SHALL BE RESEEDED AT INTERVALS OF TEN TO FIFTEEN DAYS UNTIL A SATISFACTORY TURF IS ESTABLISHED. IN TURF AREAS THAT HAVE SETTLED, TOPSOIL SHALL BE ADDED AND THE ENTIRE AREA RE-SEEDED AT THE RATE SPECIFIED FOR THAT SEED MIX. IN TURF AREAS THAT HAVE NOT SETTLED, A SILT SEEDER SHALL BE USED. THIS WILL SALVAGE THE EXISTING TURF AND INCORPORATE THE SEED INTO THE SOIL. THE SEED SHALL BE APPLIED AT HALF THE RATE SPECIFIED FOR THAT SEED MIX. AN ACCEPTABLE LAWN SHALL BE DEFINED AS HAVING A CLOSE STAND OF SPECIFIED GRASS, 6-12 PLANTS PER SQUARE INCH DEPENDING ON THE SPECIFIED VARIETY, IN A VIGOROUS AND THRIVING CONDITION. IT SHALL BE REASONABLY FREE OF WEEDS AND UNDESIRABLE COARSE GRASSES. REASONABLY FREE OF UNDESIRABLE WEEDS AND COARSE GRASSES SHALL MEAN WEEDS AND/OR COARSE GRASSES EXIST IN LESS THAN FIVE PERCENT OF THE TOTAL SEEDED AREA. A WEED CONTROL PROGRAM WILL BE REQUIRED WHEN WEEDS AND/OR COARSE GRASSES SURPASS FIVE PERCENT OF ANY GIVEN AREA, OR FIVE PERCENT OF TOTAL AREA SEEDED. CONTROL MAY BE EXERCISED MANUALLY OR THROUGH CHEMICAL CONTROL. WHEN CHEMICALS ARE USED TO CONTROL UNDESIRABLE GRASSES OR BROADLEAFED WEEDS, INSECTS OR DISEASES, THE CONTRACTOR WILL BE REQUIRED TO POSSESS A COMMERCIAL APPLICATOR'S LICENSE WITH THE STATE OF OHIO AND APPLY CHEMICALS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. DISEASE AND PEST CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGE BY FUNGUS, BACTERIA OR INSECTS, ETC., AS IDENTIFIED BY THE ENGINEER.

WATER HOSE, COUPLINGS AND SPRINKLERS SHALL BE PROVIDED TO REACH ALL AREAS OF THE NEWLY SEEDED AREAS TO RECEIVE WATER. NATURAL RAINFALL SHALL BE SUPPLEMENTED TO PROVIDE SUFFICIENT MOISTURE FOR SEED GERMINATION.

NOTE THAT WEED CONTROL IS REQUIRED, BUT IT SHALL NOT BE PAID FOR SEPARATELY. INCLUDE COSTS IN THE PRICE BID FOR SEEDING AND MULCHING.

A DISEASE AND PEST CONTROL PROGRAM SHALL BE DEVELOPED IF NECESSARY, THE COST OF WHICH WILL BE INCLUDED IN A CHANGE ORDER.

RESTORATION IS CRITICAL TO MINIMIZE DISRUPTION AND INCONVENIENCE FOR PROPERTY OWNERS. BASED ON THE SEQUENCE OF CONSTRUCTION DESCRIBED ELSEWHERE I THE GENERAL NOTES AND/OR THE MAINTENANCE OF TRAFFIC NOTES, EARTHWORK WILL BE COMPLETED ON ONE SIDE OF CASTON ROAD AND THEN ON THE OTHER IN ORDER TO CONSTRUCT THE BIKE LANES. FOR THE PURPOSES OF THIS PROJECT, EACH OF THE TWO SIDES (HALVES) WILL BE DIVIDED IN HALF AGAIN, THUS PROVIDING 4 SECTIONS. WITHIN EACH SECTION, WHEN THE EARTHWORK FOR THE BIKE LANE OR THE STORM SEWER INSTALLATION (WHICHEVER TAKES LONGER) IS 90% COMPLETE, THE CONTRACTOR SHALL MOBILIZE THE RESTORATION CREW(S) WITHIN ONE WEEK OF THE 90% POINT. CREW(S) SHALL ENGAGE IN TOPSOILING, FERTILIZING, SEEDING, MULCHING/MATTERING, WATERING AND MAINTENANCE. WORK SHALL BE CONTINUOUS UNTIL COMPLETE. IF DRIVEWAYS ARE NOT COMPLETE, RESTORATION AROUND THEM CAN BE SKIPPED UNTIL THEY ARE COMPLETE. BY ENTERING INTO THIS CONTRACT, THE CONTRACTOR AGREES TO THESE REQUIREMENTS. IF HE DOES NOT MEET THEM, HE FURTHER AGREES TO PAY \$750 PER CALENDAR DAY TO THE OWNER UNTIL HE COMPLIES. PAYMENT SHALL BE IN THE FORM OF A DEDUCT CHANGE ORDER. IF RAIN OCCURS WITHIN THE ONE WEEK PERIOD FOR MOBILIZATION, THEN THE ENGINEER AND CONTRACTOR SHALL NEGOTIATE AN EXTENSION BEYOND THE ONE WEEK PERIOD.

NOT FOR CONSTRUCTION



ROMANIAN CULTURAL  
GARDEN  
FRIENDS OF THE ROMANIAN  
CULTURAL GARDEN

----

DATE: \_\_\_\_\_

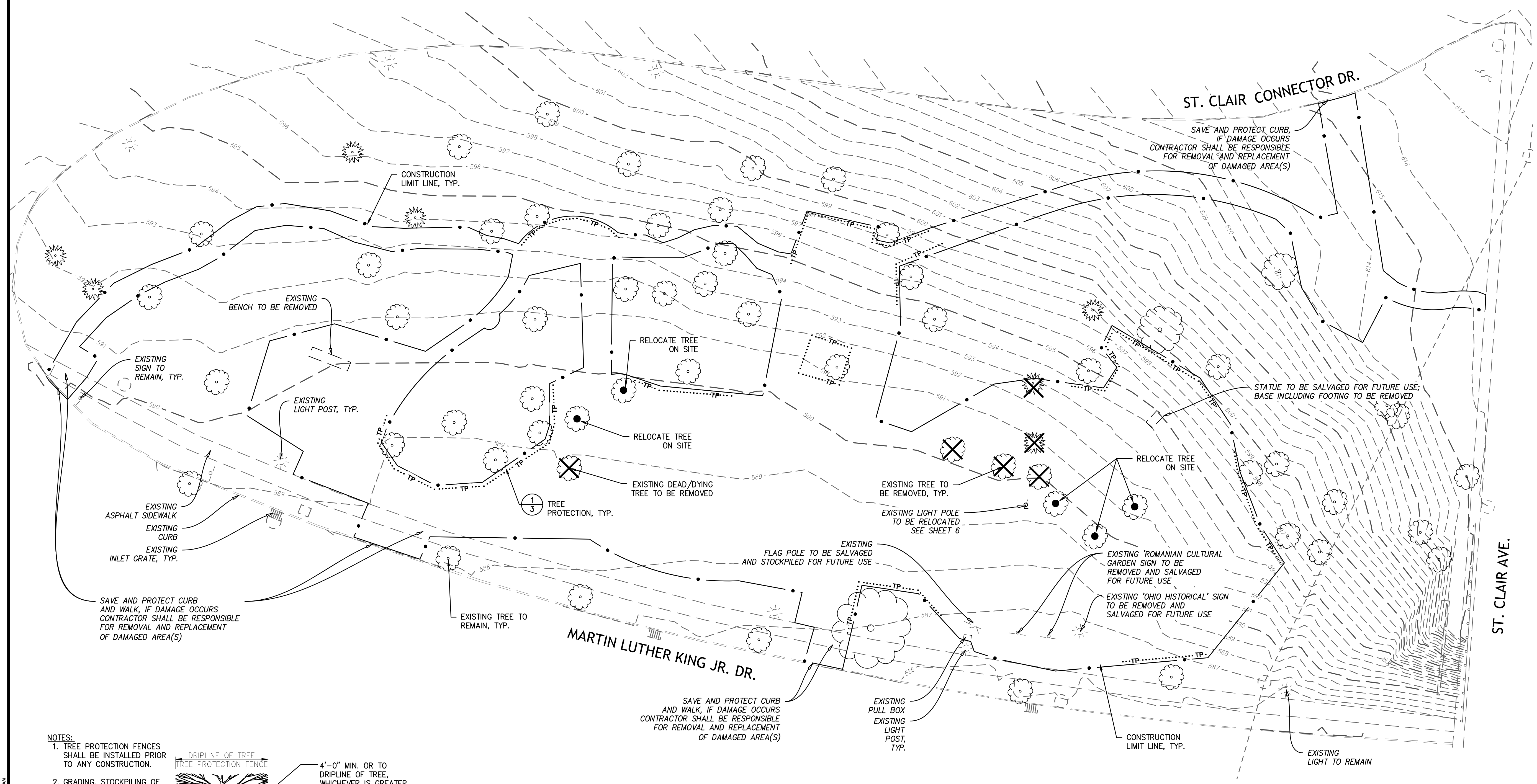
REVISIONS		
Δ	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT NO.:	15-00317-010
DRAWN BY:	RB
CHECKED BY:	----
DATE ISSUED:	2021/09/10

GENERAL NOTES

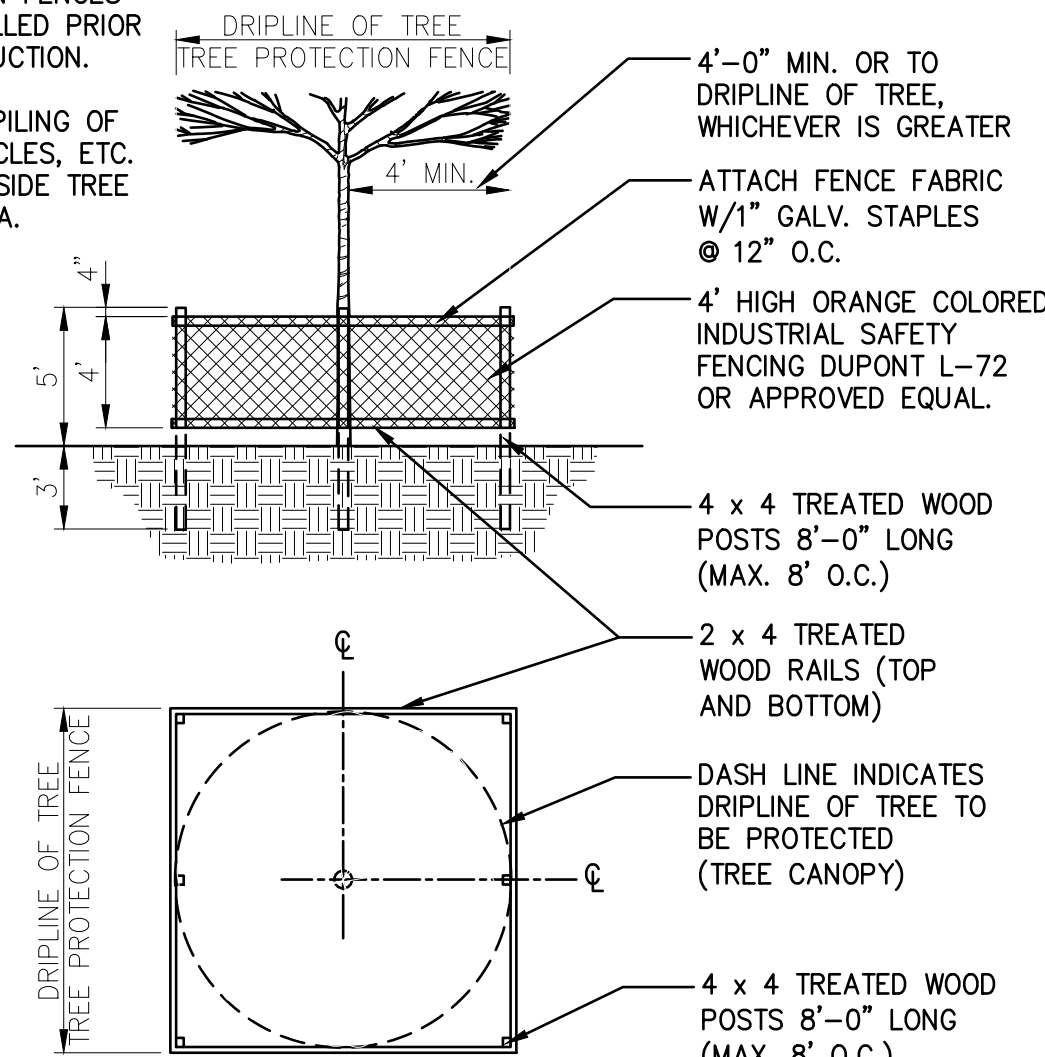


© FRIENDS OF THE ROMANIAN CULTURE GARDEN 15-00317-010 ROMANIAN CULTURAL GARDEN LAYOUT 15-00317-010 - 9/9/2021 11:52:29 AM

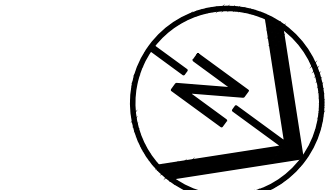


NOTES:

- 1. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION.
- 2. GRADING, STOCKPILING OF MATERIALS, VEHICLES, ETC. NOT ALLOWED INSIDE TREE PROTECTION AREA.



1 TYPICAL TREE PROTECTION  
3 NOT TO SCALE



0 20 40  
GRAPHIC SCALE IN FEET

NOT FOR CONSTRUCTION

AKRON / CLEVELAND / COLUMBUS  
HQ 450 GRANT ST., AKRON, OH 44311  
P 330.575.1590 / TP 800.855.1590  
W ENVDESIGNGROUP.COM

Know what's below.  
Call before you dig.

