



Cleveland Landmarks Commission

Thursday August 12, 2021

****PLEASE MUTE YOUR MICROPHONE****

Giancarlo Calicchia, Commission Chair

Donald Petit, Secretary

Cleveland Landmarks Commission

Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

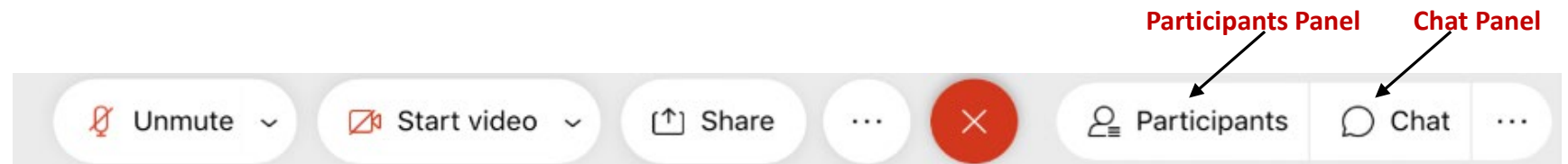
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING *6



August 12, 2021

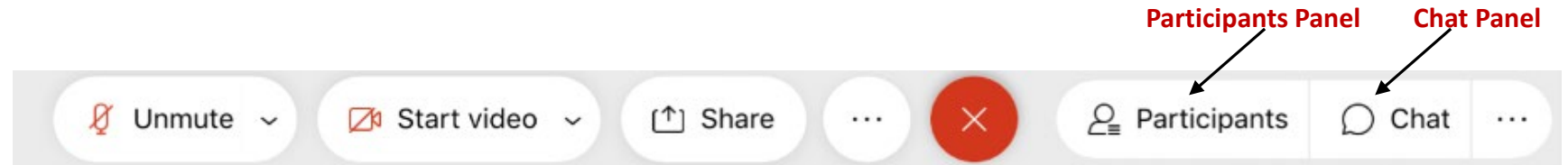
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



August 12, 2021

Cleveland Landmarks Commission

Call to Order & Roll Call



August 12, 2021

Cleveland Landmarks Commission

Public Hearing



August 12, 2021

August 12, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Public Hearing Action



August 12, 2021

August 12, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Certificates of Appropriateness



August 12, 2021



Case 21-055: Ohio City Historic District (Concept Plan 7/8/2021)

Martin Residence 3811 Clinton Avenue

New Construction

Ward 3: McCormack

Project Representative: Anthony Kucia, Contractor; Jason Rohal, Architect; Gary and Erin Martin, Owners



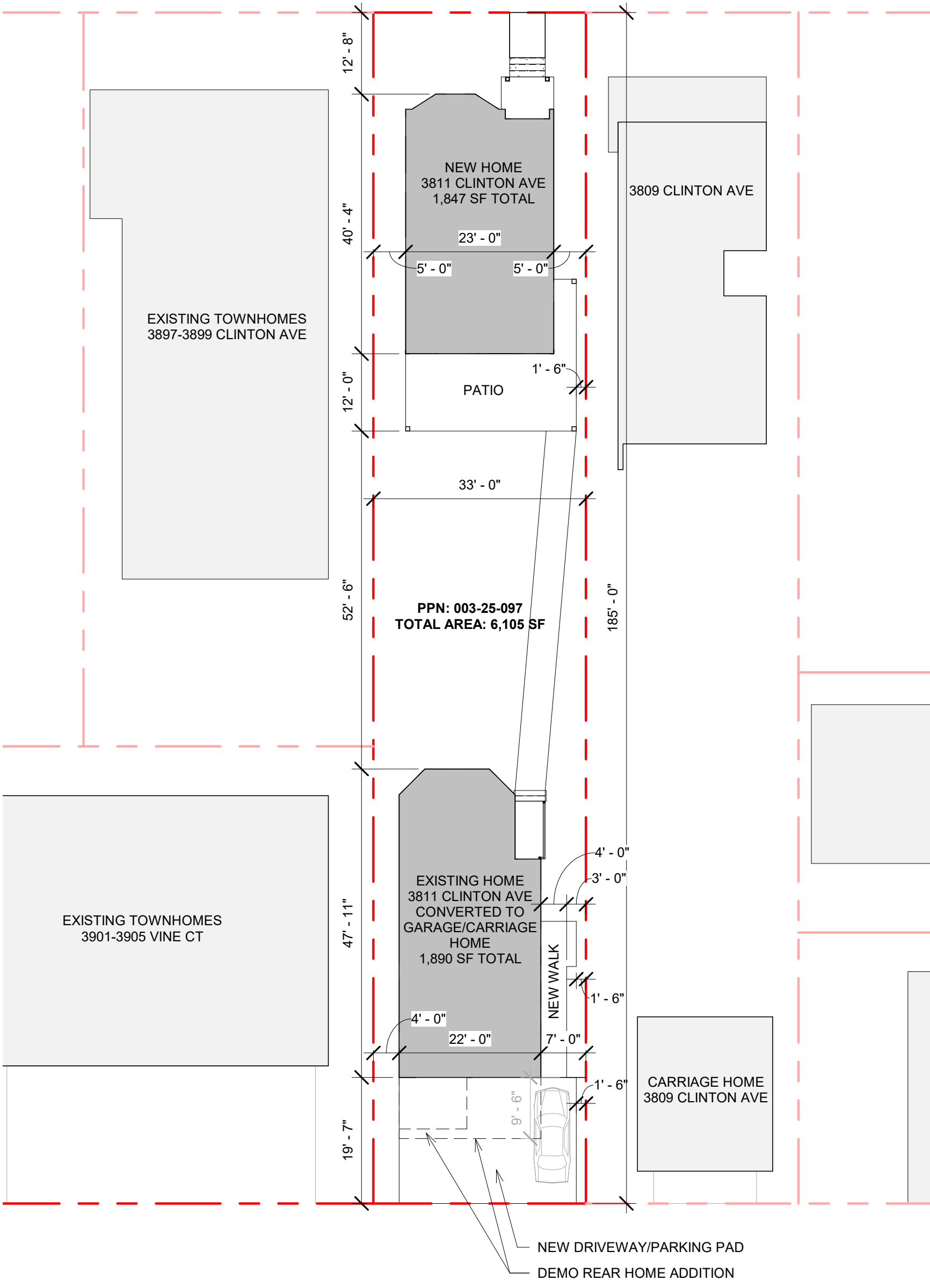
Case 21-062: Ohio City Historic District (Concept Plan 7/8/2021)

Martin Residence 3811 Clinton Avenue (Rear)

