



# **Cleveland Landmarks Commission**

**Thursday, February 10, 2022**

**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Julie Trott, Commission Chair  
Donald Petit, Secretary

# Cleveland Landmarks Commission

## Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

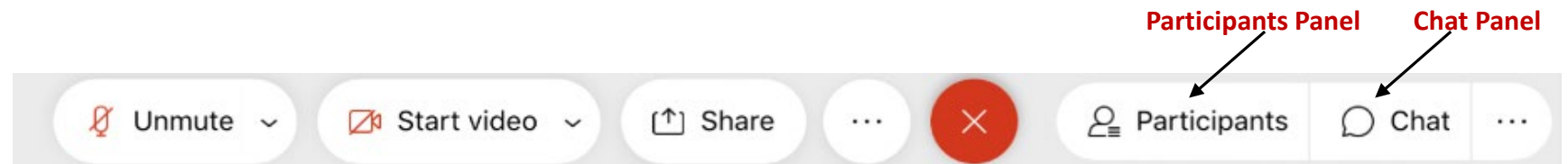
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING \*6



February 10, 2022



# Cleveland Landmarks Commission

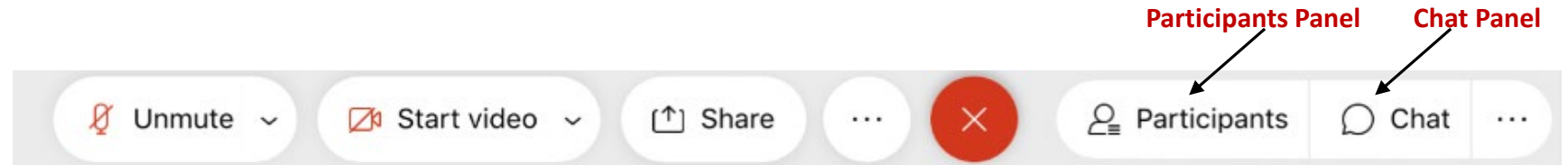
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## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.  
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL  
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN  
COMMENT ON A PARTICULAR MATTER.**



February 10, 2022

# Cleveland Landmarks Commission

## Call to Order & Roll Call

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February 10, 2022

# Cleveland Landmarks Commission

## Certificates of Appropriateness

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February 10, 2022



**Case 22-015:** Market Square Historic District

**Fries & Schuele Building Bar Cento 1948 West 25th Street**

Storefront Renovation

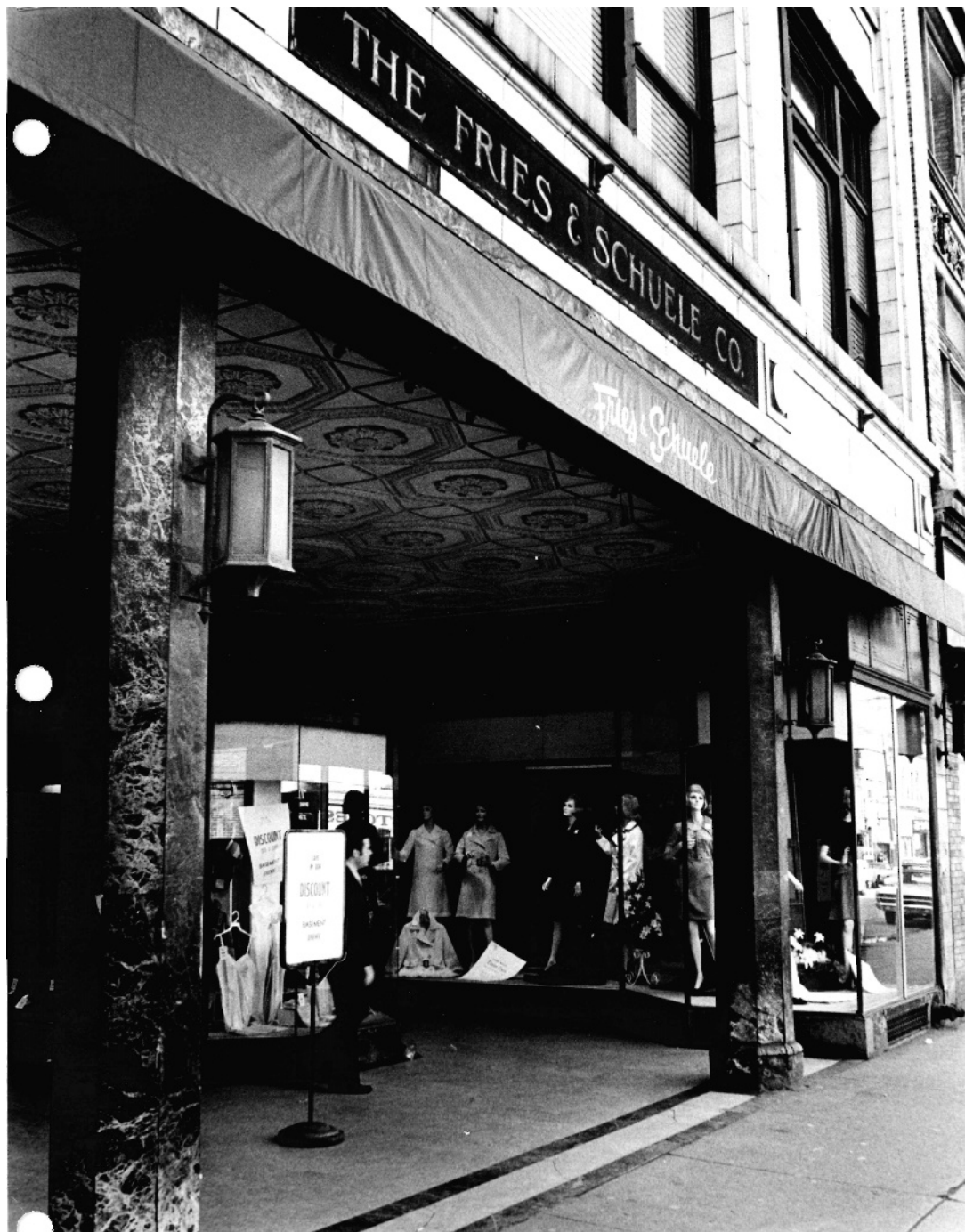
Ward 3: McCormack

Project Representatives: Magdalena Young, Dimit Architects; Sam McNulty, Bar Cento



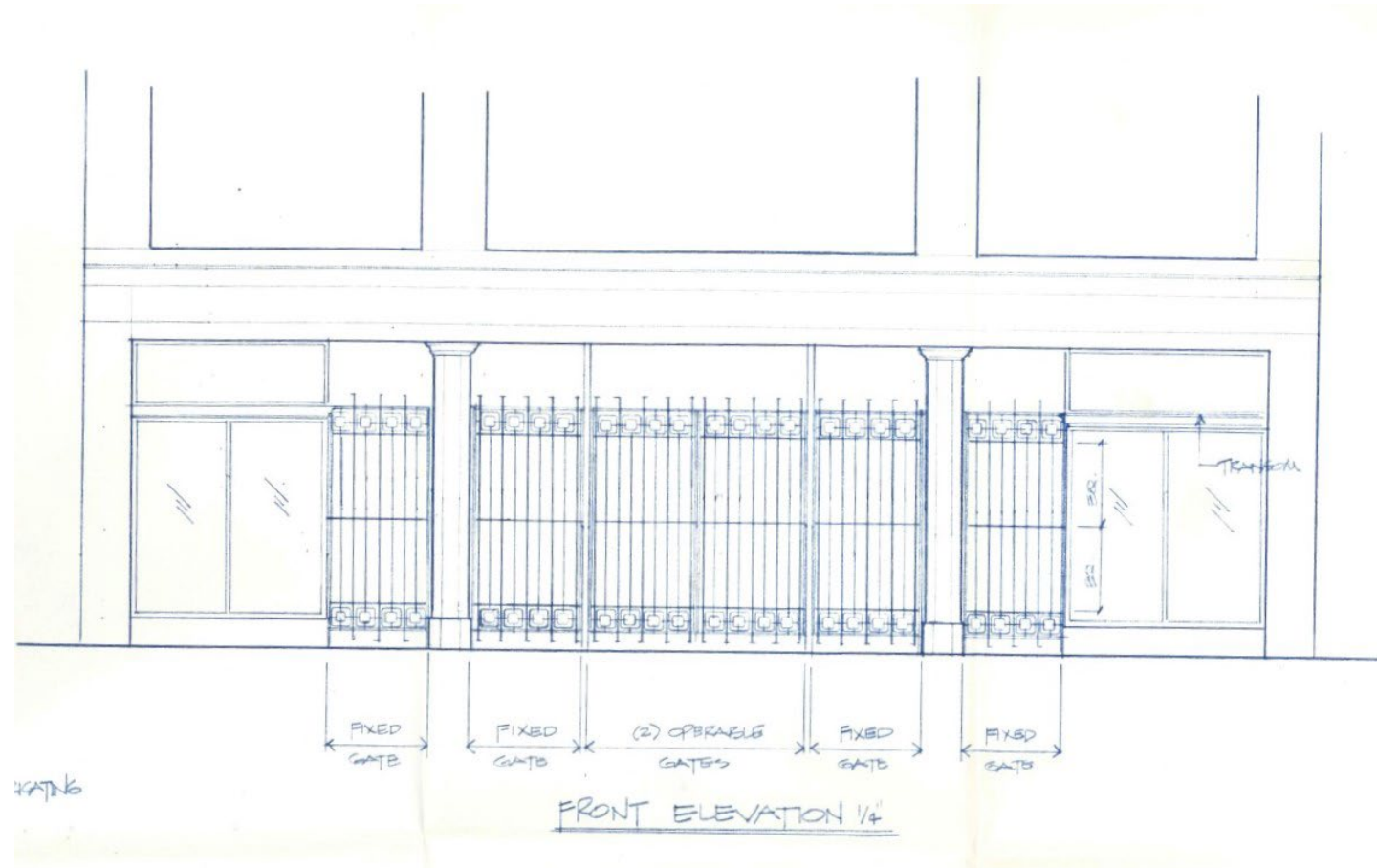
# Fries & Schuele Co. Building

A Brief History



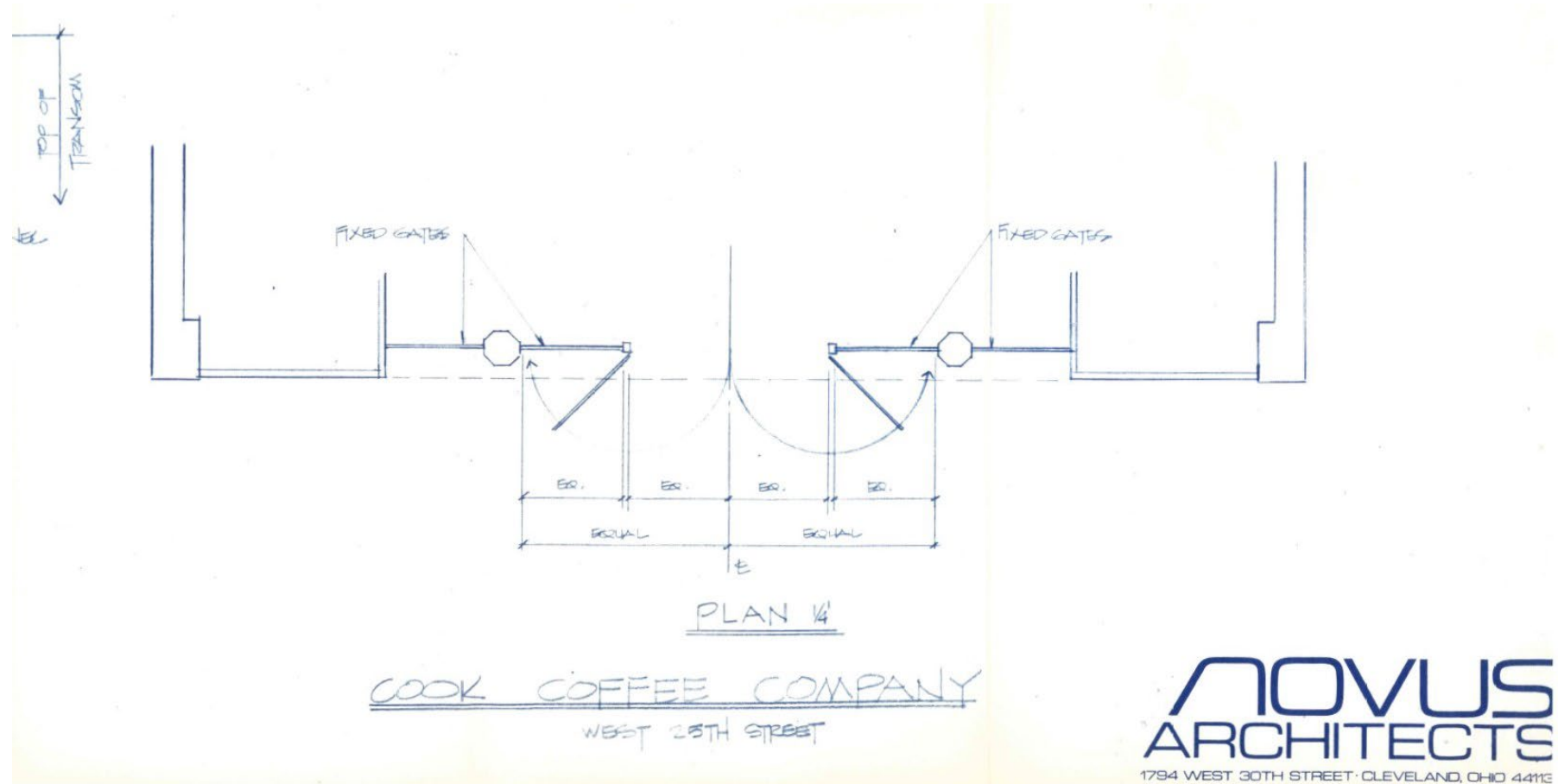


1985





1985





1987

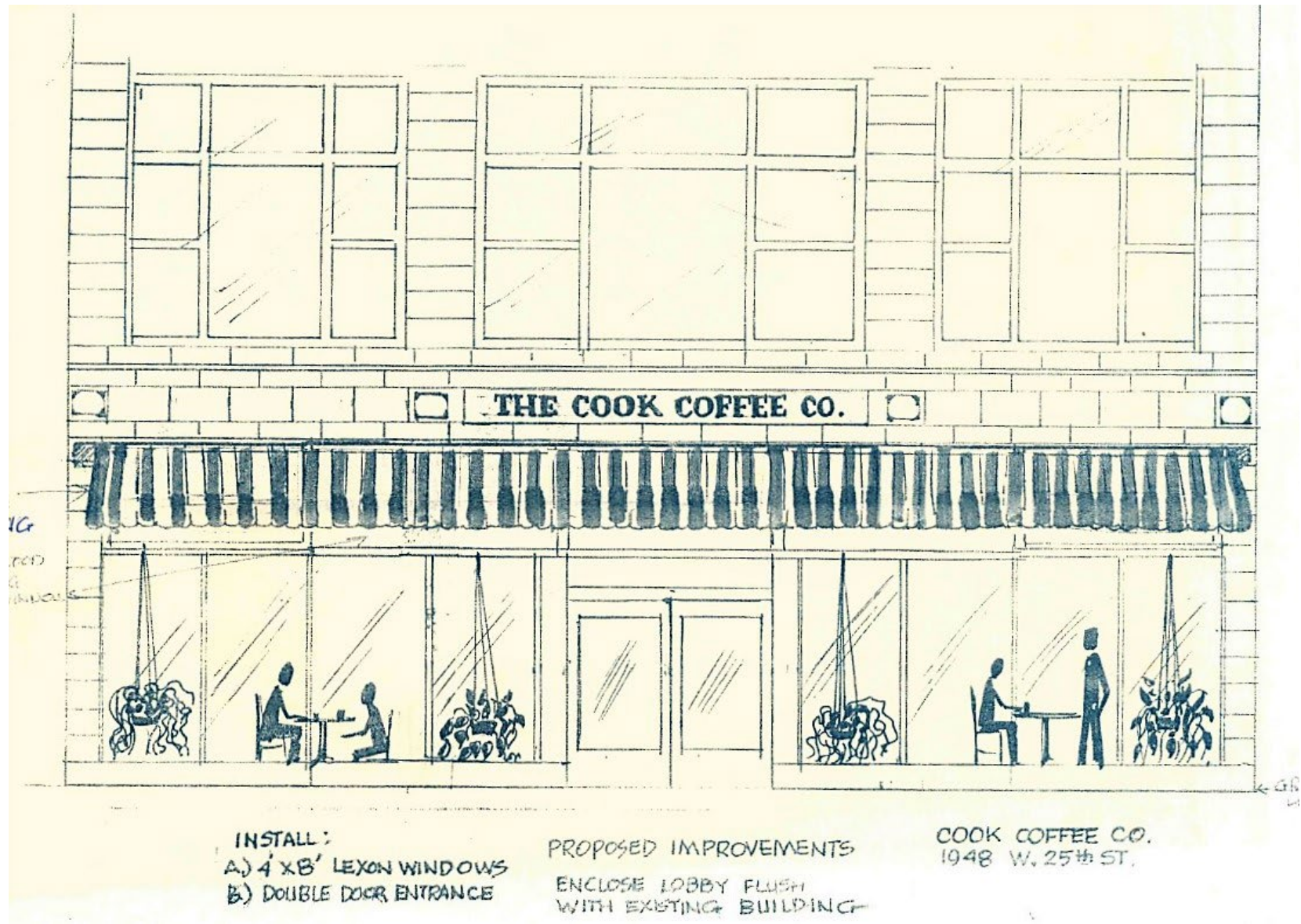


1987





1987

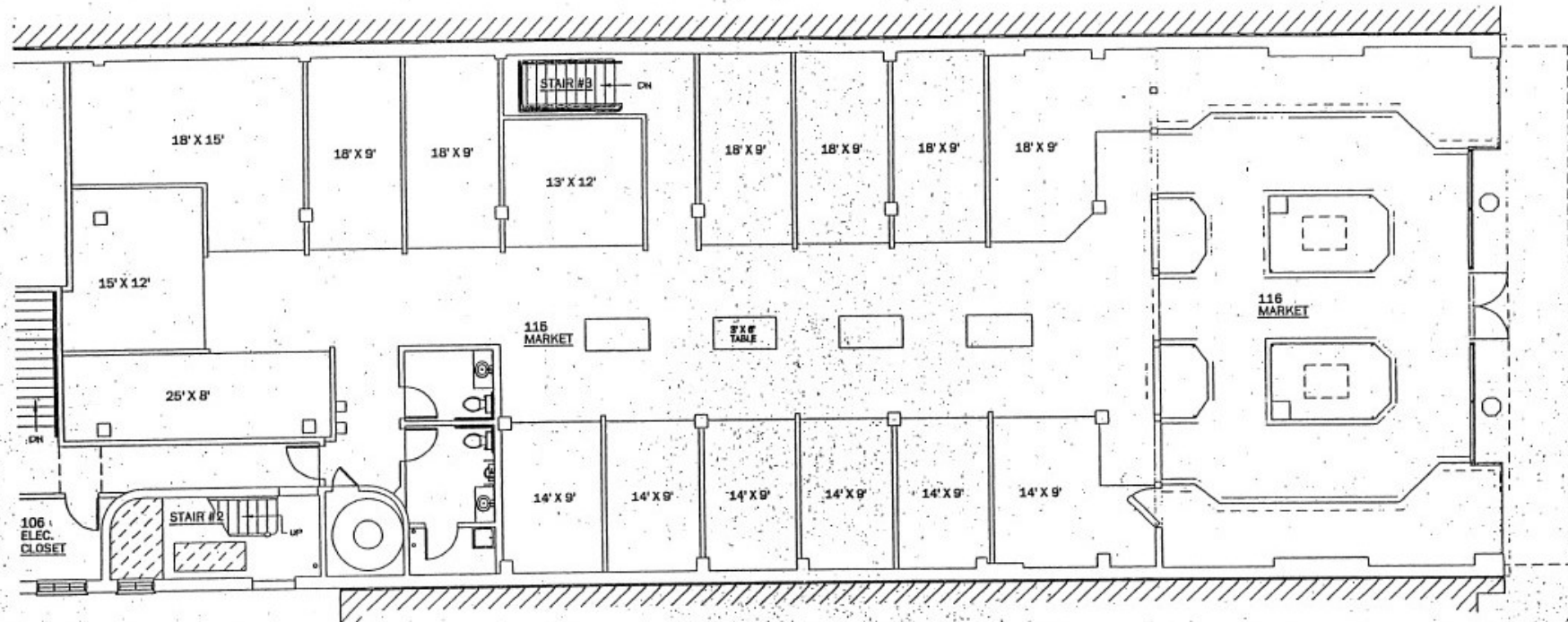








2001



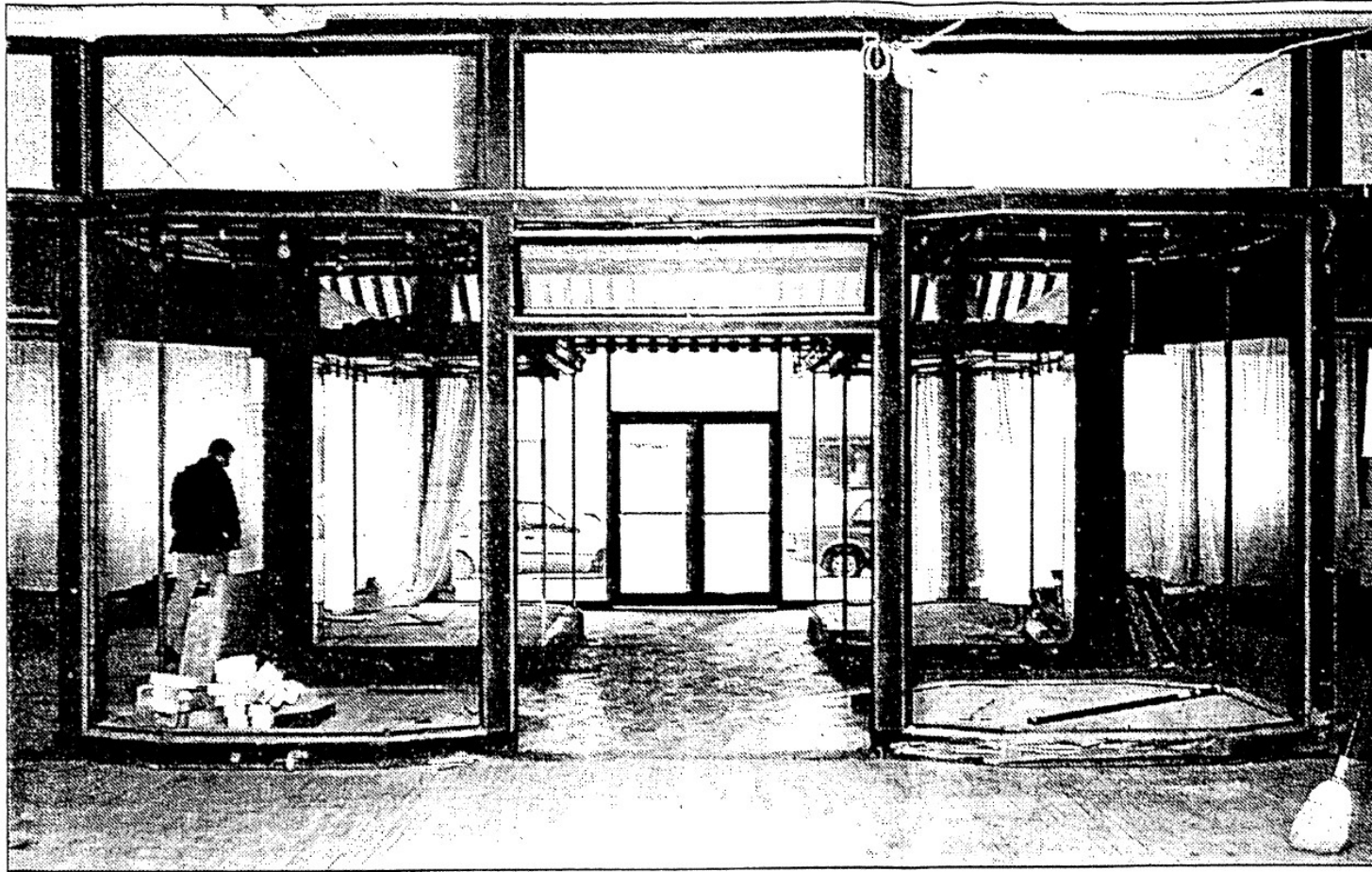
**SANDVICK ARCHITECTS**  
1265 WEST SIXTH STREET CLEVELAND, OHIO 44113  
PHONE: (216) 621-8055 FAX: (216) 687-1814

**FRIES & SCHUELE BLOCK**  
RETAIL LAYOUT PLAN  
FIRST FLOOR MERCANTILE STUDY  
SCALE: 1" = 10'-0" 10/09/01

JOB NO: 456

REFERENCE DWG: A-101





PHOTOGRAPHS BY JOHN KUNTZ | THE PLAIN DEALER

The first floor of the empty Fries & Schuele building on W. 25th St., with its freestanding display windows, will be converted into a food bazaar.



The first-floor's freestanding display windows in the foyer will be converted into a food market.















WEST 25th STREET ELEVATION  
SCALE: N.T.S.

# FRIES & SCHUELE

West 25th Street - Ohio City

## BLOCK

SA SANDVICK ARCHITECTS  
100 WEST 25TH STREET, SUITE 200, OHIO CITY, OHIO 44641  
TEL: 216.462.4400 FAX: 216.462.4401





9-16-2005





LOCATION MAP:



CONTEXT



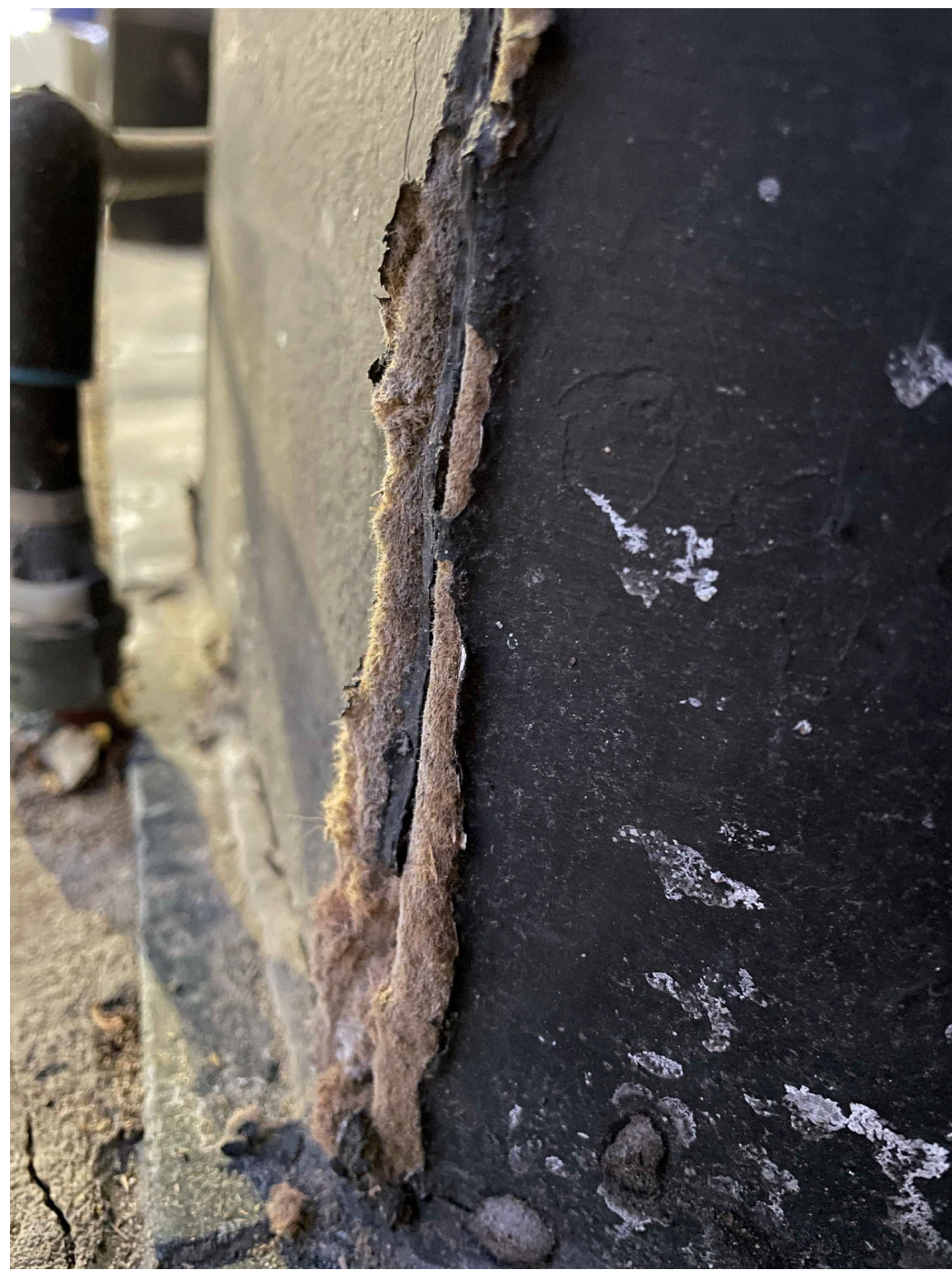
EXISTING:



1948 W 25th Renovation  
Cleveland, Ohio



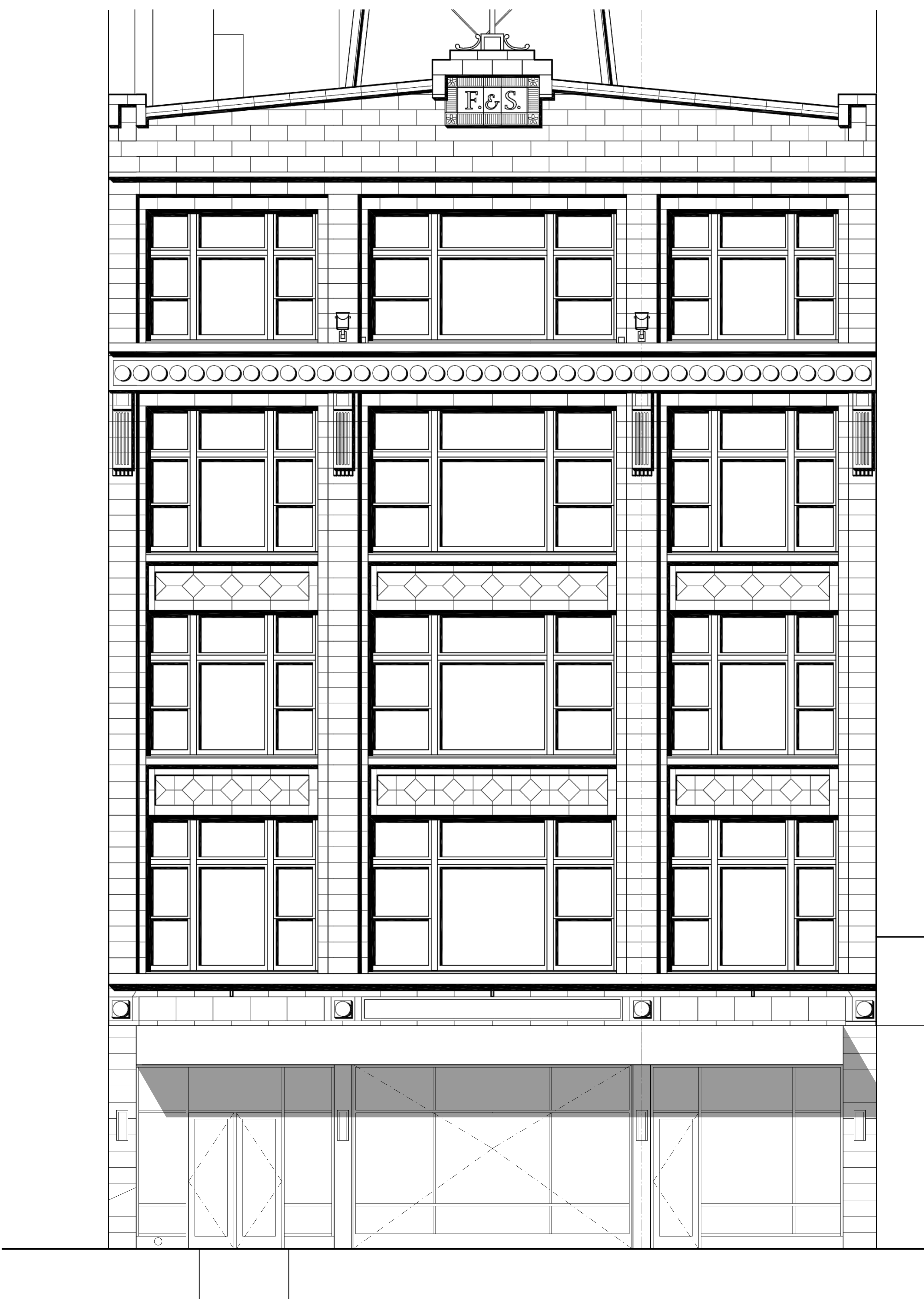
EXISTING:



DETERIORATION AT EXISTING COLUMN BASES





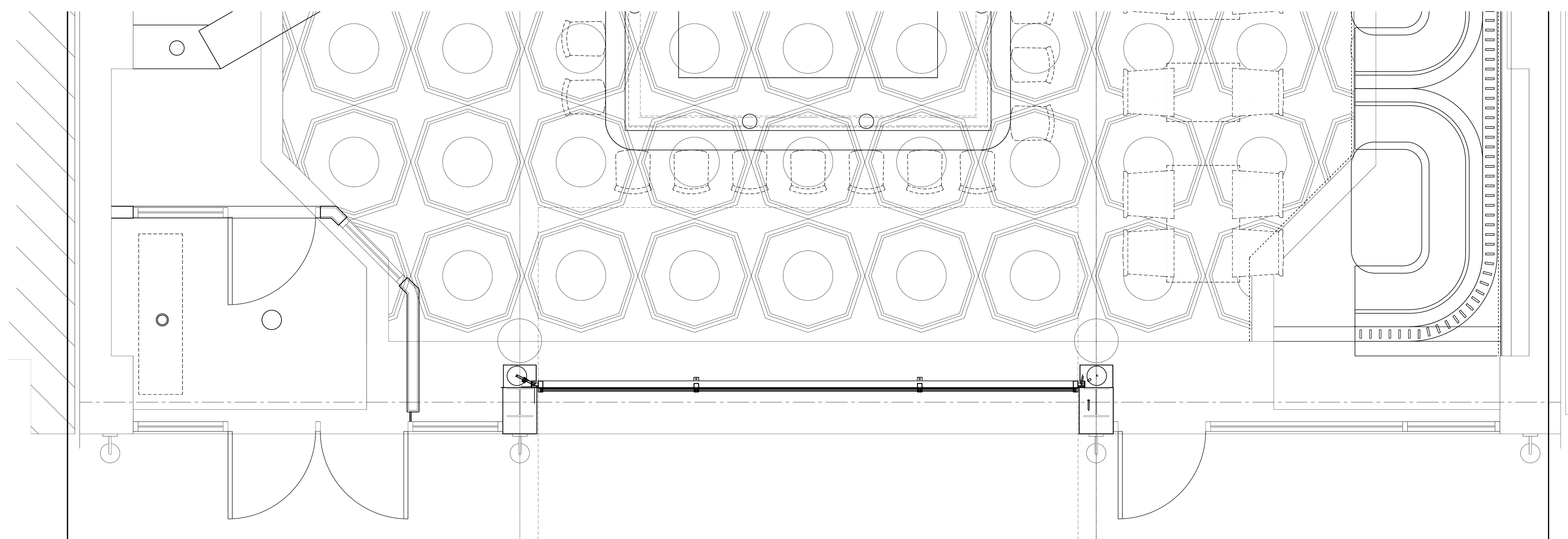


**1948 W 25th Renovation**  
Cleveland, Ohio

**Proposed Exterior Elevation**

**DIMIT**ARCHITECTS  
architecture + interiors + urban design





**1948 W 25th Renovation**  
Cleveland, Ohio

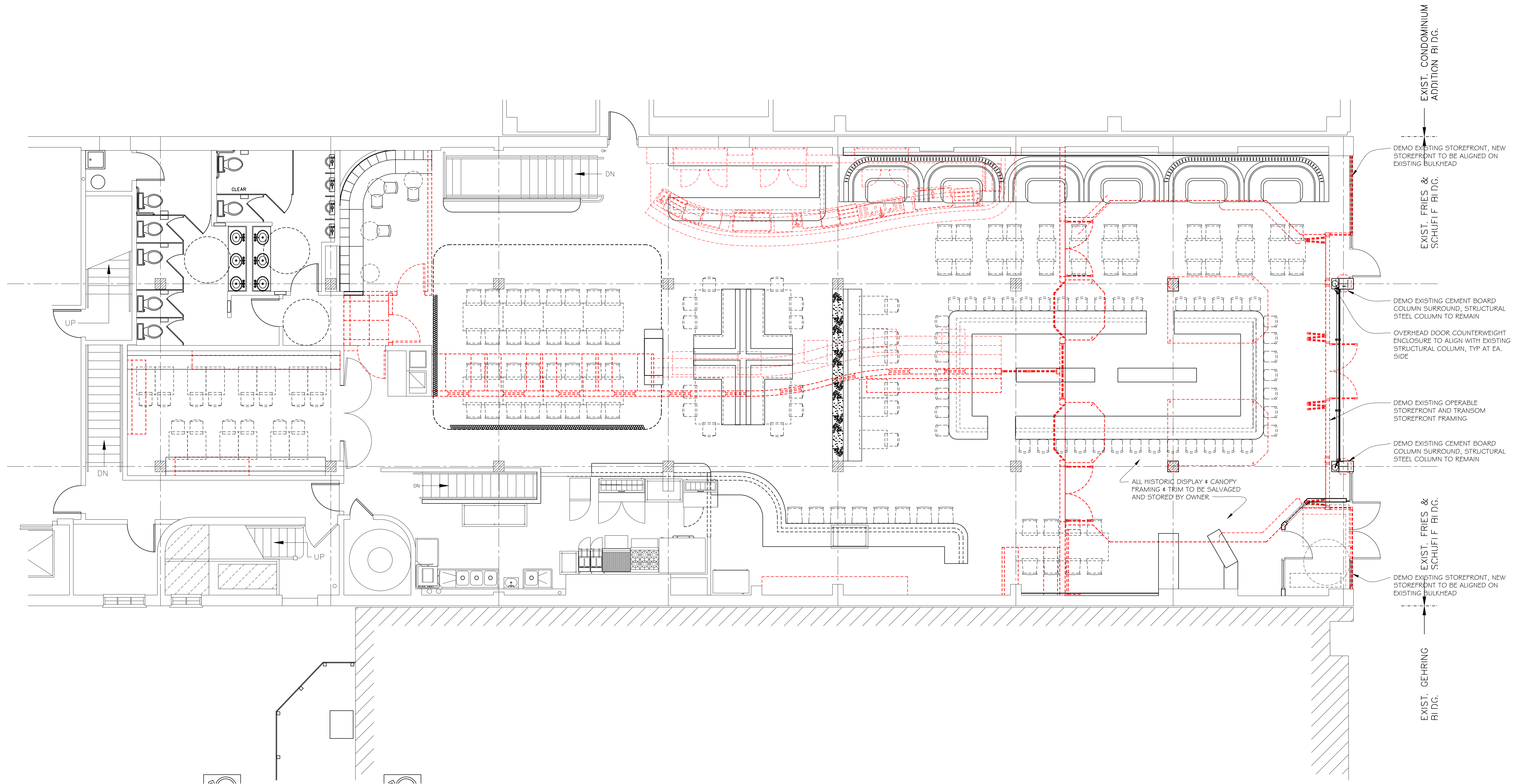
## Proposed Exterior Elevation

**DIMITARCHITECTS**  
architecture + interiors + urban design

0 2 6 12

January 27, 2022





**1948 W 25th Renovation**  
Cleveland, Ohio

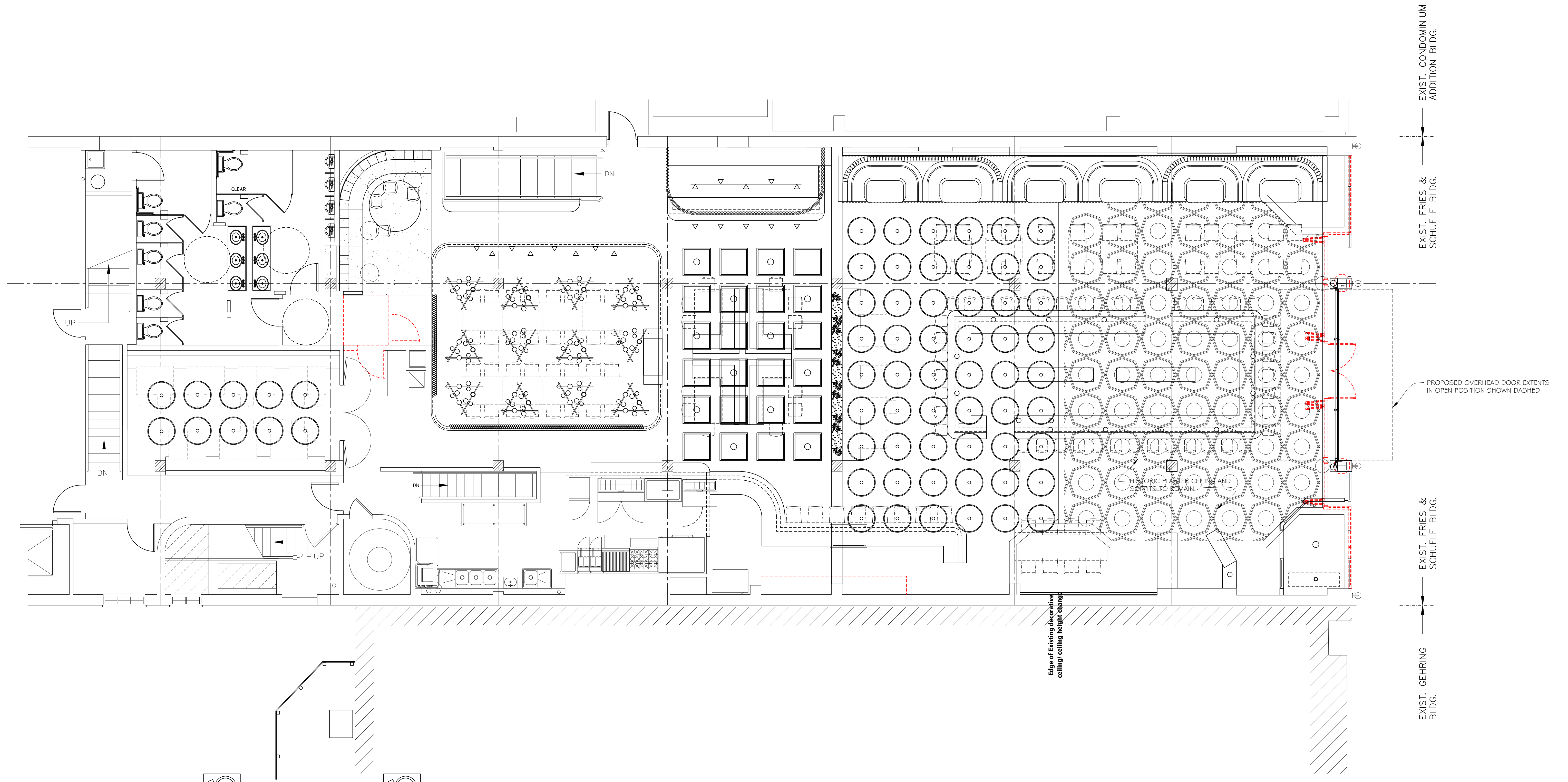
**Plan**

0 6 12 24 feet

**DIMITARCHITECTS**  
architecture + interiors + urban design

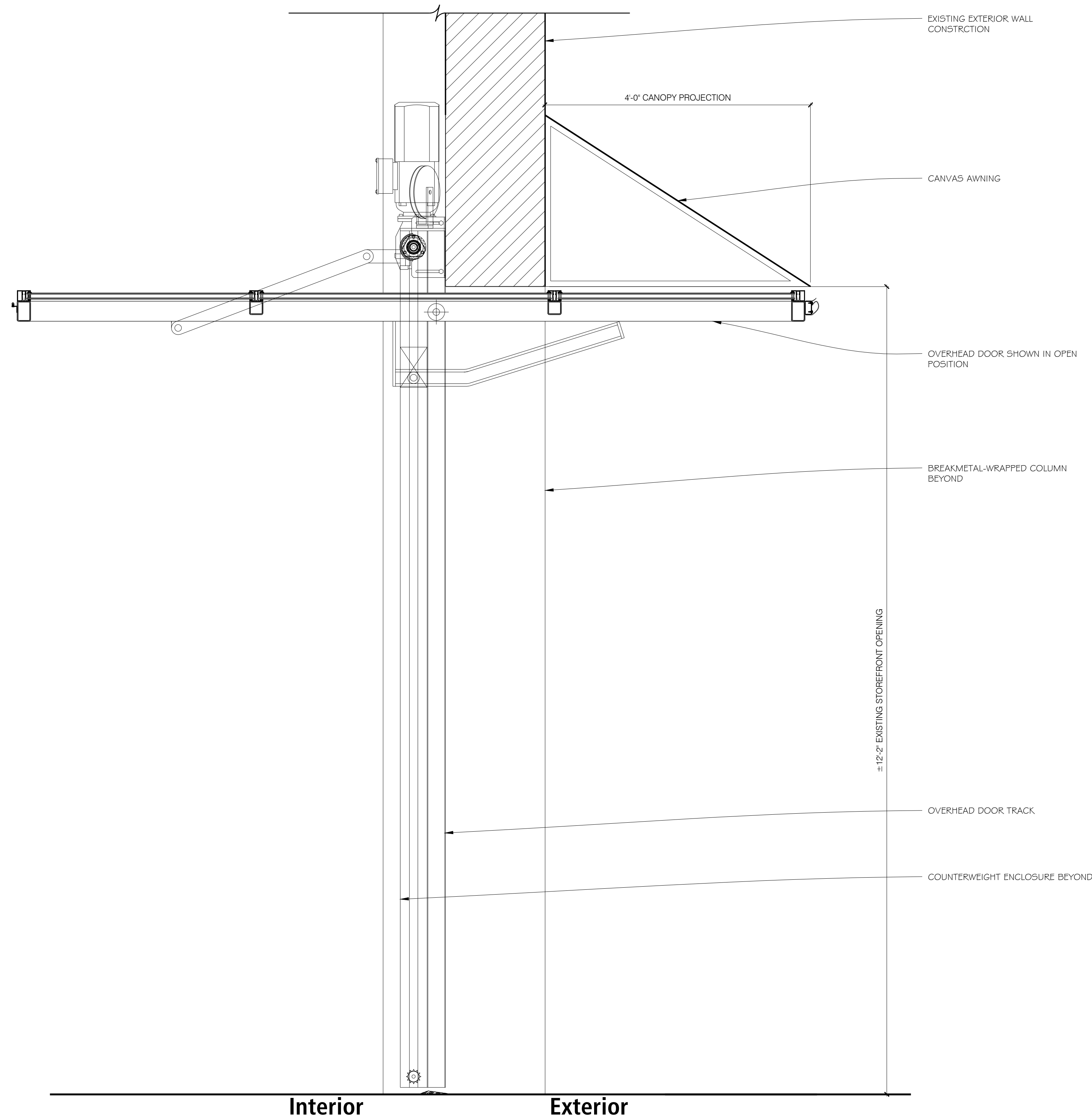
January 27, 2022





Reflected Ceiling Plan





Section at Overhead Door



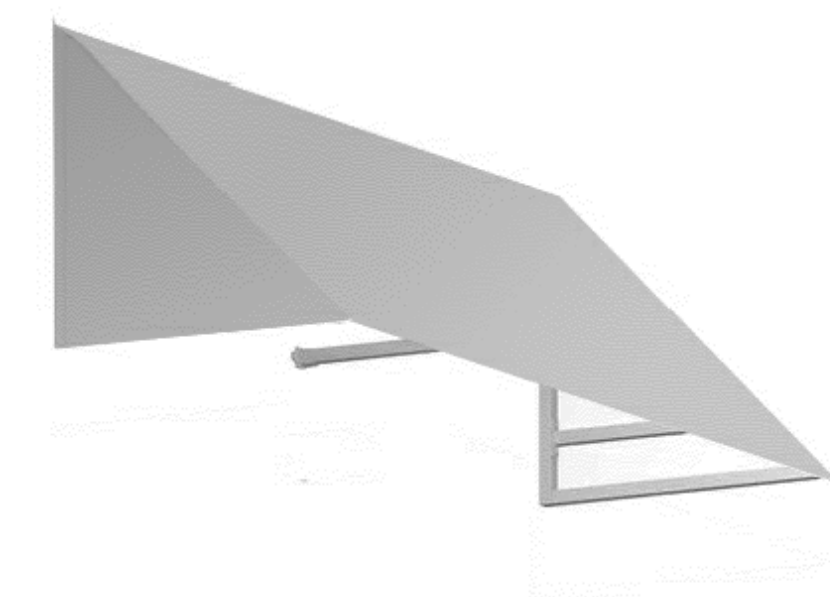
Aluminum Storefront

BLACK FRAME FINISH, BREAKMETAL TRIM TO MATCH  
CLEAR INSULATED GLAZING



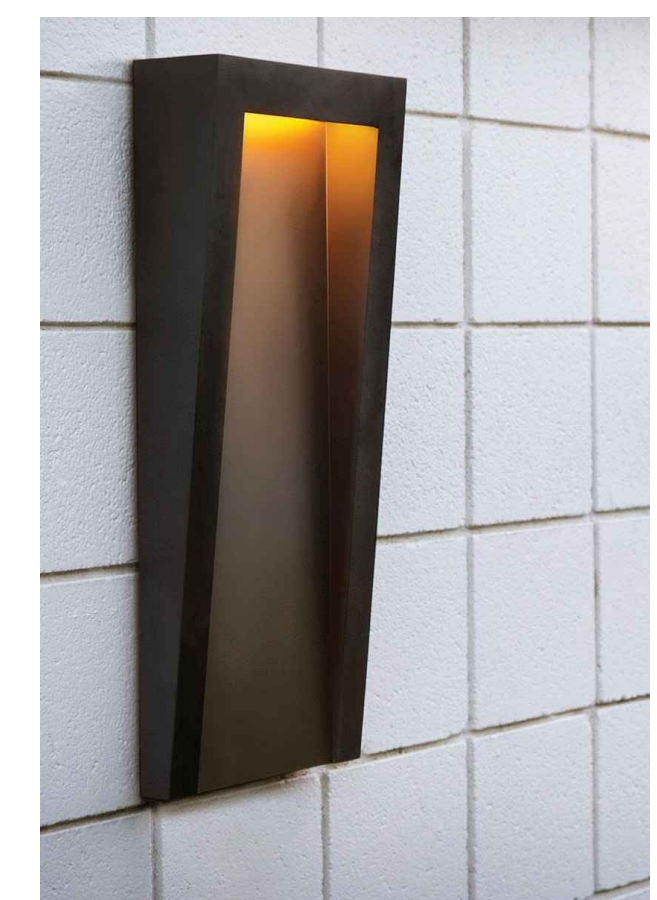
Overhead Door

BLACK FRAME FINISH, BREAKMETAL TRIM TO MATCH  
CLEAR INSULATED GLAZING



Canvas Awning

GREY CANVAS ON ALUMINUM FRAME



Exterior Lighting

BLACK FINISH, INDIRECT LIGHTING

## Materials



**Case 22-016:** Ohio City Historic District (Case 19-056 12/12/19)

**1714 Randall Road**

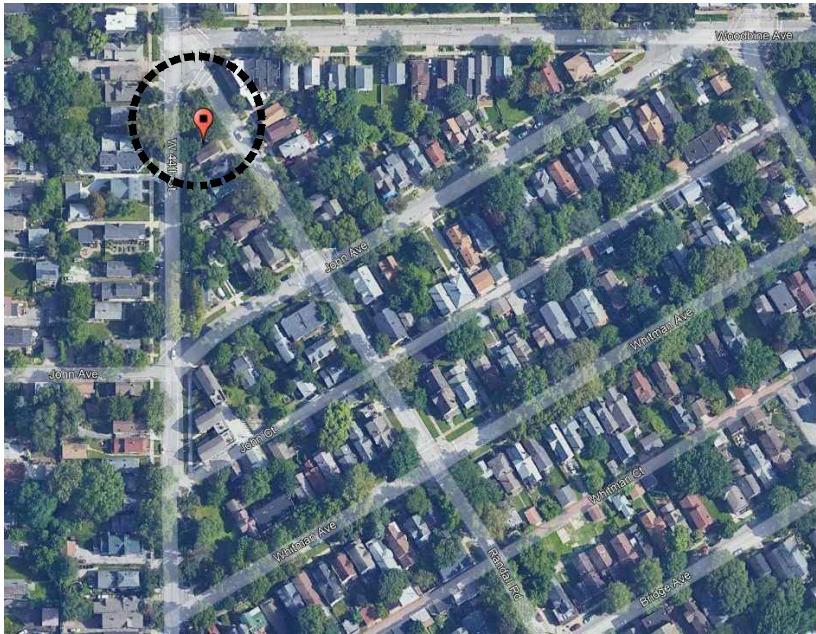
Addition

Ward 3: McCormack

Project Representatives: Susan Broadwater, Paul Beegan, Beegan Architectural Design;  
Steve Mott, Owner



