



Cleveland Landmarks Commission

Thursday, October 14, 2021

****PLEASE MUTE YOUR MICROPHONE****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

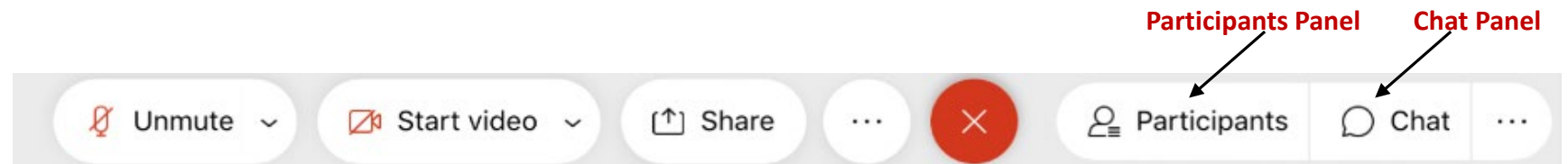
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING *6



October 14, 2021

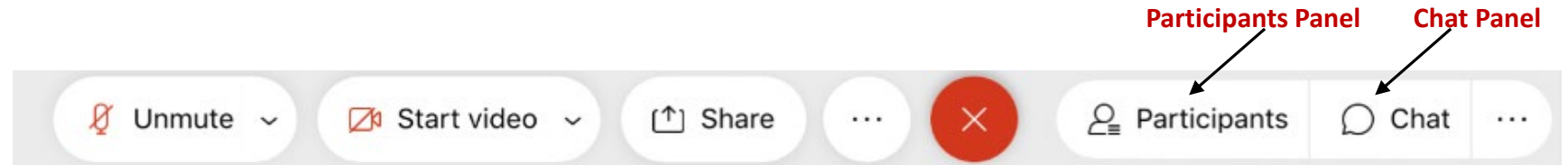
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



October 14, 2021

Cleveland Landmarks Commission

Call to Order & Roll Call



October 14, 2021

Cleveland Landmarks Commission

Public Hearing



October 14, 2021

Public Hearing, Cleveland Landmark Nomination

October 14, 2021



Slovenian Workmen's Home and World War II War Memorial

15333-15405 Waterloo Road

Ward 8: Polensek

SLOVENIAN WORKMEN'S HOME AND MEMORIAL

CLEVELAND LANDMARK NOMINATION

15333 - 15405 WATERLOO ROAD

Slovenians to America

- Slovene settlement in Cleveland beginning in the 1880s
- Immigration heaviest in 1890-1914, 1919-1924 and 1949-60
- 1910 Census – 14,332 in Cleveland
- 1970 Census – 46,000 foreign born or mixed parentage Slovenes in Cleveland



Significance

- Its character, interest or value is part of the development, heritage or cultural characteristics of the City, State or the United States.
- The historic property exemplifies the cultural, economic, social or historic heritage of the City.
- The historic property embodies elements of architectural design, detail, materials, or craftsmanship which represent a significant architectural innovation.
- The historic property relates to other distinctive areas which are eligible for preservation activities, based on a historic, cultural, or architectural motif
- The historic property's location or its singular physical characteristics represent the establishment or are a familiar visual feature of a neighborhood, community or City.

- August 5, 1925 – Plans to start building
 - Total Cost - \$86,700 (\$1.35 million in 2021)
- Architect Alexander C. Wolf
 - Active from 1911 – 1954
 - Member of the City Planning Commission 1922-1927
 - Architect with Cleveland Transit System during WWII
- May 31, 1926 – Groundbreaking
- July 25, 1926 – Laying of cornerstone
- January 1, 1927 – Grand Opening

SLOVENIAN HALL TO COST \$76,000

Eighteen Societies Will Lay Stone July 25.

Eighteen Slovenian fraternal societies will unite in building a \$76,000 hall at Waterloo and Shiloh roads N. E., two stories high. It will be financed by a bond issue.

Lodge rooms will occupy the 60 by 150-foot basement, with an auditorium seating 400 on the first floor. Offices, janitor's suite and two lodge rooms will occupy the second floor.

Slovenian organizations from other cities have been invited to the cornerstone laying July 25. Several bands will be present.

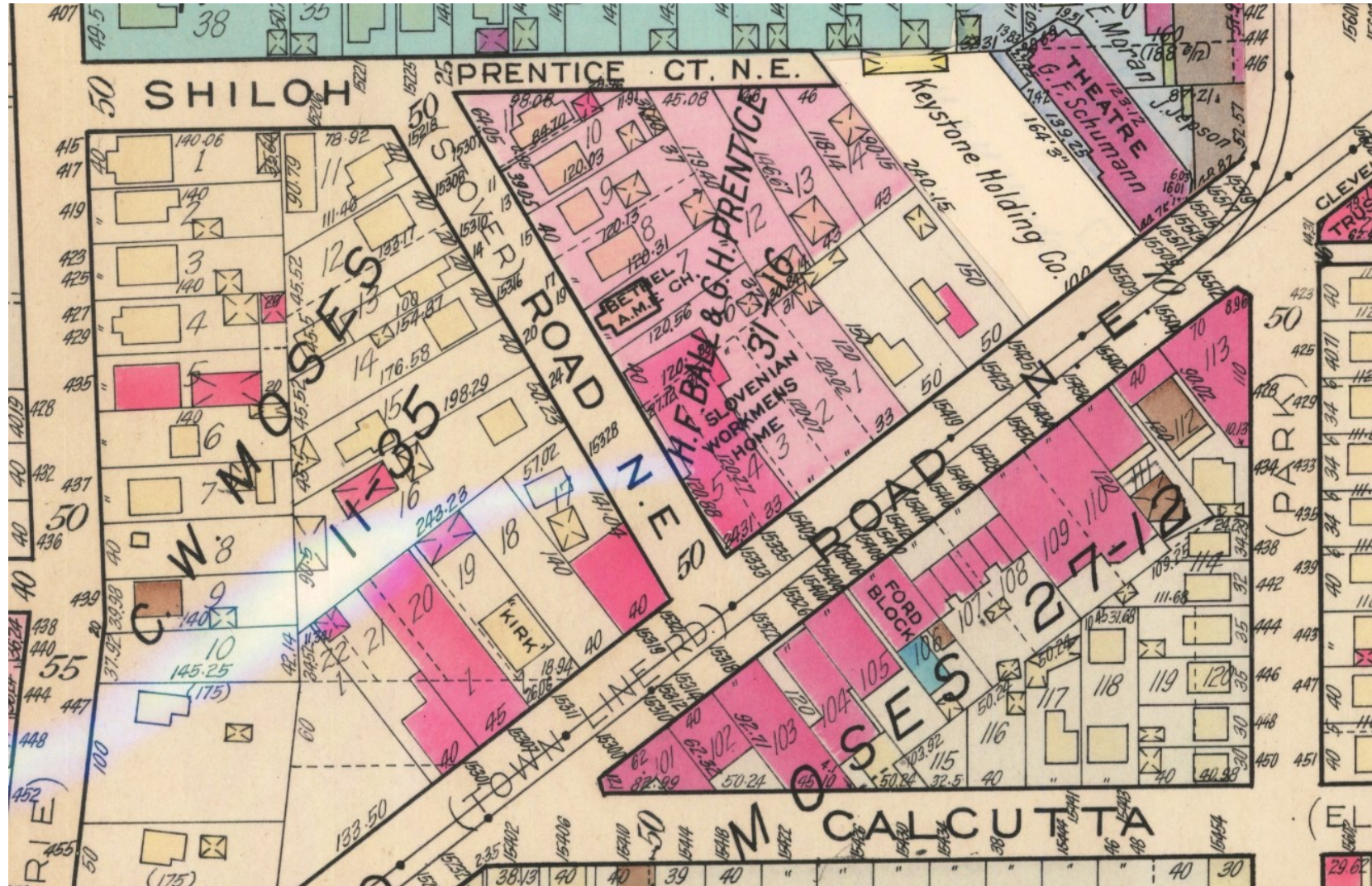
John Rozence, 15721 Waterloo road N. E., is president of the representatives of the fraternal organizations.

Warren Iron & Steel Sold

- 1935 – Addition of Public Bar Room
 - R.P. Brosch (?)
- 1939 – Addition of Bowling Alleys
 - Architect Harry B. Hoener
 - Dedicated September 16-17, 1939
- 1945 – Ladies of the Progressive Slovene Women of America Circle No. 1 helped with the installation of the monument honoring the deceased war veterans
- 1947 – Addition of second story to 1935 addition
 - Architects Paul Matzinger and Rudolph Grosel
 - Croatian Liberty Home (1949)

- 1958 – Storefront plate glass removed and replaced with glass block and brick face in tavern only
- 1973 – Purchased the property next door to tear down the house for parking
- 1977 – Alteration to west storefront to match
- 1980s – Murals in windows added
- 2014 – Removal of glass block for new storefront windows

Map 1927





Monument

- Gold Star
 - 14 Killed in Action
- 548 Service members from the neighborhood
 - Names on bronze plaques

Unveil War Memorial Sunday



One of the first monuments to be built in honor of World War II veterans will be dedicated Sunday by Slovene organizations meeting in the Slovene Workman's Home, 15335 Waterloo Rd.

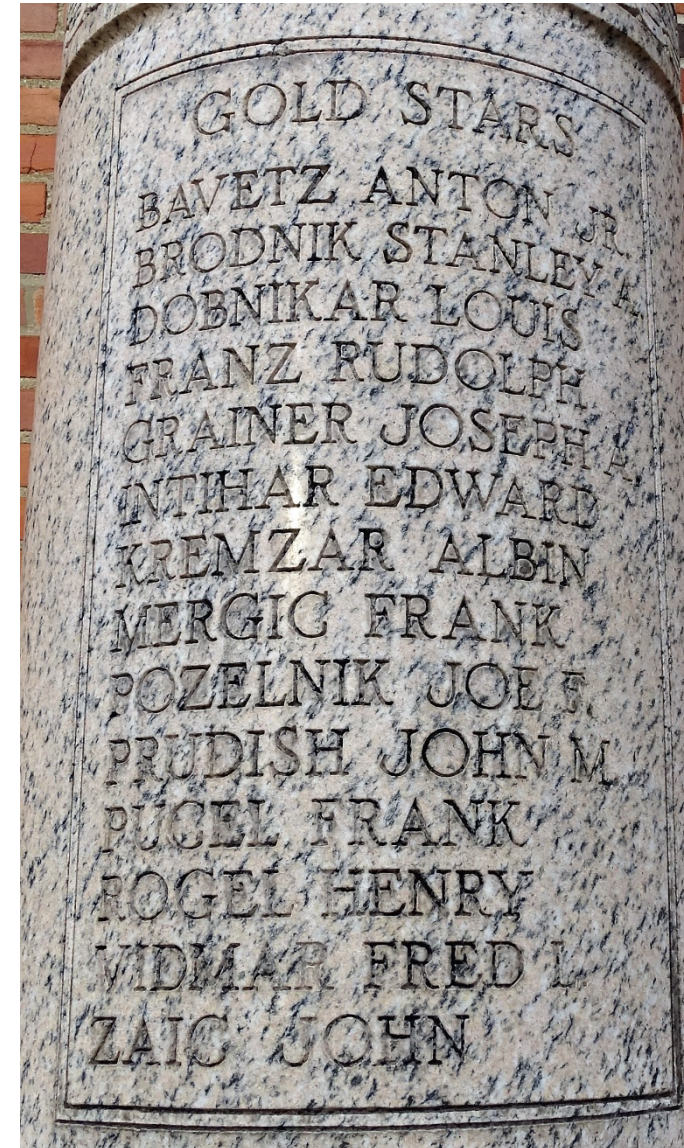
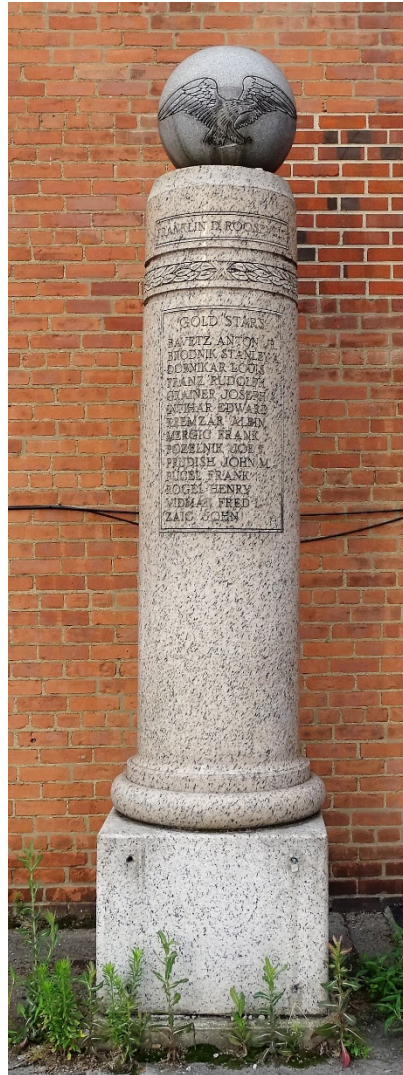
Financed by the combined lodges of the Slovene Workmen's Home, the monument is 13 feet high. A pillar eight feet high contains names of 14 men in the neighborhood who were killed in action. The 15th name is that of President Roosevelt.

The base of the monument contains four bronze plaques with names of 548 men of the neighborhood who served. The monument was built by Frank Kosich of 15425 Waterloo Rd.

Sunday's dedication program will include a parade at 1:30 p. m. and a speaking program in front of the monument at 2 p. m.

FRANK KOSICH stands at the foot of the monument to servicemen to be dedicated by Slovenes Sunday at 15335 Waterloo Rd.