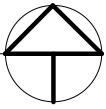
Renovation

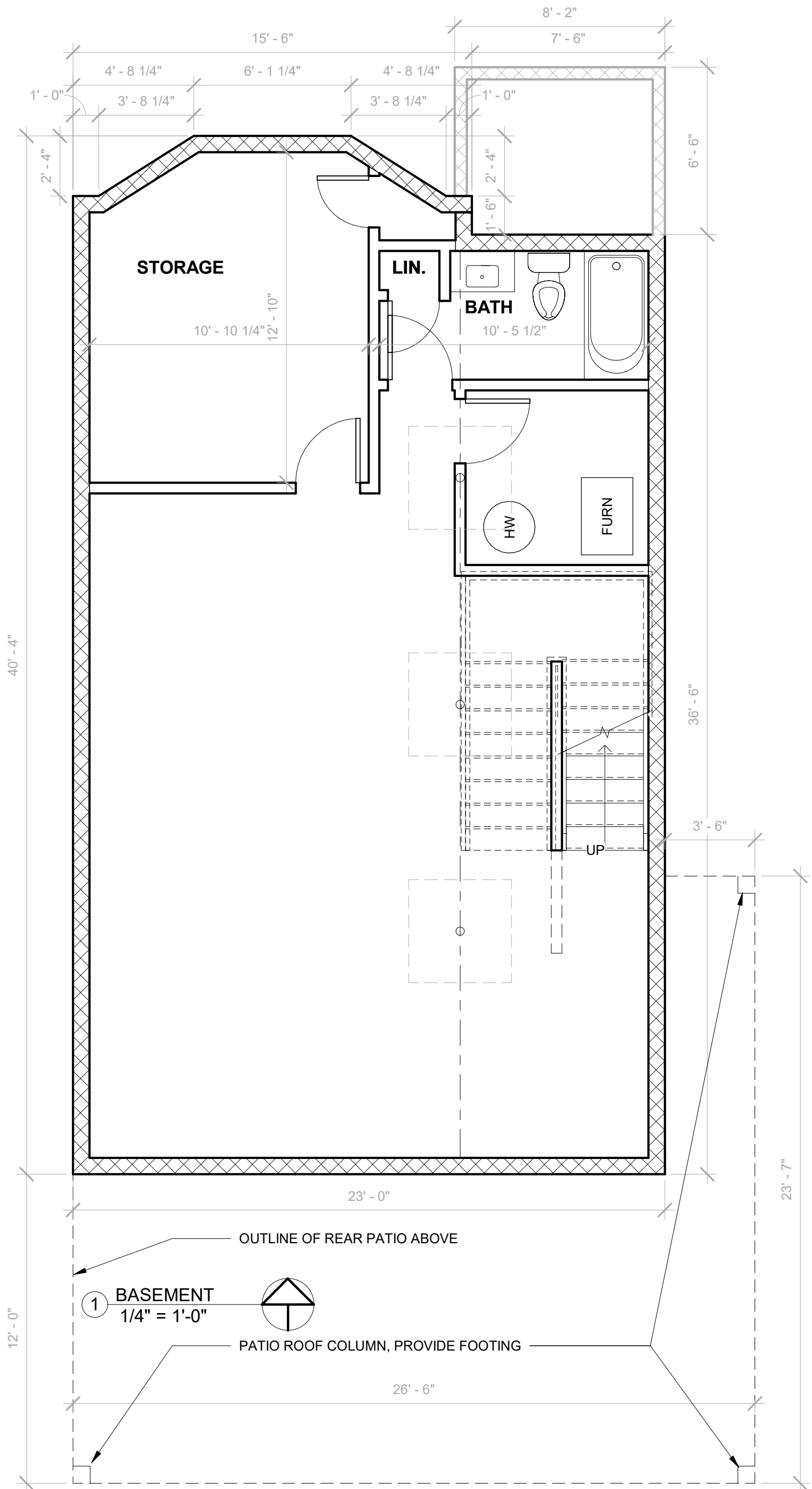
Ward 3: McCormack

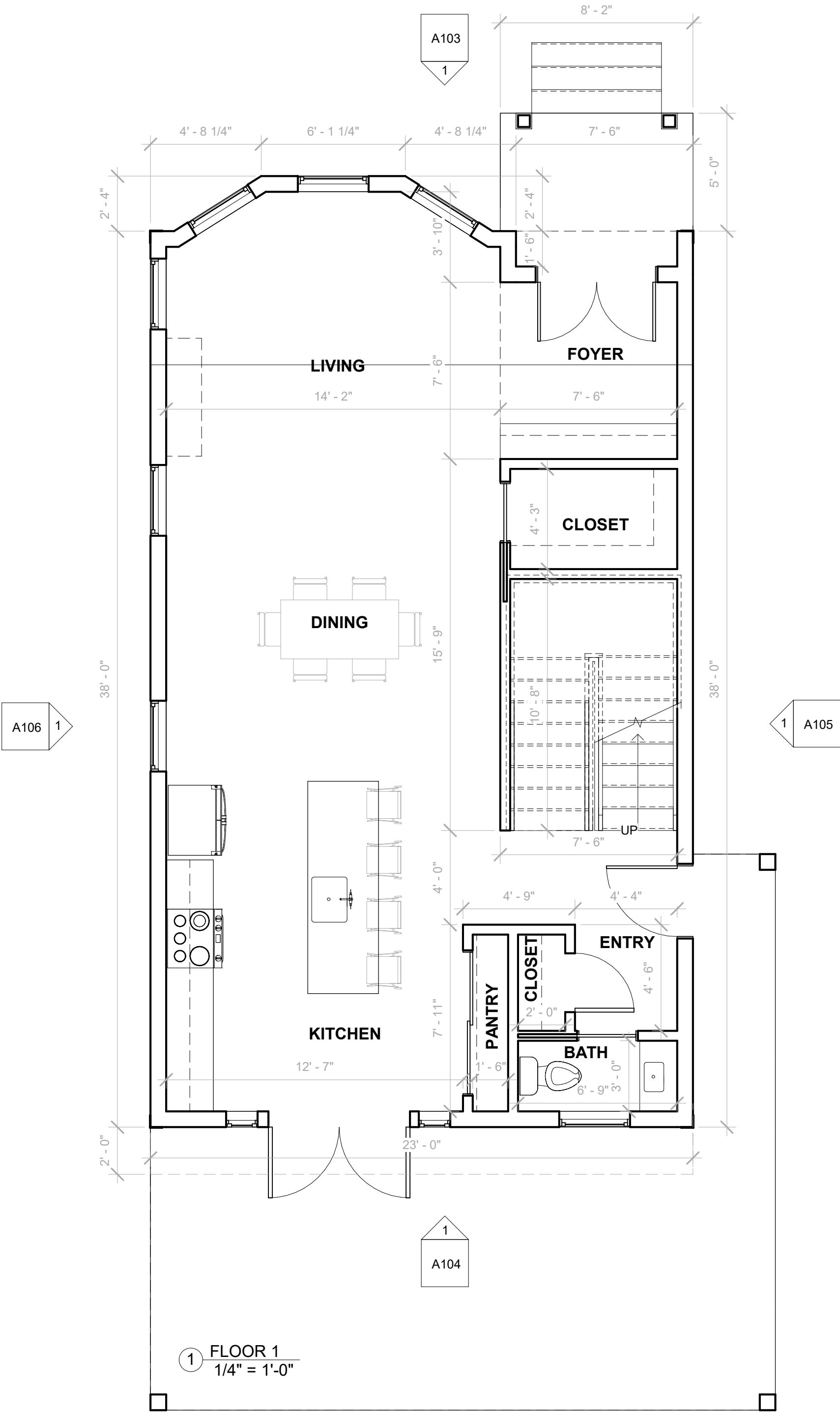
Project Representative: Jason Rohal, Architect; Anthony Kucia, Contractor; Gary and Erin Martin, Owners