ROMANIAN CULTURAL GARDEN

FRIENDS OF THE ROMANIAN CULTURAL GARDEN

DATE: \_\_\_\_\_

REVISIONS		
Δ	DATE	DESCRIPTION

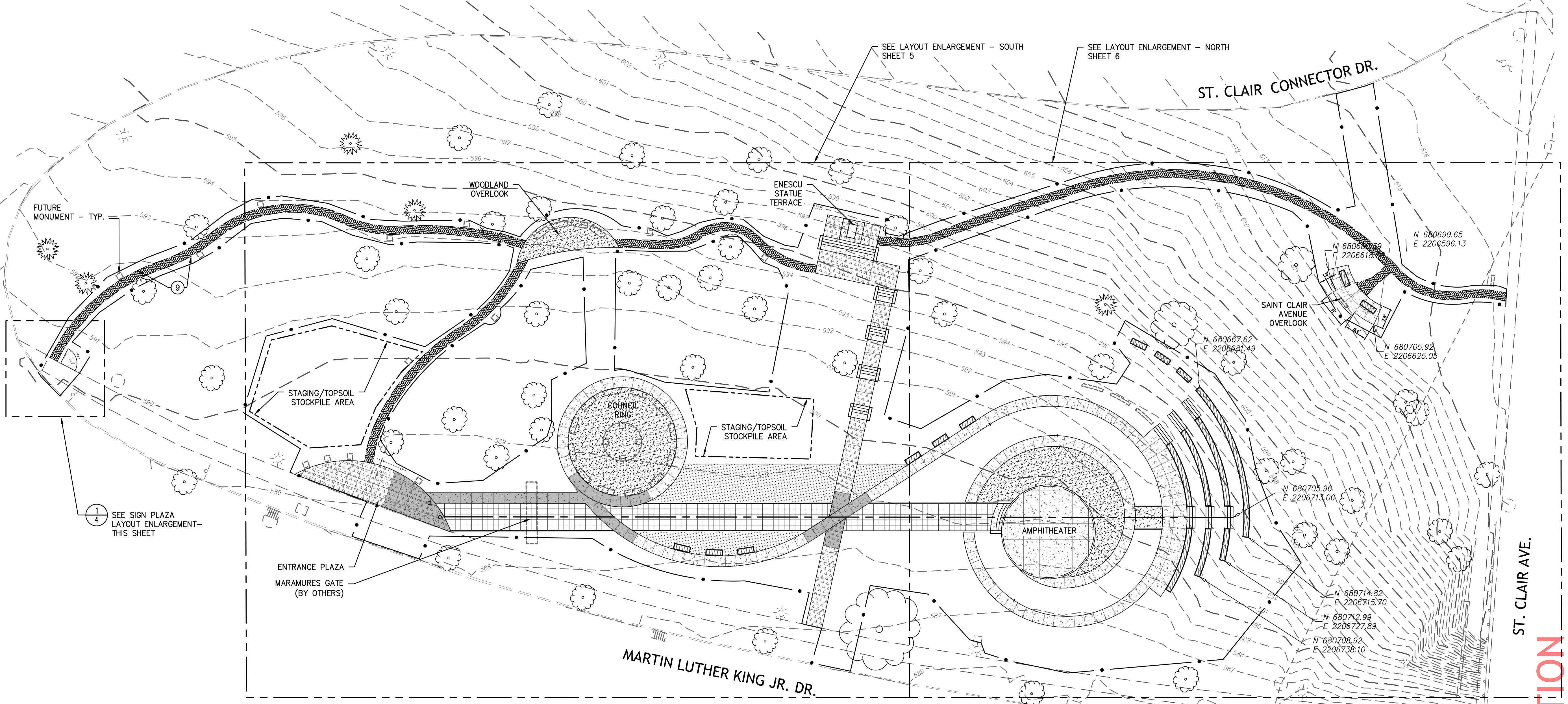
PROJECT NO.: 15-00317-010  
DRAWN BY: RB  
CHECKED BY: ----  
DATE ISSUED: 2021/09/10

EXISTING CONDITIONS, DEMOLITION & TREE PRESERVATION PLAN

3 OF 12



ENVIRONMENTAL DESIGN GROUP  
AKRON / CLEVELAND / COLUMBUS  
1450 GRANT ST., AKRON, OH 44311  
P 330.575.1590 / F 330.575.1590  
WWW.ENVIRONMENTALDESIGNGROUP.COM

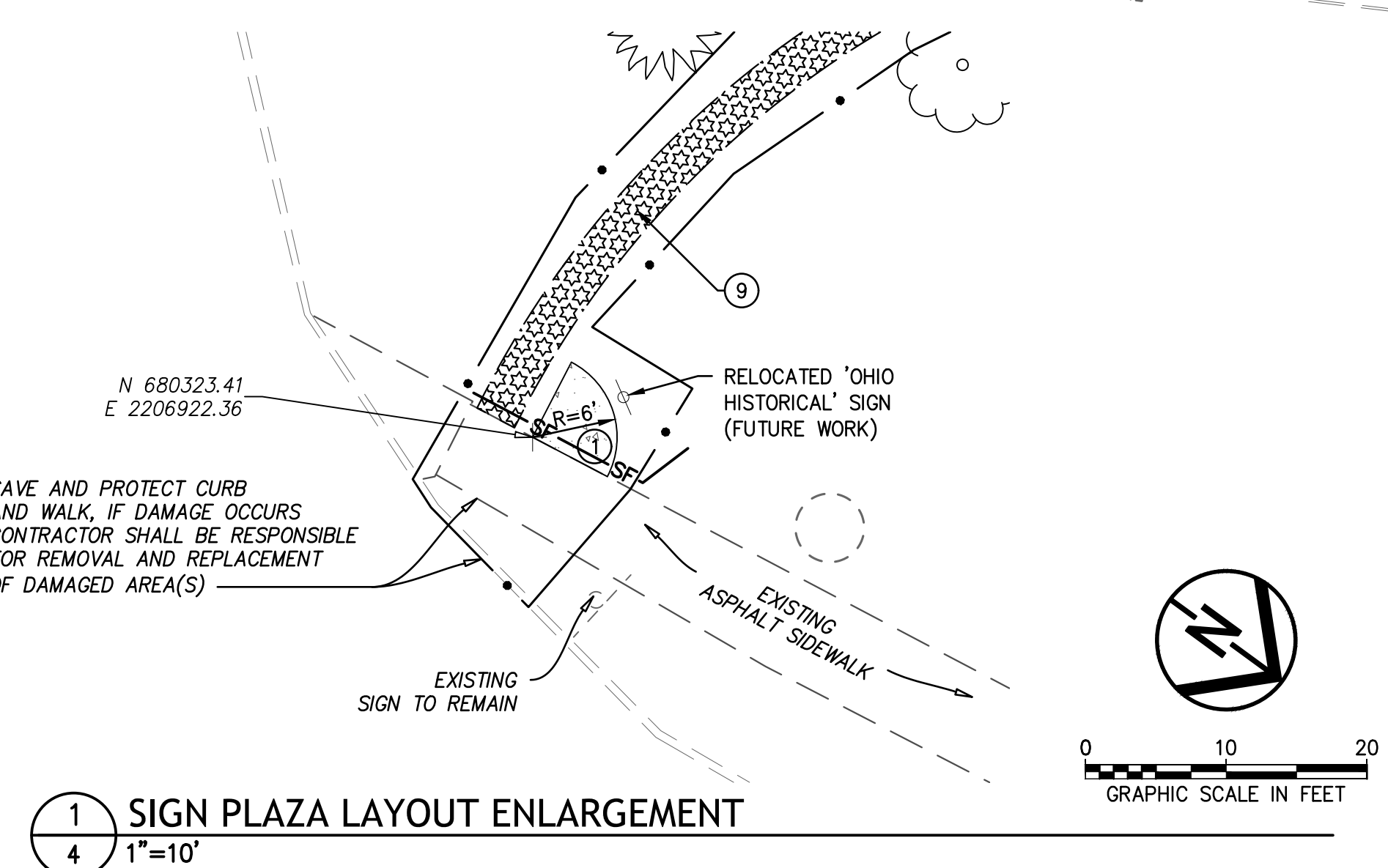


GENERAL SITE LAYOUT PLAN LEGEND

- |    |                                                |      |
|----|------------------------------------------------|------|
| 1  | CONCRETE PAVEMENT                              | 1/10 |
| 2  | HEAVY DUTY CONCRETE PAVEMENT                   | 1/10 |
| 3  | EXPOSED AGGREGATE CONCRETE PAVEMENT            | 2/10 |
| 4  | HEAVY DUTY EXPOSED AGGREGATE CONCRETE PAVEMENT | 2/10 |
| 5  | CONCRETE PAVERS                                | 3/10 |
| 6  | REINFORCED TURF GRASS                          | 4/10 |
| 7  | AGGREGATE PAVEMENT                             | 5/10 |
| 8  | LAWN                                           |      |
| 9  | CHIP & SEAL TRAIL - ALTERNATE                  | 3/11 |
| 10 | PLANTING BED (BY OTHERS) (NIC)                 |      |
- 
- |  |                 |      |
|--|-----------------|------|
|  | CONTROL JOINT   | 1/10 |
|  | EXPANSION JOINT | 2/10 |

SITE LAYOUT PLAN NOTES

- SEE SHEET 2 FOR SITE LAYOUT PLAN NOTES AND LEGEND.
- SEE SHEET 1 FOR LEGEND.



1 SIGN PLAZA LAYOUT ENLARGEMENT  
4 1"=10'

NOT FOR CONSTRUCTION

AKRON / CLEVELAND / COLUMBUS  
1450 GRANT ST., AKRON, OH 44311  
P 330.575.1590 / F 330.575.1590  
WWW.ENVIRONMENTALDESIGNGROUP.COM

Know what's below.  
Call before you dig.

# ROMANIAN CULTURAL GARDEN

## FRIENDS OF THE ROMANIAN CULTURAL GARDEN

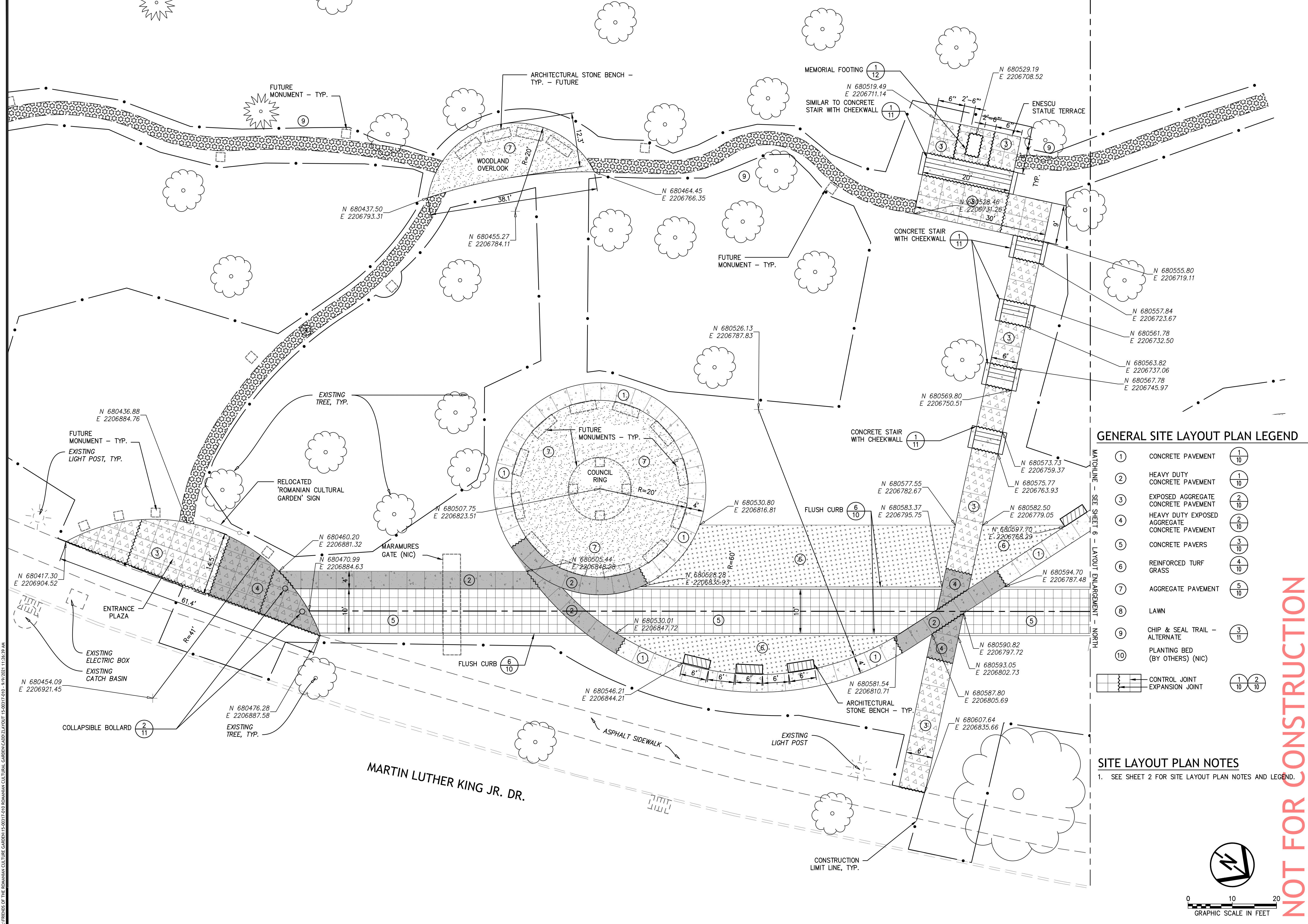
REVISIONS		
DATE	DESCRIPTION	

PROJECT NO.: 15-00317-010  
DRAWN BY: RB  
CHECKED BY: ----  
DATE ISSUED: 2021/09/10

### OVERALL LAYOUT PLAN

4 OF 12

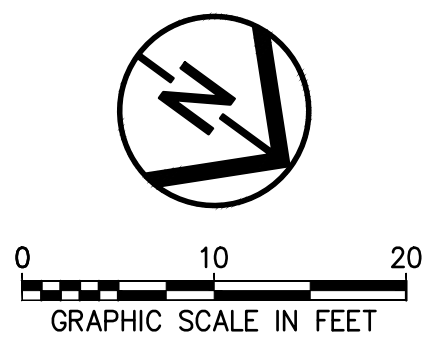




GENERAL SITE LAYOUT PLAN LEGEND

1	CONCRETE PAVEMENT	1/10
2	HEAVY DUTY CONCRETE PAVEMENT	1/10
3	EXPOSED AGGREGATE CONCRETE PAVEMENT	2/10
4	HEAVY DUTY EXPOSED AGGREGATE CONCRETE PAVEMENT	2/10
5	CONCRETE PAVERS	3/10
6	REINFORCED TURF GRASS	4/10
7	AGGREGATE PAVEMENT	5/10
8	LAWN	
9	CHIP & SEAL TRAIL - ALTERNATE	3/11
10	PLANTING BED (BY OTHERS) (NIC)	
	CONTROL JOINT EXPANSION JOINT	1/10 2/10

SITE LAYOUT PLAN NOTES  
1. SEE SHEET 2 FOR SITE LAYOUT PLAN NOTES AND LEGEND.



AKRON / CLEVELAND / COLUMBUS  
18450 GRANT ST., AKRON, OH 44311  
P 330.575.1590 / F 330.575.1590  
W ENVDESIGNGROUP.COM

Know what's below.  
Call before you dig.

ROMANIAN CULTURAL GARDEN

FRIENDS OF THE ROMANIAN CULTURAL GARDEN

DATE: \_\_\_\_\_

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.: 15-00317-010

DRAWN BY: RB

CHECKED BY: \_\_\_\_\_

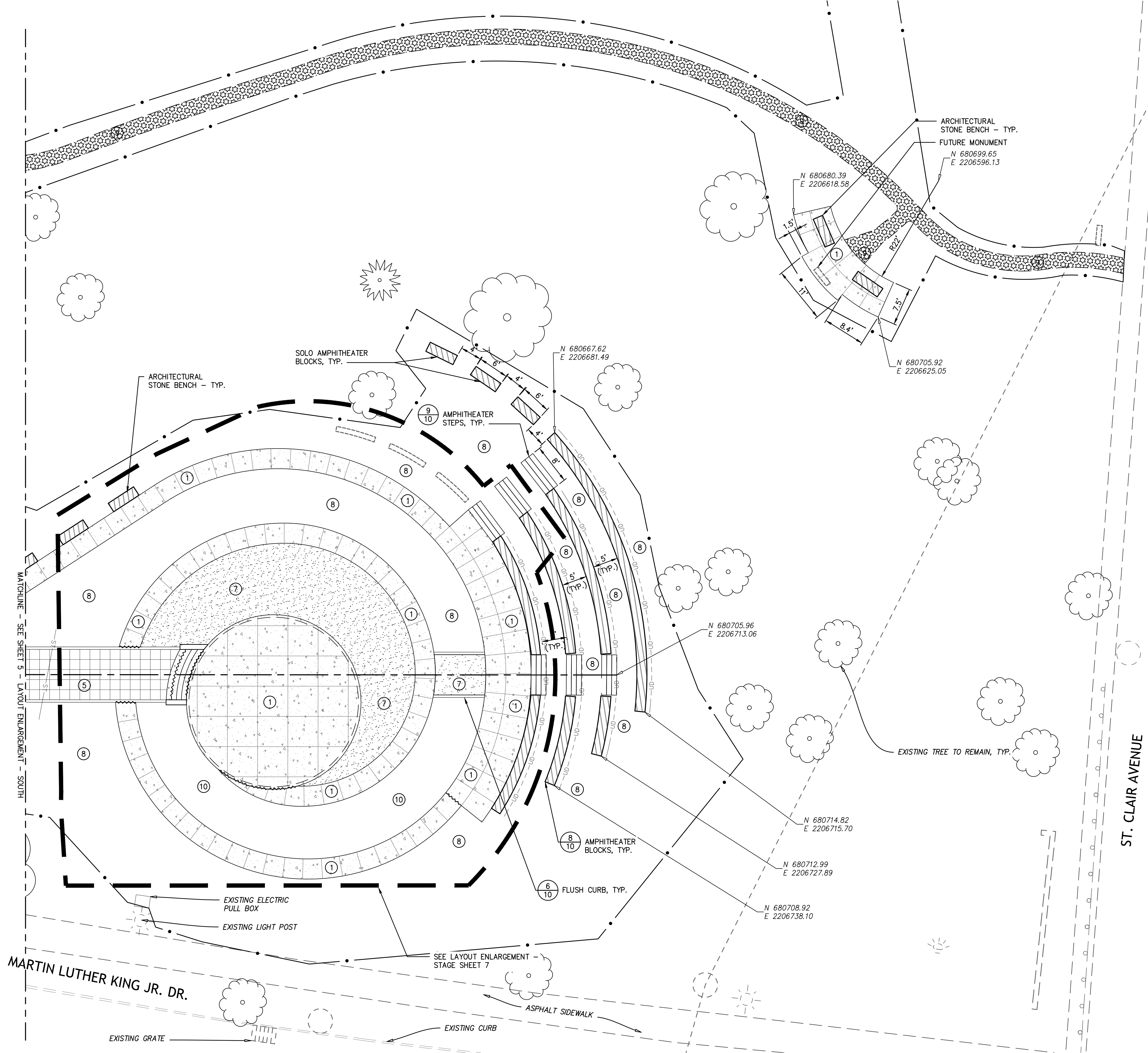
DATE ISSUED: 2021/09/10

LAYOUT ENLARGEMENT - SOUTH

5 OF 12



ENVIRONMENTAL DESIGN GROUP  
AKRON / CLEVELAND / COLUMBUS  
18450 GRANT ST., AKRON, OH 44331  
P 330.575.1590 / F 330.555.1590  
WWW.ENVDESIGNGROUP.COM