Monument



Current Conditions





SPEED
LIMIT
25

NO
PARKING
ANY
TIME

AVAILABLE
Mixed Use, Historic Re-Development

David Wagner

216.839.2002

Shiloh





Cleveland Landmarks Commission

Public Hearing Action



October 14, 2021

October 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Certificates of Appropriateness



October 14, 2021



Case 21-068: Little Italy Historic District (Tabled 8-26-21)

2191 Murray Hill Road

Signs for McDowell Homes and Real Estate Services

Ward 6: Griffin

Project Representative: Jessica Ruff, Ruff Neon Signs and Lighting Maintenance

2191 Murray Hill Rd., Cleveland, OH 44106



FRONTAGE: 25' 7"



295 WEST PROSPECT
PAINESVILLE, OHIO 44077

TEL: (440) 350 6267

VISIT US AT RUFFNEONSIGN.COM

CLIENT:



REAL ESTATE SERVICES®

CONTACT: Tyler McHugh / TylerMcHugh@mcdhomes.com / 440-223-1661

ADDRESS: 2191 Murray Hill Rd., Cleveland, OH 44106

DRAWING: 21051404 Page 1 of 9 DATE: 5-14-2021

REPRESENTATIVE: Jessica Ruff / jessica@ruffneonsign.com

FILE: MCDOWELL HOMES / CLEVELAND / MCDOWELL HOMES BLADE & BUILDING SIGNS

DRAWING HISTORY		
INFO	DESIGNER	DATE
PRELIMINARY DRAWING	JOHN RICHARDS	5-14-2021
REV1	JOHN RICHARDS	5-17-2021
REV2	MICHAEL CAVE	7-15-2021
REV3	JERRY NUMMI	9-2-2021

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

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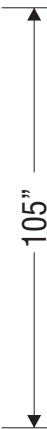
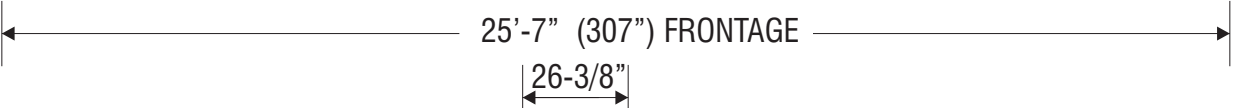
DATE:

SIGN 2



PROPOSED ELEVATION

SCALE:1/4"=1'-0"



EXISTING ELEVATION

SCALE:1/4"=1'-0"



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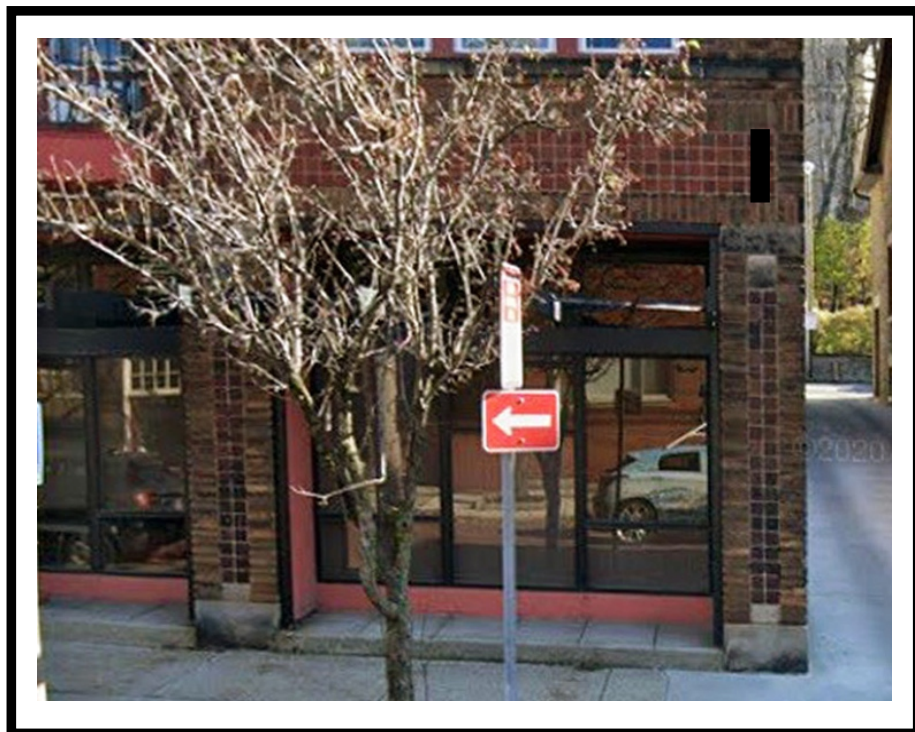
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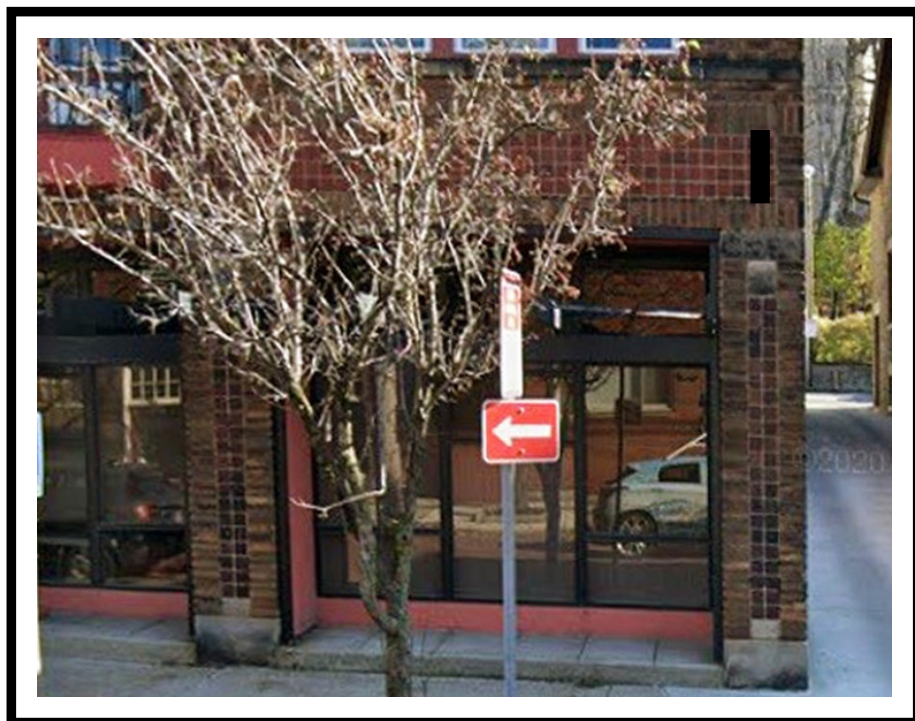
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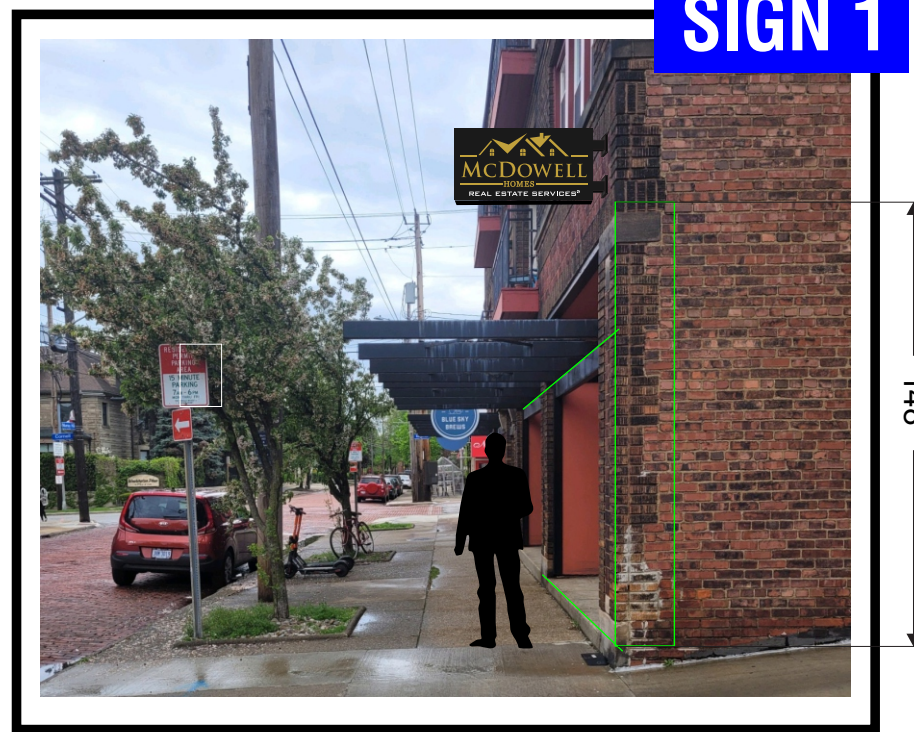
DATE:



PROPOSED ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING ELEVATION
SCALE: 3/16" = 1'-0"

SIGN 1

148"



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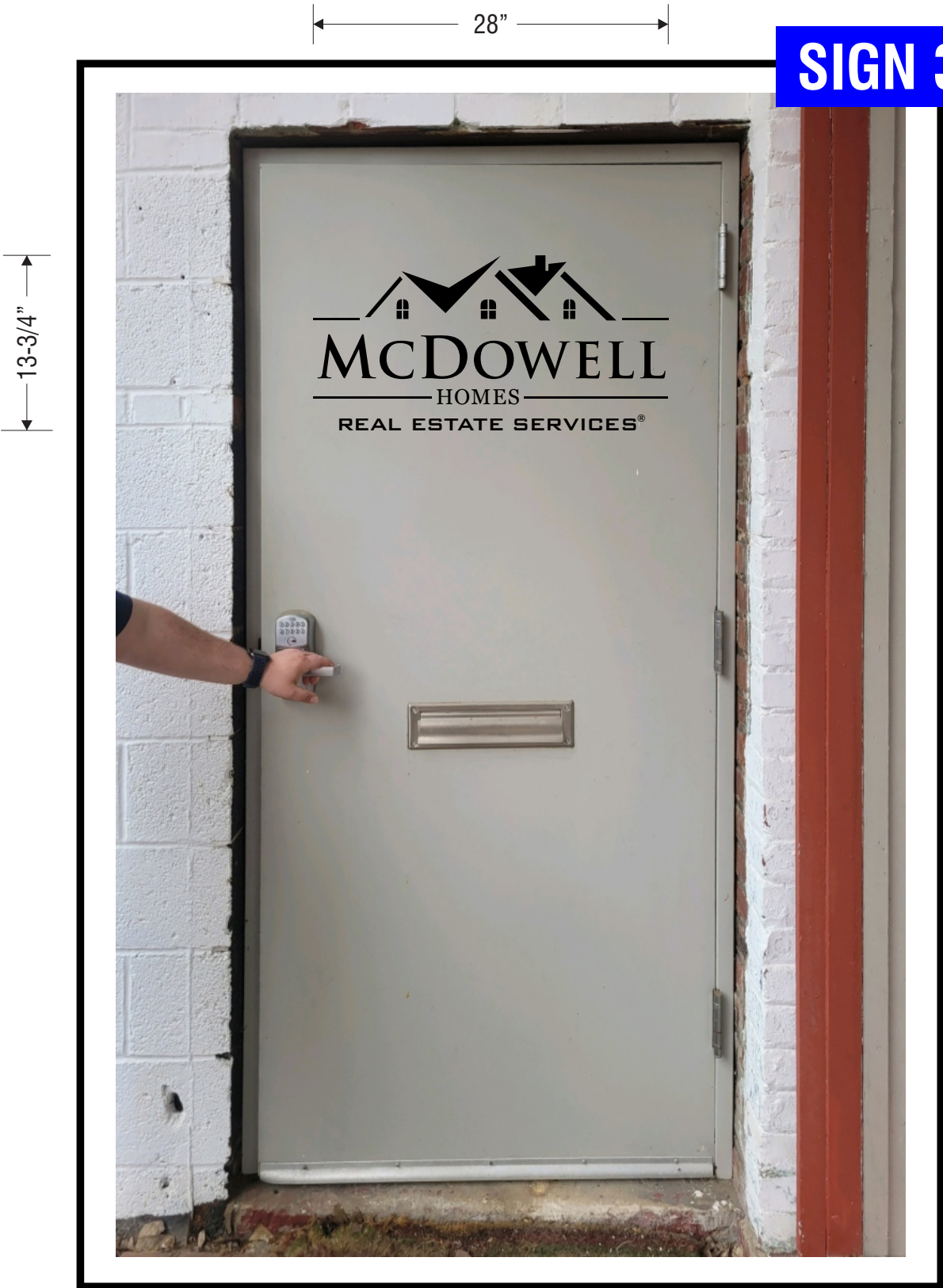
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EXISTING ELEVATION
SCALE:1"=1'-0"



PROPOSED ELEVATION
SCALE:1"=1'-0"

SIGN 3

RUFFneon
Signs and lighting maintenance inc.
24 HR EMERGENCY SERVICE

295 WEST PROSPECT
PAINESVILLE, OHIO 44077

TEL: (440) 350 6267

VISIT US AT RUFFNEONSIGN.COM

CLIENT:

MCDOWELL
HOMES
REAL ESTATE SERVICES®
CONTACT: Tyler McHugh / TylerMcHugh@mcdhomes.com / 440-223-1661

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DATE:



EXISTING ELEVATION
SCALE:3/4"=1'-0"



PROPOSED ELEVATION
SCALE:3/4"=1'-0"



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DATE:

D/F ILLUMINATED CABINET BLADE SIGN (SIGN 1)

ELECTRICAL SURVEY REQUIRED



SCALE: 1" = 1'-0"

SIGNAGE REPRESENTS 7.6 SQ FT

FRONTAGE: 25' 7"

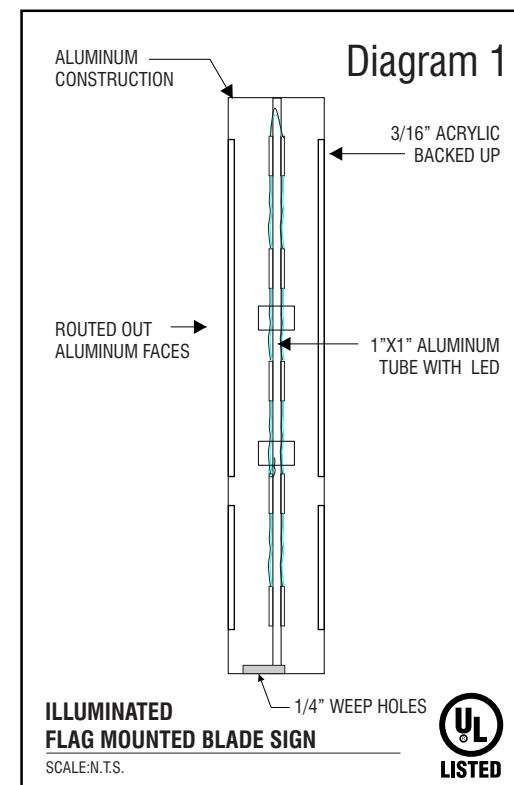
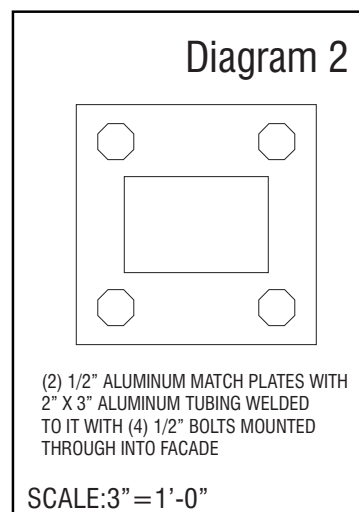
D/F BLADE SIGN (ILLUMINATED) (See Diagram 1)

Cabinet: 24" X 46" D/F 6" deep custom made cabinet with no retainers. Cabinet painted BLACK.