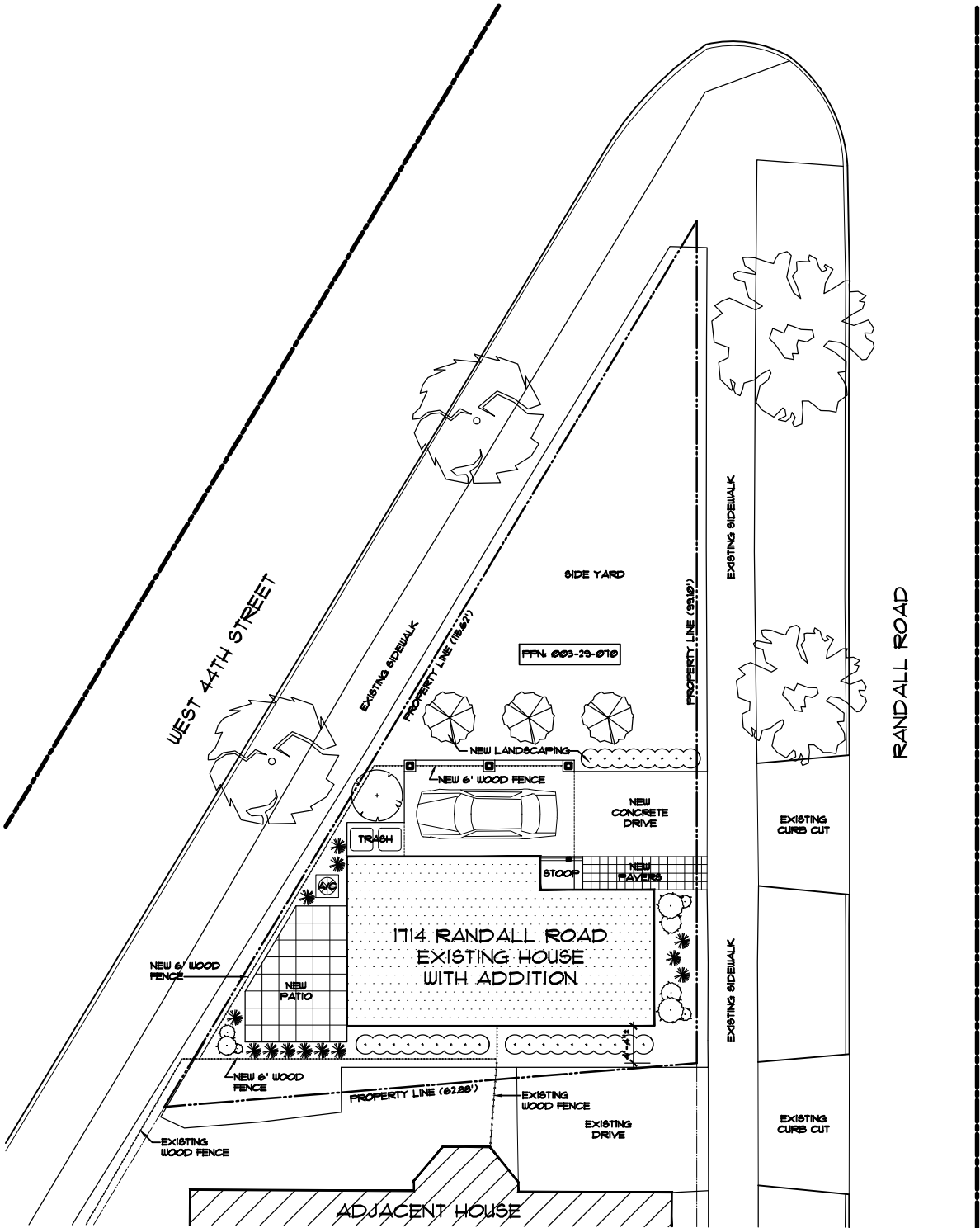
# 1714 RANDALL ROAD



SITE LOCATION MAP



EAST FACADE



ARCHITECTURAL SITE PLAN

1/8" = 1'-0"







SOUTH FACADE



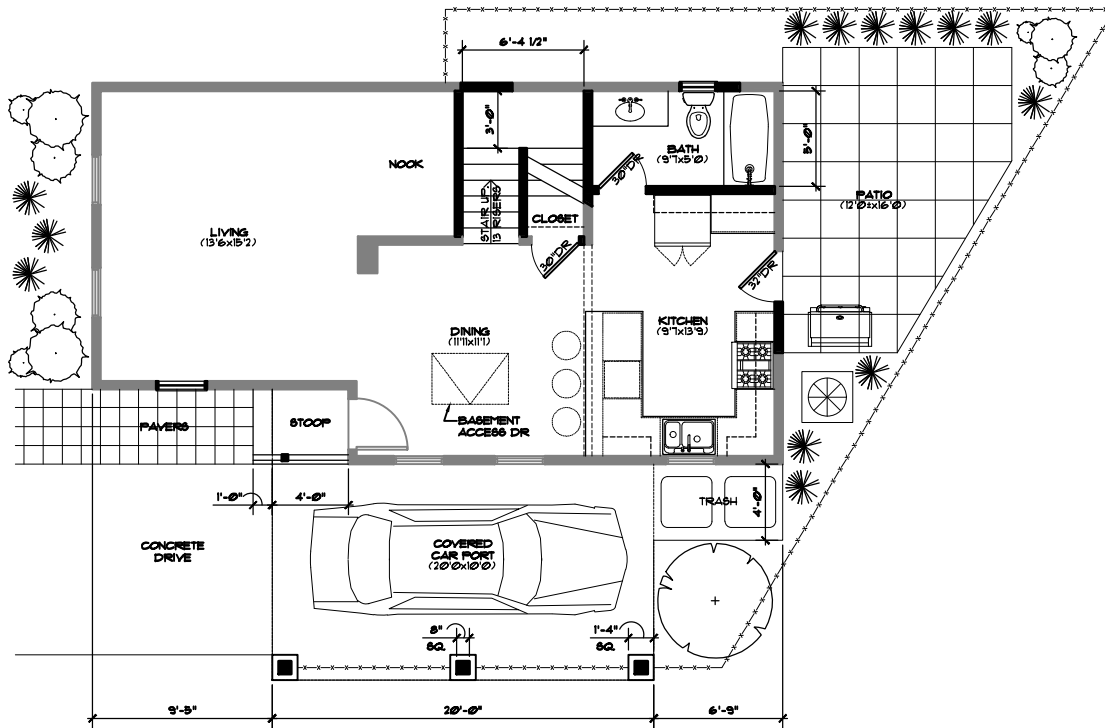
NORTH FACADE



WEST FACADE

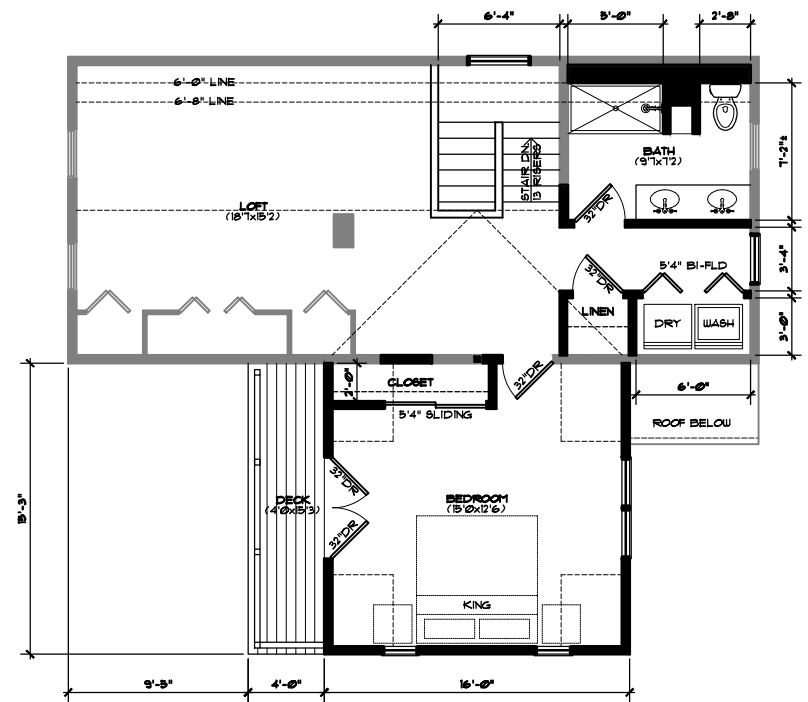


PORCH DETAIL



**1ST FLOOR PLAN**

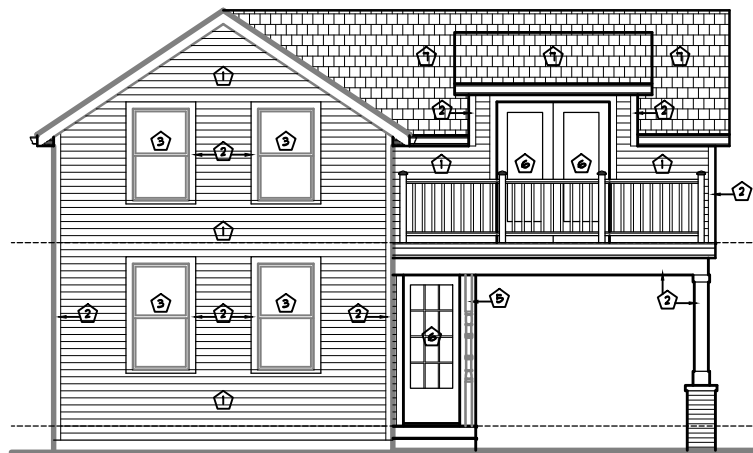
NTA.



**2ND FLOOR PLAN**

NTA.





**EAST ELEVATION**

N.T.S.

● TOP OF ROOF  
ELEV. 20'-11 1/2"

● 2ND FLOOR  
ELEV. 9'-11 1/2"

● 1ST FLOOR  
ELEV. 1'-3 1/2"

● GRADE (FRONT)  
ELEV. 0'-0"

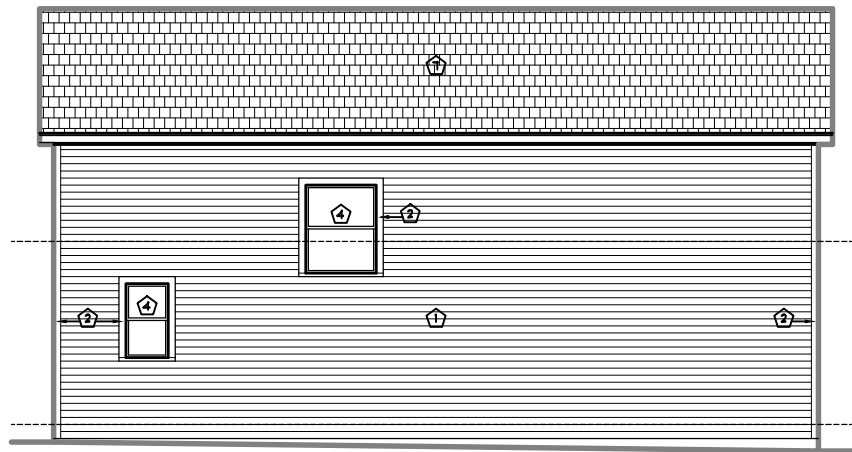


**NORTH ELEVATION**

N.T.S.

**KEYNOTE LEGEND:**

- |  |   |
|--|---|
| ① NEW HARDIBOARD FIBER CEMENT SIDING                           | ④ NEW ALUMINUM CLAD WINDOW AT NEW LOCATION                                |
| ② NEW HARDIBOARD FIBER CEMENT TRIM                             | ⑤ RESTORE EXISTING WOOD STRUCTURE WITH DETAILING TO MATCH ORIGINAL DESIGN |
| ③ NEW ALUMINUM CLAD WINDOW TO MATCH ORIGINAL SIZE AND LOCATION | ⑥ NEW DOOR  |
|  | ⑦ NEW ASPHALT ROOF SHINGLES   |



**SOUTH ELEVATION**

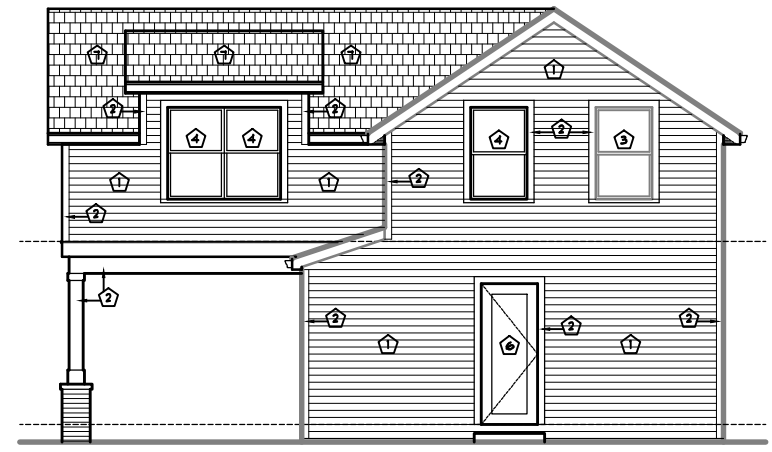
N.T.S.

● TOP OF ROOF  
ELEV. 20'-11 1/2"

● 2ND FLOOR  
ELEV. 9'-11 1/2"

● 1ST FLOOR  
ELEV. 1'-3 1/2"

● GRADE (FRONT)  
ELEV. 0'-0"

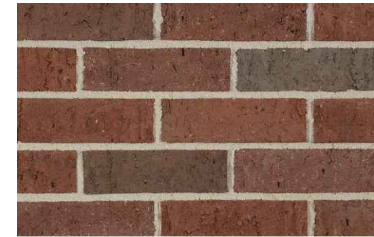


**WEST ELEVATION**

N.T.S.



RENDER DISPLAYING NEW COLORS



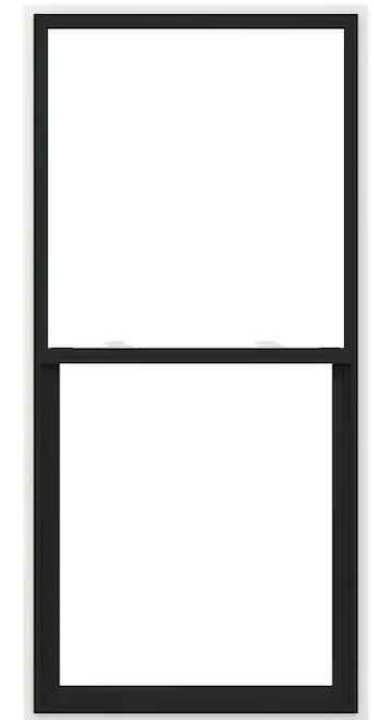
BELDEN AMHERST BLEND DART-TEX  
COLOR: RED  
LOCATION: FACE BRICK ON PIERS



HARDIEPLANK FIBER CEMENT LAP SIDING  
COLOR: EVENING BLUE  
LOCATION: ALL EXTERIOR FACADES



PLYCEM FIBER CEMENT TRIM  
COLOR: WHITE  
LOCATION: ALL EXTERIOR FACADES



PELLA ALUMINUM CLAD WINDOWS  
COLOR: BLACK  
LOCATION: ALL EXTERIOR FACADES

# Certificates of Appropriateness

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February 10, 2022



**Case 22-007:** Ohio City Historic District

**Ohio City Burrito 1844 West 25th Street**

Storefront Renovation Garage Door Installation

Ward 3: McCormack

Project Representatives: Jeff Pizzuli, Ohio City Burrito

# Ohio City Burrito

1844 W. 25<sup>th</sup> Street

Garage Door Installation



# Original Presentation 7/16/2020



REPLACE EXISTING WINDOW  
WITH NEW SECTIONAL OVERHEAD  
DOOR IN EXISTING FACADE

OHIO CITY BURRITO

**PROPOSED BUILDING FACADE RENOVATION**  
VIEW FROM W. 25TH STREET  
JULY 2, 2020

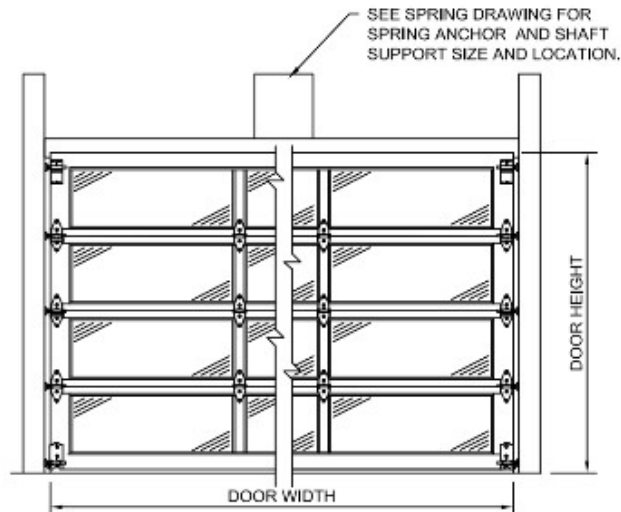
 **arkinetics**  
architects+urbanists

# Second Presentation 9/16/2021

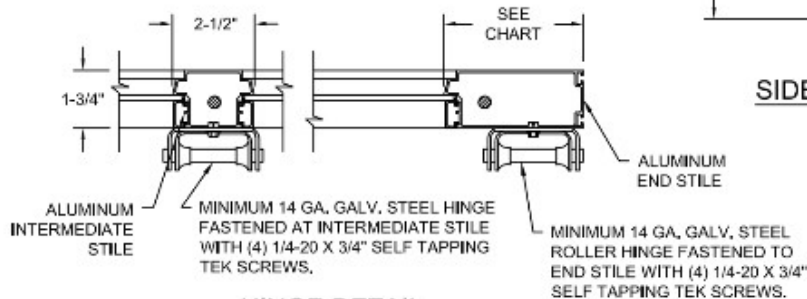








**INTERIOR ELEVATION**



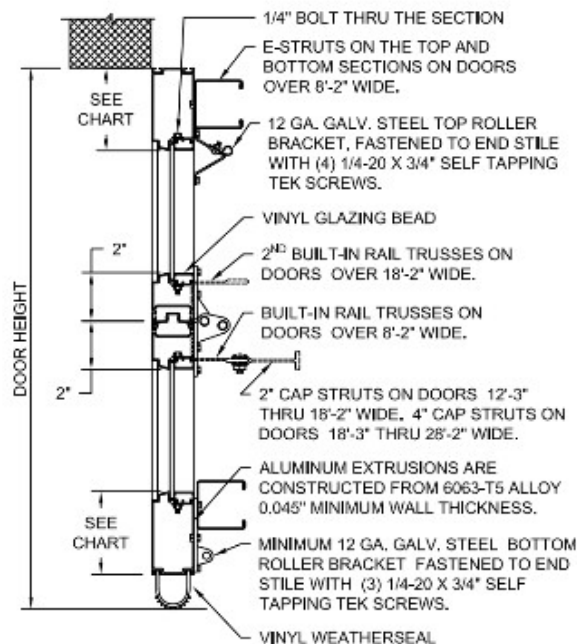
**HINGE DETAIL**

**GENERAL NOTES:**

DOORS ARE CONSTRUCTED OF (BOX SHAPED) ALUMINUM EXTRUSIONS FROM 6063-T5 ALLOY. EXTRUSIONS TO BE .045" MINIMUM WALL THICKNESS WITH .125" WALL THICKNESS WHEREVER HARDWARE ATTACHES. STILES AND RAILS ARE FACTORY ASSEMBLED WITH THRU-BOLT CONSTRUCTION.

STANDARD FINISH IS CLEAR ANODIZED. OTHER FINISHES AVAILABLE. SOLID PANELS ARE MANUFACTURED FROM 18 GA. STUCCO EMBOSSED OR SMOOTH ALUMINUM SHEETS TO MATCH DOOR FINISH.

GLAZING, GLASS OR PANELS TO BE SET IN GLAZING SEALANT AND HELD IN PLACE BY VINYL SNAP-IN BEAD.



**SIDE ELEVATION OF DOOR**

**DOOR DATA**

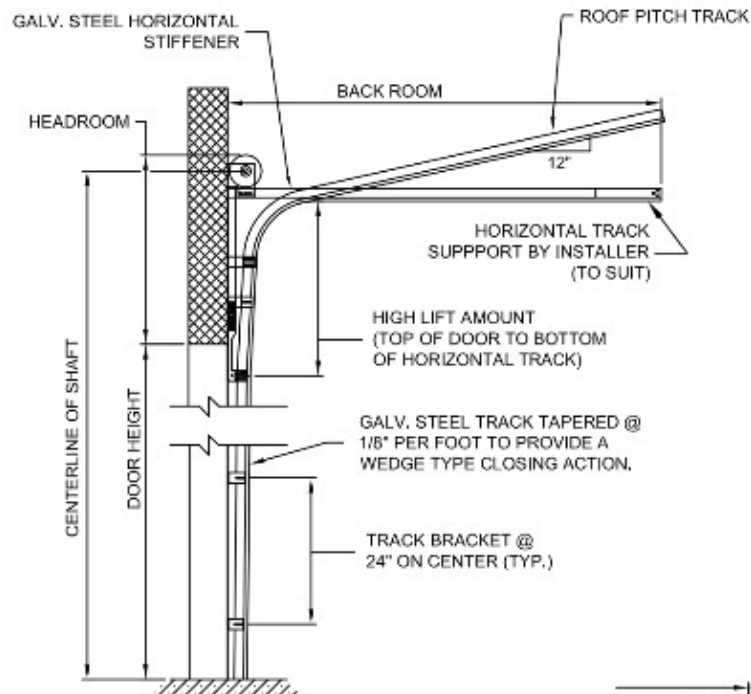
Job Name	City Burrito (Q-1144588)-1
Serial Number	C-1807808-W
Door Color	Black Anodized
Door Width	5'-9"
Door Height	5'-10"
Section Quantity	3
Quantity of Panels	2
Glass Type	1/2" INSULATED TEMP CLEAR
Solid in Sections	NONE;
Solid Panel Type	&nbsp;
Spring Quantity	2
Lift Type and High Lift	High-Lift Breakaway Incline (H.L. 15")
Top Rail	4"
Bottom Rail	4"
End Stile	4"
Operator (by other)	No

**MODEL CA320i**

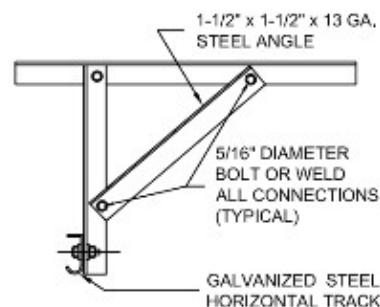
320 Sycamore St.  
Wauseon, Ohio 43567  
© Copyright 2020



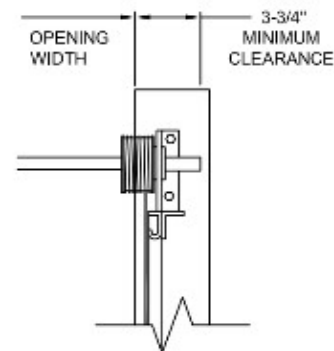




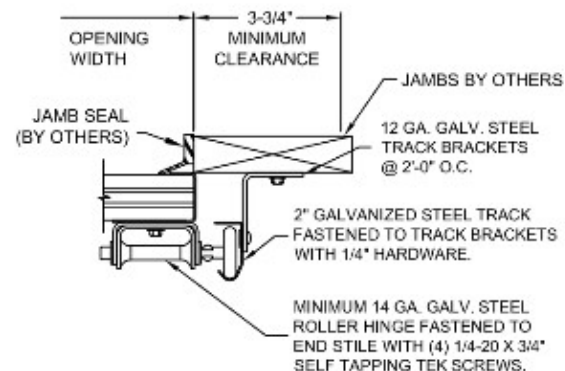
### HIGH LIFT



### HORIZONTAL TRACK SUPPORT



### DRUM SIDE ROOM CLEARANCE



### TRACK SIDE ROOM CLEARANCE

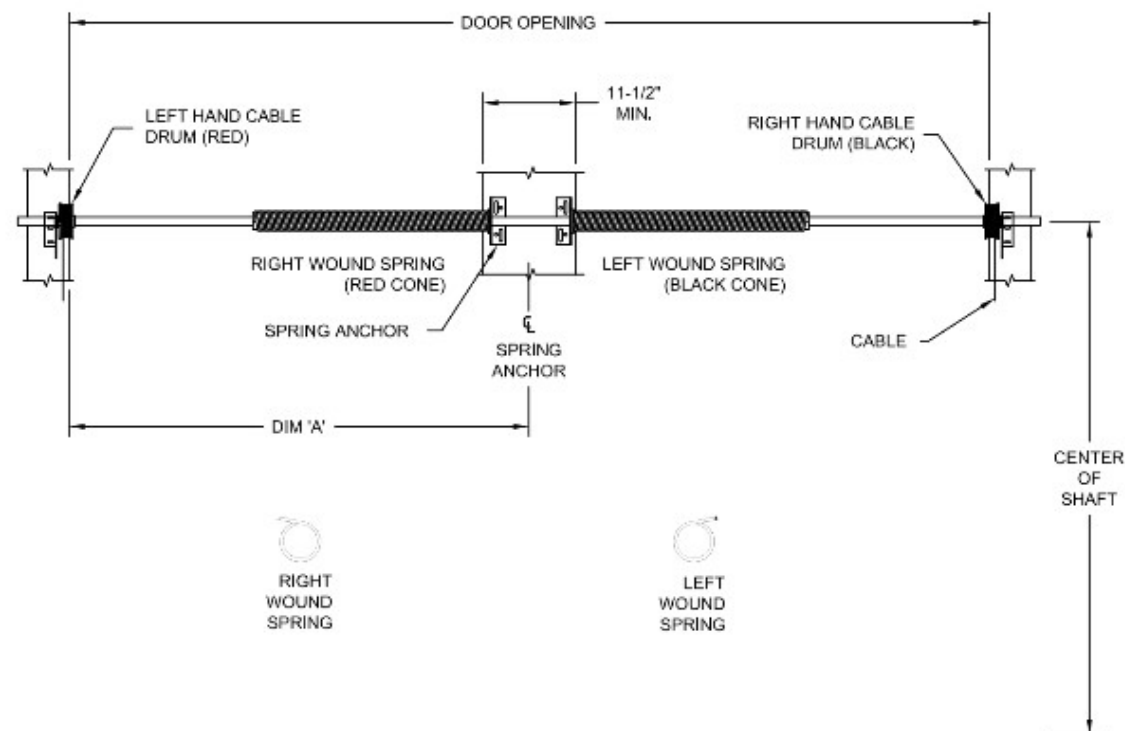
### 2" HIGH LIFT BREAKAWAY INCLINE BRACKET MOUNT

#### DOOR DATA

Job Name	City Burrito (Q-1144586)-1
Serial Number	C-1807808-W
Architect	NA
Contractor	NA
Distributor/ Dealer	NA
Door Schedule	NA
Door Width	5'-6"
Door Height	5'-10"
Lift Type	High-Lift Breakaway Incline
Roof Pitch	None
Center Line of Shaft	90
Headroom	23
Backroom	4
Drawn By	&nbsp;
Date	6/18/2020



320 Sycamore St.  
Wauseon, Ohio 43567  
© Copyright 2011



RIGHT  
WOUND  
SPRING



LEFT  
WOUND  
SPRING



320 Sycamore St.  
Wauseon, Ohio 43567  
© Copyright 2013

## (2) SPRING ON 1-PIECE SHAFT

### DOOR DATA

Job Name	City Burrito (Q-1144566)-1
Serial Number	C-1807808-W
Door Size and Model	5'-9" X 5'-10" CA-320K
Lift Type	High-Lift Breakaway Incline
Door Springing Weight	124
Shaft Size	1" TUBE ;
Spring Cycle Life	10K
Duplex Spring	NO
Spring Dia. & Wire Size	2.625" Dia. X 0.207" Wire
Spring Dia. & Wire Size (Inner)	N/A
Spring Length	23
Spring Turns	7.7
Total Torque (MIP)	285.5
Drum	400-54
Cable Diameter	1/8"
Cable Length	138
Center Line of Shaft	90
DIM SA1	35
DIM SA2	N/A
DIM SA3	N/A
DIM SA4	N/A
DIM SS1	N/A

# Third Presentation 1/20/2022



EXISTING



PROPOSED - BLUE LOWER LEVEL WINDOW FRAMES TO MATCH EXISTING UPPER WINDOWS, GRAY WOOD FACADE & GRAY DOORS



PROPOSED - BROWN UPPER WINDOW FRAMES TO MATCH WINDOW ON LOWER LEVEL, GRAY WOOD FACADE & GRAY DOORS

OHIO CITY BURRITO

**PROPOSED BUILDING FACADE REPAINT**  
VIEW FROM W. 25TH STREET  
January 4, 2022





# Previous Precedent





# Lakewood Location



# Cleveland Landmarks Commission

## Design Review

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February 10, 2022

# Ohio City Burrito

Staff report





320 Sycamore • Wauseon, OH 43567

#### Drawing Summary

Date: 6/18/2020  
Quotation #: Q-1144566  
Quote Name: City Burnito  
Job Name: None

Name:  
Phone:  
Address:

Item	Qty	Description	Lead	Reference	Configuration #
1	1	COMPLETE DOOR; 5'-9" X 5'-10" 3S-2P CA320iK; BLACK ANODIZED; 10K TORSION 15" BI HL 2 BRKT WOOD; GLASS SECTIONS - 1, 2, 3; 1/2"- INSULATED TEMP CLEAR; SOLID SECTIONS - NONE; 1" TUBE; SLIDE LOCK; 10-BALL STEEL; LF BUMP; 4" TOP RAIL; 4" BOTTOM RAIL; 4" END RAIL;	10		C-1807606-W <a href="#">Door Drawing</a> <a href="#">Track Drawing</a> <a href="#">STD Torsion Spring</a>



- Door ordered prior to 1<sup>st</sup> design review meeting (7/16/2020)
- A similar door was installed at the Lakewood location
- Applicant went through the design review process for that location 7/11/2019
- Lakewood Downtown Historic District added to the NR 9/23/2020











**Case 22-017:** Gordon Square Historic District

**5817 Detroit Avenue**

Renovation

Ward 15: Spencer

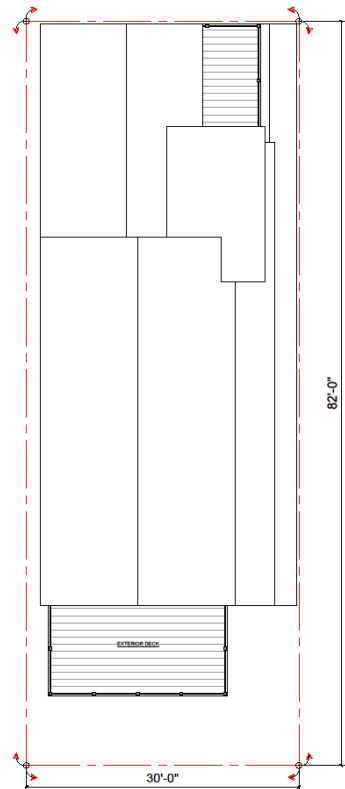
Project Representatives: Mark Demchuk, Owner; Michael Rose, Architect

5817 Detroit Ave

56 PROPERTIES

Mark Demchuk

## DETROIT AVENUE



An aerial photograph of a residential neighborhood. The image shows several houses with dark roofs and light-colored siding. Property lines are marked with thin white lines. Several addresses are labeled in white text: 10276 NW, 10276 NW, 10276 NW, 10276 NW, and 10276 NW. The houses are arranged in a grid-like pattern, with streets visible between them.

LOCATION PLAN  
N.T.S.

[illegible][illegible]

NOTES:

56 PROPERTIES  
5717 DETROIT AVE. CLEVELAND, OHIO



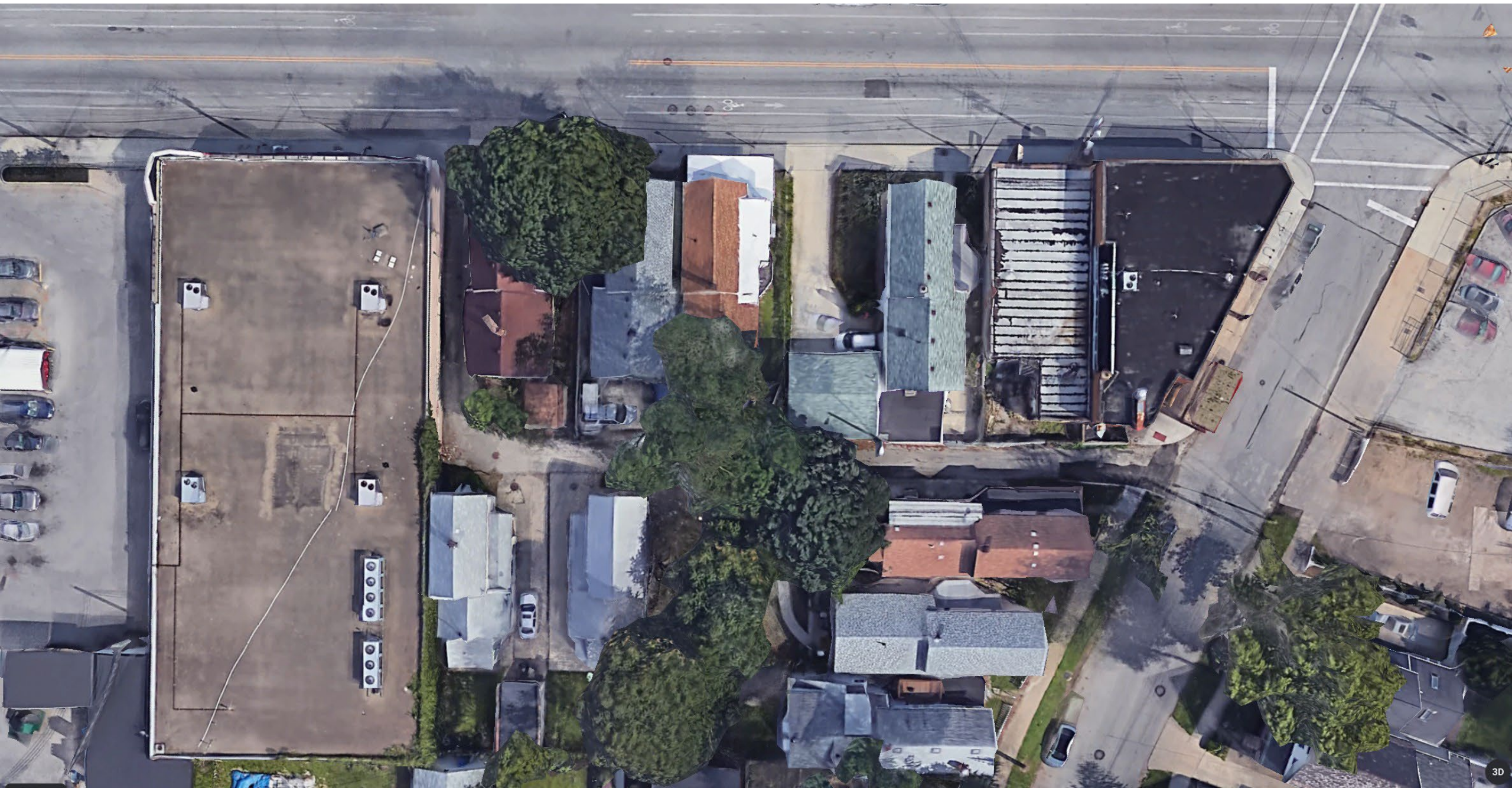
CUSTOMER: NAME		A-1
56 PROPEERTIES		
BUILDING:		
5717 DETROIT AVE. CLEVELAND, OHIO		
LOCATION:		
5717 DETROIT AVE. CLEVELAND, OHIO		
FILE LOCATION & NAME		
?DIR ?DIR ?FILENAME		
DRAWN BY: DATE DRAWN		
MAR	11/10/21	
SCALE	11/10/21	

A-1













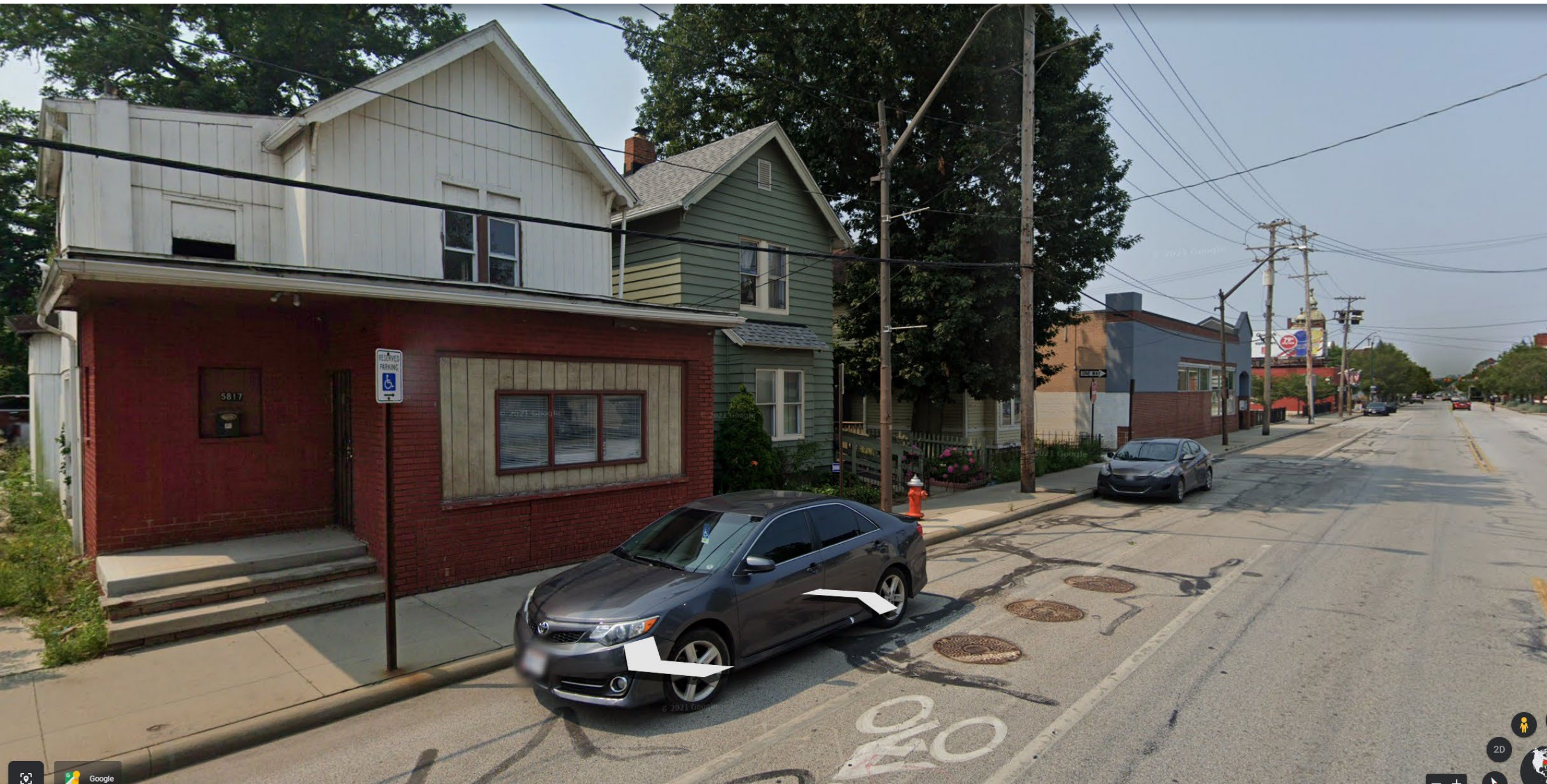




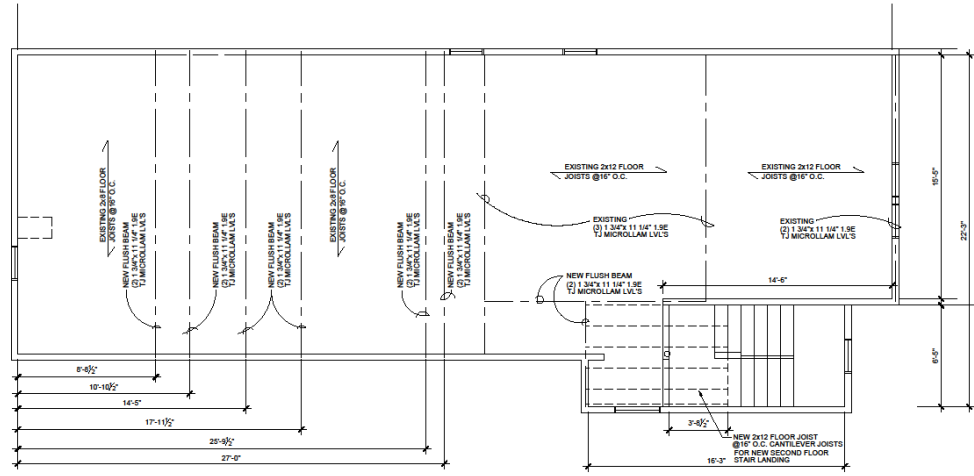




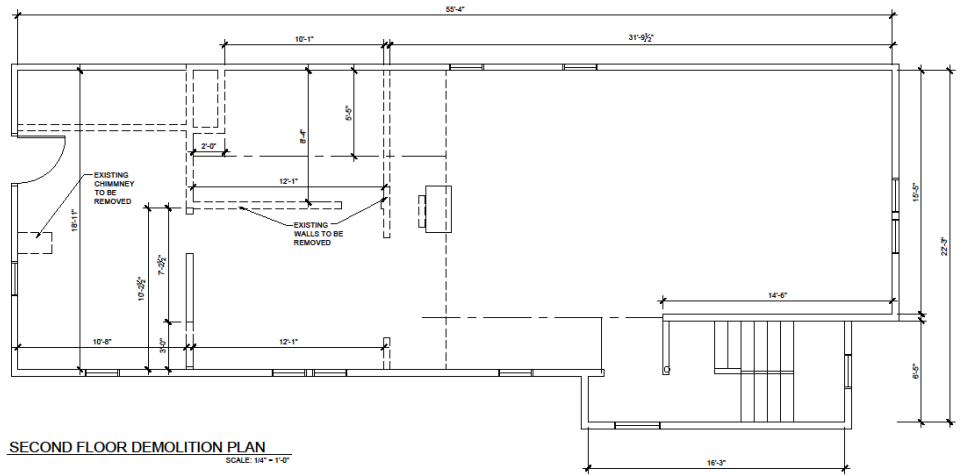








SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

REVISIONS	NO.	DATE	BY

NOTES:

# 56 PROPERTIES

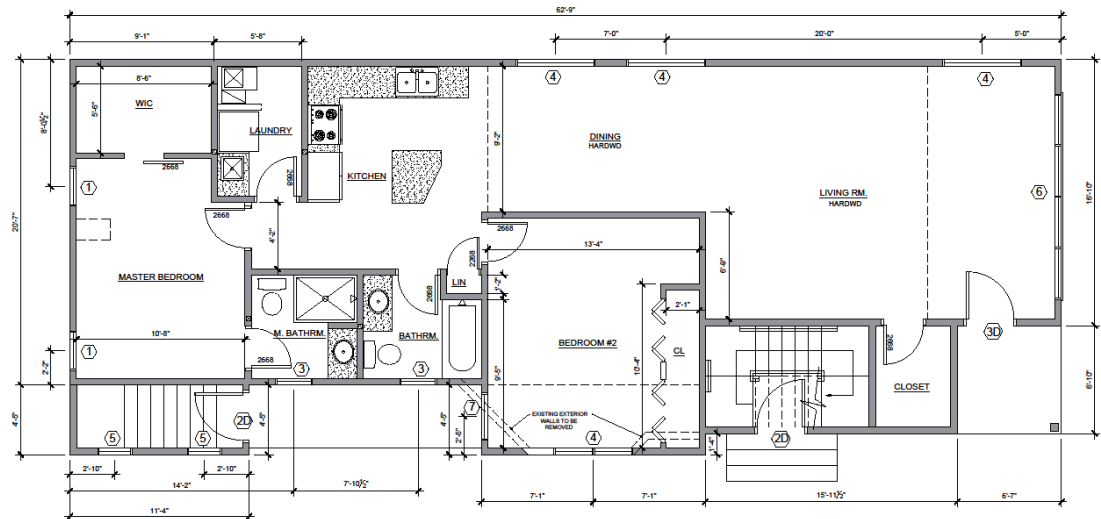
5717 DETROIT AVE. CLEVELAND, OHIO

56 PROPERTIES  
5717 DETROIT AVE. CLEVELAND, OHIO

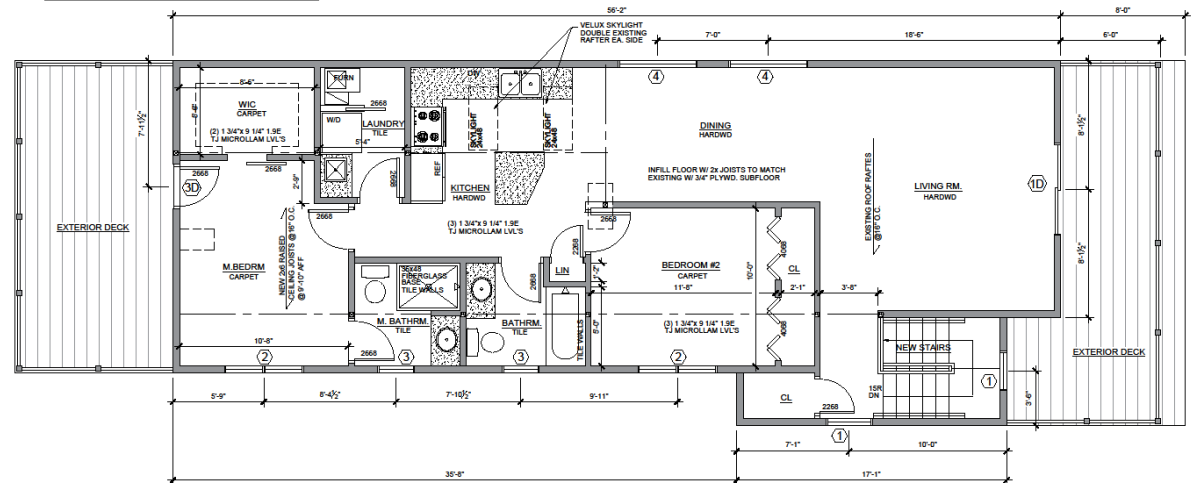
CUSTOMER: 56 PROPERTIES	
BUILDING: 5717 DETROIT AVE. CLEVELAND, OHIO	
LOCATION: 5717 DETROIT AVE. CLEVELAND, OHIO	
FILE LOCATION & NAME: R01R \_R01R \_P01ZMANC	
DRAWN BY (DATE DRAWN):	11/10/21
DRAWN BY (DATE DRAWN):	11/10/21
SCALE:	

