

Thursday, September 23, 2021

PLEASE MUTE YOUR MICROPHONE

Julie Trott, Commission Chair Donald Petit, Secretary

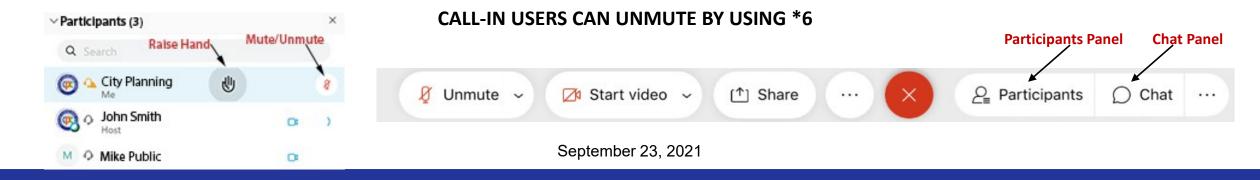
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



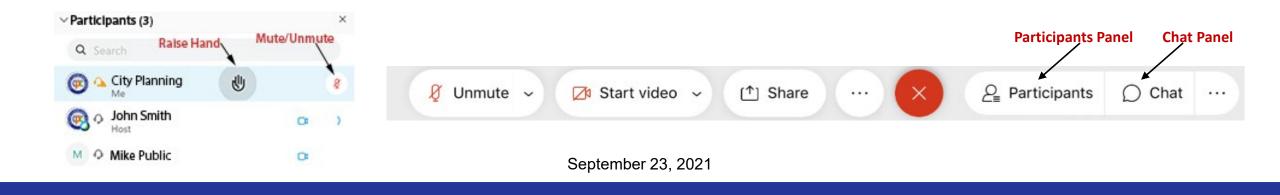
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING <u>LIVE STREAMED</u> VIA YOUTUBE.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



Call to Order & Roll Call



Public Hearing





NOTHING SCHEDULED TODAY

Public Hearing Action



September 23, 2021



NOTHING SCHEDULED TODAY

Reports



September 23, 2021



Lorain Station, Clifton-West Boulevard, Lorain Variety Historic Districts

Lorain Avenue Plan Update

Wards 11, 14, 16: Mooney, Santana, Kazy

Project Representatives: Rose Zitiello, Westown Community Development

Corporation; City Architecture



LORAIN AVENUE PLAN UPDATE

Westown Community Development Corporation | Landmarks Commission | 9.23.21

The Lorain Avenue Master Plan

For the Westown Community Development Corporation Spring 2008

Variety Village Streetscape Plan

Concepts for reinvesting in a vibrant, active, pedestrian friendly commercial district Variety Village / Westown Neighborhood Community Development Corporation Cleveland, Ohio December 2011

Big-Box Centers and Neighborhood Business Districts: Impact Analysis and Competitive Strategy (2006)

The 2006 study was commissioned by Cleveland City Council in consideration of the development of 1 million square foot Steelyard Commons and it's anticipated impact on neighborhood retail. The Lorain Station Historic District (LSHD) was one of the 6 retail areas identified as suffering retail use losses, as a result of the addition of the large shopping center.

The Steelyard TIF legislation authorized grant gap funding for the following eligible Neighborhood Retail Projects:

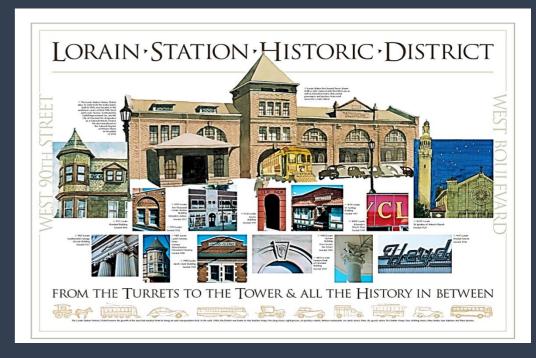
- 1. Parking Lots
- 2. Interior improvements of retail locations & other costs that are not funded by the City of Cleveland Storefront Renovation Program
- 3. Neighborhood Small & Startup Businesses to assist with small business expansion, refine business plans, assist entrepreneurs;
- 4. Neighborhood Arts Projects that enhance neighborhood commercial retail district;
- 5. Neighborhood Streetscape

Neighborhood Safety Action Plan (2006)

This study analyzed historical crime data, conducted a parcel by parcel survey at various times and days of the week, surveyed area merchants to understand their experiences, and studied the potential impact of building appearance and vacancy on the prevalence of crime.

The study recommendations included the following:

- 1. Increased surveillance through closed circuit cameras
- 2. Providing support for all businesses in the district to have alarm systems installed
- 3. Increased lighting, particularly on Henley Court









Lorain Avenue Plan Update | Study Area





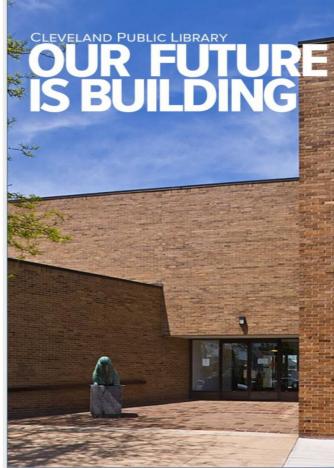




Over \$10 million of investment along Lorain Avenue since 2016!





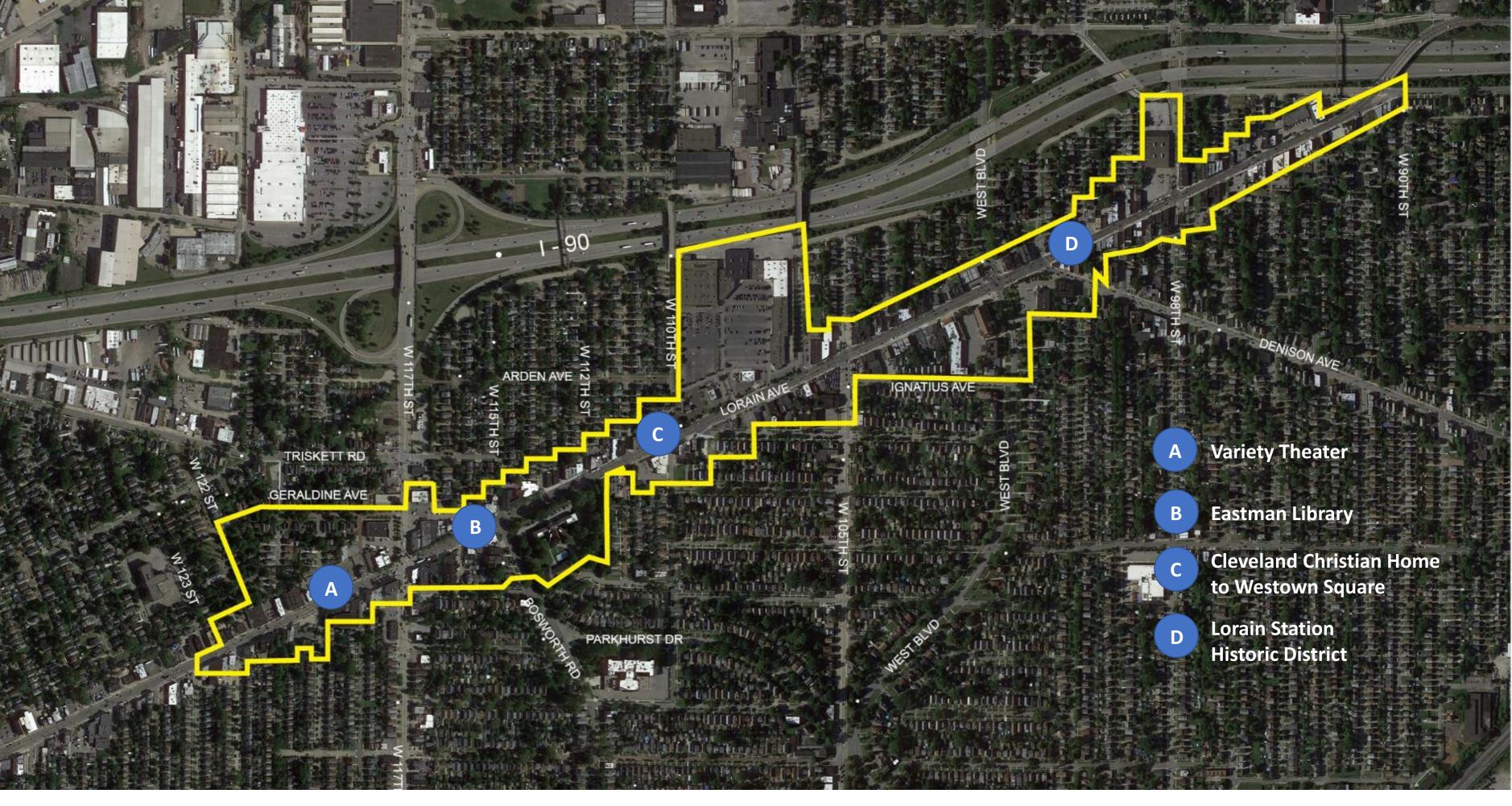






















Affordable Housing

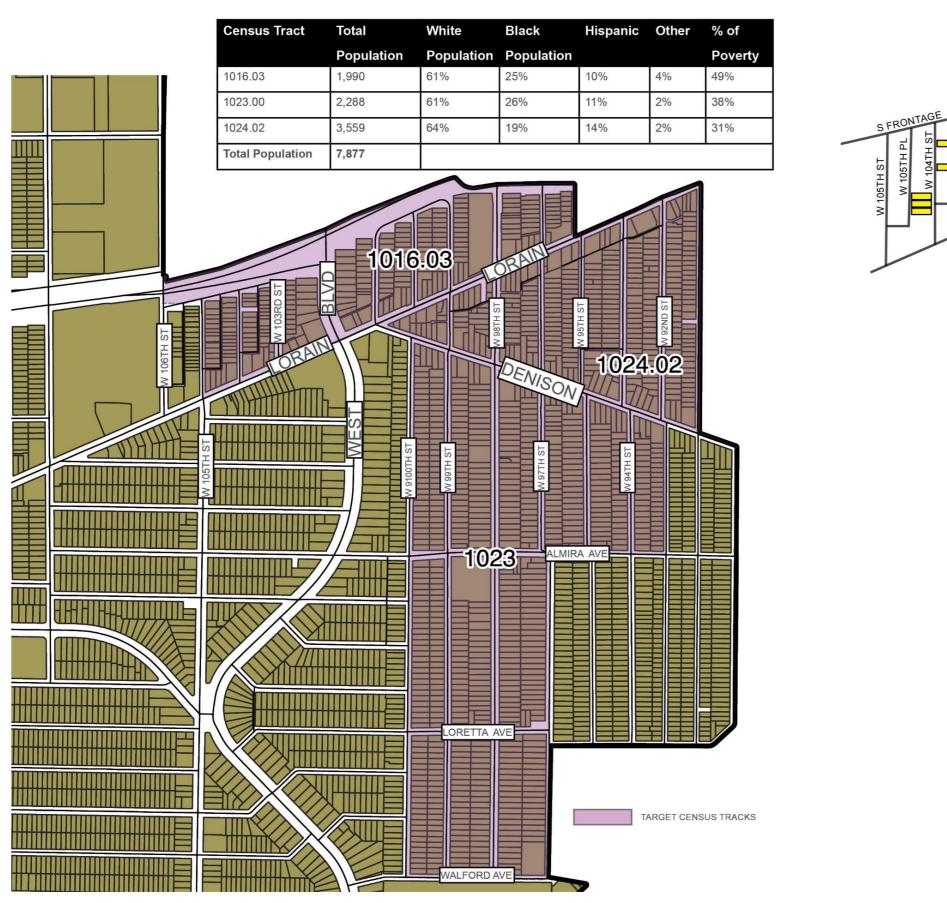
This eastern edge of both the plan study area and WCDC service represent the focus of future investment in housing to address the concentrated poverty currently present. The following recommendations support realizing strategic investment within this target area.

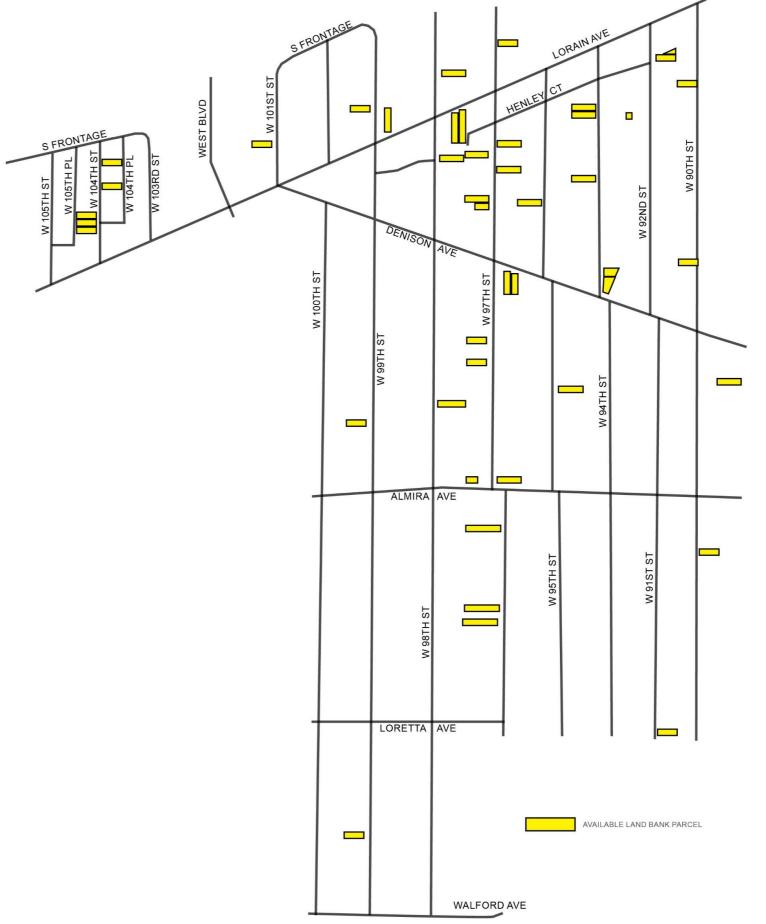
- 1. Prioritize single family home infill development on select vacant land bank sites within and adjacent to the Lorain Station Historic District
- 2. Partnerships with a range of housing developers specializing in single family infill housing, multi-family and mixed used development
- 3. Seek out atypical development partnerships, including female and minority led developers with local ties to the neighborhood or region
- 4. Strengthen relationships with both the City and County Land Banks to assist in securing land that is currently vacant or available, as well as property that is trending toward state forfeiture, foreclosure and demolition
- 5. Pursue Low Income Housing Tax Credits with development groups that have experience obtaining funding and success with implementation.











Pursue development of Special Improvement District for Variety Theater Historic District.

Leverage Eastman Library Branch renovation for development of updated landscaping plan for the corridor including improved library entry, bike parking, al fresco dining, coordinated signage for public parking and neighborhood branding.

The Steelyard TIF Funding legislation sunsets in 2026. In the culminating years of the program, WCDC intends to work with the Director of Economic Development, the Cleveland City Council Representative and local property and business owners to prepare a five-year plan that includes:

- Develop and issue an RFP that offers technical assistance for both the Steelyard TIF grant gap funding and Storefront Renovation programs
- Develop guidelines for the TIF grant for the development of a parking facility at the vacant land bank lot at 9117 Lorain Avenue
- Create enhanced branding, signage and wayfinding package for the corridor, to build toward development of historic district gateway arch
- Develop and issue an RFP to select a designer and fabricator to develop the Lorain Station Historic District Gateway Arch.

To support improved safety within the LSHD, the following next steps will be taken by WCDC:

- WCDC will issue a survey to area merchants to determine if there is a current need for affordable security systems.
- Issue a request to the Cleveland Division of Police's traffic control unit for an additional camera to be installed at 9508 Lorain
- Survey existing property owners along Henley Court to understand what problems continue to persist in this area, while also evaluating locations for better lighting options with Cleveland Public Power.

Prioritize maintaining the historic fabric along corridor through design standards and guidance to future property owners from local leadership.



Certificates of Appropriateness



Certificates of Appropriateness

September 23, 2021



Case 21-075: East 4th Street Historic District

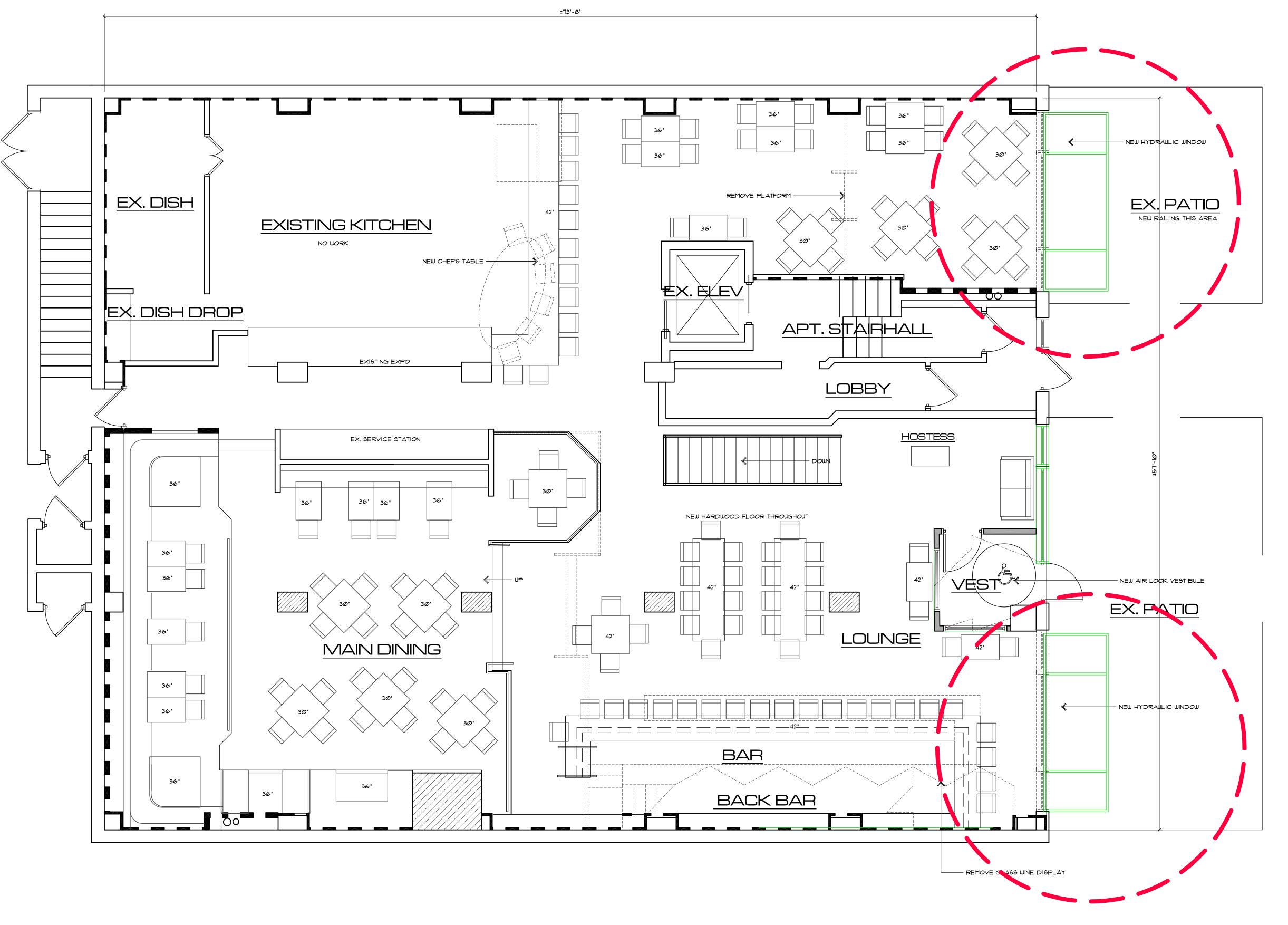
Commercial Building 2058 East 4th Street