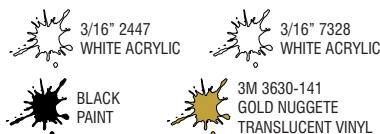
Faces: (2) 24" X 46" 1/8" aluminum with routed out graphics painted BLACK and backed up with 3/16" 2447 WHITE acrylic with 3M 3630-141 GOLD NUGGET translucent vinyl. "Real Estate Services" backed up with 3/16" 7328 WHITE acrylic.

Illuminated: Internally illuminated with WHITE LED on 1"x1" square tube structure

Mounting: Flag mounted to building with (2) 2" X 3" square aluminum tube welded to 5" x 5" mounting plates and bolted to building, all mounting needs to be painted with BLACK paint. Electrical feed through aluminum tube. Electrical survey needed to verify



COLOR SPECIFICATIONS



Customer Initials
to approve colors



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FILE: MCDOWELL HOMES / CLEVELAND / MCDOWELL HOMES BLADE & BUILDING SIGN

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DATE:

28"

13-3/4"

MCDOWELL
HOMES
REAL ESTATE SERVICES®

28"

13-3/4"

MCDOWELL
HOMES
REAL ESTATE SERVICES®

(QUANTITY 1)

SCALE: 3" = 1'-0"

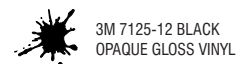
SCALE: 1" = 1'-0"

VINYL DOOR SIGN

Material: (1) 17-5/8" X 21" - 3M 7125-12 BLACK OPAQUE GLOSS VINYL

Mounting: Apply to first surface of door.

SIGNAGE REPRESENTS 3.69 SQ FT



COLOR SPECIFICATIONS

Customer Initials
to approve colors



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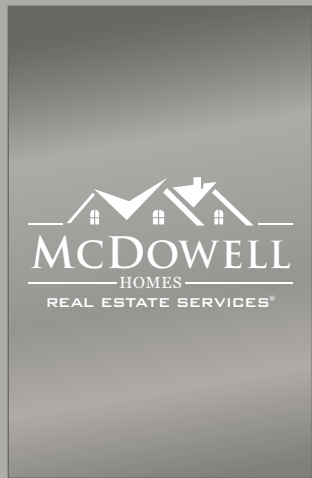
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CLIENT SIGNATURE:

DATE:

28"

19"



16-1/2"

8-1/8"



(QUANTITY 2)

SCALE:3"=1'-0"

SIGNAGE REPRESENTS .93 SQ FT

VINYL DOOR SIGN

Material: (1) 17-5/8" X 21" - 3M 7125-10 WHITE OPAQUE GLOSS VINYL

Mounting: Apply to second surface of door.

SCALE:1"=1'-0"



3M 7125-10 WHITE
OPAQUE GLOSS VINYL

COLOR SPECIFICATIONS

Customer Initials
to approve colors



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© 2021 Google

© 2021 Google

© 2021 Google

BEERY
WINE

5-MINUTE
PARKING
←

Google



Case 21-076: Lorain Avenue Historic District (Tabled 9-23-21)

4329 Lorain Avenue

Sign (Mural) for Sherwin-Williams

Ward 3: McCormack

Project Representative: Kelly M. Fichtner, Taryn Brand, Sherwin-Williams; Allison Hennie,
Graffiti Heart



SHERWIN-WILLIAMS.

Sherwin-Williams X Graffiti Heart Ohio City Mural

Company Background



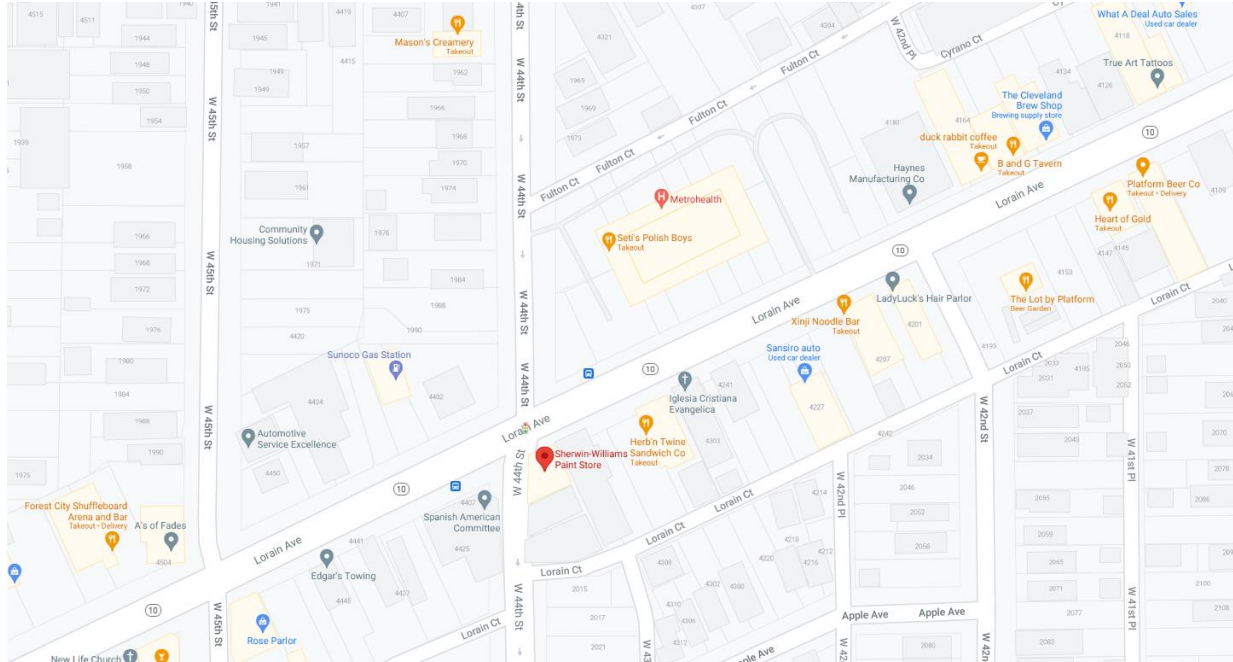
SHERWIN-WILLIAMS®

- Our mission to cover the earth began more than 150 years ago when in 1866 Henry Sherwin and Edward Williams founded the Company in Cleveland, Ohio.
- Since then, Sherwin-Williams has been an industry leader in the development of technologically advanced paint and coatings.
- As the nation's largest specialty retailer of paint and painting supplies, Sherwin-Williams is dedicated to supporting both do-it-yourselfers and painting professionals
- Sherwin-Williams has one of the industry's most recognized portfolios of branded and private-label products. The Company's Sherwin-Williams® branded products are sold exclusively through a chain of more than 4,438 company operated stores and facilities in the United States, Canada, the Caribbean and Latin America.

Context Map



SHERWIN-WILLIAMS.



Building Specs



SHERWIN-WILLIAMS®

- New construction started on October 2020- and finished on May 2021.
- The building materials: masonry brick



Entire wall including the two doors is 56'7"x12'8".

Elevation Drawing



SHERWIN-WILLIAMS.

ELEVATION KEYNOTE LEGEND



BRICK VENEER - MODULAR FACE BRICK VENEER BY ENDICOTT OR APPROVED EQUAL IN COURSING INDICATED BELOW. COLOR: DARK IRONSPOT SMOOTH MODULAR.



BRICK VENEER TYPICAL
RUNNING BOND



BRICK VENEER HERRINGBONE
BOND



BRICK VENEER ROWLOCK
BOND



BRICK VENEER SOLDIER
BOND

[Click here for a more in-depth Elevation Document](#)

Wall Photos



SHERWIN-WILLIAMS®



Context Photos



SHERWIN-WILLIAMS.



Front of building, facing Lorain Ave.



Across the street from Mural, W. 44th ST.

Context Photos



SHERWIN-WILLIAMS®



Right of SW building, corner of 44th and Lorain



Left of SW building, Lorain Ave.

Artist Portfolio



SHERWIN-WILLIAMS.

Evan Laisure- Cleveland based freelance designer for print, digital and mural projects.
@thepastimes



51' x 11' sidewalk mural for a bike rack in
Lakewood Park



Mural on Chester Ave.



107x14 ft. mural for ingenuity Cleveland

Our Old Concept



SHERWIN-WILLIAMS.



SW Branding: 35' x 2' (70 square feet)
15.36% of the total mural space

Our New Concept



SHERWIN-WILLIAMS.



SW Branding: 25'x 8" (16.67 square feet)
5.45% of the total mural space

Our New Concept



SHERWIN-WILLIAMS.



Branding Measurements



SHERWIN-WILLIAMS®



The (2) existing SW signs are 2'X14'3" (28.5 sqft each). One is facing W 44th (right) and one is facing Lorain (right)

Branding Measurements

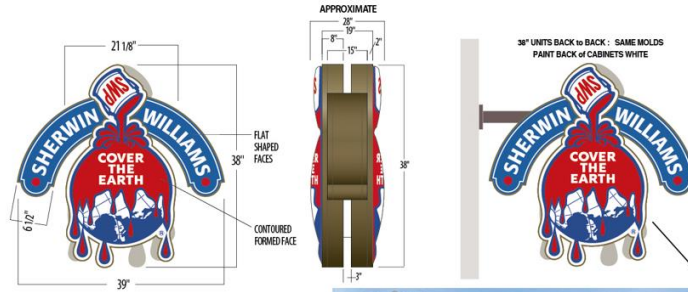


SHERWIN-WILLIAMS.

SHERWIN-WILLIAMS

SWP# 1107 Cleveland, Ohio (Ohio City)

BACK-TO-BACK 38" x 39" (38" x 21 1/8" CTE) DOUBLE FACE COUNTER SIGN with CONNECTING BANNER - North Elevation



10.27 - TOTAL SQUARE FEET

2 COLORS: PMS# 300 BLUE & PMS 012 RED (SPECIAL COLOR)

TRIM CAP: 1 INCH JEWELITE #13 METALLIC BRONZE
SHAPED CABINETS: SHUTTER BROWN
LED ILLUMINATION

FONT USED FOR RIBBON GRAPHICS
FORMAT: MEDIUM

25% of Window Area
2018 Window Graphics
with Tint - Size TBD

11 Windows in All



FILE#20-7-91-F-SW-D2	RW	Customer Approval
Scale: 3/4" = 1'-0"	Date: 6-16-2021	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering
Dualite One Dualite Lane Williamsburg, Ohio 45176	WWW.DUALITE.COM / #DUALITEINC / @DUALITE/TWITTERS	This design is exclusive property of Dualite Sales & Service, Inc. - 1 Dualite Lane - Williamsburg, OH 45176 Copyright 2021 Dualite Sales & Service, Inc. All Rights Reserved. Reproduction of this proprietary work without the permission of Dualite Sales & Service, Inc. will subject the user to liability under the copyright statutes of the United States.

the blade sign is not currently installed but will be 38"X39" (10.27 sqft).

Branding Measurements



SHERWIN-WILLIAMS®

Total Branding Square Footage (2 horizontal signs, 1 blade sign and 1 painted sign): **83.87 Square Feet**

Linear frontage of W. 44th: 110' 5"

Linear frontage of Lorain: 37' 10"

SW Signage on Lorain: 2'X14'3" (28.5 sqft)

SW Signage on W. 44th: 2'X14'3" (28.5 sqft)

SW Blade Signage (not yet installed):

38"X39" (10.27 sqft)

Size of entire painted wall: 56'7"x12'8"

Branding Measurements



SHERWIN-WILLIAMS®

Note from Shannan Leonard, City Planner: “The size of the entire painted wall mural = 716.86 Ft. This clearly overly exceeds the amount of signage permitted. However, it should be noted that Kelly and team eliminated the commercial branding of other businesses in the area and reduced their Sherwin Williams branding within the mural to 16.67 sf. If we only look at this – 16.67 sf (new branding) + 67.27 of current signage = 83.94 sf requiring a variance of 2.24 sf.”

Paint Specs- Primer



SHERWIN-WILLIAMS®



SHERWIN-WILLIAMS®

Shield against the elements with Loxon® Concrete and Masonry Systems

Count on *Loxon® Concrete and Masonry Systems*,
a full range of products for prepping, finishing,
specialty and more.



Take on More Jobs

Perfect for new construction and repaints. Can be applied on fresh concrete, stucco and block surfaces at least seven days old, with a pH of up to 13.



Stand up to the Elements

This unique system maintains the integrity of its original appearance despite sun, heat, wind-driven rain and salt air.



Smooth Out Imperfections

Products to help bridge hairline cracks and provide smooth coverage even over less-than-perfect surfaces.



Meet Stringent Requirements

Many of these systems comply with strict VOC requirements across the U.S. without sacrificing performance or productivity.

For more information on Loxon® Concrete and Masonry Systems, visit:

[Product Page](#)

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A30245APD

Paint Specs- Top Coat & Protective Coating Option #1



SHERWIN-WILLIAMS®



Emerald Rain Refresh Exterior Acrylic Latex Paint



8 Reviews | [Write a Review](#) | [See all Emerald Family products](#)

Emerald Rain Refresh Exterior is an ultra-durable exterior coating with Self-Cleaning Technology™. Rain Refresh is formulated so dirt washes away upon contact with rain or water for a clean, fresh look with minimal maintenance. This new coating offers excellent UV and weather protection and can be tinted in VinylSafe® paint colors.



Protective Coating: Sher-Clear 1K Waterborne Acrylic Clear Coat

Paint Specs- Top Coat & Protective Coating Option #2



SHERWIN-WILLIAMS®



Emerald Exterior Acrylic Latex Paint



41 Reviews | [Write a Review](#) | [See all Emerald Family products](#)

Emerald® Exterior premium paint and primer in one allows you to achieve stunning exterior results that stand the test of time in fewer coats.