A-7





FIRST FLOOR PLAN 1/4" = 1'-0"



SECOND FLOOR PLAN 1/4" = 1'-0"

REVISIONS	NO.	DATE	BY

NOTES:

**56 PROPERTIES**  
5717 DETROIT AVE. CLEVELAND, OHIO

CUSTOMER: 56 PROPERTIES  
BUILDING: 5717 DETROIT AVE. CLEVELAND, OHIO  
LOCATION: 5717 DETROIT AVE. CLEVELAND, OHIO  
FILE LOCATION & NAME: 5717 DETROIT AVE. CLEVELAND, OHIO  
DRAWN BY (DATE DRAWN): MAR 11/10/21  
SCALE: 1/4" = 1'-0"

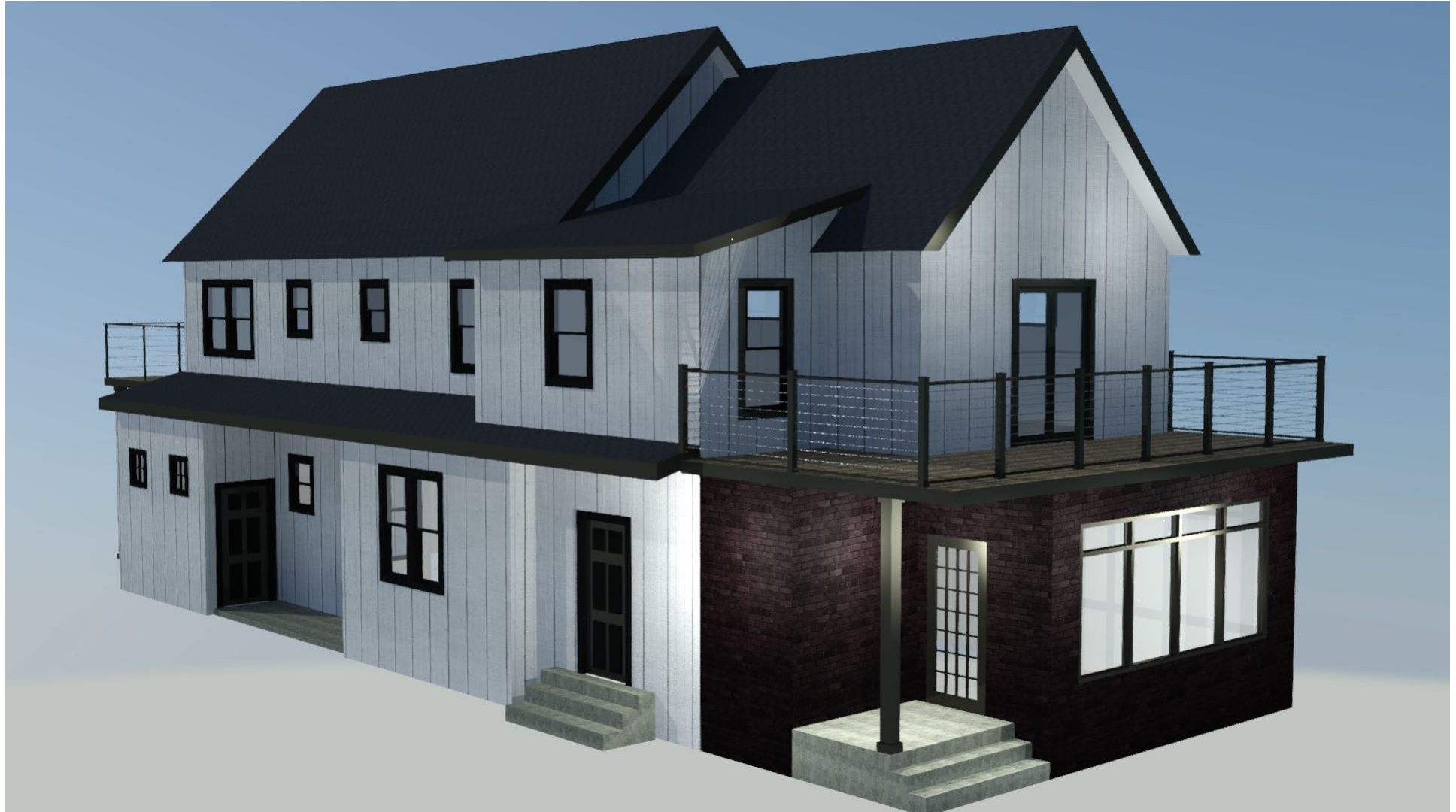
**A-2**

# Original Submission





# Revised Submission





**NORTH ELEVATION** 3/16" = 1'-0"

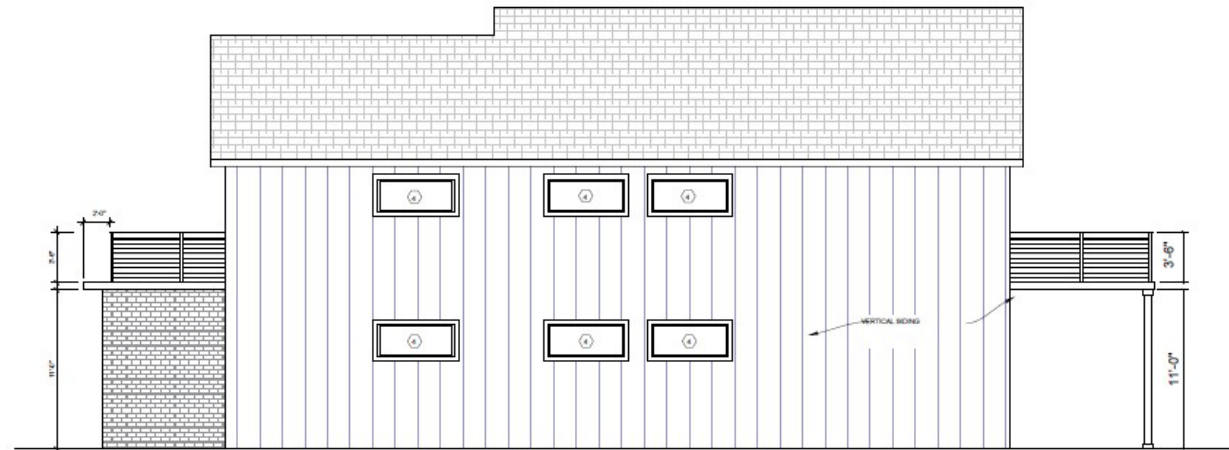


**EAST ELEVATION** 3/16" = 1'-0"

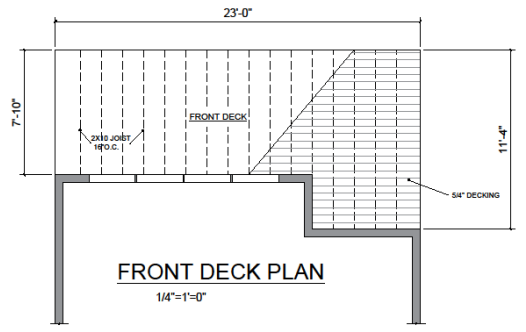
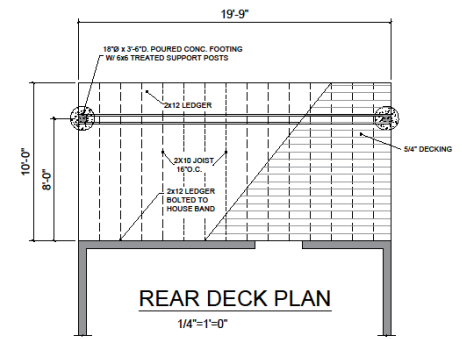
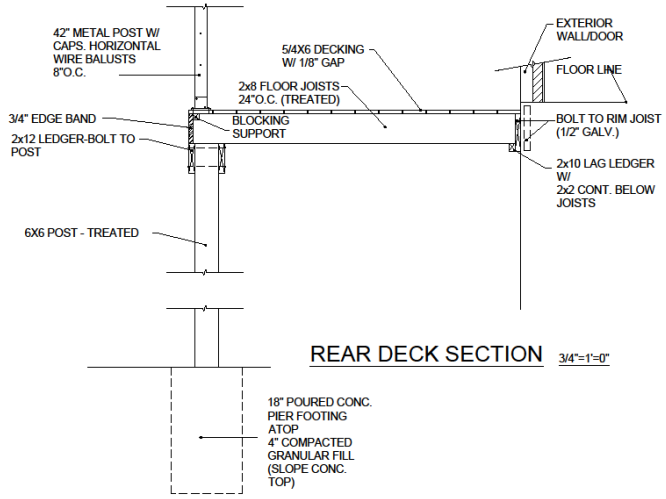




SOUTH ELEVATION 3/16" = 1'-0"



WEST ELEVATION 3/16" = 1'-0"



REVISIONS	NO.	DATE	BY

NOTES:

# 56 PROPERTIES

5717 DETROIT AVE. CLEVELAND, OHIO

CUSTOMER: 56 PROPERTIES	
BUILDING: 5717 DETROIT AVE. CLEVELAND, OHIO	
LOCATION: 5717 DETROIT AVE. CLEVELAND, OHIO	
FILE LOCATION & NAME: RDR \_RDR \_PRLZMANC	
DRAWN BY (DATE DRAWN): MAR 11/10/21	
SCALE:	A-10

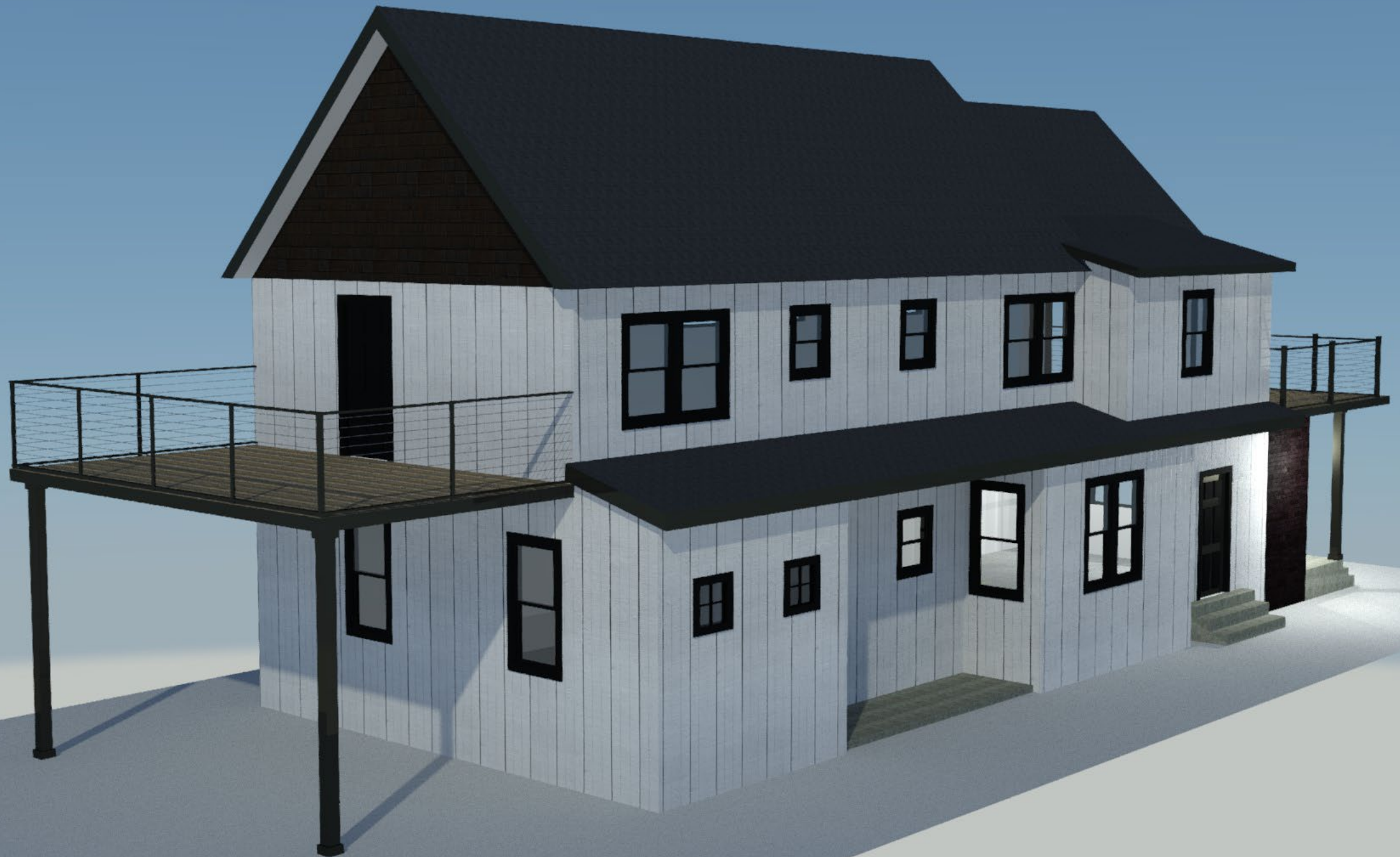


















NORTH ELEVATION



WINDOW SCHEDULE											
		WINDOW SIZE		ROUGH OPENING		FRAME					
#	QTY	WIDTH	HEIGHT			ITEM NUMBER	MATERIAL	TYPE	NOTES		
1	4	29-3/8"	60"	30-1/8"	60-3/4"	SCD2960	CLAD/PINE	DOUBLE HUNG	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
2	3	58-3/4"	60"	59-1/2"	60-3/4"	SCD2960-2	CLAD/PINE	DOUBLE HUNG	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
3	4	25-3/8"	32"	26-1/8"	32-3/4"	SCD2532	CLAD/PINE	DOUBLE HUNG	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
4	6	61-3/8"	24"	62-1/8"	24-3/4"	SCDP6124	CLAD/PINE	TRANSOM/FIXED	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		
5	2	24"	24"	-	-	TBD	CLAD/PINE	FIXED	WINDOWS FOR EXTERIOR STAIR WELL TO BASEMENT		
6	4	39"	72"	156"	72"	TBD	CLAD/PINE	FIXED	WINDOW OPENING IS 13' X 6' - (4) FIXED PANE WINDOWS REQUIRED		
7	1	35-3/8"	60"	36-1/8"	60-3/4"	SCD3560	CLAD/PINE	FIXED	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE		

"(Y)" - DENOTES EXISTING CONDITIONS TO BE VERIFIED - GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK



All New windows shall have U-factor 0.30 maximum, or The new fenestration (& door) comply via an area-weighted average

DOOR SCHEDULE													
		DOOR SIZE			ROUGH OPENING		ITEM NUMBER	MATERIAL	TYPE	SWING	FIRE RATING	FRAME	
#	QTY	WIDTH	HEIGHT	THKNS	WIDTH	HEIGHT						MATERIAL	NOTES
1D	1	141-3/8"	79-1/2"	2"	142-1/8"	79-1/2"	TCSLDN12068	CLAD/PINE	SLIDING/PATIO	N/A	YES	CLAD/PINE	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE
2D	2	3'-0"	6'-8"	2"	142-1/8"	79-1/2"	TBD	CLAD/PINE	ENTRY	RIGHT	YES	CLAD/PINE	CONTRACTOR TO SPECIFY DOOR TYPE
3D	2	3'-0"	6'-8"	2"	142-1/8"	79-1/2"	TBD	CLAD/PINE	ENTRY	LEFT	YES	CLAD/PINE	CONTRACTOR TO SPECIFY DOOR TYPE
4	-	-	-	-	-	-	-	-	-	-	YES	-	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE
5	-	-	-	-	-	-	-	-	-	-	YES	-	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE
6	-	-	-	-	-	-	-	-	-	-	YES	-	GC TO VERIFY MAKE/MODEL W/ OWNER PRIOR TO PURCHASE

"(Y)" - DENOTES EXISTING CONDITIONS TO BE VERIFIED - GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING WITH WORK

REVISIONS	NO.	DATE	BY

NOTES:

56 PROPERTIES

5717 DETROIT AVE. CLEVELAND, OHIO

CUSTOMER:

56 PROPERTIES

BUILDING:

5717 DETROIT AVE. CLEVELAND, OHIO

LOCATION:

5717 DETROIT AVE. CLEVELAND, OHIO

FILE LOCATION & NAME:

\\FSR \\FSR \\PRJ\\5617\\5617.DWG

DRAWN BY (DATE DRAWN):

MAR 11/10/21

SCALE:

A-5





**AFCO**  
Columns and Railings

ALUMINUM AFCO-RAIL



AVAILABLE  
IN SEVEN  
BEAUTIFUL  
FINISHES  
**THAT  
NEVER NEED  
REPAINTING**

GLOSS

WHITE

CLAY

WICKER

TEXTURED

WHITE

BLACK

BRONZE

BROWN

# SERIES 175

# SERIES 175



Combines the "breadloaf" shaped top rail of Series 100 with horizontal stainless steel cable.

Rail kit includes stabilizer baluster, which is pre-drilled to thread the cables through.

Pre-drilled 3" aluminum posts available for both Line and Corner applications.

## SERIES 175

Style	Length	Height
	4' 6' 8' 10'	36" 42"
Level	*	*
Fixed Stair	*	*



The modern look of cable in the AFCO-Rail aesthetic

### Infill Options

1/8" Braided 316 Stainless Steel Cable with 2-3/4" pre-swaged threaded stud and mounting hardware.

Terminating fittings, for both Line and Corner run applications, packaged separately.

### Style Options



Level



Stair

### Posts Kits

	Cable Length	Style	Height
	10' 20' 30' 50'		38" 44"
Level	*	Line	*
Fixed Stair	*	Corner	*







Siteline®  
Clad-Wood Patio Doors  
Outswing Patio Door

Architectural Elevations



Siteline® Clad-Wood  
2-Panel Swinging

Also called French doors or double doors. Choose two operating doors to fully open the space to the outdoors, or have one operating and one fixed. Built with AuraLast® pine, with many options for colors, finishes, grilles and glass. Available with exclusive handle sets that complement the architectural style of the home.



SITELINE®  
CLAD-WOOD PATIO DOOR  
OUTSWING PATIO DOOR

FORMULAS

Understanding JELD-WEN Book Codes:

Product	Prefix	Width Code	Height Code
Siteline® Clad-Wood Outswing Patio Door	PRCOSW	WW	HH
Siteline® Clad-Wood Outswing Patio Door Transom	PRCOSTW		

Sample Book Codes:

PRCOSW3280 = Siteline® Clad-Wood Outswing Patio Door, 3'-2" x 8'-0" Frame Size  
PRCOSTW3614 = Siteline® Clad-Wood Outswing Patio Door Transom, 3'-6" x 1'-4" Frame Size

Formulas		
Rough Opening	(Frame Width + 3/4") x (Frame Height + 1/2")	
Masonry Opening	(Overall Width + 1/2") x (Overall Height + 1/2")	
Daylight Opening ft² - Wide Stile	((Frame Width - 11 7/16") x (Frame Height - 15 7/8")) / 144	
Daylight Opening ft² - Narrow Stile	((Frame Width - 8 15/16") x (Frame Height - 15 7/8")) / 144	
Daylight Opening ft² - Sidelite Stile	((Frame Width - 6 11/16") x (Frame Height - 15 7/8")) / 144	
Clear Opening Horizontal	@ 90°	@ Maximum
1 Panel Unit	Frame Width - 4 17/32"	Frame Width - 2 7/16"
2 Panel Unit Hinged from Mull Post	(Frame Width/2) - 4 17/32"	(Frame Width/2) - 2 7/16"
French Door Unit Hinged Off Jambs (Both Panels Open)	Frame Width - 6 5/8"	Frame Width - 2 7/16"
French Door Unit Hinged Off Jambs (Only Active Panel Open)	(Frame Width/2) - 4 29/32"	N/A
Clear Opening Vertical		
Standard Sill	Frame Height - 2 19/32"	
ADA Sill	Frame Height - 1 23/32"	

Note: "Overall" dimensions include frame and trim.

Unit elevations are shown without exterior trim and with standard 8 1/4" bottom rail.

Architectural Elevations  
September 2020

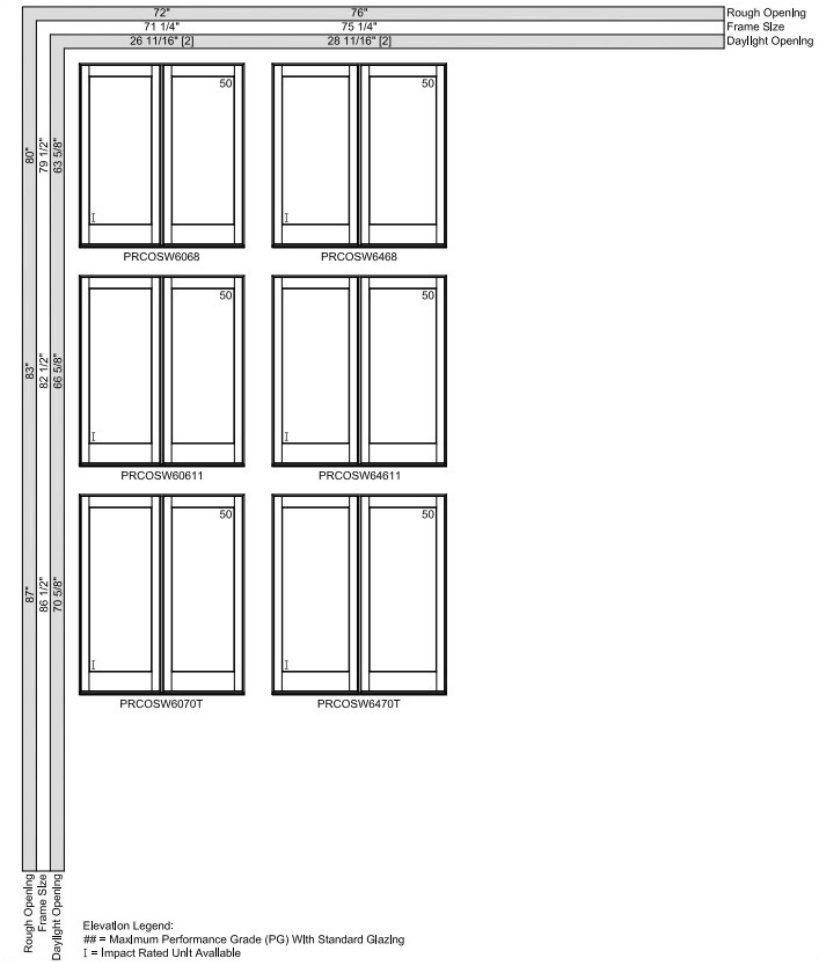
Product specifications may change without notice.  
Questions? Consult JELD-WEN customer service.

Scale: NTS  
2



SITELINE®  
CLAD-WOOD PATIO DOOR  
OUTSWING PATIO DOOR

2 PANEL FRENCH NARROW STILE UNITS



Architectural Elevations  
September 2020

Product specifications may change without notice.  
Questions? Consult JELD-WEN customer service.

Scale: 1/4" = 1'-0"  
22



# Construction & Framing

## CONSTRUCTION

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### Tilt Sash

Our double-hung windows include a tilt latch which allows you to easily tilt the sash in to allow for convenient cleaning from the inside of your home. Tilt latches will match the hardware color of your window.

## FRAME OPTIONS

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### Pocket Replacement Window

Our pocket replacement window is perfect for residential and light commercial applications where the building's existing window frame and surrounding wall are in good condition, but the sash is in need of improvement. With a wide range of styles, colors, and finishes available and innovative features that make installation easy, ensuring a beautiful appearance and superior quality and performance.

## EXTERIOR COLORS

*Note: Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.*



Bone White



Brilliant White



Ivory



French Vanilla



Heirloom White



Mocha Cream



Desert Sand



Silver



Smoke



Stone



Flagstone



Cocoa



Surf



Sea Foam



Hunter Green



Moss



Hartford Green



Cranberry



Mesa Red



Stormy



Admiral



Navy



Steele Gray



Dark Chocolate



Chestnut Bronze



# Siteline® Clad-Wood Window: Double-Hung Pocket



## Model Overview

### PROJECT TYPE

New construction and replacement

### COLORS & FINISHES

27 Exterior Colors

28 Interior Finish Options

### GLASS

Energy efficient, tinted, textured and protective.

### CONSTRUCTION

Tilt Sash

# Cleveland Landmarks Commission

## Concept Plan

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February 10, 2022





**Case 22-018:** Little Italy Historic District

4 & 8 MFLD 12404 Mayfield Road Building A Renovation

**Case 22-019:** Little Italy Historic District

4 & 8 MFLD 12408 Mayfield Road Building B Renovation

**Case 22-020:** Little Italy Historic District

4 & 8 MFLD 12405 Fairview Court (Piggy Street) Demolition

**Case 22-021:** Little Italy Historic District

4 & 8 MFLD 12405 Fairview Court (Piggy Street) New Construction

Ward 6: Griffin

Project Representatives: Gregory Soltis, RDL Architects; Matthew Wymer, WXZ Development

4 & 8 MFLD

CLEVELAND LANDMARKS  
COMMISSION PRESENTATION

FEBRUARY 10<sup>TH</sup>, 2022



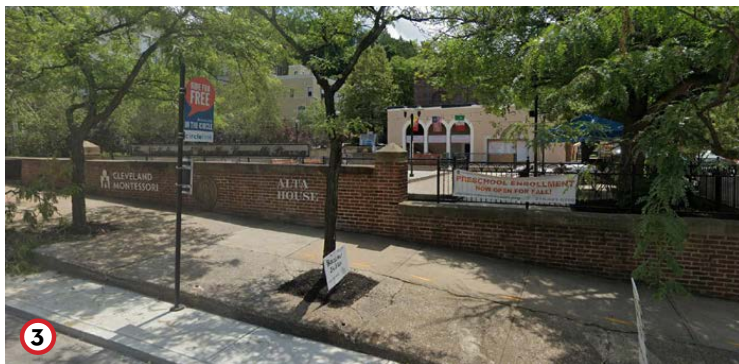


Project Location: **Little Italy**



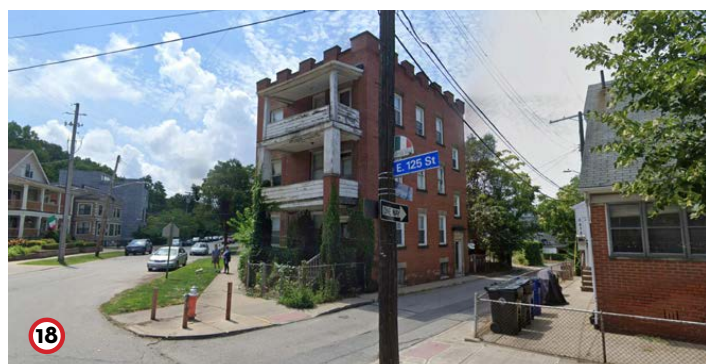
Site Address: **12404/8 Mayfield Road + 12405 Fairview Court**





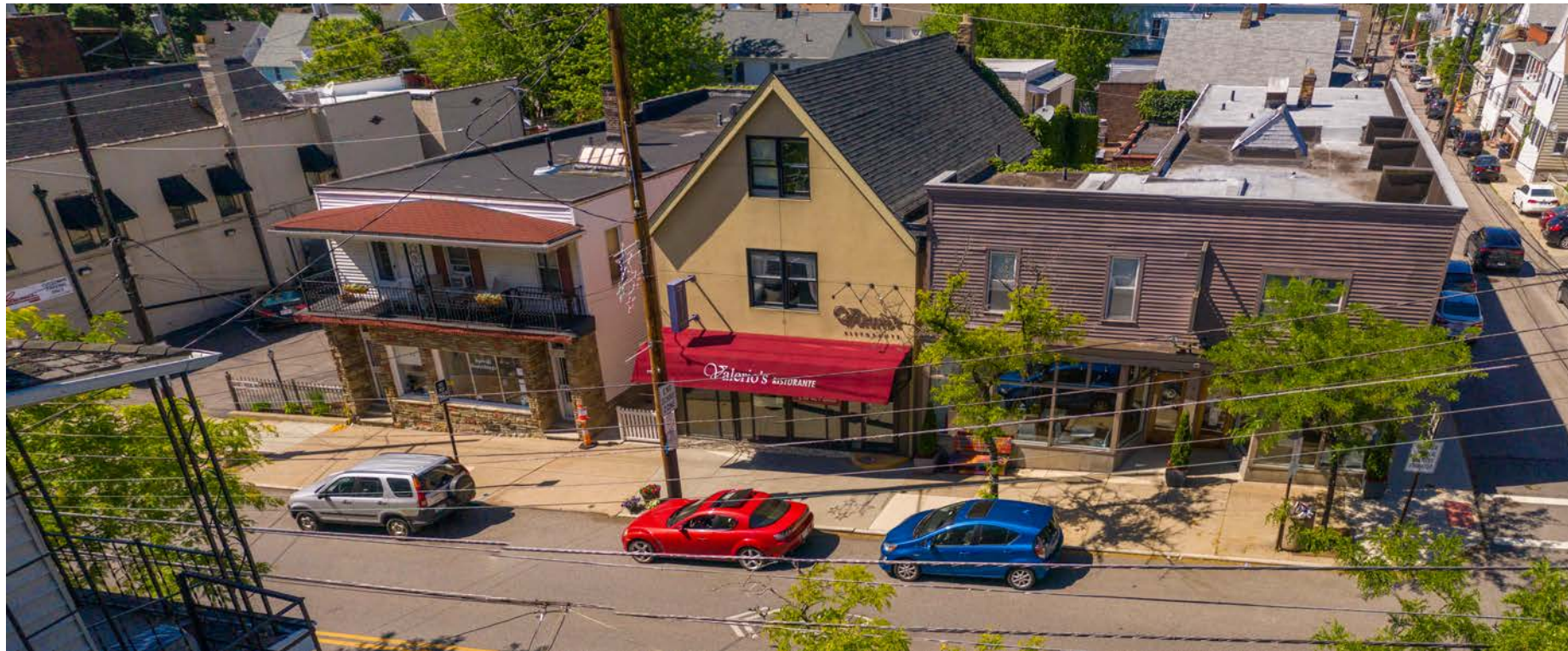
Site Context





Site Context





Site Context



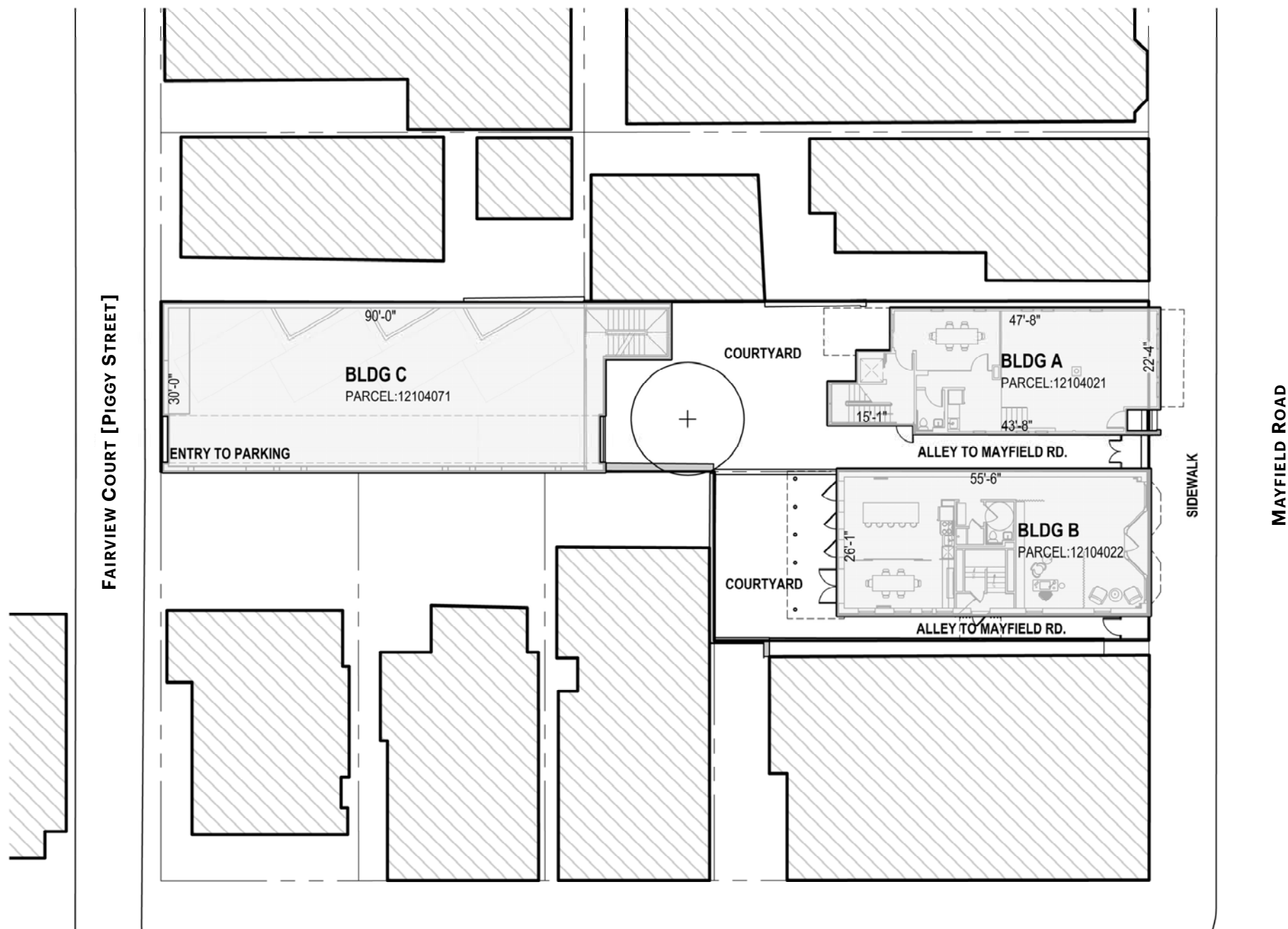


Site Context  
View To Southeast



Site Context  
View Looking West Along Mayfield Road

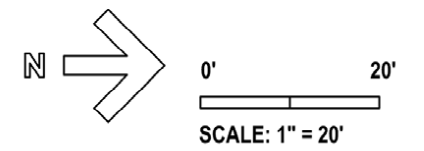
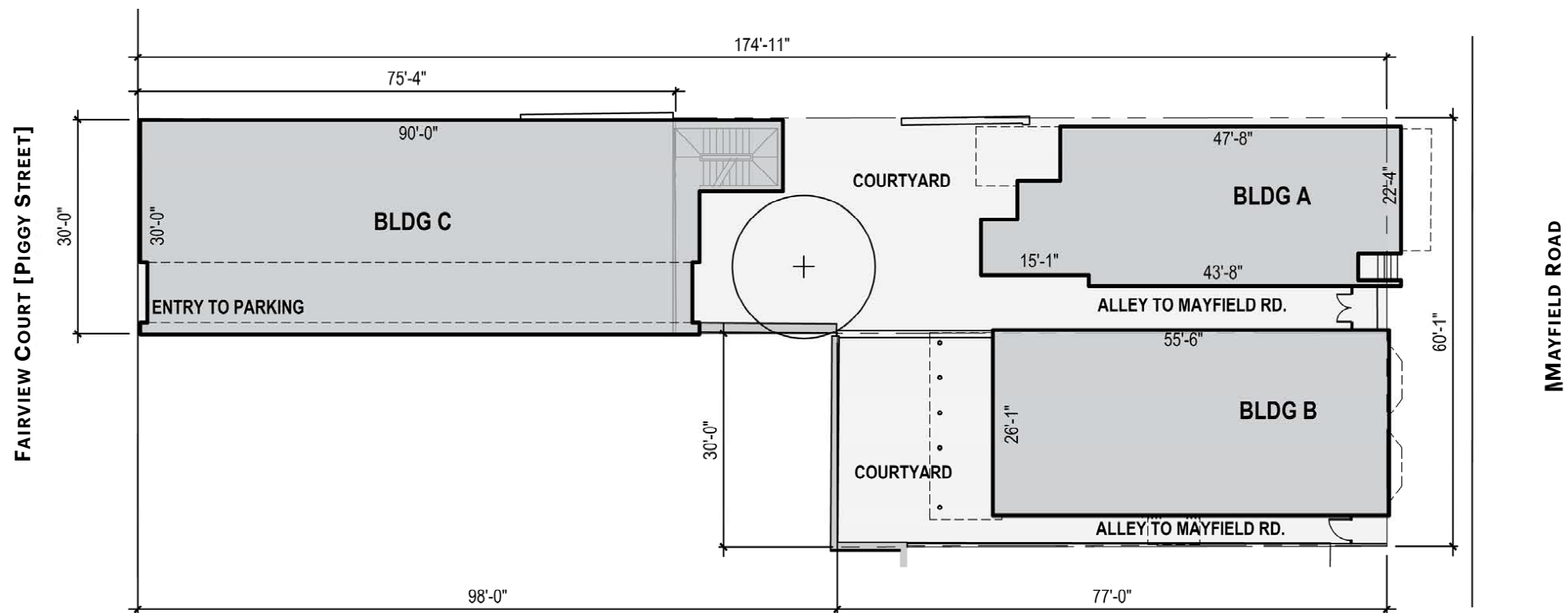




SITE DATA		
ZONING	GR-C2	
PROPOSED USE	RETAIL, BUS., RESIDENTIAL PKG.	
ACREAGE	+/- .227 ACRES (9,870 SF)	
PROPOSED UNITS	5 CONDOMINIUMS	
BUILDING FOOTPRINT	GROUND FL	LEASABLE TOTAL
12104021	+/- 1,157 SF	+/- 3,382 GSF
12104022	+/- 1,448 SF	+/- 2,896 GSF
12104071	+/- 2,400 SF	+/- 3,688 GSF
TOTAL FL AREA	+/- 9,966 GSF (ENCLOSED)	
ON-SITE PARKING	SURFACE	0 SPACES
	GARAGE	5 SPACES
	<b>TOTAL ON-SITE</b>	<b>5 SPACES</b>
PARKING STALL SIZE	8'-6"x18'	
REQ'D PARKING PER ZONING	RESIDENTIAL (1 per unit)	5 SPACES
	OFFICE (2 per est.)	4 SPACES
	<b>TOTAL PARKING REQUIRED</b>	<b>9 SPACES</b>

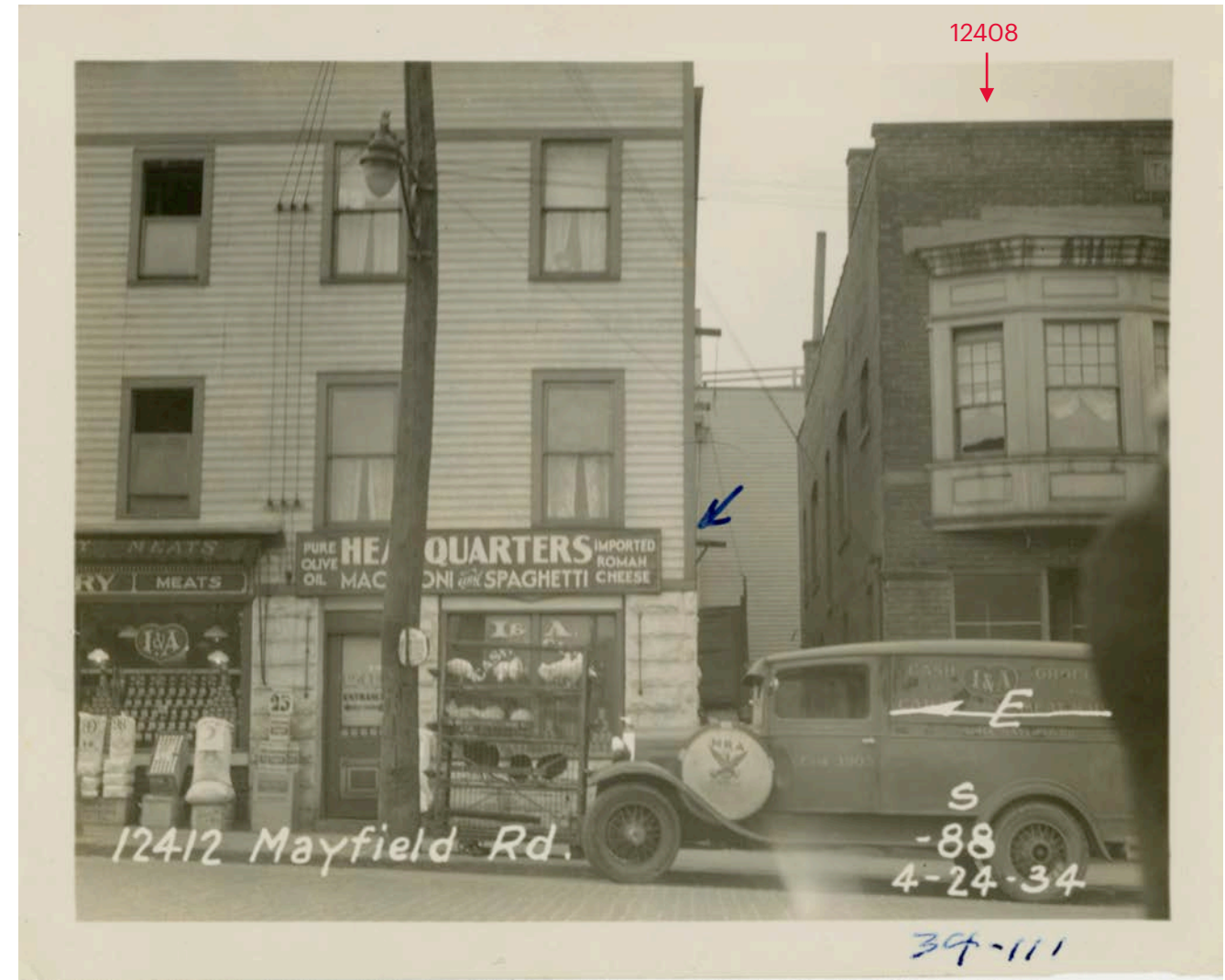
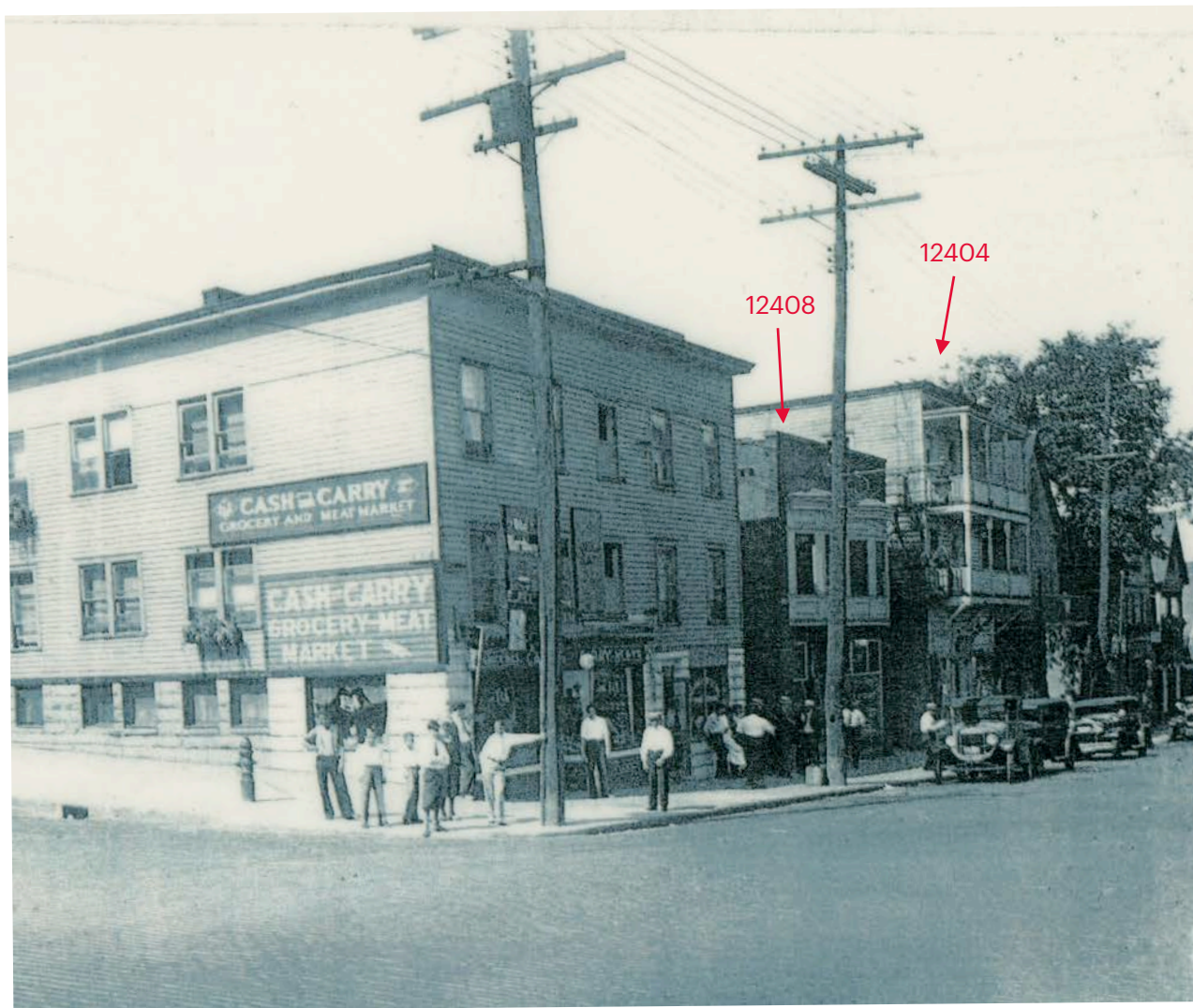


Site Plan



Building Configuration





Historic Context





Historic Context





"RED TOP MALT SYRUP"

Historic Context





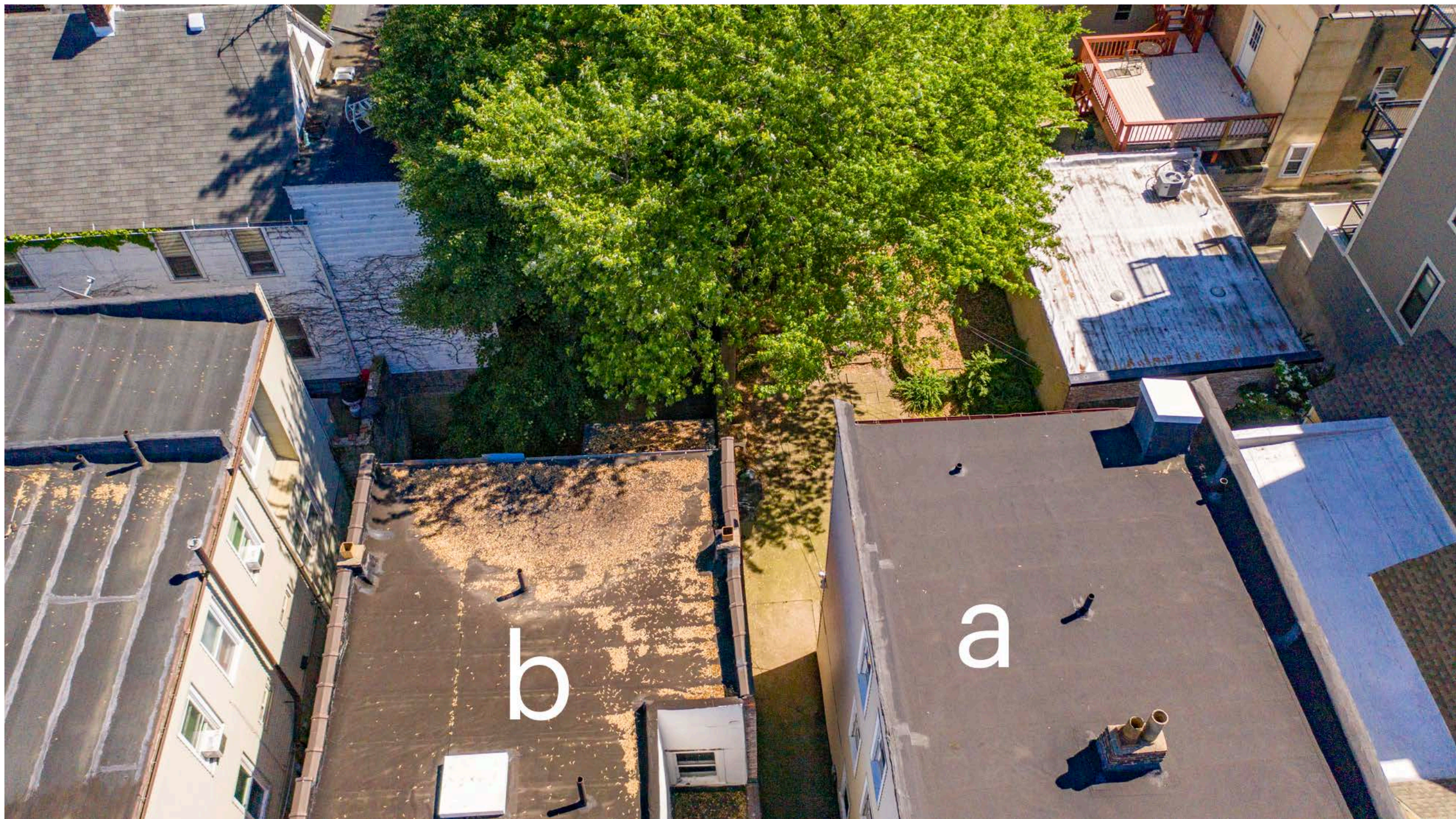
Historic Photograph | 12404 Mayfield Road