GENERAL SITE LAYOUT PLAN LEGEND

- |    |                                                |      |
|----|------------------------------------------------|------|
| 1  | CONCRETE PAVEMENT                              | 1/10 |
| 2  | HEAVY DUTY CONCRETE PAVEMENT                   | 1/10 |
| 3  | EXPOSED AGGREGATE CONCRETE PAVEMENT            | 2/10 |
| 4  | HEAVY DUTY EXPOSED AGGREGATE CONCRETE PAVEMENT | 2/10 |
| 5  | CONCRETE PAVERS                                | 3/10 |
| 6  | REINFORCED TURF GRASS                          | 4/10 |
| 7  | AGGREGATE PAVEMENT                             | 5/10 |
| 8  | LAWN                                           |      |
| 9  | CHIP & SEAL TRAIL - ALTERNATE                  | 3/11 |
| 10 | PLANTING BED (BY OTHERS) (NIC)                 |      |
|    | CONTROL JOINT                                  | 1/10 |
|    | EXPANSION JOINT                                | 2/10 |

SITE LAYOUT PLAN NOTES

1. SEE SHEET 2 FOR SITE LAYOUT PLAN NOTES AND LEGEND.

AKRON / CLEVELAND / COLUMBUS  
18450 GRANT ST., AKRON, OH 44331  
P 330.575.1590 / F 330.555.1590  
WWW.ENVDESIGNGROUP.COM

Know what's below.  
Call before you dig.

ROMANIAN CULTURAL GARDEN

FRIENDS OF THE ROMANIAN CULTURAL GARDEN

DATE: \_\_\_\_\_

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT NO.:

15-00317-010

DRAWN BY:

RB

CHECKED BY:

----

DATE ISSUED:

2021/09/10

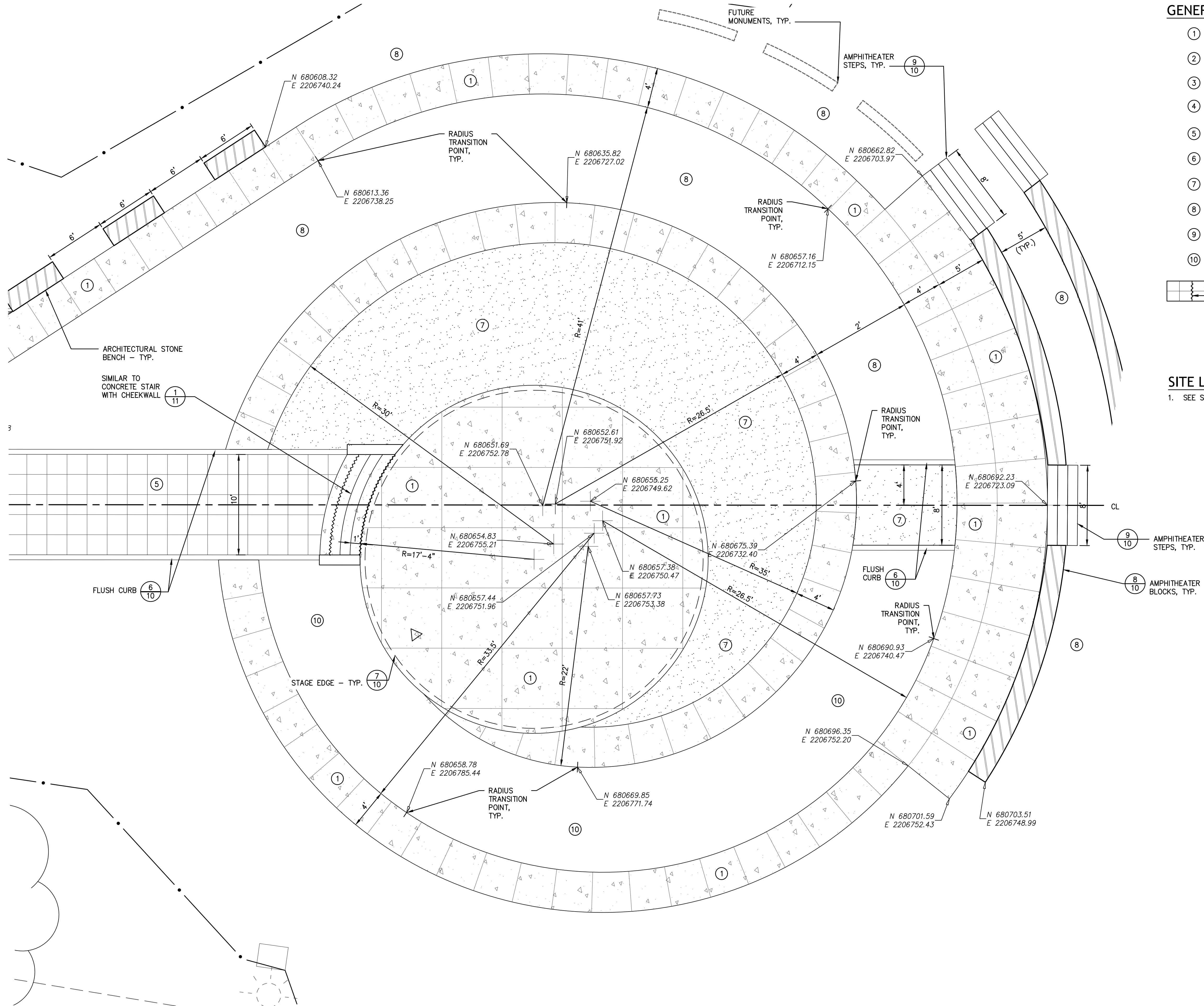
LAYOUT ENLARGEMENT - NORTH

6 OF 12

NOT FOR CONSTRUCTION



ENVIRONMENTAL DESIGN GROUP  
AKRON / CLEVELAND / COLUMBUS  
18 450 GRANT ST., AKRON, OH 44311  
P 330.575.1590 / F 330.575.1590  
W ENVDESIGNGROUP.COM



### GENERAL SITE LAYOUT PLAN LEGEND

- |                 |                                                |         |
|-----------------|------------------------------------------------|---------|
| ①               | CONCRETE PAVEMENT                              | ①<br>10 |
| ②               | HEAVY DUTY CONCRETE PAVEMENT                   | ①<br>10 |
| ③               | EXPOSED AGGREGATE CONCRETE PAVEMENT            | ②<br>10 |
| ④               | HEAVY DUTY EXPOSED AGGREGATE CONCRETE PAVEMENT | ②<br>10 |
| ⑤               | CONCRETE PAVERS                                | ③<br>10 |
| ⑥               | REINFORCED TURF GRASS                          | ④<br>10 |
| ⑦               | AGGREGATE PAVEMENT                             | ⑤<br>10 |
| ⑧               | LAWN                                           |         |
| ⑨               | CHIP & SEAL TRAIL - ALTERNATE                  | ③<br>11 |
| ⑩               | PLANTING BED (BY OTHERS) (NIC)                 |         |
| CONTROL JOINT   |                                                | ①<br>10 |
| EXPANSION JOINT |                                                | ②<br>10 |

### SITE LAYOUT PLAN NOTES

1. SEE SHEET 2 FOR SITE LAYOUT PLAN NOTES AND LEGEND.

NOT FOR CONSTRUCTION

## ROMANIAN CULTURAL GARDEN

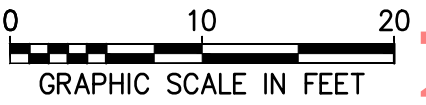
### FRIENDS OF THE ROMANIAN CULTURAL GARDEN

DATE: _____		
REVISIONS		
Δ	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
PROJECT NO.:		15-00317-010
DRAWN BY:		RB
CHECKED BY:		----
DATE ISSUED:		2021/09/10

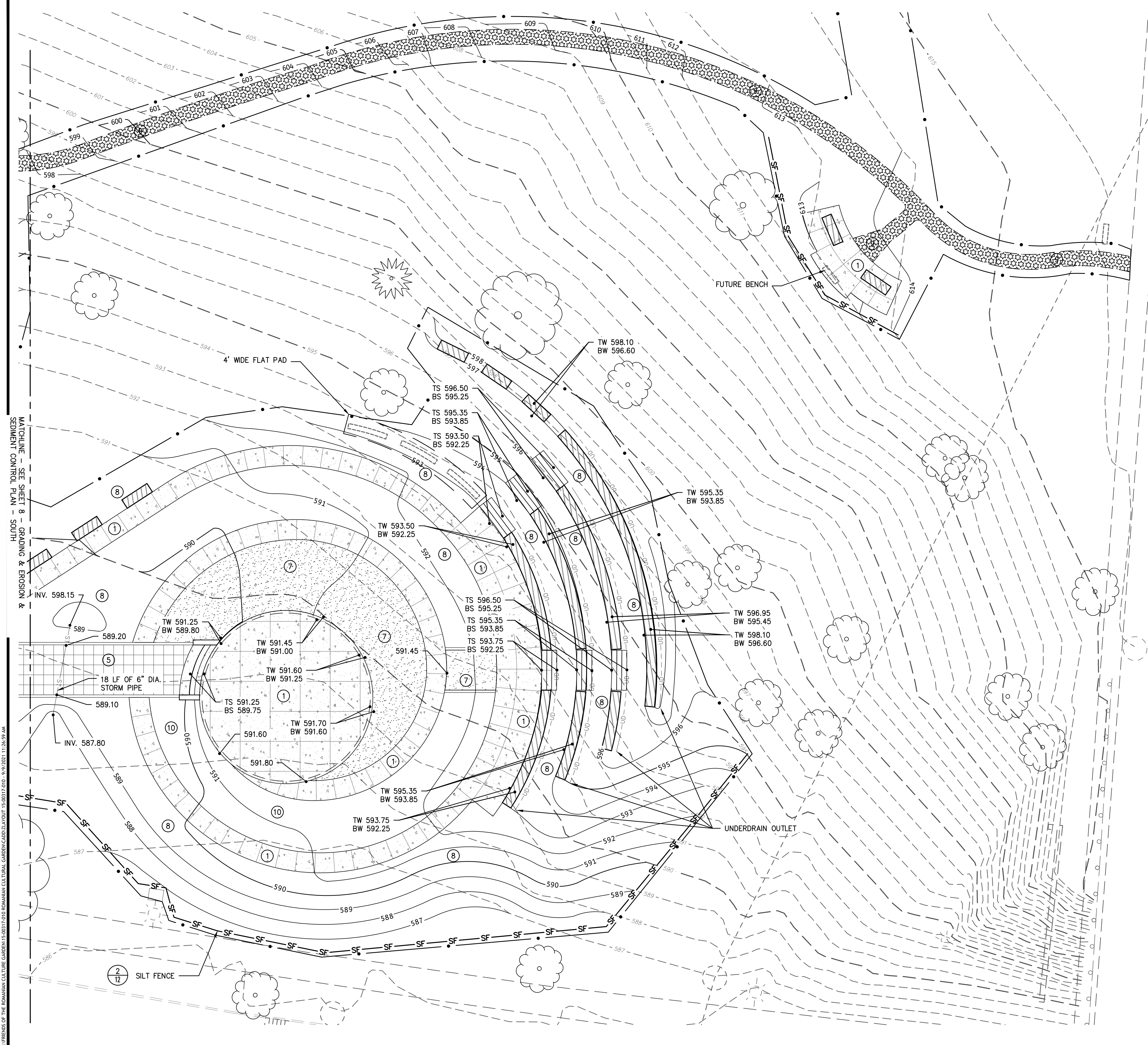


NOT FOR CONSTRUCTION

# GRADING & EROSION & SEDIMENT CONTROL PLAN - SOUTH







GENERAL SITE GRADING PLAN LEGEND

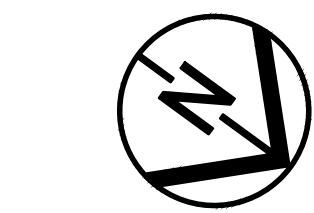
- ① CONCRETE PAVEMENT 1/10
  - ② HEAVY DUTY CONCRETE PAVEMENT 1/10
  - ③ EXPOSED AGGREGATE CONCRETE PAVEMENT 2/10
  - ④ HEAVY DUTY EXPOSED AGGREGATE CONCRETE PAVEMENT 2/10
  - ⑤ CONCRETE PAVERS 3/10
  - ⑥ REINFORCED TURF GRASS 4/10
  - ⑦ AGGREGATE PAVEMENT 5/10
  - ⑧ LAWN
  - ⑨ MULCH TRAIL
  - ⑩ PLANTING BED (BY OTHERS) (NIC) 1/10 2/10
- 595.25 PROPOSED SPOT GRADE
- BW BOTTOM OF WALL  
TW TOP OF WALL  
BS BOTTOM OF STEP  
TS TOP OF STEP

EROSION & SEDIMENT CONTROL PLAN LEGEND

- SF SILT FENCE 2/12
- CWO CONCRETE WASHOUT AREA 3/12

SITE GRADING PLAN NOTES

1. SEE SHEET C1.00 FOR SITE LAYOUT PLAN NOTES AND LEGEND.



0 10 20  
GRAPHIC SCALE IN FEET

NOT FOR CONSTRUCTION

AKRON / CLEVELAND / COLUMBUS  
HQ 450 GRANT ST., AKRON, OH 44311  
P 330.575.1590 / F 330.855.1590  
W ENVDESIGNGROUP.COM

Know what's below.  
Call before you dig.