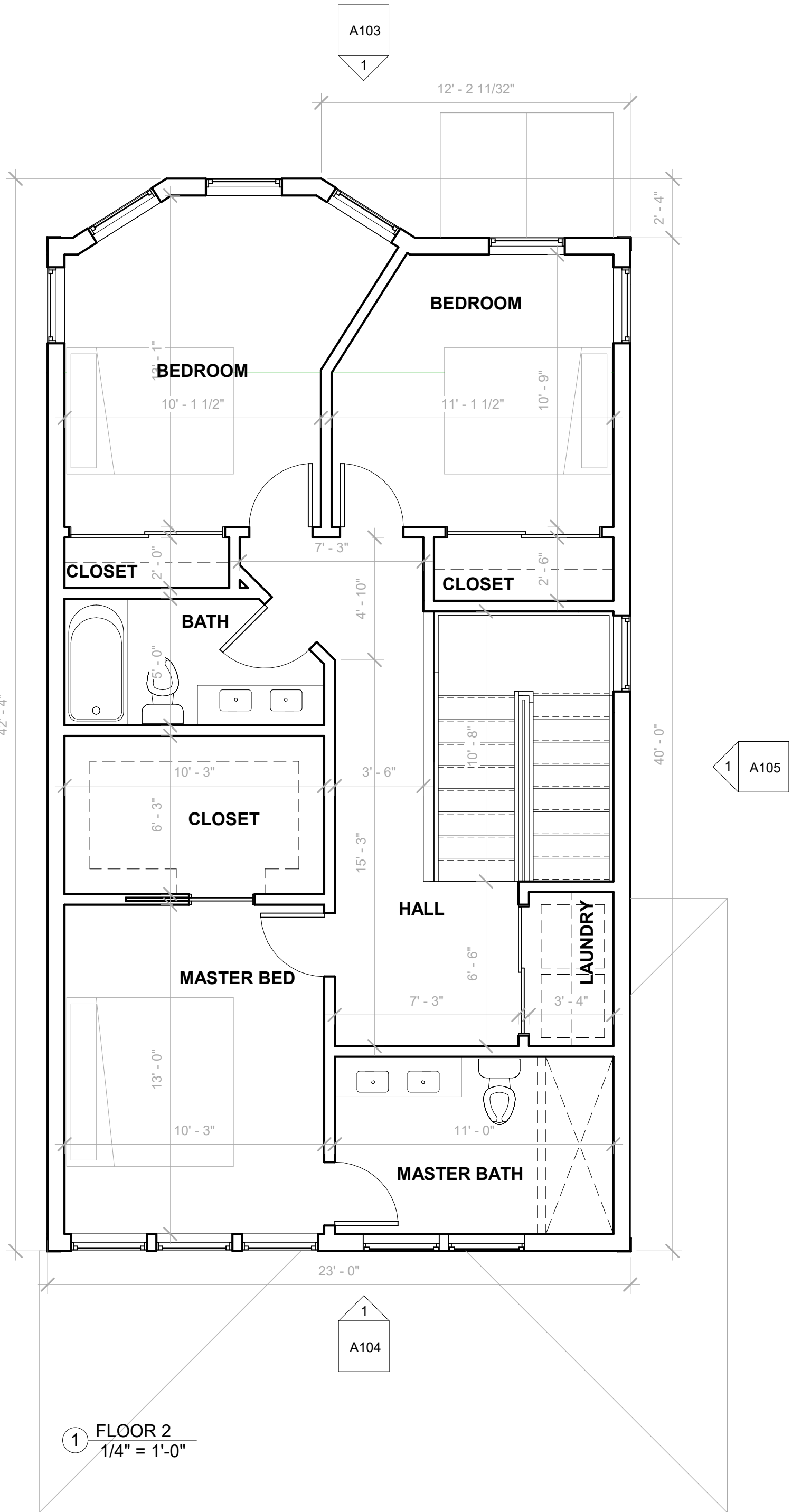


1 SITE PLAN
1/16" = 1'-0"







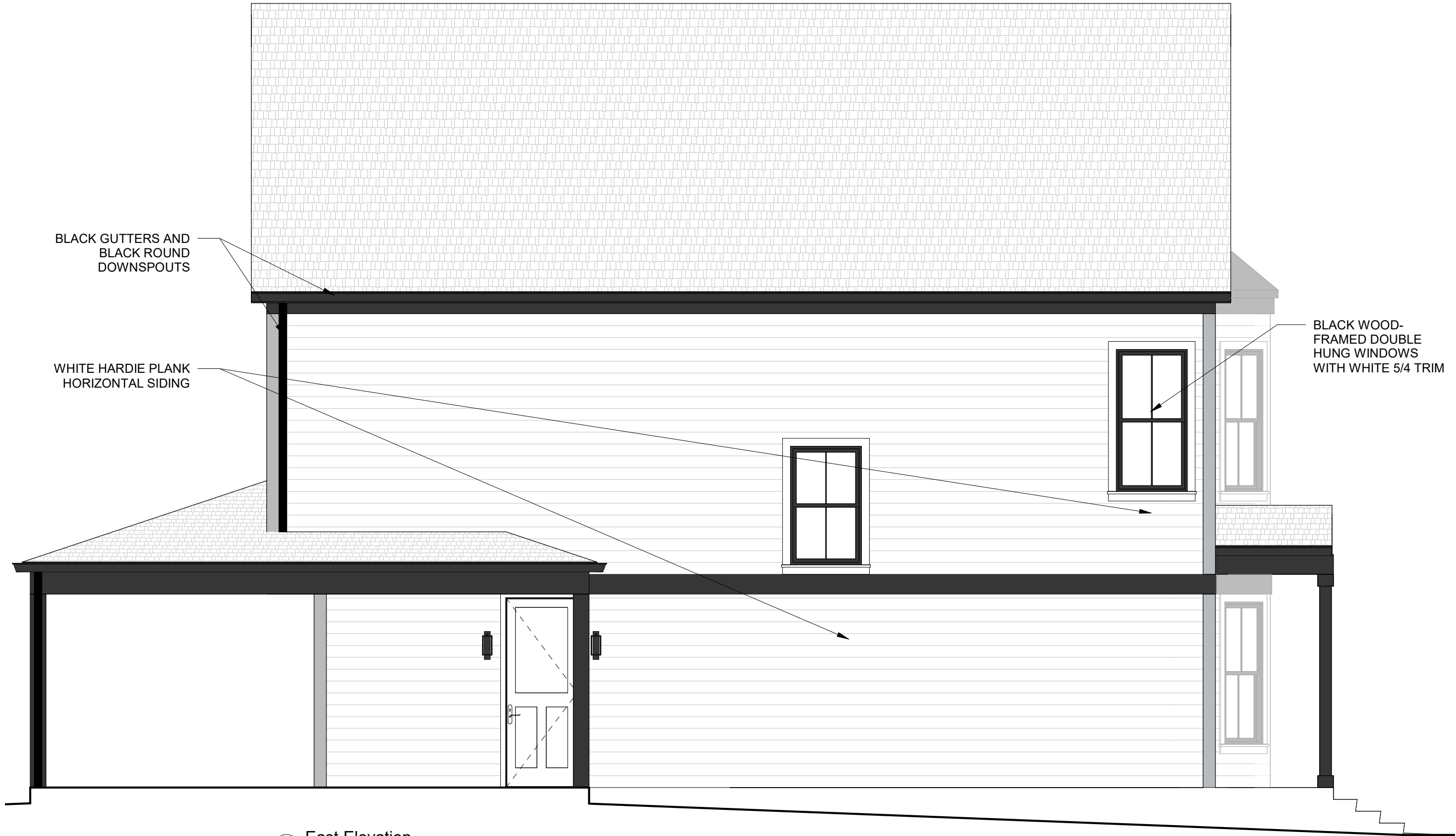




1 North Elevation
1/4" = 1'-0"



① South Elevation
1/4" = 1'-0"