Existing Conditions





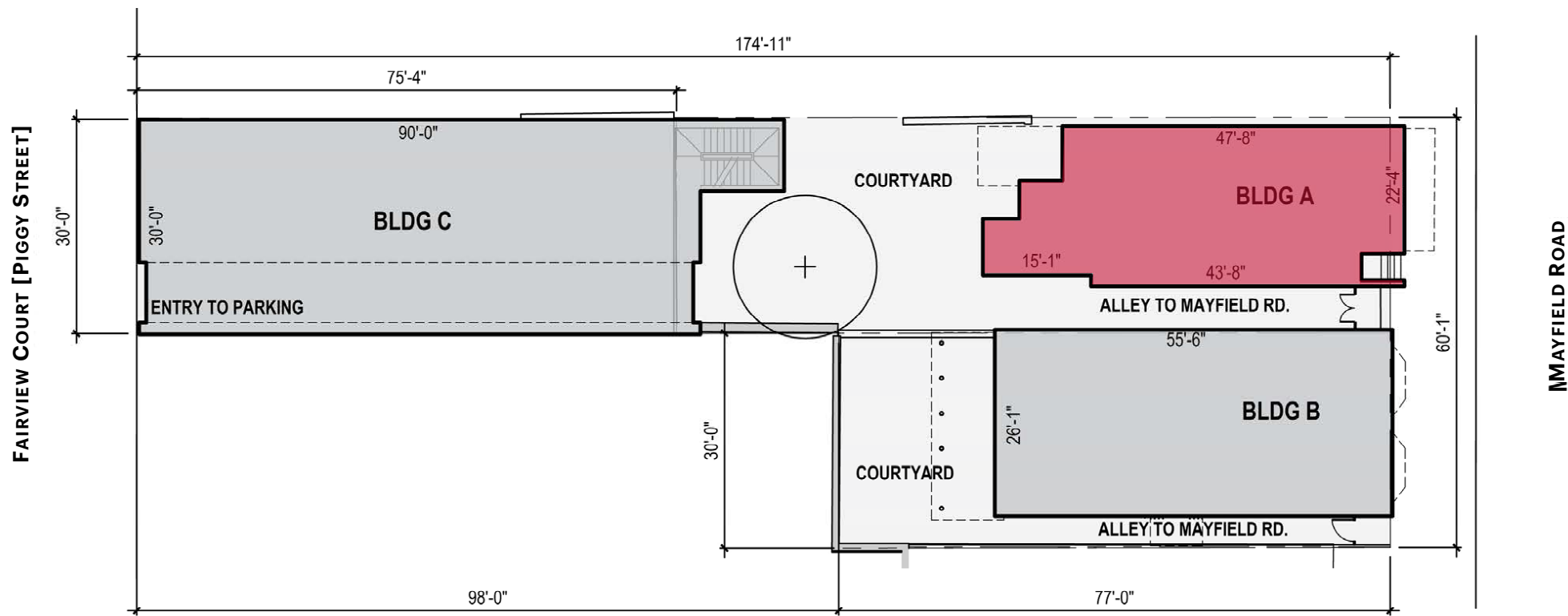
Existing Conditions  
Rear Courtyard



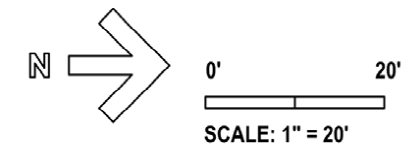


Existing Conditions  
Rear Courtyard





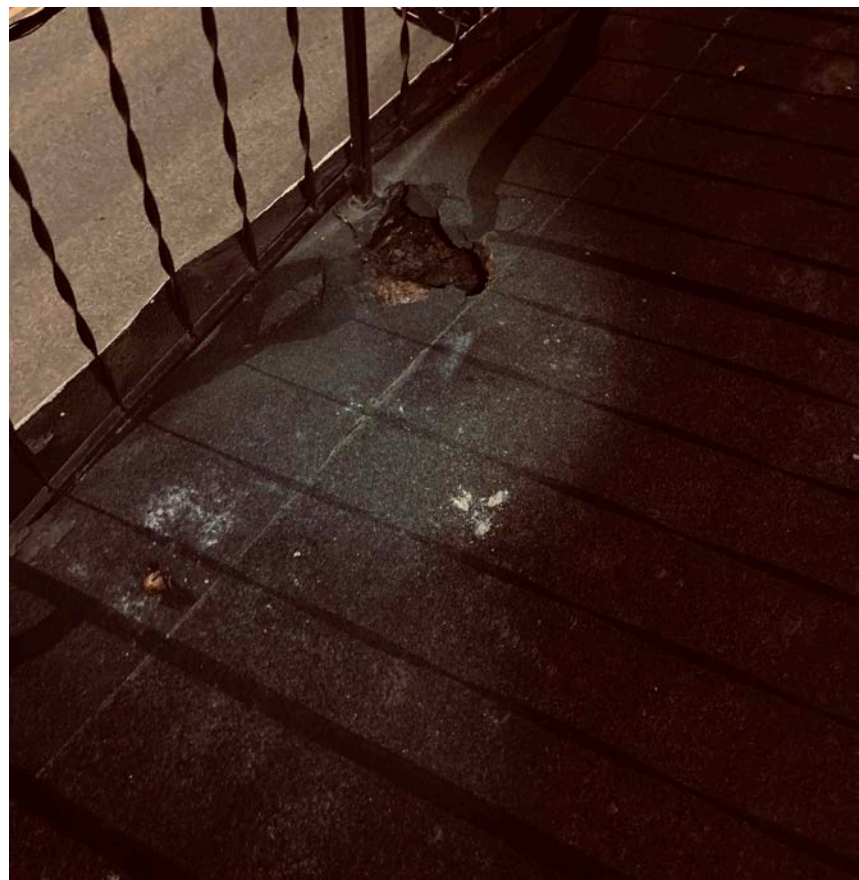
# 12404 Mayfield Road



## Scope:

- Renovation of existing building
- Currently includes Five (5) apartments [One (1) on first floor, Two (2) on second floor, Two (2) on third floor]
- Proposed conversion to create:
  - Two (2) residences above One (1) office space
  - Residence to be sold as condominiums





Existing Conditions | 12404 Mayfield Road  
Terraces' Deterioration





Existing Conditions | 12404 Mayfield Road



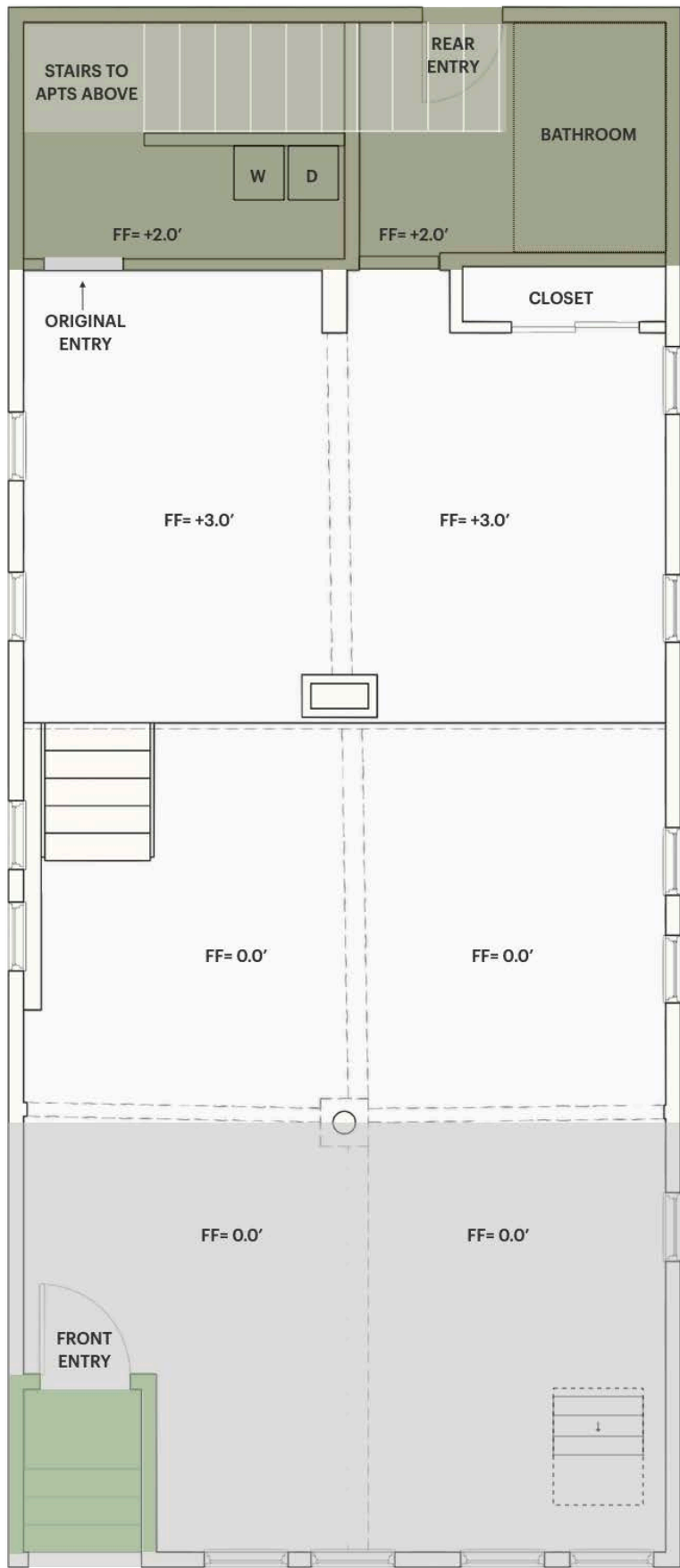
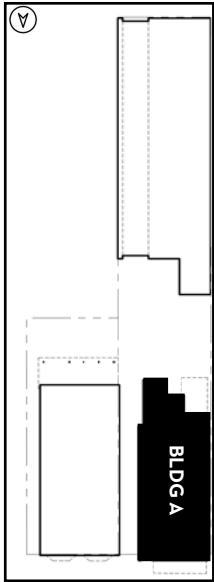


Existing Conditions | 12404 Mayfield Road  
Rear Courtyard View from South

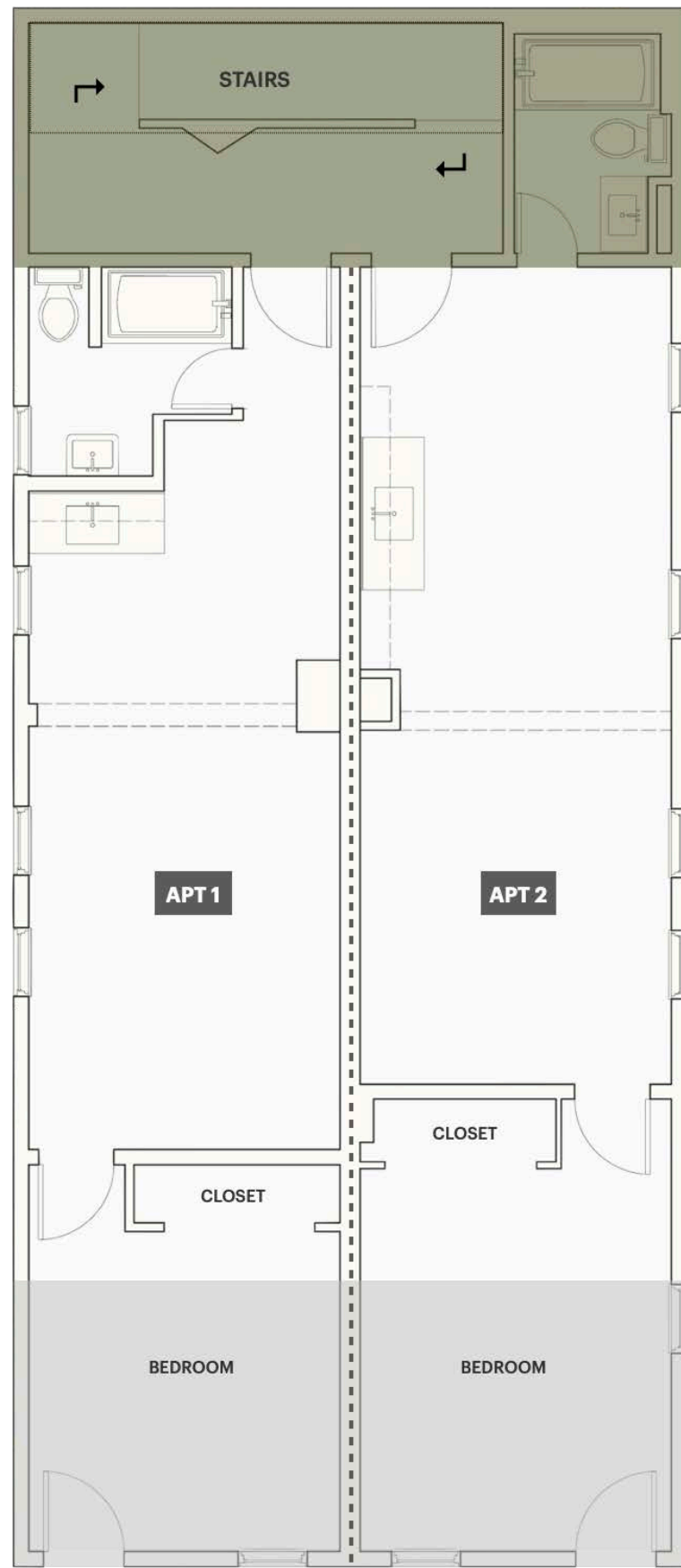


# 12404 Mayfield Road

## Existing Floor Plans

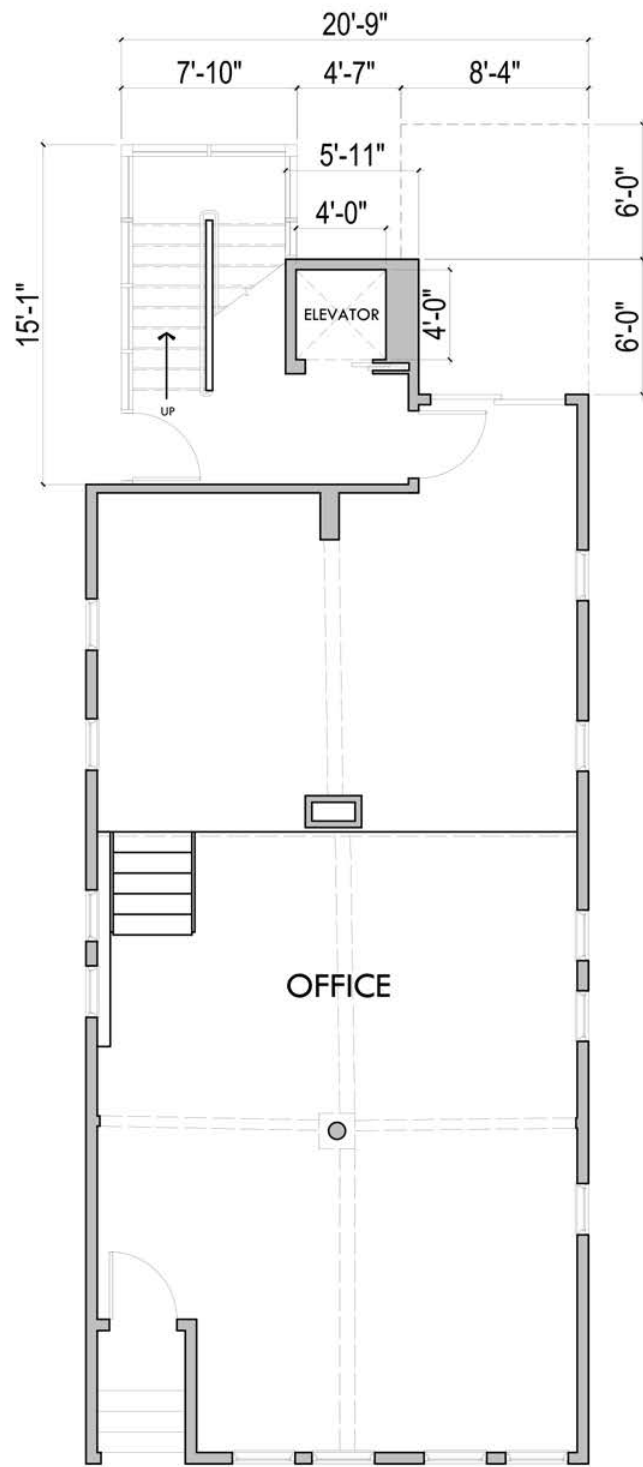
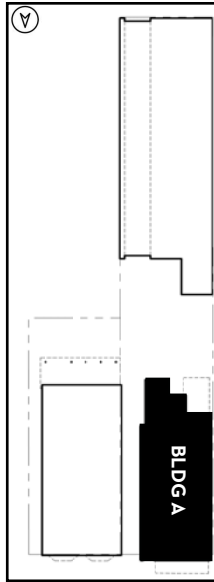


**1st Floor:** One Apartment



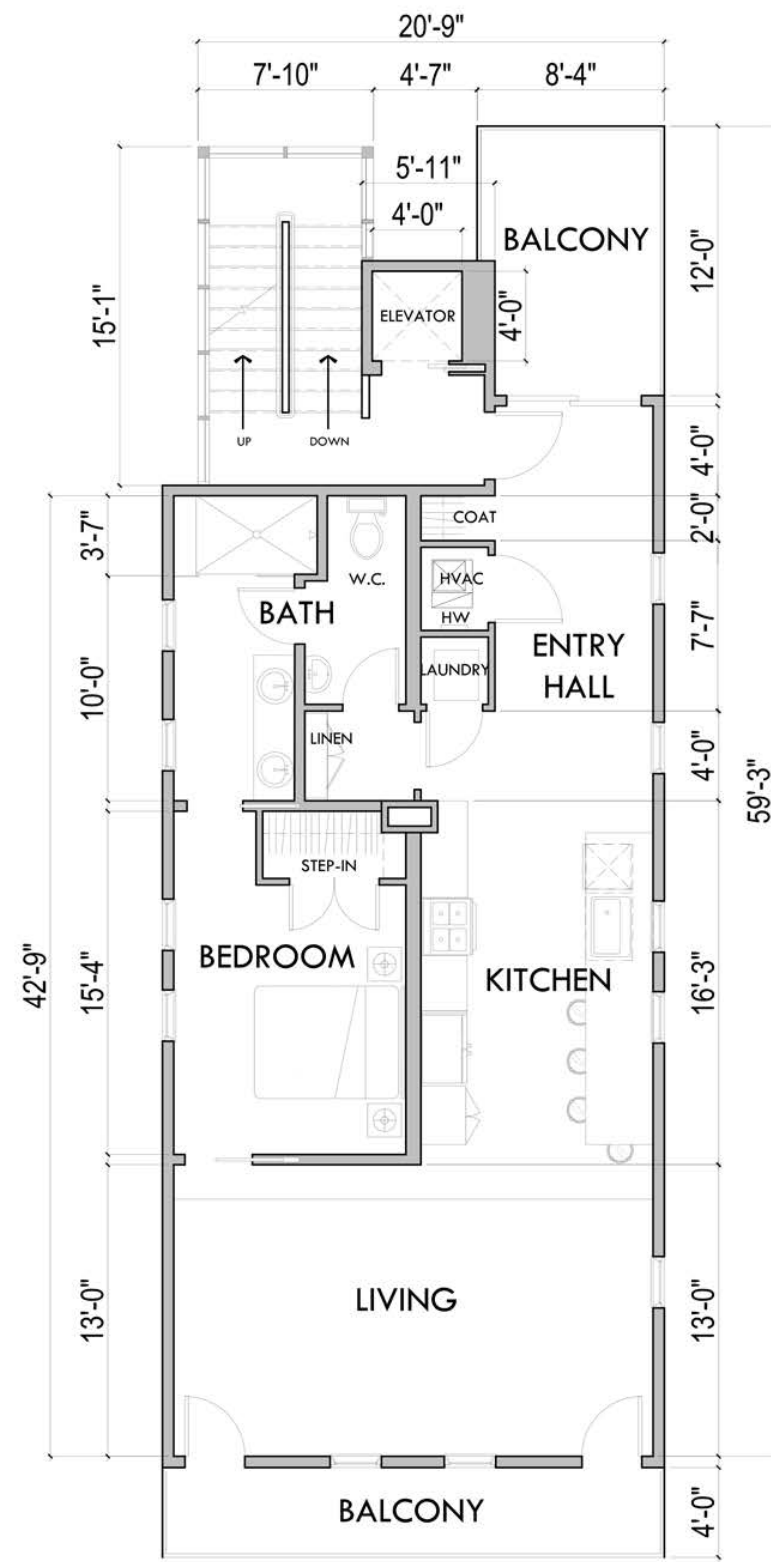
**2nd + 3rd Floors:** Four Apartments





1ST FLOOR  
 $\frac{1}{8}'' = 1'-0''$   
 910 SF

**1st Floor:** One Office



2ND & 3RD FLOOR UNITS  
 $\frac{1}{8}'' = 1'-0''$   
 940 SF

**2nd + 3rd Floors:** Two Residences

# 12404 Mayfield Road Proposed Floor Plans

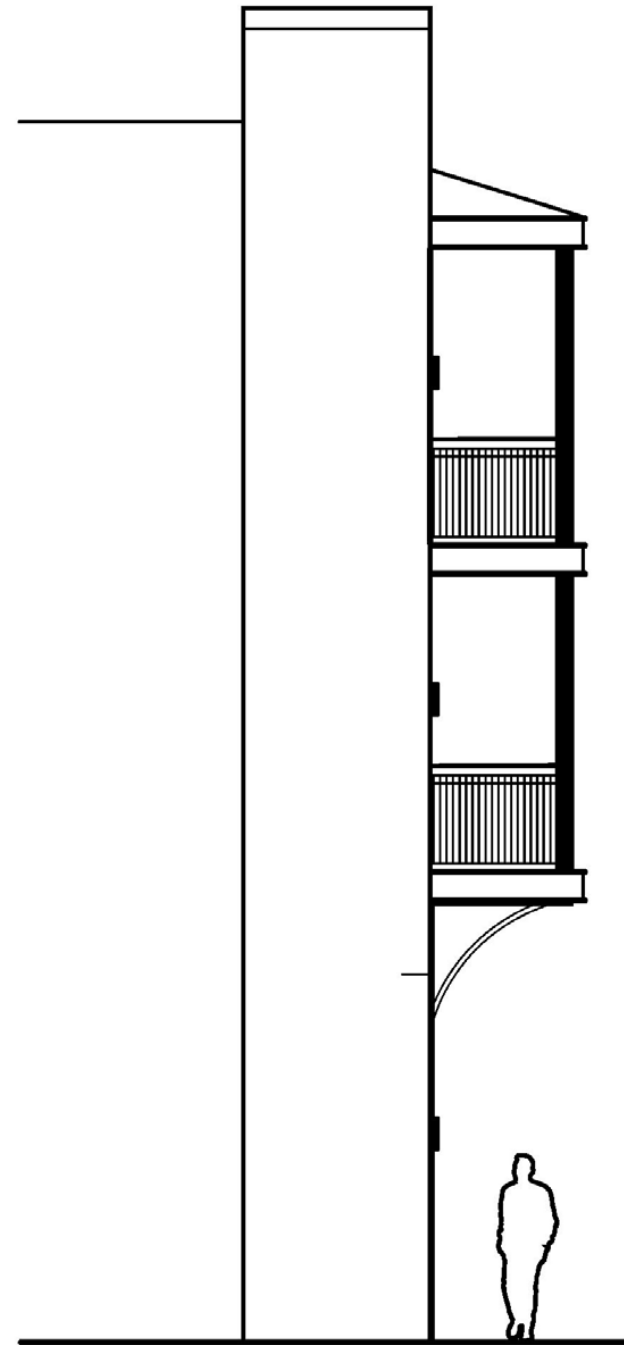


12404 Mayfield Road | Proposed Use Diagram

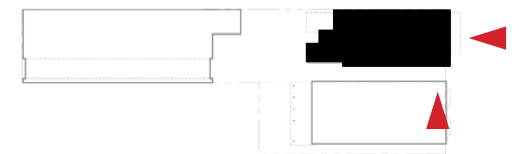




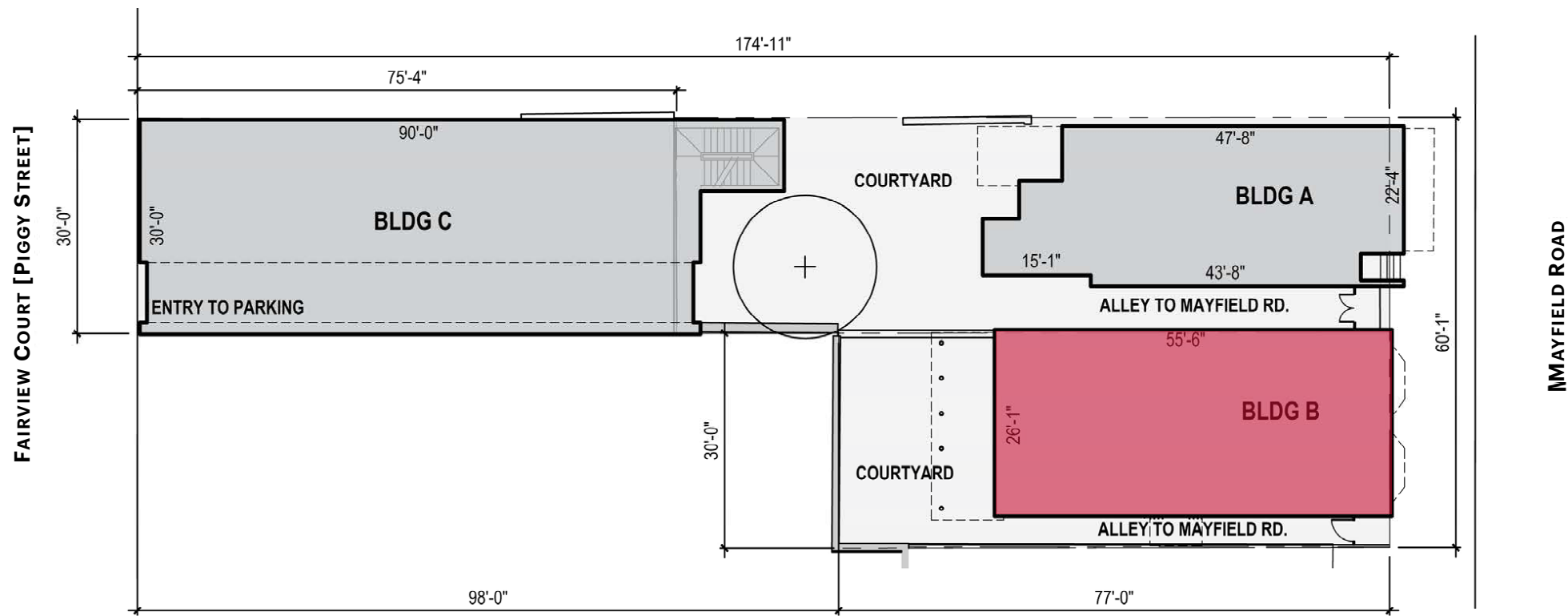
NORTH ELEVATION - MAYFIELD RD



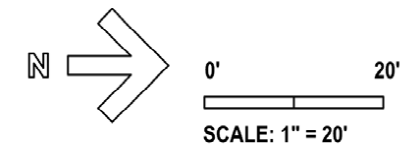
EAST PARTIAL ELEVATION - ALLEY



# 12404 Mayfield Road | Proposed Elevation



# 12408 Mayfield Road



## Scope:

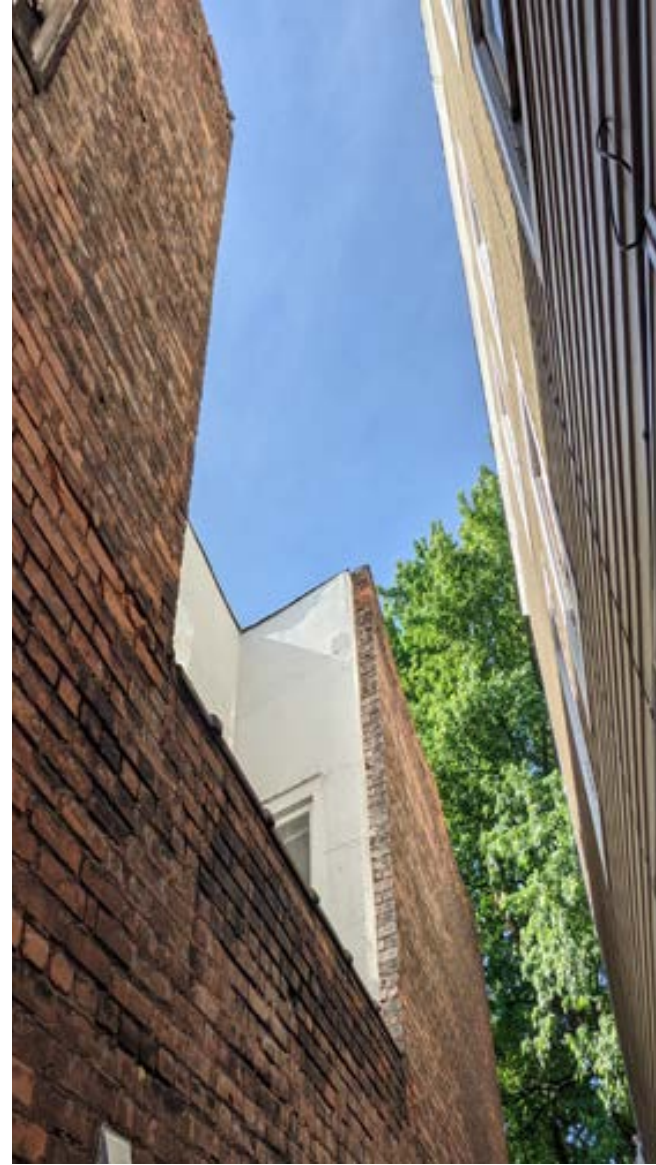
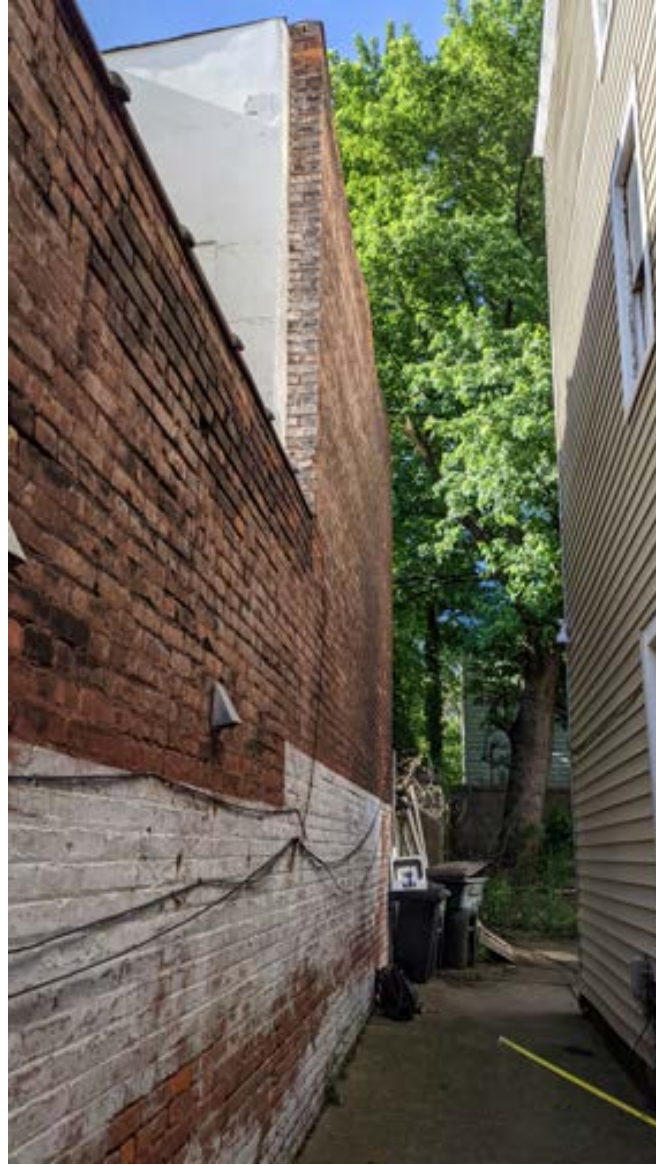
- Renovation of existing building
- Currently includes Four (4) apartments [Two (2) up, Two (2) down]
- Proposed conversion to create:
  - One (1) residences above One (1) office space
  - Residence to be sold as condominium





12408 Mayfield Road  
Existing Conditions





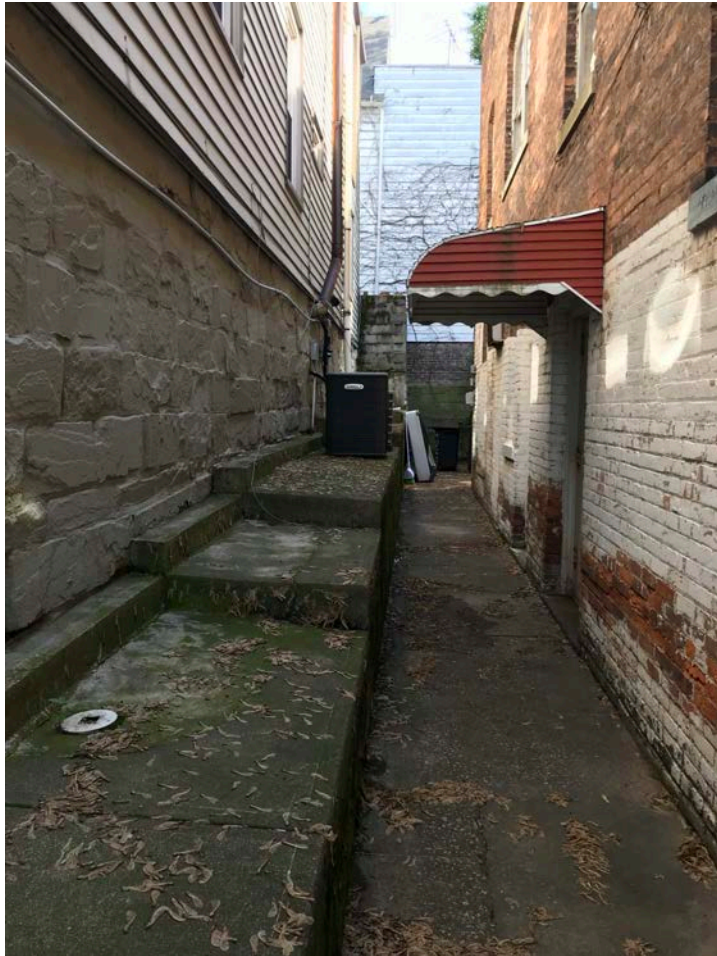
12408 Mayfield Road  
Existing Conditions





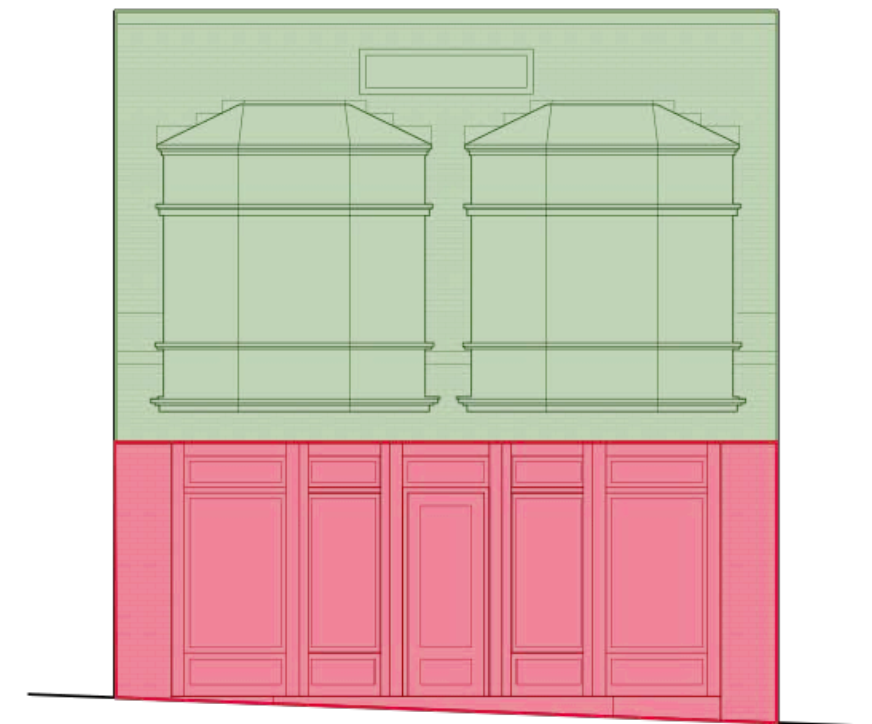
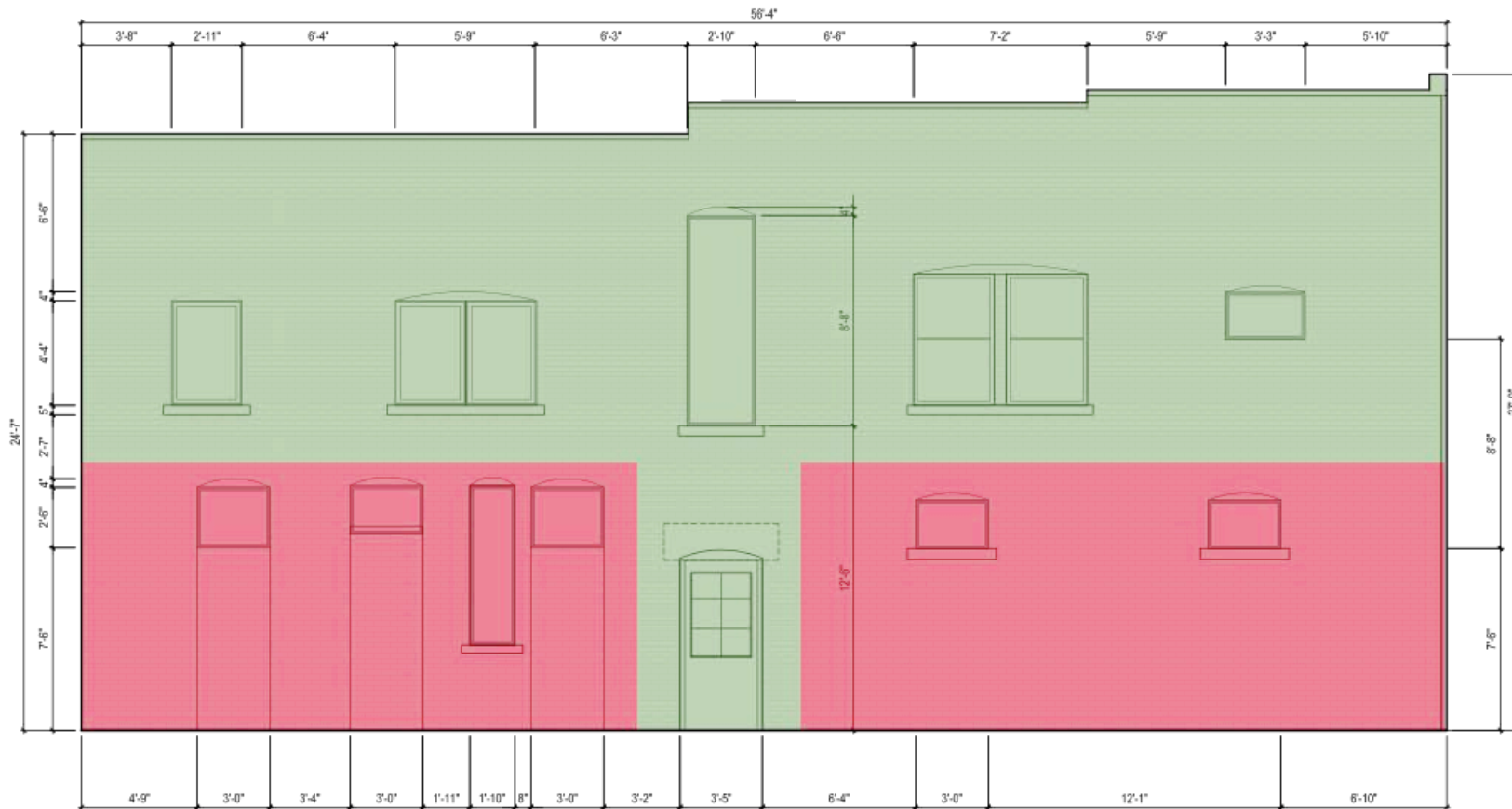
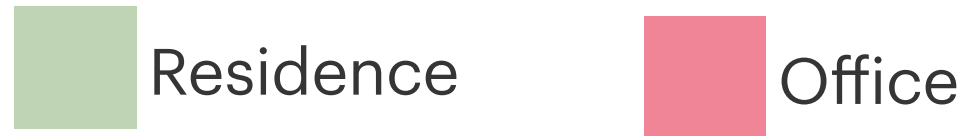
Existing Conditions | 12404+8 Mayfield Road  
Rear Courtyards



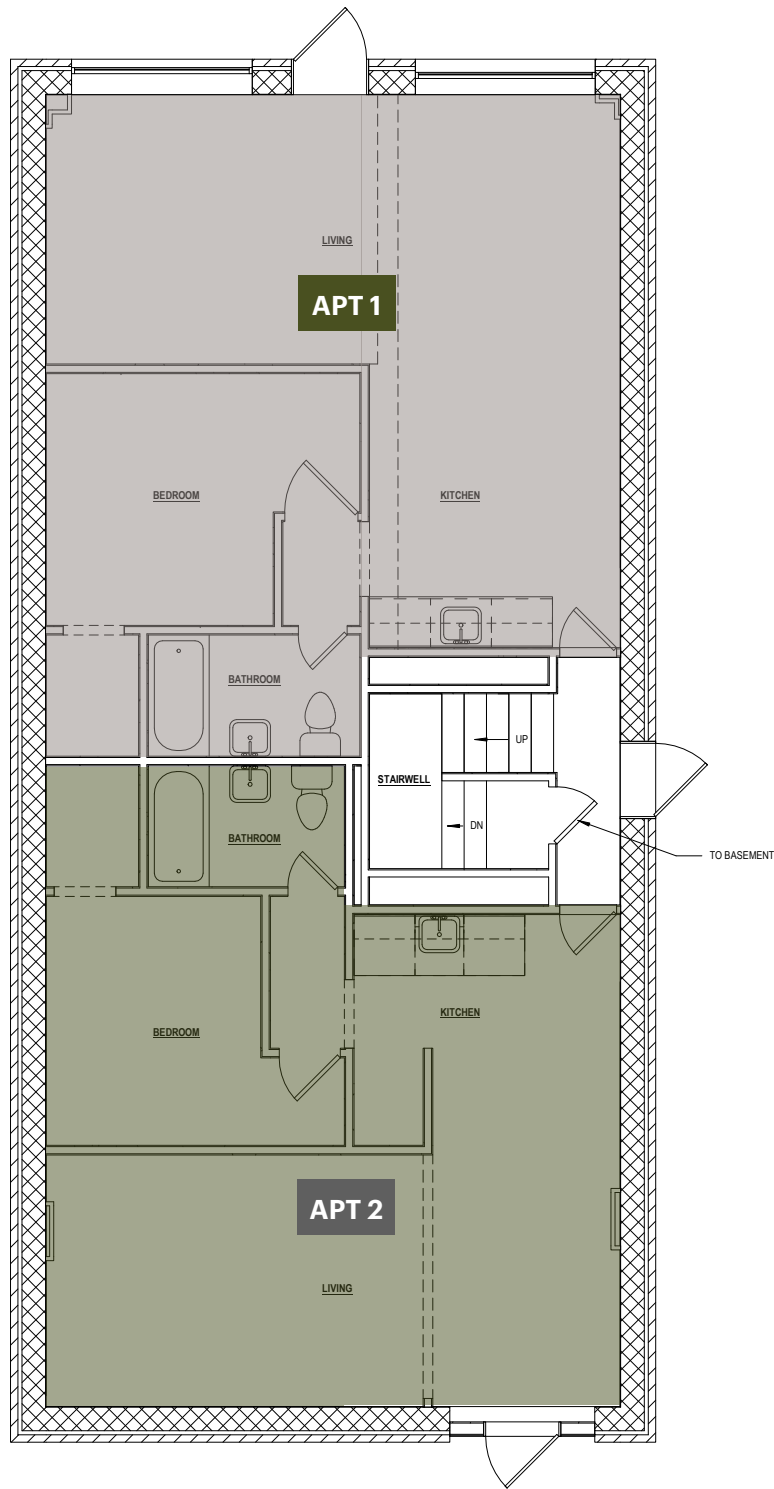
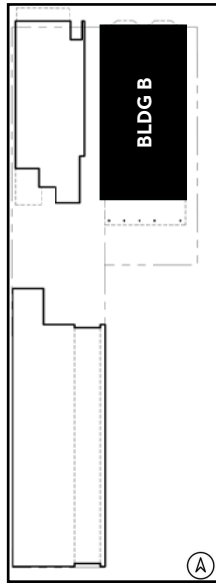