ROMANIAN CULTURAL GARDEN

FRIENDS OF THE ROMANIAN CULTURAL GARDEN

REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT NO.:	15-00317-010
DRAWN BY:	RB
CHECKED BY:	----
DATE ISSUED:	2021/09/10

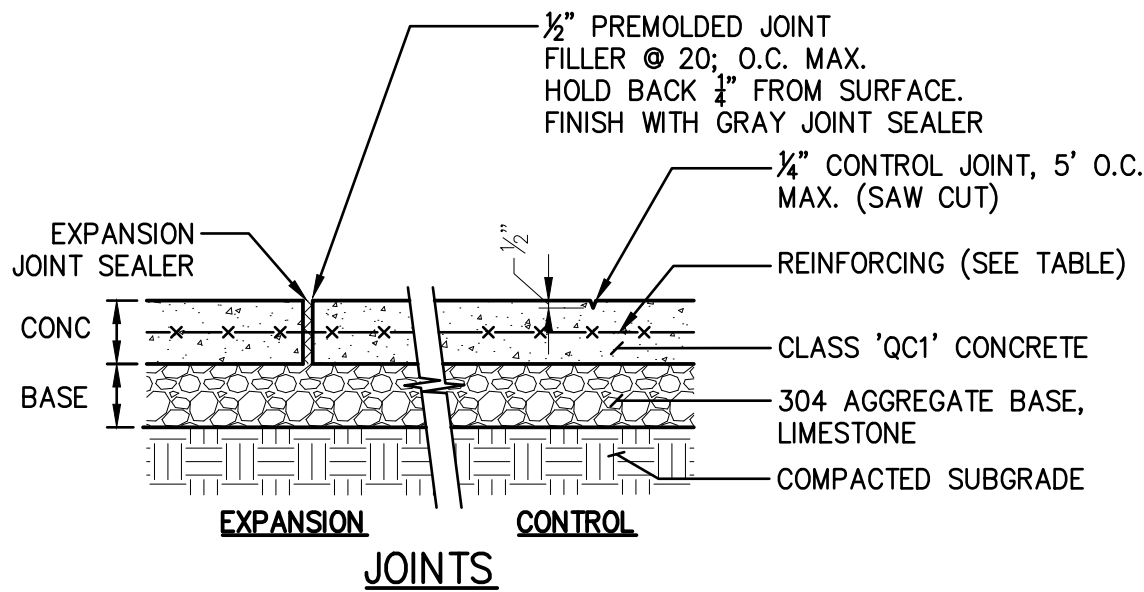
GRADING & EROSION & SEDIMENT CONTROL PLAN - NORTH

9 OF 12



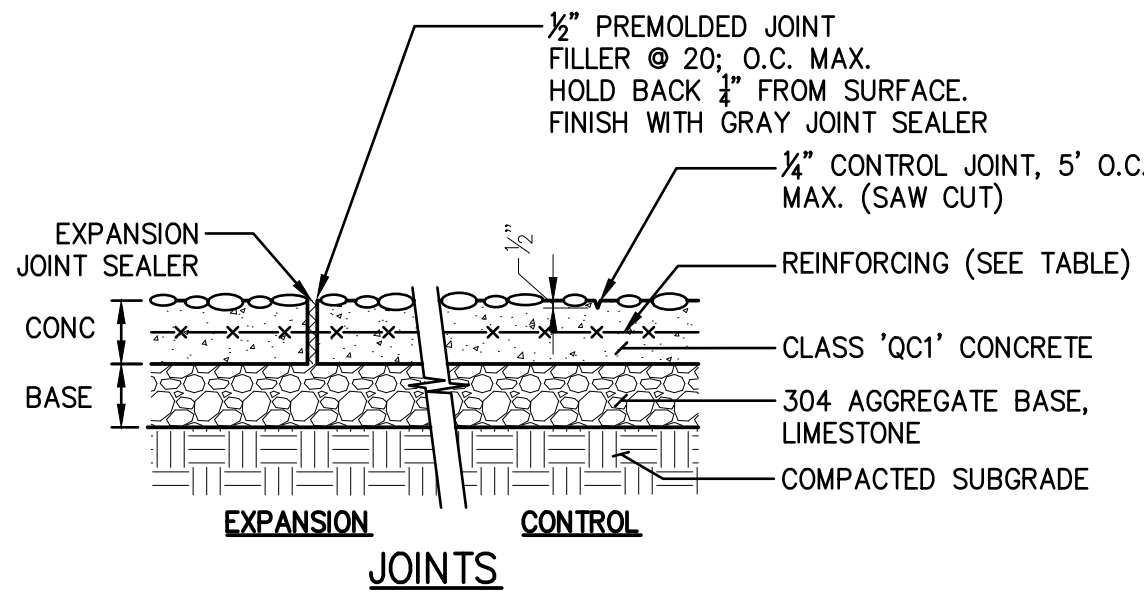
15-00317-010 ROMANIAN CULTURAL GARDEN CAD DETAIL 15-00317-010 - 9/9/2021 11:27:05 AM

- NOTES
1. EXPANSION JOINT - 1/2" AT 20' O.C. MAX. OR AS SHOWN ON DRAWINGS AT ALL CURBS, WALKS, WALLS AND OTHER FIXED OBJECTS.
  2. CONTROL JOINT - AS SHOWN ON DRAWINGS; MIN. 5' O.C.
  3. CROSS SLOPE - 1/4" PER FOOT MIN. TO DRAIN
  4. MEDIUM BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  5. USE EDGING TOOL AT PERIMETER.
  6. SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

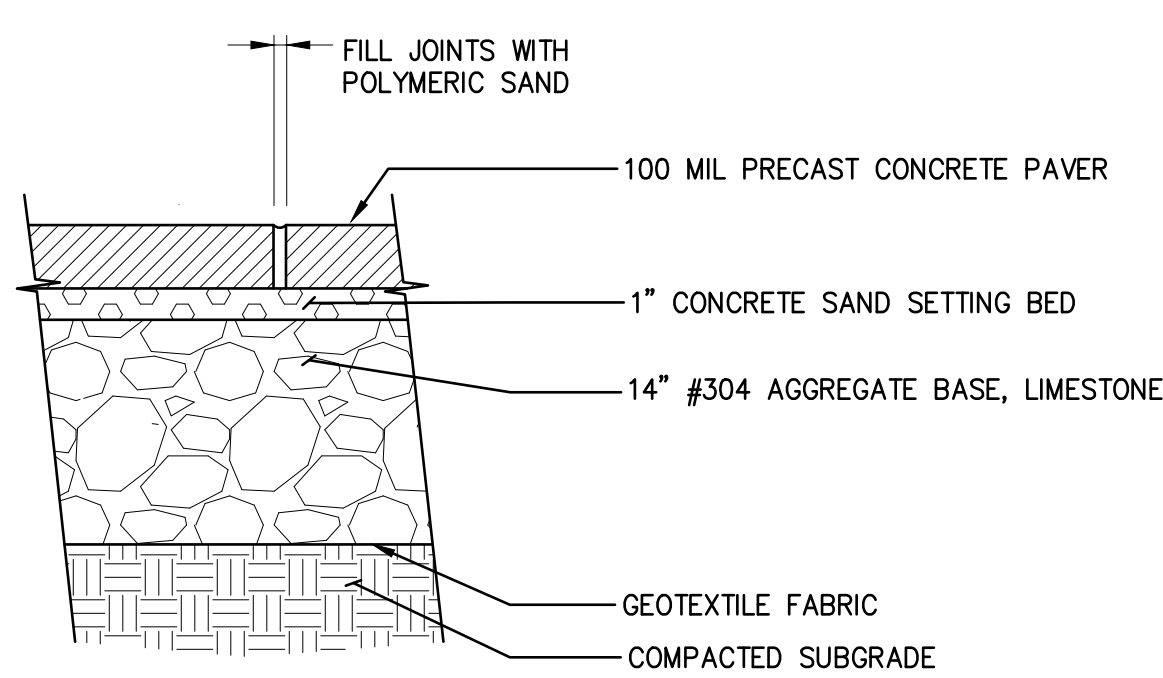


CONCRETE PAVEMENT	CONC	BASE	REINFORCING
STANDARD DUTY	5"	4"	6X6 - W4/4
HEAVY DUTY	8"	6"	6X6 - W10/10

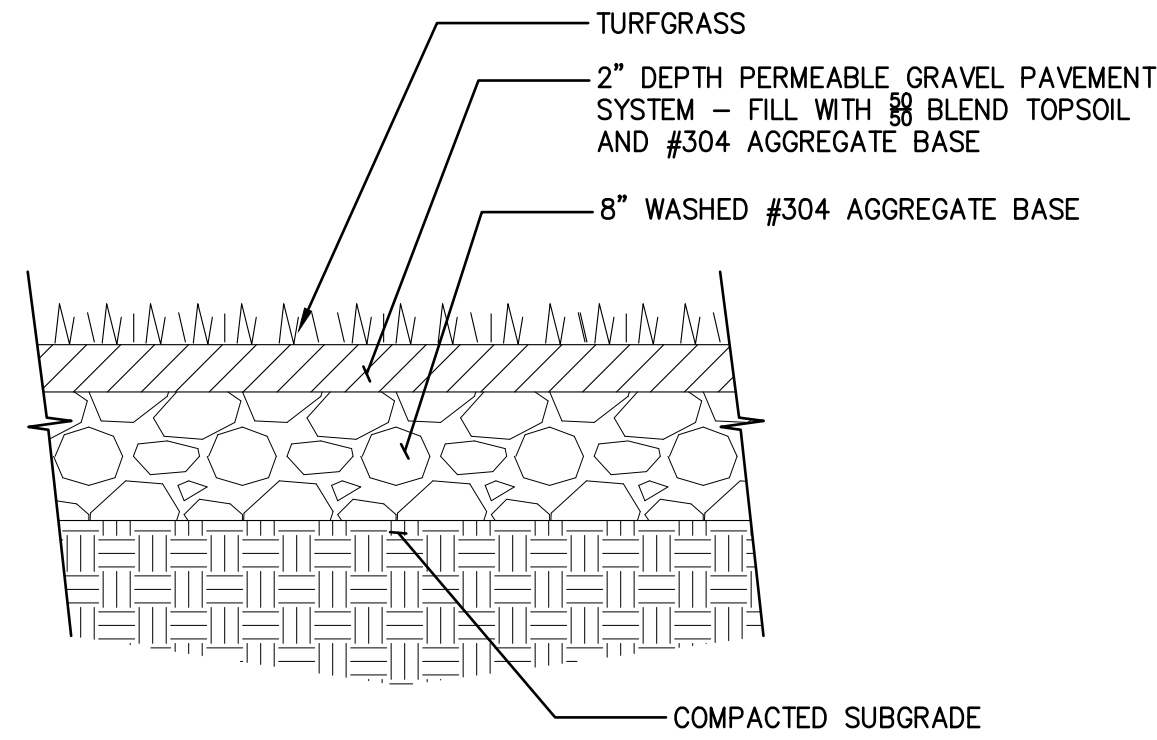
- NOTES
1. EXPANSION JOINT - 1/2" AT 20' O.C. MAX. OR AS SHOWN ON DRAWINGS AT ALL CURBS, WALKS, WALLS AND OTHER FIXED OBJECTS.
  2. CONTROL JOINT - AS SHOWN ON DRAWINGS; MIN. 5' O.C.
  3. CROSS SLOPE - 1/4" PER FOOT MIN. TO DRAIN
  4. USE EDGING TOOL AT PERIMETER.
  5. SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.



CONCRETE PAVEMENT	CONC	BASE	REINFORCING
STANDARD DUTY	5"	4"	6X6 - W4/4
HEAVY DUTY	8"	6"	6X6 - W10/10



- NOTES
1. PAVERS TO BE TECO-BLOC INDUSTRIA 600 SERIES PAVER (100 MIL X 600 MIL X 600 MIL) WITH SMOOTH TEXTURE AS DISTRIBUTED BY VANNESS STONE (440) 338-4444.
  2. PLACE PAVERS PER MANUFACTURER'S RECOMMENDATION.



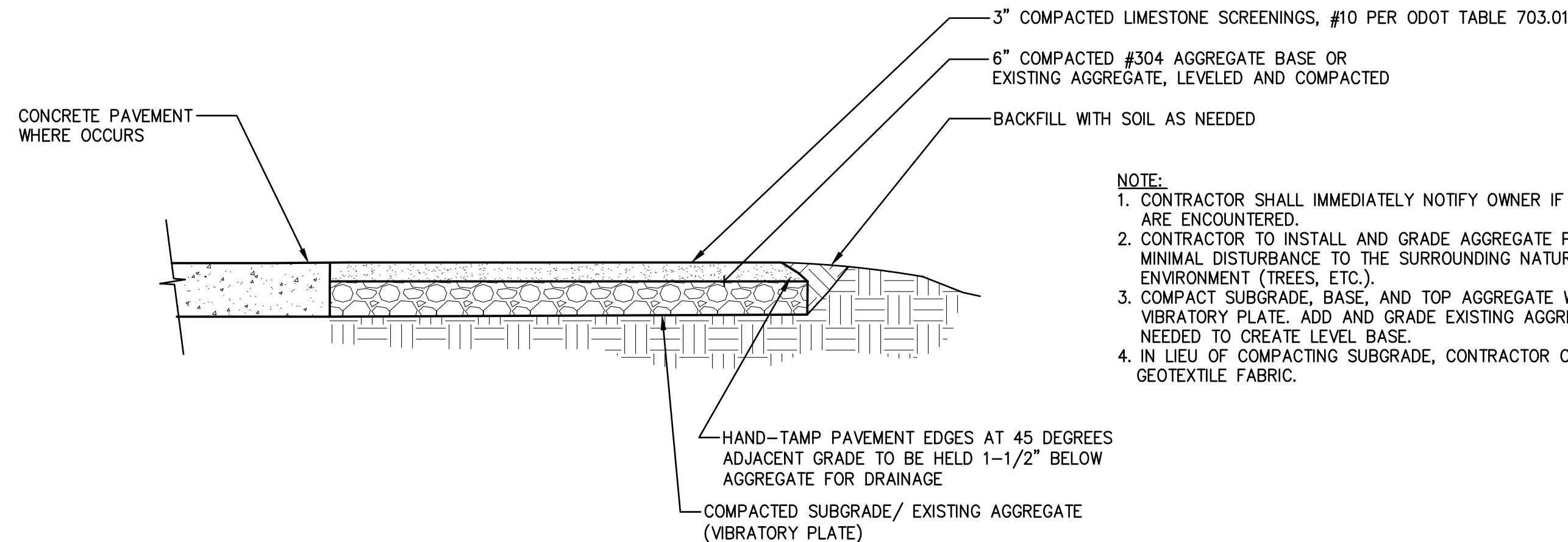
- NOTE:
1. BASIS OF DESIGN: GEOPAVESTABILIZED GRAVEL PAVERS: GEOSOLUTIONSINC.COM/PRODUCTS/POROUS-PAVEMENT-GEOPAVE-GRAVEL.HTML