1 East Elevation
1/4" = 1'-0"

ELEVATION

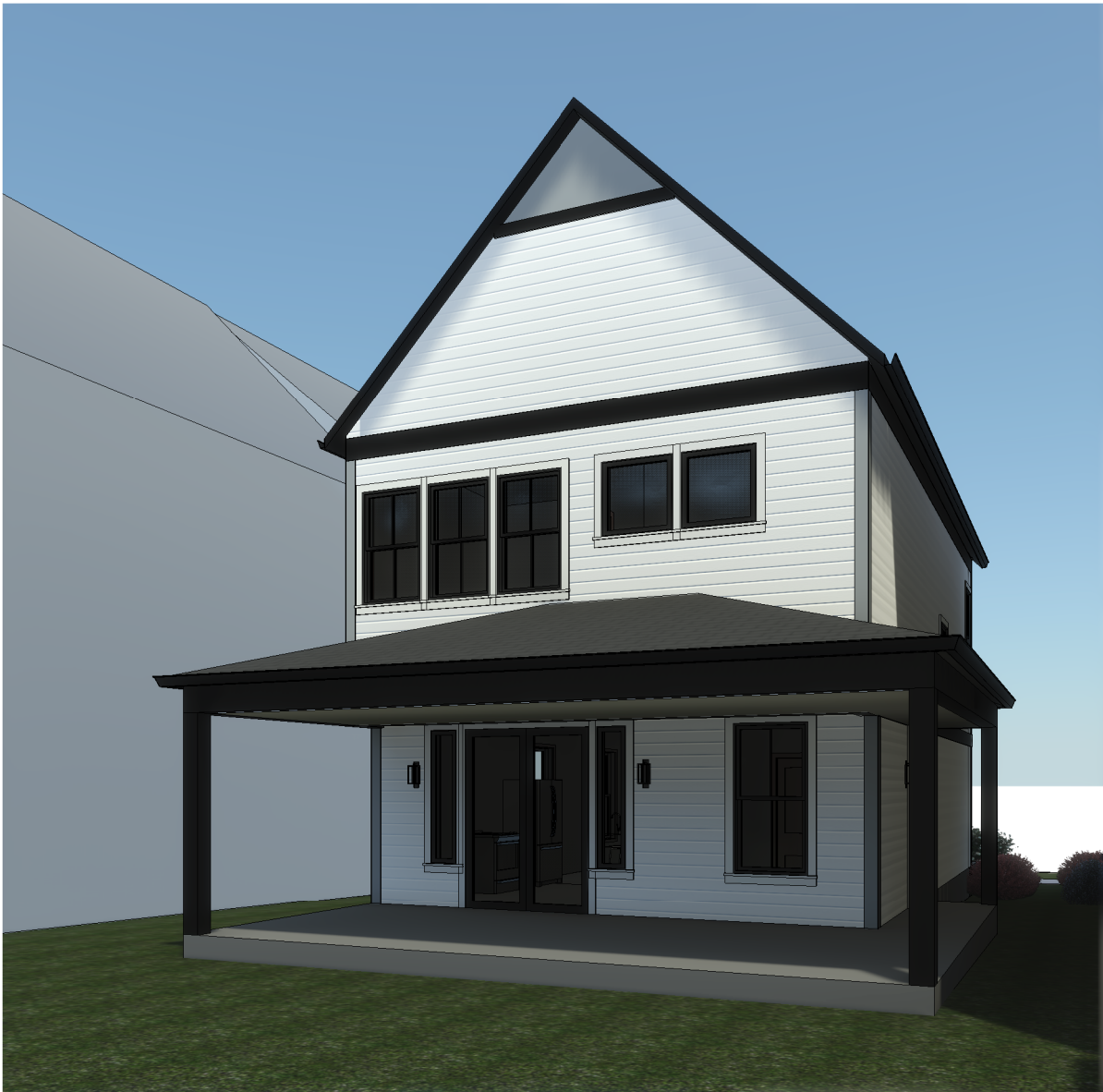
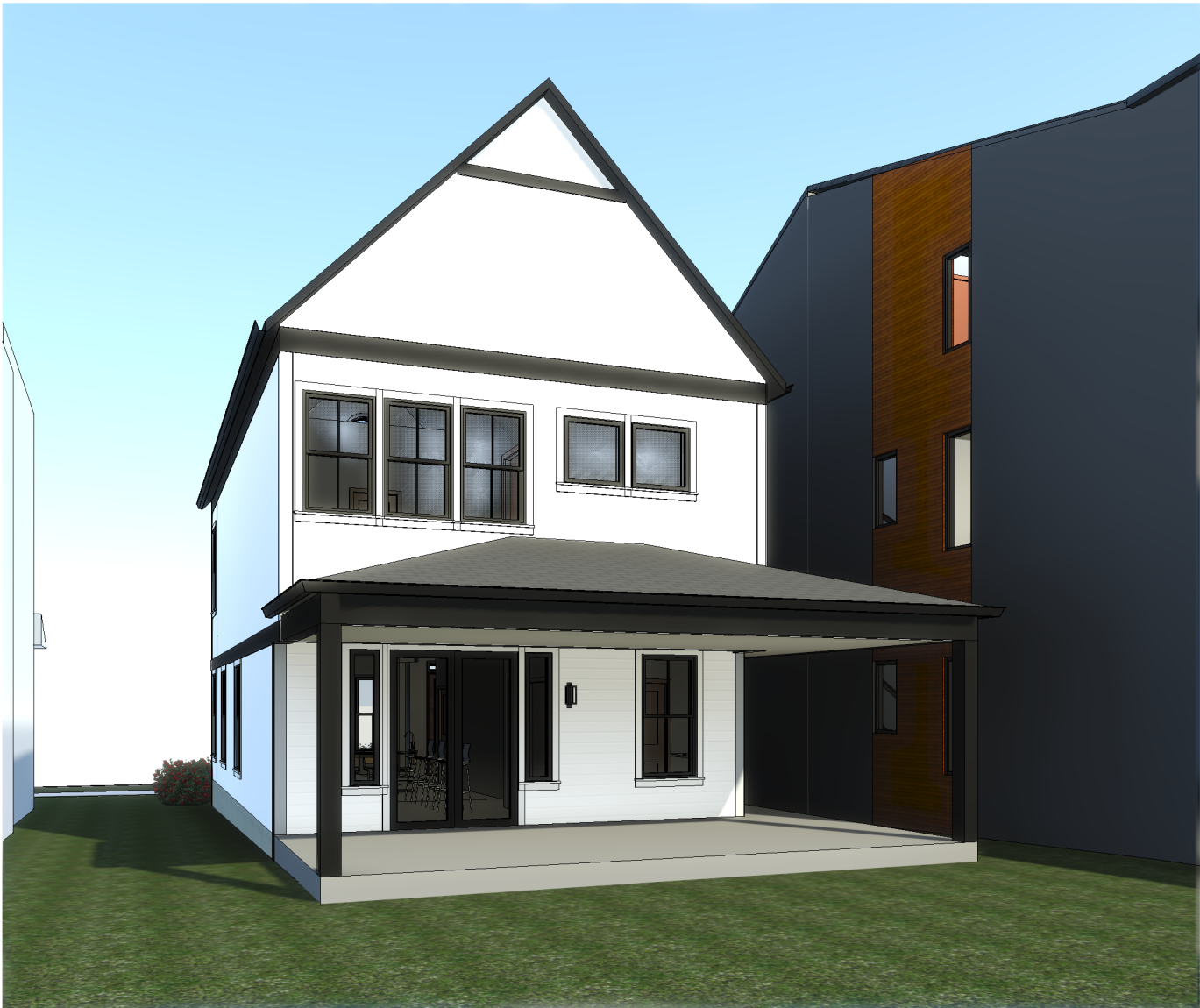