Existing Conditions | 12408 Mayfield Road  
Walkway to Rear Courtyard

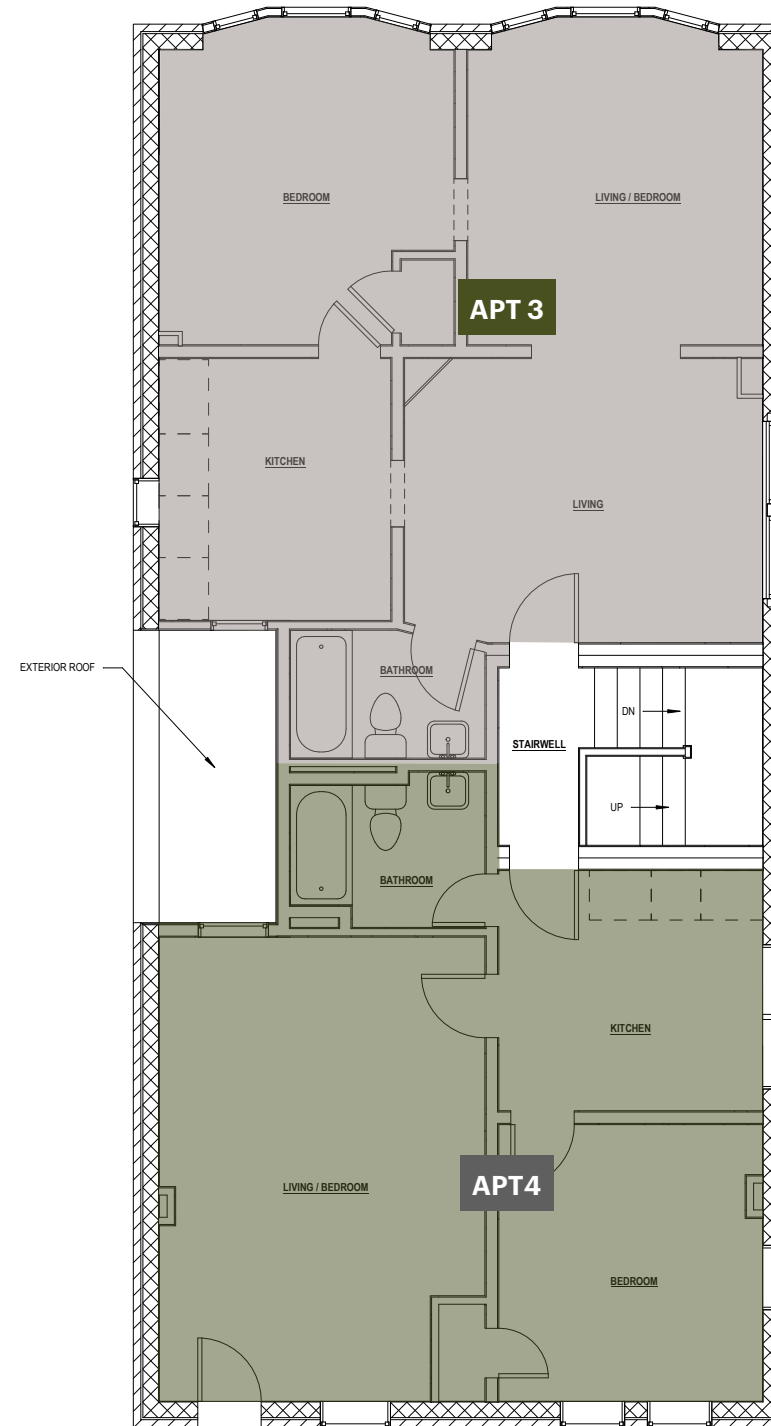




12408 Mayfield Road | Proposed Use Diagram



**1<sup>st</sup> Floor:** Two Apartments

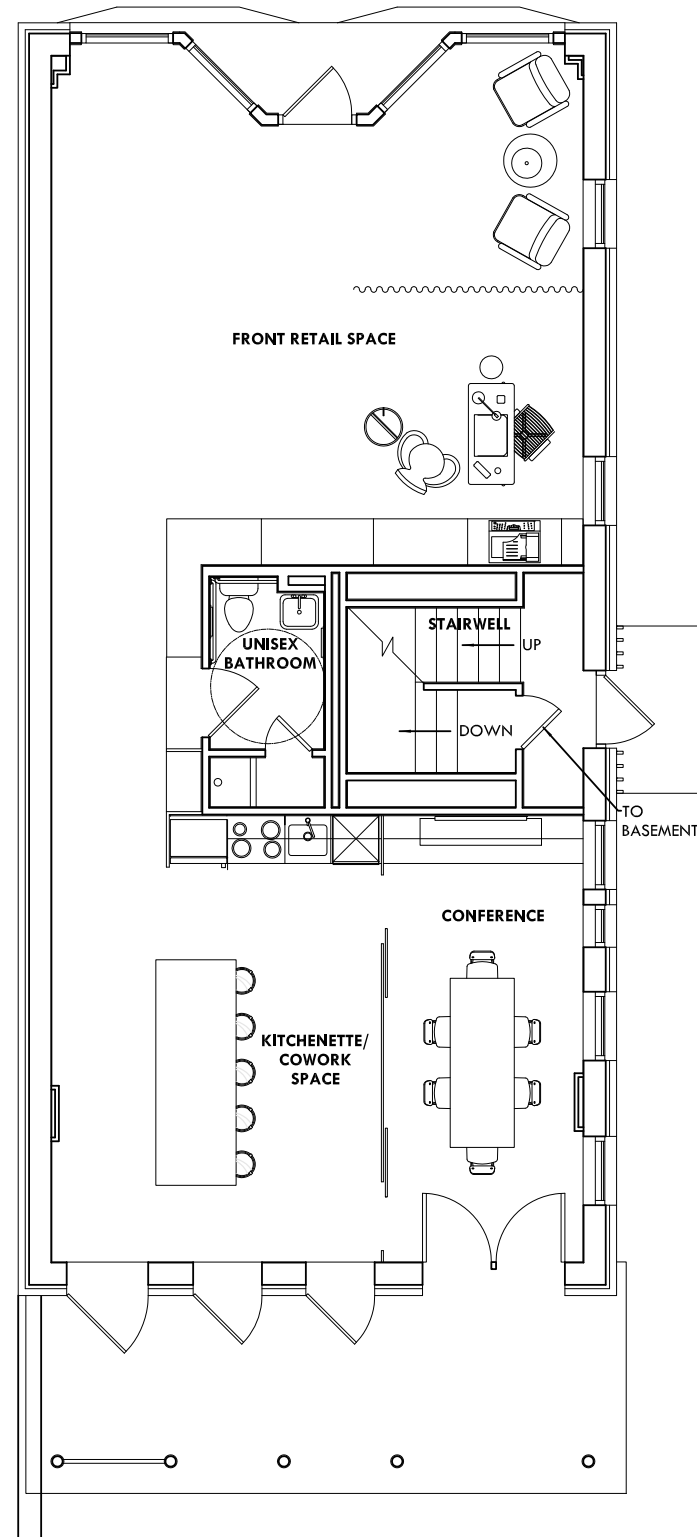
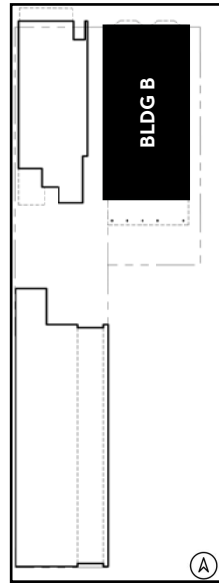


**2<sup>nd</sup> Floor:** Two Apartments

# 12408 Mayfield Road

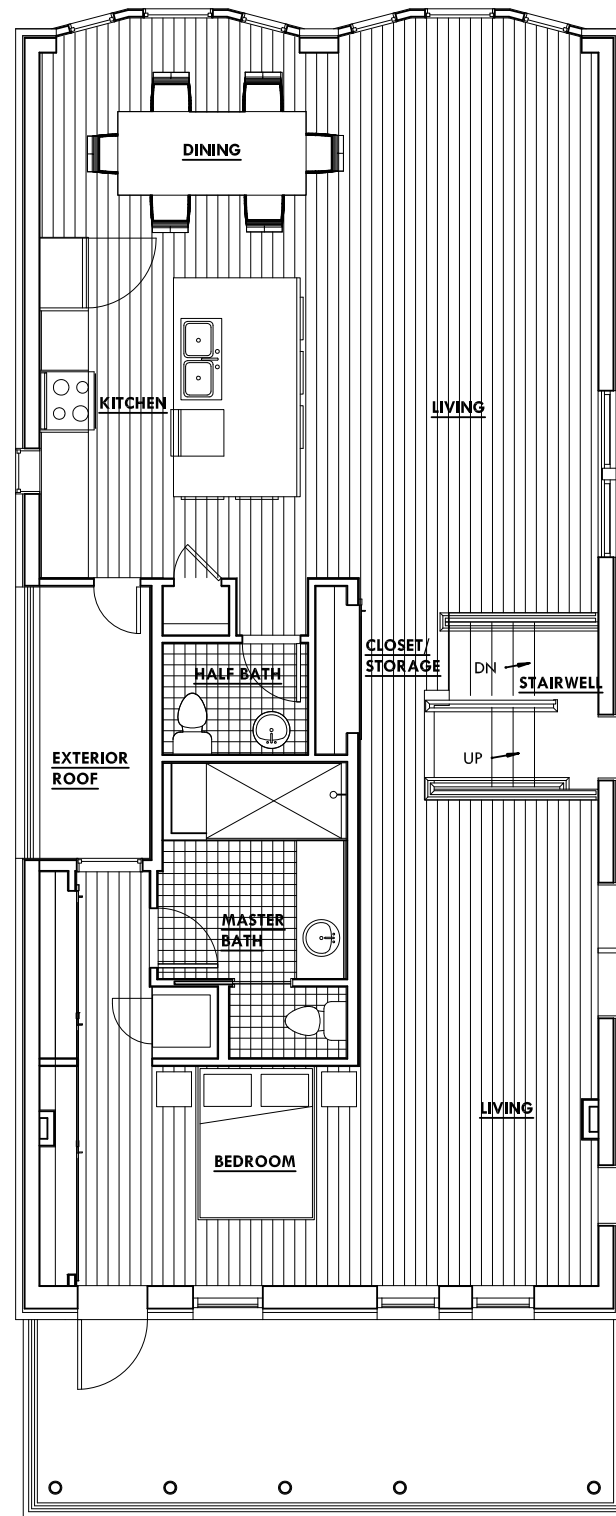
## Existing Floor Plans





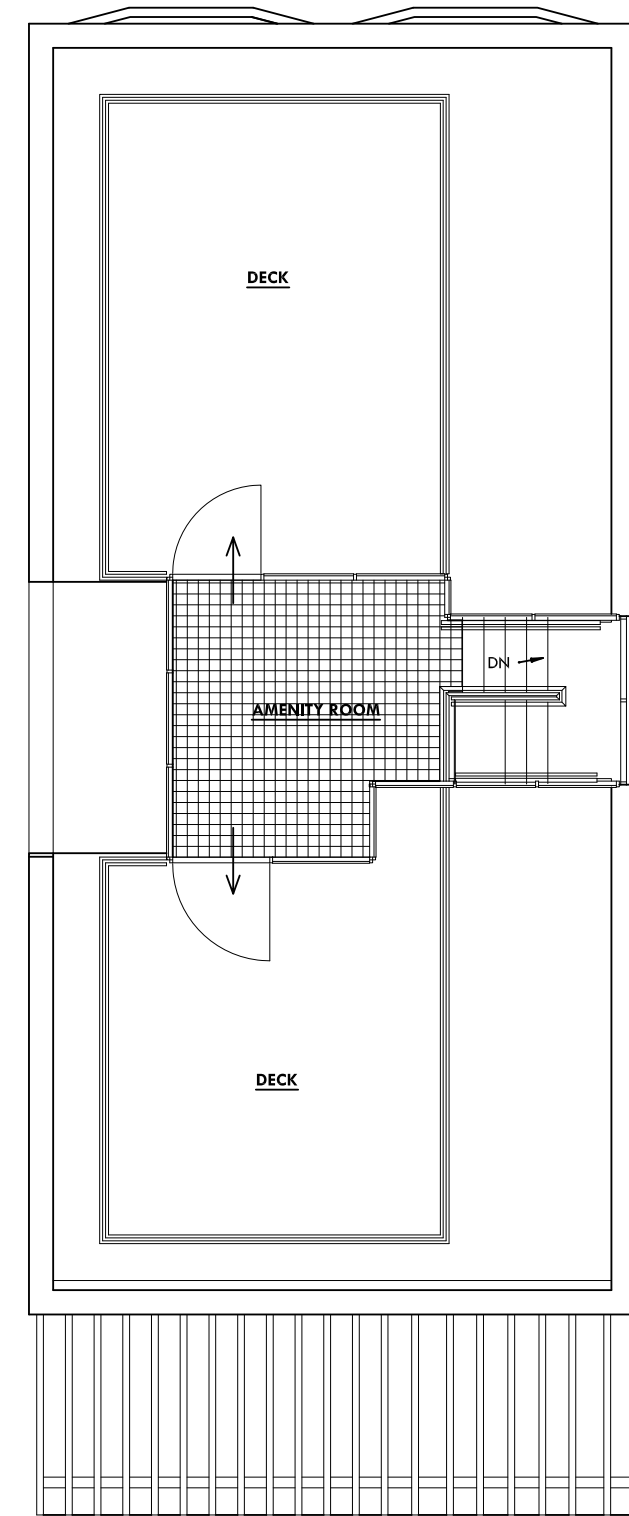
GROUND FLOOR PLAN  
SCALE 1/8"=1'

**1<sup>st</sup> Floor:** One Office



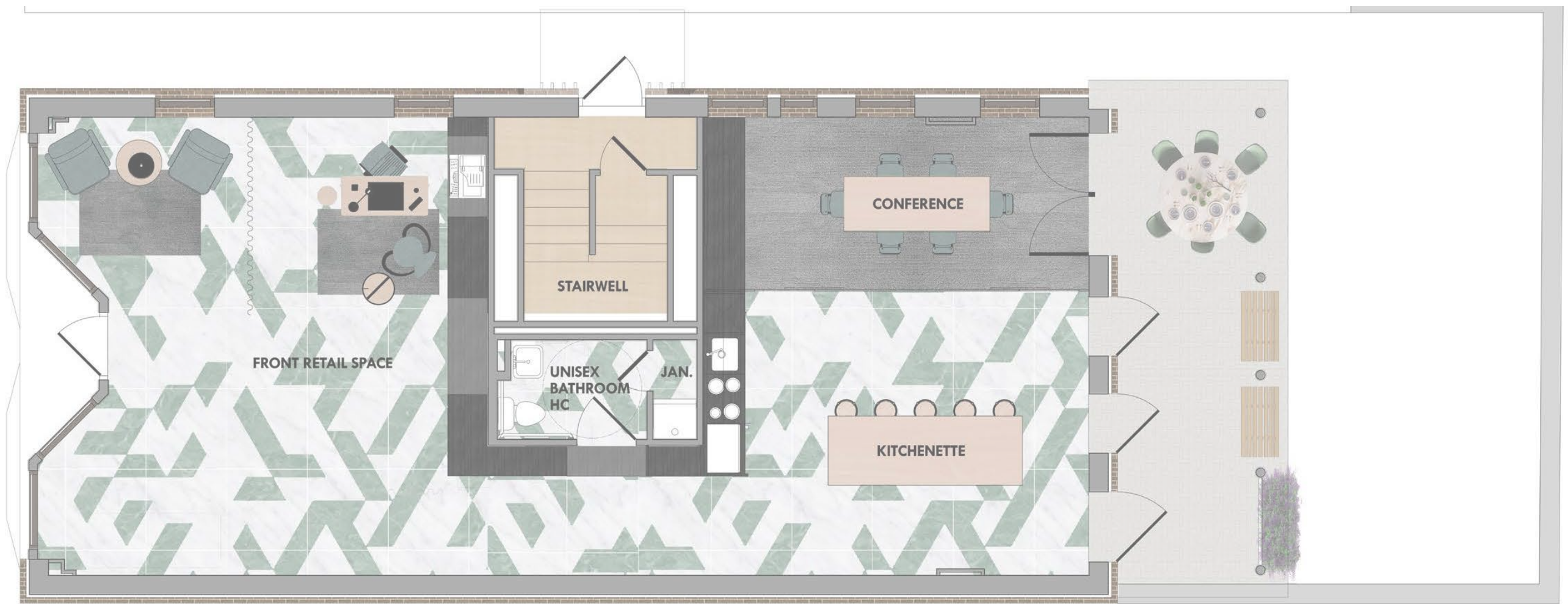
SECOND FLOOR PLAN  
SCALE 1/8"=1'

**2<sup>nd</sup> Floor:** One Residence



ROOF PLAN  
SCALE 1/8"=1'

12408 Mayfield Road  
Proposed Floor Plans



12408 Mayfield Road | Proposed Office Space Plan



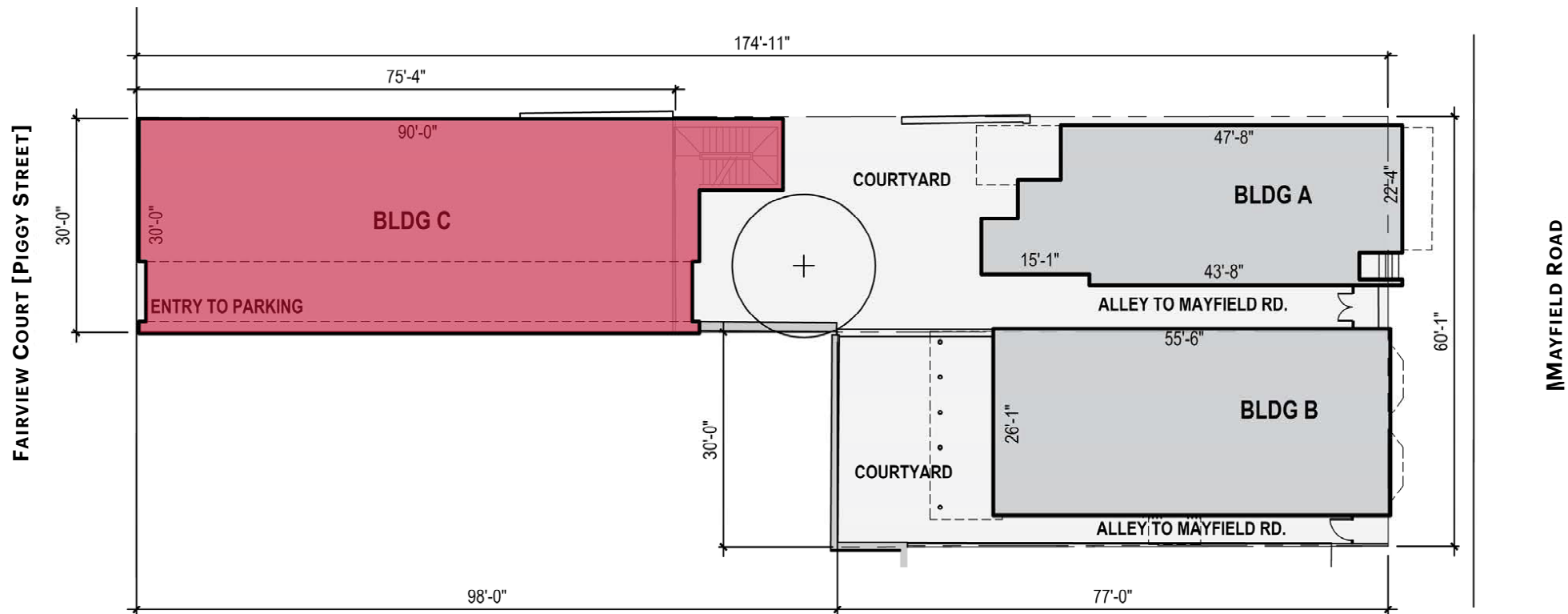


12408 Mayfield Road | Proposed Front Elevation

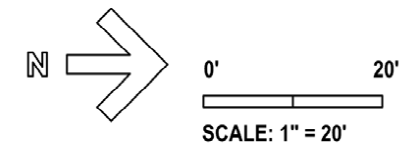


12408 Mayfield Road | Proposed Rear Elevation



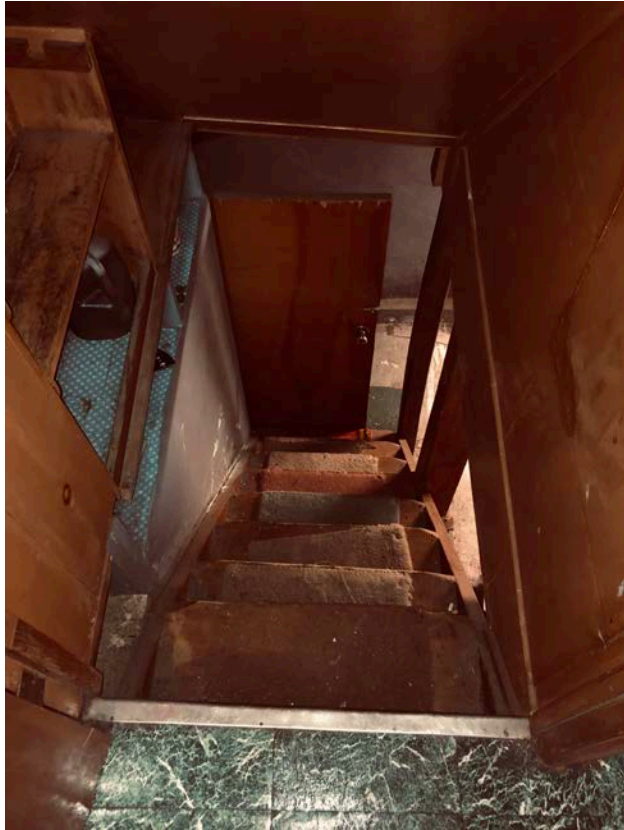


# 12405 Fairview Court [Piggy Street]



## Scope:

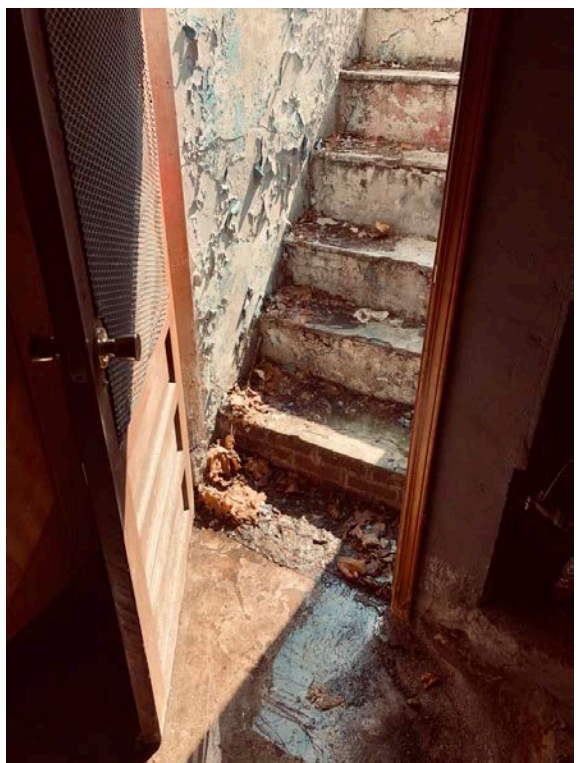
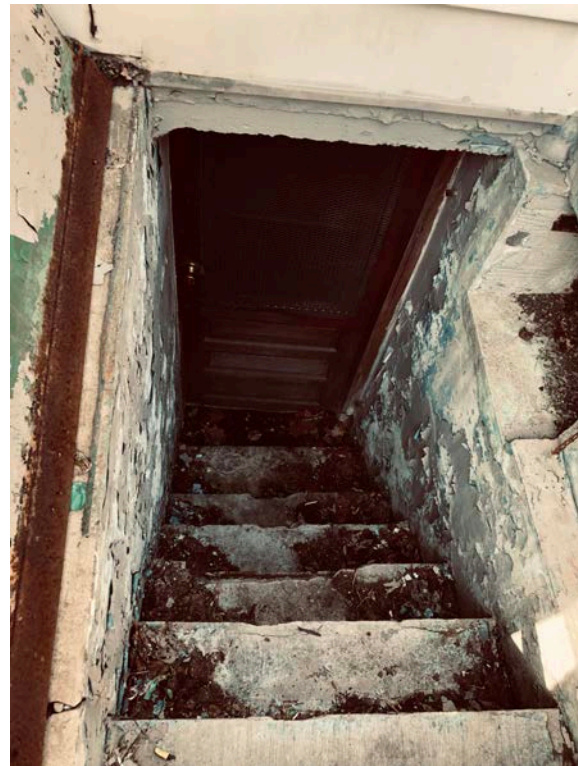
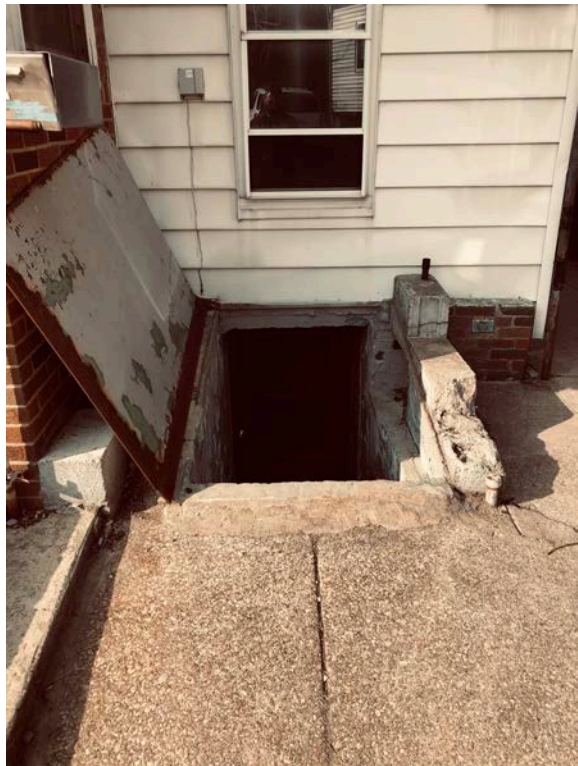
- Demolition of existing 3-F structure
- Construction of three-story, podium-style building
  - Two (2) residences above at-grade parking level
  - Residences to be sold as condominiums
  - Site will accommodate Five (5) parking spaces total
    - Two (2) spaces for these Two (2) residences and Three (3) spaces for the Three (3) residences on Mayfield Road



12405 Fairview Court  
[Piggy Street]  
Existing Conditions







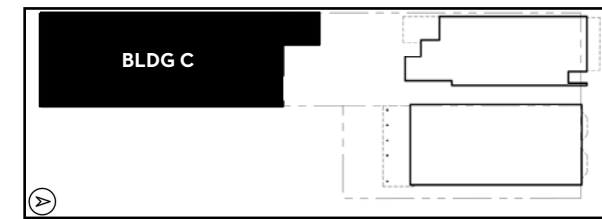
12405 Fairview Court [Piggy Street]  
Existing Conditions



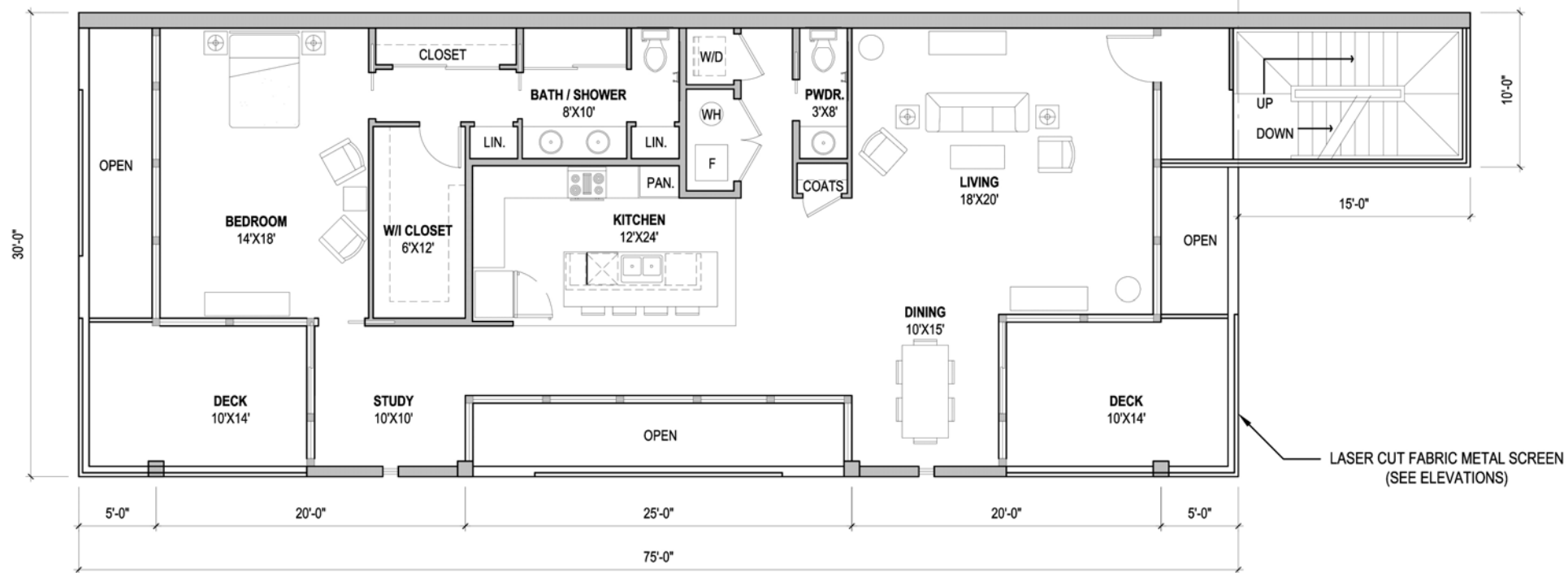


12405 Fairview Court [Piggy Street]  
Existing Conditions

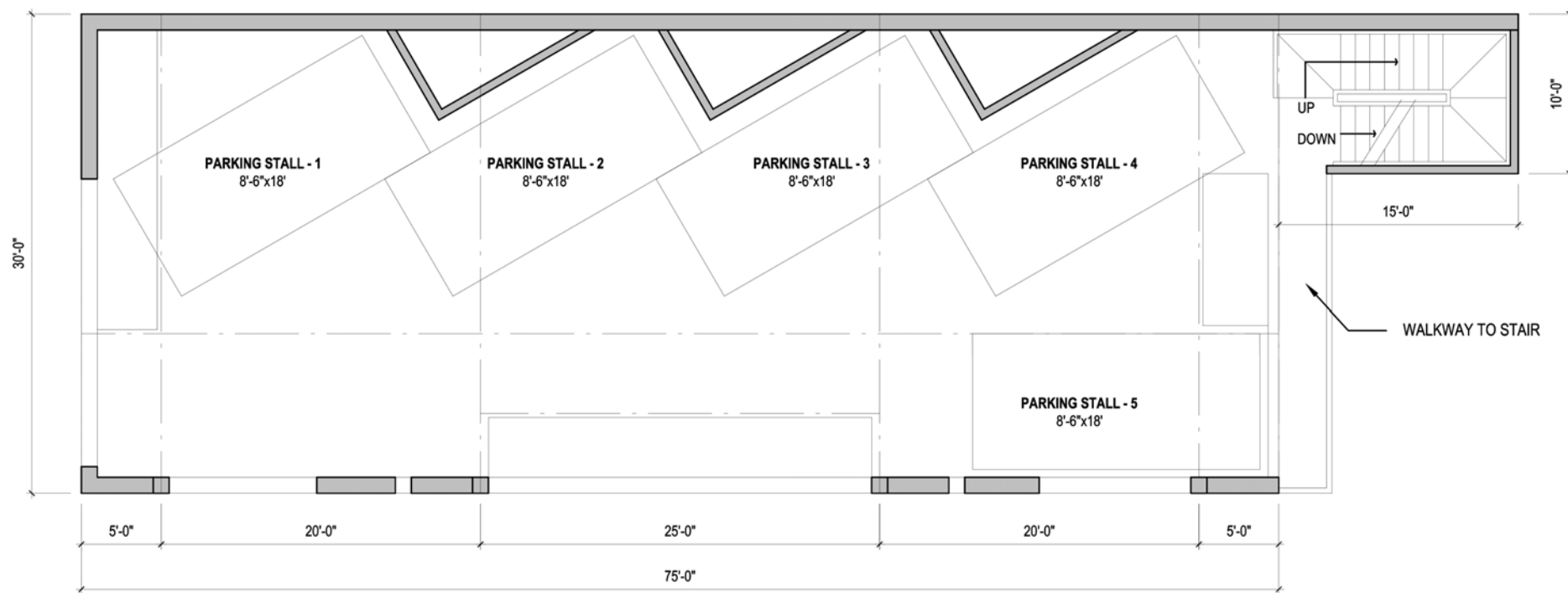




# 12405 Fairview Court [Piggy Street] Proposed Building Plans

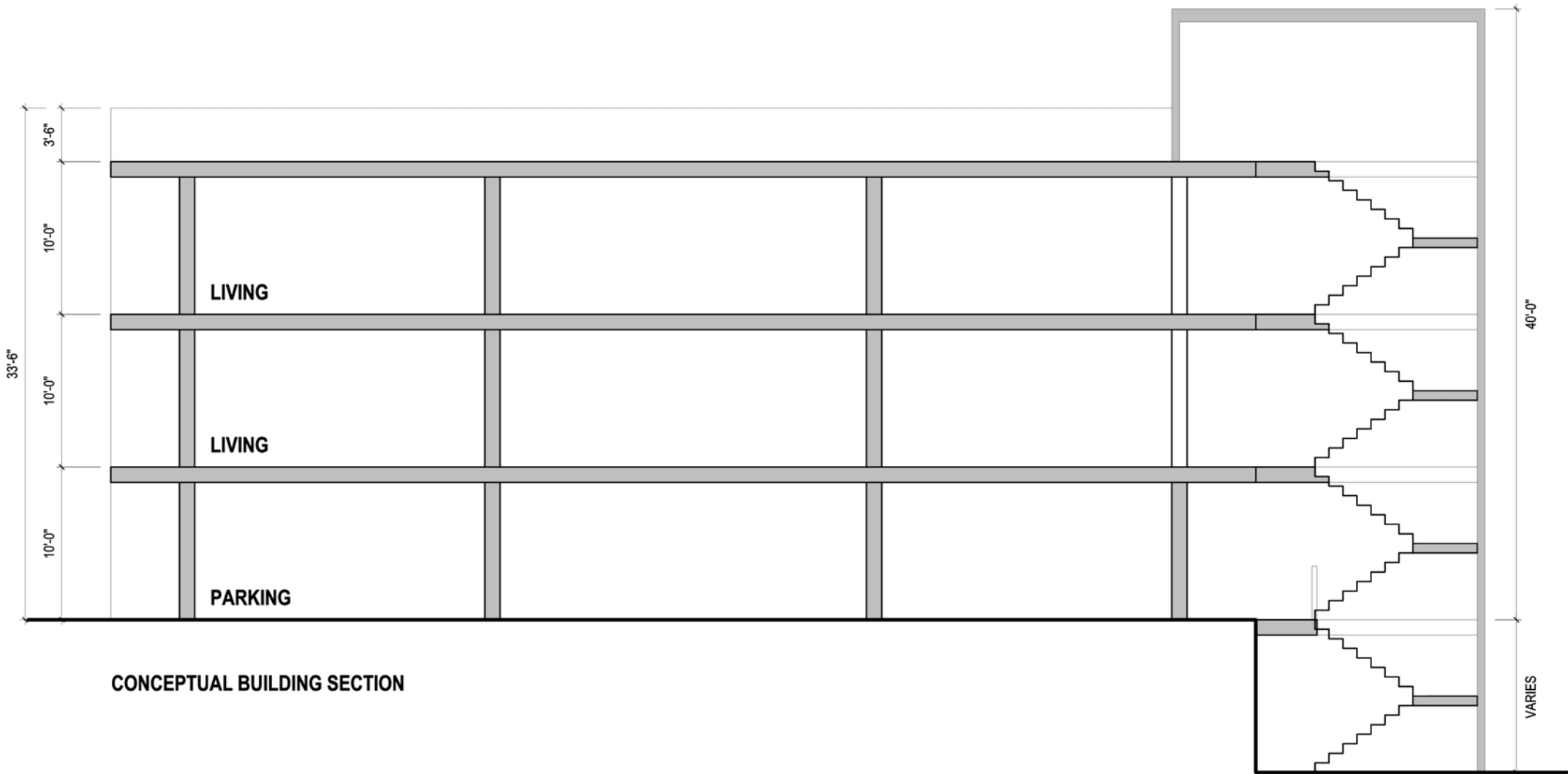
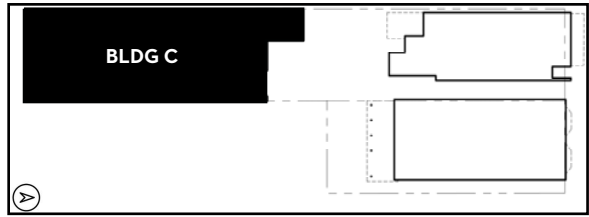


**TYPICAL LIVING FLOOR PLAN**  
1,645 SF (2,400 GROSS BUILDING AREA)



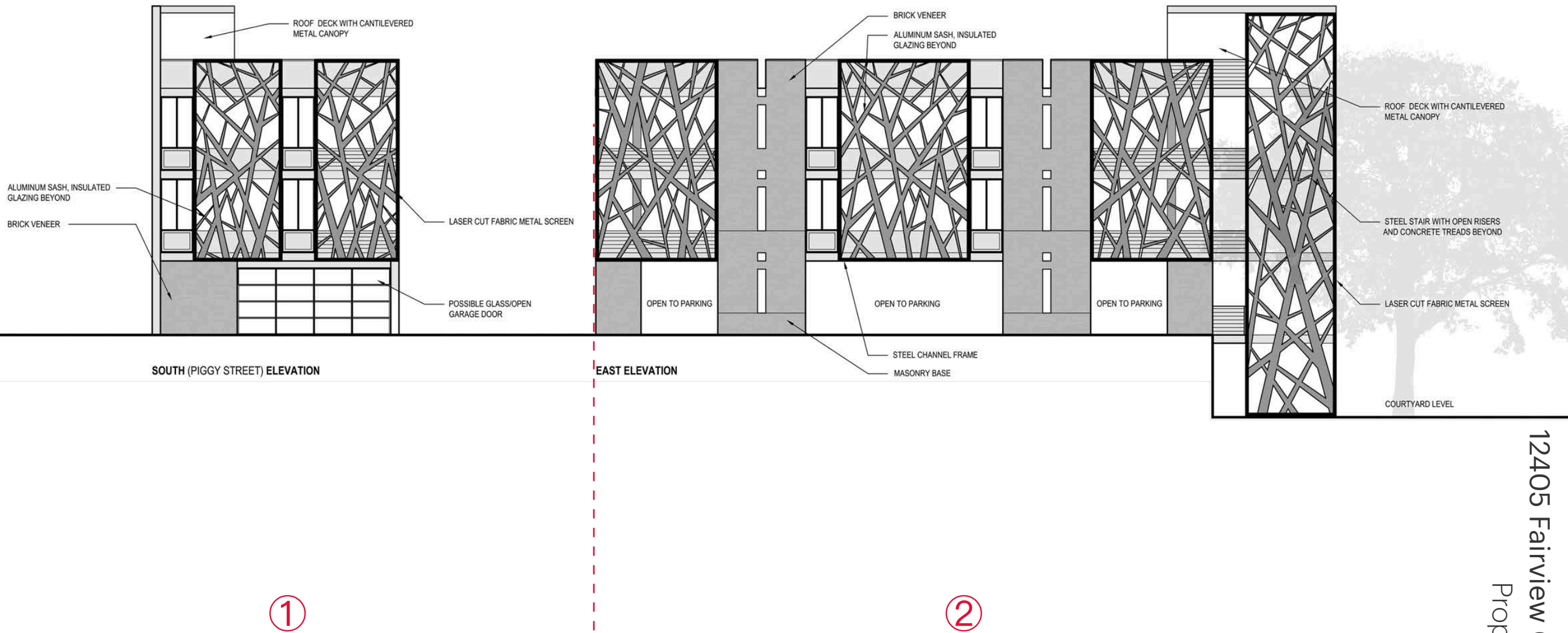
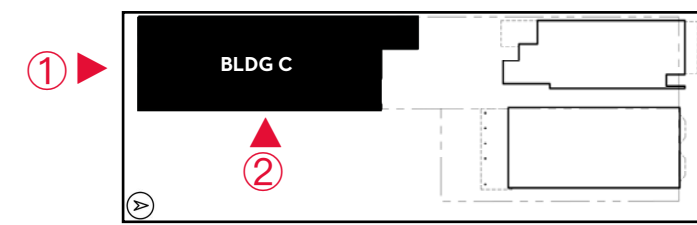
**GROUND FLOOR / SITE PLAN**  
2,400 SF

# 12405 Fairview Court [Piggy Street] Proposed Building Plans



Building Section





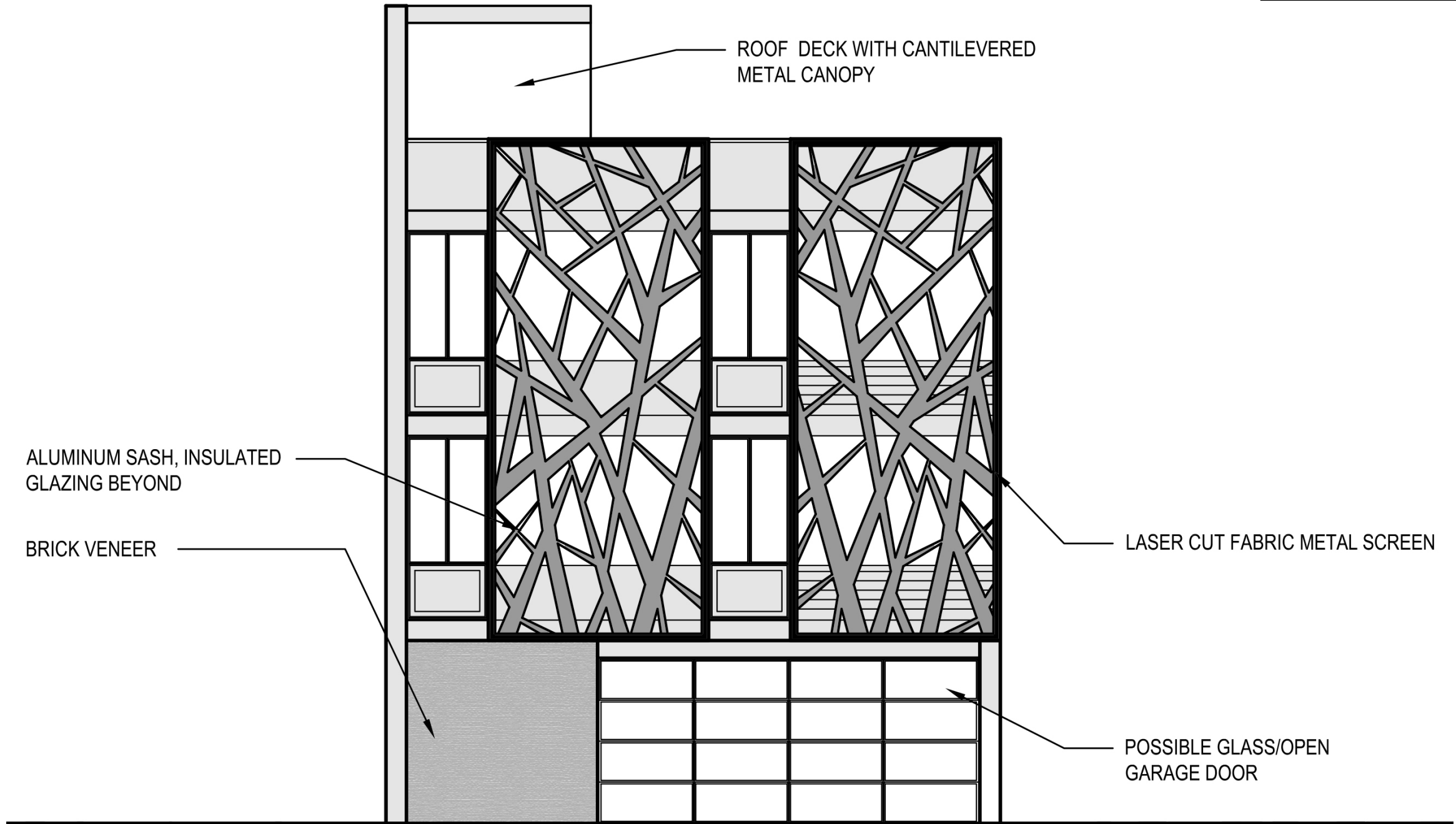
Elevations

12405 Fairview Court [Piggy Street]  
Proposed Building Plans



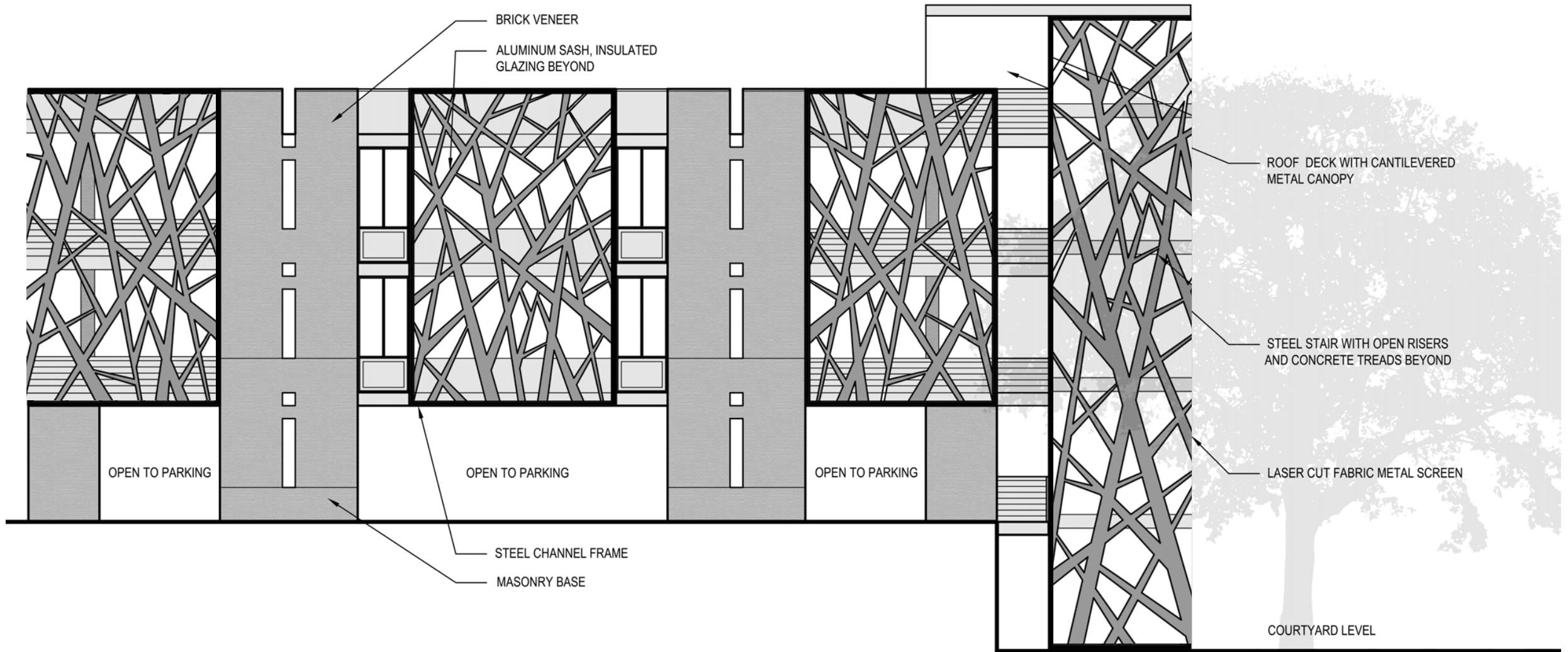
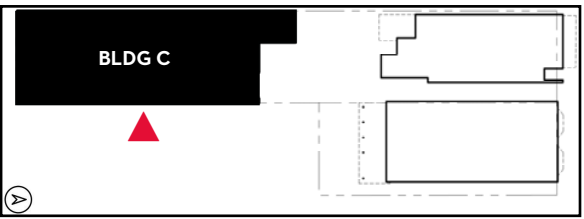
# 12405 Fairview Court [Piggy Street]

## Proposed Building Plans



South Elevation

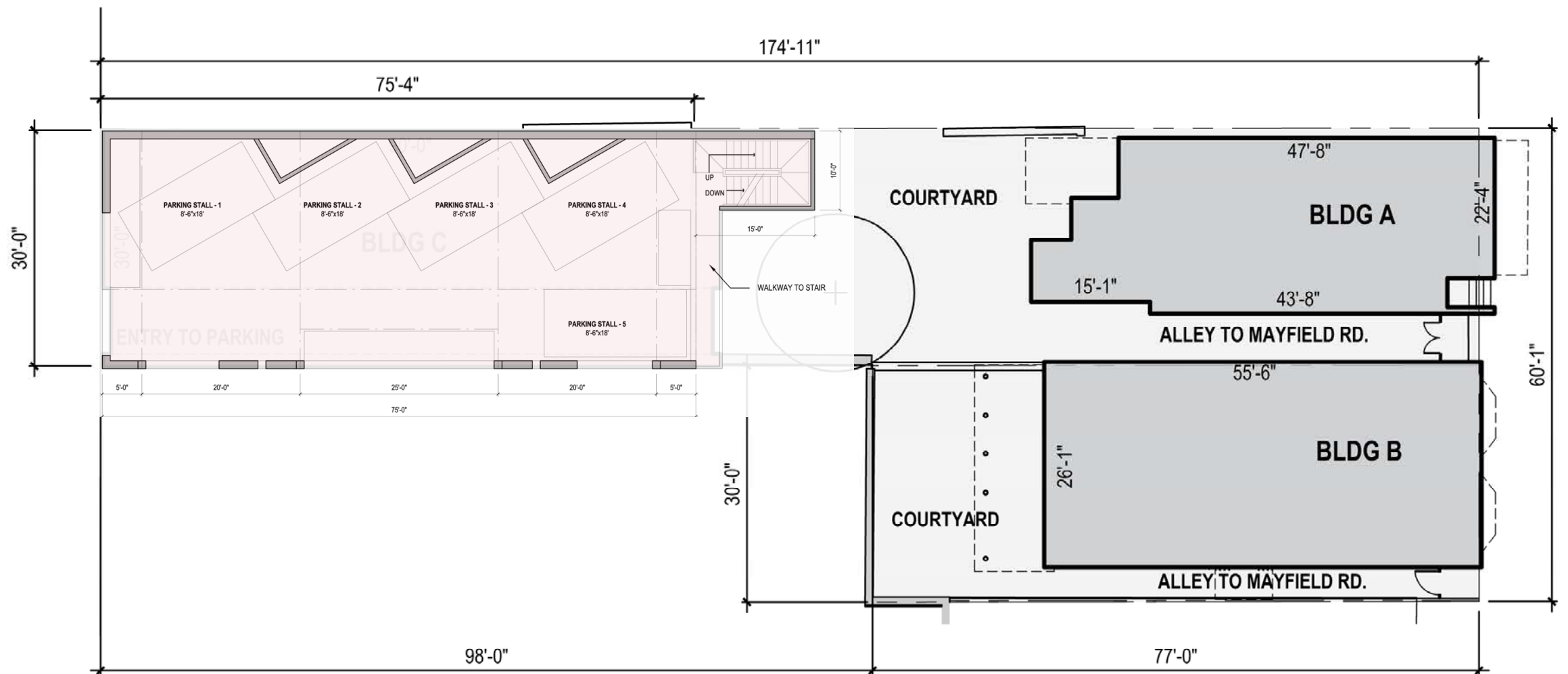




East Elevation

12405 Fairview Court [Piggy Street]  
Proposed Building Plans

FAIRVIEW COURT [PIGGY STREET]