1 CONCRETE PAVEMENT  
10 NOT TO SCALE

2 EXPOSED AGGREGATE CONCRETE PAVEMENT  
10 NOT TO SCALE

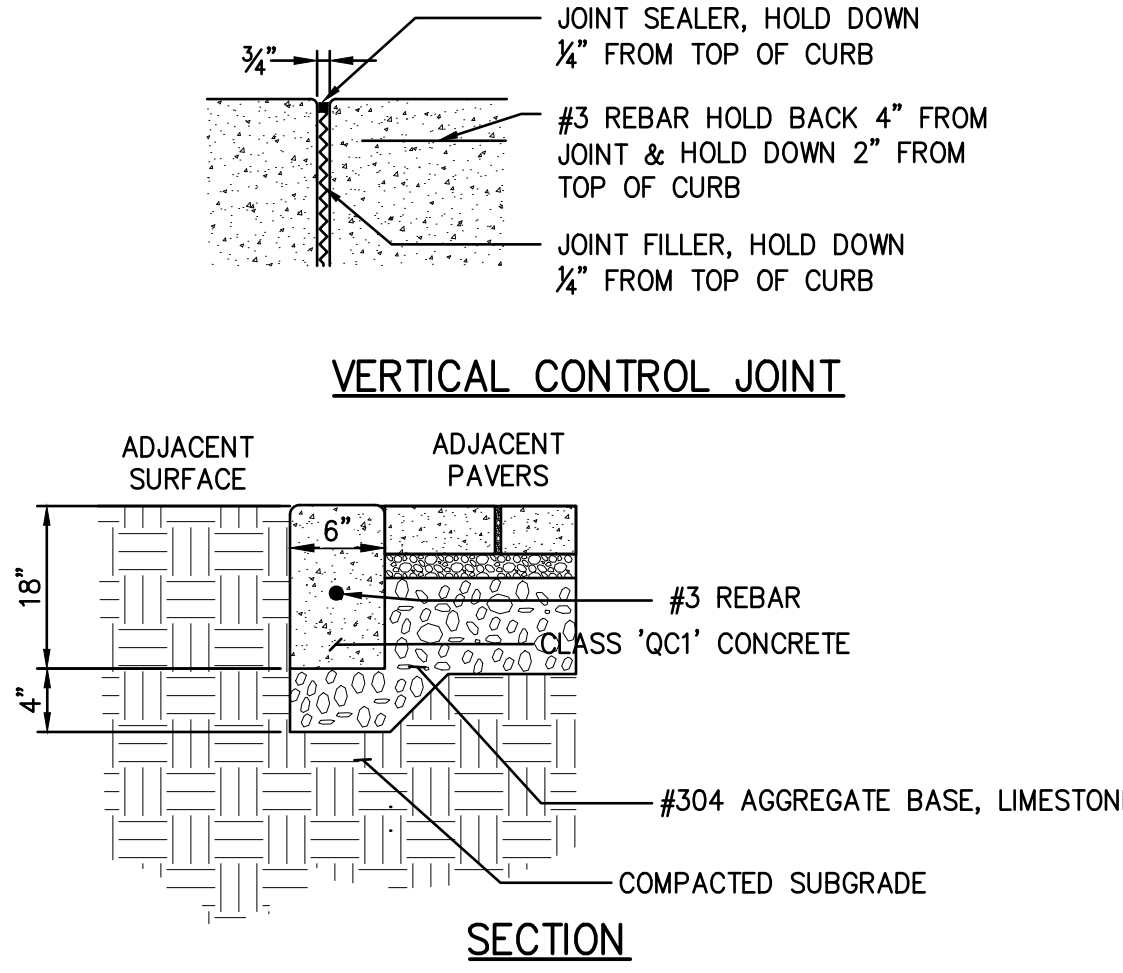
3 CONCRETE PAVERS  
10 NOT TO SCALE

4 REINFORCED TURF GRASS  
10 NOT TO SCALE



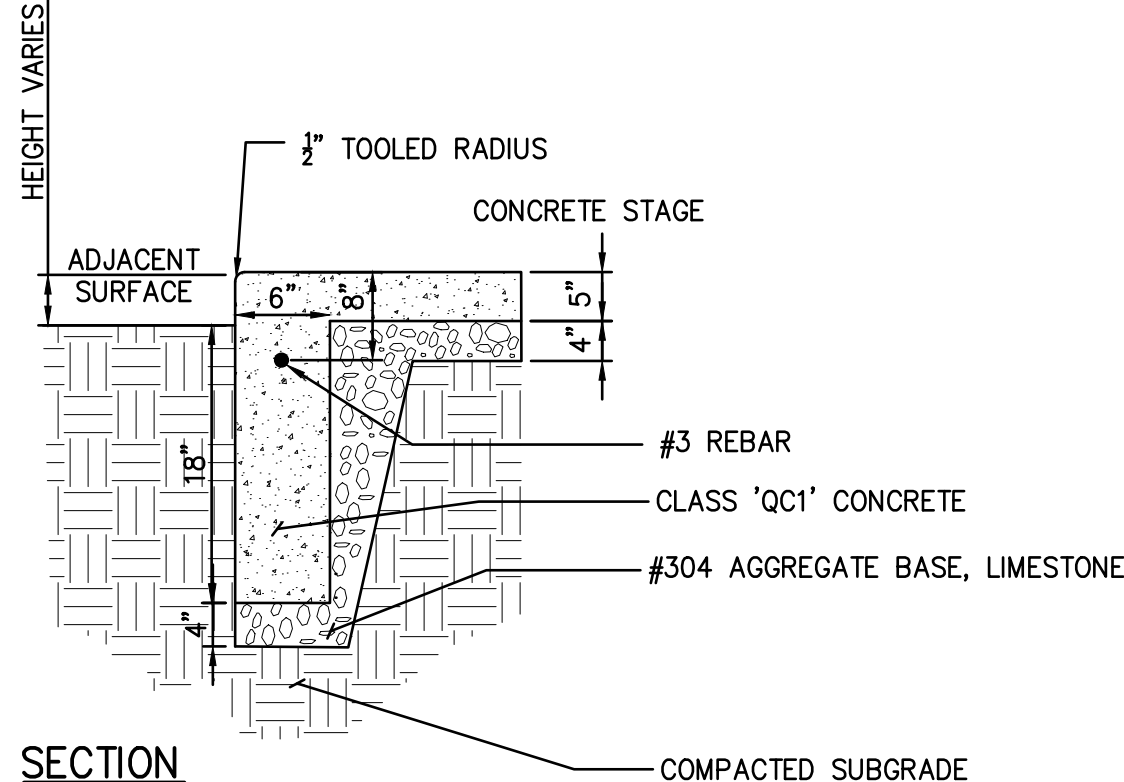
- NOTE:
1. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER IF SOFT SOILS ARE ENCOUNTERED.
  2. CONTRACTOR TO INSTALL AND GRADE AGGREGATE PAVEMENT WITH MINIMAL DISTURBANCE TO THE SURROUNDING NATURAL ENVIRONMENT (TREES, ETC.).
  3. COMPACT SUBGRADE, BASE, AND TOP AGGREGATE WITH VIBRATORY PLATE. ADD AND GRADE EXISTING AGGREGATE AS NEEDED TO CREATE LEVEL BASE.
  4. IN LIEU OF COMPACTING SUBGRADE, CONTRACTOR CAN PLACE GEOTEXTILE FABRIC.

5 AGGREGATE PAVEMENT SECTION  
10 NOT TO SCALE



VERTICAL CONTROL JOINT

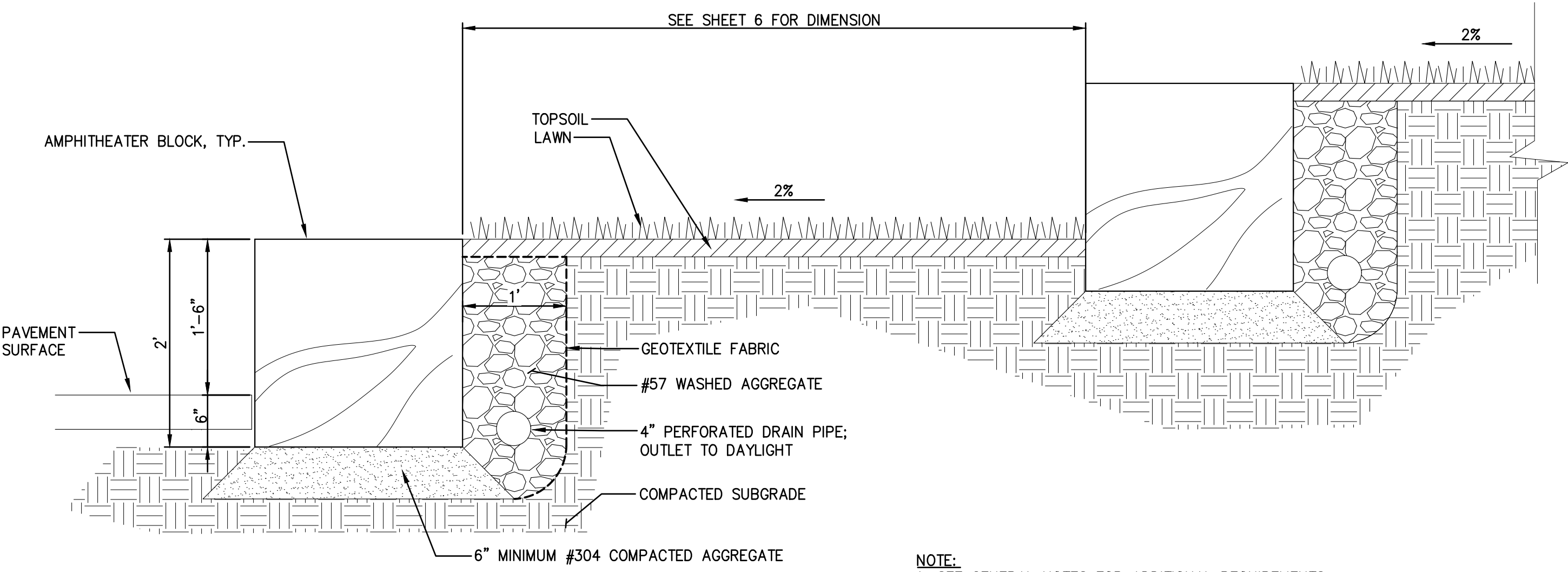
SECTION



SECTION

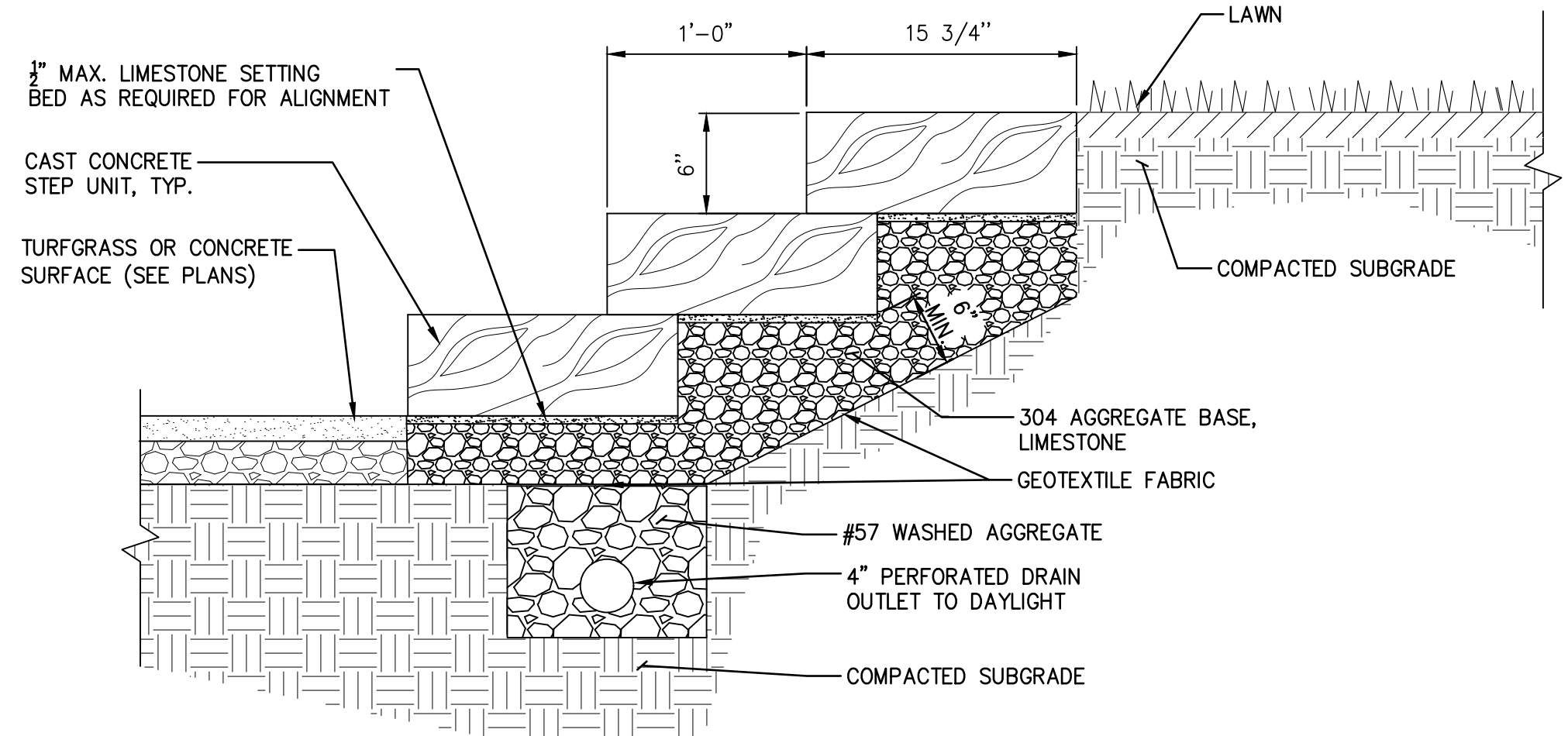
6 FLUSH CURB  
10 NOT TO SCALE

7 STAGE EDGE  
10 NOT TO SCALE



- NOTE:
1. SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

8 AMPHITHEATER BLOCKS  
10 NOT TO SCALE



- NOTE:
1. SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

9 AMPHITHEATER STEPS  
10 NOT TO SCALE

ROMANIAN CULTURAL  
GARDEN  
FRIENDS OF THE ROMANIAN  
CULTURAL GARDEN

NOT FOR CONSTRUCTION

DATE: _____		
REVISIONS		
Δ	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
PROJECT NO.:		15-00317-010
DRAWN BY:		RB
CHECKED BY:		----
DATE ISSUED:		2021/09/10

DETAILS



3/4" RAD. W/#4 BARS, 2" C.C. MIN.

CHEEKWALL

EXP. JOINT MATERIAL

#5 BAR DOWEL 18" LONG @ 16" OC (4"CLR. FROM EDGE);EMBED 9" EACH WAY; PROVIDE DOWEL SLEEVE ONE END. LOCATE AT THE TOP & BOTTOM OF STAIR

FINISH GRADE AND OTHER DETAILS SEE ARCHITECTURAL PLANS

COMPACTED SUBGRADE  
ODOT #304 AGGREGATE BASE

NOTES:  
1. CONTRACTOR SHALL PROVIDE A SMOOTH RUBBED FINISH ON ALL EXPOSED VERTICAL SURFACES OF CONCRETE. PROVIDE BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL ON ALL STAIR TREADS.