Anti-Graffiti Coating

A single-component, non-sacrificial siloxane coating. This ready-to-use siloxane coating cures with atmospheric moisture, and is intended for use over properly prepared concrete surface



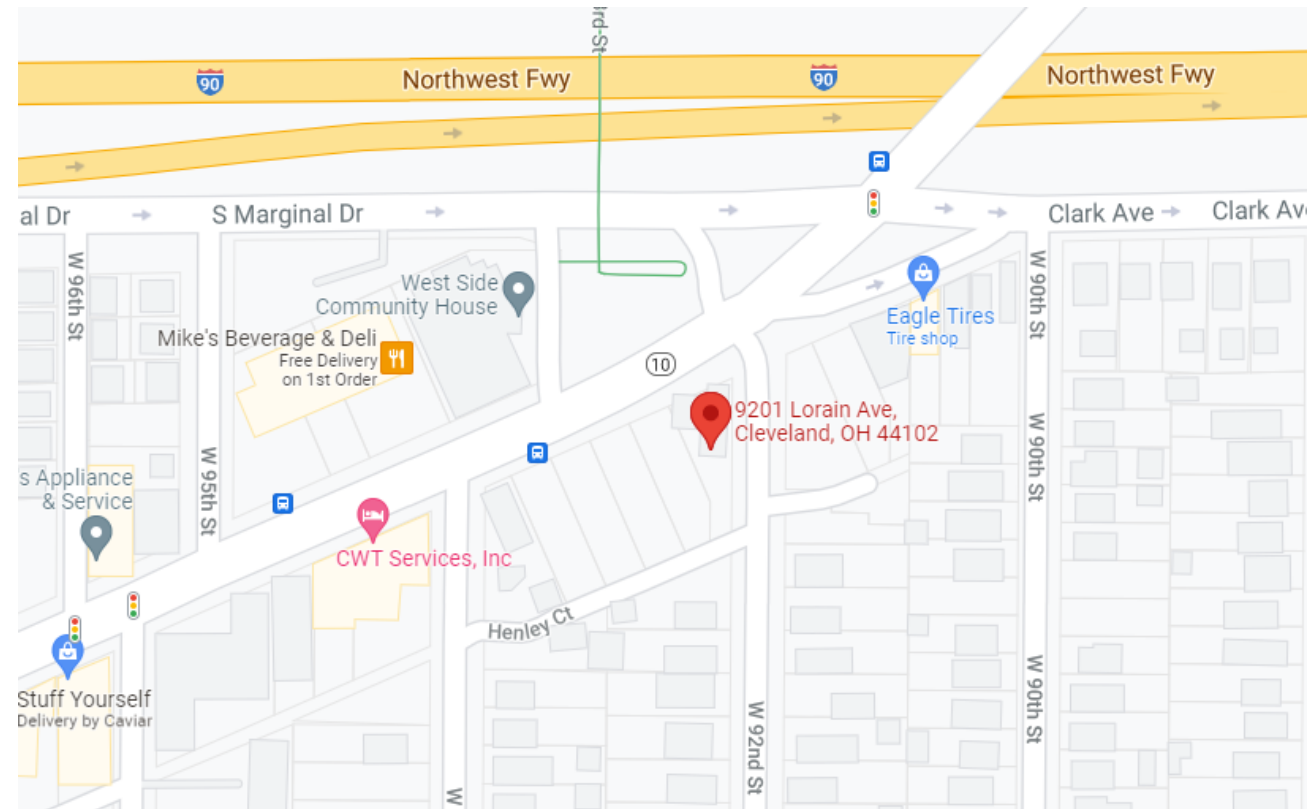
Case 21-079: Lorain Station Historic District (Case 20-063 Approved Addition 1-14-21)

9201 Lorain Avenue

Monument Sign for MedCare

Ward 11: Mooney

Project Representative: Steve Varelmann, Panzica Construction; Carmen Popa MD, ACM Properties



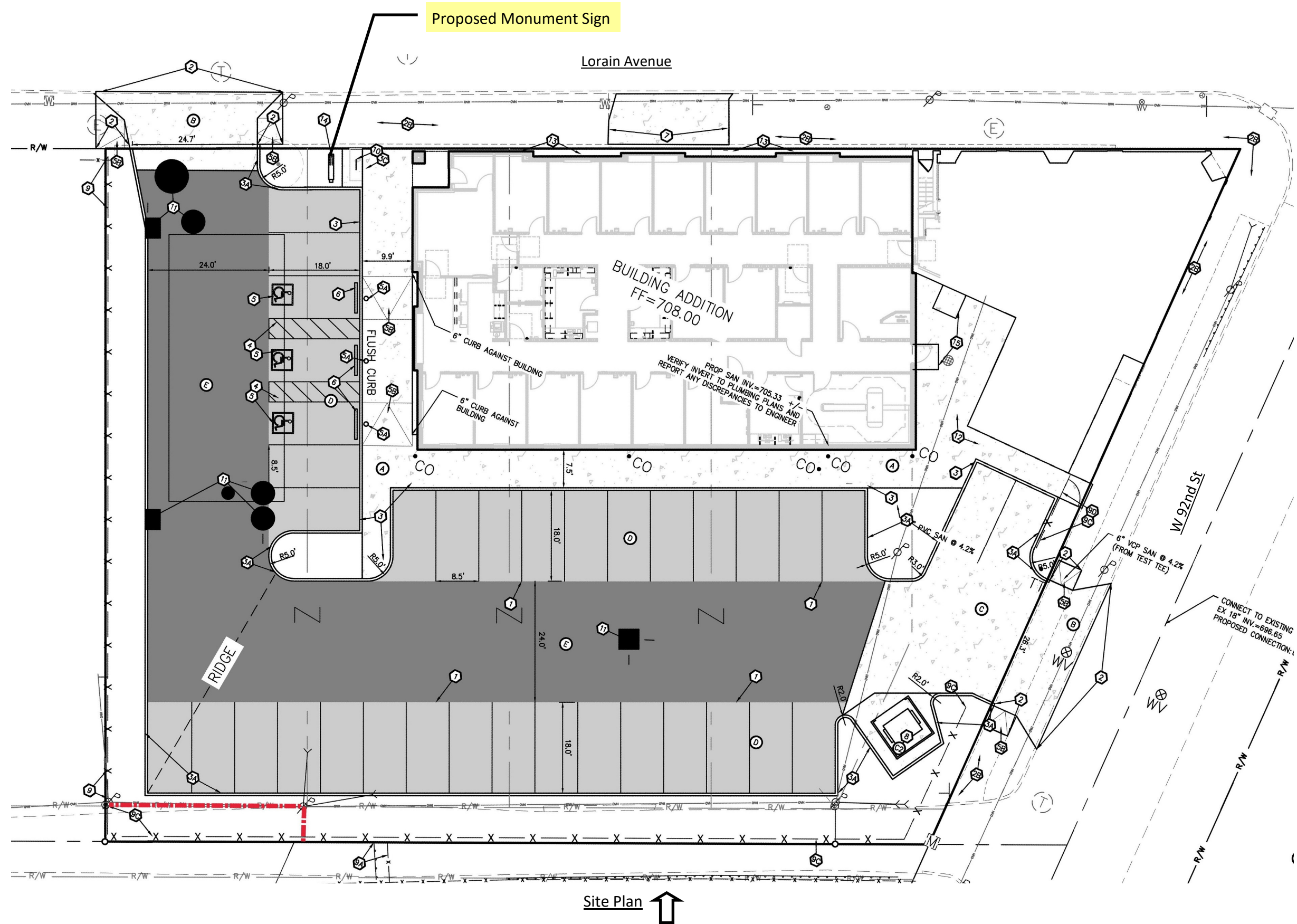
Site Location Map

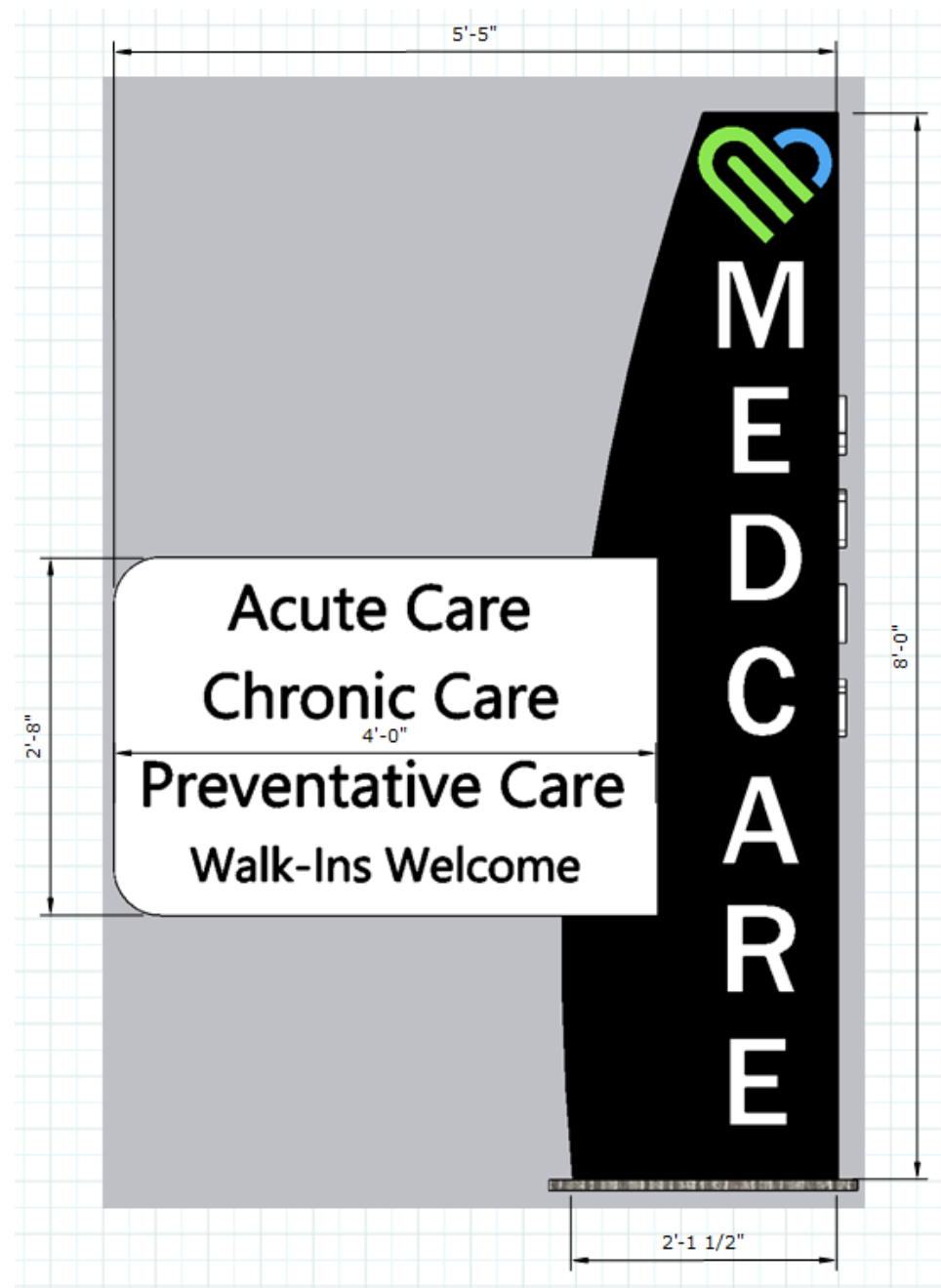


Rendering Proposed Building

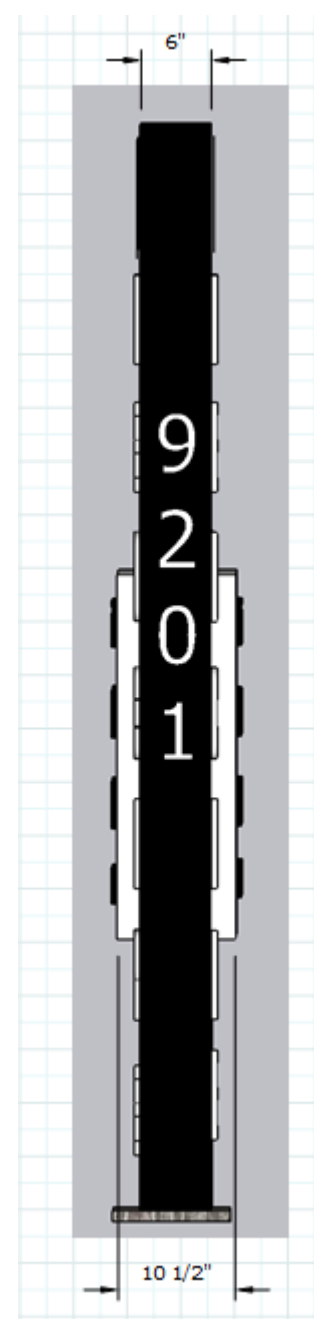
Note proposed building has been approved by City Planning Commission.



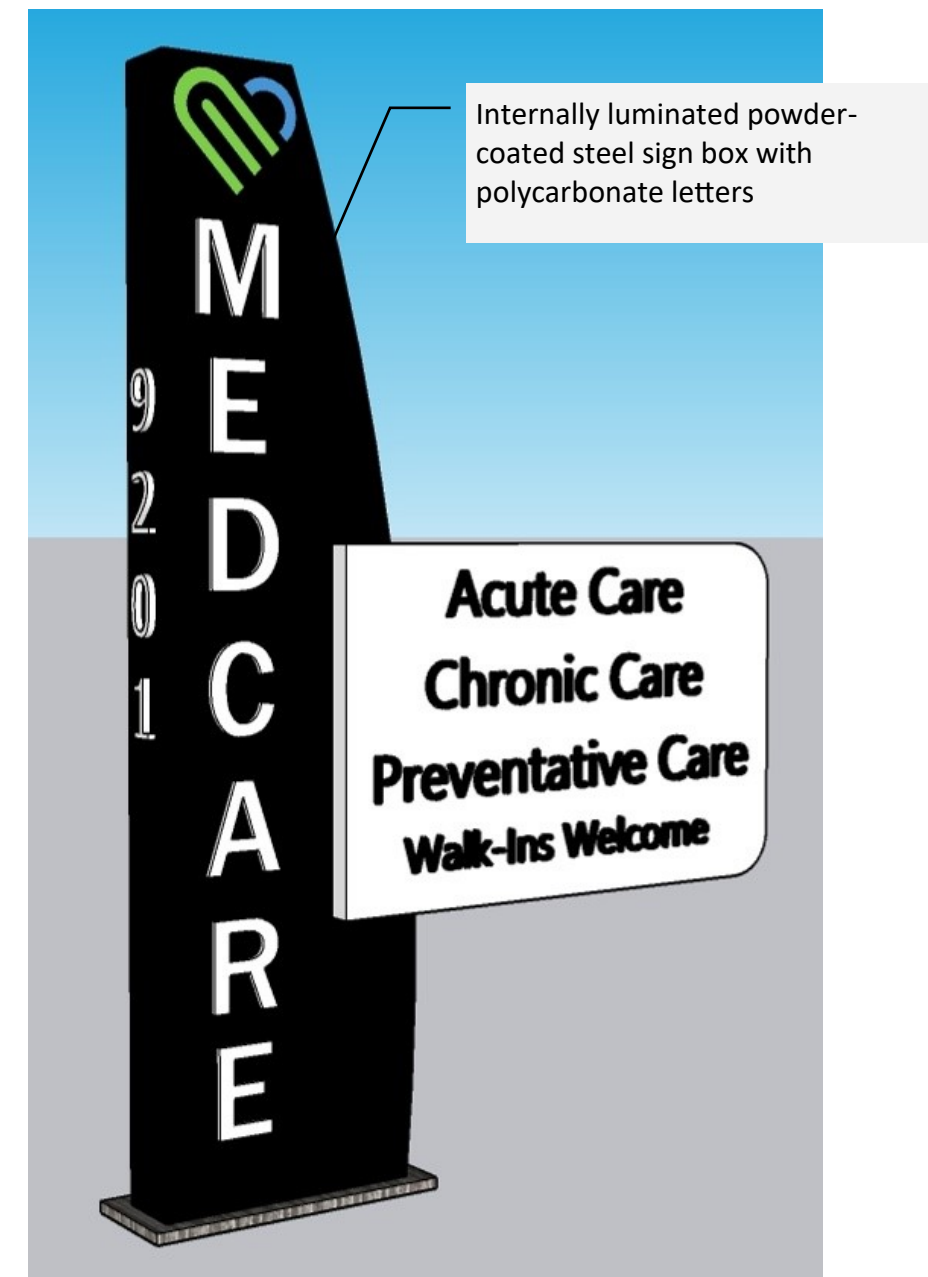




Side View Elevation



End View Elevation



Perspective View

Area of sign is 23.41 SF per face. Sign to be installed on concrete foundation.