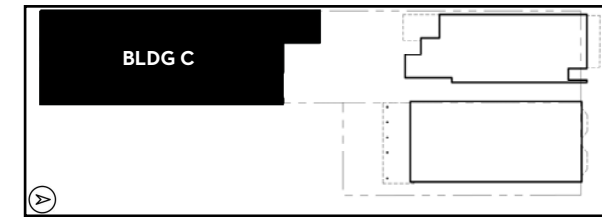
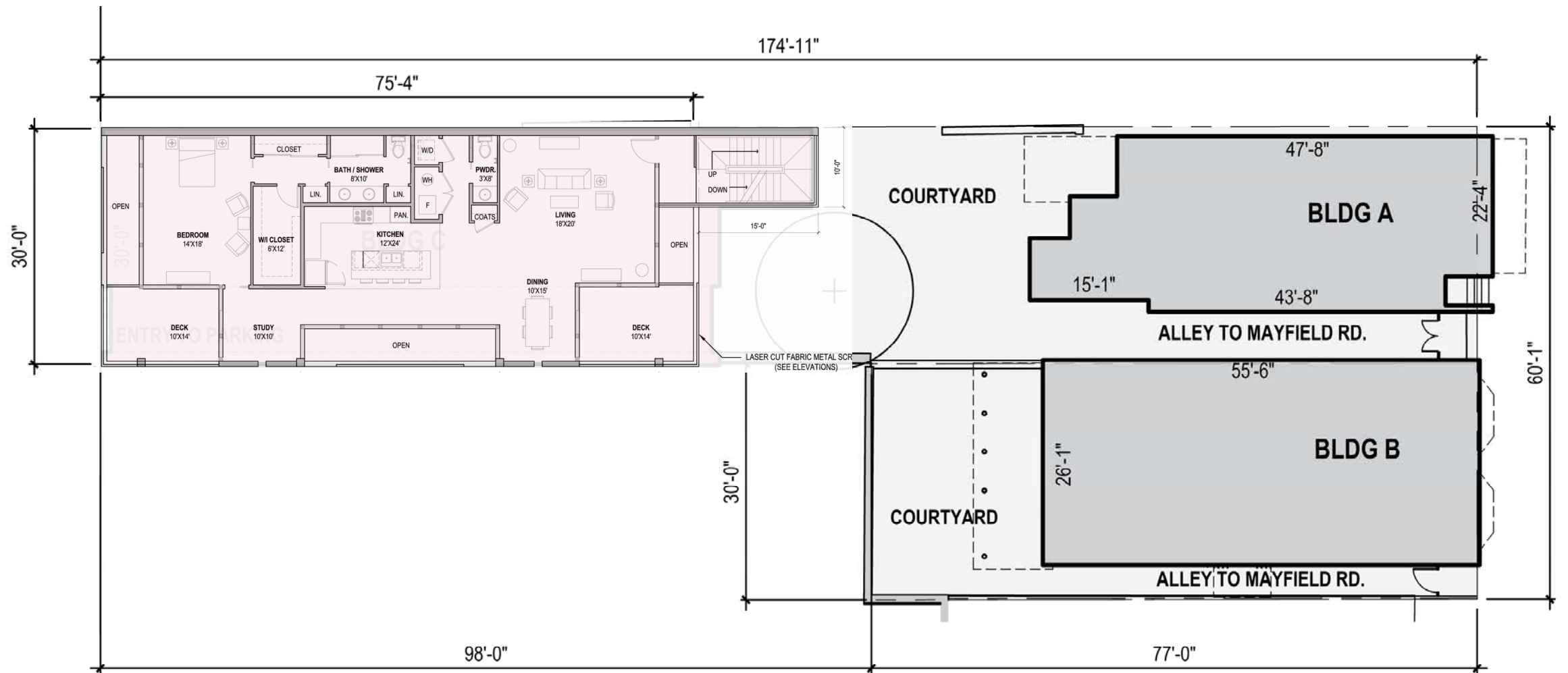


First Floor Plan [at-grade]  
Overlay

12405 Fairview Court [Piggy Street]



FAIRVIEW COURT [PIGGY STREET]

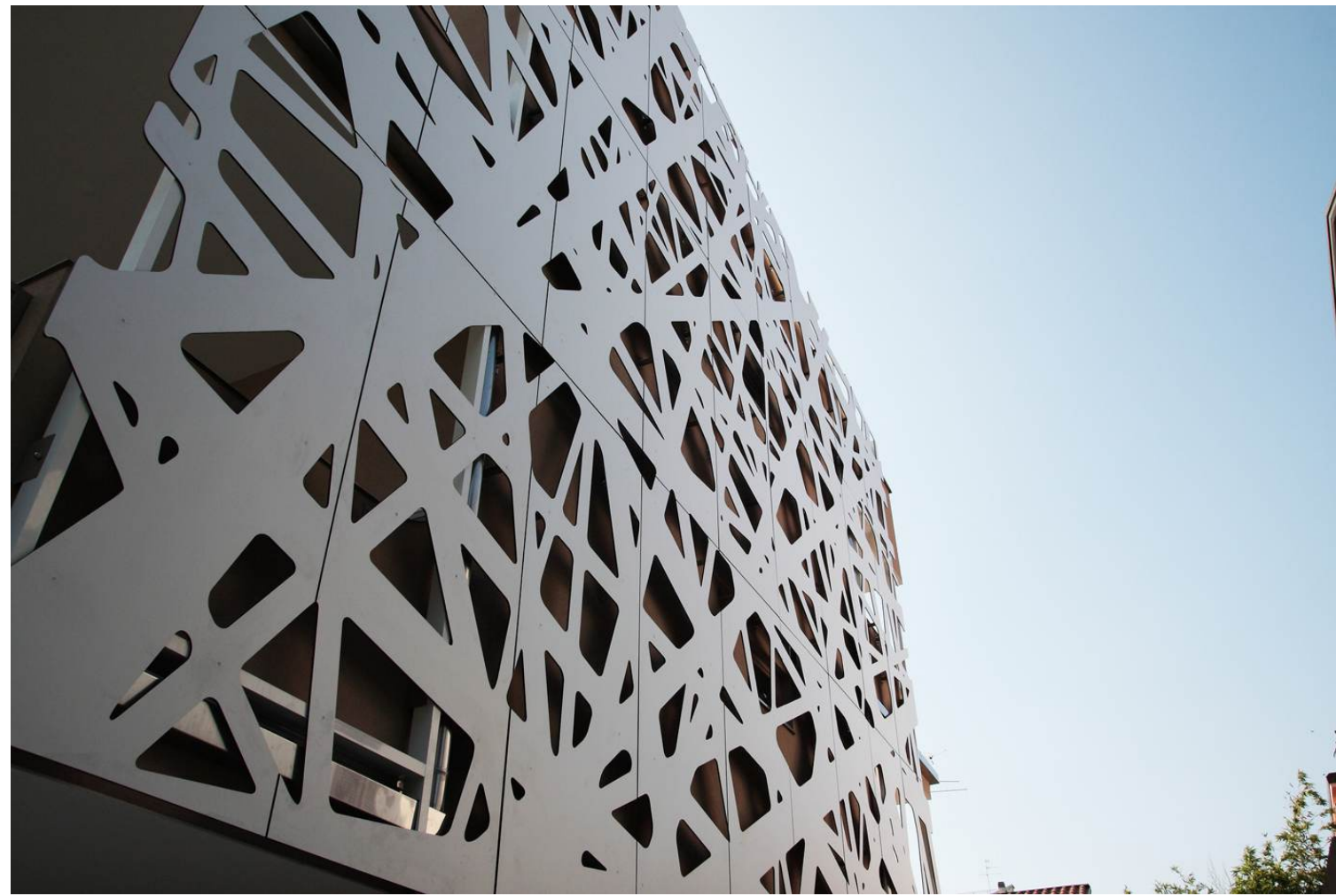


MAYFIELD ROAD

Second & Third Floor Plan  
Overlay

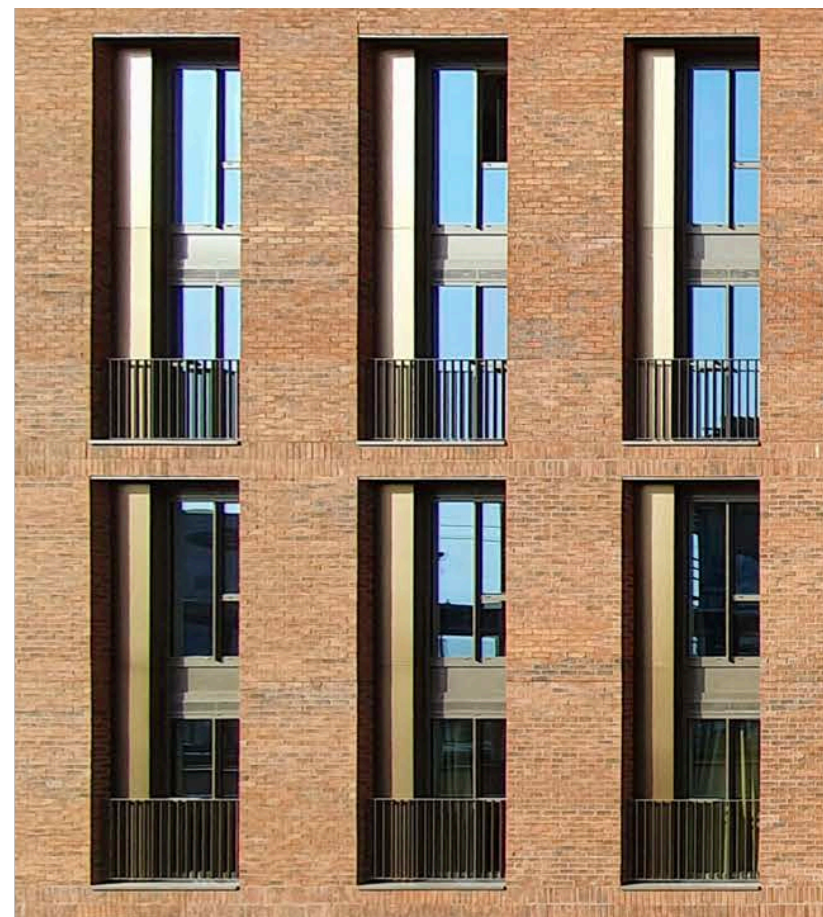
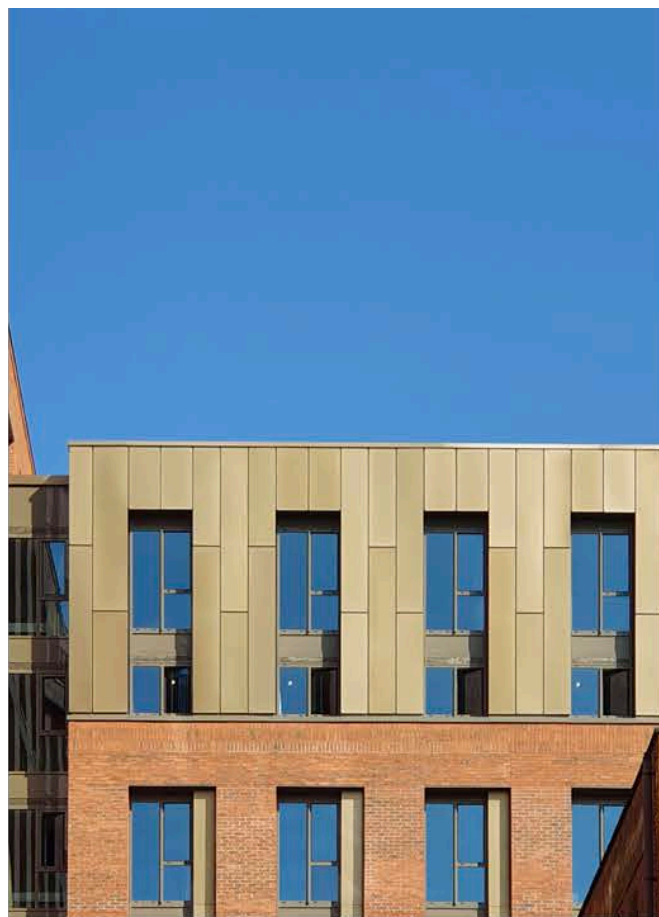
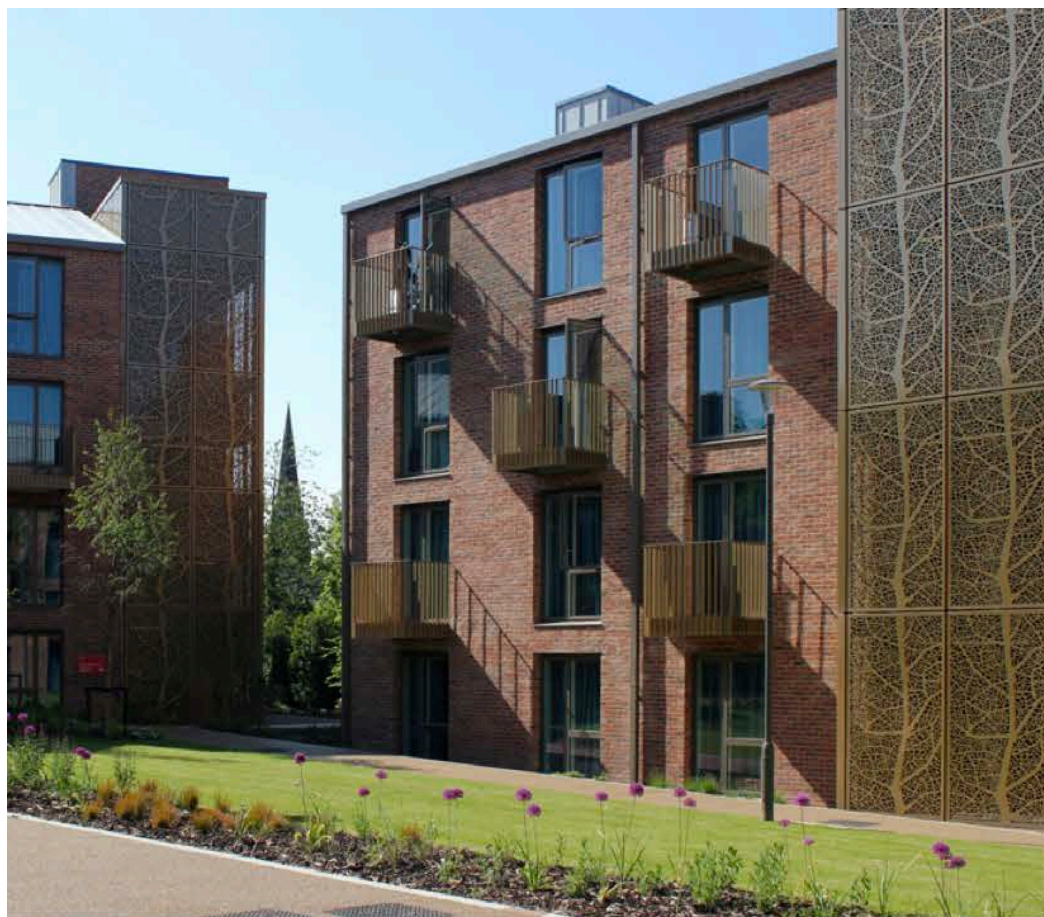
12405 Fairview Court [Piggy Street]





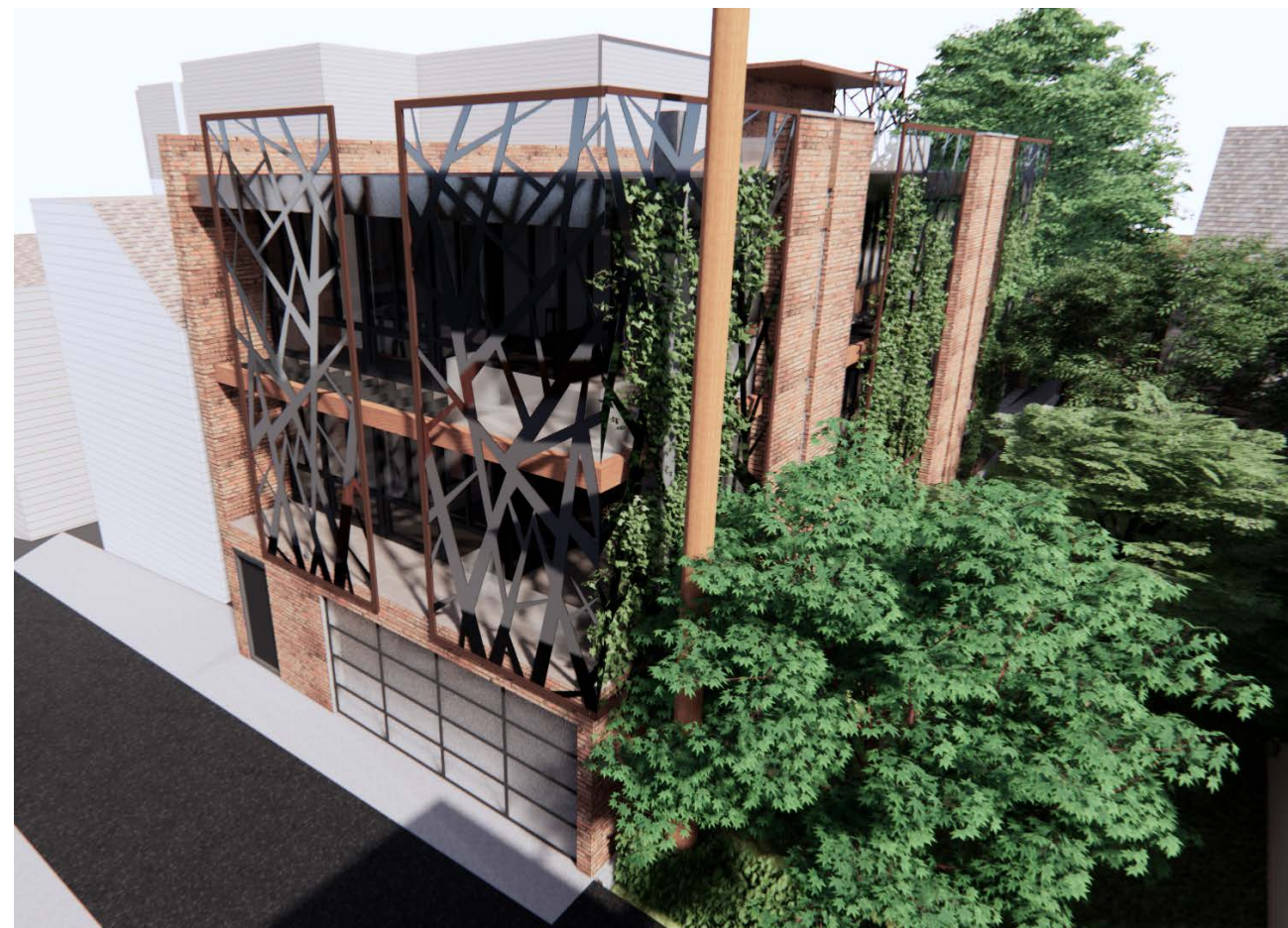
Design Reference - 12045 Fairview Court





Design Reference - 12045 Fairview Court





12045 Fairview Court



THANK YOU

QUESTIONS/COMMENTS

FEBRUARY 10<sup>TH</sup>, 2022



NO  
PARKING  
IN THIS  
COURT

2405 E. 11th St. 11-11-11





**Case 22-022:** Ohio City Historic District

**3408 Clinton Avenue**

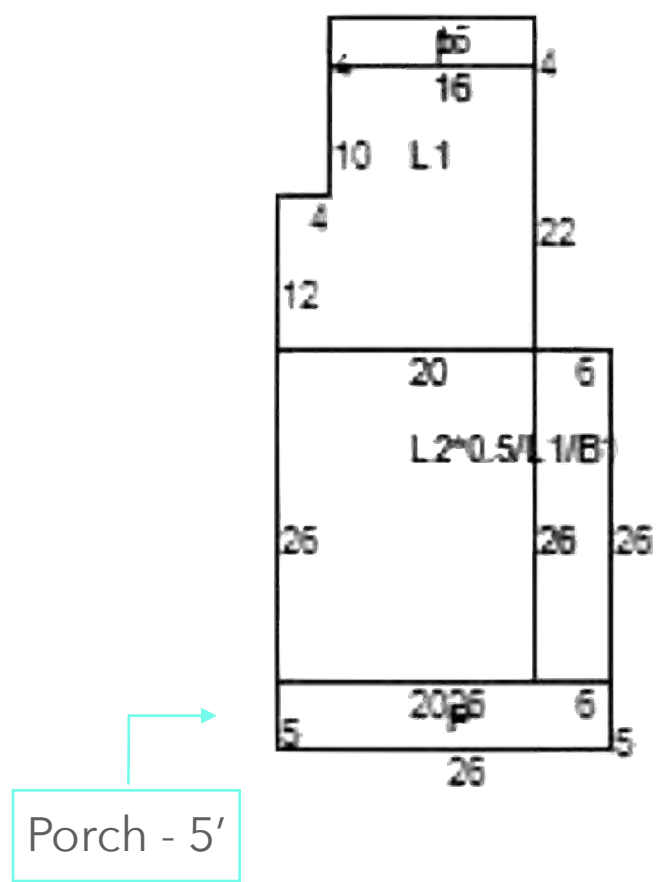
Renovation and Addition

Ward 3: McCormack

Project Representatives: Gregory Soltis, Architect; Matthew Wymer, WXZ Development



**Subject:**  
3408 Clinton Court  
Cleveland, Ohio 44106  
PPN: 003-26-033  
Parcel Size: 5,346 ft<sup>2</sup> [0.12 Ac.]  
Dimensions: 33' x 162'  
Building Size: 1,466 ft<sup>2</sup>  
Year Built: 1870  
Basement: Yes  
Basement Size: 920 ft<sup>2</sup>











Parcel Map





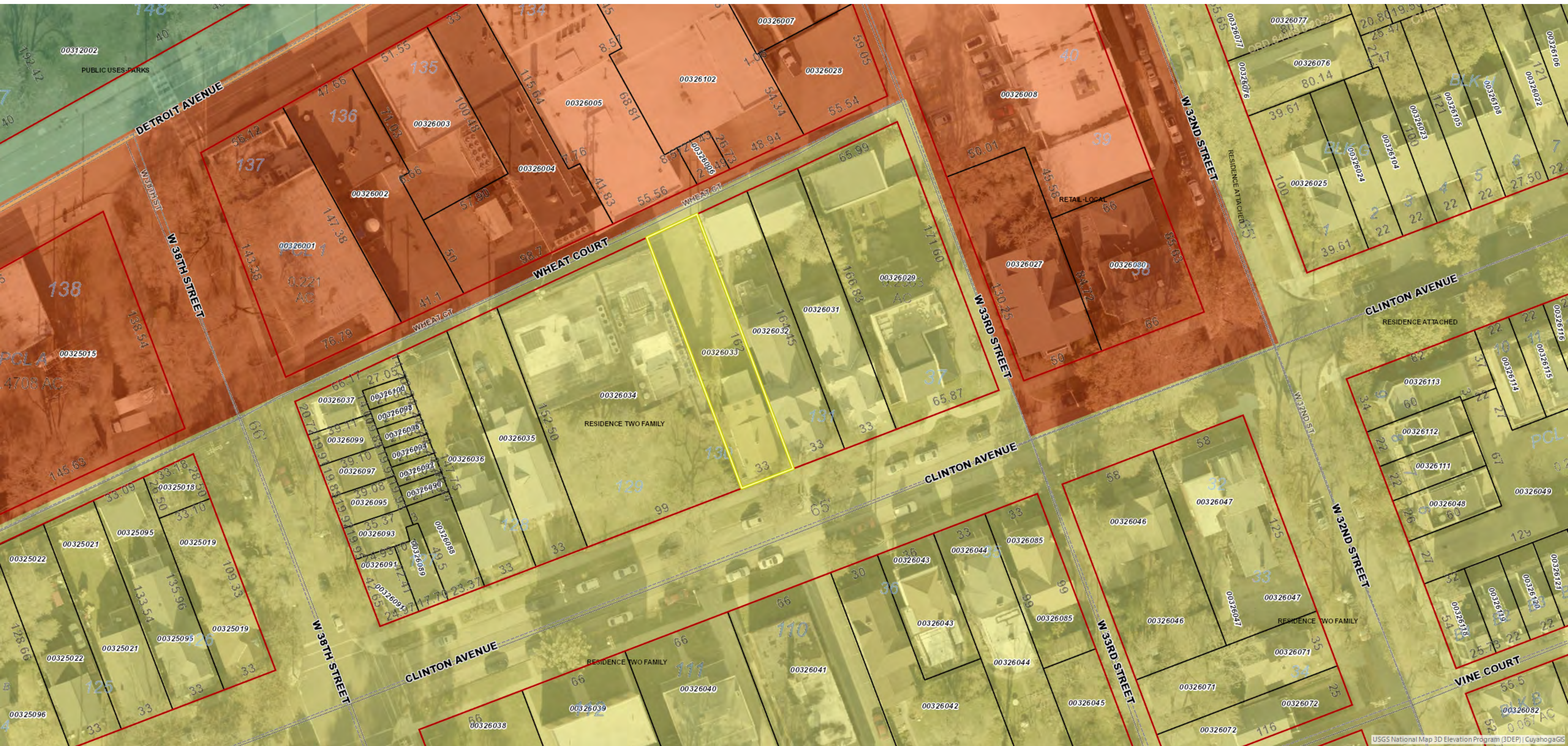
Contours





Building Footprint Map

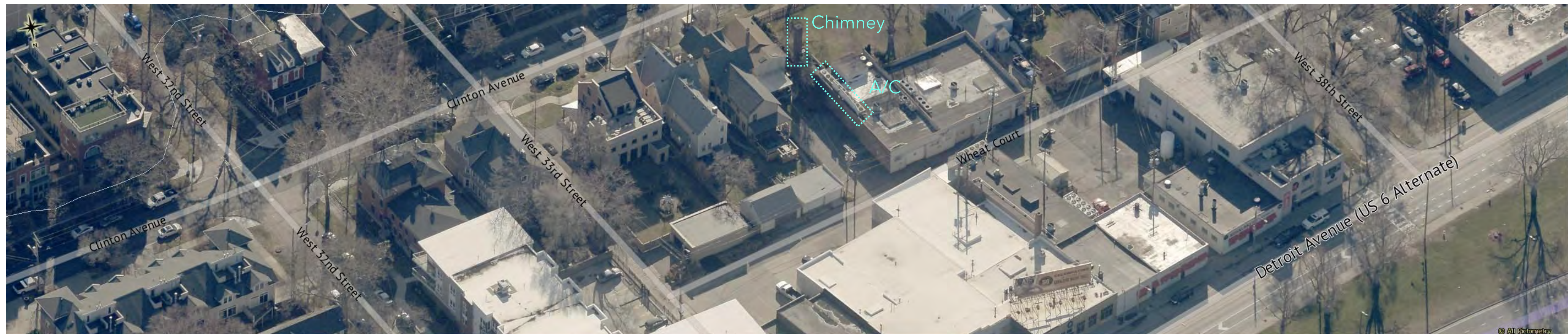




Zoning - Residential/2F



View to South/North Elevation



View to East/West Elevation





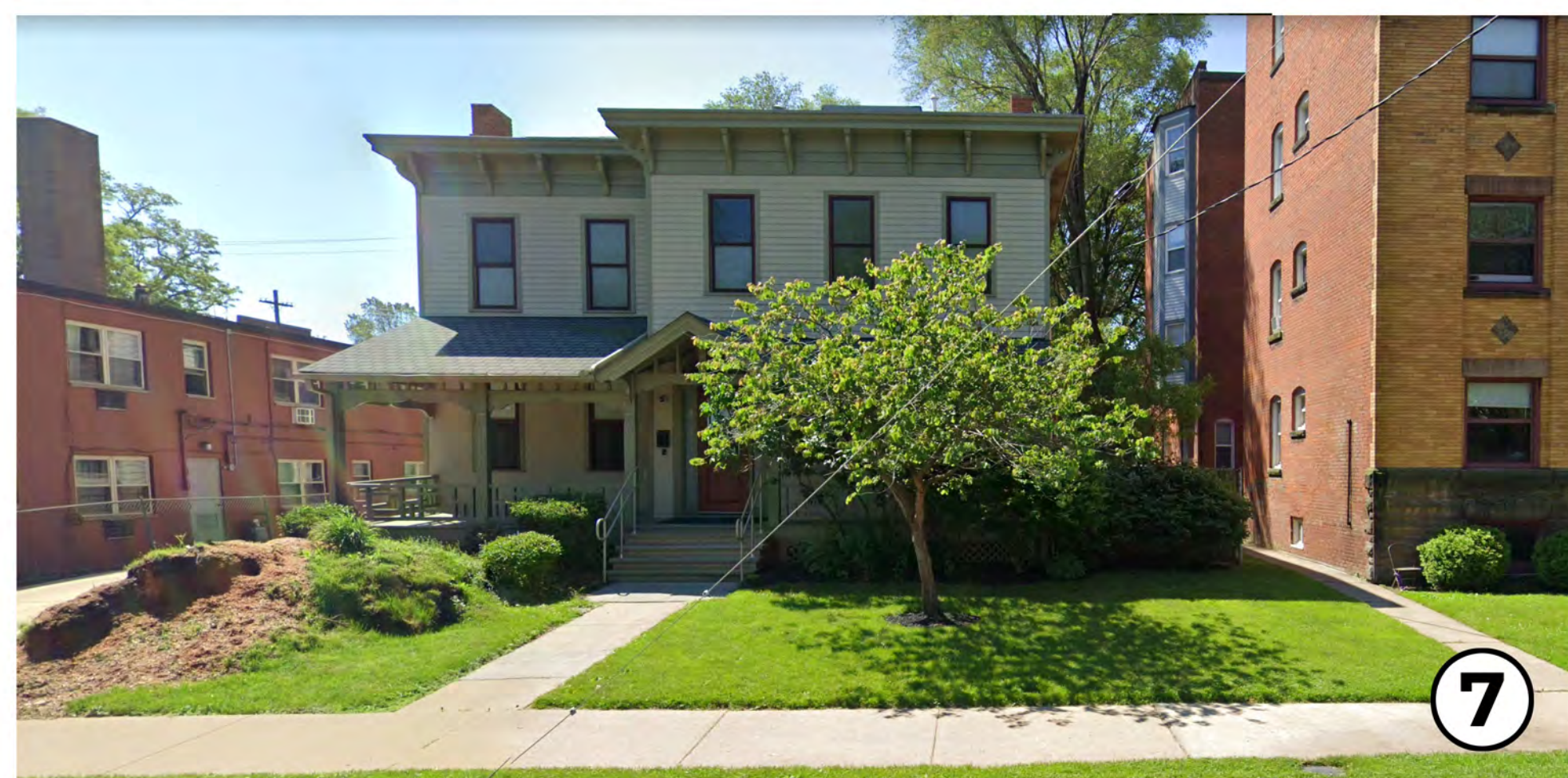
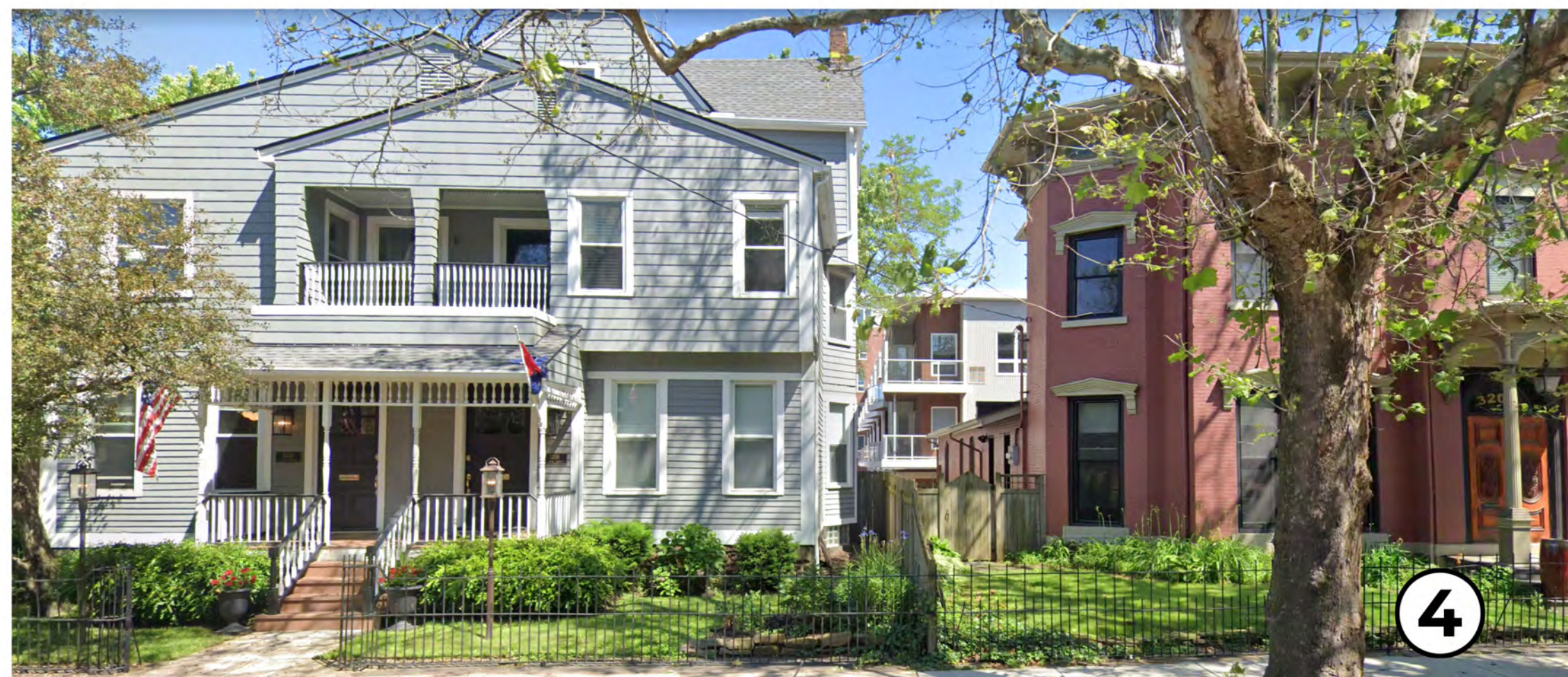
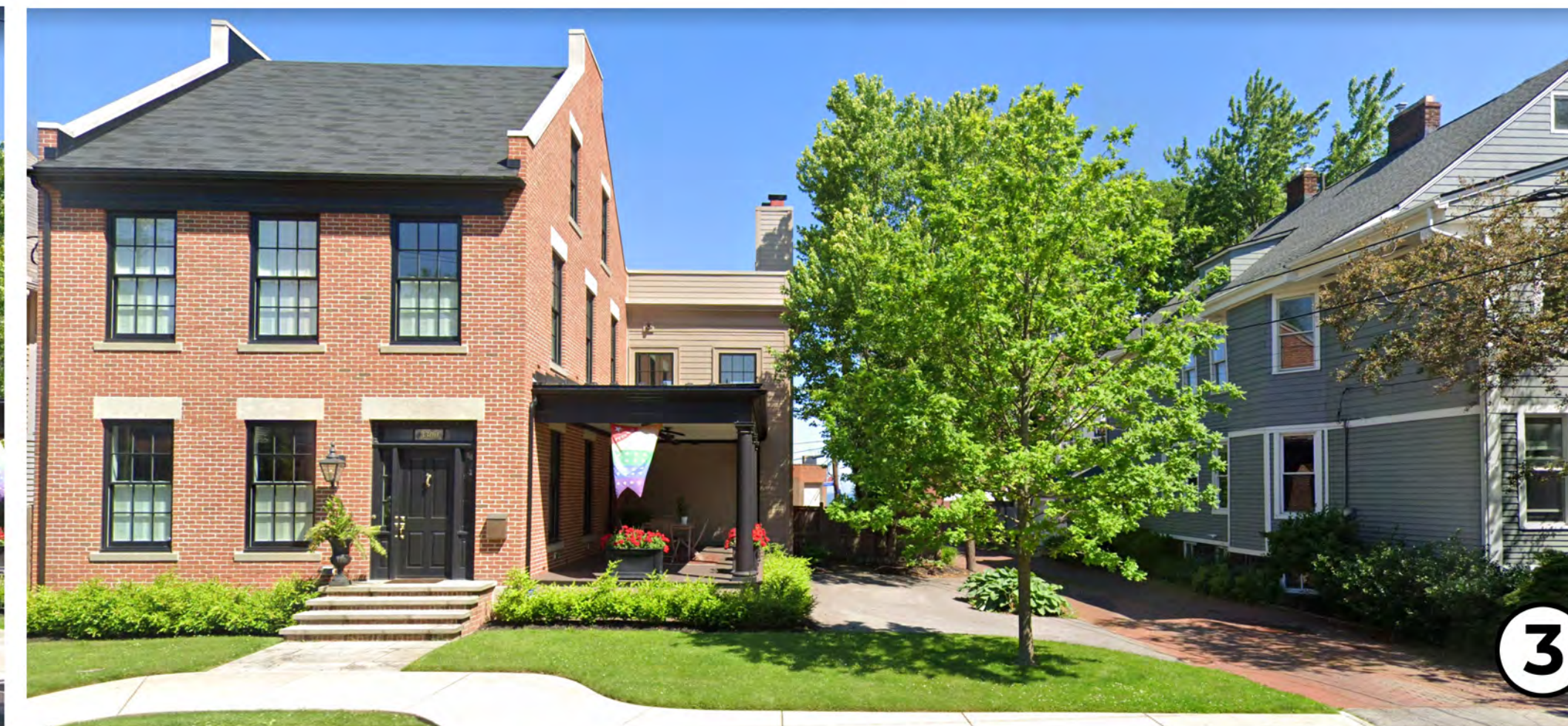
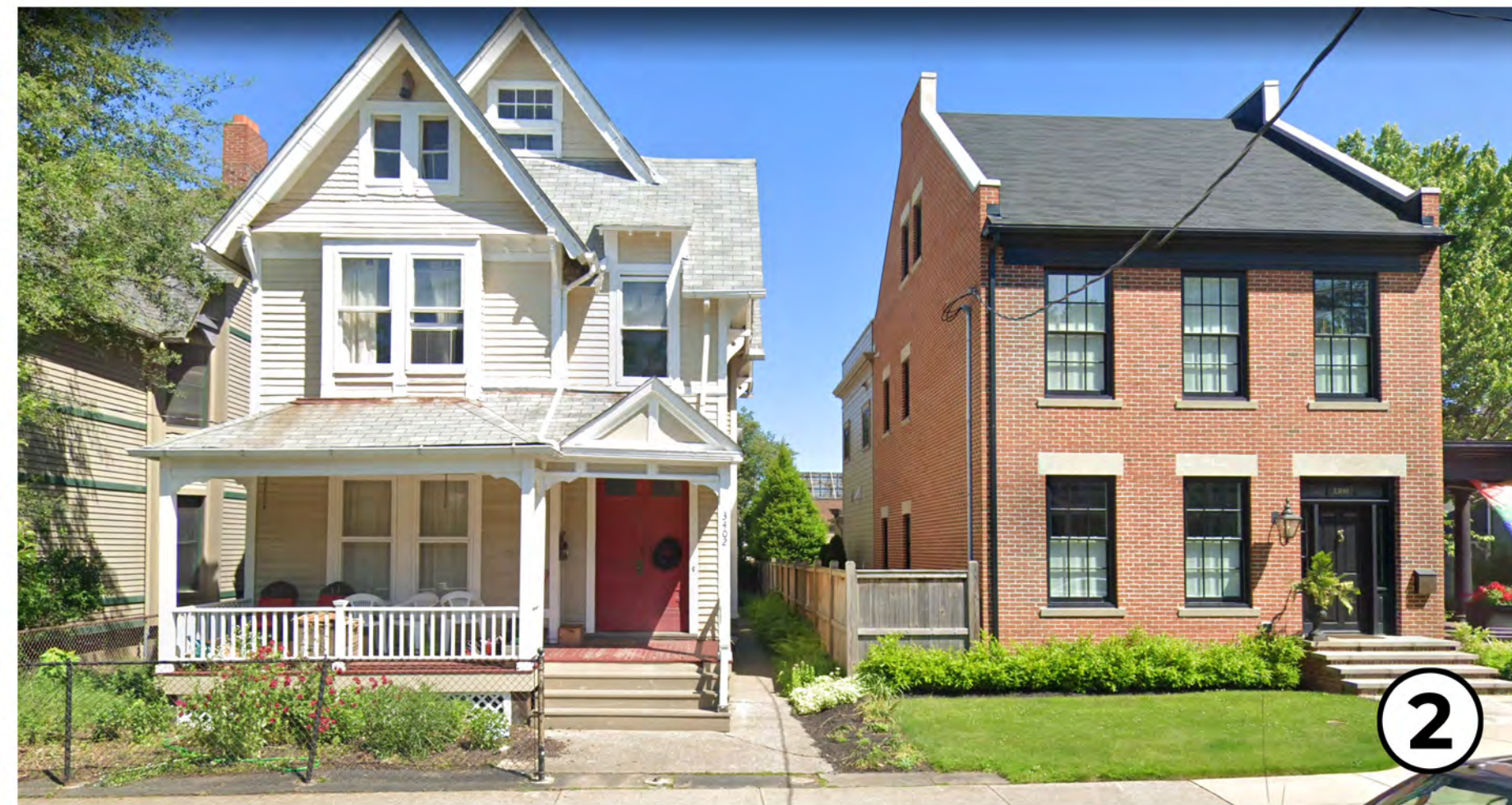
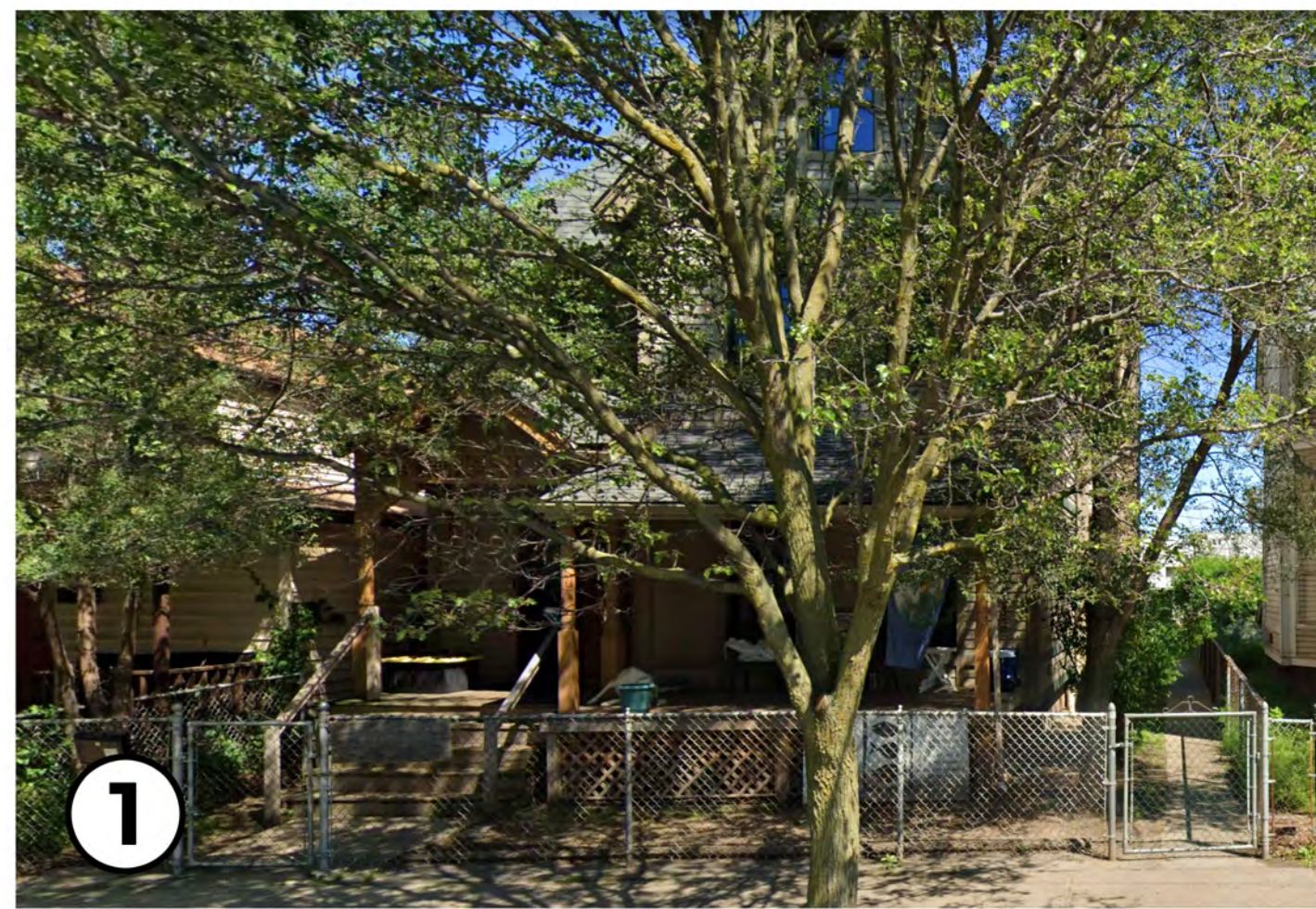
View to North/South Elevation



View to West/East Elevation

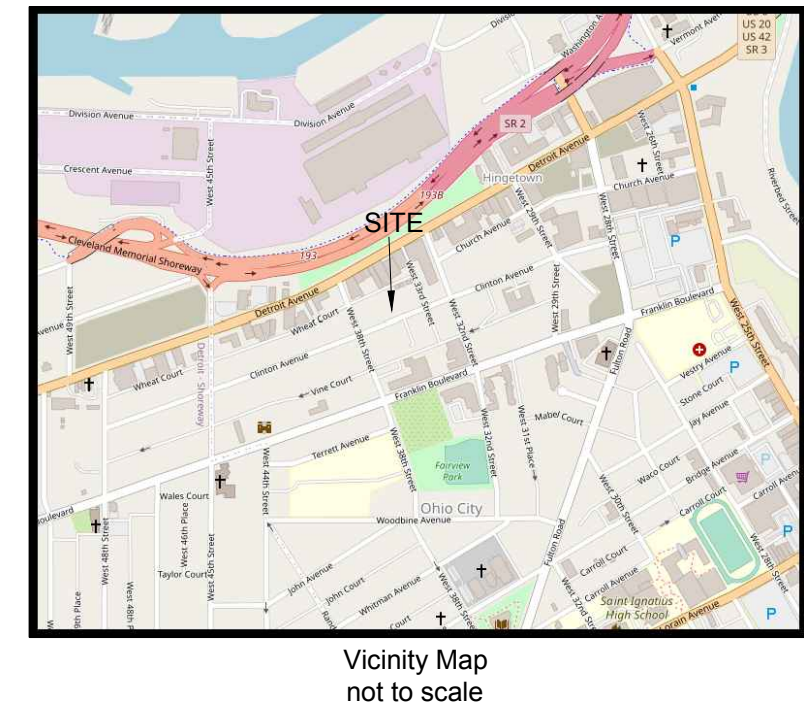
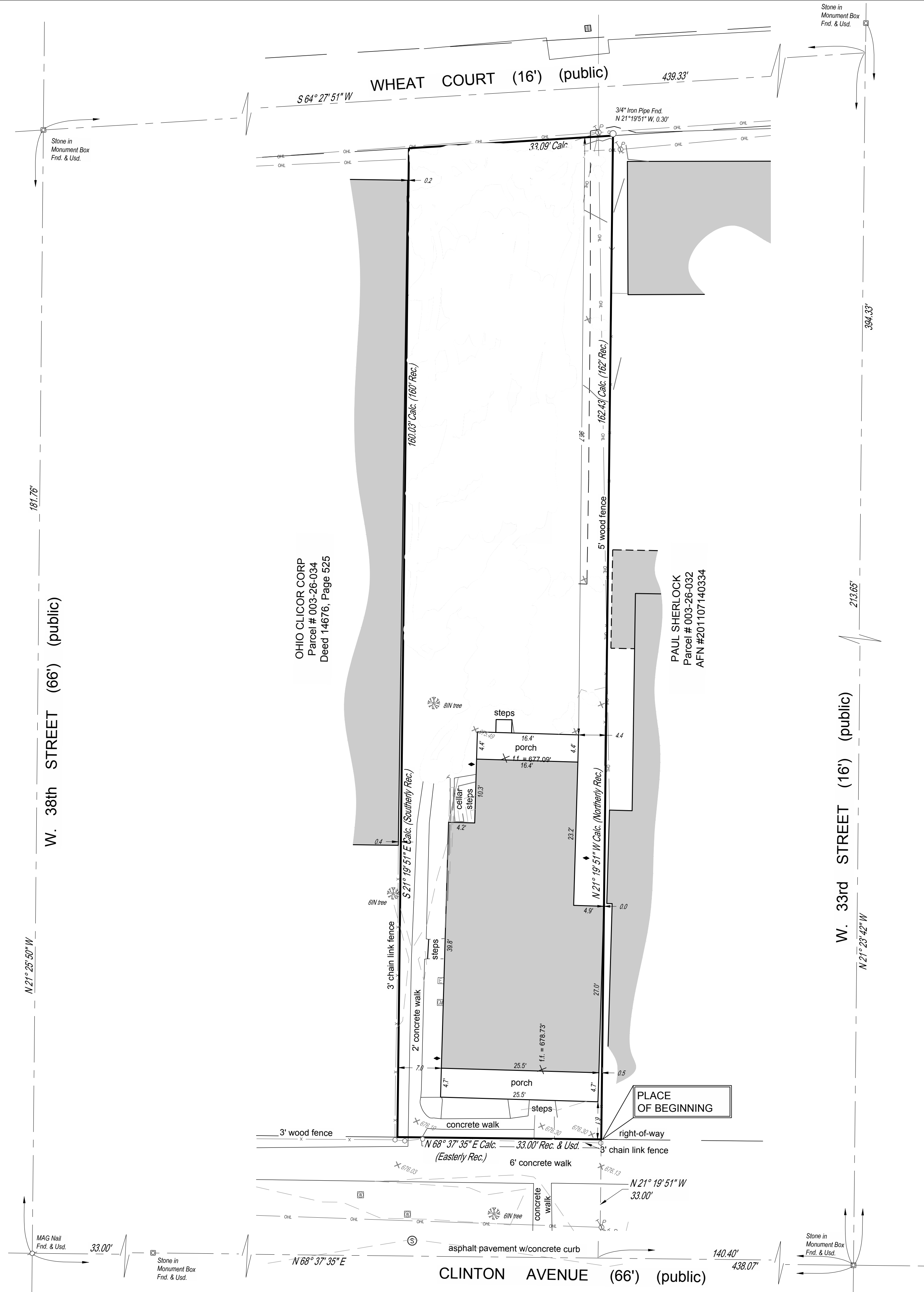






3408 Clinton Ave | Ohio City, Cleveland, Ohio | Site Context





TOPOGRAPHIC LEGEND	
ANCHOR POLE	LIGHT POLE
BOLLARD	POST
CATCH BASIN	POWER TELEPHONE LIGHT POLE
CLEANOUT	POWER TELEPHONE POLE
CURB INLET	GREASE MANHOLE
DECIDUOUS TREE	SANITARY MANHOLE
ELECTRIC METER	SIGN
ELECTRIC TRANSFORMER	STORM MANHOLE
FIRE HYDRANT	TELEPHONE BOX
GAS METER	WATER VALVE
G	Gas Line
W	Water Line
UGE	Underground Electric
UGT	Underground Communications
OHL	Overhead Utility Line
STM	Storm Sewer
SAN	Sanitary Sewer

SURVEY LEGEND	
5/8" Iron Pin Set w/cap C&S, Inc	Fnd. (F) - Found
Iron Pin Found as Described	Ud. (U) - Used
Iron Pipe Found as Described	Obs. (O) - Observed
Railroad Spike Found	Rec. (R) - Deed
Monument Found as Described	Calc. (C) - Calculated
PK Nail/Mag Nail Found	
PK Nail/Mag Nail Set	

**Exhibit "A" Legal Description**

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio and known as being the Easterly one-half of Sublot No. 130 in The Taylor Farm Allotment of part of Original Brooklyn Township Lot Nos. 51 and 52 as shown by the recorded plat in volume 2 of Maps, Page 22 of Cuyahoga County Records and bounded and described as follows:

Beginning at the Northerly line of Clinton Avenue N.W. (formerly Clinton Street) at the Southeasterly corner of Sublot No. 130;

Thence Northerly along the Easterly line of Sublot No. 130, about 162 feet to the southerly line of Wheat Court, about 33 feet to the Northeasterly corner of land conveyed to Hazel Edmore& by deed recorded in Volume 2376, Page 215 of Cuyahoga County Records;

Thence Southerly along the Easterly Line of land so conveyed to Hazel Eckenroth, about 160 feet to the Northerly line of Clinton Avenue N.W. at a point 33 feet Westerly from the place of beginning;

Thence Easterly along the Northerly line of Clinton Avenue N.W., 33 feet to the place of beginning, be the same more or less, but subject to all legal highways.