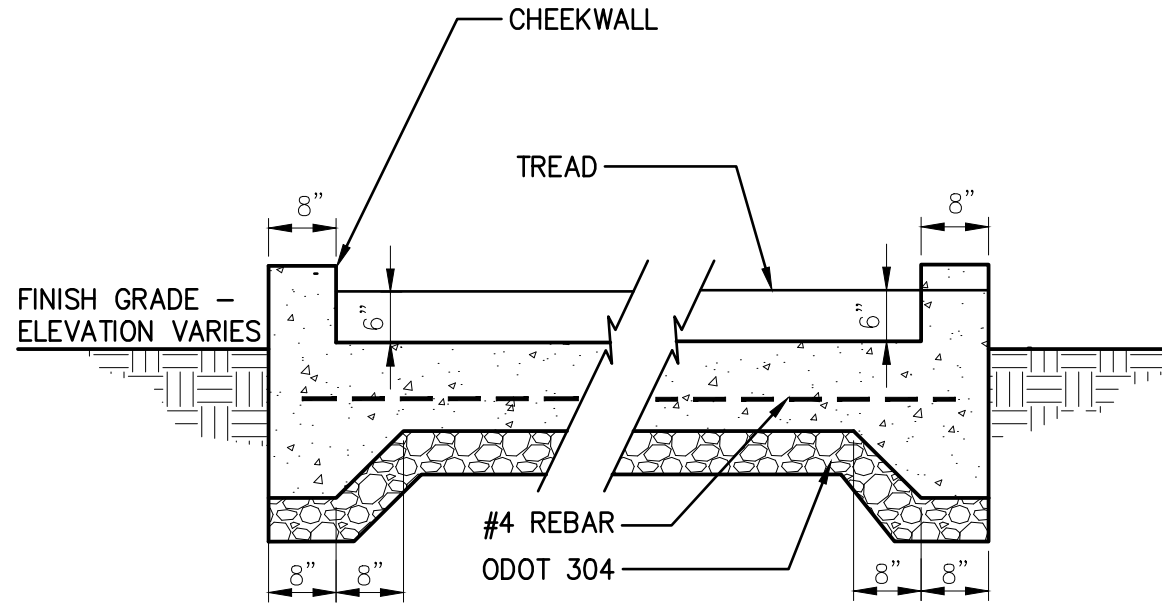
THICKENED EDGE OF STAIRS BEYOND

ODOT 304  
AGGREGATE BASE  
#4 REBAR-12"  
O.C. EACH WAY

EXP. JOINT MATERIAL

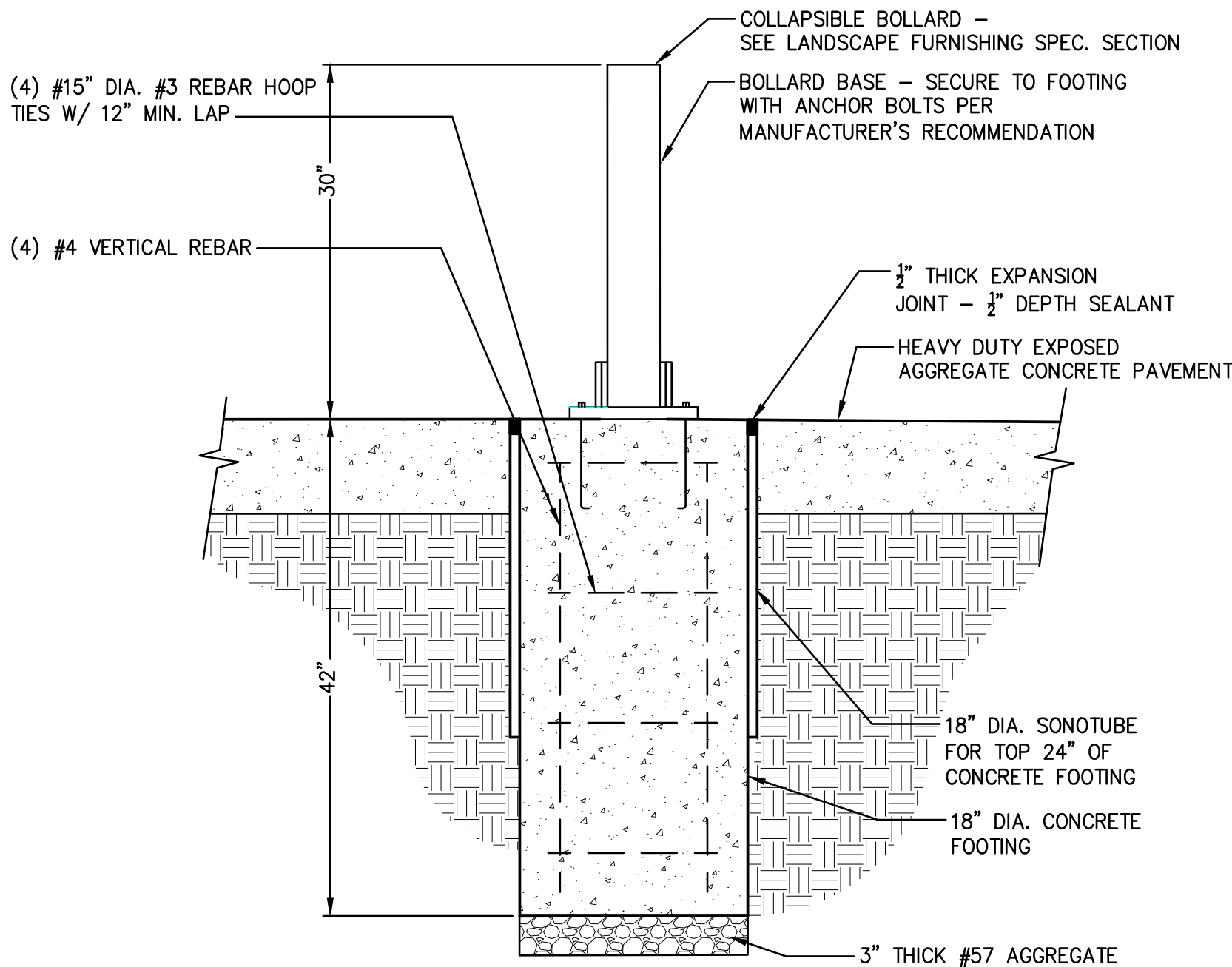
#5 BAR DOWEL 18" LONG @ 16" OC (4"CLR. FROM EDGE);EMBED 9" EACH WAY; PROVIDE DOWEL SLEEVE ONE END. LOCATE AT THE TOP & BOTTOM OF STAIR

FINISH GRADE  
CONCRETE PAVEMENT

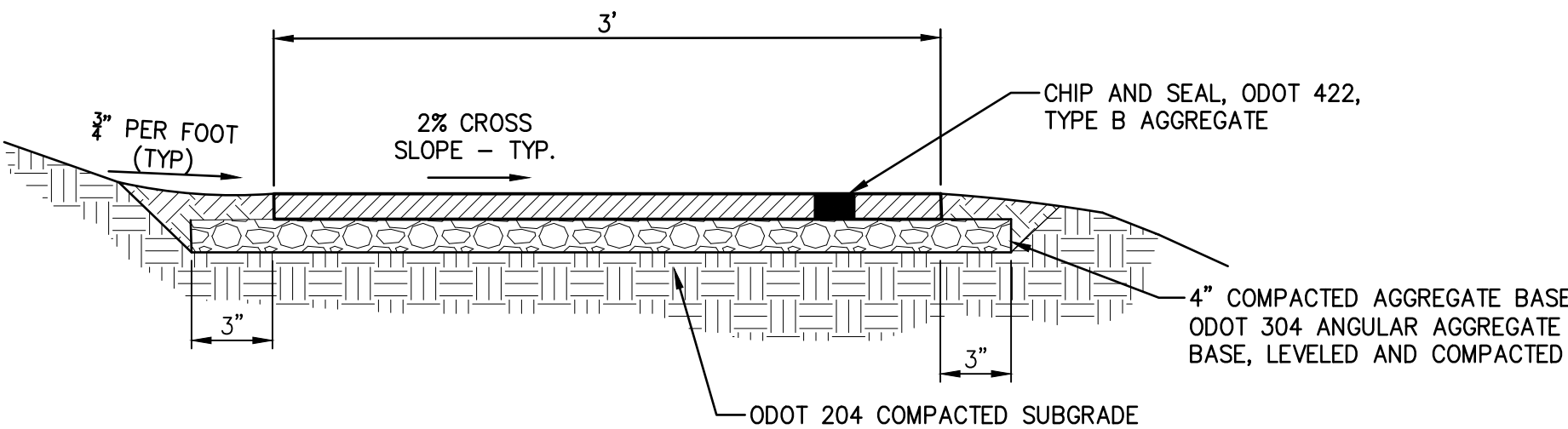


SECTION 'A' - THICKENED EDGE OF STAIR

1 CONCRETE STAIR WITH CHEEKWALL  
11 NOT TO SCALE



2 COLLAPSIBLE BOLLARD  
11 NOT TO SCALE



CROSS-SECTION

NOTE:  
1. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER & ENGINEER IF SOFT SOILS ARE ENCOUNTERED.  
2. CONTRACTOR SHALL ADD GRAVEL AND COMPACT EXISTING GRAVEL AS NEEDED TO CREATE LEVEL BASE.  
3. CONTRACTOR SHALL GRADE TRAIL TO ENSURE POSITIVE FLOW ACROSS SLOPE.  
4. IF ALTERNATE IS NOT ACCEPTED, TRAIL SHALL BE CONSTRUCTED WITH 3" THICK WOOD MULCH.

3 CHIP & SEAL TRAIL - ALTERNATE  
11 NOT TO SCALE

ROMANIAN CULTURAL  
GARDEN  
FRIENDS OF THE ROMANIAN  
CULTURAL GARDEN

NOT FOR CONSTRUCTION

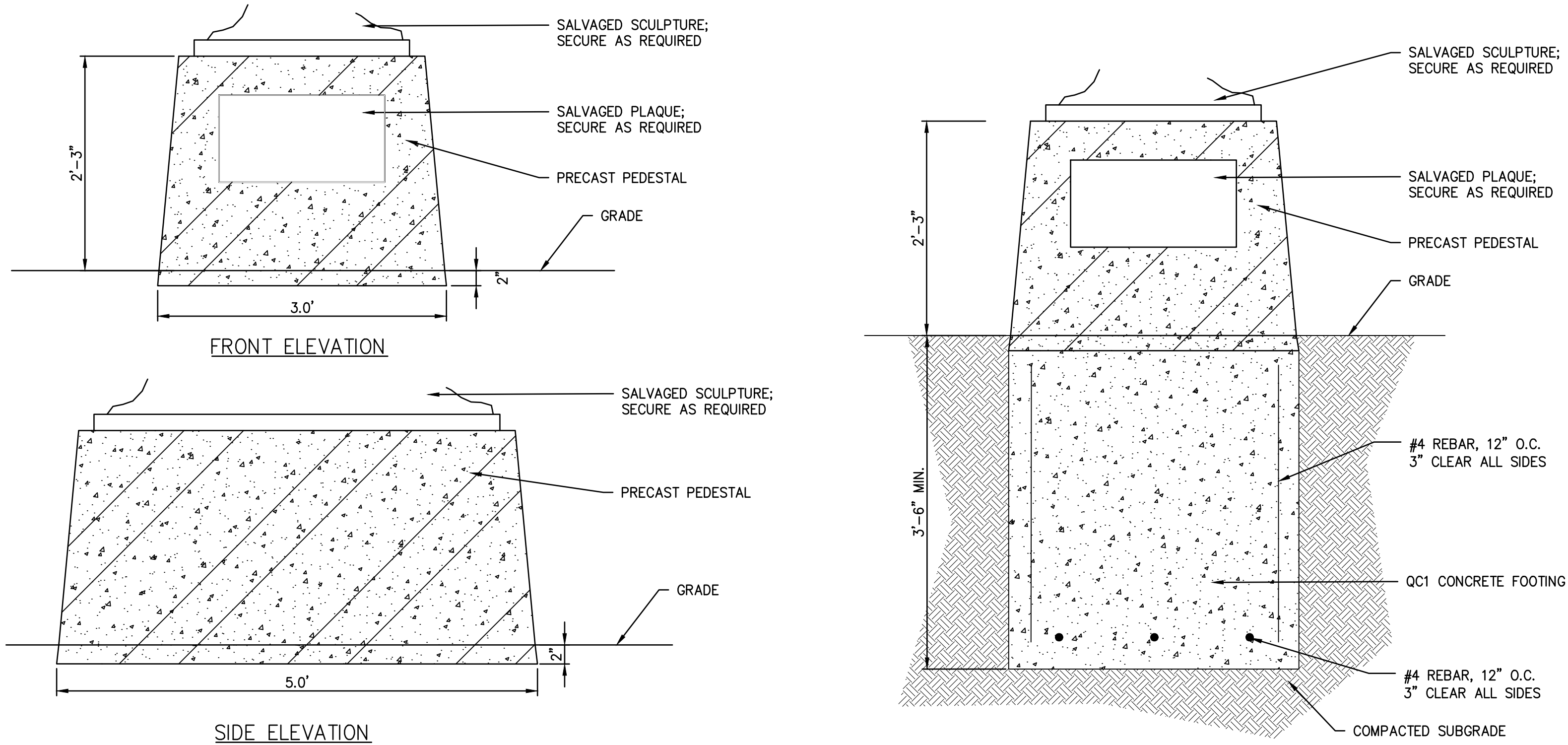
DATE: \_\_\_\_\_

REVISIONS		
Δ	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

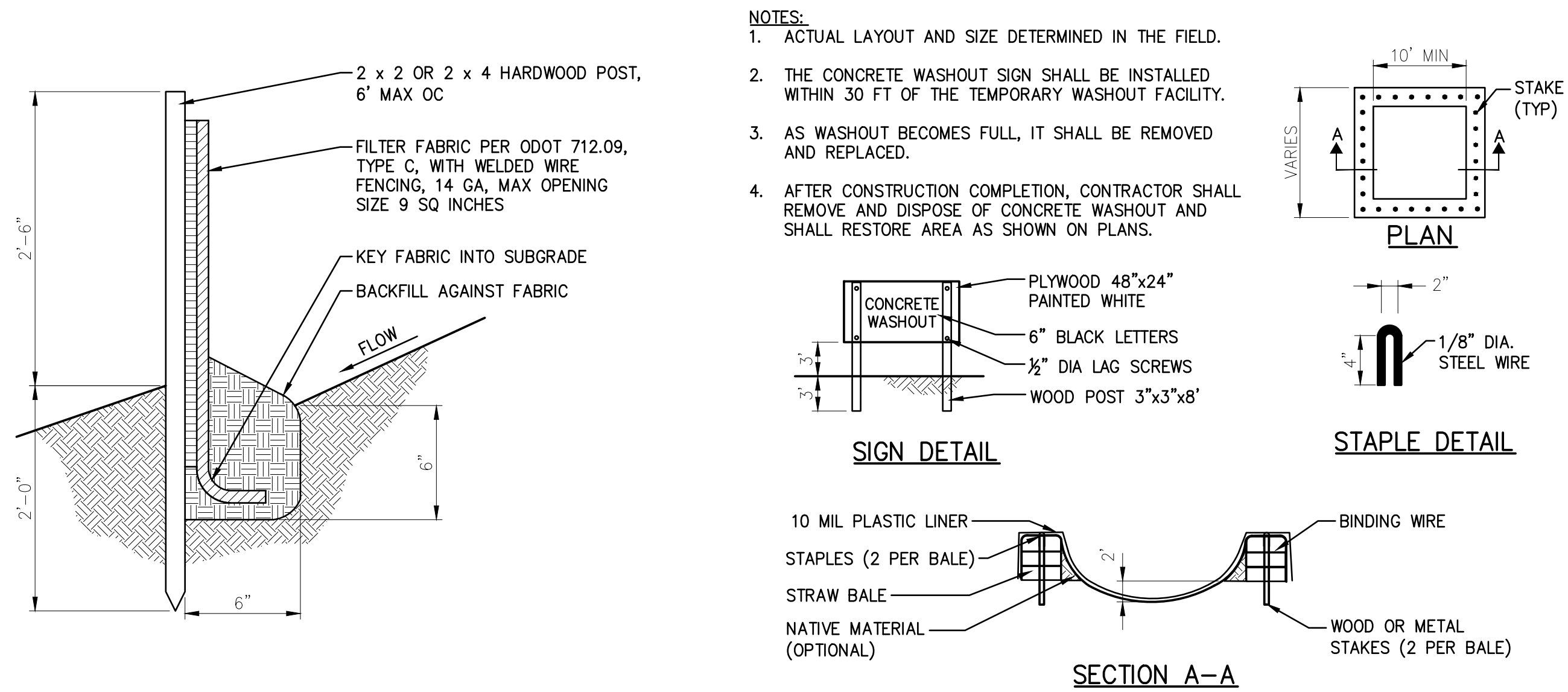
PROJECT NO.: 15-00317-010  
DRAWN BY: RB  
CHECKED BY: ----  
DATE ISSUED: 2021/09/10

DETAILS

© FRIENDS OF THE ROMANIAN CULTURE GARDEN 15-00317-010 - 9/9/2021 11:27:13 AM



1 MEMORIAL FOOTING  
12 NOT TO SCALE



2 SILT FENCE DETAIL  
12 NOT TO SCALE

3 CONCRETE WASHOUT STATION DETAIL  
12 NOT TO SCALE

NOT FOR CONSTRUCTION

ROMANIAN CULTURAL  
GARDEN  
FRIENDS OF THE ROMANIAN  
CULTURAL GARDEN

DATE: \_\_\_\_\_

REVISIONS		
Δ	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROJECT NO.: 15-00317-010  
DRAWN BY: RB  
CHECKED BY: ----  
DATE ISSUED: 2021/09/10