Storefront Renovation for Cordelia's Restaurant

Ward 3: McCormack

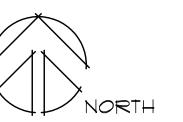
Project Representatives: Andrew Watts, Cordelia's

2058 EAST FOURTH ST.
OPERABLE STOREFRONT PRESENTATION



FIRST FLOOR PLAN

9CALE: 1/4" = 1'-0"





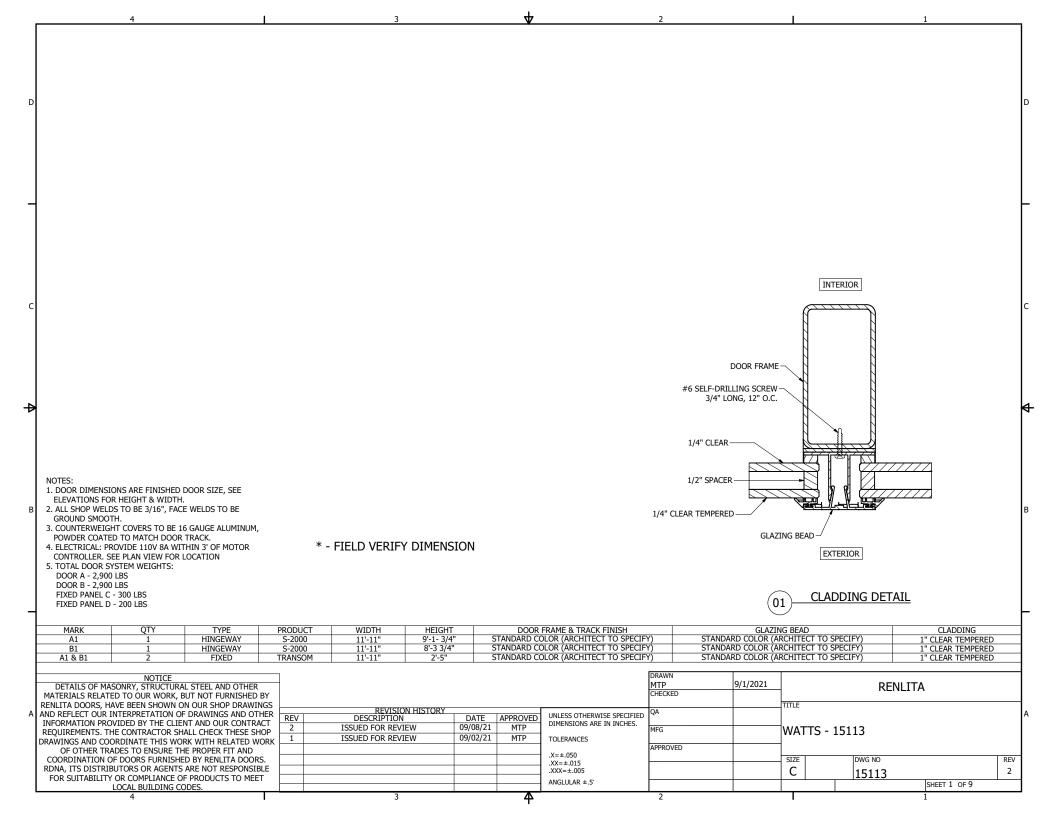


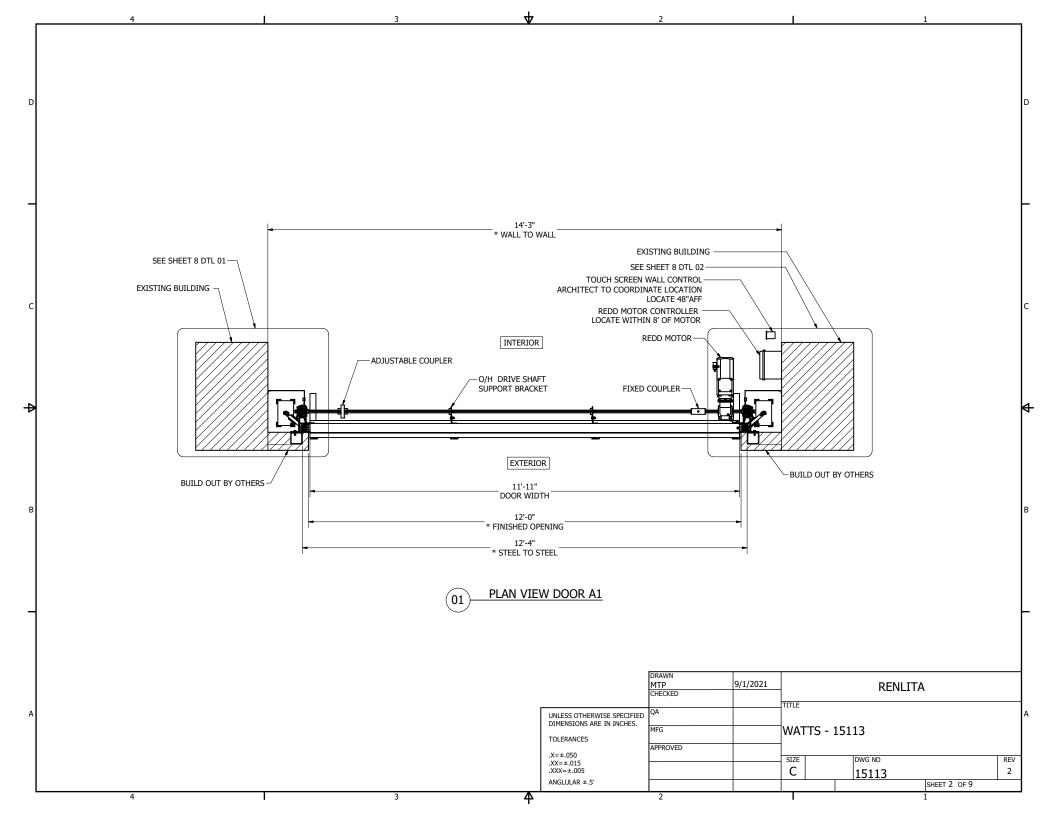


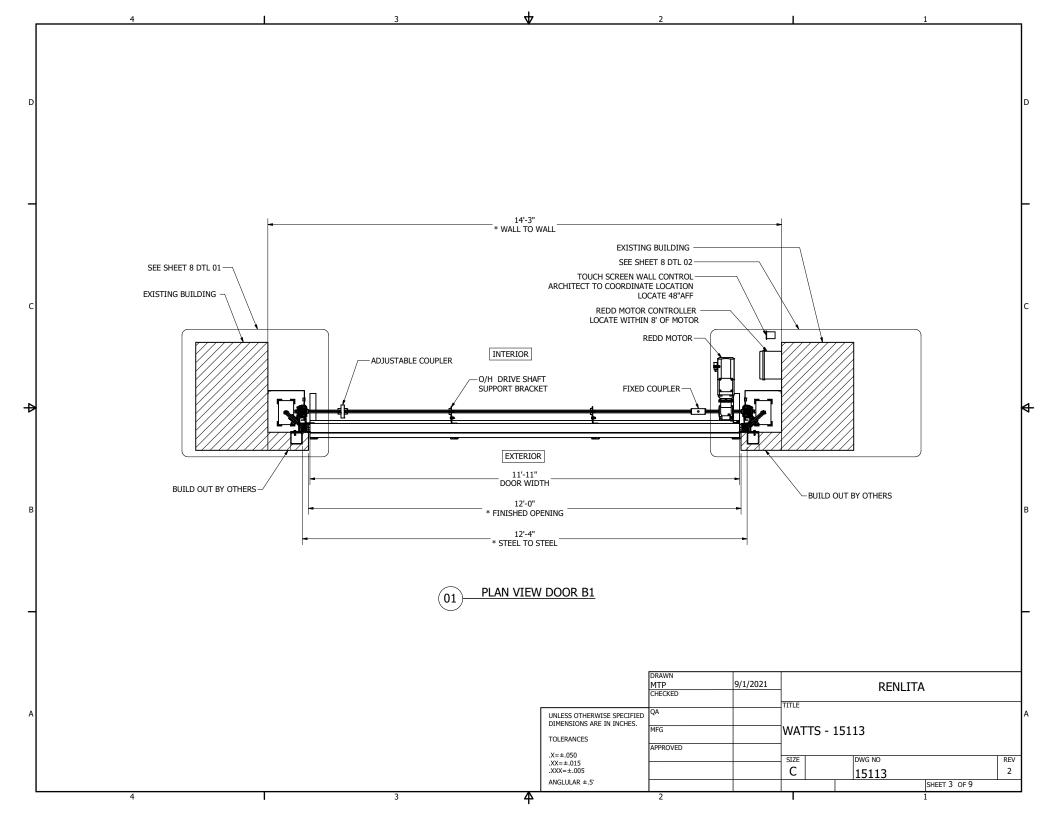
FRONT ELEVATION

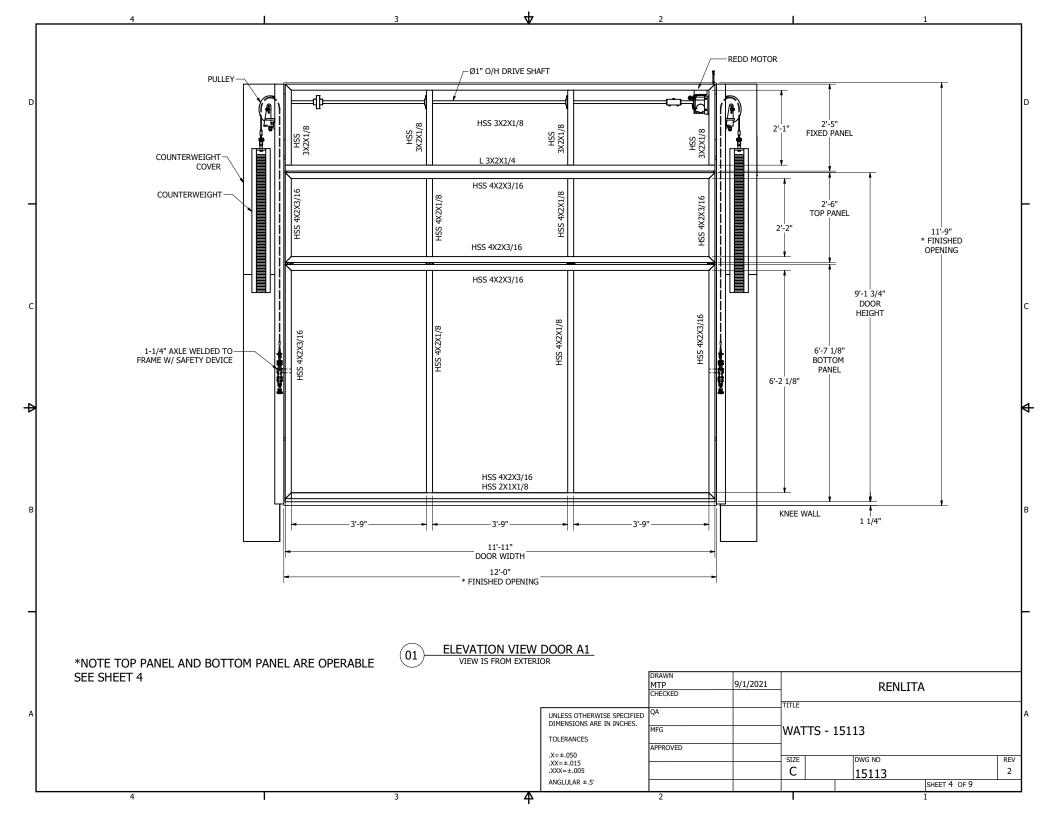
SCALE: 1/8" = 1'-0"