Being the same which Stohr Limited Liability Limited Partnership f/k/a Stohr Limited Partnership, an Ohio limited liability limited partnership by Deed Dated March 15, 2019 and recorded March 18, 2019 in the County of Cuyahoga, State of OH in 201903180328 conveyed unto KMJC Properties LLC, an Ohio limited liability company

**Schedule B-Part II**

NO SURVEY MATTERS TO ADDRESS

**Surveyor's Notes**

- North and Bearing System based upon Ohio State Plane, North Zone NAD 83,(2011) and further based upon GPS Observations performed by CESO, Inc. in Ocotber of 2020, utilizing the Ohio CORS V.R.S. Network.
- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon we obtained through a certified title commitment conducted by First Source Title Agency, Inc., Commitment Number FS200821713, Effective Date August 14, 2020 8:00AM
- The utilities shown are located from field survey information and/or existing drawings. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. For utility lines or service locations on private property CESO recommends contracting a private underground utility location service.
- The subject parcel can be accessed along Clinton Ave. and Wheat Court (public).
- The surveyor was not made aware of any proposed changes in street right-of-way lines at the time of survey.
- There was no evidence of recent street or sidewalk construction at the time of survey.
- There currently exist: 6 standard striped parking spaces and 0 are ADA accessible.
- No Encroachments observed.
- No wetlands observed at time of survey
- By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Map Number 39035C0177E which bears an Effective Date of 08/15/2019 and is not in a special flood hazard area. As shown on the FEMA website (<http://msc.fema.gov>) we have learned this community does currently participate in the program. No field surveying was performed to determine this zone.
- No zoning information provided to surveyor.

**SURVEYOR'S CERTIFICATION:**

To: 3408 Clinton Ave, LLC and First Source Title Agency, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 6(a)(b),7(a)(b1)(c), 8, 9, 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed in October 2020.

DATE OF PLAT OR MAP: \_\_\_\_\_

**PRELIMINARY**

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

Steven W. Clutter, P.S. 7655  
CESO, INC.  
175 Montrose West Ave  
Suite 400  
Akron, OH 44321



3408 Clinton Ave, LLC	
ALTA / NSPS LAND TITLE SURVEY	
3408 CLINTON AVE. CITY OF CLEVELAND	
CUYAHOGA COUNTY, OHIO	
SCALE: 1" = 10'	DATE: 10/09/2020
DESIGN:	JOB NO.: 758453
DRAWN:	SHEET NO.: 1 OF 1
CHECKED:	



PROJECT NAME: 3408 Clifton Blvd

PROJECT NUMBER:

PROJECT ADDRESS OR INTERSECTION: 3408 Clifton Blvd., Cleveland , Ohio 44113

WETLANDS ON THE SITE? No  
<https://www.fws.gov/wetlands/Data/Mapper.html>

IS THE SITE IN A FLOODPLAIN? No  
<https://msc.fema.gov/portal/search?AddressQuery>

GENERAL SITE INFORMATION: Parcel: 00326003  
5,358 sq ft., .123-ac

CITY CONTACT INFORMATION:

Name: Matt Moss

Email: [mmoss@clevelandohio.gov](mailto:mmoss@clevelandohio.gov)

ZONING MUNICIPALITY: Cleveland, Ohio

**SYNOPSIS:** Parcel: 00326003 sits in a two-family district with maximum allowable height of 35 feet. An existing historic structure sits on the site. Two additions added after the original was built will be demolished and the original restored. A new construction addition will be added to the rear in a way sensitive to the architecture of the original.

## ZONING ANALYSIS

---

Current Zoning District: *2F B-1 Two Family District, Chp. 334.03*



**Does Current Zoning Allow for Intended Use?**

- ☒ Yes
- ☒ Yes, but variances are required. *The maximum gross floor area allowed is only 1/2 the lot area. Note: The existing conditions of the lot put it under the minimum required lot width of 50 feet.*
- ☐ No, change in use is required.

**Is there a zoning overlay or secondary zoning on the site?**

- ☒ Yes *The site is in a landmark district.*
- ☐ No

**This Designation has the following requirements/restrictions – check off and describe all that apply:**

- ☒ Limited Use or Uses: *see above*
- ☒ Per Unit Square Footage Requirements: *per 355.04*
  - *2 rooms minimum 950 sf*
- ☐ Density – Units per Acre:
- ☒ Minimum Street Frontage: *40 ft (355.04)*
- ☒ Minimum Floor Area per Unit or FAR: *4,800 sf (355.04)*
- ☐ Minimum Lot Size:
- ☒ Minimum Lot Dimensions: *40 ft. min. lot width (355.04)*
- ☒ Building Coverage: *max of 1/2 lot area (355.04)*
- ☒ Lot Coverage: *max of 1/2 lot area (355.04)*
- ☐ Greenspace:
- ☐ Conservation:
  
- ☒ Building Height Restrictions: *Maximum of 35 ft*  
*Definition of Building Height: “Building height” means the vertical distance measured from the grade level to the average height of the coping of the street or outside wall for flat roofs, to the deck line of mansard roofs and to the mean height between eaves and ridge for gable, gambrel or hip roofs. (325.34)*
- ☐ Accessory Building Height:
  
- ☒ Setbacks and Yards:  
Front Yard Setback *“the average of the setbacks of the existing buildings within one hundred (100) feet on both sides of any lot shall determine the location of the required front yard line for that lot, except that such front yard line shall not be required to be more than forty (40) feet back of the street line. The location of fences or structures other than a building shall not be a consideration in making such determination.” (357.06)*



Rear Yard Setback      *“In a Residence District the depth of a rear yard shall be not less than fifteen percent (15%) of the depth of the lot but in no case less than twenty (20) feet; provided that in a Limited One-Family District, One-Family District or Two-Family District, such depth shall be not less than the height of the main building, and in a Multi-Family District such depth shall be not less than one-half (1/2) the height of the main building.” (357.08, (1))*

*Rear Yards Abutting Alleys. Where the rear yard abuts and is parallel to an alley, one-half (1/2) the width of such alley may be assumed to be a portion of such rear yard. (357.08, (4))*

Side Yard Setback, Interior      *minimum distance to the property line of 3 ft with an aggregate width of side yards of 6 ft (357.09)*

Side Yard Street, Corner

- ☐ Landscaping Setbacks:
- ☐ Side Yard Area:
- ☐ Parking Setback:
- ☐ Min. Distance Between Buildings: *6 ft (357.09)*
- ☐ Off-Street Parking Requirements:
- ☐ On-Street Parking Requirements:
- ☐ Minimum Drive Aisle Width:
- ☐ Minimum Parking Stall Size:
- ☐ Accessible Parking:
- ☐ Parking Setbacks:
- ☐ Parking Landscaping:
- ☐ Parking Screening:
- ☐ Signage:
- ☐ Landscaping:
- ☐ Lighting:
- ☐ Other:
- ☐ Other:
- ☐ Other:
- ☐ Other:

**If the site requires variances, exceptions and/or complete rezoning, check off and describe each of the applicable requirements below:**

- ☐ Conditional Use:
- ☐ Rezoning:
- ☐ Special Exception(s):



- ☒ Variance(s): The building footprint is ~2,809 sf, of which ~800 sf is the original building (minus the proposed demolition of additions added after the original house was built) and ~2,000 is new construction to be added to the rear of the original house. This puts the total square footage at 130 sf over the 1/2 lot area requirement. *Code Section (355.04)*
- ☐ Special Use Permit(s):
- ☐ Exception(s):
- ☐ Planned Unit Development Approval:
- ☐ Other:
- ☐ Other:



# 1570 WEST 29TH STREET - OHIO CITY

## AMONG THE LAST OF CLEVELAND'S PRE CIVIL WAR HOUSING



HISTORIC PHOTO OF A LOCAL VERNACULAR GREEK REVIVAL HOUSE (DEMOLISHED) ILLUSTRATES POTENTIAL FOR W29TH STREET STRUCTURES

NATIONALLY, THE MOST POPULAR OF THE PRE CIVIL WAR STYLES WAS CALLED THE GREEK REVIVAL. UNFORTUNATELY, ALL OF CLEVELAND'S HIGH STYLE OR UPPER CLASS GREEK REVIVAL HOUSING EXAMPLES ARE GONE, ONLY THE VERNACULAR OR WORKING CLASS FORM REMAINS. THOSE THAT ARE STILL STANDING ARE FEW IN NUMBER, AND MOST HAVE BEEN REMODELED TO THE POINT OF OBSCURITY. HOWEVER, THE EXTERIOR OF 1570 WEST 29TH STREET (OUTSIDE OF THE ALUMINUM AWNING) REMAINS VISUALLY INTACT (SEE BELOW). IT IS LIKELY THAT THIS IS ONE OF THE FEW REMAINING STRUCTURES THAT WERE BUILT WHEN OHIO CITY WAS A SEPERATE MUNICIPALITY (1836-1854).

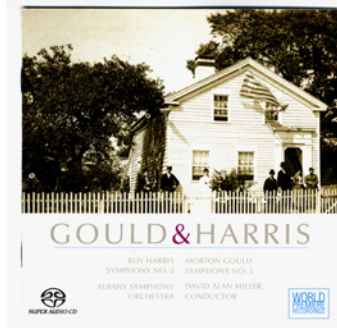


1570 WEST 29TH STREET -- OHIO CITY VERNACULAR GREEK REVIVAL

A LOCALLY RARE EXAMPLE OF SIDE-BY-SIDE VERNACULAR GREEK REVIVAL HOUSES



WEST 29TH STREET -- 1570 ON THE LEFT











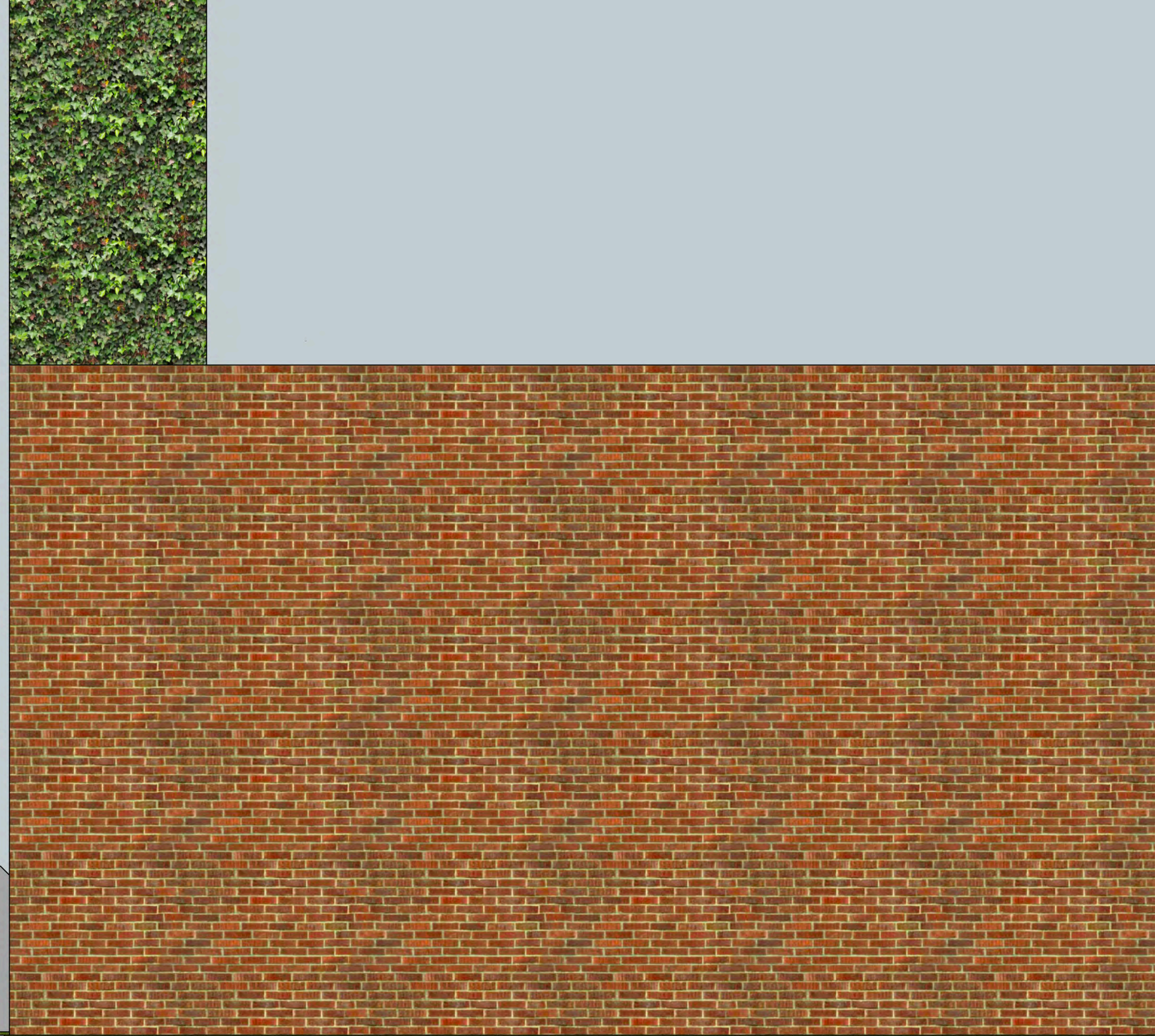




































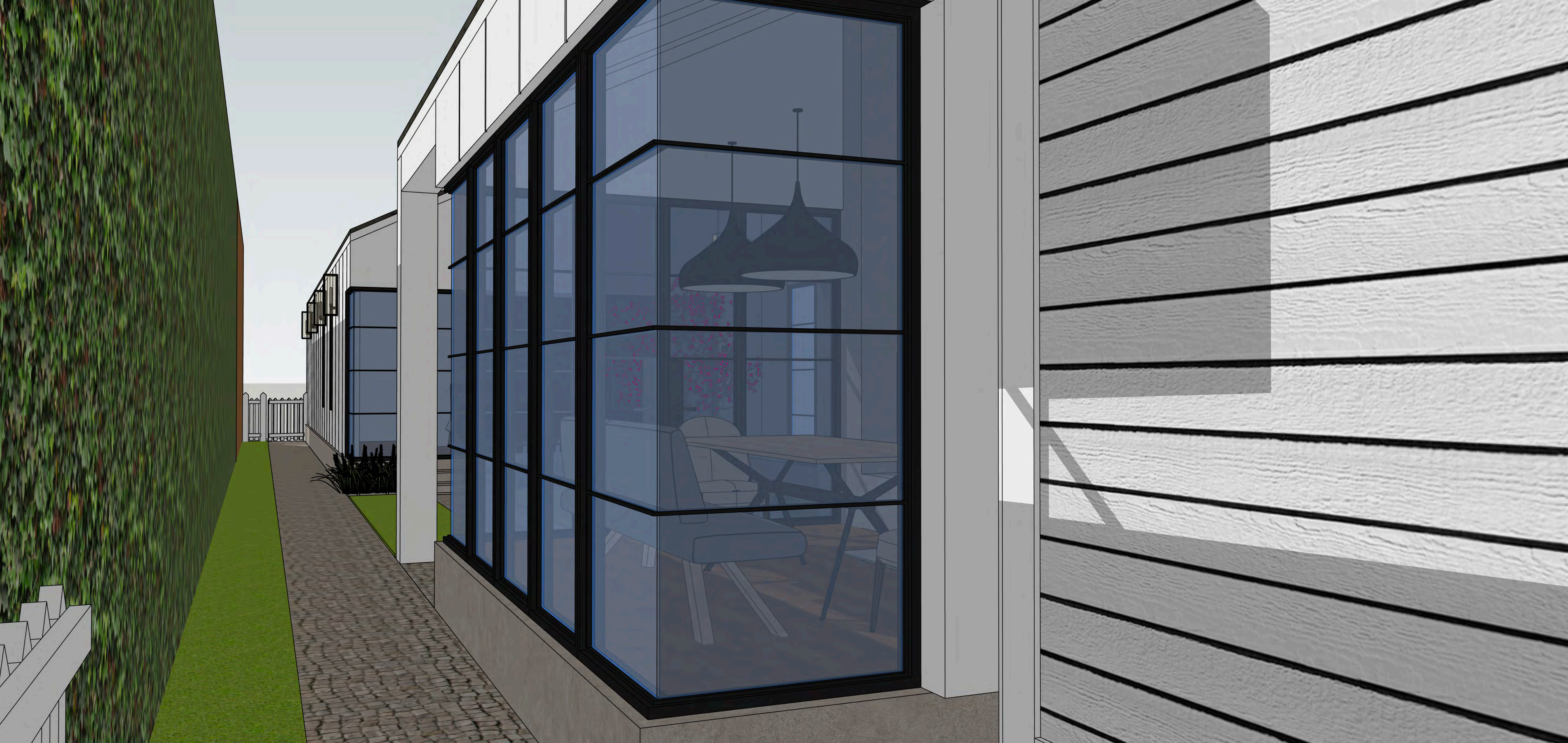




























**Case 22-023:** Ohio City Historic District

**Wells Residence 4612 Clinton Avenue**

New Construction of a Single-Family House

Ward 3: McCormack

Project Representatives: Chris Rood, Architect; Anthony Kucia, CCBR, Developer

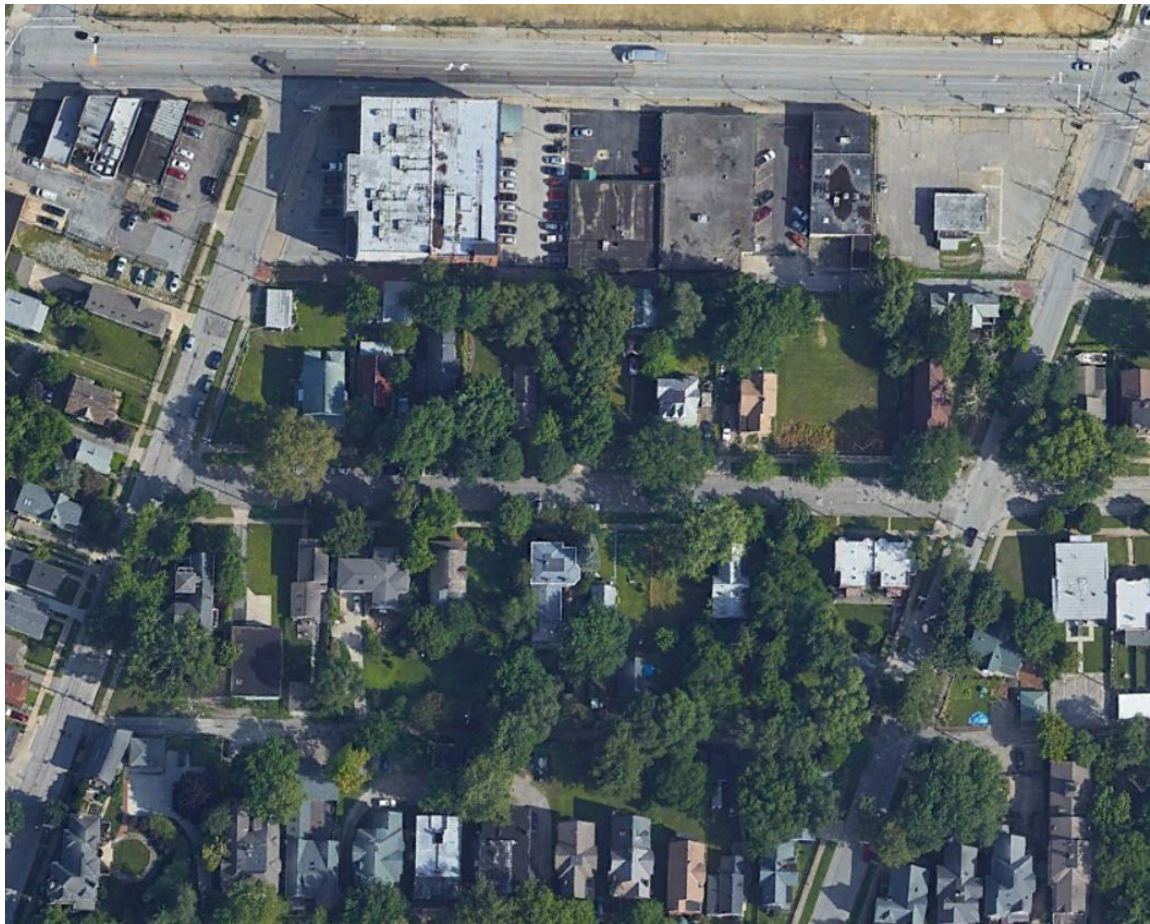


# WELLS RESIDENCE

4612 CLINTON AVENUE  
LANDMARKS SUBMISSION  
DECEMBER 29, 2021







LOCATION: 4612 CLINTON AVENUE

PARCEL #: 00213021  
ZONING: TWO-FAMILY  
ZONING CODE: 2F-B1  
AREA DISTRICT: B  
HEIGHT DISTRICT: 1  
MAX. HEIGHT: 35' (UP TO 50' W/ APPROPRIATE SETBACKS)  
PROPOSED HEIGHT: 27'-0"







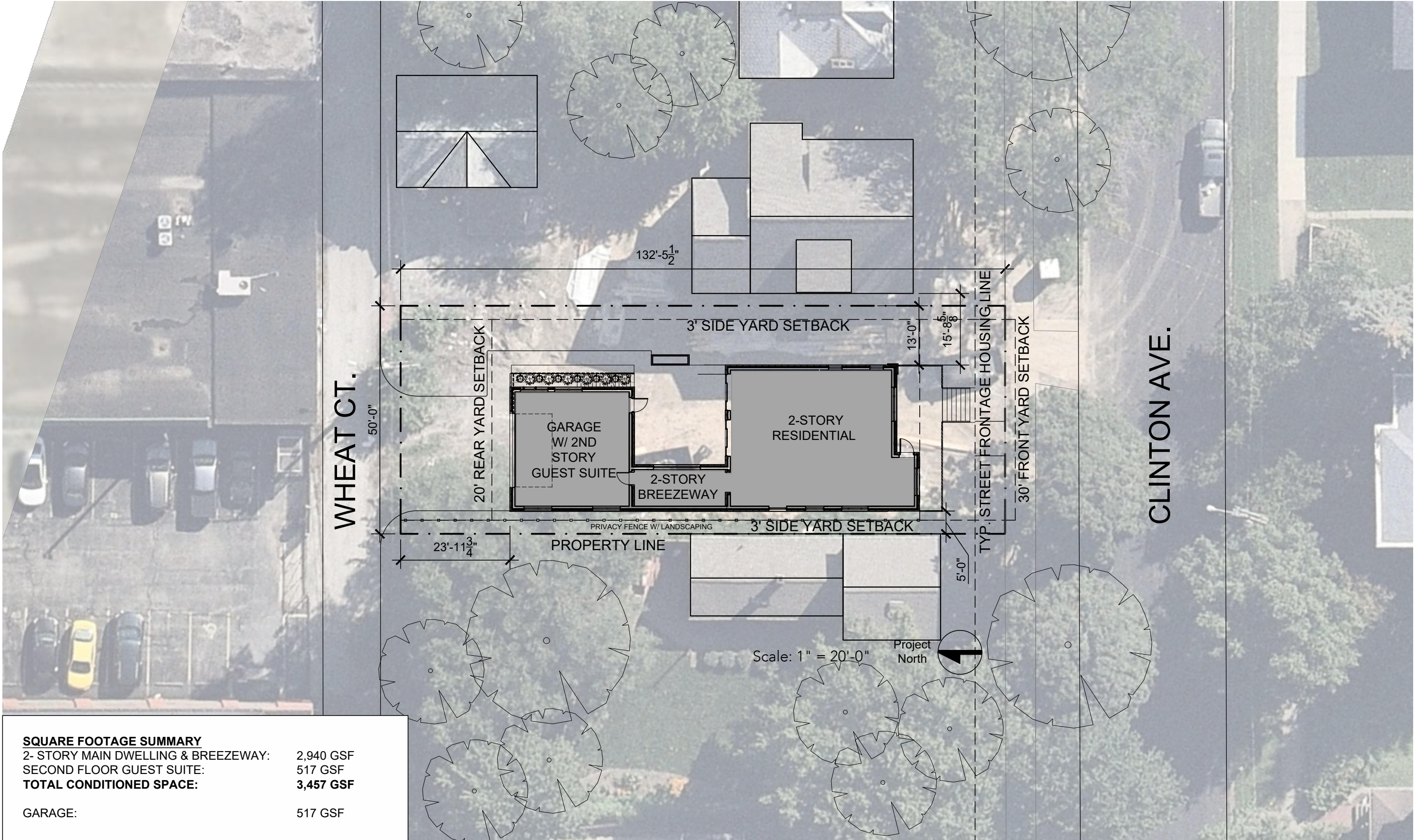
Existing Conditions | North Property Line



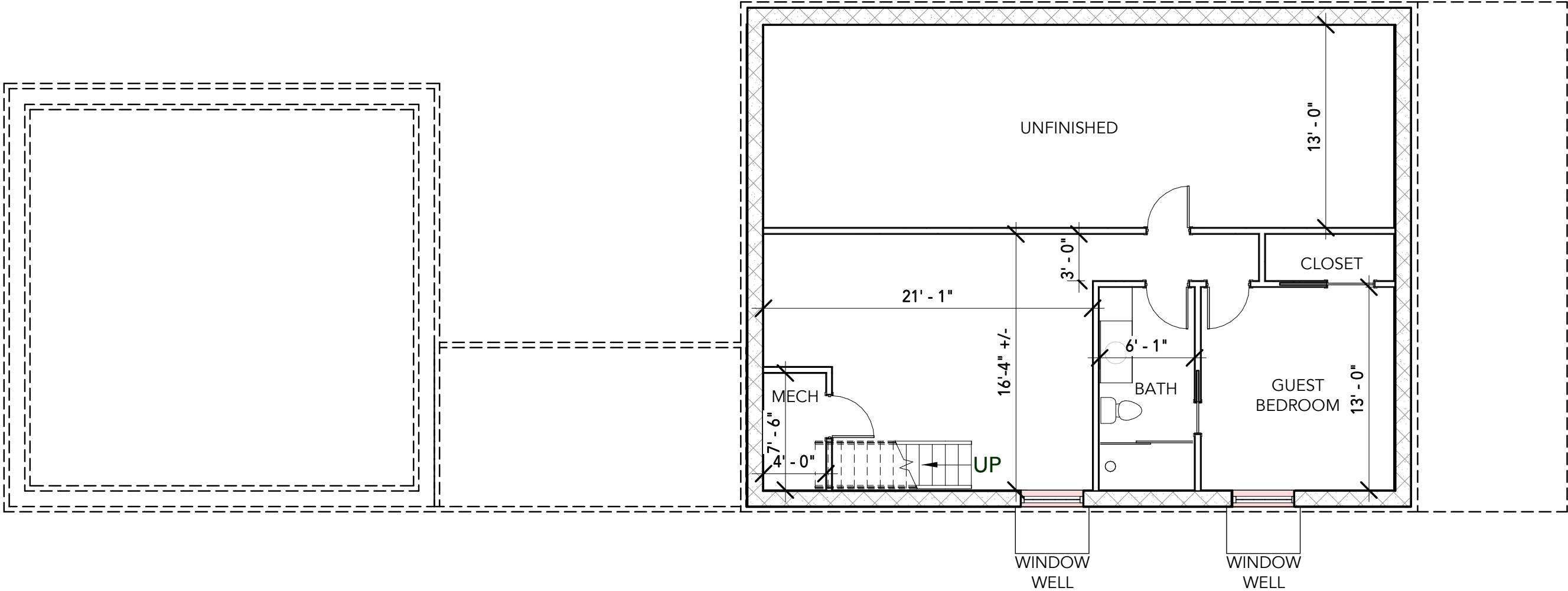




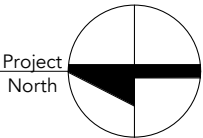




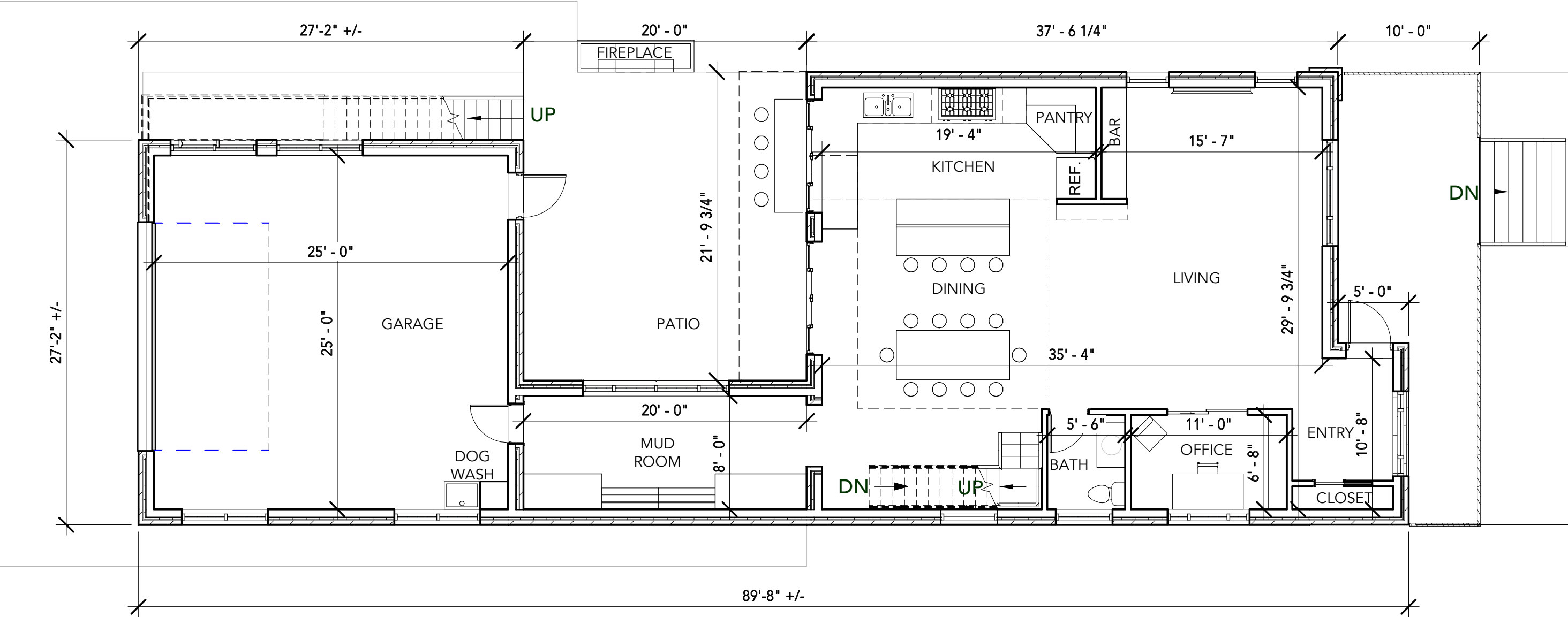




1 BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"







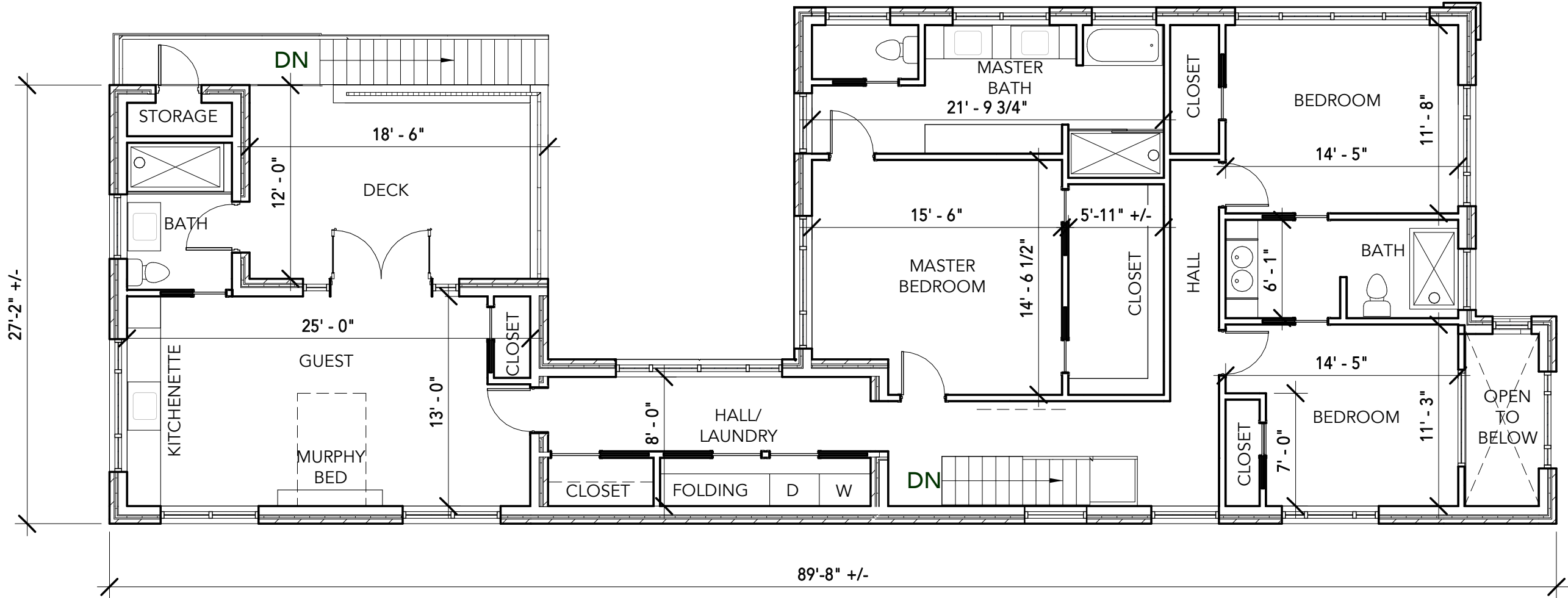
**1** LEVEL 1 FLOOR PLAN

SCALE: 1/8" = 1'-0"

Project North

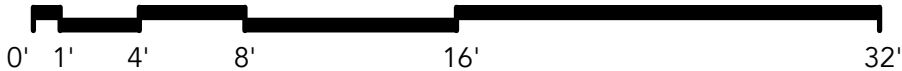




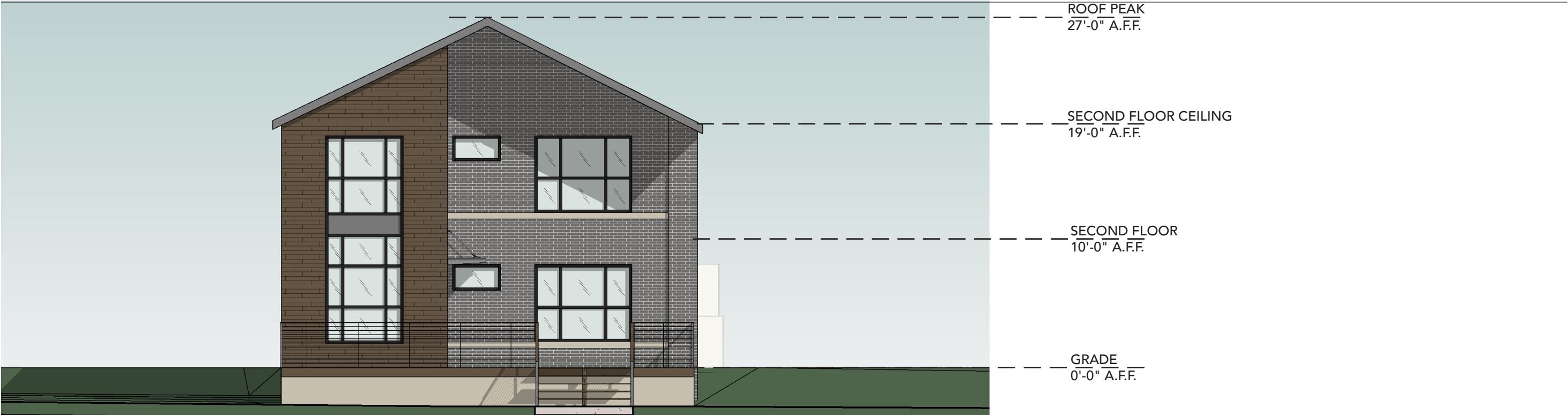


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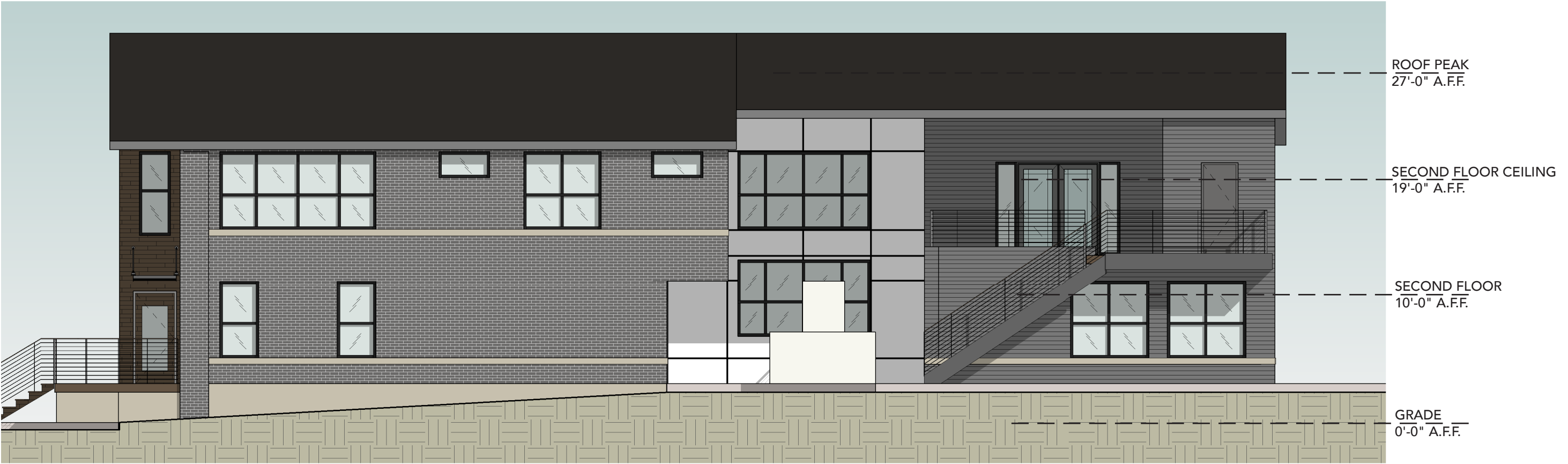
SCALE: 1/8" = 1'-0"





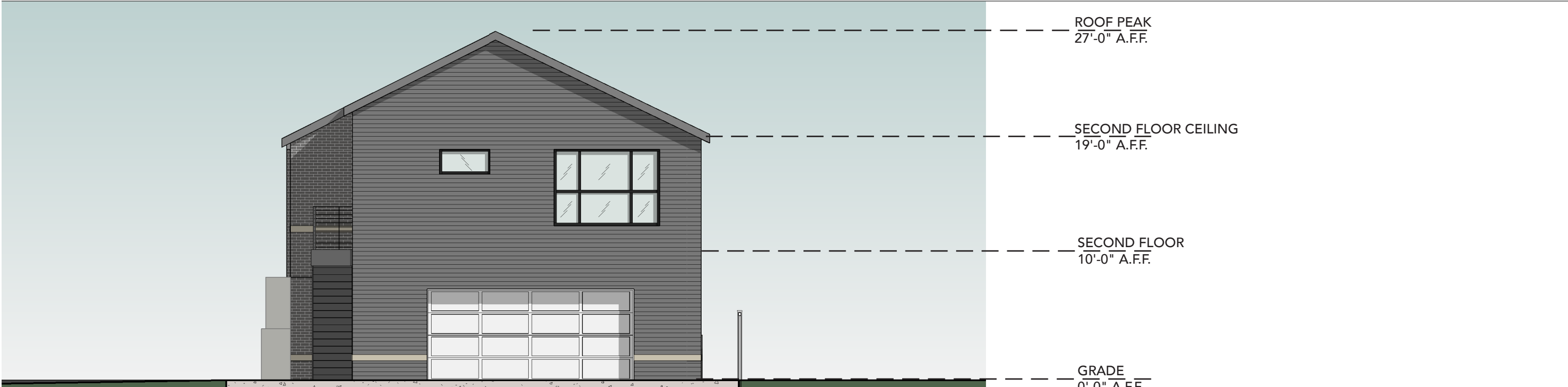


SOUTH ELEVATION



EAST ELEVATION





NORTH ELEVATION



WEST ELEVATION



Proposed Material Palette | Neighborhood Context



GREY MODULAR FACE BRICK, RUNNING BOND



ALABASTER ARCHITECTURAL PRE-CAST STONE



GREY FIBER CEMENT PANELED SIDING



NICHIHA VINTAGE WOOD CEDAR FIBER CEMENT PANEL





















**Case 22-011:** Fidelity Building (Baker Building)

**Fidelity Hotel 1940 East 6th Street**

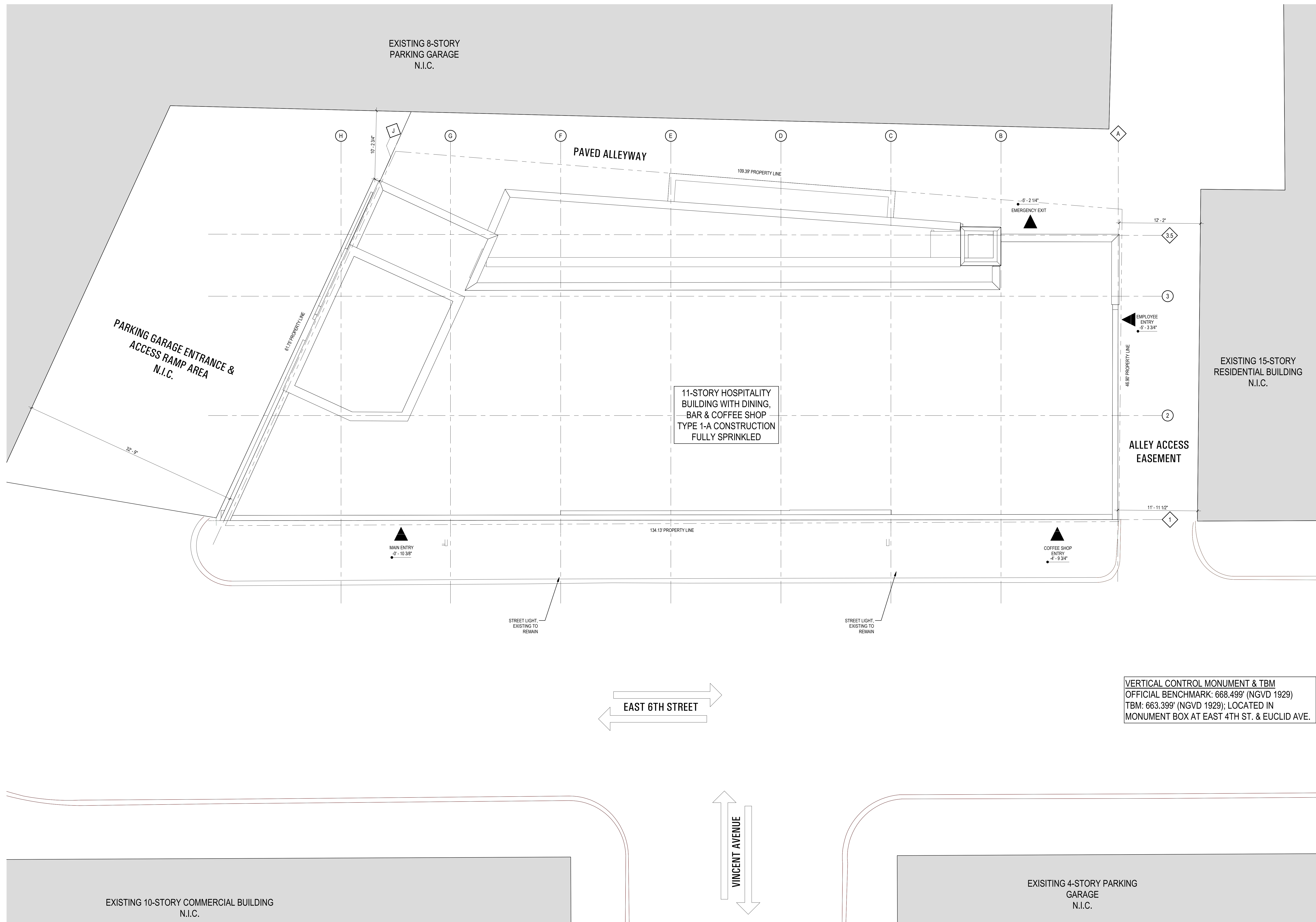
Renovation for Hotel and Retail

Ward 3: McCormack

Project Representatives: Paul Alessandro, Hartshorne Plunkard Architects



**CONFIDENTIAL**



AREA FOR CITY APPROVAL STAMP

**FOR REFERENCE ONLY**

ARCH ELEVATION 0' - 0" = +658.78'

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and coded systems. Submit shop drawings to architect for approval on conformity with Architectural design intent.

written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document and its site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

Fidelity Hotel


10 E 6th Street  
Cleveland, Ohio

## ISSUANCES

[illegible]

HARTSHORNE PLUNKARD ARCHITECTURE



	PROJ. # 20-020
	SCALE: 3/16" = 1'-0"

ARCHITECTURAL SITE  
PLAN

A0.00

**1 SITE PLAN**  
SCALE: 3/16" = 1'-0"







**CONFIDENTIAL**

**PLAN NOTES**

- WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A9.01
- SEE WALL TYPE SCHEDULE ON SHEET A9.01 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.
- SEE DOOR SCHEDULE ON SHEET A9.00 FOR DOOR FIRE RATINGS AND SIZES.
- SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

## LAN MATERIAL KEY

- NEW METAL STUD & GYPSUM BOARD WALL
- HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN
- HATCH DENOTES AREA OF SLAB INFILL
- HATCH DENOTES WALL INFILL

**FOR REFERENCE ONLY**

ELEVATION 0' - 0" = +658.78'

shall be responsible for reviewing all Plans and Specifications, existing conditions prior to proceeding with Construction, with all applicable building codes, and notifying Architect of any discrepancies or conflicts. Contractor shall construct the terrace with all applicable building codes.