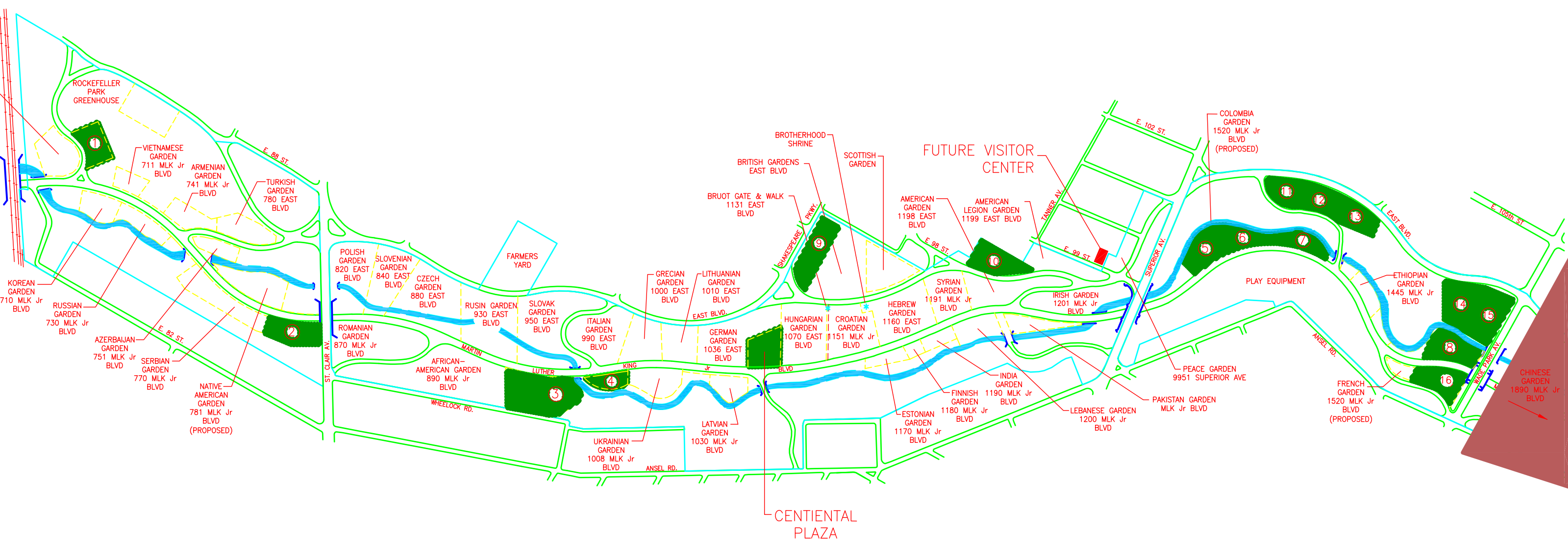
**Case 18-067:** Cleveland Cultural Gardens (Approved 11/8/2018)

**Lebanese Garden 1190 Martin Luther King, Jr. Drive**

Phase 2 Improvements

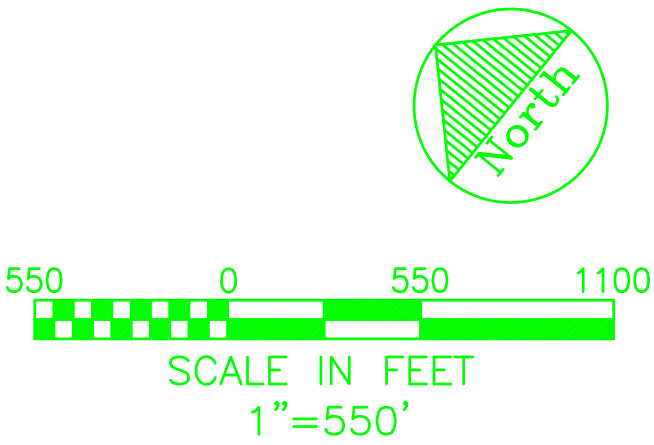
Ward 9: Conwell

Project Representatives: Pierre Bejjani, Lebanese Garden; Berj Shakarian; Lori Ashyk, Cleveland Cultural Gardens Federation

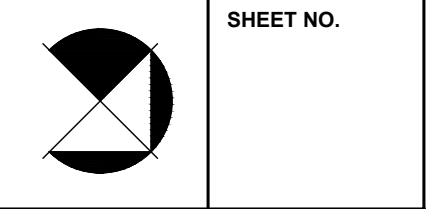


# CLEVELAND CULTURAL GARDENS

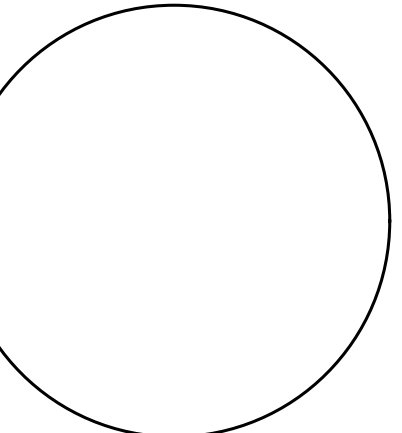
JULY, 2021









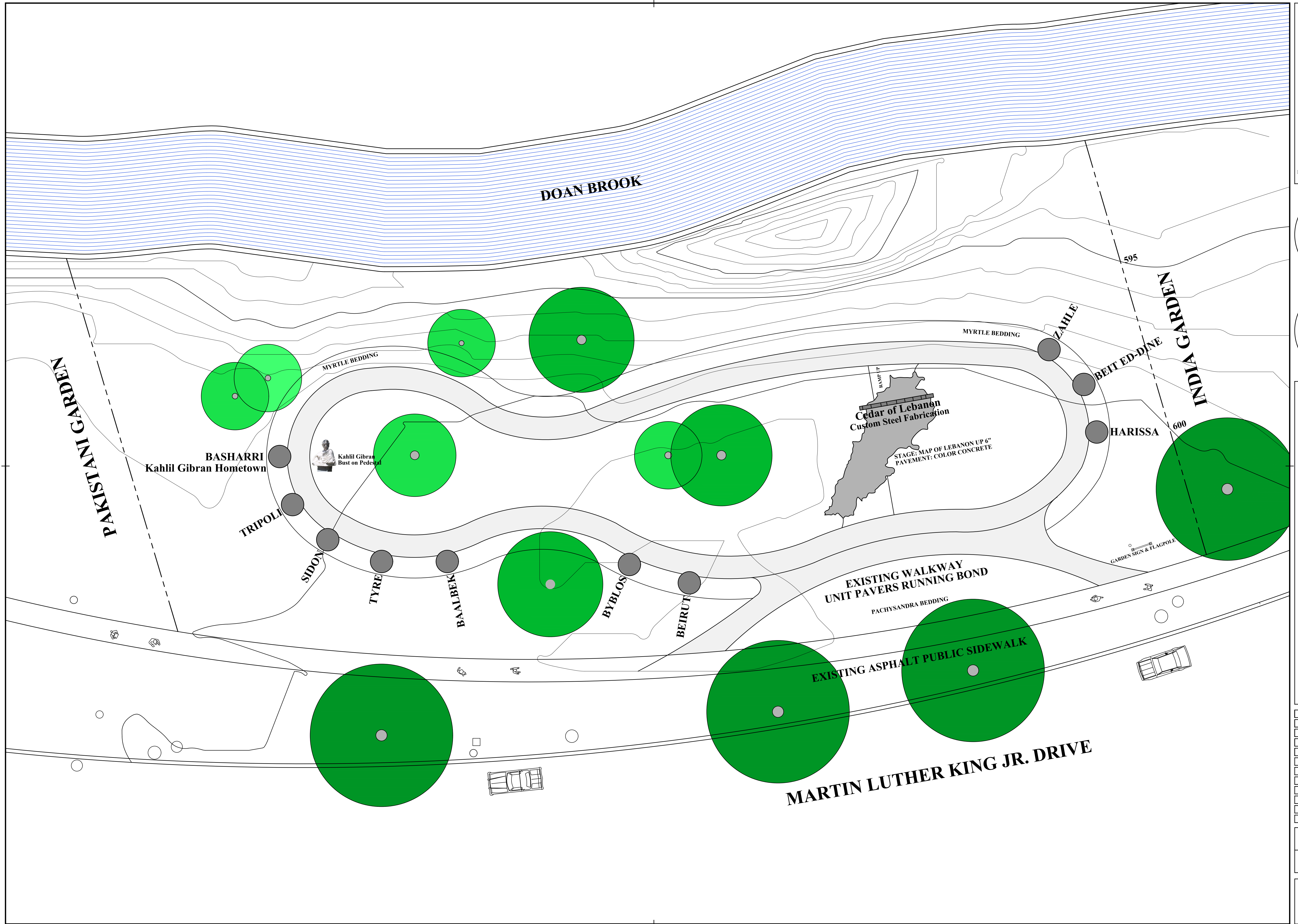


**ROCKEFELLER PARK**  
**LEBANESE CULTURAL GARDEN**  
1190 MARTIN LUTHER KING JR. DRIVE, CLEVELAND - OHIO 44108

## SITE PLAN NEW CONDITIONS - PH. 2

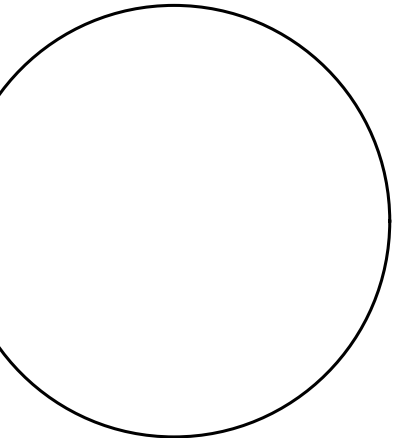
[illegible]

RAWN berj	SCALE 3/32" = 1'-0"
DATE 01/28/2022	PROJECT NO.









**ROCKEFELLER PARK**  
**LEBANESE CULTURAL GARDEN**  
1190 MARTIN LUTHER KING, JR. DRIVE, CLEVELAND - OHIO 44108

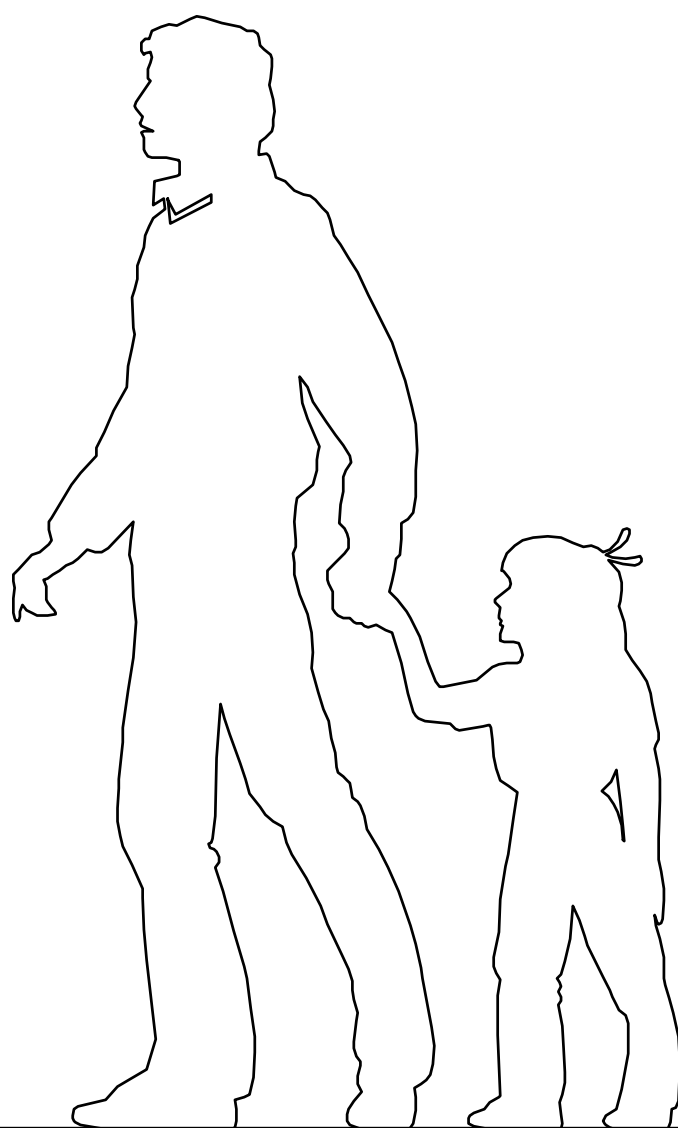
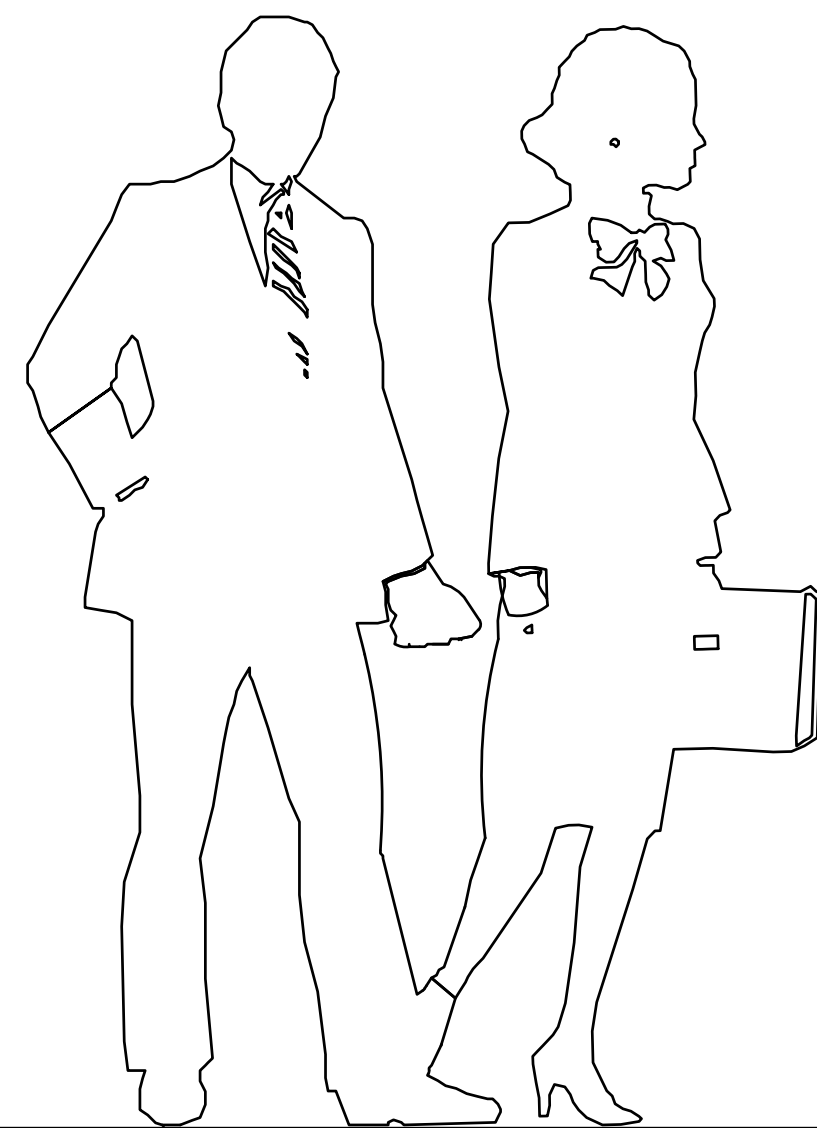
---

**CUSTOM STEEL FABRICATION**  
**CEDAR OF LEBANON - 20' H. x 20' W.**

[illegible]

RAWN berj	SCALE 1" = 1'-0"
DATE 01/28/2022	PROJECT NO.

	SHEET NO.
--	-----------







# THE CLEVELAND CULTURAL GARDENS FEDERATION

*First Garden Dedicated in 1910*

## EXECUTIVE BOARD

### PRESIDENT

Wael Khoury, MD

### PAST PRESIDENTS

Sheila Crawford

Paul Burik

### VICE PRESIDENTS

Mehmet Gencer

Thomas Turkaly

Svetlana Stolyrova

### TREASURER

Samy Tanious

### MEMBERS

Connie Adams

Pierre Bejjani

Aklilu Demessie

Carl Ewing

Qaisra Haider

Dan Hanson

Debbie Hanson

Dozia Krislaty

Lex Machaskee

George Terbrack

### EXECUTIVE SECRETARY

Paul Burik

### RECORDING SECRETARY

Paula Tilisky

Executive Director

Lori Ashyk

OWD Producer

Johnny Wu

Mr. Don Petit

Cleveland Landmarks Commission

601 Lakeside Ave. #519

Cleveland, OH 44114

Landmarks Commission:

Feb. 28, 2022

The Cleveland Cultural Gardens Federation's executive board on Jan. 24 approved the conceptual design for the Lebanese Cultural Garden. This followed approval by the Federation's Design and Preservation Committee on Feb. 7.