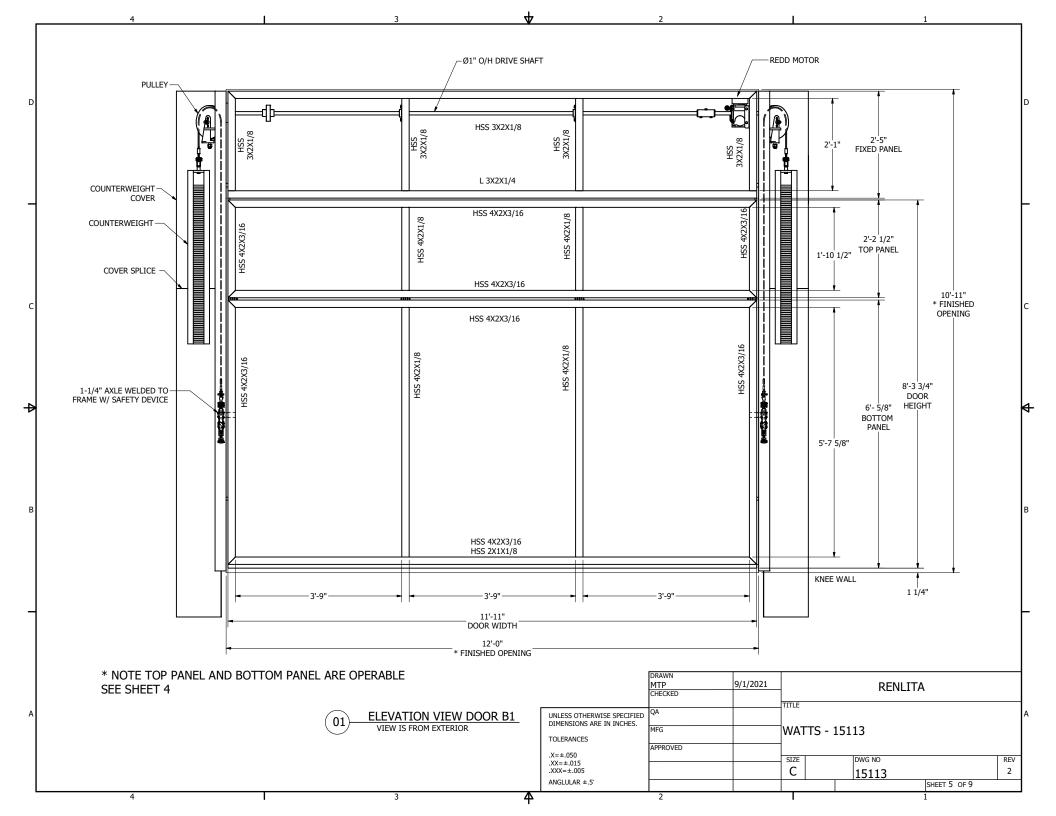


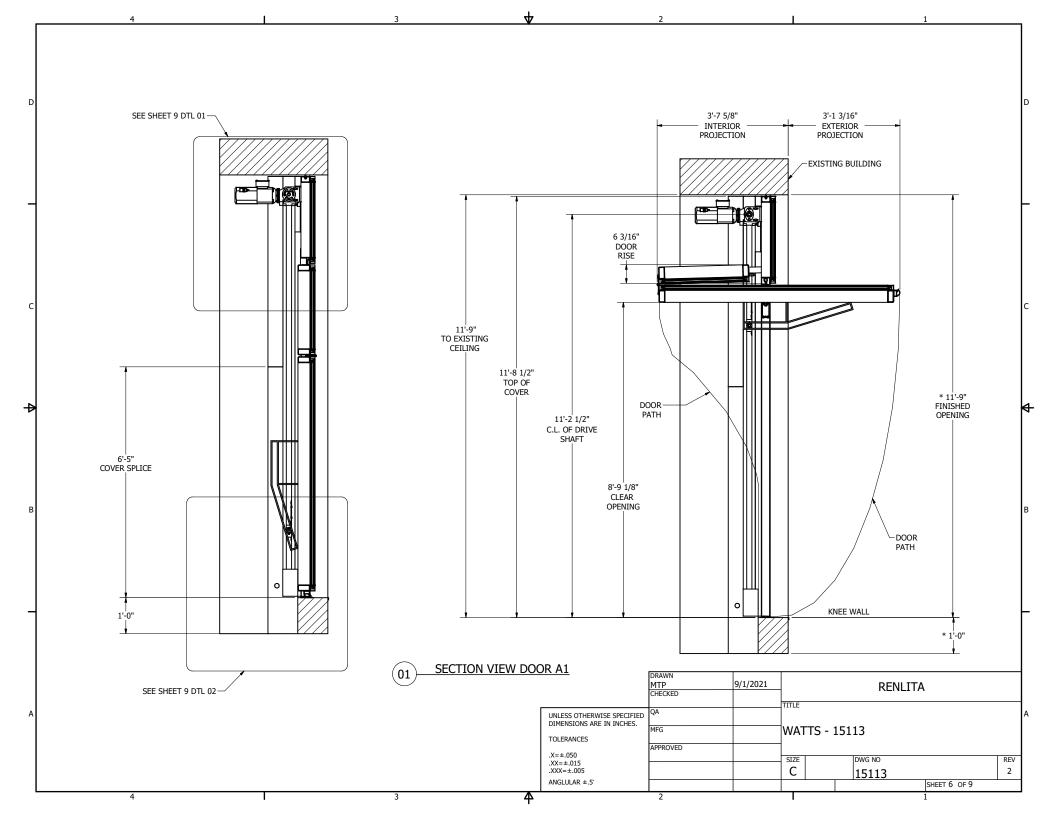


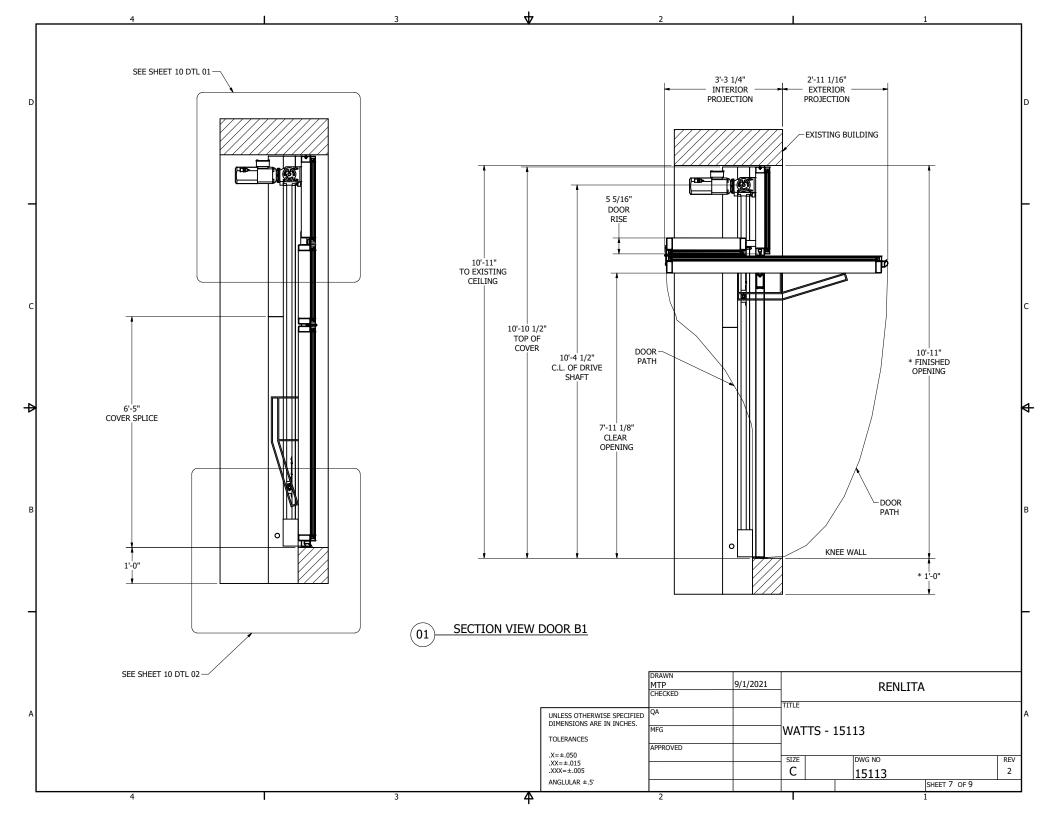


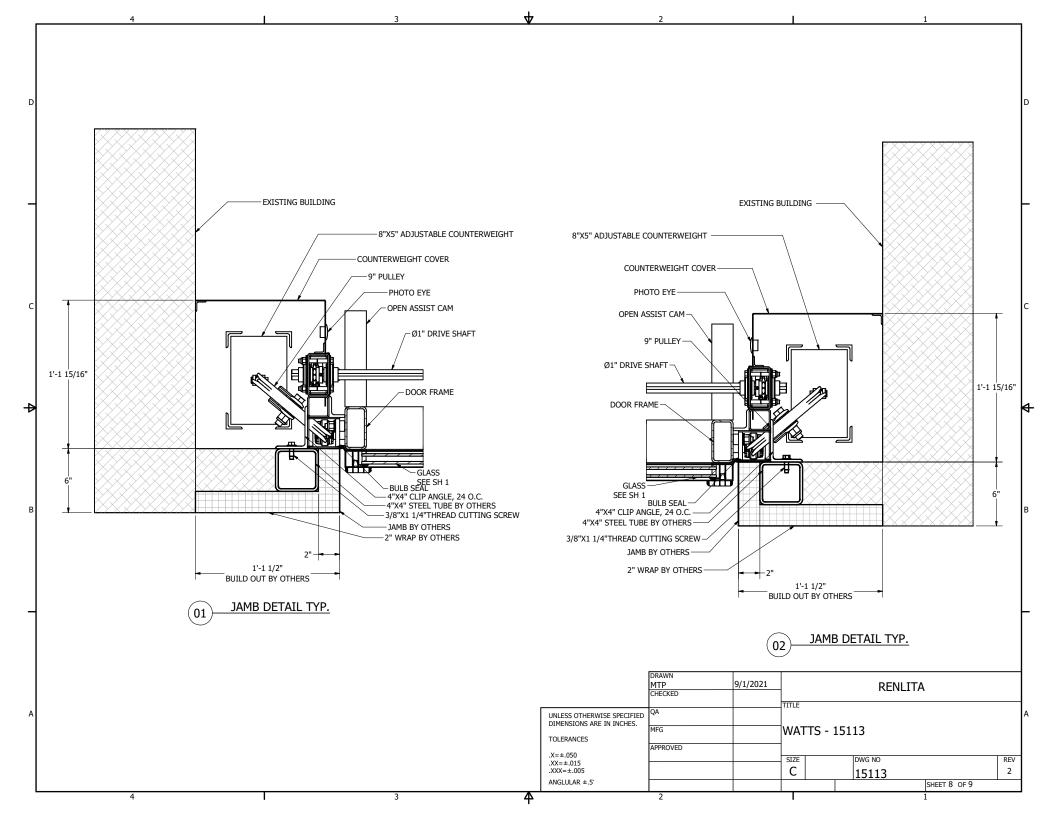


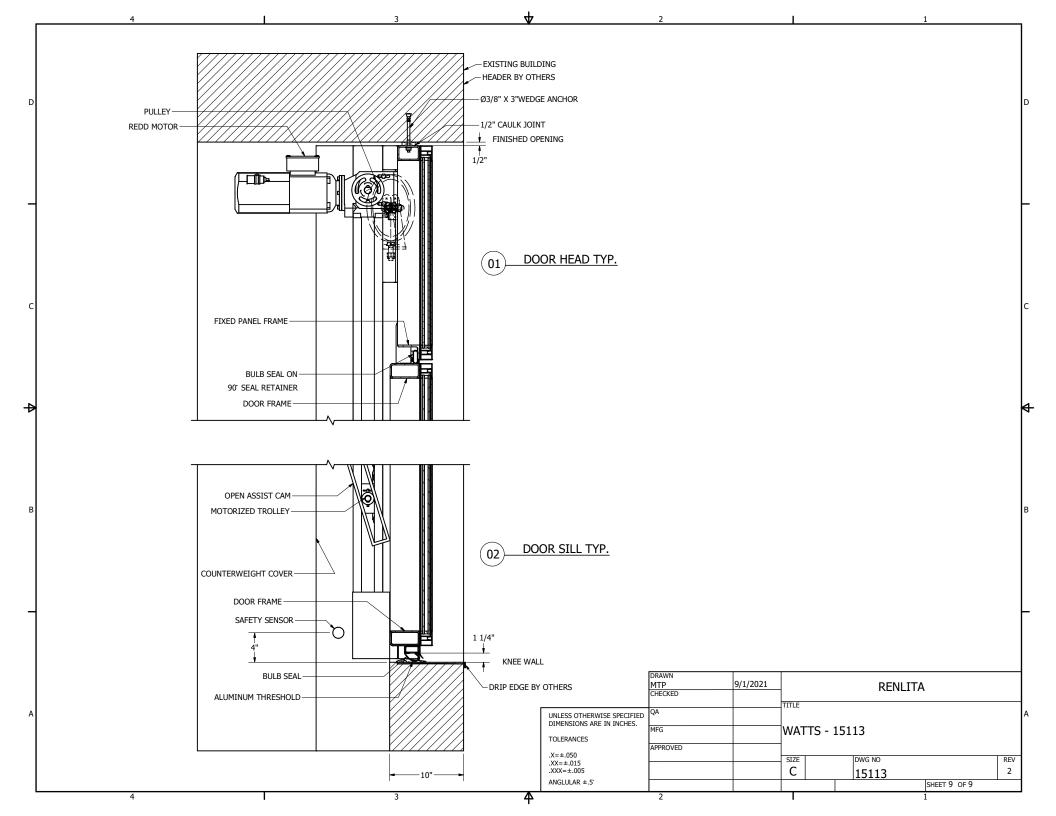
















ABOUT RENLITA CUSTOM OPENING SOLUTIONS

Renlita specializes in highly customizable vertical opening systems engineered specifically for your project. Our team of highly trained engineers and skilled craftsmen have years of experience designing and creating incredible doors, windows and walls that lift at the touch of a button.

High-quality components and durable powder-coated finishes protect your investment, and seemingly endless color, glass and cladding options make your opening truly one of a kind. Standard color options are listed here and custom colors or color matches are available as well.

POWDURA ARCHITECTURAL ALUMINUM COATING SYSTEMS

Powdura powder coating systems for exterior and interior metal building products offer the breadth and flexibility you need for your finishing requirements. Powdura coating systems possess excellent abrasion, mar, scratch and impact resistance to withstand the harshest environments.

POWDURA[®] 3000

PRODUCT TYPES ARE FOR INTERIOR AND LIMITED EXTERIOR USE

Powdura 3000 coatings, formulated with super durable polyester resins, feature a wide range of color and gloss levels, including 188 RAL standard colors - available in both TGIC and TGIC-free formulations. Applications include: residential and light commercial use for windows, doors, residential fencing and railings.

POWDURA 4000 ALL PRODUCT TYPES ARE FOR EXTERIOR USE

Powdura 4000 coatings are formulated with super durable polyester resins and solar-reflective pigments known to reduce heat buildup and leave painted metal cool to the touch. This coating system provides excellent gloss retention and is available in TGIC and TGIC-free formulations. Applications include: residential and non-monumental structures, heavy commercial use for windows, doors, fencing, railings, stairwells, handrails, louvers, skylights, indoor atrium areas, high traffic areas and store fronts.

POWDURA 5000

CAN BE USED ON ALL RENLITA A-750 AND SOVEREIGN PRODUCTS EXCLUDING HARDWARE

Powdura 5000 coatings' combination of fluoropolymer resins and solar-reflective pigments defend against ultraviolet radiation, enhancing thermal stability and delivering a hard, durable finish to combat wear and tear of this one-coat system. Applications include: residential and monumental structures, heavy commercial use for windows, doors, fencing, railings, louvers, skylights, curtain walls, column covers, exterior lighting fixtures, sash extrusions, entrance overhang structures and store fronts.

	POWDURA® 3000	POWDURA 4000	POWDURA 5000
AAMA Spec	2603	2604	2605
Film Thickness ASTM D7091	1.8 to 3.0 mil	1.8 to 3.0 mil	1.8 to 3.0 mil
Specular Gloss at 60° ASTM D523	30-90 units	30-90 units	30-80 units
Humidity ASTM D2247	1,500 hours aluminum	3,000 hours aluminum	4,000 hours aluminum
Acid Salt Spray ASTM G85 Annex 5	N/A	N/A	2,000 hours aluminum
Salt Spray ASTM B117	2,000 hours	3,000 hours	4,000 hours
Weathering	1 year exposure, 45° South Florida	5 years exposure, 45° South Florida	10 years exposure, 45° South Florida
Fade ASTM D2244	Slight color fade	Max 5ΔE	Max 5ΔE
Chalk ASTM D4214	Chalk minimal	Chalk maximum 8 rating	Chalk maximum 8 rating on colors; maximum 6 rating on whites
Gloss ASTM D523	Slight gloss loss	Gloss > 30% retention	Gloss > 50% retention



POWDURA® 4000 COATINGS

Designed to provide substantial resistance to abrasion, impact, scuffing and scratching, Powdura* 4000 coatings deliver a superb finish and long-term durability. This proven technology withstands harsh elements from UV rays to high heat and humidity. Powdura 4000 coatings are designed to meet or exceed AAMA 2604 specifications, giving your structure's metal products excellent gloss retention and weathering resistance.



WHEN EXTRA CORROSION RESISTANCE IS NEEDED

We offer Powdura® Super Durable Primer (RAS8-80000) which resists damage from harmful UV rays and provides an extra barrier to aid in corrosion prevention. When used with Powdura topcoats and applied over properly pre-treated aluminum, the coating systems are designed to meet or exceed their respective AAMA specifications for residential and commercial applications.

For projects using steel substrates that will be exposed to harsh elements, we offer highly corrosion resistant primers such as Epoxy Primer (EAS6-00K33) and Zinc Epoxy Primer (EAS6-00K44) in a unique dry-on-dry OneC ure primer, and (AAMA qualified) topcoat application. Our topcoat offers the best of both worlds – a crosslinked system built for corrosion resistance as well as color and gloss retention that will give your product an excellent architectural finish built for long-term durability. Please contact us to learn more.



POWDURA SUPER DURABLE ARCHITECTURAL RAL COATINGS

We offer a broad range of in-stock high-gloss and satin finish RALs ranging from RAL 1001 to RAL 9018 that cover a wide array of colors for your project needs. Our super durable polyester architectural RALs are formulated for outstanding weatherability, and excellent color and gloss retention. Listed below are our most popular colors. Please contact the Renlita sales team for more RAL color information.





POWDURA 4000 ANODITE COATINGS

Our in-stock anodized color series is a collection of colors designed to look like anodized metal surfaces and deliver a smooth, ultra matte, powder-coated finish. We offer an array of anodized colors and below are some of our most popular and trending options. Custom anodized matches are also available upon request.





POWDURA 4000 STOCKED COATINGS

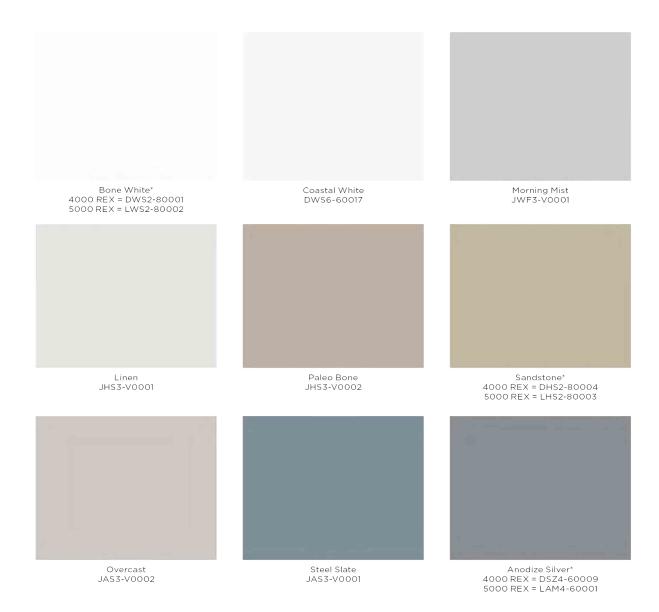
Powdura 4000 is a powder coating system that combines a superb finish with long-term durability. We offer an array of solid and metallic 2604 architectural colors. Below are our most popular, in-stock door colors that you can quickly take advantage of for your next project. Custom matched colors are also available upon request.





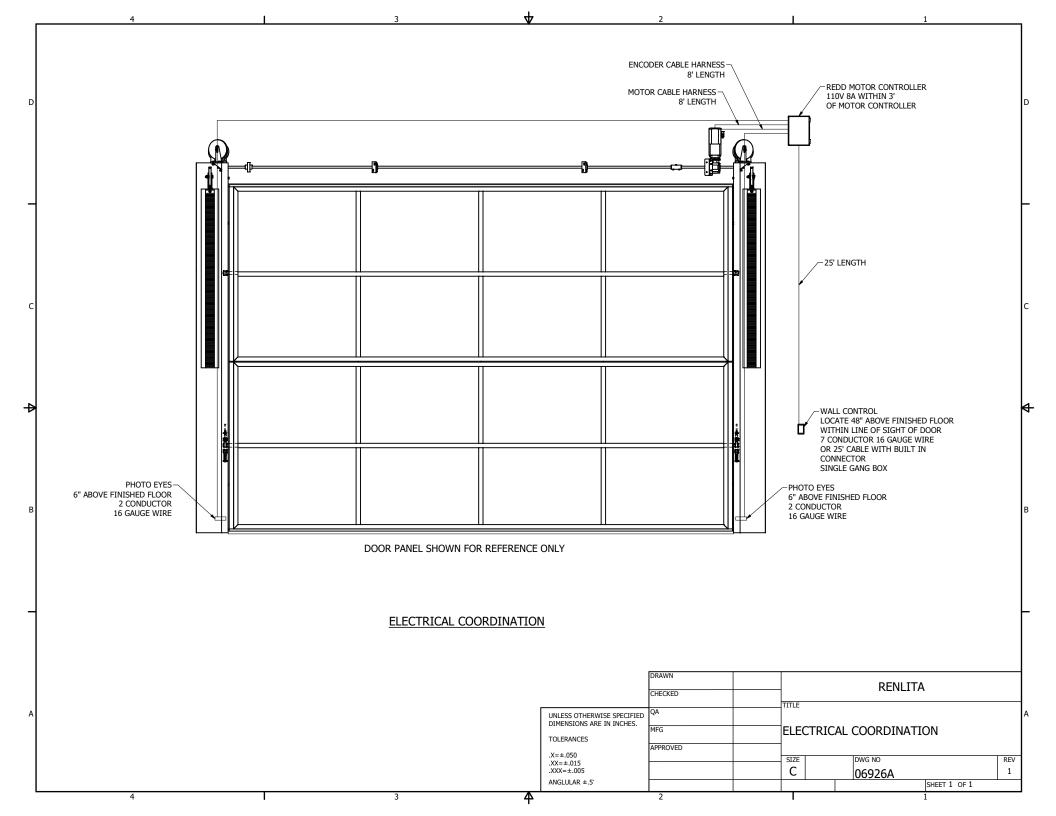
POWDURA 4000 STOCKED COATINGS AND POWDURA 5000 COLORS

We offer an array of Powdura 4000 coatings as well as 18 quickly available Powdura 5000 (2605) fluoropolymer coatings. Please note the colors highlighted with an asterisk are available in 4000 and 5000, and have product codes associated with each. Please contact the Renlita sales team for other color availability, 2604 and 2605 custom color match requests, and additional color and costing information on 5000 fluoropolymer products.



We offer many additional architectural colors and custom color matches. Please reach out to us at 903-568-3956 or www.RenlitaUSA.com for more information.





Yearly Check Up

Joint Lubrication:

Lubricate the areas noted in the diagram with a graphite-based lubricant every twelve months. List of items to lubricate:

Link-arm bolts (2)

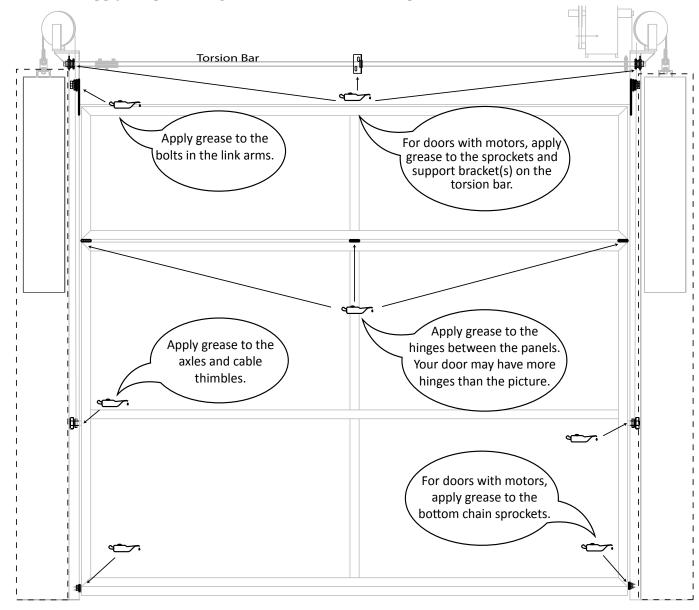
Support bracket (1) Hinges (varies per door)
Sprockets (only on doors with motors, 4) Cable thimbles and axles (2)

Cable Inspection:

Inspect the cables every twelve months for frays or other damage by removing the counterweight covers and watching the cables while the door moves. Do not put your hand next to a cable while the door is moving. The dotted rectangles in the drawing show where the covers should be. Contact Renlita Doors immediately if you find any damage on a cable.

Touch-up for the finish:

We provide a can of paint with your purchase in case at some time you need to refinish a spot on your door's steel members. To apply the paint, shake the can well, hold the nozzle 8 – 12 inches from the surface, and apply the paint in light coats to the blemished spot.



Warranty Information

Limited Warranty

RENLITA DOORS NORTH AMERICA, LLC (Renlita Overhead Doors) warrants to the original purchaser within one year from date of installation, if a product sold under this warranty proves to be defective in material or workmanship through normal use and service according to maintenance and operations instructions, as verified by inspection by persons authorized by Renlita Overhead Doors, Renlita Overhead Doors will replace or repair (at Renlita Overhead Doors option) the defective product.

In addition to general warranty, Renlita Overhead Doors warrants the steel frame against rust, in painted non-damaged condition for a period of two years from original purchase. This warranty does not apply to scratched, dented, damaged or corroded areas of the frame.

Warranties do not cover damage due to: accident, casualty, vandalism, abuse, harmful fumes or foreign substance in the atmosphere, acts of God, fire, failure to provide reasonable control, nor shall these warranties extend to or cover any damages or claims with respect to any product that in any way or degree have been altered, processed, misused, or improperly handled or installed.

Renlita Overhead Doors makes no other warranties, representations or covenants, expressed or implied with respect to this product, as to any matter whatsoever, including but not limited to warranties, representations or covenants as to workmanship, design, capacity, quality, condition, merchantability or fitness for any purpose of the product. Renlita Overhead Doors shall not be responsible for any incident or consequential damages arising out of the breach of this limited warranty, including but not limited to damage to buildings, other property, or other injuries or damages sustained b any persons whomsoever, or the recovery of any direct or indirect costs such as shipping, installation labor charges, paint or painting, or other building materials.

These warranties give you specific legal rights and you may also have other rights, which vary from state to state. All claims under these warranties shall require proof of purchase and be addressed to Renlita Doors North America, LLC P.O. Box B, Bonham, TX 75418

Contact us

Sales 903-587-7500 sales@renlitadoors.com Renlita Doors North America, LLC. PO Box B Bonham, TX 75418

Technical Assistance 903-486-3307 support@renlitadoors.com

Visit our website at www.renlitadoors.com to see other innovative products from Renlita Custom Opening Solutions.