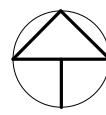
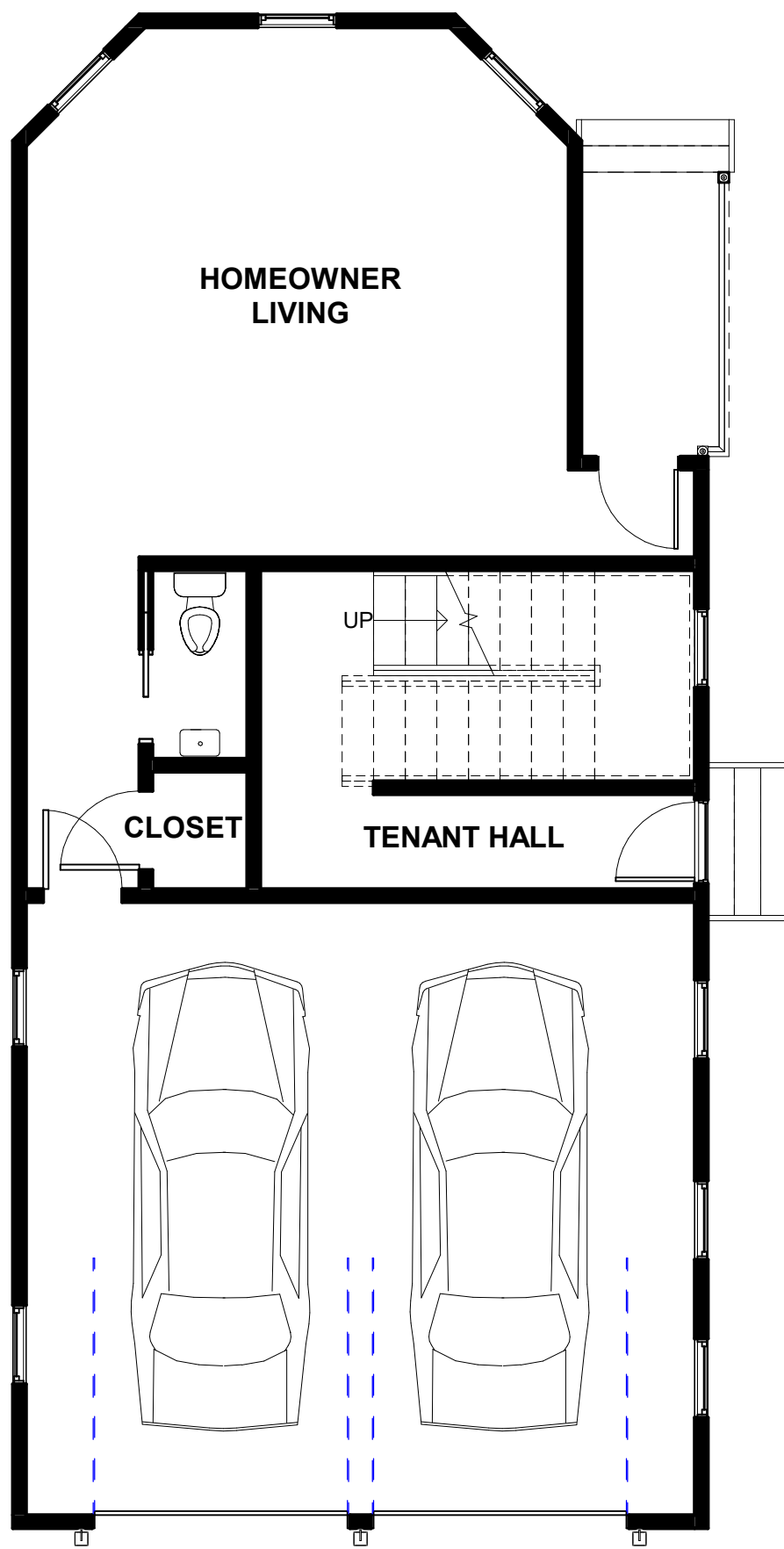
BLACK GUTTERS AND
BLACK ROUND
DOWNSPOUTS