We are encouraged by the progress of the Lebanese Garden and look forward to completion of its construction.

Sincerely,

Lori Ashyk

Executive Director

Wael Khoury, MD

President

Cleveland Cultural Gardens Federation

AFRICAN AMERICAN \* AMERICAN \* PEACE GARDEN OF THE NATIONS \* ALBANIAN \* ARMENIAN \* AZERBAIJANI \* BRITISH  
CHINESE \* COLOMBIAN \* CROATIAN \* CZECH \* EGYPTIAN \* ESTONIAN \* ETHIOPIAN \* FINNISH \* FRENCH \* GERMAN  
GREEK \* HEBREW \* HUNGARIAN \* INDIAN \* IRISH \* ITALIAN \* KOREAN \* LATVIAN \* LEBANESE \* LITHUANIAN \* NATIVE-  
AMERICAN \* PAKISTANI \* POLISH \* ROMANIAN \* RUSSIAN \* SCOTTISH \* SERBIAN \* SLOVAK \* SLOVENIAN  
SYRIAN \* TURKISH \* UKRAINIAN \* VIETNAMESE

# Cleveland Landmarks Commission

## Concept Plan

---



March 10, 2022



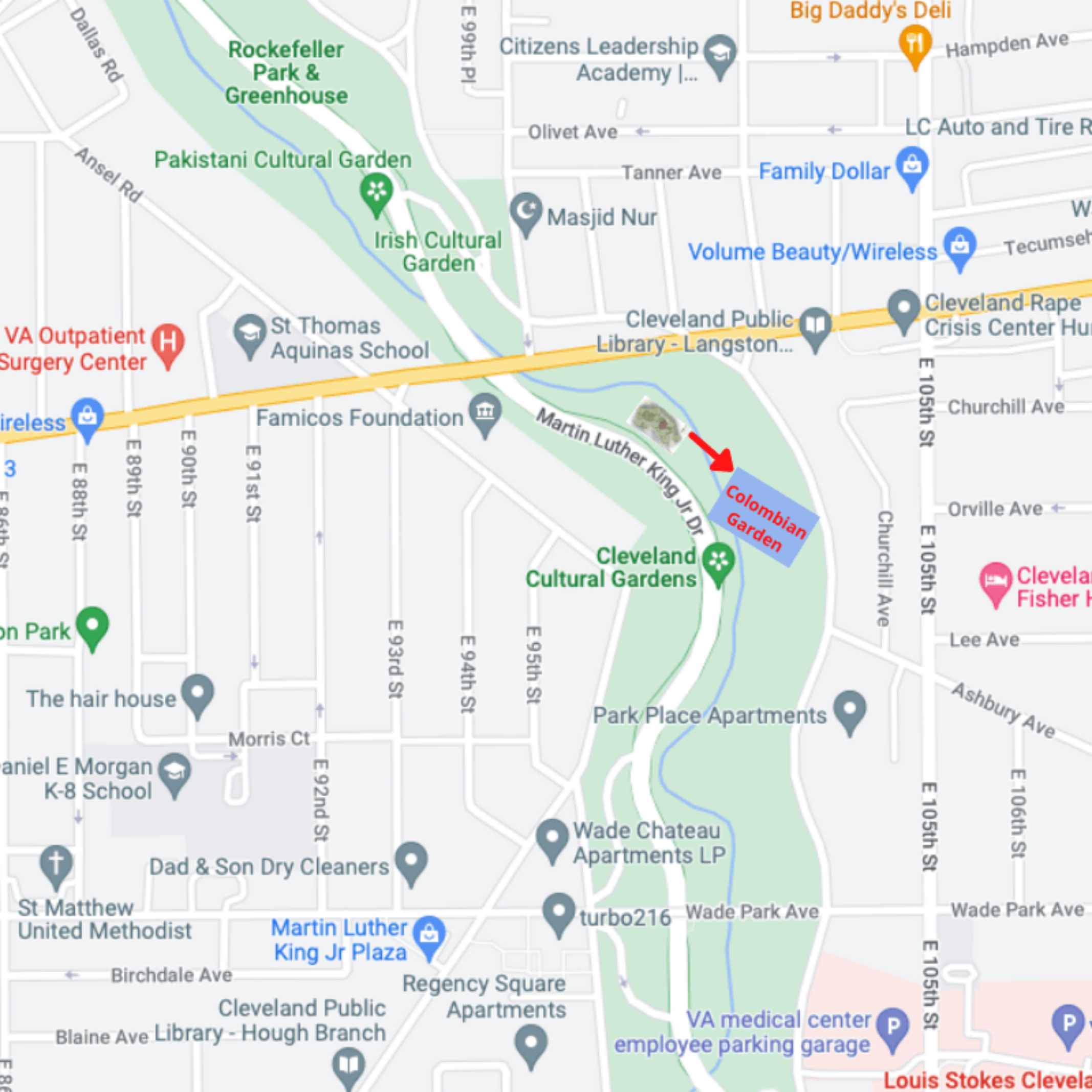


**Case 22-025: Cleveland Cultural Gardens**  
**Colombian Garden, Martin Luther King, Jr. Drive**

New Garden Plan

Ward 9: Conwell

Project Representatives: Bill Gruber, Ivan Cerquera, Colombian Garden; Tom Zarfoss, Behnke & Associates; Lori Ashyk, Cleveland Cultural Gardens Federation







# One World Day

Cleveland Cultural Gardens Federation



## #41 Colombian Garden

**Parade Route**

**Stops**

**Shuttle Route**

**Roadblocks**

**Gardens w/ Activities**

**Beer Garden**

**Kiosk / Main Stage**

**Information Center**

**Shuttle Buses Pickup/  
Drop-off to #35**

**Hard Roadblocks**

**Children Village**

**Market Place**  
*in addition to what's in the gardens*

### List of Gardens (Clockwise from Kiosk) \*Proposed Gardens

2 Latvian	12 Azerbaijani	22 Lithuanian	32 Irish
3 Ukrainian	13 Turkish	23 German	33 Peace Garden of the Nations
4 African-American	14 Native American*	24 Hungarian	34 Ethiopian
5 Romanian	15 Polish	25 British	35 To Chinese Garden
6 Serbian	16 Slovenian	26 Croatian	36 Lebanese
7 Russian	17 Czech	27 Scottish*	37 India
8 Korean*	18 Rusin	28 Hebrew	38 Finnish
9 Albanian	19 Slovak	29 Syrian	39 Estonian
10 Vietnamese*	20 Italian	30 American	40 Pakistani*
11 Armenian	21 Greek	31 American Legion Peace - States	41 Colombian*
			42 Uzbekistan*
			43 Mexico*
			44 French*
			45 Egyptian*

*Stop locations:*  
41 Colombian\*  
42 Uzbekistan\*  
43 Mexico\*  
44 French\*  
45 Egyptian\*



# COLOMBIAN GARDEN

CONCEPT PLAN - 12.2021

BEHNKE LANDSCAPE ARCHITECTURE





# **Colombian Cultural Garden**

Concept Master Plan

12/2021

## **Guide to the Plan**

1. **Garden Entry**
2. **Plaza**
3. **Shelter**
4. **Seating Walls**
5. **The Islands Area**
6. **Exploration Trail**
7. **Coffee Display**
8. **Highlands**
9. **Llanos (Grass Lands)**
10. **Rain Forest**

# Colombian Cultural Garden

## Concept Master Plan Narrative

12/2021

The Colombian Cultural Garden will express the cultural, biological, and economic diversity of Colombia in a beautiful, garden setting. As the second most biologically diverse country on earth, the garden is a platform on which these stories can be told.

The unifying thematic concept of the garden is the physiography of Colombia – the Islands (Atlantic and Pacific), Coastal Lowlands, Highlands - Andes, Llanos (grass lands), and Rain Forest (Amazon Basin). Visitors can move through all these areas traveling on the Exploration Trail and learn about the unique features of each.

The center of the garden is Plaza Colombia del Pueblo. It is a unifying cultural symbol of the village (“pueblo”) center, the gathering place for every community throughout Colombia. The Plaza welcomes visitors and serves as an events space. The Plaza will be a combination of brick and concrete and will include a map of Colombia in the center. The adjacent traditional structure, in addition to offering shelter, serves as a stage, and provides access to a wealth of information. The Plaza is surrounded by a seat wall. There will be an entry portal which may be an art project or a traditional architectural element.

The shelter is open, except for end walls and vertical ‘story boards’, both of which will contain interpretive materials. One of the many challenges in the design of the garden is how to present the modern Colombia as well as the traditional and historic. The ‘story boards’ in the shelter and the QR code information sources can tell visitors about the past and present of Colombia.

Plaza Colombia is Phase 1 of the garden. It will likely include subphases since the construction budget for the plaza, shelter and immediate surroundings approaches \$400,000.

The design is intended to be low maintenance. The only high maintenance area is the annual ‘garden’ at the entrance.

Future phases will be accessed using the ‘Exploration Trail’ which will be constructed of colored, stamped concrete and will allow visitors to experience the geography of Colombia.

- The islands area will include a fire pit, seating, and picnic tables. Each feature will be its own ‘island’.
- The highlands will include boulders and plantings mimicking mountain conditions.
- The llanos, or grasslands, will be a field of native grasses.
- The rain forest will include tree plantings to provide an overhead vegetative canopy and understory plantings reminiscent of rain forest understory.

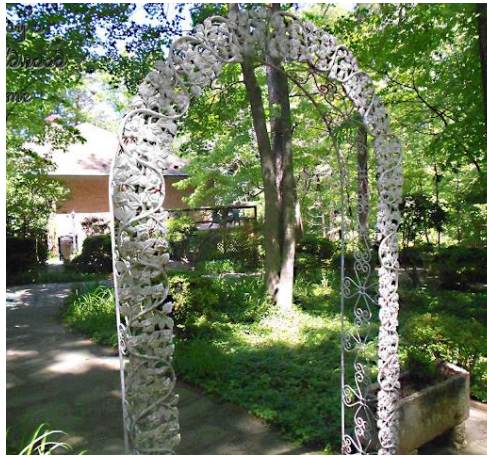
There will also be a ‘story board’ to interpret each physiographic region. Additionally, there will be seating and the possibility of sculptural elements consistent with Colombian artistic traditions and the environment they will be placed in.

Everything in the garden will be handicapped accessible. There are no steps or excessive grade changes.



## Colombian Garden Images

1. **Garden Entry** – Connect the existing asphalt walking path to the Plaza. Path material will be stamped, colored concrete. The landscaped island contains the entry sign, flagpole, and colorful plantings, including annuals, which is typical for many of the existing gardens. The entry portal could be like the left photo below, with a wider opening and no door. The example to the right could become a larger and colorful art project, perhaps featuring orchids, the national flower of Colombia. This is the only area with significant annual/perennial plantings due to maintenance concerns.



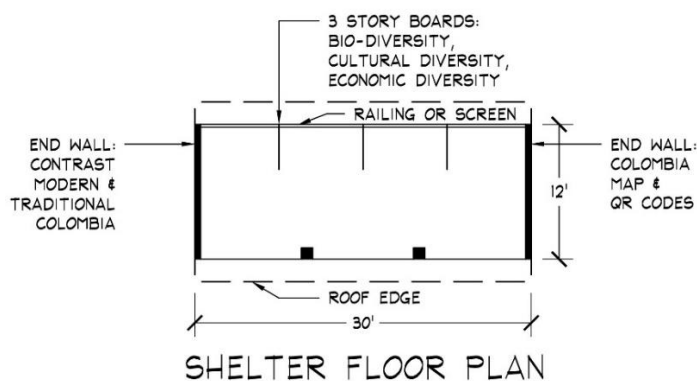
2. **Plaza** – Material possibilities that have been investigated include brick, rustic terrazzo, or stamped and colored concrete. Patterns could include a map of Colombia, orchids, national flag or seal, etc. A combination of brick and concrete, including a map of Colombia is preferred.







3. **Shelter** – Traditional architecture; colorful; tile roof; backside to be a colorful see-through screen, or railing. It serves as an orientation and information hub. The end walls contain a country map and QR codes, etc. A series of ‘story boards’ provide additional platforms on which to tell visitors about Colombia.







4. **Seating Walls** – Material options include concrete with colorful tiles or colored concrete. Seats without backs are preferred.



5. **The Islands Area** – Picnic tables; possible fire pit; spillover area for larger events. ADA access. Picnic tables could be more traditional.



6. **Exploration Trail** – Material to be colored, stamped concrete. This is an excellent choice in terms of maintenance, sustainability, and accessibility.



7. **Coffee Display** – Could be a sculptural element, story board, or screen wall with graphics.



8. **Highlands** - Boulders to represent the Andes; places to sit; screen wall or storyboard to provide more information.



9. **Llanos (Grass Lands)** – Ornamental Grasses; minimal maintenance. Could include a screen wall or Story Board to provide more information.





10. **Rain Forest** – Screen wall could include an orchid display as well as typical rain forest flora and fauna. Add trees to create a canopy (difficult to create a rain forest environment). Include a bench which could be an art opportunity.



**EXISTING TREES:** A tree inventory plan depicting the trees to be removed (dead or very poor condition) and trees to be pruned (all the remaining trees) is attached. We believe the Holden Parks Trust will undertake the tree work next year as part of their Cultural Garden Timber Stand Improvement Program. The Concept Plan is laid out to allow the remaining trees to thrive.

**From:** l.ashyk@clevelandculturalgardens.org,  
**To:** gruberwl@aol.com,  
**Subject:** Re: Colombian Garden  
**Date:** Thu, Jan 27, 2022 7:50 am

---

Hi Bill,

There was a bit of a glitch with your approval in terms of Monday night's meeting. I had downloaded the design plans, but for some reason only the text appeared, not the image. So I couldn't share the entire design with the board. HOWEVER, we talked about it (the Design & Preservation Committee described it) and agreed that I would forward the designs that you had sent me via email and we would have an electronic vote.

So, finally, yesterday, via electronic vote, the concept plan for the Colombian Garden unanimously was approved. Congratulations!

The next step is to get on the Landmarks Commission agenda, which you can do by contacting Don Petit. His email should be on the Landmarks Commission web page. It goes to the planning commission after that, but that's usually when you are a bit further along, i.e., you have the construction plans ready and you want to start pulling permits.

No fees to get on these agendas as far as I know. There is an annual membership fee for the Cultural Gardens Federation (\$150) that we ask of all the Gardens.

Another note: now that the design plan has been approved, I will send a letter to Mike Cox at Public Works that this happened, and that we want to move forward with legislation to get your Garden's plot approved by ordinance. That will legally set your boundaries (according to what you had in your survey). You also will be assigned an address (good for GPS directions) as part of the legislation.

If you could email me a copy of your survey, that would be great.

Thanks,  
Lori

On 2022-01-26 12:50, [gruberwl@aol.com](mailto:gruberwl@aol.com) wrote:

> Lori,  
>  
> Was the Colombian Garden Concept Plan approved by the Federation  
> Board?  
>  
> And if so, what happens next to get it to Cleveland? Do we need to  
> contact someone in particular at the City to ask them to get it on the



> agenda of the Landmarks Commission? And does it also go to Planning  
> Commission after that?  
>  
> Is there a form we submit?  
>  
> Do we pay a fee?  
>  
> Thanks.  
>  
> Bill Gruber  
> 216--870-2429

# Cleveland Landmarks Commission

## Administrative Reports

---



March 10, 2022



# Cleveland Landmarks Commission

## Adjournment

---



March 10, 2022