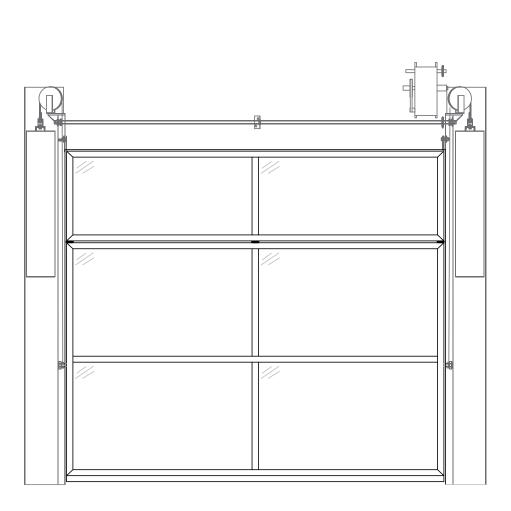


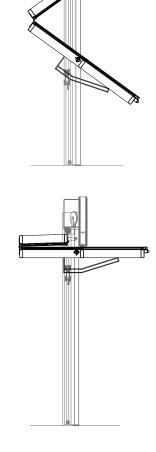
Owner's Manual for the S-2000 Renlita Door

Congratulations on your purchase of a new Renlita door.

We have specially engineered your door for your design, and we are confident that your robust, sleek Renlita door will provide you with many years of enjoyment.

We pride ourselves in satisfying customers, so please contact us if you are not satisfied with your door so that we can do everything to make it right.





Operating your door

Operating a Motorized Door

Unlock the shoot bolt at the bottom of the door.

The installer will give you a remote control or mount a control unit on your wall. Consult the user manual for your motor to understand how to use your control device.

To operate your door manually, you need to disconnect the door from the trolleys by disconnecting the door's cam pins from the sleeves on the trolleys. (See the illustration to the right.) The next section explains how to manually open your door.

Operating a Manual Door

Unlock the shoot bolt at the bottom of the door.

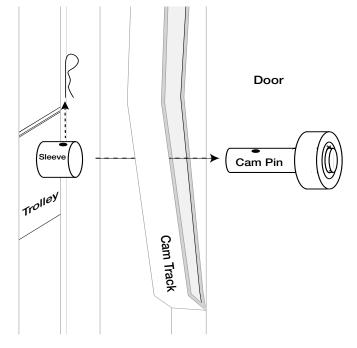
Open your door manually by pushing the bottom toward the outside and slowly guiding it upward until it gently rests in its open position. (See the illustration to the bottom right.) Be careful not to allow the door to slam open or shut because that will eventually cause damage to the door, possibly making it dangerous to use.

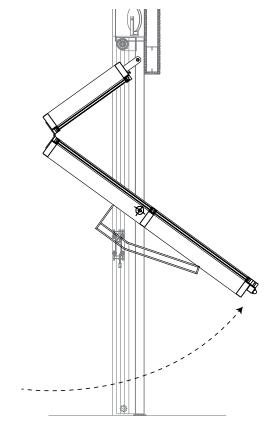
Close the door by gently pulling the bottom down until the door closes fully.

Safety Features for Motorized Doors:

Photo Beam- The installer will place sensors that project a photo beam across the inside of the doorway six inches from the ground. These sensors communicate with the motor while the door is closing so that if anything breaks the beam, the motor will automatically return the door to fully open.

Obstruction Sensing- Each motor will memorize the amount of force necessary to close the door so that it can read interference with the door's movement and return the door to fully open if the door encounters something while it's closing.





Caring for your door

Regular Cleaning

Follow these steps to clean the powder coating on your door's steel members. If your door has cladding on either side, consult the manufacturer of the cladding to know how best to clean it.

- 1. Remove residues with a wet sponge.
- 2. Use a soft brush or a cloth and a mild household cleaner to clean the steel members of your door.
- 3. Rinse the door with clean water.

What not to do

Do not use cleaners that require you to wear gloves because they could damage the powder coating; the damage may not appear for up to twelve months.

Do not use nylon or steel wool scourers on the powder coating.

When you need a replacement

Contact Renlita Doors if you need a replacement part on your door or if your door becomes difficult to operate.

Never try to fix the door yourself. Visit www.renlitadoors.com to find an authorized service technician in your area.

Troubleshooting

The motor will not operate.

- 1. Make sure nothing is blocking the door.
- 2. Make sure the motor and the backup battery are plugged in.
- 3. Check the batteries in the remote control.

The door will not stay closed.

1. Refer to the motor's user manual for adjusting the stop limits.

The door will not stay open.

1. Refer to the motor's user manual for adjusting the stop limits.

The door starts to close, but then it reverses.

- 1. Ensure there are no obstacles in the door's path.
- 2. You may need a technician to examine your door, so visit www.renlitadoors.com to find an authorized Renlita technician in your area.

The remote control will not operate.

- 1. Make sure the batteries are fresh.
- 1. Refer to the motor's user manual for programming the remote control.

Certificates of Appropriateness

September 23, 2021



Case 21-076: Lorain Avenue Historic District

4329 Lorain Avenue

Mural for Sherwin-Williams

Ward 3: McCormack

Project Representative: Kelly M. Fichtner, Sherwin-Williams

The new Ohio City Sherwin Williams store located on the corner of Lorain and West 44th street is the perfect place to integrate a Cleveland-inspired mural that celebrates Sherwin Williams' 150 years in Cleveland and our love and commitment to our community.

The 57'x 13' wall on West 44th street is a great canvas to add a colorful, inspired piece with the collaboration of Graffiti HeArt and Evan Laisure. This will be a creative addition to the street art and murals in Ohio City. We would love to have the opportunity to enhance our community, and Sherwin-Williams' hometown with a new, Cleveland-proud, public art piece.



Sherwin-Williams X Graffiti Heart Ohio City Mural

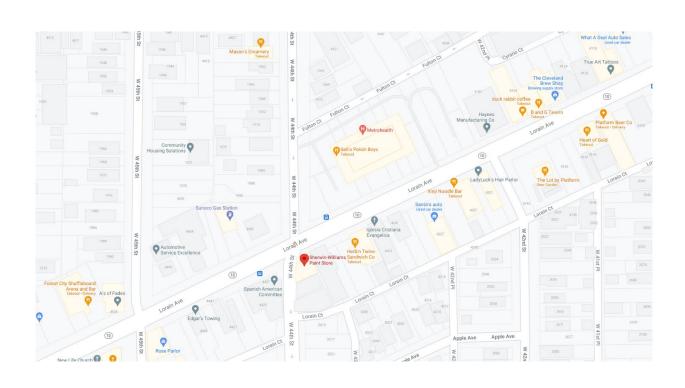
Company Background



- Our mission to cover the earth began more than 150 years ago when in 1866 Henry Sherwin and Edward Williams founded the Company in Cleveland, Ohio.
- Since then, Sherwin-Williams has been an industry leader in the development of technologically advanced paint and coatings.
- As the nation's largest specialty retailer of paint and painting supplies, Sherwin-Williams is dedicated to supporting both do-it-yourselfers and painting professionals
- Sherwin-Williams has one of the industry's most recognized portfolios of branded and private-label products. The Company's Sherwin-Williams® branded products are sold exclusively through a chain of more than 4,438 company operated stores and facilities in the United States, Canada, the Caribbean and Latin America.

Context Map





Building Specs



- New construction started on October 2020- and finished on May 2021.
- The building materials: masonry brick



Entire wall including the two doors is 56'7"x12'8".

Elevation Drawing



ELEVATION KEYNOTE LEGEND



BRICK VENEER - MODULAR FACE BRICK VENEER BY ENDICOTT OR APPROVED EQUAL IN COURSING INDICATED BELOW. COLOR: DARK IRONSPOT SMOOTH MODULAR.



BRICK VENEER TYPICAL RUNNING BOND



BRICK VENEER HERRINGBANE BAND



BRICK VENEER ROWLOCK



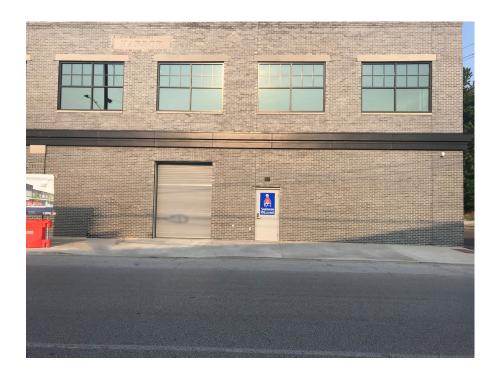
BRICK VENEER SOLDIER BOND

Click here for a more in-depth Elevation Document

Wall Photos





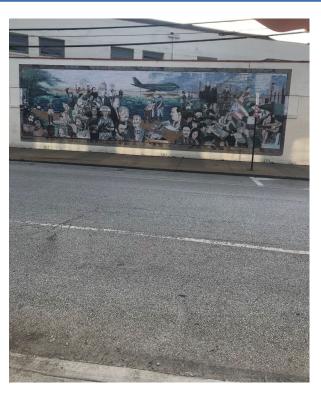


Context Photos





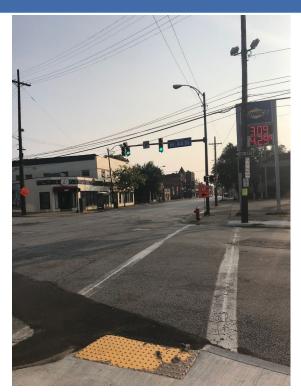
Front of building, facing Lorain Ave.



Across the street from Mural, W. 44th ST.

Context Photos





Right of SW building, corner of 44th and Lorain

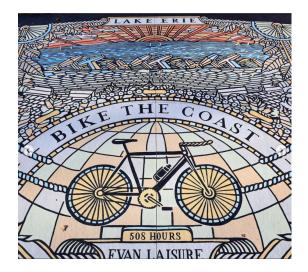


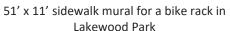
Left of SW building, Lorain Ave.

Artist Portfolio



Evan Laisure- Cleveland based freelance designer for print, digital and mural projects. @thepastimes







Mural on Chester Ave.



107x14 ft. mural for ingenuity Cleveland

Our Concept



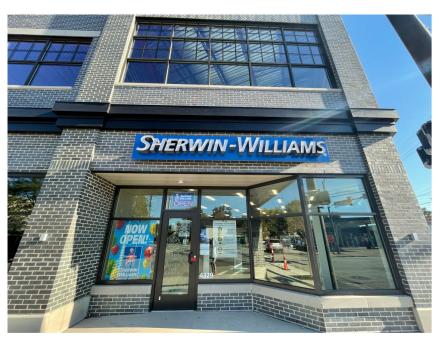


SW Branding: 35' x 2' (70 square feet) 15.36% of the total mural space

Branding Measurements



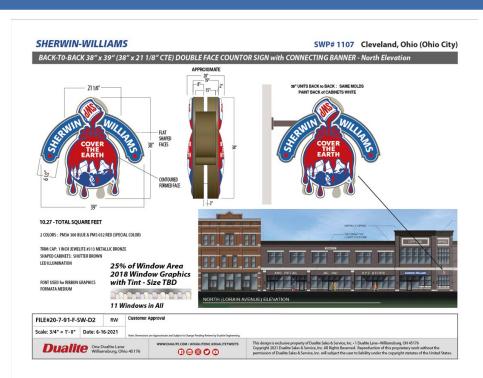




The (2) existing SW signs are 2'X14'3" (28.5 sqft each). One is facing W 44th (right) and one is facing Lorain (right)

Branding Measurements





the blade sign is not currently installed but will be 38"X39" (10.27 sqft).

Paint Specs- Primer







Shield against the elements with Loxon® Concrete and Masonry Systems

Count on Loxon® Concrete and Masonry Systems, a full range of products for prepping, finishing, specialty and more.



Take on More Jobs

Perfect for new construction and repaints. Can be applied on fresh concrete, stucco and block surfaces at least seven days old, with a pH of up to 13.



Stand up to the Elements

This unique system maintains the integrity of its original appearance despite sun, heat, wind-driven rain and salt air.



Smooth Out Imperfections Me

Products to help bridge hairline cracks and provide smooth coverage even over less-than-perfect surfaces.



Meet Stringent Requirements

Many of these systems comply with strict VOC requirements across the U.S. without sacrificing performance or productivity.

For more information on Loxon® Concrete and Masonry Systems, visit:

Product Page

62020 The Sherwin-Williams Com A1024

Paint Specs-Top Coat & Protective Coating Option #1







Emerald Rain Refresh Exterior Acrylic Latex Paint



Write a Review | See all Emerald Family products

Emerald Rain Refresh Exterior is an ultra-durable exterior coating with Self-Cleaning Technology™. Rain Refresh is formulated so dirt washes away upon contact with rain or water for a clean, fresh look with minimal maintenance. This new coating offers excellent UV and weather protection and can be tinted in VinylSafe® paint colors.

Protective Coating: Sher-Clear 1K Waterborne Acrylic Clear Coat

Paint Specs- Top Coat & Protective Coating Option #2





Emerald Exterior Acrylic Latex Paint



41 Reviews | Write a Review | See all Emerald Family products

Emerald® Exterior premium paint and primer in one allows you to achieve stunning exterior results that stand the test of time in fewer coats.



Anti-Graffiti Coating

A single-component, non-sacrificial siloxane coating.

This ready-to-use siloxane coating cures with atmospheric moisture, and is intended for use over properly prepared concrete surface

Certificates of Appropriateness

September 23, 2021



Case 21-077: St. John Cantius Convent / Matt Talbot Inn

Stella Maris Tremont Community 2270 Professor Avenue

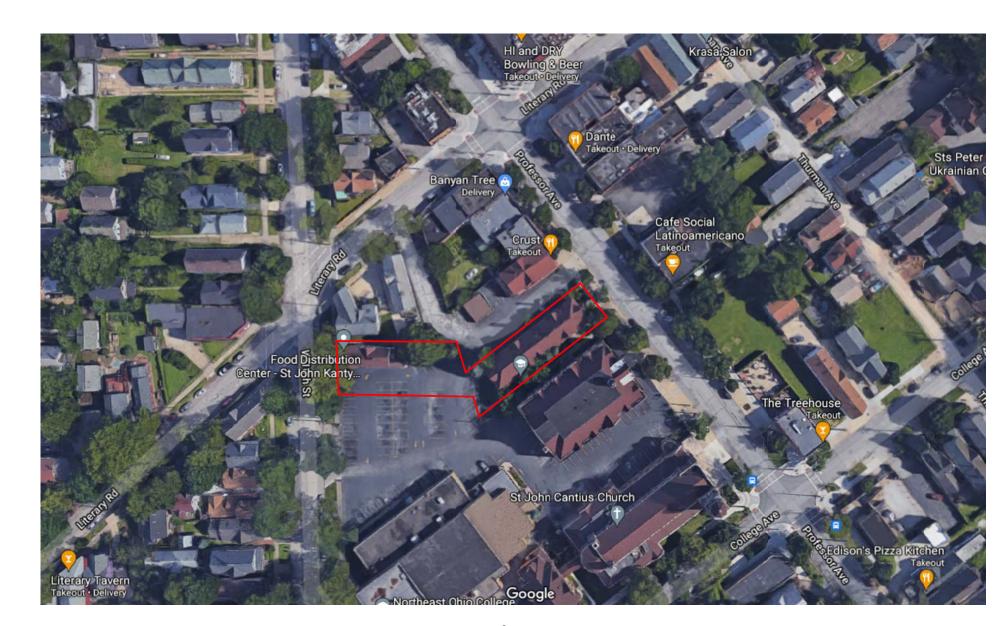
Renovation and Site Development

Ward 3: McCormack

Project Representative: Robert Bajko, Hengst Streff Bajko (HSB) Architects



Existing Front Porch



Location Map



Renovated Back Porch



Stella Maris Tremont Community

STELLA MARIS / TREMONT COMMUNITY PARTNERSHIP PLAN

Located in the West Flats of Ohio City, Stella Maris has been serving our community since 1948. Stella Maris offers all levels of substance abuse treatment and provides holistic care with an emphasis on ensuring clients receive comprehensive assessment, treatment, workforce development, and community re-entry. The mission of Stella Maris is to provide quality chemical dependency treatment and mental health services to our community, regardless of race, sex, gender identification, religion, or ability to pay by providing care to a population of homeless, impoverished, and uninsured individuals in their quest for sobriety.

Stella Maris offers the following programs:

Medically-Supervised DetoxificationPartial Hospitalization Program Intensive Outpatient Program Non-Intensive Outpatient Program (Aftercare)Medically Assisted Treatment (Vivitrol Only)Supportive Housing

Additionally, Stella Maris offers three Ohio Recovery Housing programs - one is an on-campus 46-bed "dorm" for men that offers chemical dependency education, case management, psychiatric and medical care, and vocational counseling within a therapeutic community, and two off-campus Ohio Recovery Housing houses: Carlyle, a 10-bed male-only recovery house, and Walton, a female-only, 17-bed recovery house. Additionally, Stella Maris boasts a strong recovery community focused coffee shop that allows our campus to host over 45 (1200-1500 visitor's on-campus weekly) 12-Step meetings weekly.

Opportunity

Stella Maris received \$5.4 million through the first round of the Cuyahoga County Opioid Settlement to expand its service capacity and open a 32-bed all gender residential program. In supporting the legacy of the Matt Talbot Inn, Stella Maris has identified the Matt Talbot Inn as the best location to offer these expanded services through its residential program, along with the building located on West 10th with the support and consideration of the surrounding neighbors.

Residential Program

Clients in our residential program are determined to be medically and psychiatrically stable prior to admission and we do not admit any clients with a history of violent or sexual offenses. Participation in the Residential Program is voluntary for our clients; therefore, we do not operate locked units which results in having clients who are motivated to actively engage in treatment. The residential program will be an inpatient (stay in the program 24 hours a day without leaving unsupervised) program that fits into our continuum between inpatient drug and alcohol detoxification and outpatient services, all of which are offered on our main campus 7 minutes from the Professor Ave. site.

Residential Program Project - Matt Talbot Building:

The Project will involve the full interior restoration of the Matt Talbot building and the beautification of the exterior of the building and landscaping. Exterior improvements include repair of the fascia boards and gutters, cleaning of the brick masonry and sandstone detailing, new vinyl replacement windows, painting of the front porch to match the existing color scheme, new stairs to a reconstructed back porch including a handicap lift, landscaping and an ornamental fence along the southern property line. We our proposing to remove the chimney on the south side of the ridge because it runs down the middle of the building and severely compromises the required egress width on the second floor. The project will create at least 15 full time jobs while providing business to the surrounding restaurants and shops.

Matt Talbot Building (parcel 151)

- 32 beds (All Gender)
- 30-45 day average length of stay
- 24-hour staffing (Registered Nurses and Residential Assistants)
- Programming Day 7 days a week to include holistic therapies such as art therapy, music therapy, equine therapy (offsite), nutritional groups, nursing education groups, yoga, and movement therapy
 Treatment team consists of a board certified Psychiatrist and Addiction Medicine Physician, Nurse Practitioners and
- Treatment team consists of a board certified Psychiatrist and Addiction Medicine Physician, Nurse Practitioners and Physicians Assistants, Licensed and Certified Chemical Dependency Counselors and other Master's Licensed Counselors, Registered Nurses, Case Managers, Peer Recovery Supporters, and Residential Assistants
- This program is trauma-informed and includes daily therapeutic group counseling, psycho-educational groups, individual therapy, case management, medication management, psychiatric services, primary care services, peer support services, and linkage to further treatment and other wrap-around services on our main campus following completion of the program

SCOPE OF WORK

EXTERIOR

- 1. TUCKPOINT AND CLEAN ALL MASONRY AND SANDSTONE
- 2. SAND AND REPAINT ENTRY PORCH
- 3. NEW VINYL REPLACEMENT WINDOWS THROUGHOUT. MULLION PATTERN ON WINDOWS FACING PROFESSOR AVE. TO MATCH ORIGINAL (WITHIN REASON)
- 4. REMOVABLE OF GREASE DUCT ON SOUTH SIDE OF BUILDING
- 5. REPLACEMENT OF DAMAGED FASCIA BOARD ON NORTH AND SOUTH FACADES AND ALL NEW GUTTERS AND DOWNSPOUTS.
- 6. REPLACEMENT OF BACK PORCH DECK
- 7. NEW MASONRY STEPS LEADING FROM PARKING LOT TO BACK PORCH
- 8. NEW BRICK PAVER PATIOS FLANKING NEW STAIRS
- 9. NEW CANVAS AWNING ALONG BACK PORCH
- 10. NEW ADA EGRESS RAMP ON NORTH SIDE OF BUILDING
- 11. REMOVAL OF CHIMNEY TO ALLOW FOR REQUIRED EGRESS WIDTH ON SECOND FLOOR

INTERIOR

- 1. NEW FIRE SPRINKLER SYSTEM
- 2. NEW HVAC THROUGHOUT
- 3. NEW ELECTRICAL LIGHTING AND POWER DISTRIBUTION.
- 4. NEW WALL, CEILING AND FLOOR FINISHES
- MINOR MODIFICATIONS TO WALL LAYOUT
- 6. NEW PLUMBING FIXTURES THROUGHOUT



South Elevation from Professor Ave.