Rendering Looking West



Rendering Looking East





Example of sign installed at the MedCare Garfield Heights location. Note that MedCare has standardized on this sign which is currently installed at MedCare's other 3 locations (Parma Heights, Garfield Heights, and Sheffield Village).





Case 21-080: Mall Historic District

Hilton Hotel West Mall Drive

Temporary Public Art Installation, 6 Outdoor Sculptures by Chiaozza

Ward 3: McCormack

Project Representatives: Vince Reddy, LAND Studio

LANDFORM

Public art for downtown Cleveland



UP, DOWN, BENEATH, AND AROUND

Temporary public art installation proposed for downtown Cleveland by
Brooklyn-based studio, Chiaoza



About the artist team:

Adam Frezza and Terri Chiao are the collaborative artist duo, Chiaoza, based in Brooklyn, NY. Heavily invested in the spirit of play and experimentation, Adam and Terri create fantastical works of art that incorporate unusual textures and unexpected forms. Humor, color and pattern intersect to immerse the viewer in the artists' world of wonderment.

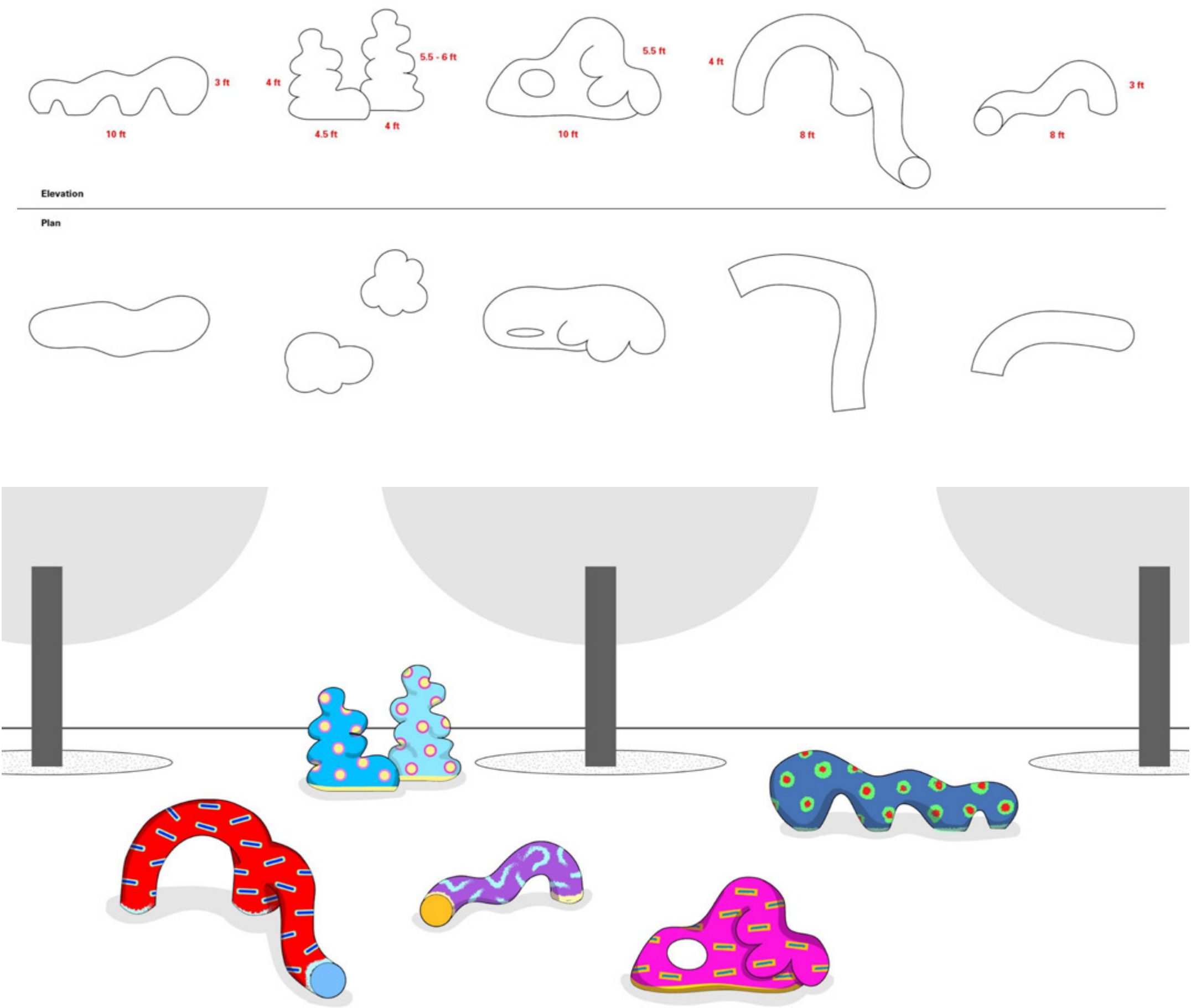
PRECEDENT ARTWORKS



Project proposed for downtown Cleveland:

A grouping of six outdoor sculptures

“We liken the forms to geological amassments in the landscape, and we use vibrant and bold color and pattern. Whether fantasizing about material and form, or simply smiling as one walks by, we believe there is something in these works for everybody.”



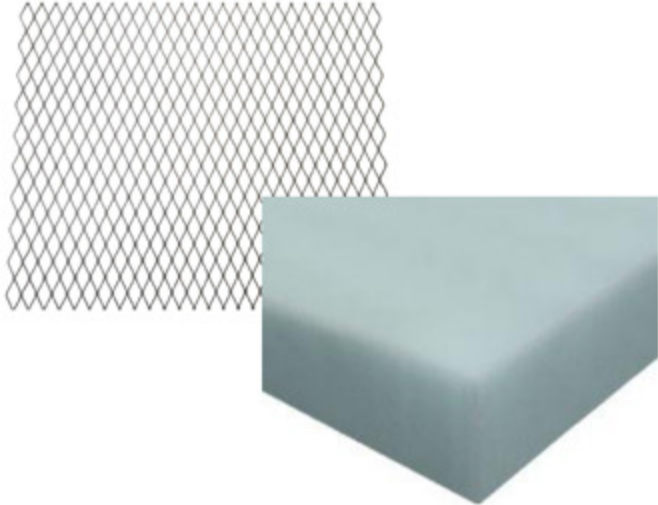
Fabrication/installation:

The sculptures are constructed of painted and sealed paper pulp on marine-grade plywood armature.

Fabrication materials



Marine-Grade Plywood



Metal Armature Mesh
and/or Foam



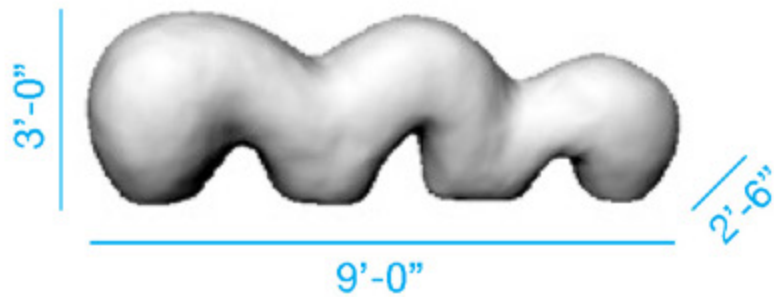
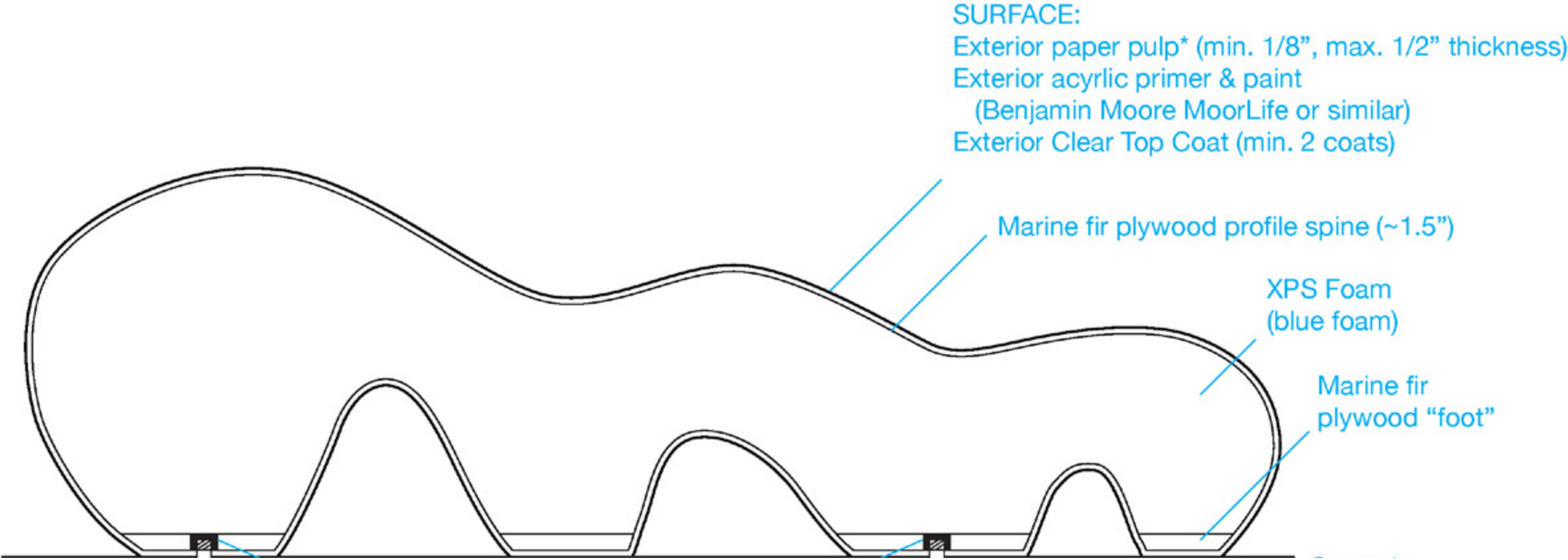
Painted & Sealed
Weatherized Paper Pulp

Mini clay model



Sculpture 1: "Slug Stup"

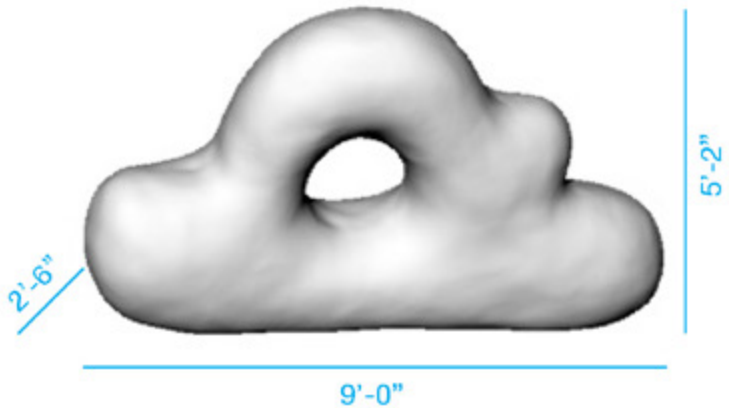
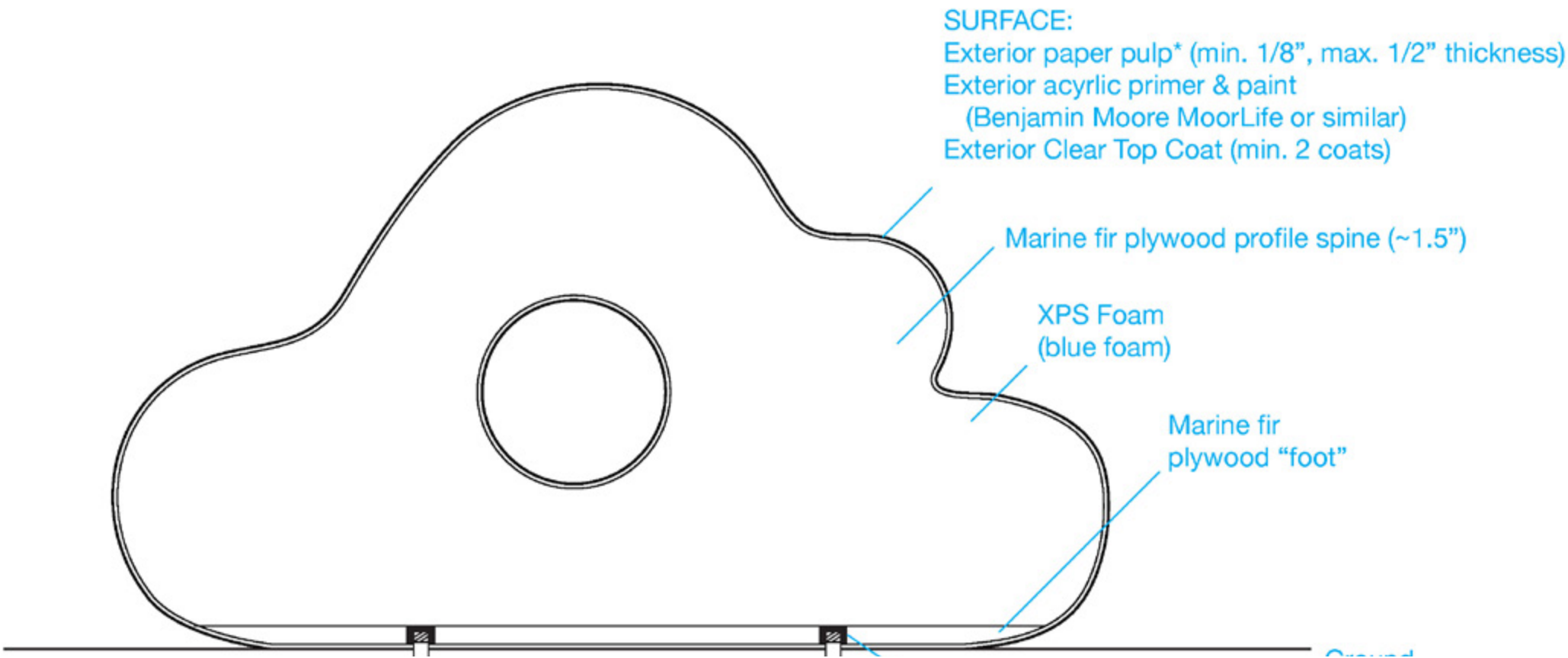
Above ground construction diagram