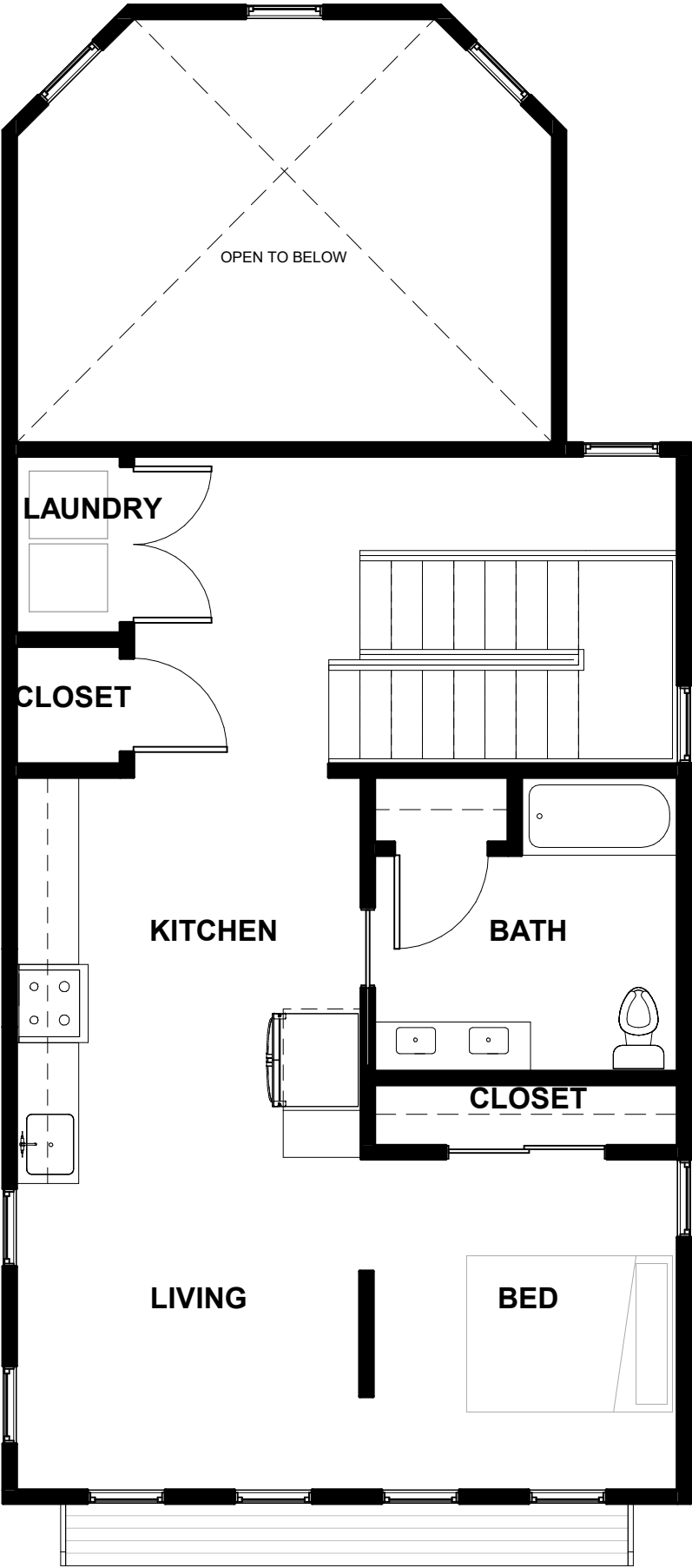
WHITE HARDIE PLANK
HORIZONTAL SIDING

1 West Elevation
1/4" = 1'-0"



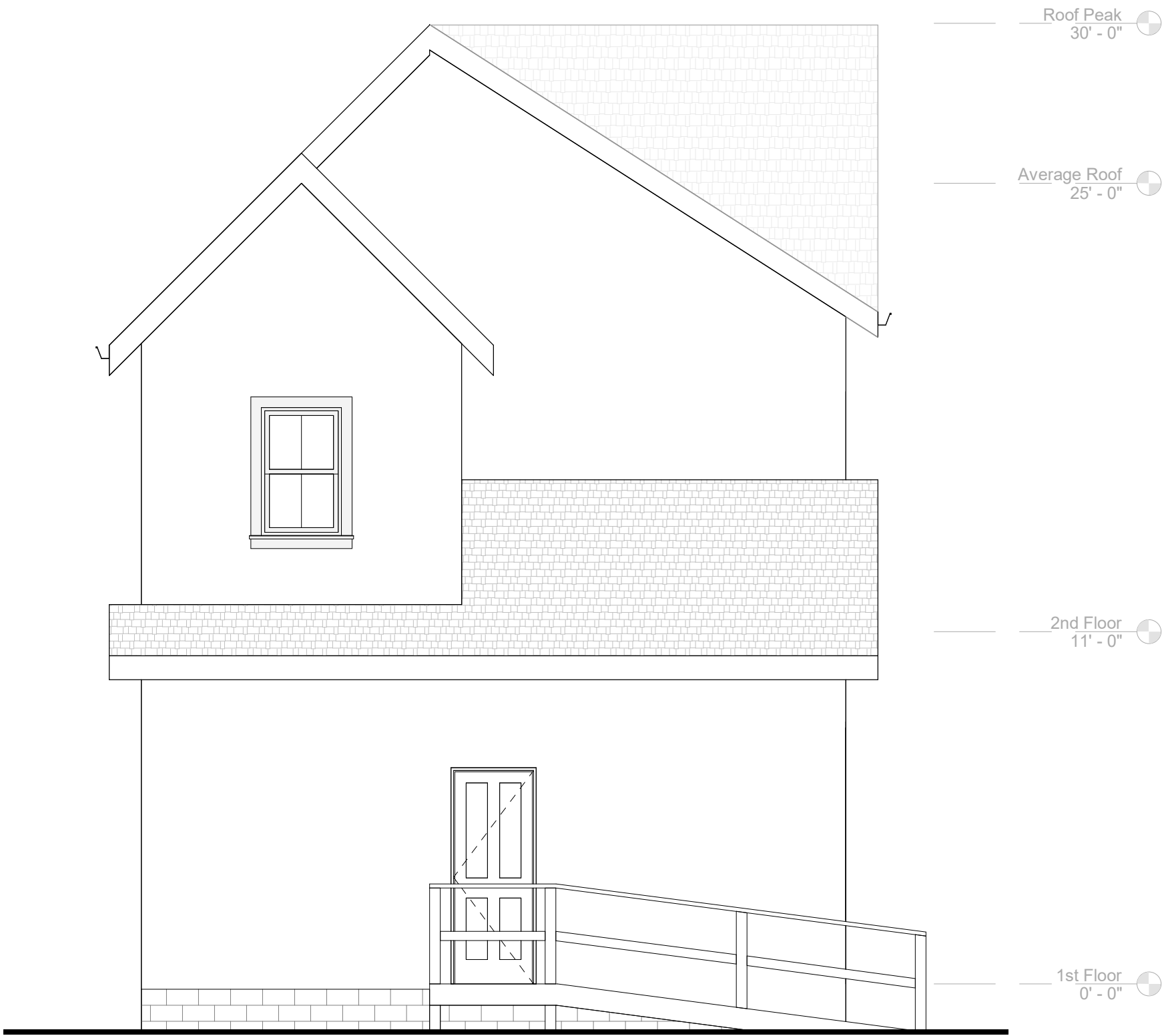








NORTH ELEVATION





EAST ELEVATION - EXISTING





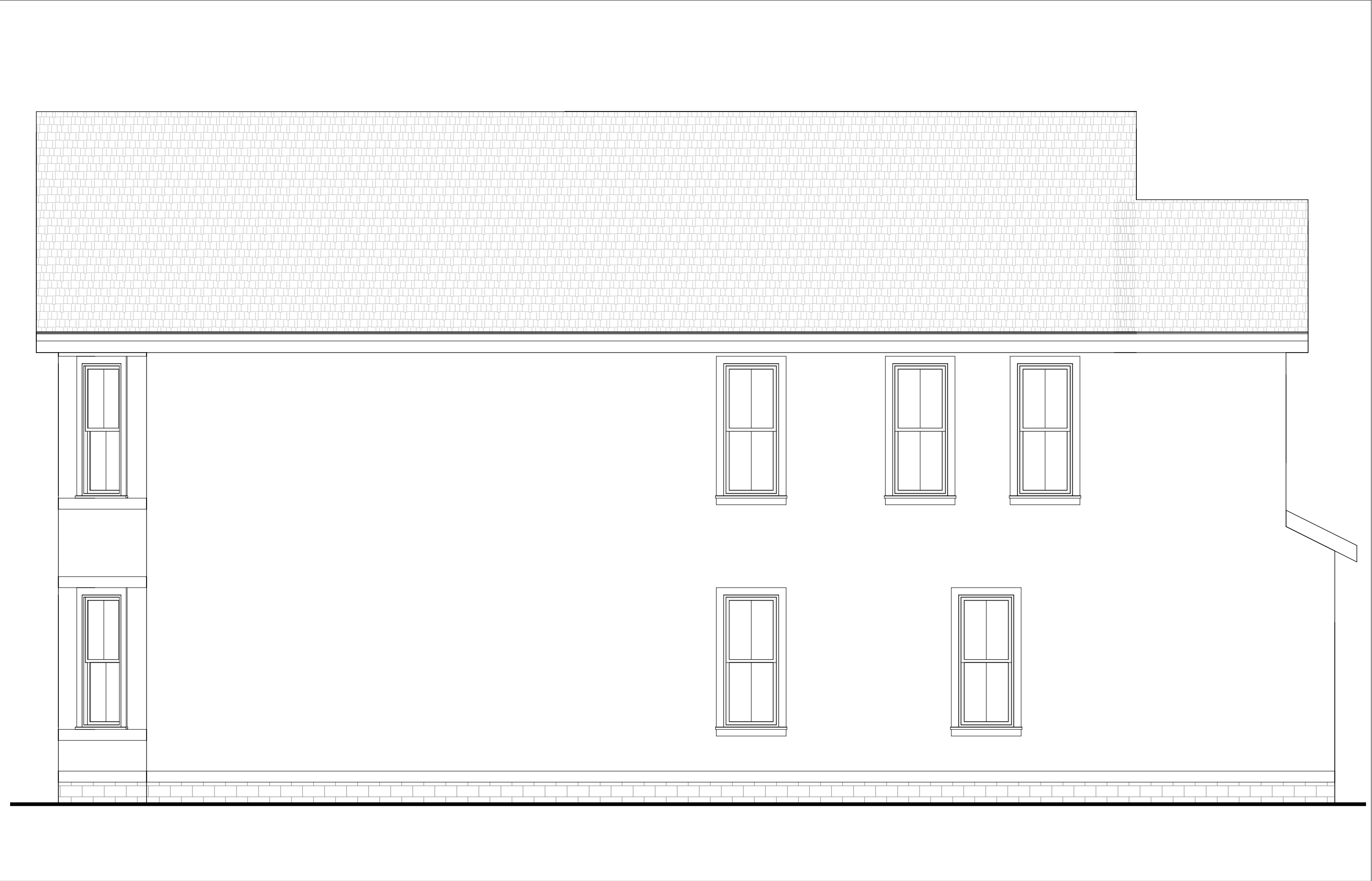
Roof Peak
30' - 0"

Average Roof
25' - 0"