Front Entry on Professor Ave.



North Elevation from Professor Ave.



South Elevation from rear of property



Gutter damage at back porch



Grease duct on south facade



Tuckpointing at back porch

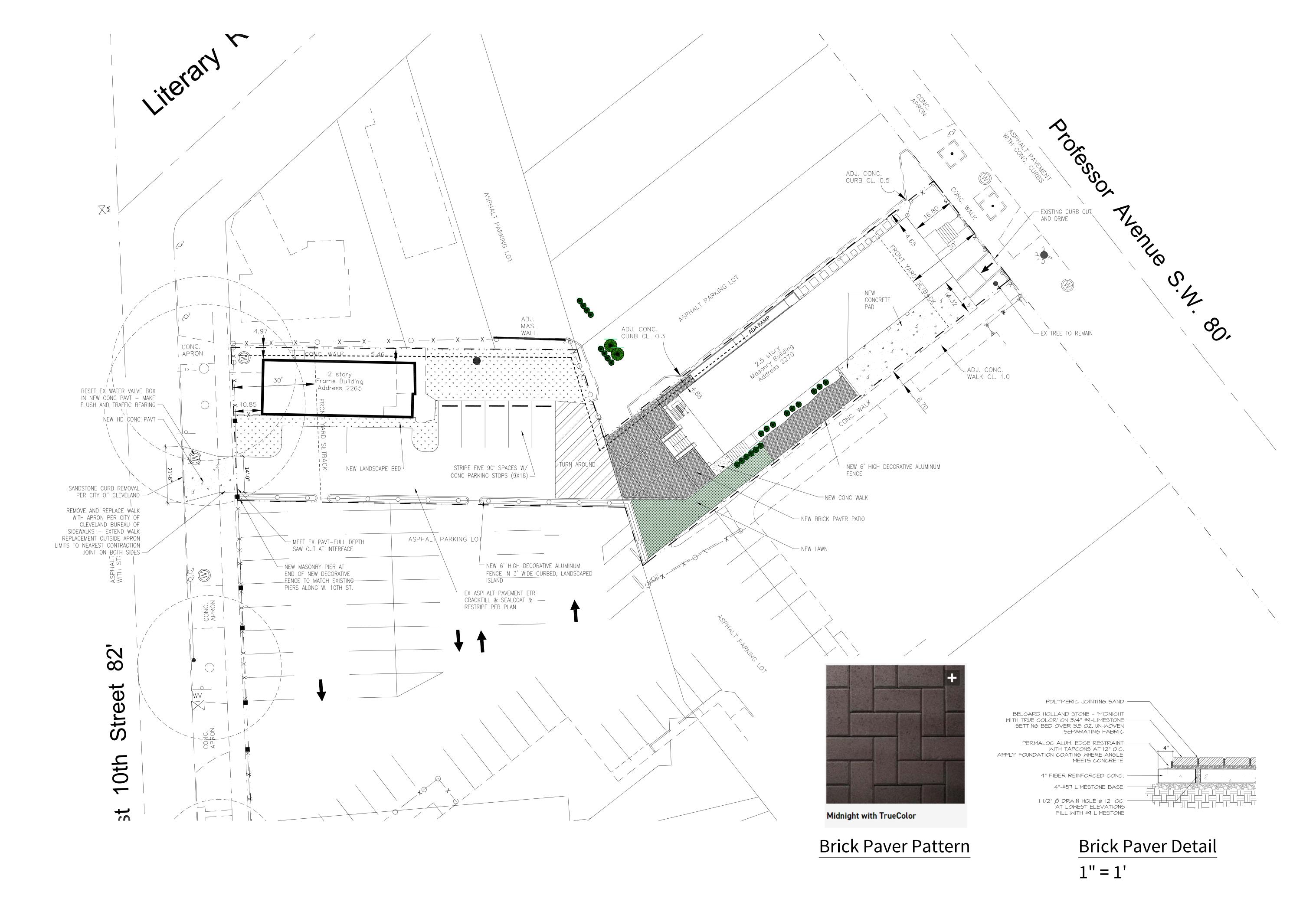


Gutter damage on north facade



Steps to back porch





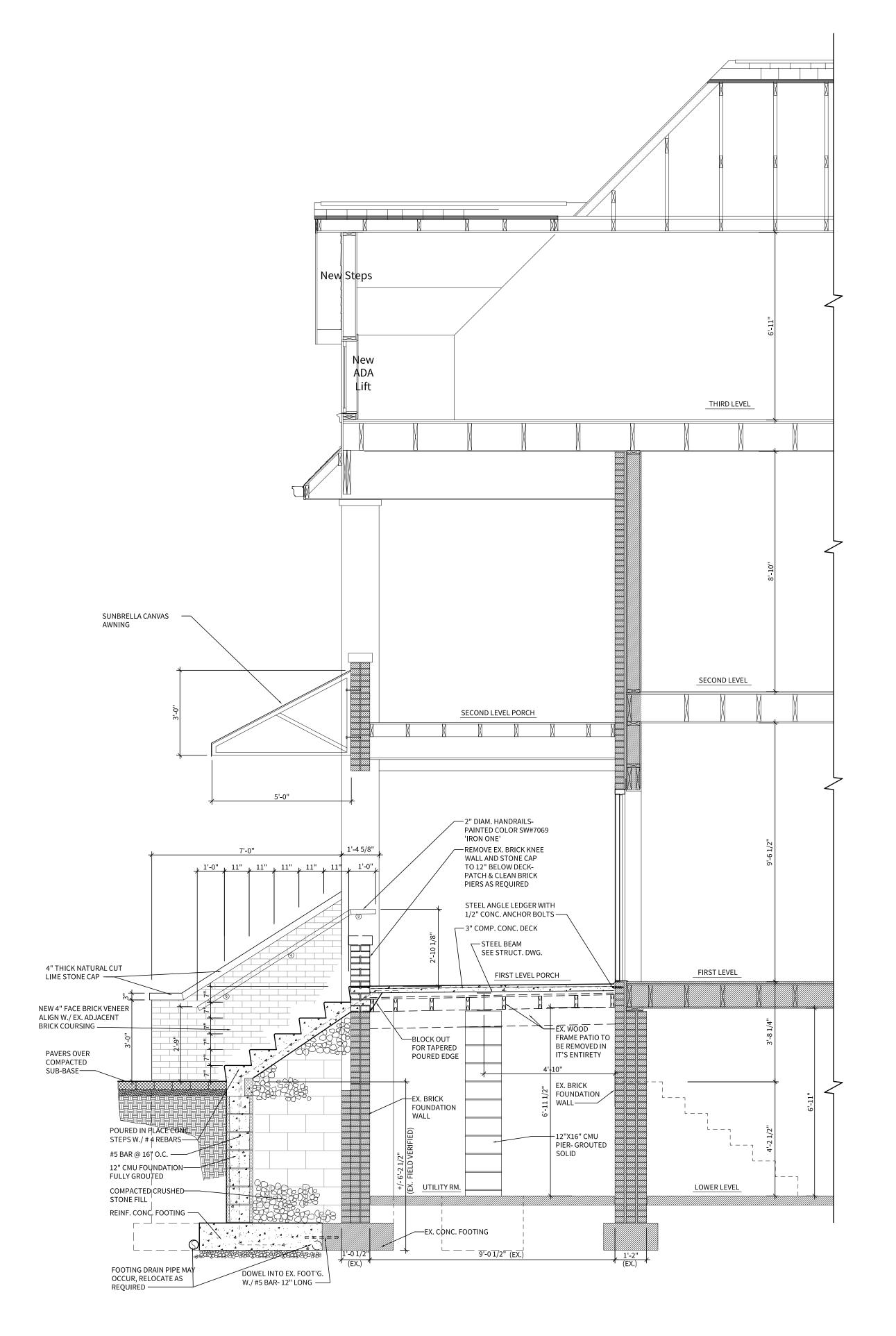


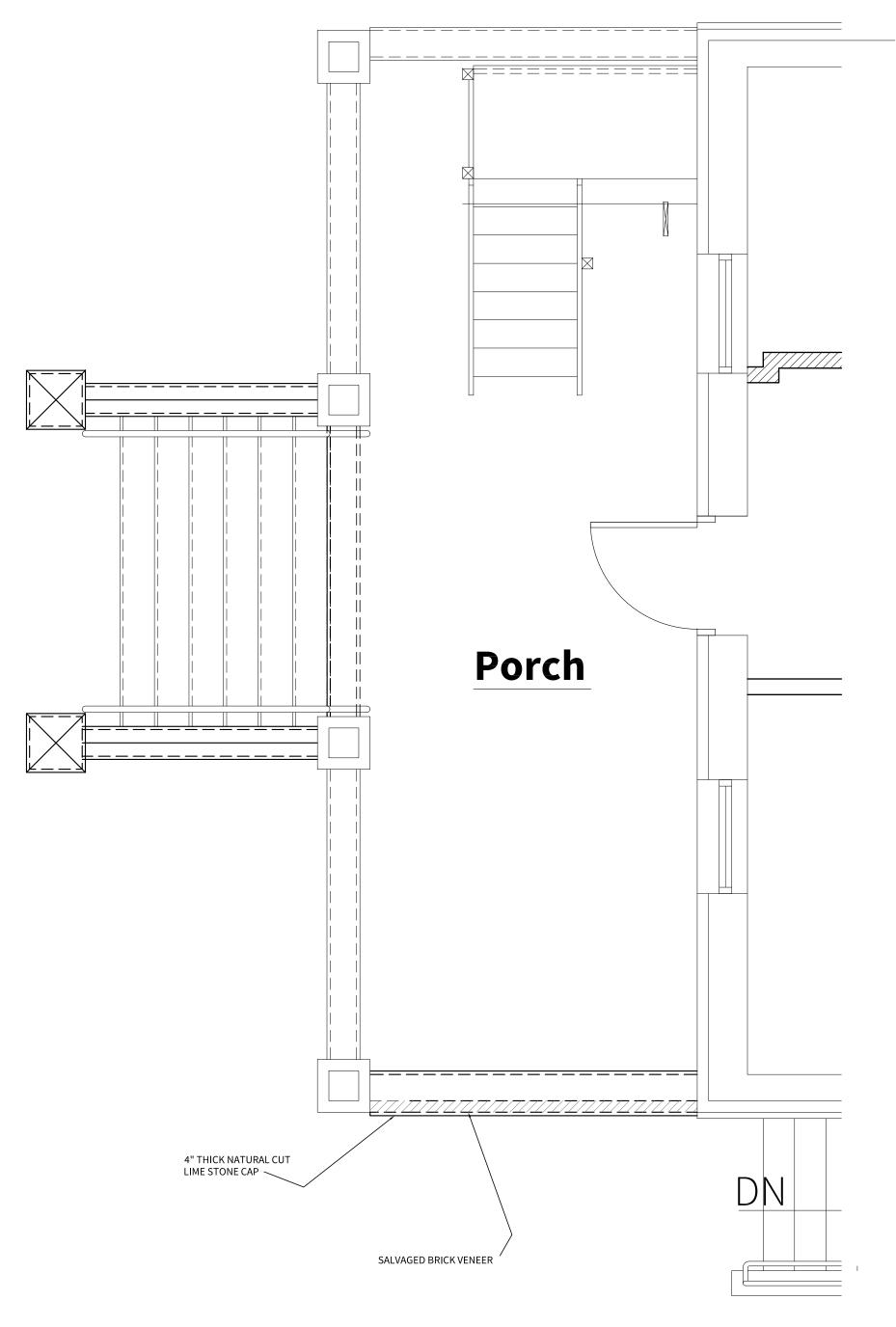
Site Development Plan



Third Floor







Enlarged Back Porch Plan

Section thru Back Porch









Exterior Elevations - New Work









Certificates of Appropriateness

September 23, 2021



Case 21-072: Magnolia-Wade Park Historic District (Concept Plan 8/26/21)