* Exterior paper pulp is a mix of 4 parts paper pulp (made from shredded recycled paper) and 1 part (minimum) Titebond III wood glue for water-resistance

Sculpture 2: "Window Stone"

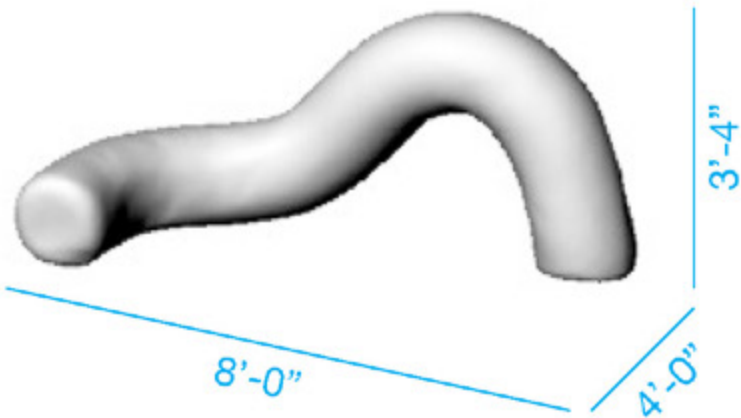
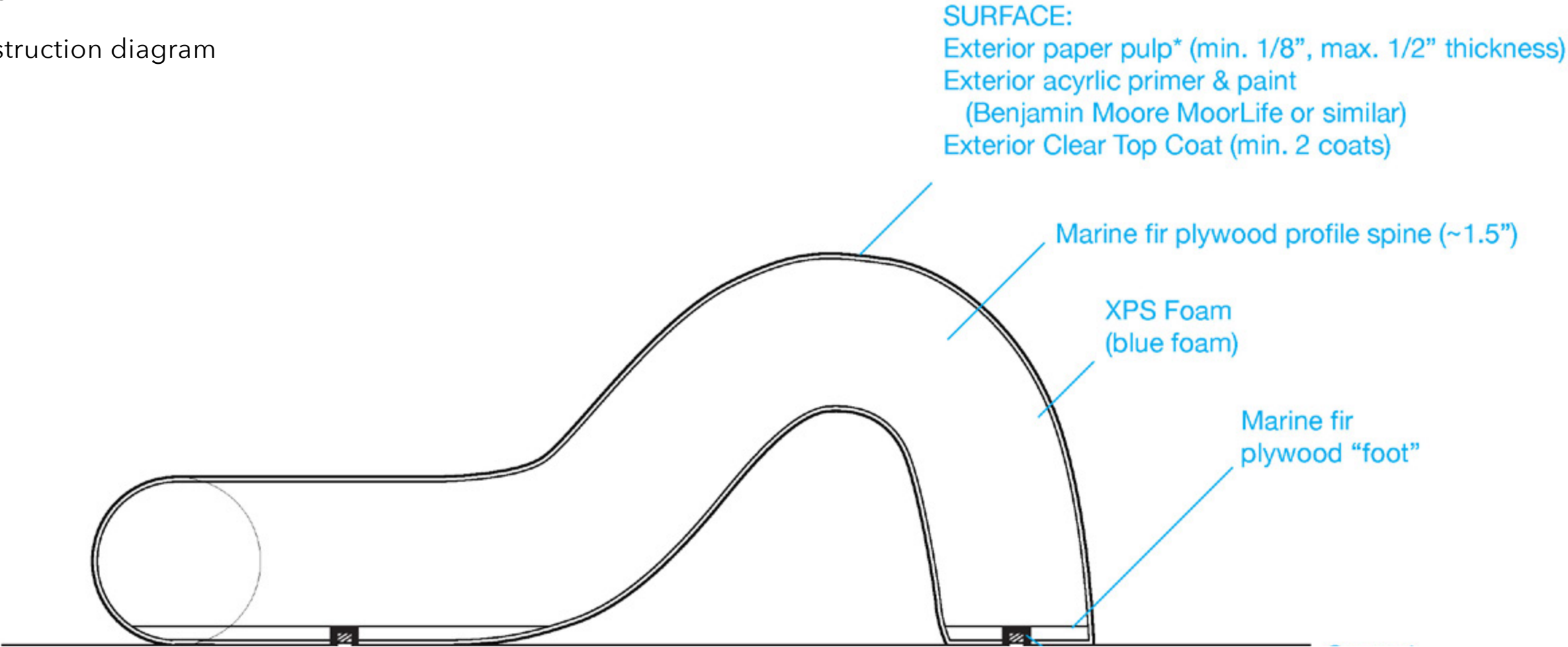
Above ground construction diagram



* Exterior paper pulp is a mix of 4 parts paper pulp (made from shredded recycled paper) and 1 part (minimum) Titebond III wood glue for water-resistance

Sculpture 3: "Wiggle Arch"

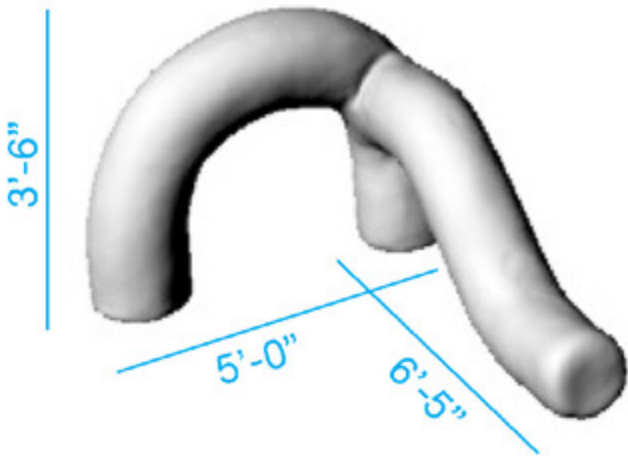
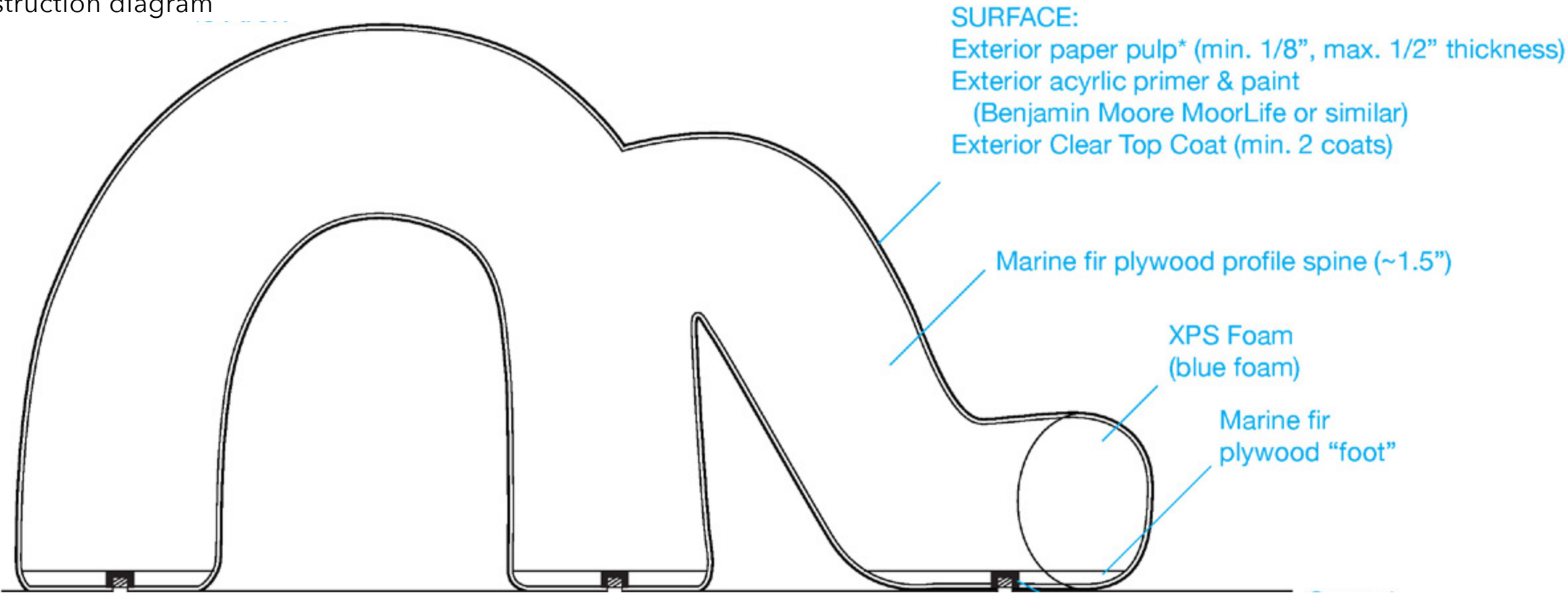
Above ground construction diagram



* Exterior paper pulp is a mix of 4 parts paper pulp (made from shredded recycled paper) and 1 part (minimum) Titebond III wood glue for water-resistance

Sculpture 4: "Double Wiggle Arch"

Above ground construction diagram

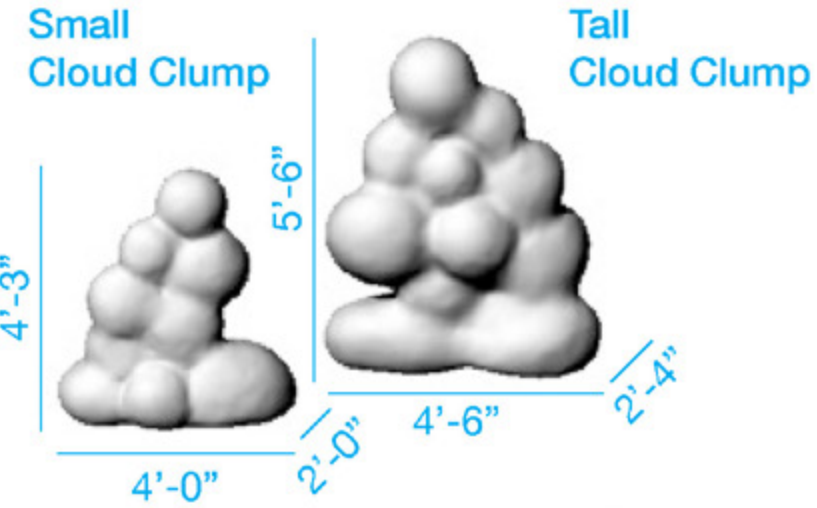
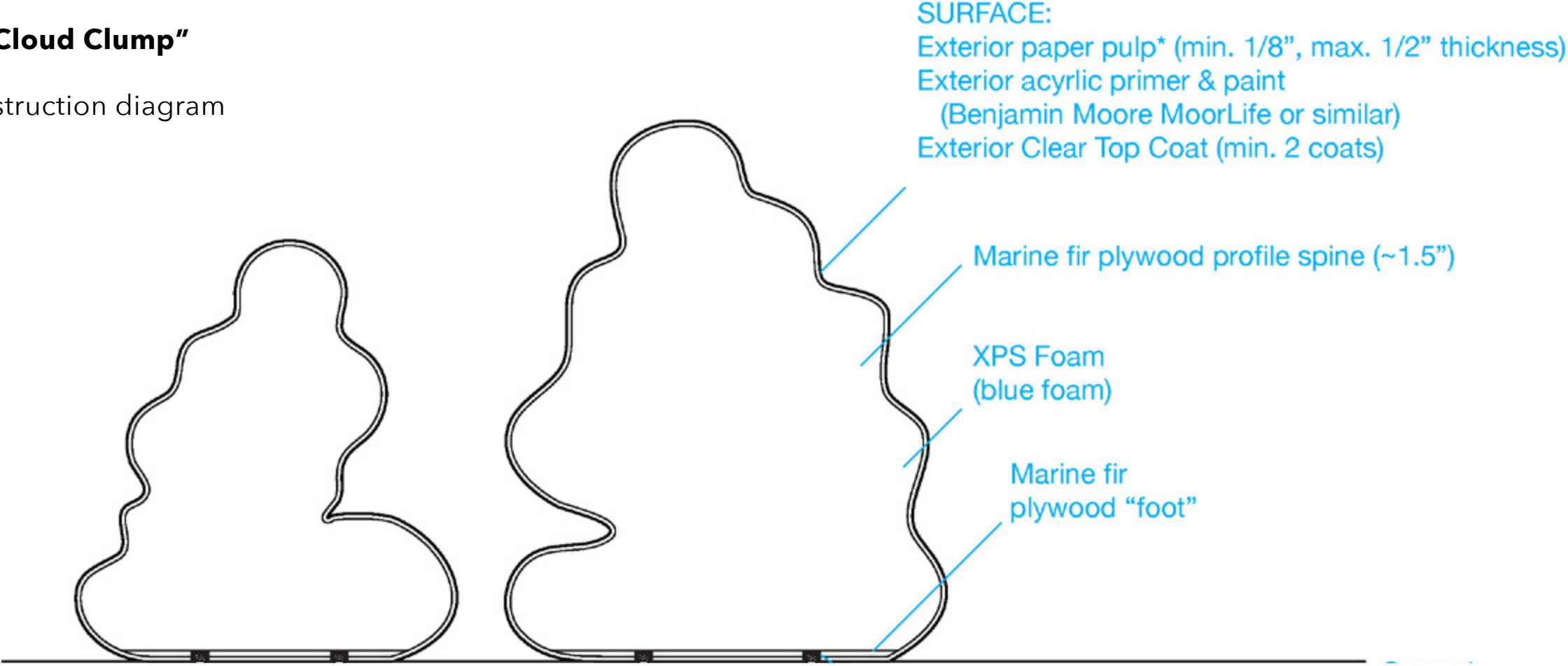


* Exterior paper pulp is a mix of 4 parts paper pulp (made from shredded recycled paper) and 1 part (minimum) Titebond III wood glue for water-resistance

Sculpture 5: "Small Cloud Clump"