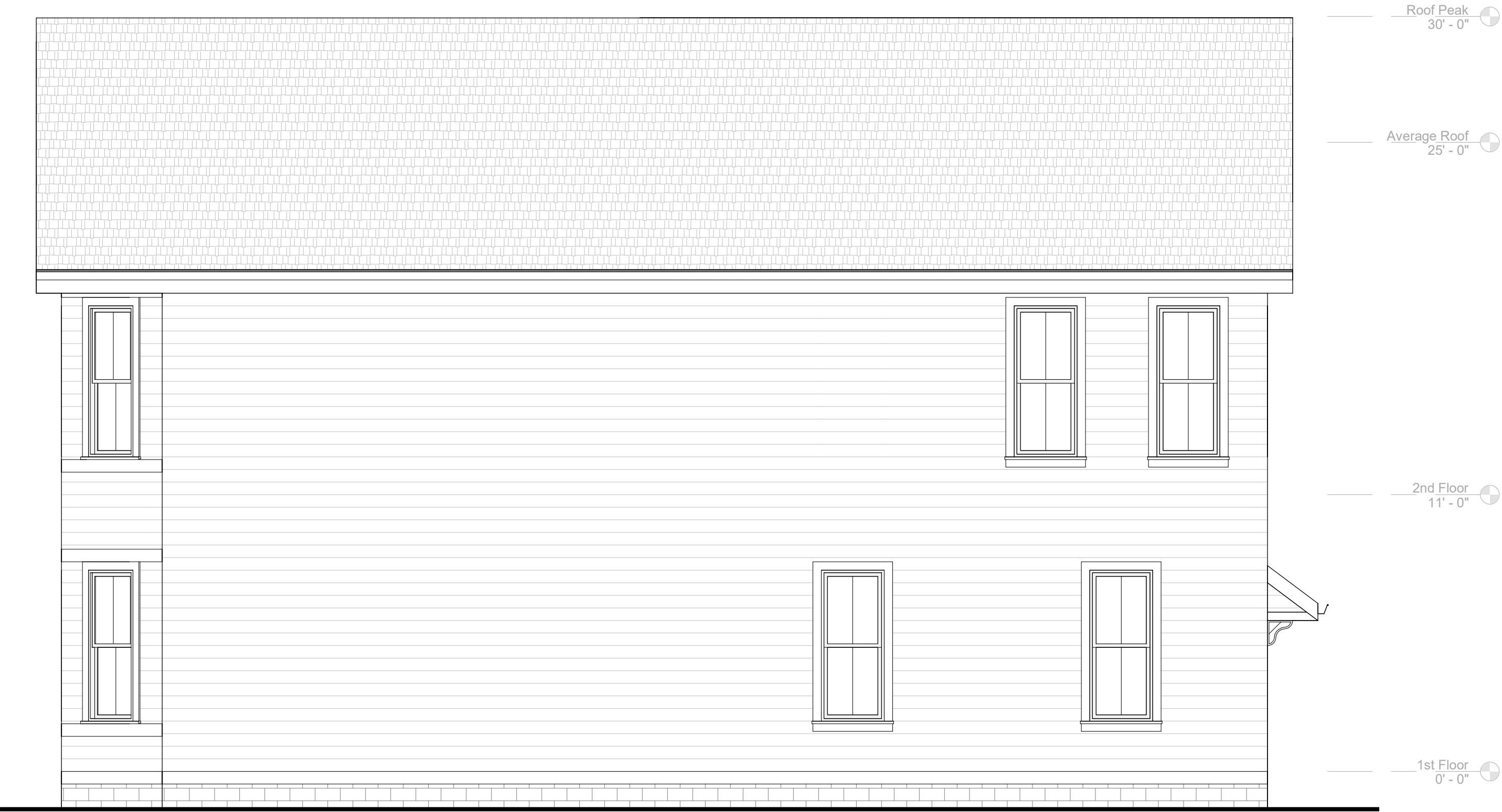
2nd Floor
11' - 0"

1st Floor
0' - 0"