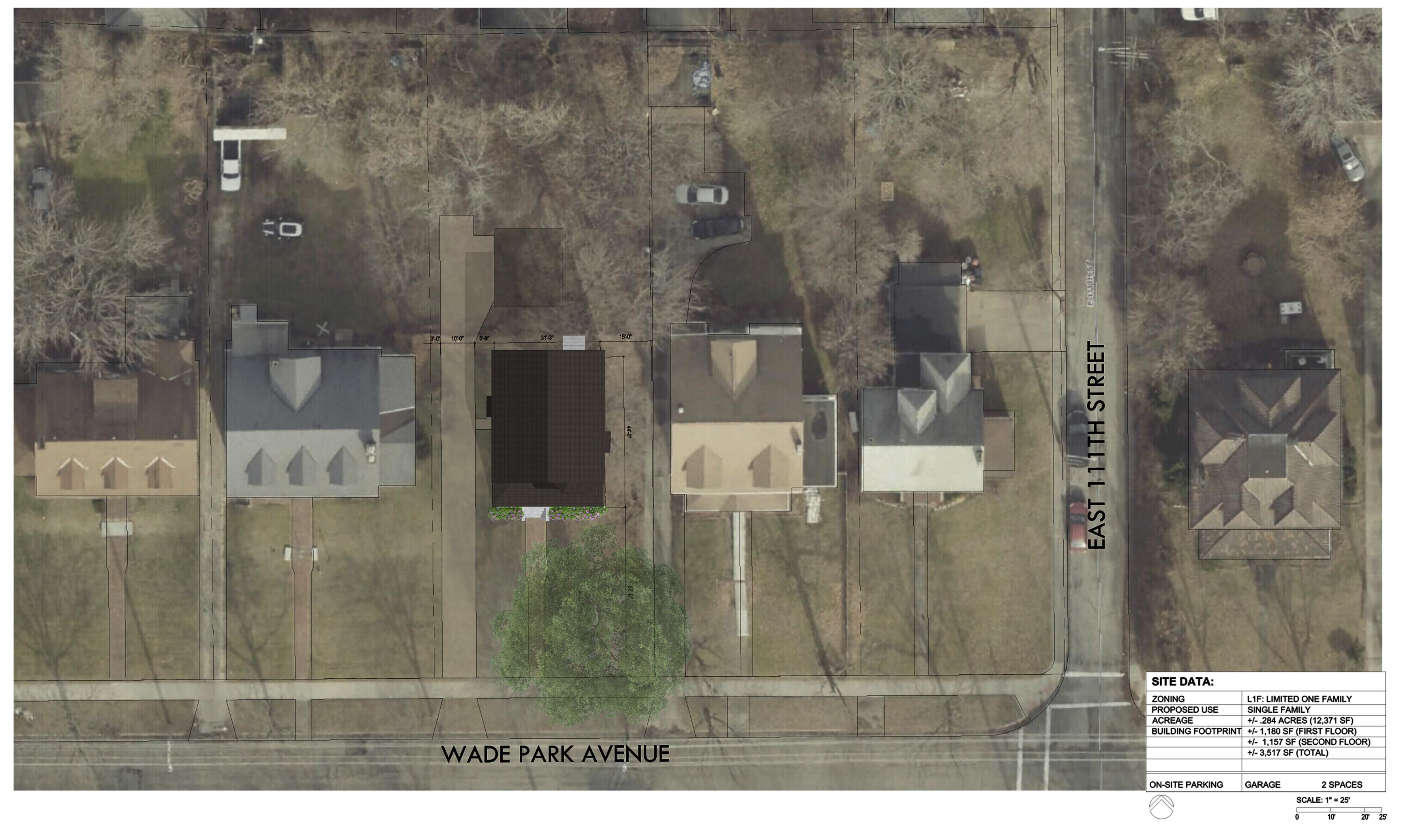
[11017-19] Wade Park Avenue

New Construction of a Single-Family House and Garage

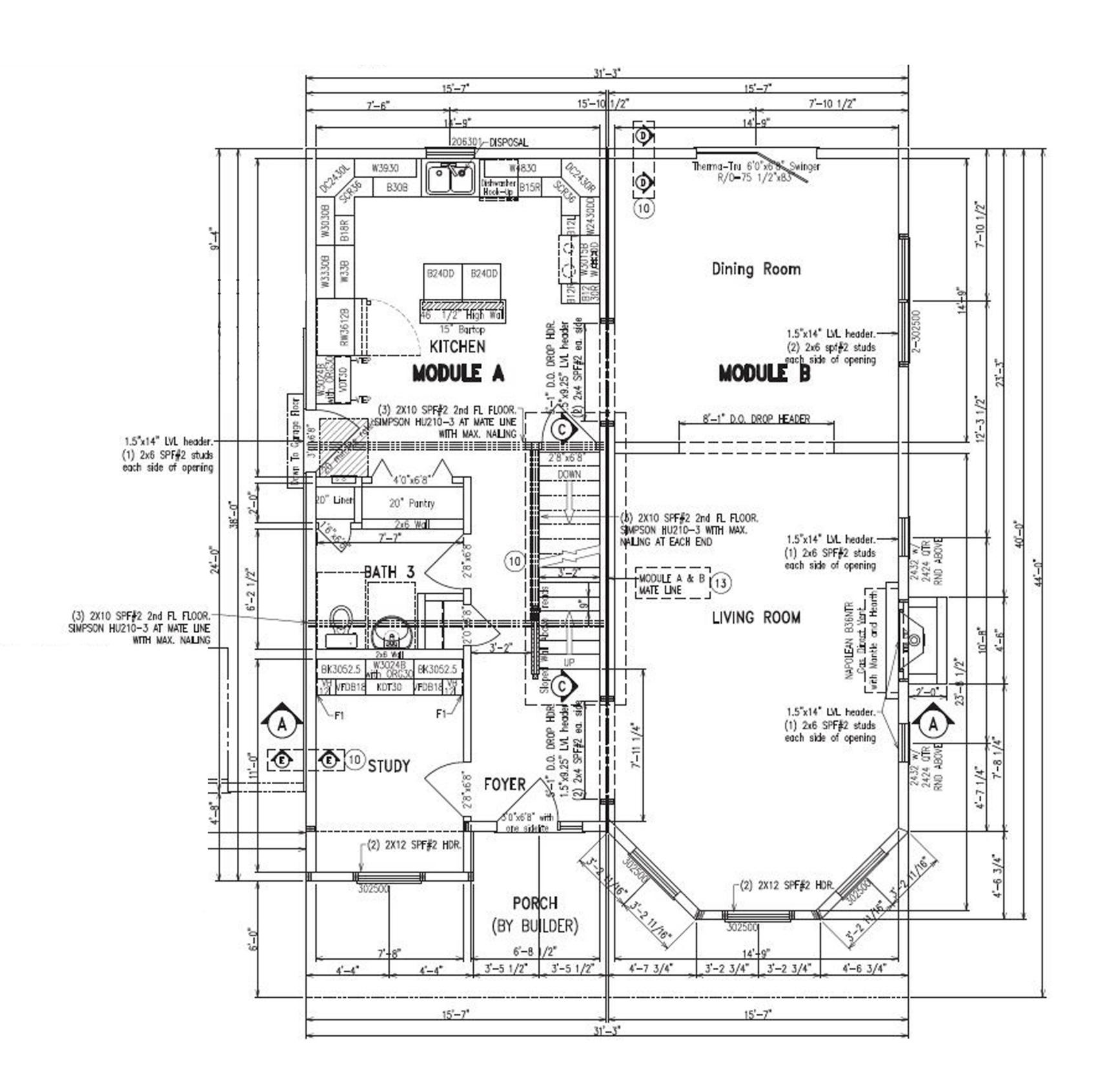
Ward 9: Conwell

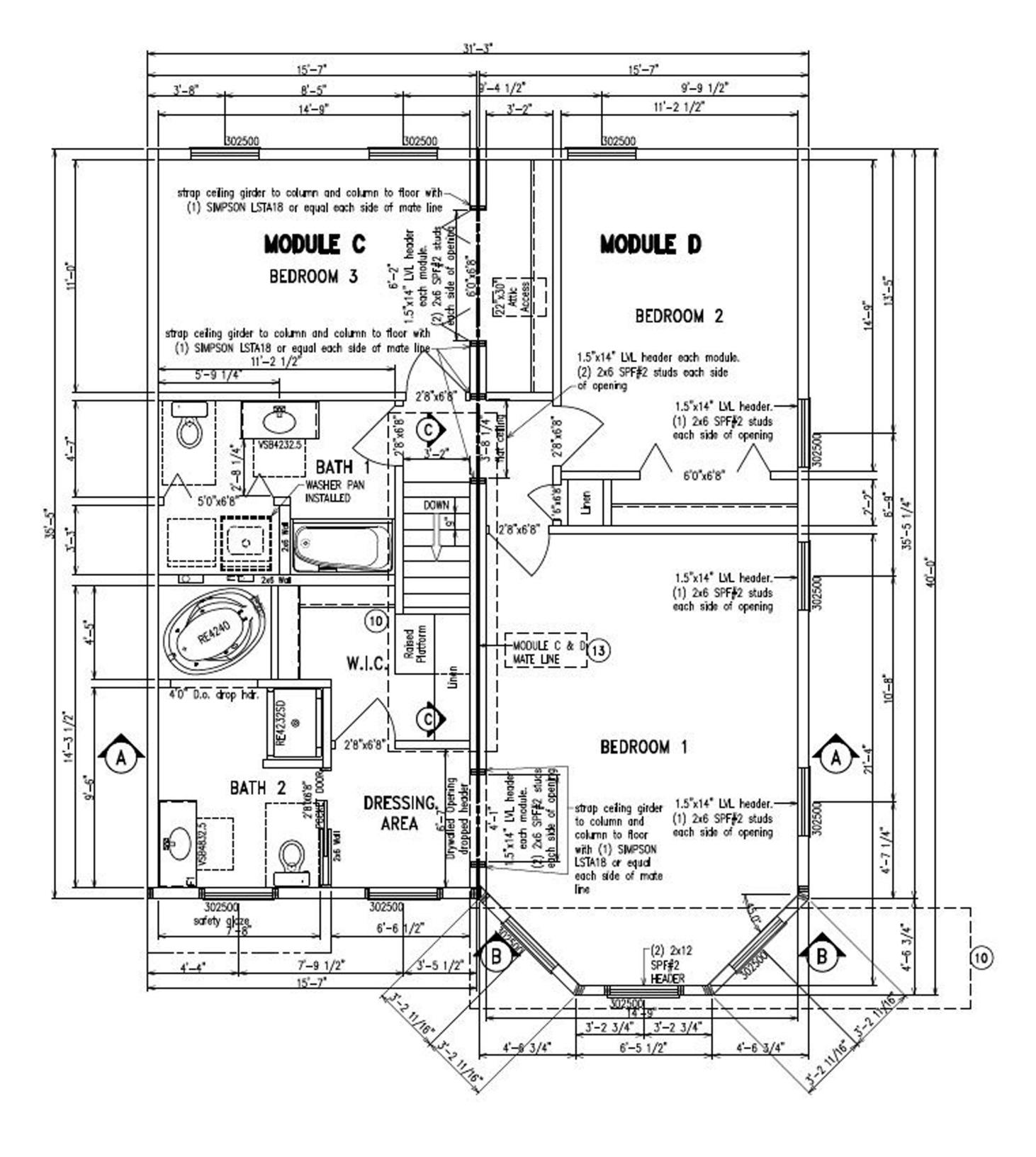
Project Representatives: Gregory Soltis, Andrew D. Smith, John Lloyd, Yu (Caleb) Fei





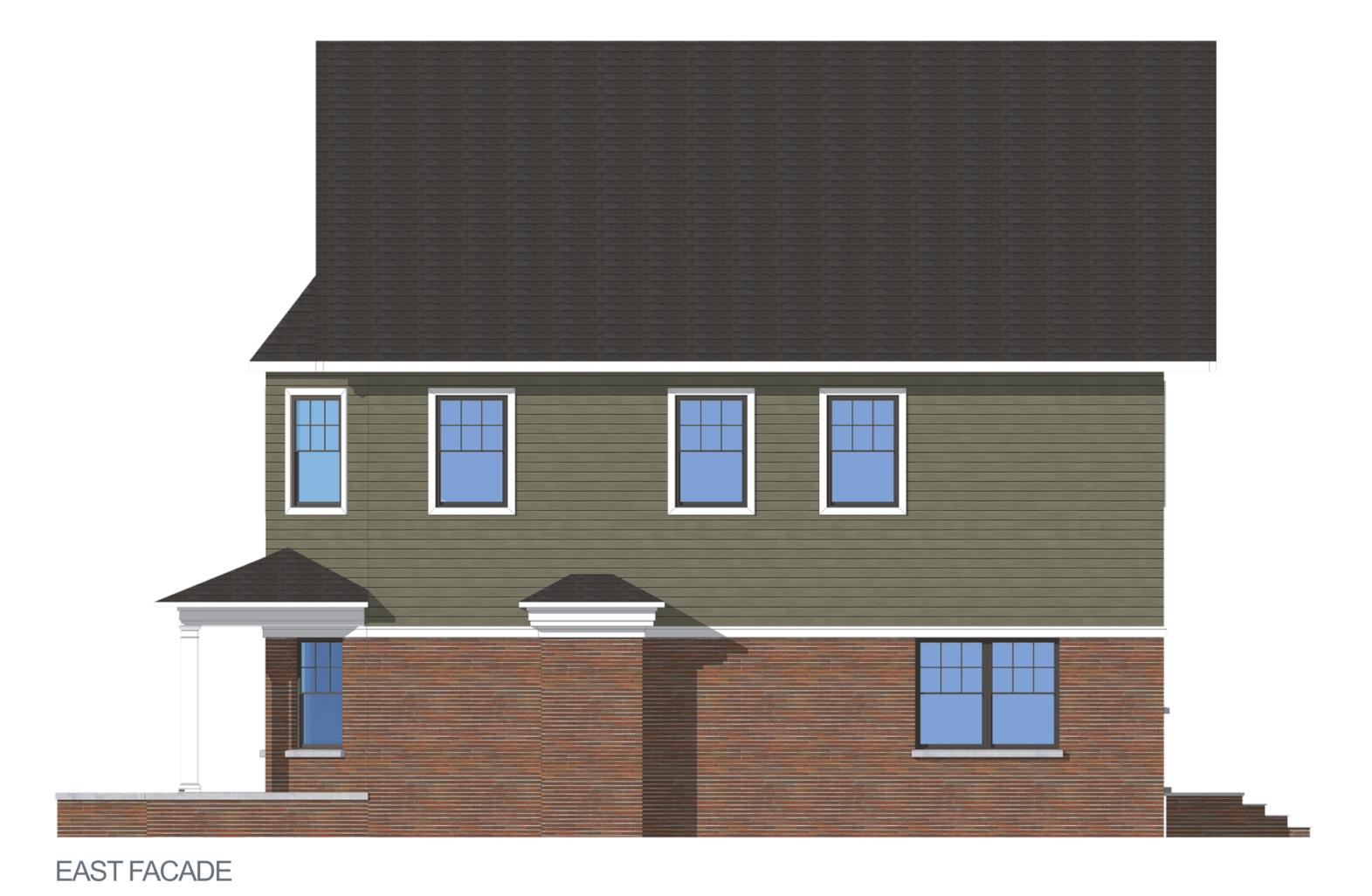






FIRST FLOOR PLAN SECOND FLOOR PLAN





SOUTH FACADE





NORTH FACADE

2021-09-19









ASPHALT SHINGLE DURATION DESIGNER SERIES COLOR - BLACK SABLE



DOOR THERMA-TRU MATERIAL - FIBERGLASS COLOR - CABERNET FCM860



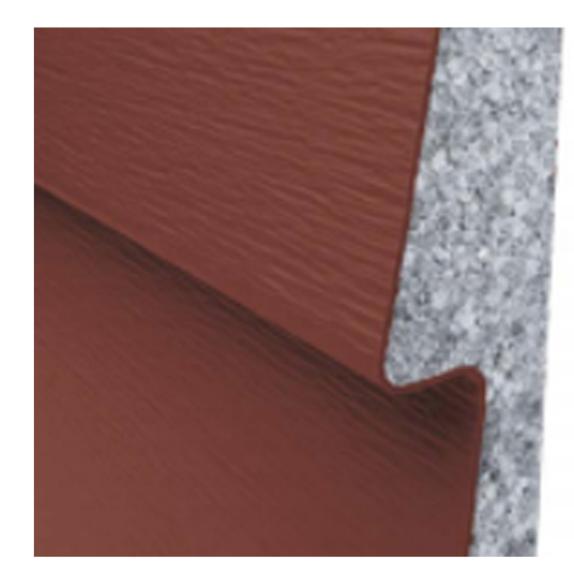
DOUBLE HUNG WINDOWS SIMONTON MATERIAL - VINYL COLOR - GREY



PREMIUM VINYL SIDING CRANE BOARD COLOR - MISTY SHADOW



PREMIUM VINYL SIDING CRANE BOARD COLOR - VINEYARD GROVE



PREMIUM VINYL SIDING CRANE BOARD T6



MASONRY BOWERSTON MATERIAL - ROMAN SIZE BRICK COLOR - SANTA FE W/C

Cleveland Landmarks Commission

Concept Plan



September 23, 2021



Case 20-041: Gordon Square Historic District (Concept Plan and Demolition 8/27/20)

Walz Branch Library + Karam Senior Living 7910-22 Detroit Avenue

New Construction of Senior Housing and Cleveland Public Library Branch

Ward 15: Spencer

Project Representatives: Anya Kulcsar, Brittany Senger, Detroit Shoreway CDO; Sandra Madison, Robert P. Madison International; Ted Ferringer, Aaron Hill, Ben Crabtree, Bialosky Cleveland; John Lang, Cleveland Public Library



WALZ BRANCH LIBRARY + KARAM SENIOR LIVING

PARTNERSHIP OF NORTHWEST NEIGHBORHOODS CDC

& CLEVELAND PUBLIC LIBRARY

CLEVELAND LANDMARKS COMMISSION

Northwest Neighborhoods







PROJECT MISSION

Northwest Neighborhoods



[KARAM SENIOR LIVING]

Northwest Neighborhoods CDC is committed to providing opportunities for all residents to **age gracefully** within the Detroit Shoreway neighborhood.

Karam Senior Living will serve residents making at or below 60% of AMI through the development of a safe, adaptable, service-enriched community hub.

With **Cleveland Public Library** as the anchor, the new energy efficient building will provide spaces for **connection & wraparound programming for residents** of the western Detroit Shoreway, Cudell, and Edgewater neighborhoods.









PROJECT OVERVIEW

Northwest Neighborhoods



[KARAM SENIOR LIVING]

- Senior housing dedicated to those making 30%-60% of AMI
- 51 Apartments (5 studio, 26 1B, 20 2B)
- On-site Laundry & Office
- Community Room & Wellness Center
- Shared Greenspace
- Direct access to branch Library

- New 21st Century library branch
- 24 hour book pick-up/drop-off
- After hours meeting room access
- Maker Space & Study Rooms
- Handicap accessible from Detroit & parking
- Enhanced Visibility
- Shared Greenspace/Outdoor program area
- Interactive Children's Area





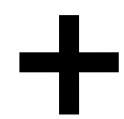






PRIOR DEMOLITION APPROVAL







[DETROIT CHATEAU]

19 UNITS AFFORDABLE HOUSING

Northwest Neighborhoods

[WALZ BRANCH LIBRARY]
9,600 SF BRANCH LIBRARY



PRIOR DEMOLITION APPROVAL

Both structures are no longer serving the community to their highest and best use

Detroit Chateau

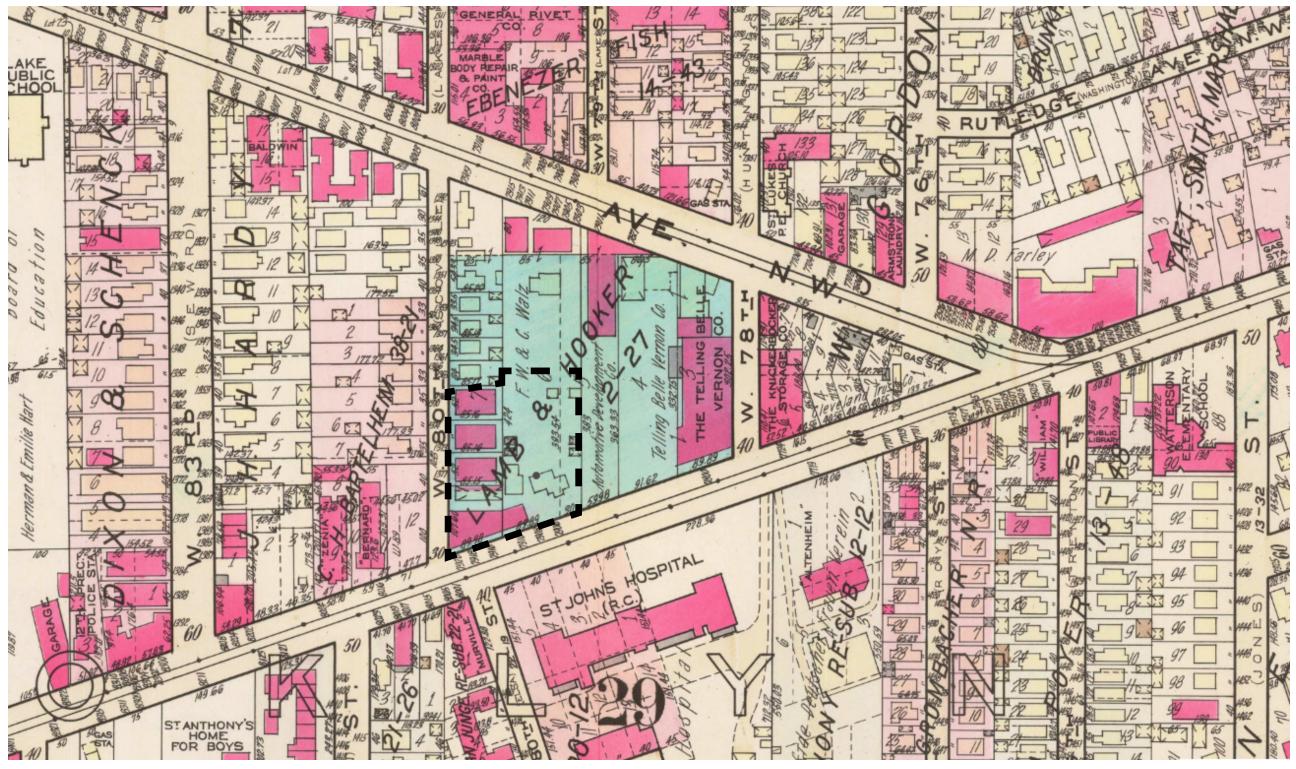
- Struggling asset due to unmarketable unit layout and \$1M in critical capital needs
- Building Demolition would improve the health and safety of residents and the surrounding community

Walz Branch Library

- Significant accessibility issues prevent some residents from being able to participate in programs and services
- Critical capital needs (roof repair, tuckpointing)