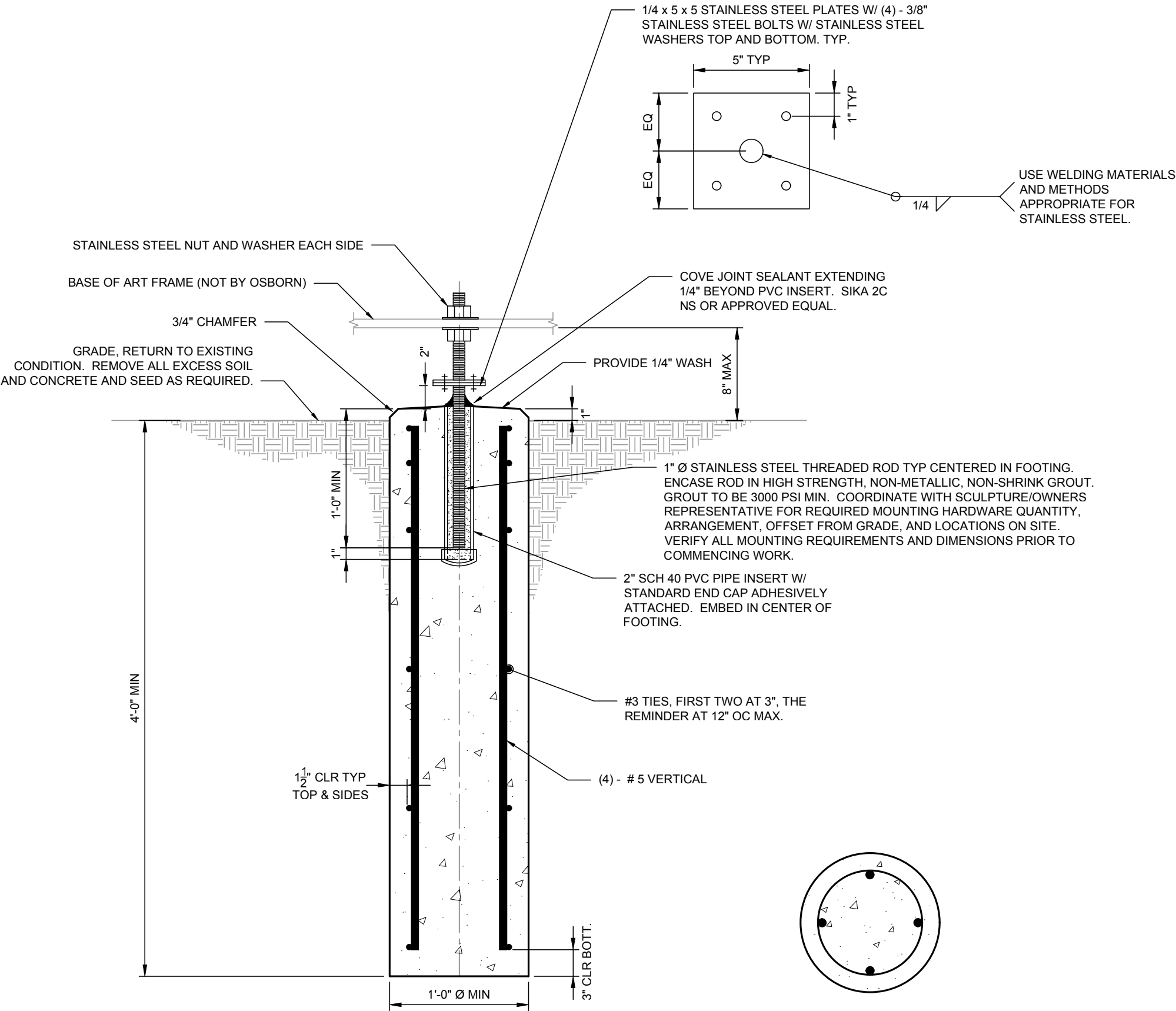
Sculpture 6: "Tall Cloud Clump"

Above ground construction diagram



* Exterior paper pulp is a mix of 4 parts paper pulp (made from shredded recycled paper) and 1 part (minimum) Titebond III wood glue for water-resistance

Proposed sculpture footing
(Osborn Engineering)



1

TYPICAL SCULPTURE FOOTING DETAIL

SCALE: 1-1/2" = 1'-0"



Location:
Hilton Cleveland lawn near Mall B

Southern side of lawn: 5 of the 6 sculptures are proposed to be installed



Location:
Hilton Cleveland lawn near Mall B

Northern side of lawn: 1 of the 6 sculptures are proposed to be installed



Proposed Artwork Layout

Northern side of lawn: **Sculpture 2:
"Window Stone"**

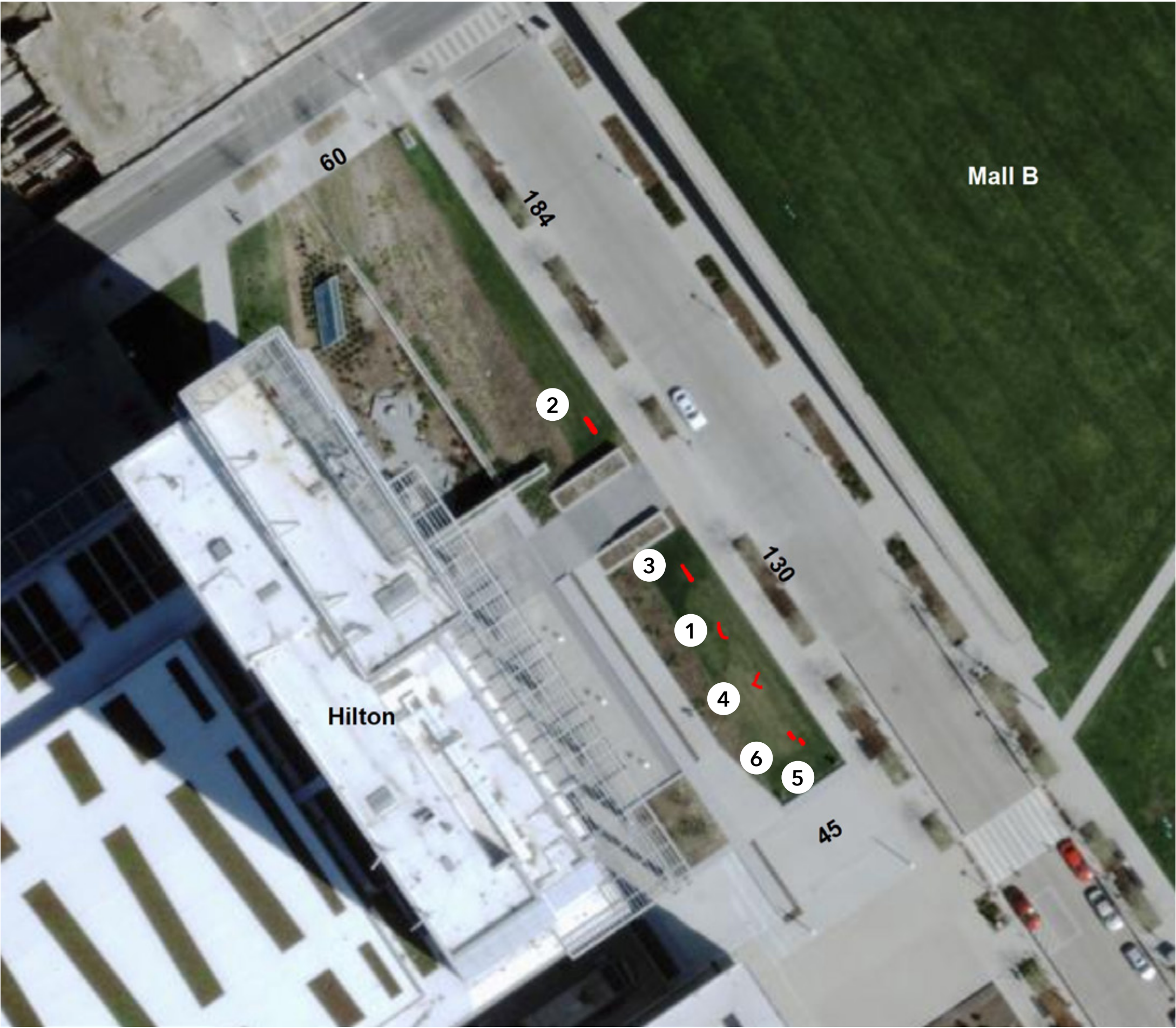
Southern side of lawn: **Sculpture 3:
"Wiggle Arch"**

**Sculpture 1:
"Slug Stup"**

**Sculpture 4:
"Double Wiggle Arch"**

**Sculpture 6:
"Tall Cloud Clump"**

**Sculpture 5:
"Small Cloud Clump"**



Proposed Artwork Layout



Sculpture 5:
"Small Cloud
Clump"

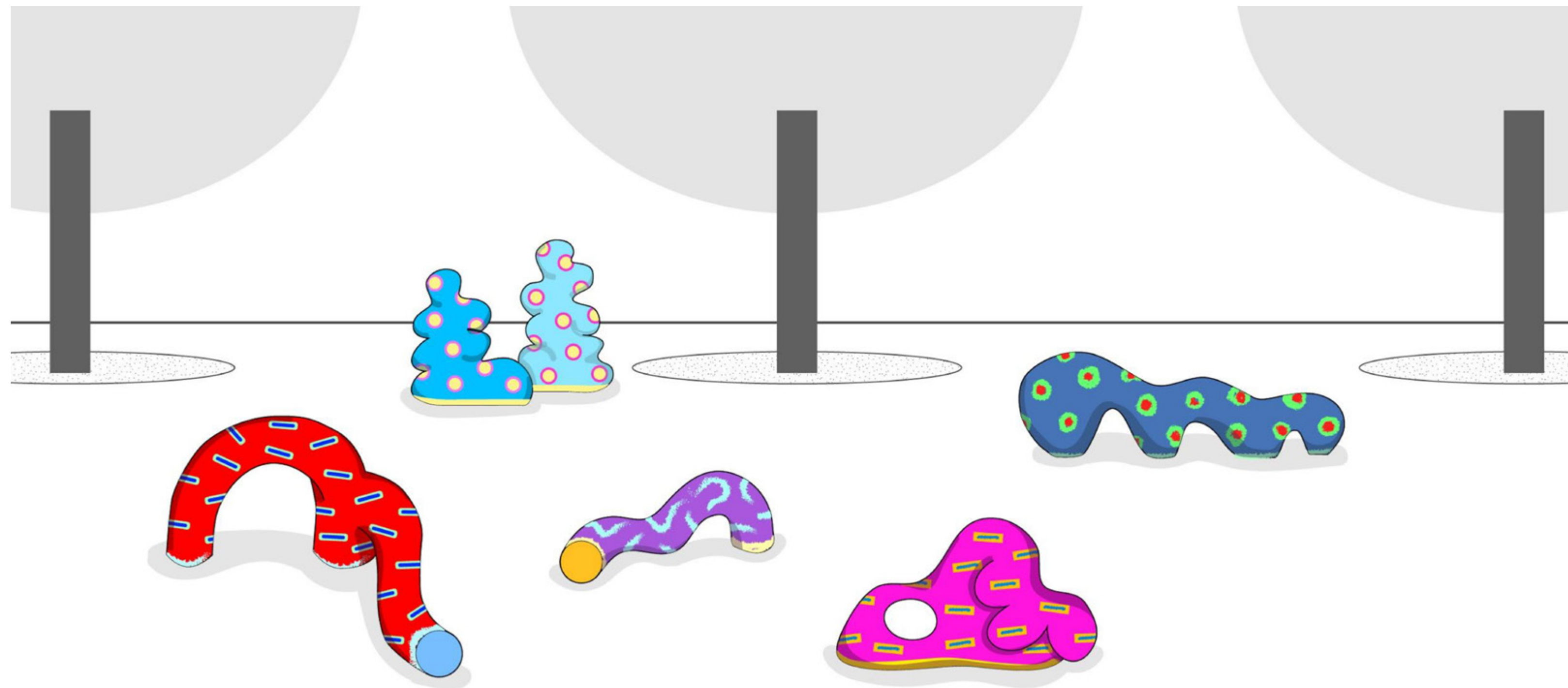
Sculpture 6:
"Tall Cloud Clump"

Sculpture 4:
"Double Wiggle
Arch"

Sculpture 1:
"Slug Stup"

Sculpture 3:
"Wiggle Arch"

Sculpture 2:
"Window Stone"



For Reference



Case 21-078: Shaker Square Historic District (Concept Plan 9-23-21)

Southington Manor Phase 2 3132-60 East 135th Street

New Construction of Townhouses

Ward 4: Gardner

Project Representatives: Charles Ficklin, Kenneth Lurie, Felicia Webster; H. David Howe,
Architect



Southington Manor

Phase II

CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

SOUTHINGTON MANOR - Phase II

10/05/2021

Drawing modifications since 09/23/2021

The following is our response to constructive comments received in recent weeks regarding new townhouses at Southington Manor Phase II:

1. The brick on the building has been raised to the sill of the first-floor windows and raised next to the garages.
2. The proposed brick piers along E. 135th are intended to match the existing brick piers on a smaller scale.
3. Front walks run directly to the drive or street to permit more active use of the front lawn.
4. The unit offsets have been reduced.
5. The finished first floors are 18" and 12" above grade per the townhouse requirements.
6. The roof over the porch & kitchen has been redesigned to be less monolithic. The upper roof has been modified to eliminate potential ice dams.
7. Some of the Hardie board paneling has been replaced with Hardie lap siding to provide a balanced material appearance.
8. 2nd floor windows have been downsized and, in some cases, raised to suit the rooms on the 2nd floor. Small windows have been added to the garages/doors to meet the 35% of glass required per the townhouse requirements.
9. The paneling and battens have been further adjusted to more closely reflect the existing building design. It was never our intent to introduce Tudor styling.
10. The garage door color will be dark brown.
11. Potential parking areas for guest cars are shown on sheet 103.
12. Landscaping has been added around the interior yard area. Planters have been added to paved areas to beautify the site.
13. Snow will be moved to the grass areas to keep the drives clear.
14. Hydrants will be located as required on the site in lieu of fire trucks driving near the buildings.

PHASE II

Southington Manor

Southington Manor's location is within walking distance of Shaker Square and borders Shaker Heights. Southington Manor also borders the Ludlow neighborhood and sits within the boundary of the Shaker Height School system.



CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

PHASE II

Southington Manor

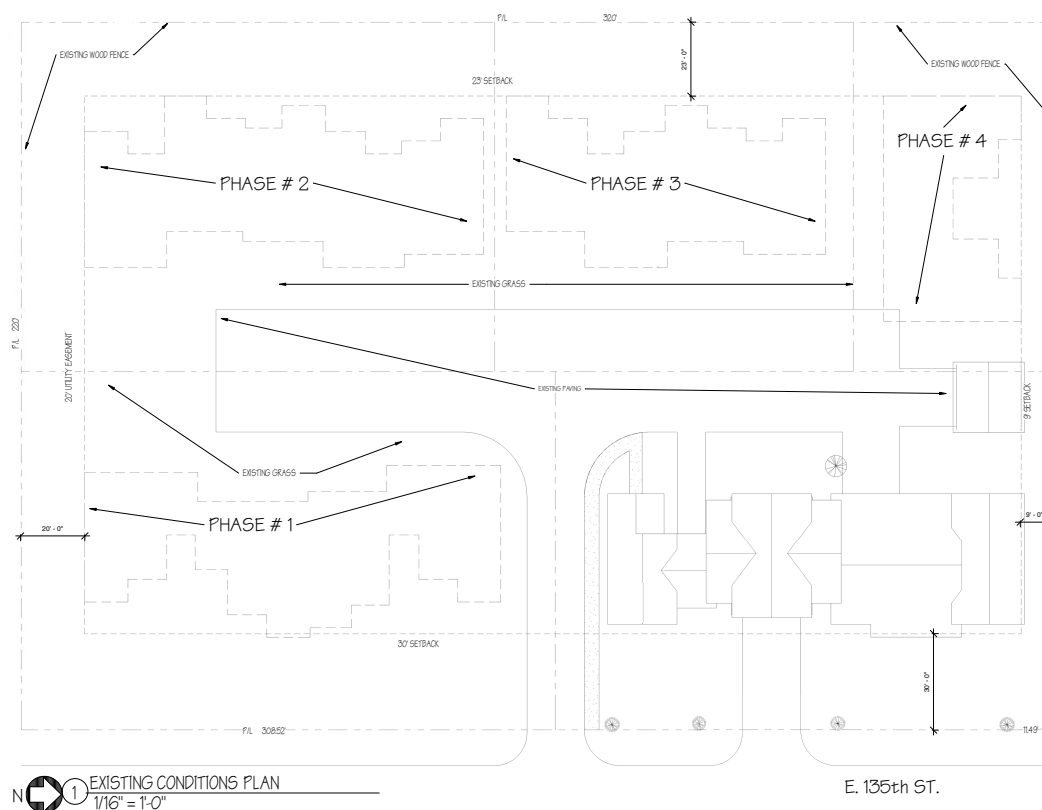
This is an image of the site at present. Infrastructure was added to the site during previous ownership when the older structure was developed.



CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103



CONTEXT PHOTOS

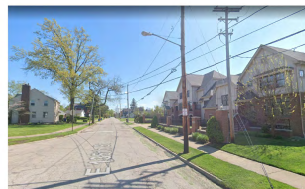




1 AERIAL SITE RENDERING
NTS



STREET VIEW - NORTH
NTS



STREET VIEW - SOUTH
NTS



STREET VIEW - EAST
NTS



STREET VIEW - WEST
NTS



SITE PICTURE 1
NTS



SITE PICTURE 2
NTS



SITE PICTURE 3
NTS



SITE PICTURE 4
NTS

EXPIRES 12/31/2021



H. DAVID HOWE, ARCHITECT
3799 SOUTH GREEN ROAD
BEACHWOOD, OHIO 44122 (216) 292-5897

NOTE: CONSULT WITH ALL AGENCIES, OWNERS, AND INTERESTED PARTIES FOR ANY REQUIRED PERMITS, ORDINANCES, AND REGULATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THE DRAWINGS.

**PROPOSED TOWNHOUSES FOR:
SOUTHINGTON MANOR-II**
3192-3190 E. 135TH ST.
CLEVELAND, OHIO 44120

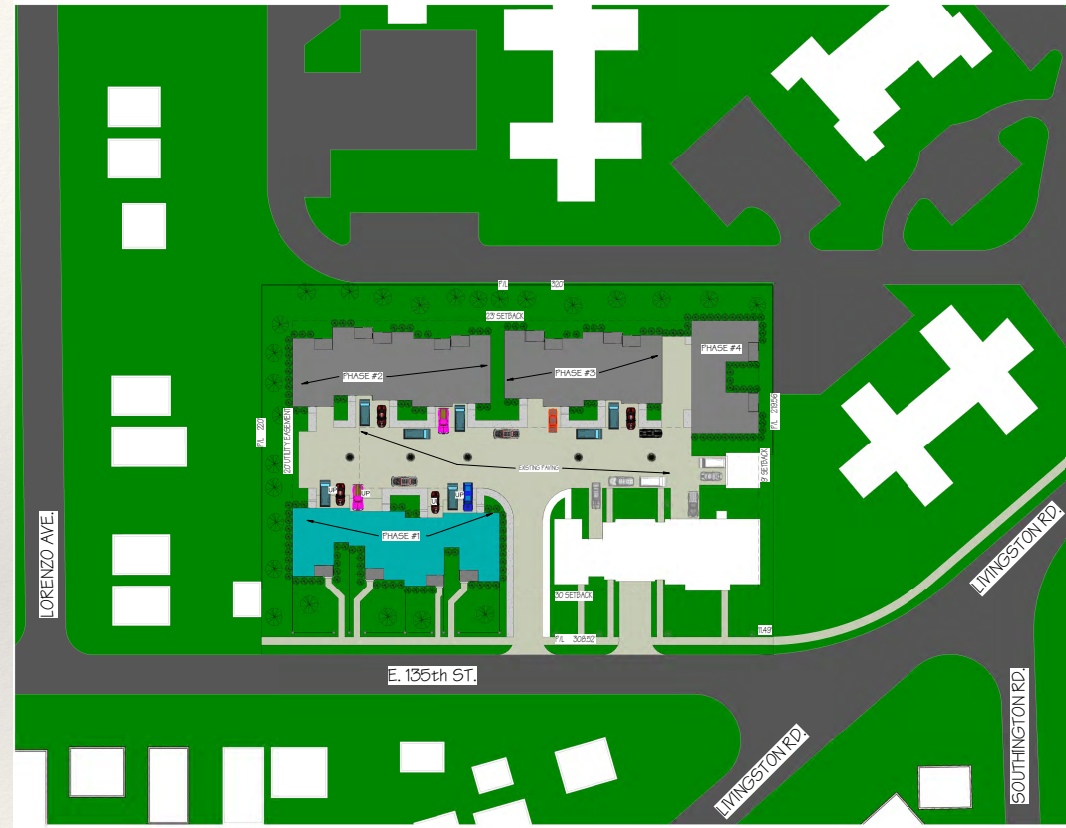
Revisions / Issues

100
Rev 03/09/2021/02/2021/02/2021

PHASE II

Southington Manor

Phase I will be located on the other side of the entrance at E135th St. There are four units in building 1 of Phase II.

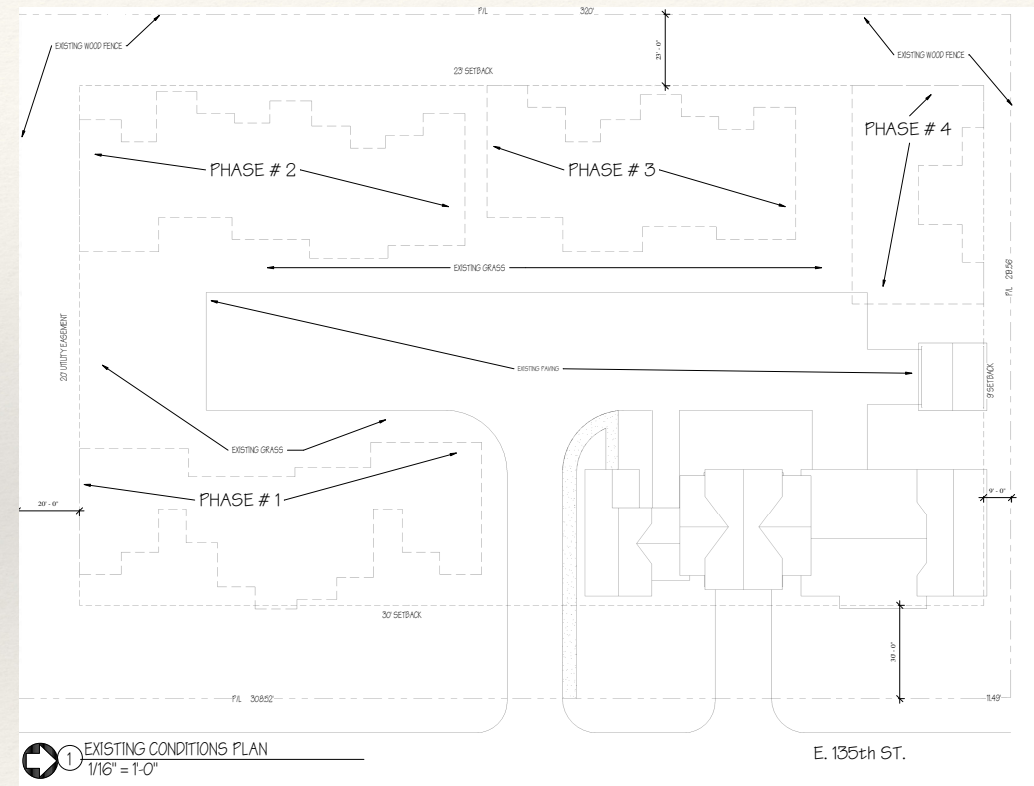


CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

PHASE II

Southington Manor

Part of the Site Plan showing the view of existing conditions.



CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

PHASE II

Southington Manor

Part of the site plan showing the four buildings of Southington Manor which will have the new design.



CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

PHASE II

Southington Manor

This is the typical 1st floor and 2nd floor plans for the 3 bedroom units with a 2-car garage. There may be some variation among these units.

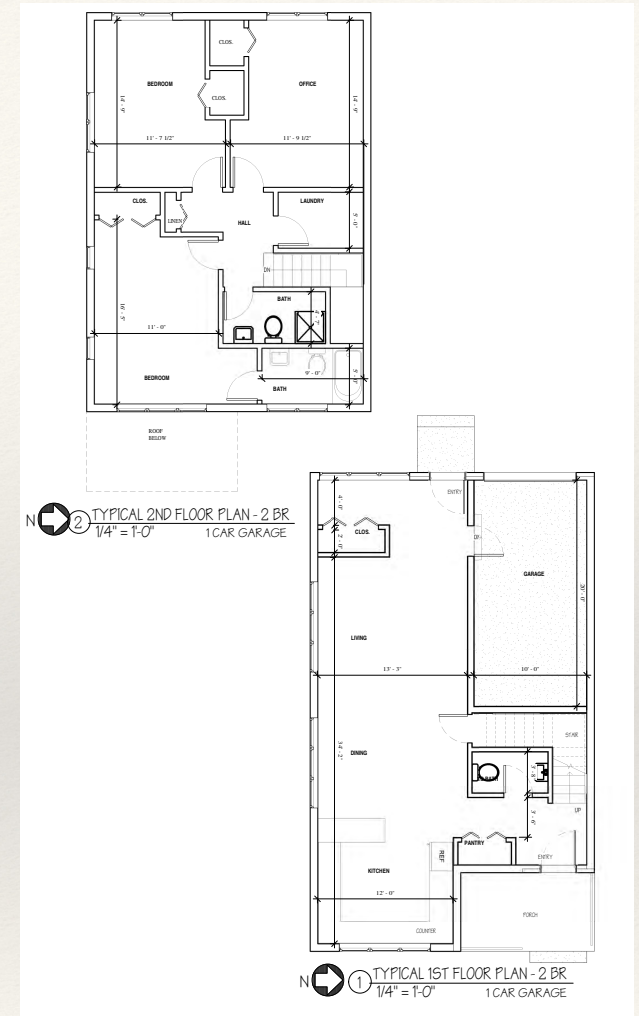


CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

PHASE II

Southington Manor

This is the typical 1st floor and 2nd floor plans for the 2 bedroom units with a 1-car garage. There may be some variation among these units.



CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

Southington Manor

The image displays architectural drawings of a building facade, specifically focusing on the end elevations and inner side elevations of two buildings, labeled 1 and 2.

Top Row:

- Left:** **5 END ELEVATION** (1/4" = 1'-0"). This drawing shows the end elevation of a building with a gabled roof, multiple windows, and a brick base.
- Right:** **4 INNER SIDE ELEVATION - BUILDING #1** (1/4" = 1'-0"). This drawing shows the inner side elevation of Building #1, featuring a gabled roof, windows, and a brick base. It includes annotations for "ROOF LINE", "FLOOR LINE", and "CEILING LINE".

Middle Row:

- Left:** **2 EAST ELEVATION BUILDING #1** (1/4" = 1'-0"). This drawing shows the east elevation of Building #1, featuring a gabled roof, multiple windows, and a brick base. It includes annotations for "ROOF LINE", "FLOOR LINE", and "CEILING LINE".
- Right:** **4 INNER SIDE ELEVATION - BUILDING #1** (1/4" = 1'-0"). This drawing shows the inner side elevation of Building #1, featuring a gabled roof, windows, and a brick base. It includes annotations for "ROOF LINE", "FLOOR LINE", and "CEILING LINE".

Bottom Row:

- Left:** **2 EAST ELEVATION BUILDING #1** (1/4" = 1'-0"). This drawing shows the east elevation of Building #1, featuring a gabled roof, multiple windows, and a brick base. It includes annotations for "ROOF LINE", "FLOOR LINE", and "CEILING LINE".
- Right:** **2 EAST ELEVATION BUILDING #1** (1/4" = 1'-0"). This drawing shows the east elevation of Building #1, featuring a gabled roof, multiple windows, and a brick base. It includes annotations for "ROOF LINE", "FLOOR LINE", and "CEILING LINE".

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PHASE II

Southington Manor

Perspective views of building 1
(Southeast & Northwest)



③ PERSPECTIVE VIEW - BUILDING #1 SE



② PERSPECTIVE VIEW - BUILDING #1 NW

CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

PHASE II

Southington Manor

Perspective views of building 1
(Northeast & Southwest).



① PERSPECTIVE VIEW - BUILDING #1 NE



④ PERSPECTIVE VIEW - BUILDING #1 SW

CNT CONSTRUCTION 7719 CARNEGIE AVE. CLEVELAND, OH. 44103

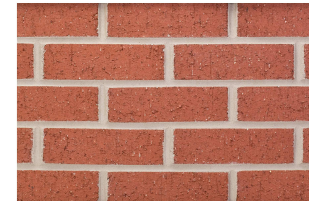
SOUTHINGTON MANOR - PHASE 2



ASPHALT SHINGLES - GREY



① AERIAL SITE RENDERING



BRICK - GLEN GARY - WIRECUT RED



HARDIE BOARD - CEMENTITIOUS SIDING
PAINT - SHERWIN WILLIAMS SW2354 - CEYLON CREAM



WINDOWS - BROWN VINYL



GARAGE DOORS
PAINT - SHERWIN WILLIAMS SW2020 - ADIRONDACK

**H. DAVID HOWE, ARCHITECT, INC.
3799 SOUTH GREEN ROAD
BEACHWOOD, OHIO 44122
(216) 292-5897 FAX (216) 292-5899**

10/05/2021

Drawing modifications since 09/23/2021

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David Howe

Cleveland Landmarks Commission

Concept Plan



October 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Section 106 Environmental Review



October 14, 2021

October 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Meeting Minute Approvals



October 14, 2021

Meeting Minutes Approval

October 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Administrative Reports



October 14, 2021

Cleveland Landmarks Commission

Adjournment



October 14, 2021

Cleveland Landmarks Commission



October 14, 2021