Contractor shall be responsible for design and installation of properly sized and spaced. Submit shop drawings to architect for approval on conformity with design intent.

Technical Specification was issued for this project and along with all documents constitute the Contract Documents for this project. Pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document and have included all applicable work. Additional copies of the Specification are available anytime upon request.

Hunkard, LLC shall retain all copyrights, statutory and common law regard to these plans and building design. Reproduction, changes or use by any third party shall not occur without obtaining expressed permission and consent of Hartshorne Hunkard, LLC.

## Fidelity Hotel

E 6th Street  
Cleveland, Ohio

## QUANCES

[illegible]

SHORNE PLUNKARD ARCHITECTURE



PROJ. # 20-020
SCALE: As indicated

## CEMENT FLOOR PLAN

1.00

### BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A9.01  
SEE WALL TYPE SCHEDULE ON SHEET A9.01 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.

SEE DOOR SCHEDULE ON SHEET A9.00 FOR DOOR FIRE RATINGS AND SIZES.

SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

### PLAN MATERIAL KEY

- NEW METAL STUD &  
GYPSUM BOARD WALL
- HATCH DENOTES WALL/COLUMN  
EXISTING TO REMAIN
- HATCH DENOTES AREA  
OF SLAB INFILL
- HATCH DENOTES WALL  
INFILL

FOR REFERENCE ONLY

CH ELEVATION 0' - 0" = +658.78"

Contractor shall be responsible for reviewing all Plans and Specifications, including all existing conditions prior to proceeding with Construction, and complying with all applicable building codes, and modifying Architect drawings if any discrepancies or conflicts. Contractor shall construct the Work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and installed fire protection systems. Submit shop drawings to architect for approval on conformity with architectural design intent.

Architectural Specification was issued for this project and along with printed documents constitute the Contract Documents for this project. Scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.


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## Fidelity Hotel

10 E 6th Street  
Cleveland, Ohio

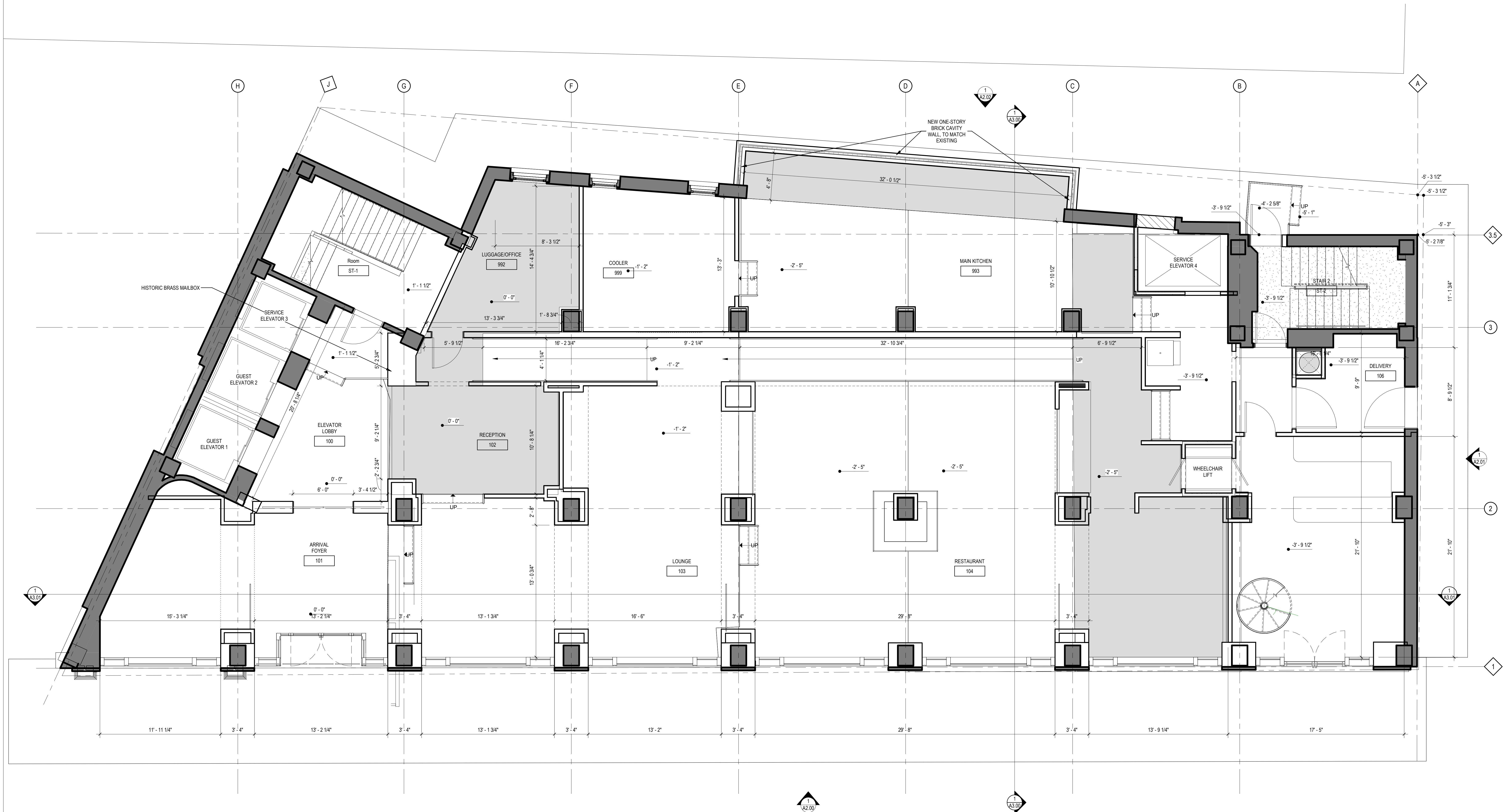
## ISSUANCES

[illegible]**RTSHORNE PLUNKARD ARCHITECTURE**

	PROJ. # 20-020
	SCALE: As indicated

## FIRST FLOOR PLAN

## 1.01



**1 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"











1. NEW FULLY ADHERED TPO ROOFING ON 1/2" COVERBOARD OVER TAPERED INSULATION, SLOPED TO DRAINS
2. NEW ROOF DRAIN WITH INTERNAL PIPING CONNECTED TO EXISTING UNDERGROUND
3. NEW THRU-WALL SCUPPER AND DOWNSPOUT
4. NEW CONCRETE PAVERS ON PEDESTALS

WALL TAGS AS SHOWN PER PLAN ARE  
REFERENCED IN WALL TYPE SCHEDULE  
ON SHEET A9.01  
SEE WALL TYPE SCHEDULE ON SHEET A9.01  
FOR FIRE RATINGS, UL LISTINGS AND  
ASSEMBLIES.

SEE DOOR SCHEDULE ON SHEET A9.00  
FOR DOOR FIRE RATINGS AND SIZES.

SEE WINDOW SCHEDULE ON  
SHEETS A9.02 FOR WINDOW  
ASSEMBLIES.

- NEW METAL STUD & GYPSUM BOARD WALL
- HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN
- HATCH DENOTES AREA OF SLAB INFILL
- HATCH DENOTES WALL INFILL

4 ELEVATION 0' - 0" = +658.78'

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Cleveland, Ohio

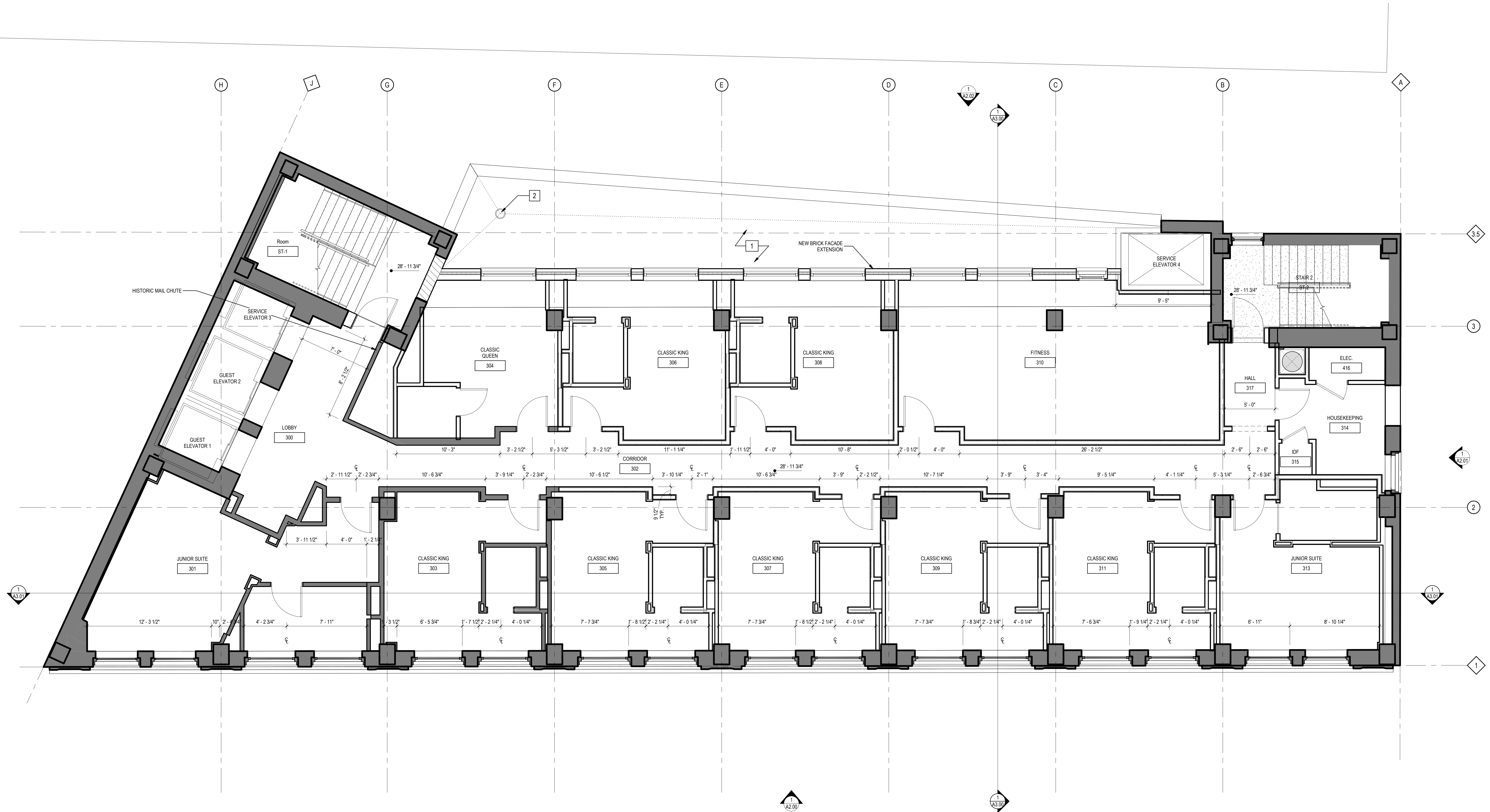
ISSUANCES

[illegible]

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CHICAGO, IL 60607  
312.224.4488  
HPARCHITECTURE.COM

## RD FLOOR PLAN

## 1.03



**1 3RD FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

## RD FLOOR PLAN







WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A9.01

SEE WALL TYPE SCHEDULE ON SHEET A9.01 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.

SEE DOOR SCHEDULE ON SHEET A9.00 FOR DOOR FIRE RATINGS AND SIZES.

SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

### PLAN MATERIAL KEY

-  NEW METAL STUD & GYPSUM BOARD WALL  
 HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN  
 HATCH DENOTES AREA OF SLAB INFILL  
 HATCH DENOTES WALL INFILL

FOR REFERENCE ONLY

ARCH ELEVATION 0' - 0" = +658.78'

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Fidelity Hotel

1940 E 6th Street  
Cleveland, Ohio


ISSUANCES

ISSUED FOR

[illegible]

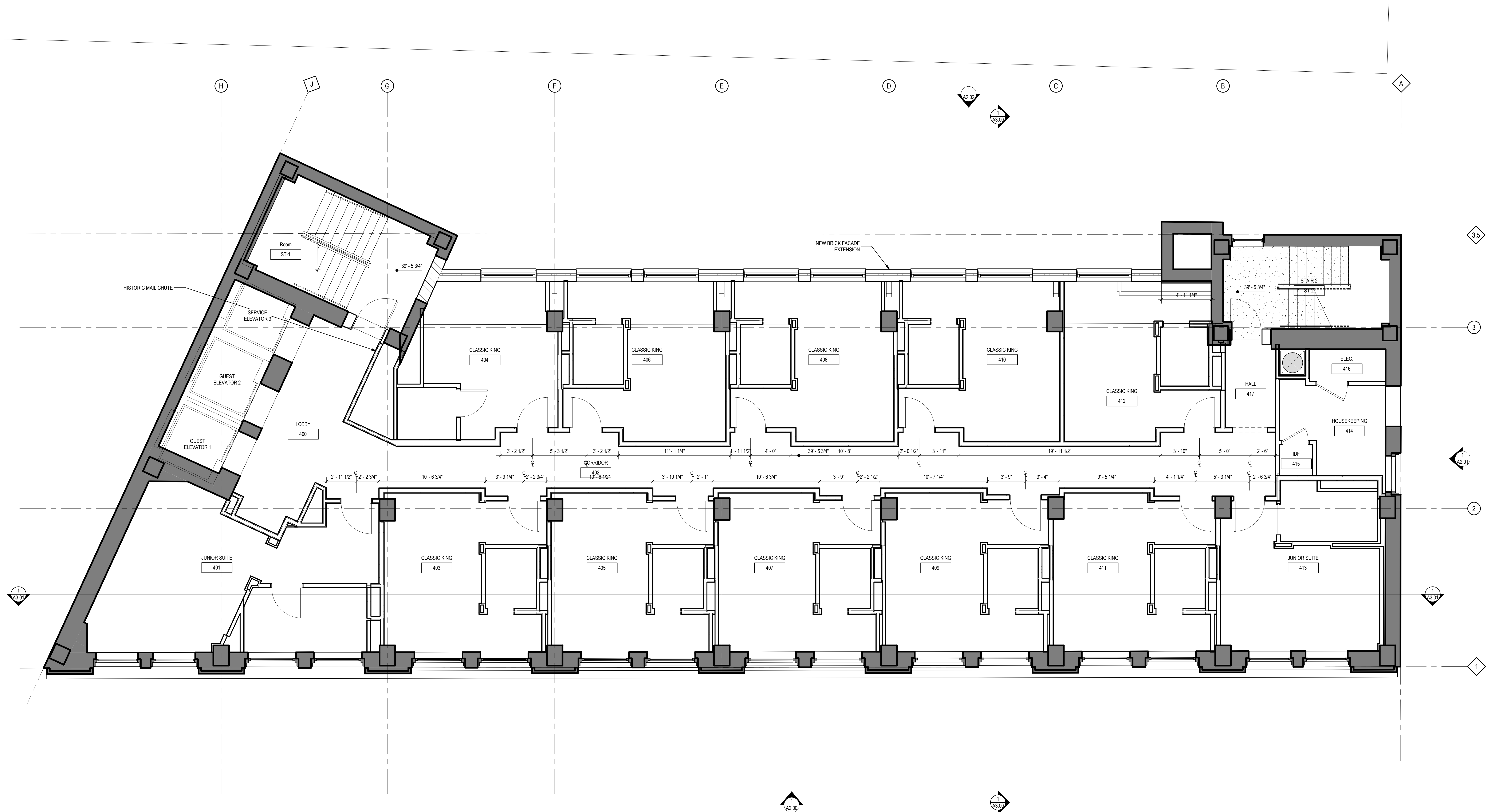
HARTSHORNE PLUNKARD ARCHITECTURE

**HPA** 232 NORTH CARPENTER STREET  
CHICAGO, IL 60607  
312.224.4488  
HPARCHITECTURE.COM

	PROJ. # 20-020
	SCALE: As indicated

FOURTH - EIGHTH FLOOR  
PLAN

## A1.04



**1 4TH-8TH FLOOR PLAN**  
SCALE: 1/4" = 1'-0"


FOURTH - EIGHTH FLOOR  
PLAN


## A1.04













 WALL TAGS AS SHOWN PER PLAN ARE REFERENCED IN WALL TYPE SCHEDULE ON SHEET A9.01

 SEE WALL TYPE SCHEDULE ON SHEET A9.01 FOR FIRE RATINGS, UL LISTINGS AND ASSEMBLIES.

 SEE DOOR SCHEDULE ON SHEET A9.00 FOR DOOR FIRE RATINGS AND SIZES.

 SEE WINDOW SCHEDULE ON SHEETS A9.02 FOR WINDOW ASSEMBLIES.

### PLAN MATERIAL KEY

-  NEW METAL STUD & GYPSUM BOARD WALL  
 HATCH DENOTES WALL/COLUMN EXISTING TO REMAIN  
 HATCH DENOTES AREA OF SLAB INFILL  
 HATCH DENOTES WALL INFILL

FOR REFERENCE ONLY

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Fidelity Hotel

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Cleveland, Ohio


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ISSUANCES

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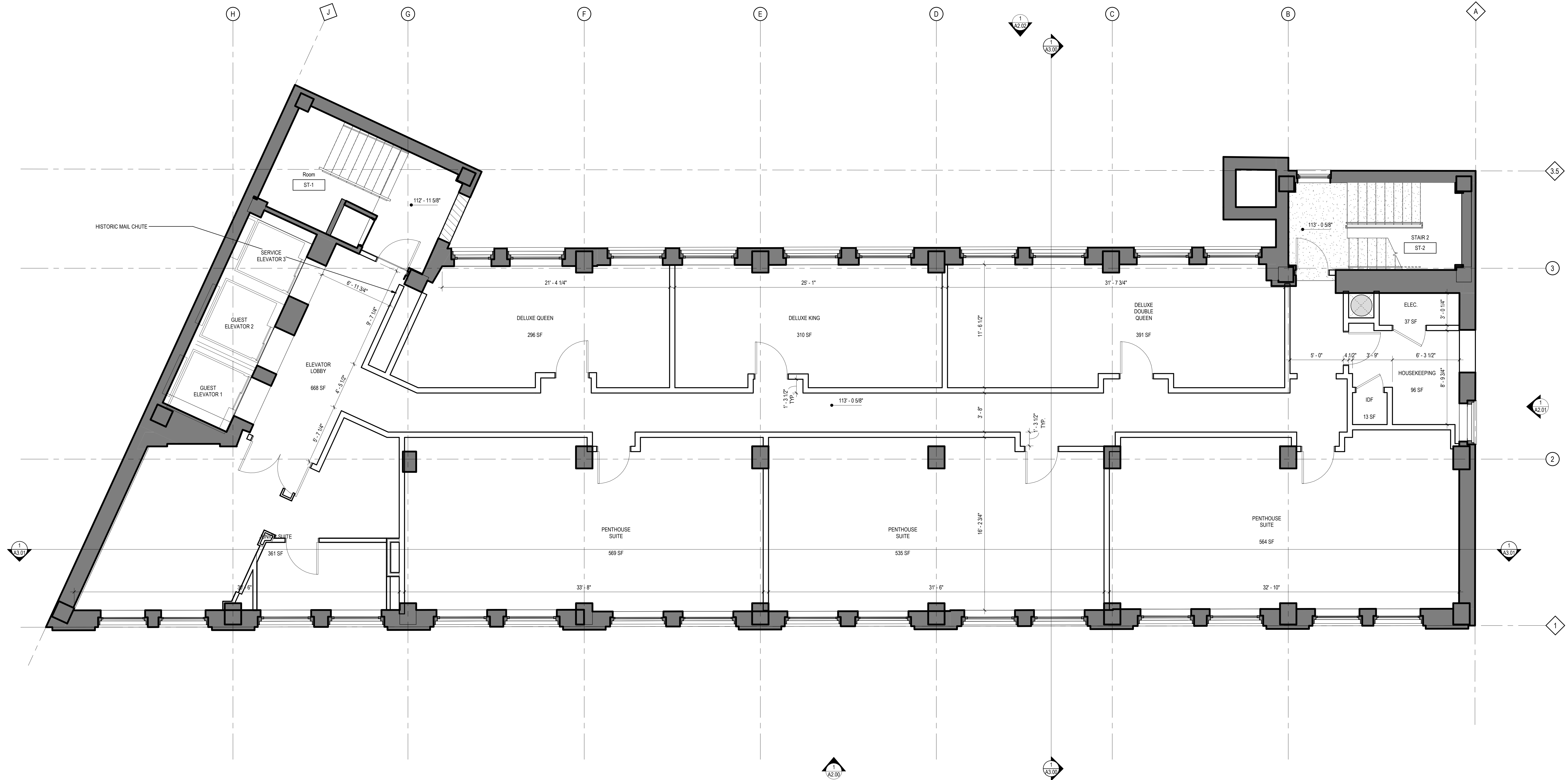
HARTSHORNE PLUNKARD ARCHITECTURE



	PROJ. # 20-020
	SCALE: As indicated

ELEVENTH FLOOR PLAN

## A1.11



**1 11TH FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



AREA FOR CITY APPROVAL STAMP

**FOR REFERENCE ONLY**

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions on site preceding with Construction, complying with all applicable building codes, and verifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval as a conformity to Architectural design intent.

When written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project.

Work scope pertinent to all disciplines covered through the Contract Documents. The Contractor shall be responsible for this work and all subcontractors attest that they have reviewed the entire contract document and its conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Contractor, NCLC shall not claim copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Norcross Commercial LLC.

1940 E 6th Street  
Cleveland, Ohio

[illegible]

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CHICAGO, IL 60607  
312.224.4488  
HPARCHITECTURE.COM

PROJ. # 20-020

SCALE: 1/8" = 1'-0"

### EAST BUILDING ELEVATION

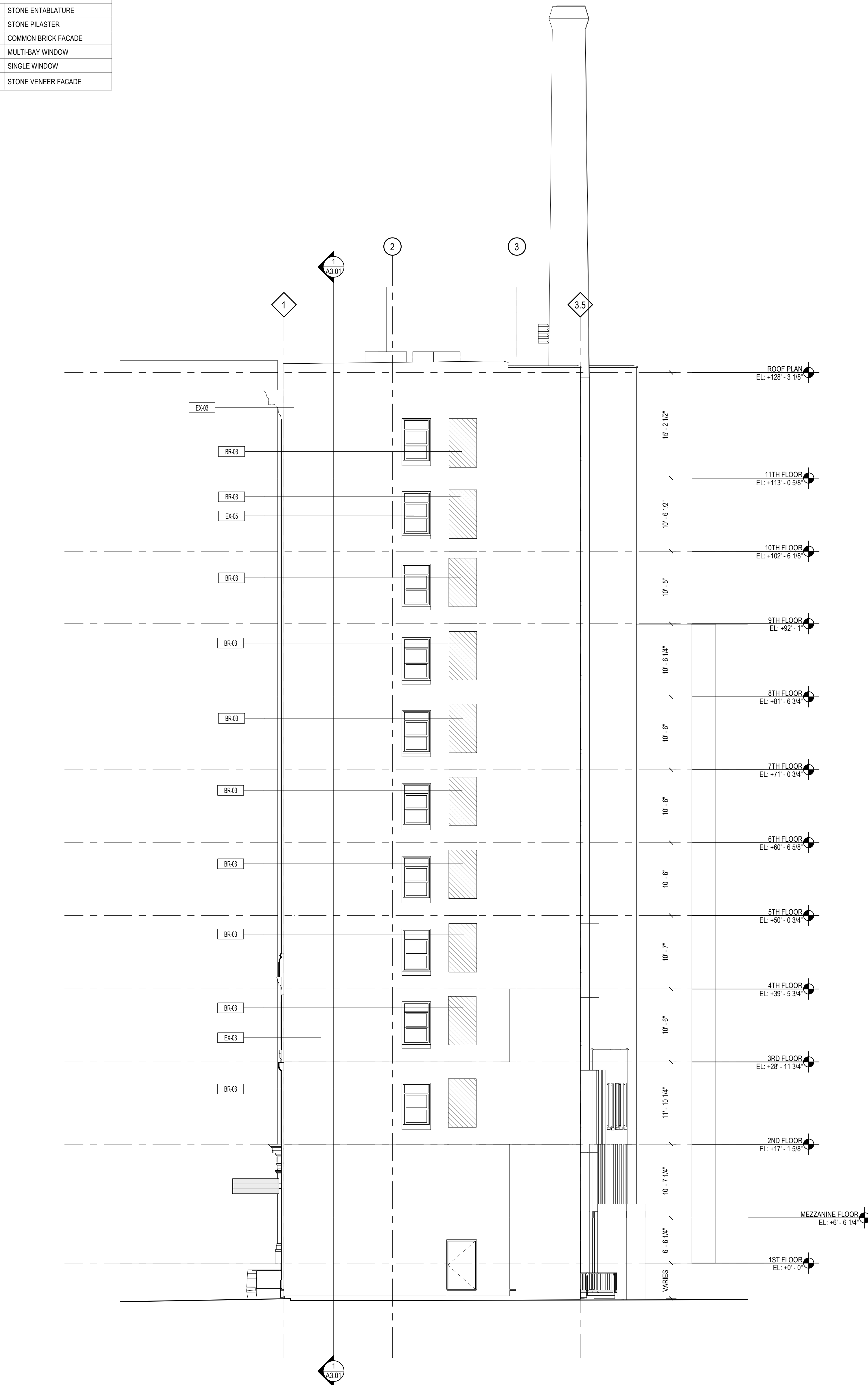
## A2.00





# CONFIDENTIAL

MATERIAL LEGEND							
TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION
<b>GLASS</b>		<b>METAL</b>		<b>BRICK</b>		<b>EXISTING TO REMAIN</b>	
GL-01	STOREFRONT GLAZING @ GROUND LEVEL	MT-01	ALUMINUM STOREFRONT SYSTEM	BR-01	MASONRY CAVITY WALL, BRICK TO MATCH EXISTING	EX-01	STONE ENTABLATURE
GL-02	SPANDREL GLAZING @ GROUND LEVEL STOREFRONT	MT-02	ALUMINUM STOREFRONT PANEL WITH RELIEF	BR-02	NEW BRICK INFILL IN EXISTING OPENING, BRICK TO MATCH EXISTING. HOLD FACE OF BRICK BACK 1" FROM EXISTING FACE OF WALL.	EX-02	STONE PILASTER
GL-03	ENTRY CANOPY GLASS SURROUND				NEW BRICK INFILL IN EXISTING OPENING, BRICK TO MATCH EXISTING. HOLD FACE OF BRICK BACK 1" FROM EXISTING FACE OF WALL. COORDINATE EXHAUST FAN ROUGH OPENING WITH MECHANICAL DRAWINGS	EX-03	COMMON BRICK FACADE
GL-04	NEW GLASS AND ALUMINUM WINDOW AT PUNCHED OPENING			BR-03		EX-04	MULTI-BAY WINDOW
						EX-05	SINGLE WINDOW
						EX-06	STONE VENEER FACADE



**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE ONLY

RCH ELEVATION 0' - 0" = +658.78'

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## Fidelity Hotel

940 E 6th Street  
Cleveland, Ohio

## SUANCES

[illegible]

ARTSHORNE PLUNKARD ARCHITECTURE



ROJ. # 20-020

SCALE: 1/8" = 1'-0"

## NORTH BUILDING ELEVATION

## A2.01



**CONFIDENTIAL**

TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION	TAG	MATERIAL DESCRIPTION
<b>GLASS</b>		<b>METAL</b>		<b>BRICK</b>		<b>EXISTING TO REMAIN</b>	
GL-01	STOREFRONT GLAZING @ GROUND LEVEL	MT-01	ALUMINUM STOREFRONT SYSTEM	BR-01	MASONRY CAVITY WALL, BRICK TO MATCH EXISTING	EX-01	STONE ENTABLATURE
GL-02	SPANDREL GLAZING @ GROUND LEVEL STOREFRONT	MT-02	ALUMINUM STOREFRONT PANEL WITH RELIEF	BR-02	NEW BRICK INFILL IN EXISTING OPENING, BRICK TO MATCH EXISTING. HOLD FACE OF BRICK BACK 1" FROM EXISTING FACE OF WALL.	EX-02	STONE PLASTER
GL-03	ENTRY CANOPY GLASS SURROUND				NEW BRICK INFILL IN EXISTING OPENING, BRICK TO MATCH EXISTING. HOLD FACE OF BRICK BACK 1" FROM EXISTING FACE OF WALL. COORDINATE EXHAUST FAN ROUGH OPENING WITH MECHANICAL DRAINWAYS.	EX-03	COMMON BRICK FACADE
GL-04	NEW GLASS AND ALUMINUM WINDOW AT PUNCHED OPENING			BR-03		EX-04	MULTI-BAY WINDOW
						EX-05	SINGLE WINDOW
						EX-06	STONE VENEER FACADE

AREA FOR CITY APPROVAL STAMP

**FOR REFERENCE ONLY**

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Fidelity Hotel

1940 E 6th Street

**ISSUANCE:**

DATE	ISSUED FOR
11/19/2021	100 % SCHEMATIC DESIGN
01/13/2022	CITY SCHEMATIC DESIGN REVIEW

HARTSHORNE PLUNKARD ARCHITECTURE

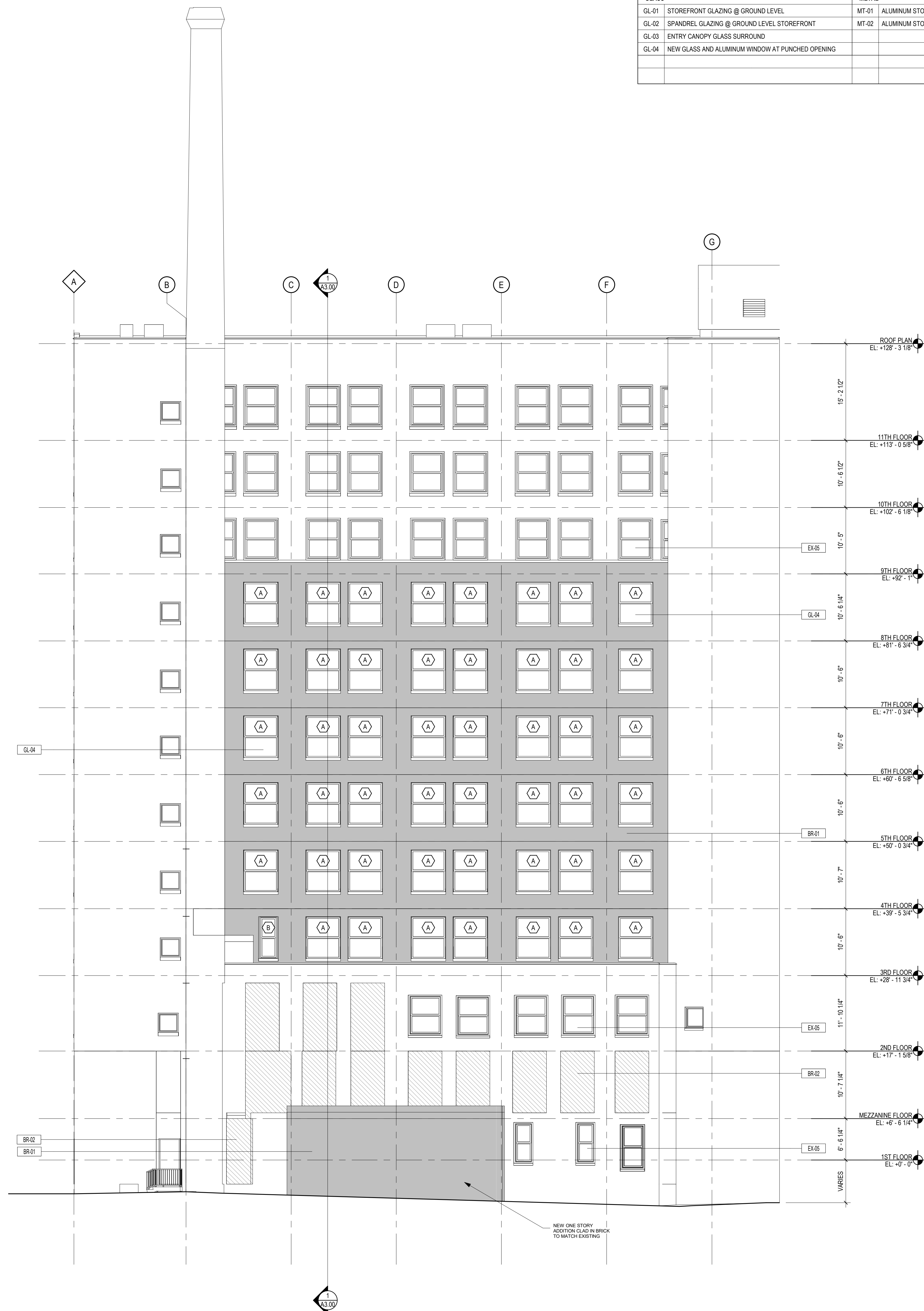
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PRDJ. # 20-020

SCALE: 1/8" = 1'-0"

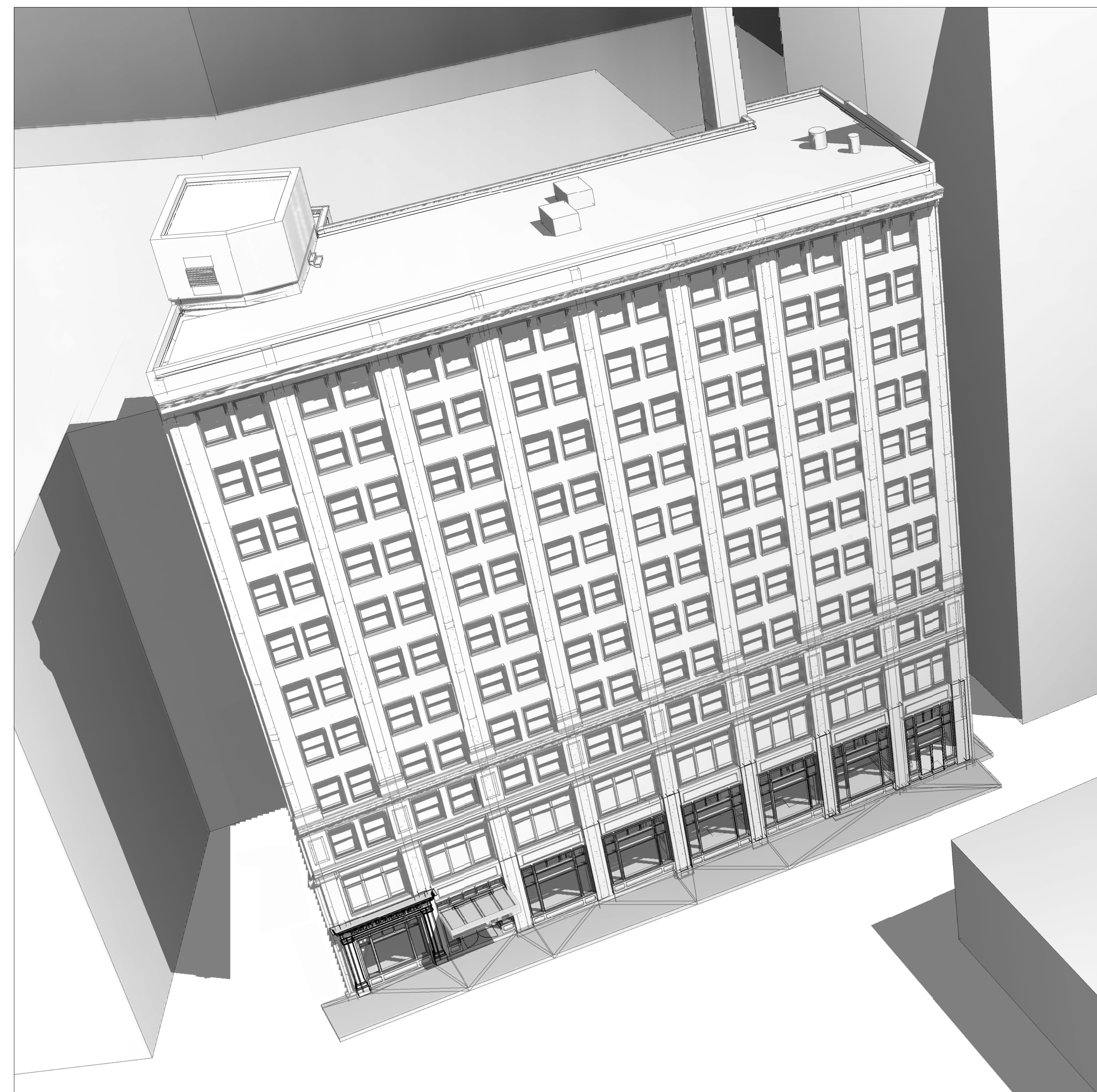
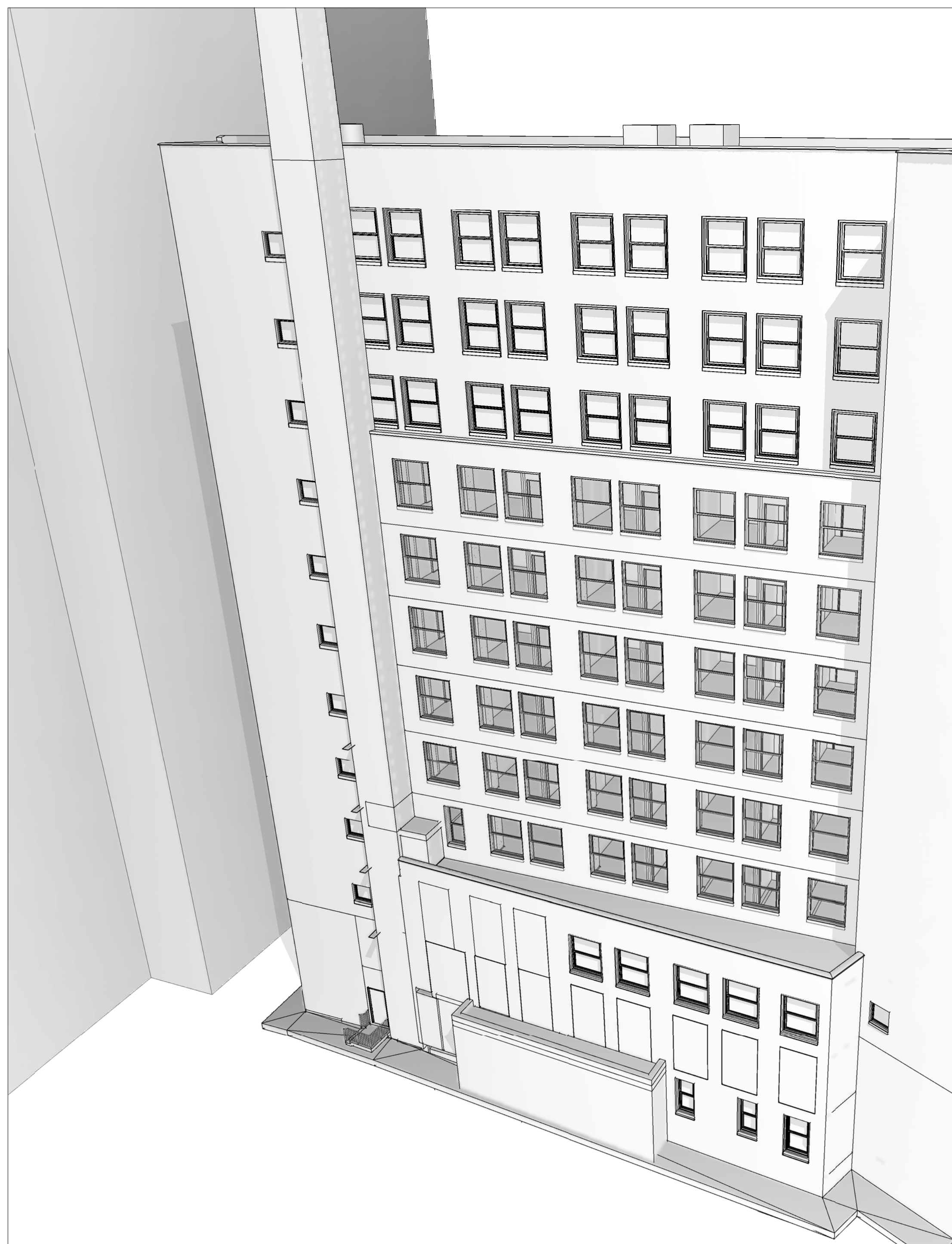
WEST BUILDING  
ELEVATION

## A2.02



**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"





AREA FOR CITY APPROVAL STAMP

**FOR REFERENCE ONLY**

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## Fidelity Hotel

1940 E 6th Street  
Cleveland, Ohio

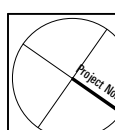
## ISSUANCES

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CHICAGO, IL 60607  
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PROJ. # 20-020

SCALE:

## ILLUSTRATIVE RENDERINGS

## A2.04



**AREA FOR CITY APPROVAL STAMP**

**SECTION NOTES**

- 1) SEE WALL SECTIONS FOR FURTHER INFORMATION ON WALL & FLOOR ASSEMBLIES.
- 2) SEE FLOOR PLANS FOR WALL & ENVELOPE FIRE RATINGS.
- 3) PROVIDE ALL PROJECTING METAL PANEL SILLS AND COPINGS WITH DRIP EDGES AND TAPERED TOP EDGES AS INDICATED.
- 4) ALL HEADERS, SILLS, AND PROJECTING COURSES TO BE FLASHED AND SEEPED AS INDICATED.
- 5) PROVIDE VAPOR BARRIER ON WARM SIDE OF ALL EXTERIOR STUD WALLS, BETWEEN STUD & OUTSIDE FACE OF INTERIOR GYPSUM BOARD LAYERS); SEE SPECS.

## SECTION NOTES

- 1) SEE WALL SECTIONS FOR FURTHER INFORMATION ON WALL & FLOOR ASSEMBLIES
- 2) SEE FLOOR PLANS FOR WALL & ENVELOPE FIRE RATINGS.
- 3) PROVIDE ALL PROJECTING METAL PANEL SILLS AND COPINGS WITH DRIP EDGES AND TAPERED TOP EDGES AS INDICATED.
- 4) ALL HEADERS, SILLS, AND PROJECTING COURSES TO BE FLASHED AND SEEPED AS INDICATED.
- 5) PROVIDE VAPOR BARRIER ON WARM SIDE OF ALL EXTERIOR STUD WALLS; BETWEEN STUD & OUTSIDE FACE OF INTERIOR GYPSUM BOARD LAYER(S); SEE SPECS.

ARCH ELEVATION 0' - 0" = +658.78'

Fidelity Hotel

**HARTSHORNE PLUNKARD ARCHITECTURE**

 232 NORTH CARPENTER STREET  
CHICAGO, IL 60607  
312.224.4488  
HPARCHITECTURE.COM

## BUILDING SECTION

FLOOR & ROOF ASSEMBLIES											
01	EXIST. FLOOR CONSTRUCTION	02	EXTENSION FLOOR CONSTRUCTION	03	TYPICAL INFILL FLOOR CONSTRUCTION	04	TERRACED ROOF CONSTRUCTION	05	MAIN ROOF CONSTRUCTION	06	ELEVATOR SHAFT ROOF CONSTRUCTION
X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX
- EXISTING CONCRETE STRUCTURE. SEE DRAWINGS FOR THICKNESS	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- MEMBRANE ROOFING, SEE PLANS - CONCRETE AND METAL DECK, SEE STRUCTURAL	- MEMBRANE ROOFING, SEE PLANS - CONCRETE AND METAL DECK, SEE STRUCTURAL	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE



SCALE: 1/8" = 1'-0"



FLOOR & ROOF ASSEMBLIES											
01	EXIST. FLOOR CONSTRUCTION	02	EXTENSION FLOOR CONSTRUCTION	03	TYPICAL INFILL FLOOR CONSTRUCTION	04	TERRACED ROOF CONSTRUCTION	05	MAIN ROOF CONSTRUCTION	06	ELEVATOR SHAFT ROOF CONSTRUCTION
X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX	X HR RATING EXISTING X HR RATING PROVIDED PER UL #XXXX
- EXISTING CONCRETE STRUCTURE, SEE DRAWINGS FOR THICKNESS	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- FINISHED FLOOR, SEE FINISH SCHEDULE - CONCRETE AND METAL DECK, SEE STRUCTURAL	- MEMBRANE ROOFING, SEE PLANS - CONCRETE AND METAL DECK, SEE STRUCTURAL	- MEMBRANE ROOFING, SEE PLANS - CONCRETE AND METAL DECK, SEE STRUCTURAL	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE	- MEMBRANE ROOFING, SEE PLANS - EXISTING CONCRETE STRUCTURE

AREA FOR CITY APPROVAL STAMP

ARCH ELEVATION 0' - 0" = +658.78

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[illegible]

**HPA** 232 NORTH CARPENTER STREET  
CHICAGO, IL 60607  
312.224.4488  
HPARCHITECTURE.COM

SCALE: 1/8" = 1'-0"

## A3.01





# Cleveland Landmarks Commission

## Design Review

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February 10, 2022





# City of Cleveland

Justin M. Bibb, Mayor

City Planning Commission

Marka Fields, Interim Director

601 Lakeside Avenue, Room 501, Cleveland, OH. 44114  
T: (216) 664-2210 F: (216) 664-3281 | www.planning.city.cleveland.oh.us

## Downtown | Flats Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 9:00 AM

Case Number: DF2021-033

Meeting Date: 1/20/22

Project Name: Fidelity Hotel

Ward #: 3

Project Address: 1940 E. 6th St.

Project Rep.: Paul Alessandro, Hartshorne Plunkard

Existing Use: Retail

Proposed Use: Hotel + Retail

Project Scope: Rehab interior as hotel

Remove and replace storefronts with windows

Design Review Level Applied For: Schematic

Motion by Design Review Committee:

Approve (as presented) ☐ Approve (with stated conditions) ☒ Disapprove ☐ Table ☐

Conditions:

- ~~consider lining up transoms~~
- Site plan of interior needed
- Consider equitable access
- lighting plan required for final
- pick-up & dropoff situation needs to be solved for final

E = enter late

Committee Action:				(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)			
Bialosky	(C)	<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input checked="" type="checkbox"/> Pres.	Schwartzberg	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input checked="" type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Bogart		<input type="checkbox"/> Yea <input type="checkbox"/> Nay	<input checked="" type="checkbox"/> Abst.	<input checked="" type="checkbox"/> Pres.		Soltis	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Boyd		<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input checked="" type="checkbox"/> Pres.		VanderWiel	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Brown		<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input checked="" type="checkbox"/> Pres.		Yablonsky	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input checked="" type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Geist	(VC)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input checked="" type="checkbox"/> Pres.		Zarfoss	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input checked="" type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Pesarchick		<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input checked="" type="checkbox"/> Pres.			

Non-Voting Members in Attendance:

☐ Dro Sohrabian ☐ Michael Bosak ☐ Freddy L. Gollier Jr.  
Mark Fields

Applicant Signature & Date:

Virtual Meeting – No Signature Required



# Cleveland Landmarks Commission

## National Register of Historic Places Nomination

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February 10, 2022



# National Register of Historic Places Nomination

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February 10, 2022



## **Euclid Avenue Historic District Increase & Amendment**

### Ward 3: McCormack





The  
Hermit  
Club

HOM 2783













12  
11  
10  
9  
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7  
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1

**2ND FLOOR  
NOW OPEN**

offering

**40 WINES  
& 8 BEERS**

ON TAP









2025

2025

SOMETHING  
EVERYTHING  
SOMETHING  
JACK

PARKING

PARKING

PARKING



# National Register of Historic Places Nomination

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February 10, 2022



## **Monmouth Building**

Ward 9: Conwell





Blue Fig  
CAFE

fresh air  
balconies | patios | green spaces  
1 & 2 bedroom luxury apartments  
216.462.4341  
adamsuniversitycircle.com

WELCOME  
ようこそ  
مرحباً  
स्वागत  
வரவேற்பு  
WELCOME  
UNIVERSITY CIRCLE  
Cleveland





Blue Fig





WELCOME  
TO UNIVERSITY  
CIRCLE

Euclid

DO NOT  
CROSS HERE  
USE CROSSWALK

NO  
PARKING  
ANY  
TIME

Blue Fig  
CAFE

Blue Fig  
CAFE

WELCOME  
TO UNIVERSITY  
CIRCLE





Blue Fig  
CAFE

ONE WAY

NO  
PARKING  
ANY  
TIME

TWO  
HOUR  
PARKING  
7 AM TO  
5 PM



Tired of cramped living?  
Ready to leave your roommate behind?





MONMOUTH

1745

-MEST

1743







# National Register of Historic Places Nomination

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February 10, 2022



**Nathaniel Hawthorne School**

Ward 16: Kazy



















# Cleveland Landmarks Commission

## Administrative Reports

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February 10, 2022



# Cleveland Landmarks Commission

## Adjournment

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February 10, 2022