Demolition would allow for the development of a new community asset

SANBORN MAP - 1927-1937















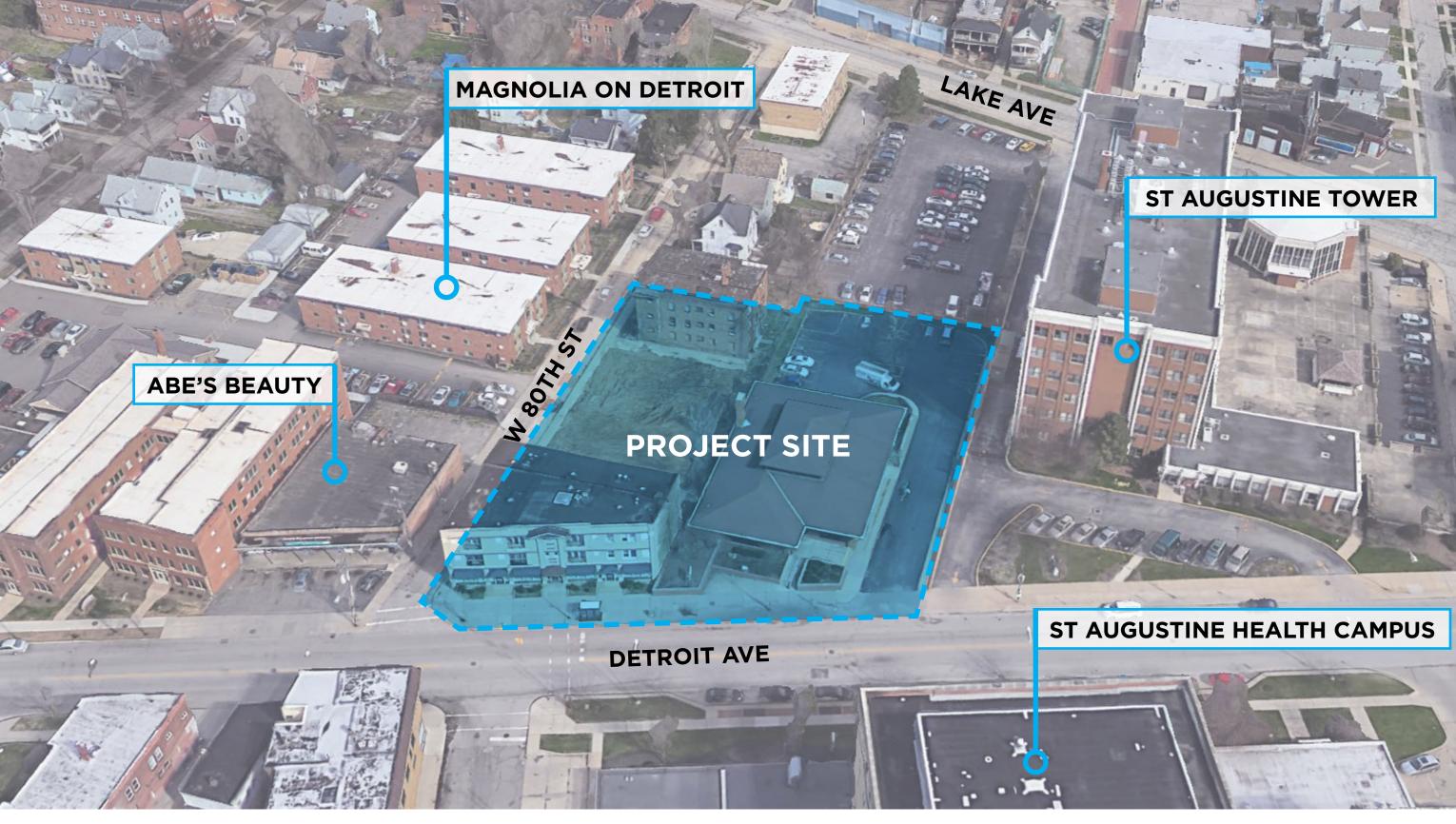












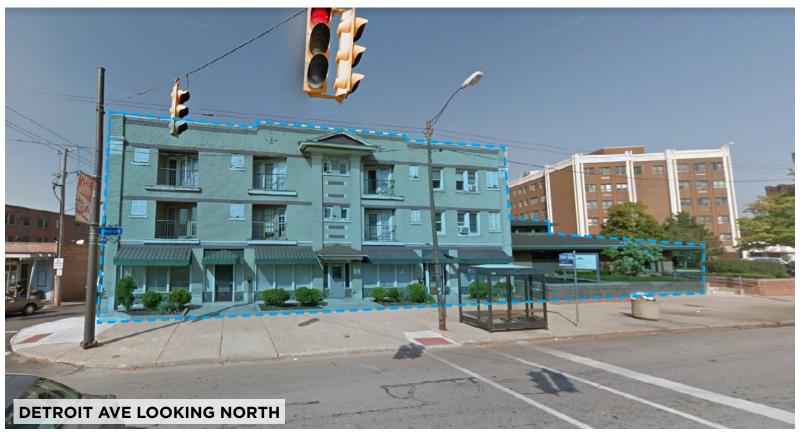


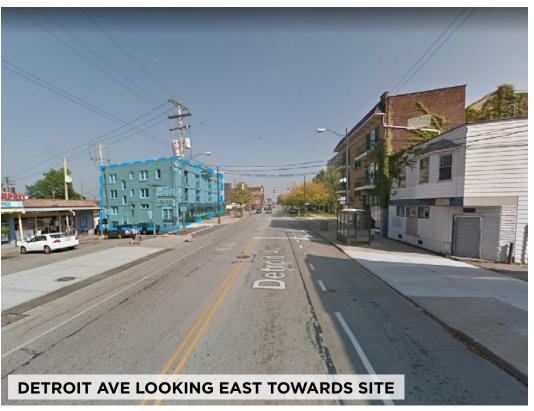


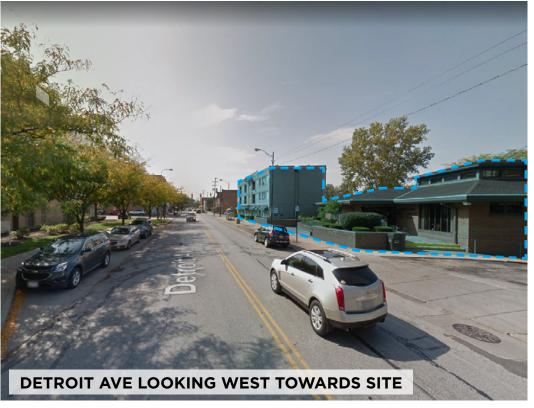


















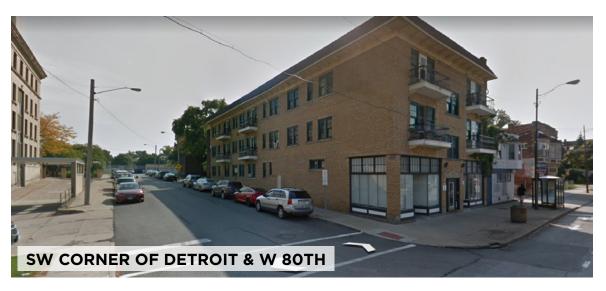


























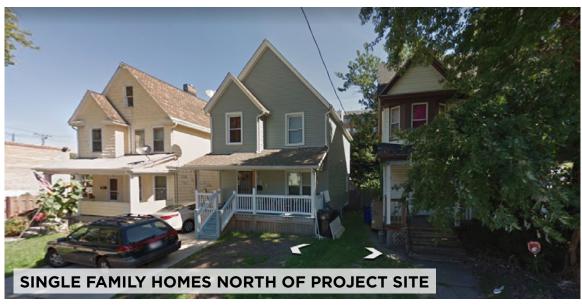




















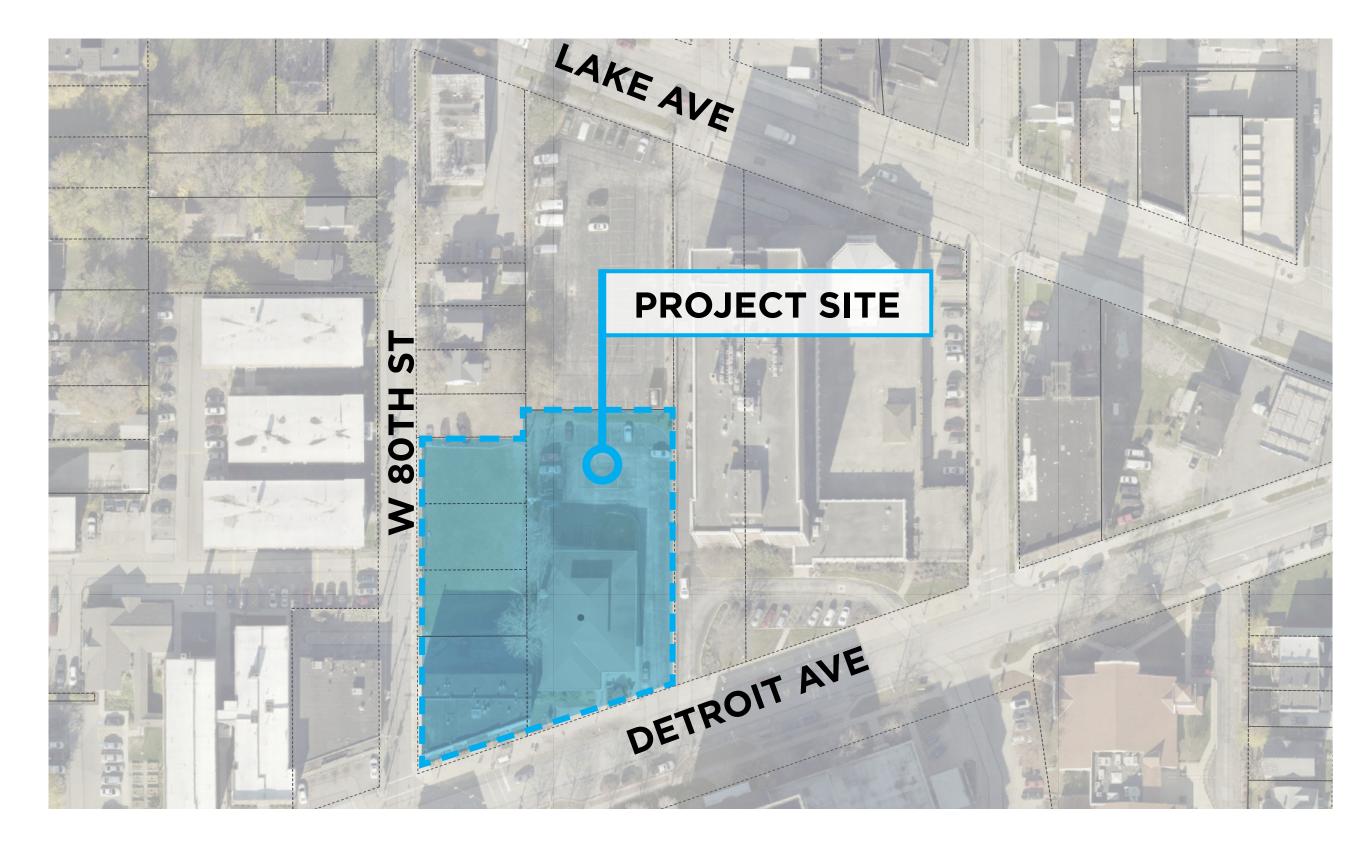


Northwest









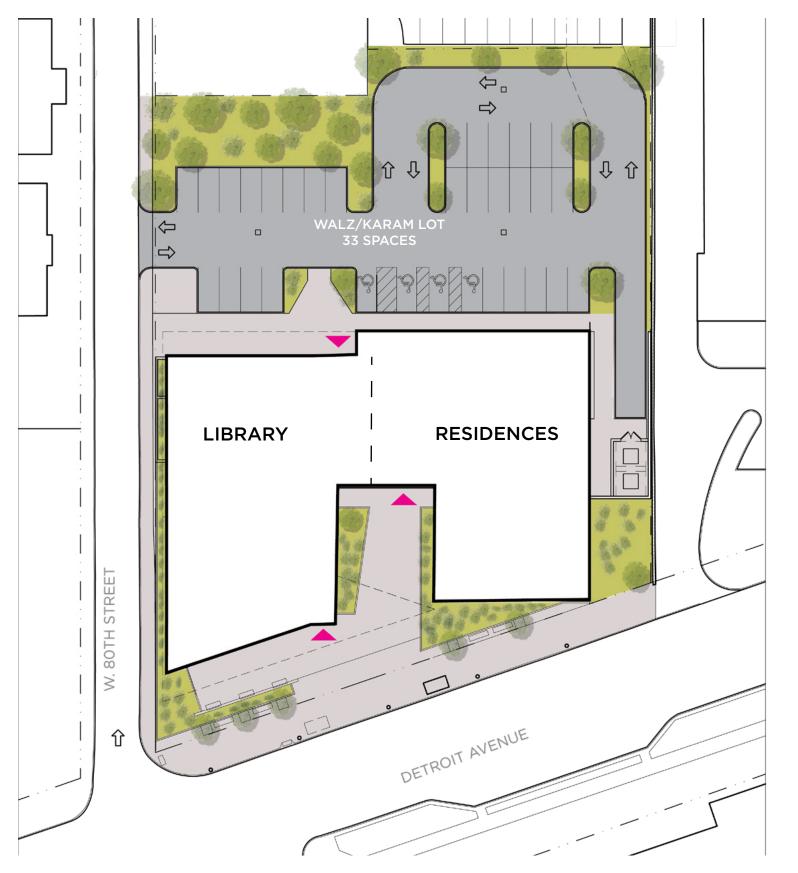














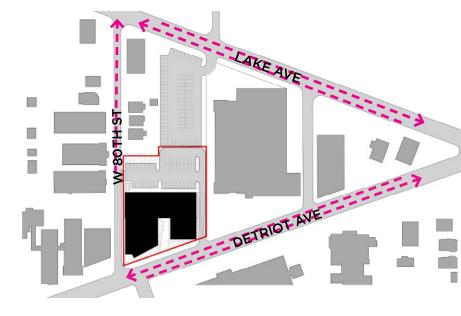
55,000 GSF +/-51 TOTAL UNITS

LIBRARY

10,300 GSF +/-

PARKING

33 TOTAL SPACES



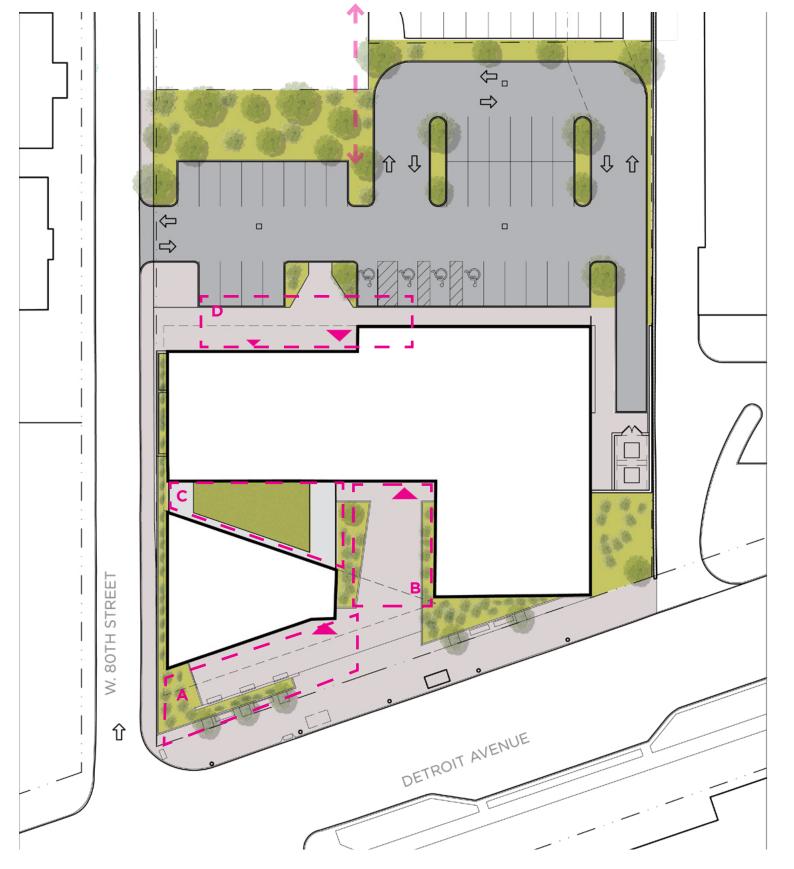




























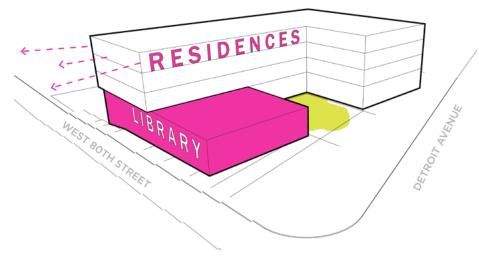




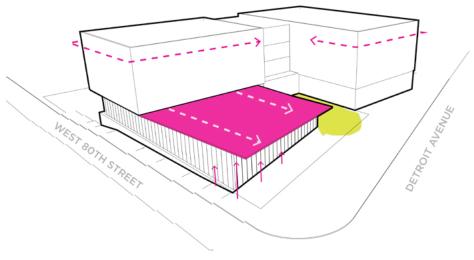




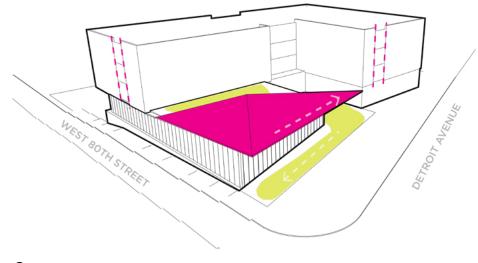




1. ANCHOR + FRAME



2. SLIDE + WRAP



3. STRETCH + CUT









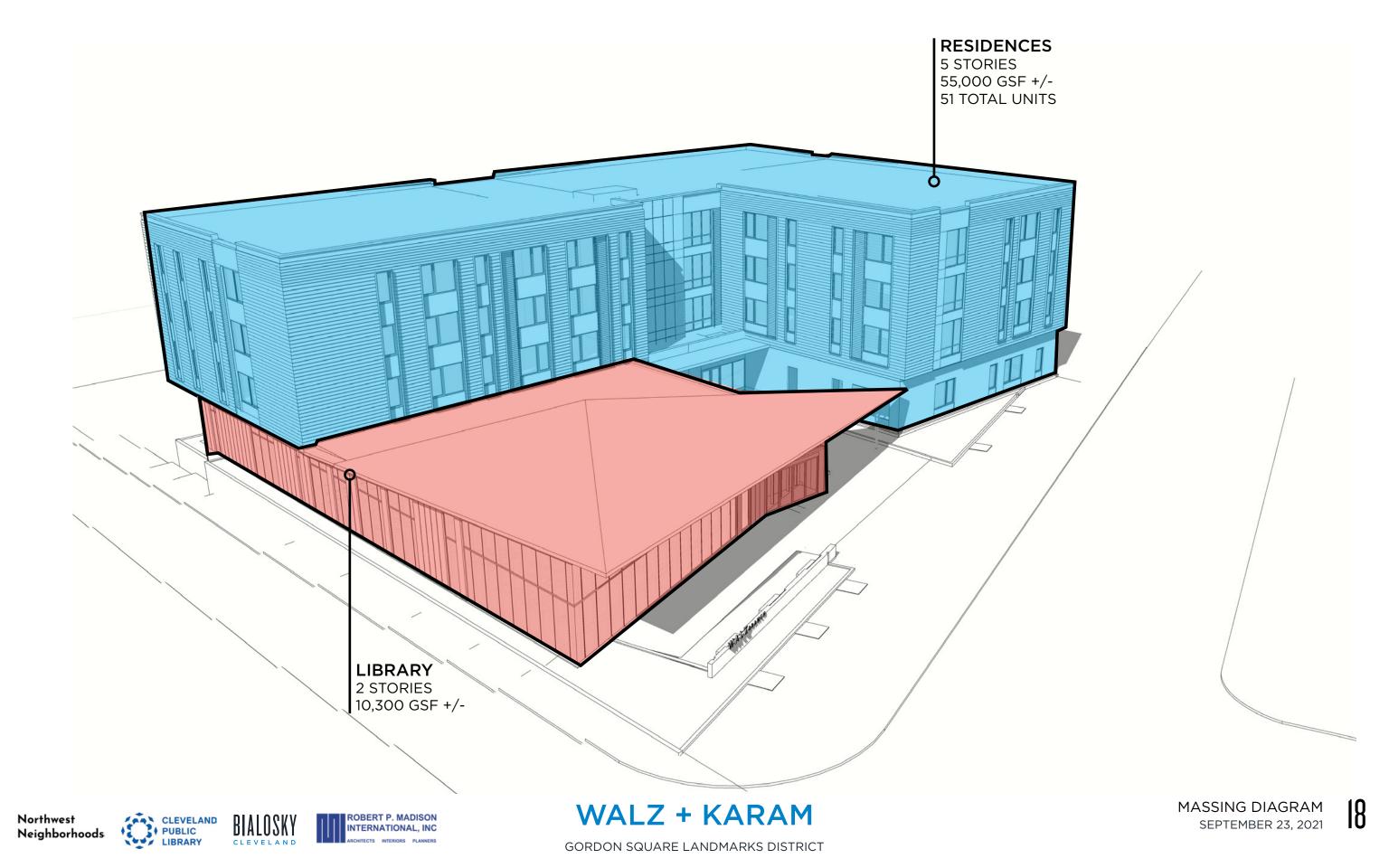








GORDON SQUARE LANDMARKS DISTRICT





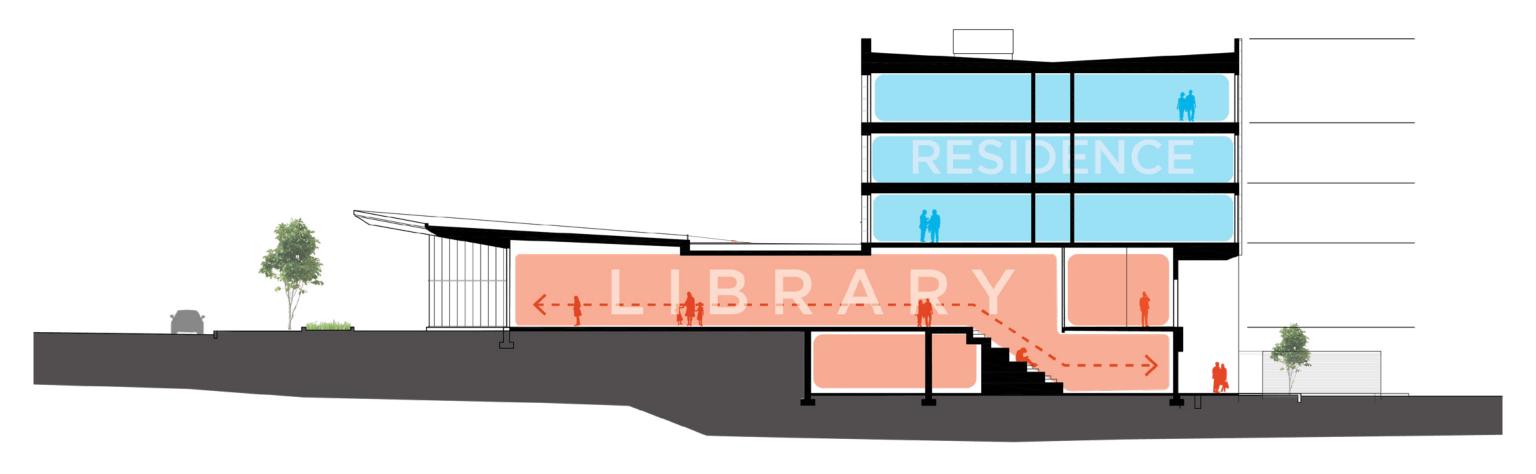












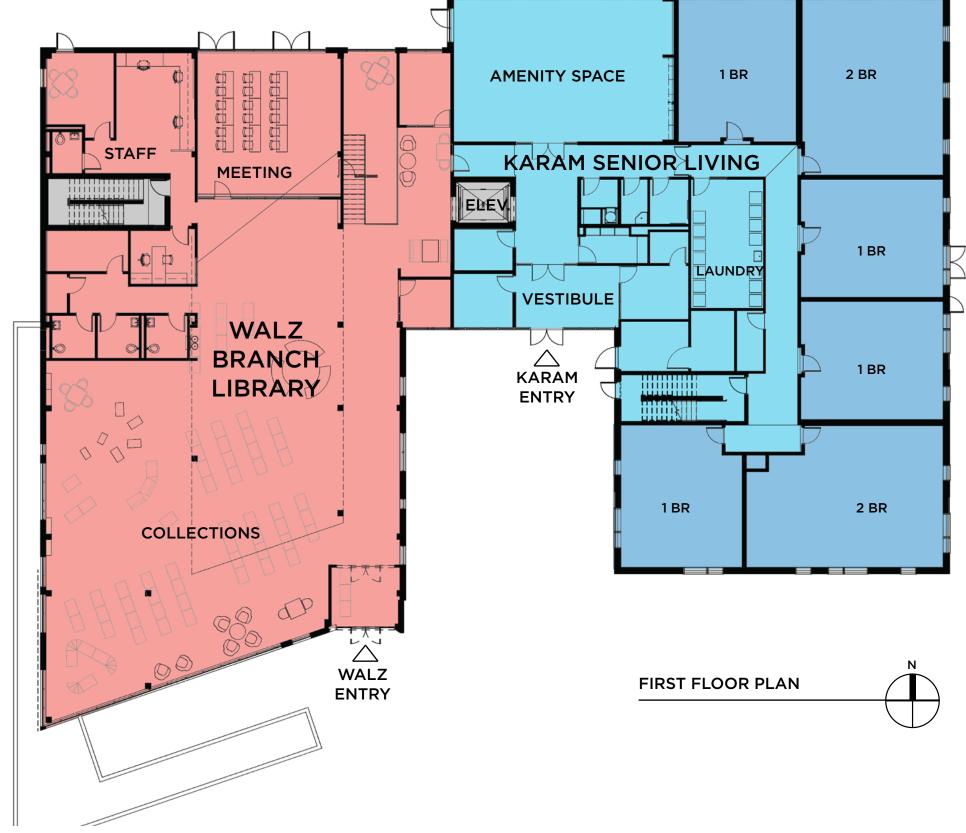


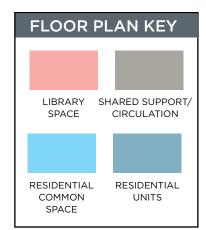










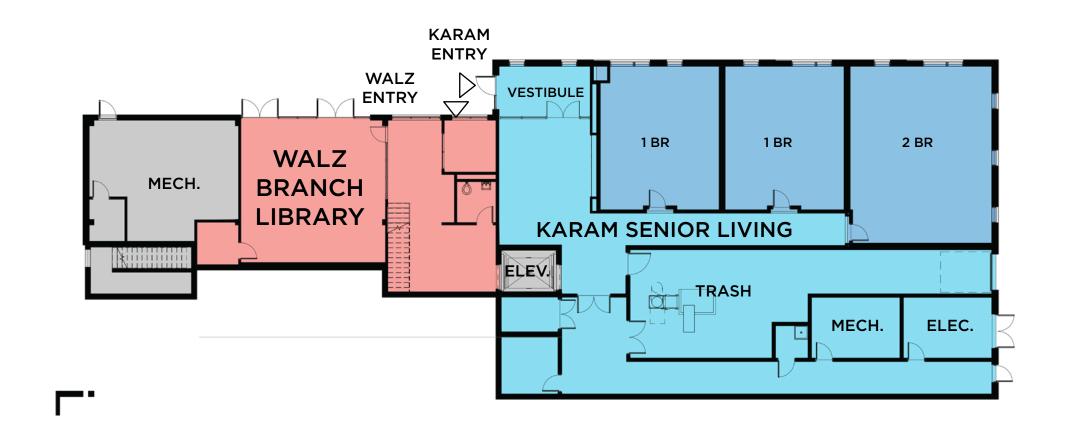


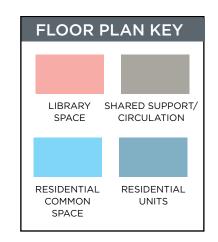


















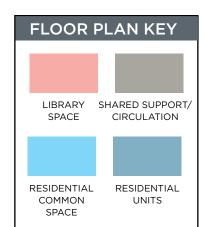














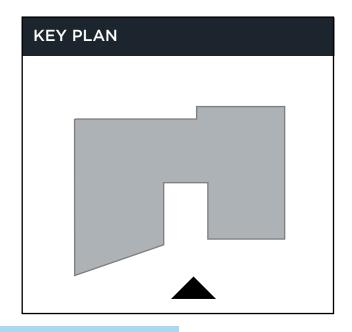








MATERIAL LEGEND					
(A)	PREFIN. FIBER CEMENT SIDING; 8" EXPOSURE		EXTERIOR BUILDING SIGNAGE		
B	PREFIN. FIBER CEMENT SIDING; 4" EXPOSURE	M	PAINTED HOLLOW METAL DOOR		
©	PREFIN. FIBER CEMENT PANEL	(2)	OVERHEAD DOOR SYSTEM		
(D)	PRE FIN. COMPOSITE ALUM PANEL	(PREFIN. ALUM. STOREFRONT ENTRY DOOR		
(E)	PREFIN. ALUMINUM COPING & TRIM	Q	COMPOSITE PHENOLIC PANEL		
(E)	VINYL WINDOW SYSTEM (RESIDENTIAL)	R	PREFIN. ALUM. GUARDRAIL		
(G)	prefin. Alum. Storefront Glazing	S	CAST STONE COPING		
\oplus	FACE BRICK; "MONARCH" SIZE (4x4x16 NOM)	\bigcirc	PREFIN. ALUM. CURTAINWALL GLAZING		
<u>(J)</u>	MECHANICAL LOUVER	\Diamond	AUTOMATIC SLIDING DOORS		
(K)	STANDING SEAM METAL ROOF	\Diamond	PREFINISHED ALUM. WRAPPED FLANGE		





DETROIT AVE
SOUTH ELEVATION



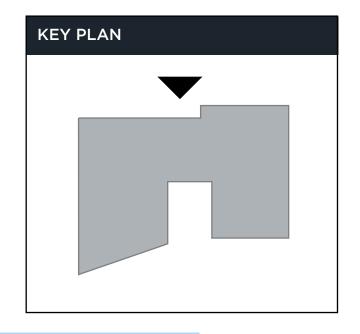








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B	PREFIN. FIBER CEMENT SIDING; 4" EXPOSURE	M	PAINTED HOLLOW METAL DOOR		
©	PREFIN. FIBER CEMENT PANEL	(2)	OVERHEAD DOOR SYSTEM		
(D)	PRE FIN. COMPOSITE ALUM PANEL	P	PREFIN. ALUM. STOREFRONT ENTRY DOOR		
E	PREFIN. ALUMINUM COPING & TRIM	Q	COMPOSITE PHENOLIC PANEL		
(E)	VINYL WINDOW SYSTEM (RESIDENTIAL)	R	PREFIN. ALUM. GUARDRAIL		
(G)	PREFIN. ALUM. STOREFRONT GLAZING	S	CAST STONE COPING		
\oplus	FACE BRICK; "MONARCH" SIZE (4x4x16 NOM)	\bigcirc	PREFIN. ALUM. CURTAINWALL GLAZING		
<u>(J)</u>	MECHANICAL LOUVER	\Diamond	AUTOMATIC SLIDING DOORS		
(K)	STANDING SEAM METAL ROOF	\Diamond	PREFINISHED ALUM. WRAPPED FLANGE		





NORTH ELEVATION



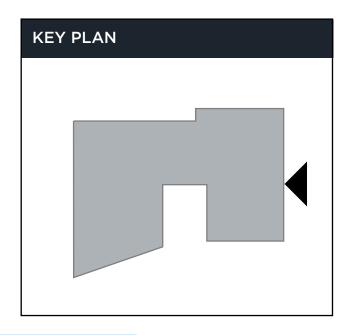








MATERIAL LEGEND					
(A)	PREFIN. FIBER CEMENT SIDING; 8" EXPOSURE		EXTERIOR BUILDING SIGNAGE		
₿	PREFIN. FIBER CEMENT SIDING; 4" EXPOSURE	M	PAINTED HOLLOW METAL DOOR		
(C)	PREFIN. FIBER CEMENT PANEL	$\langle S \rangle$	OVERHEAD DOOR SYSTEM		
(D)	PRE FIN. COMPOSITE ALUM PANEL	(PREFIN. ALUM. STOREFRONT ENTRY DOOR		
(E)	PREFIN. ALUMINUM COPING & TRIM	Ø	COMPOSITE PHENOLIC PANEL		
(F)	VINYL WINDOW SYSTEM (RESIDENTIAL)	R	PREFIN. ALUM. GUARDRAIL		
(G)	PREFIN. ALUM. STOREFRONT GLAZING	S	CAST STONE COPING		
\oplus	FACE BRICK; "MONARCH" SIZE (4x4x16 NOM)	\bigcirc	PREFIN. ALUM. CURTAINWALL GLAZING		
<u>(J)</u>	MECHANICAL LOUVER	\Diamond	AUTOMATIC SLIDING DOORS		
(K)	STANDING SEAM METAL ROOF	\Diamond	PREFINISHED ALUM. WRAPPED FLANGE		





EAST ELEVATION



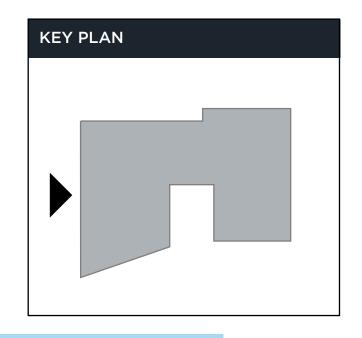








MATERIAL LEGEND					
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B	PREFIN. FIBER CEMENT SIDING; 4" EXPOSURE	M	PAINTED HOLLOW METAL DOOR		
©	PREFIN. FIBER CEMENT PANEL	(2)	OVERHEAD DOOR SYSTEM		
(D)	PRE FIN. COMPOSITE ALUM PANEL	P	PREFIN. ALUM. STOREFRONT ENTRY DOOR		
(E)	PREFIN. ALUMINUM COPING & TRIM	Q	COMPOSITE PHENOLIC PANEL		
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(K)	STANDING SEAM METAL ROOF	\Diamond	PREFINISHED ALUM. WRAPPED FLANGE		









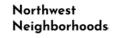






ENVELOPE MATERIALS





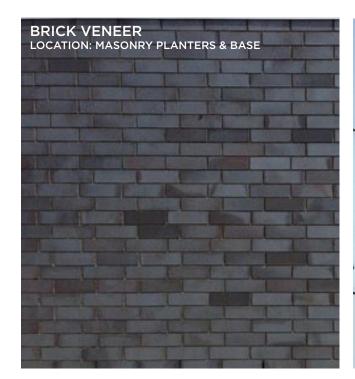






PRIMARY FACADE MATERIALS

PRIMARY MATERIALS







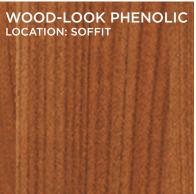


ACCENT MATERIALS

















September 23, 2021



Case 21-078: Shaker Square Historic District

Southington Manor Phase 2 3132-60 East 135th Street

New Construction of Townhouses

Ward 4: Gardner

Project Representatives: Charles Ficklin, Kenneth Lurie, Felicia Webster; H. David Howe, Architect





Southington Manor

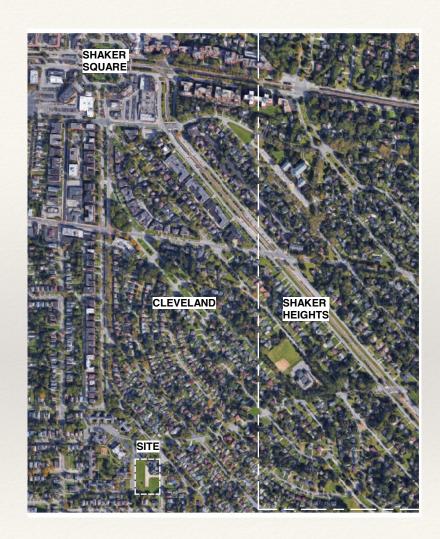
Phase II

SOUTHINGTON MANOR - Phase II

The Southington Manor townhome development was created with the intent to bring modern townhomes with a cosmopolitan feel to a neighborhood with a nationally known history of friendly diversity. Sitting on the very edge of the Ludlow neighborhood, Southington Manor brings both a modern aesthetic within a familiarly classic townhome community to a neighborhood which has experienced decline. Through fresh market-rate home ownership, it has the ability to positively impact both the Mount Pleasant and Shaker / Buckeye neighborhoods by contributing to their neighborhood redevelopment goals. The Mount Pleasant neighborhood, which is also bordered by Southington Manor, will also benefit from this development. The Mount Pleasant Neighborhood Revitalization Strategy includes a focus on infill development as an instrument towards the success of the rejuvenation of its neighborhood. The Southington Manor development was a project which always had great potential for success, but was unfortunately impacted by the national real estate crisis of 2008 as many other developments were. The original developers initially built and sold phase I, five of the twenty townhomes, but were forced to shut down due to the real estate crisis. With new developer ownership, Southington Manor Phase I (the remaining fifteen units) will be completed. The units will range from 1200sqft - 1800sqft.

Southington Manor

Southington Manor's location is within walking distance of Shaker Square and borders Shaker Heights. Southington Manor also borders the Ludlow neighborhood and sits within the boundary of the Shaker Height School system.



Southington Manor

This is an image of the site at present. Infrastructure was added to the site during previous ownership when the older structure was developed.









HOUSE ACROSS THE STREET



HOUSES DOWN THE STREET

CONTEXT PHOTOS



APARTMENTS DOWN THE STREET



APARTMENTS DOWN THE STREET



CONDOS ON SITE



STREET VIEW - EXISTING SITE

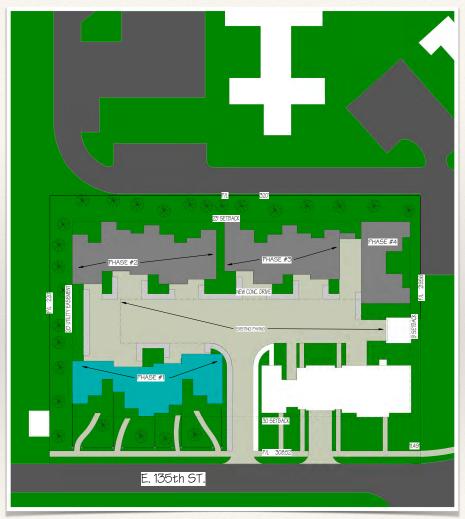
23' SETBACK PHASÉ # 4 PHASE #3 PHASE #2 PHASE #1 E. 135th ST.

N EXISTING CONDITIONS PLAN
1/16" = 1'-0"



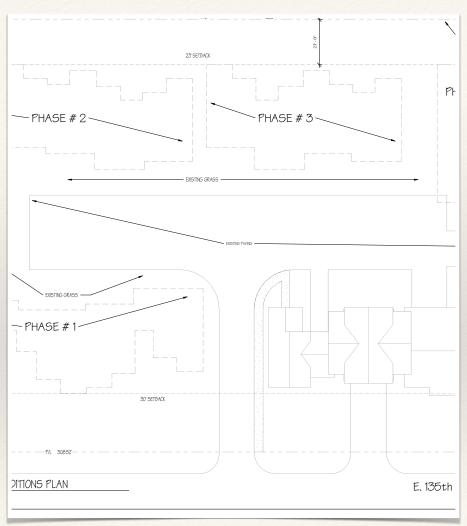
Southington Manor

Phase I will be located on the other side of the entrance at E135th St. There are four units in building 1 of Phase II.



Southington Manor

Part of the Site Plan showing the view of existing conditions.



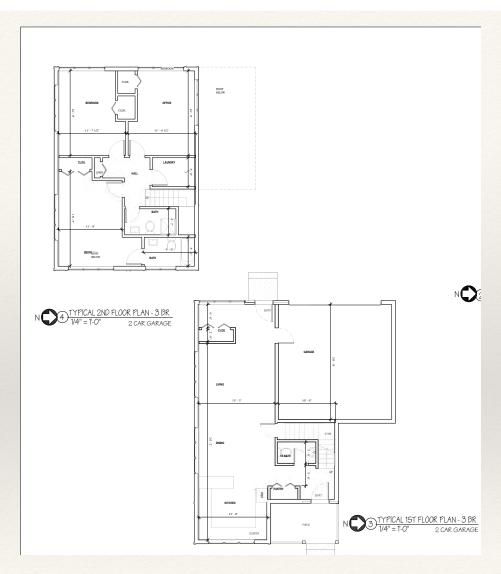
Southington Manor

Part of the site plan showing the four buildings of Southington Manor which will have the new design.



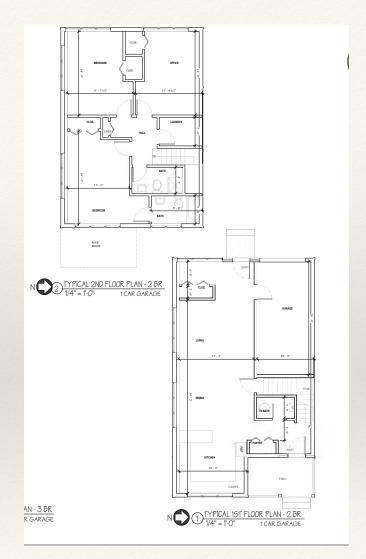
Southington Manor

This is the typical 1st floor and 2nd floor plans for the 3 bedroom units with a 2-car garage. There may be some variation among these units.



Southington Manor

This is the typical 1st floor and 2nd floor plans for the 2 bedroom units with a 1-car garage. There may be some variation among these units.



Southington Manor

East and west elevations.



Southington Manor

Perspective views of building 1 (Southeast & Northwest)



(3) PERSPECTIVE VIEW - BUILDING #1 SE



PERSPECTIVE VIEW - BUILDING #1 NW

Southington Manor

Perspective views of building 1 (Northeast & Southwest).



PERSPECTIVE VIEW - BUILDING #1 NE



PERSPECTIVE VIEW - BUILDING #1 SW

SOUTHINGTON MANOR - PHASE 2

NEW BUILDING #3 4 UNITS NEW BUILDING #4 2 UNITS



NEW BUILDING #2 5 UNITS

ASPHALT SHINGLES - GREY





WINDOWS - BROWN VINYL



BRICK - GLEN GARY - WIRECUT RED



HARDIE BOARD - CEMENTITOUS SIDING PAINT - SHERWIN WILLIAMS SW2354 - CEYLON CREAM



GARAGE DOORS PAINT - SHERWIN WILLIAMS SW6440 - COURTYARD

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WINDOWS - BROWN VIN

WIRECUT RED Modular

Lawrenceville

BRICK



Landmark Nomination



September 23, 2021



NOTHING SCHEDULED TODAY

Section 106 Environmental Review



September 23, 2021



NOTHING SCHEDULED TODAY

Meeting Minute Approvals



September 23, 2021



NOTHING SCHEDULED TODAY

Administrative Reports



Adjournment