WEST ELEVATION - EXISTING



WEST ELEVATION - NEW





EXISTING EXTERIOR FINISHES



PROPOSED NEW EXTERIOR FINISHES



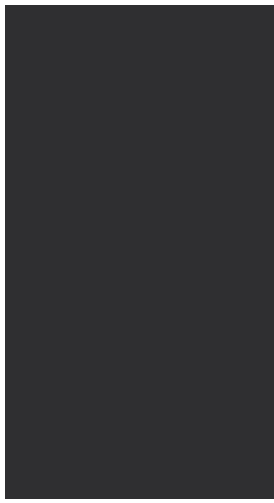
MAIN BODY: SHERWIN WILLIAMS - ROYCROFT COPPER RED SW2839



ACCENT: SHERWIN WILLIAMS - ROYCROFT MIST GREY SW2844



BLACK DIMENSIONAL TAB ROOFING

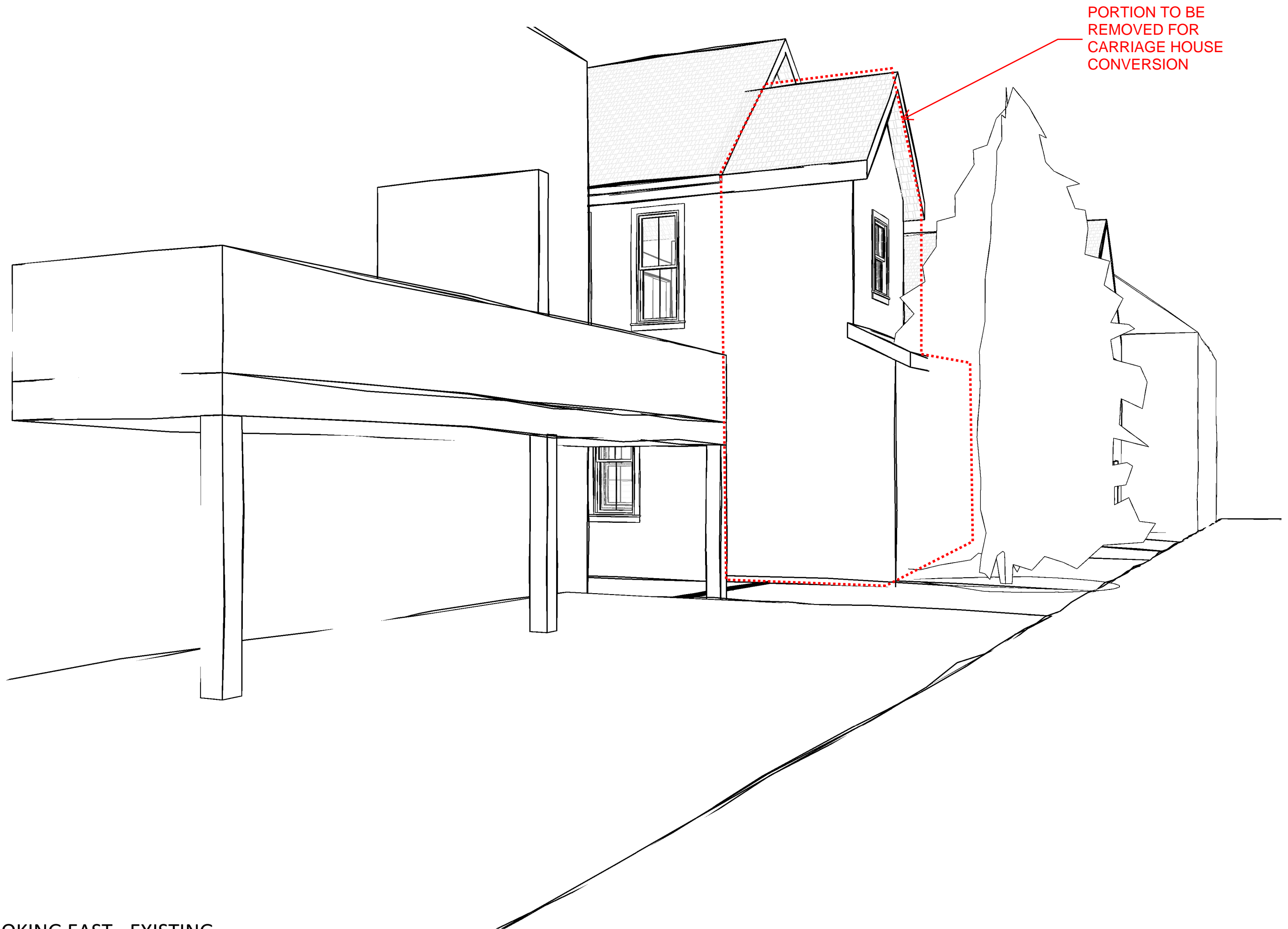


TRIM: SHERWIN WILLIAMS - TRICORN BLACK SW6258



Vine Ct

VINE CT LOOKING EAST



PORTION TO BE
REMOVED FOR
CARRIAGE HOUSE
CONVERSION

VINE CT LOOKING EAST - EXISTING



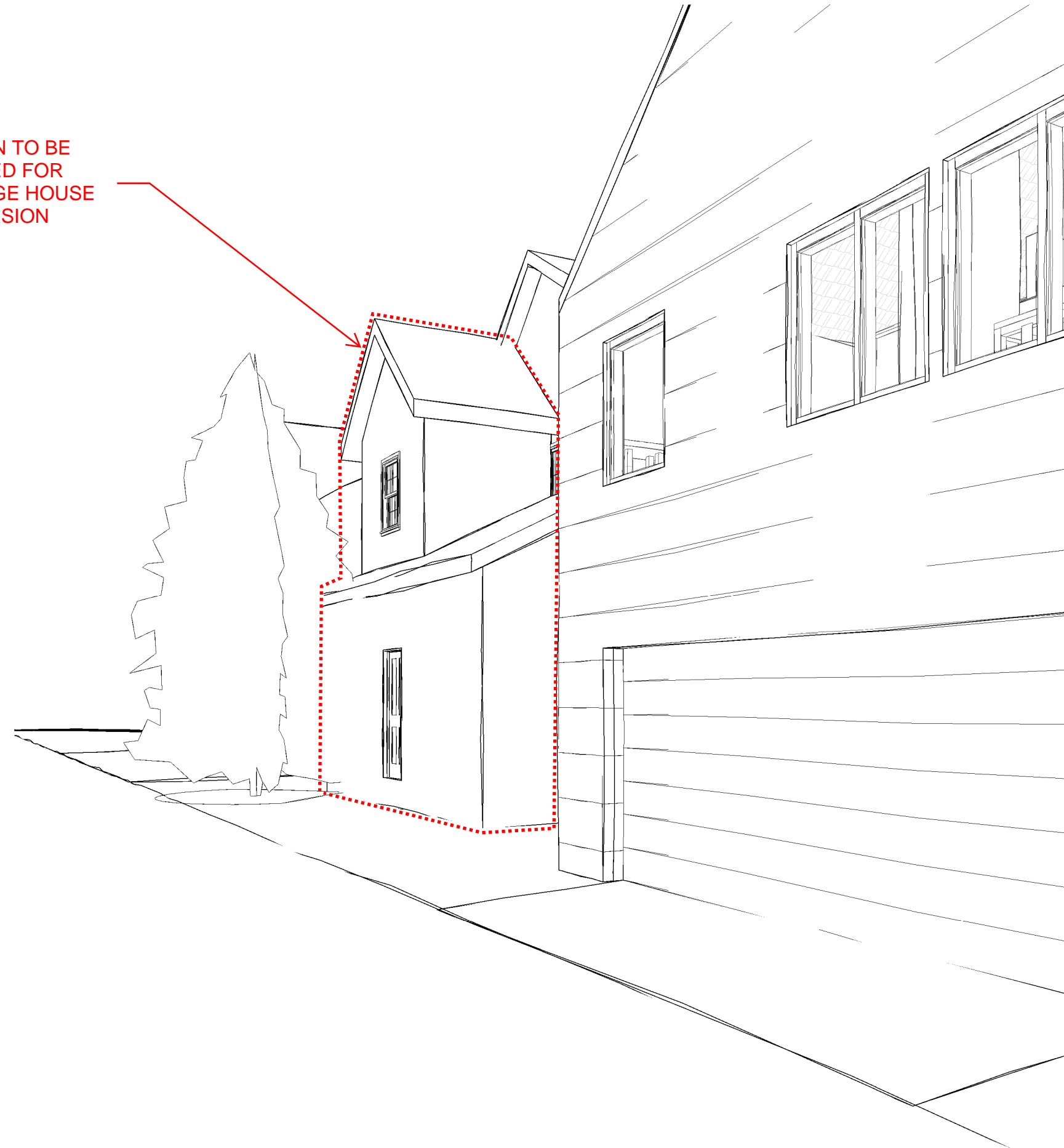
VINE CT LOOKING EAST - CARRIAGE HOUSE CONVERSION



VINE CT LOOKING WEST

Vine Ct

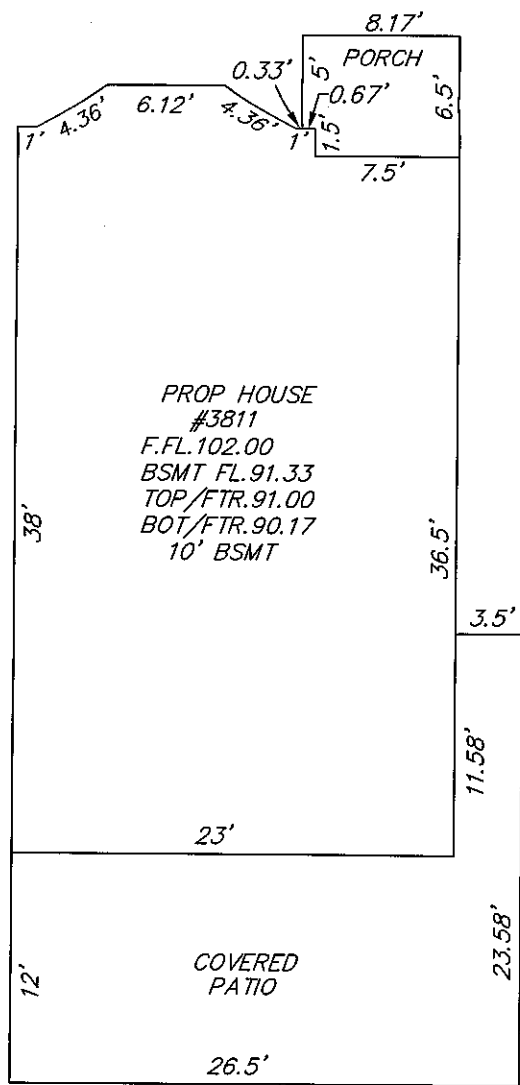
PORTION TO BE
REMOVED FOR
CARRIAGE HOUSE
CONVERSION



VINE CT LOOKING WEST - EXISTING



VINE CT LOOKING WEST - CARRIAGE HOUSE CONVERSION



HOUSE DETAIL
SCALE: 1" = 10'

REFERENCES:
TAYLOR FARM ALLOTMENT
PLAT VOLUME 2, PAGE 22
CLINTON COURT SUBDIVISION
PLAT VOLUME 350, PAGE 71
LOT CONSOLIDATION SURVEY
PLAT VOLUME 295, PAGE 81
LOT SPLIT & CONSOLIDATION SURVEY
PLAT VOLUME 314, PAGE 88
LOT SPLIT SURVEY
PLAT VOLUME 230, PAGE 39
CITY ROAD RECORDS
O.U.P.S. TICKET NO. A908002969
TICKET NO. A908002974
LOT SPLIT SURVEY
BY AZTECH ENGINEERING & SURVEYING
AFN#202101120226

EX COMB LAT
SLANT #37
DIST. FROM MH: 173'
SIZE: 6"
DEPTH: 10.5'

DATE OF SURVEY
NOVEMBER 13, 2020

LEGEND

- MONUMENT BOX
- IRON PIN FND
- COMBINATION MANHOLE
- FIRE HYDRANT
- GUY WIRE
- POWER POLE
- TREE
- FLOW DIRECTION
- SWALE
- OFFSET HUB
- EXISTING GRADE
- PROPOSED GRADE

- 1 = PROP 1" TYPE "K" COPPER WATER CONN
- 2 = PROP 6" PVC SDR 35 SAS CONN @ 1% MIN
- 3 = PROP 6" PVC SDR 35 STS CONN @ 1% MIN
- 4 = PROP CONC WALK
- 5 = PROP CONC PAD
- 6 = PROP TEST TEES
- 7 = PROP 1" TYPE "K" COPPER WATER CONN
- 8 = PROP 6" PVC SDR 35 SAS CONN @ 1% MIN
- 9 = EX 3' CONC WALK TO BE REMOVED
- 10 = EX HOUSE ADDITION TO BE RAZED

BUILDER
CLEVELAND CUSTOM BUILDERS
12025 SCHREIBER ROAD
VALLEY VIEW, OHIO 44125
(216) 410-2122



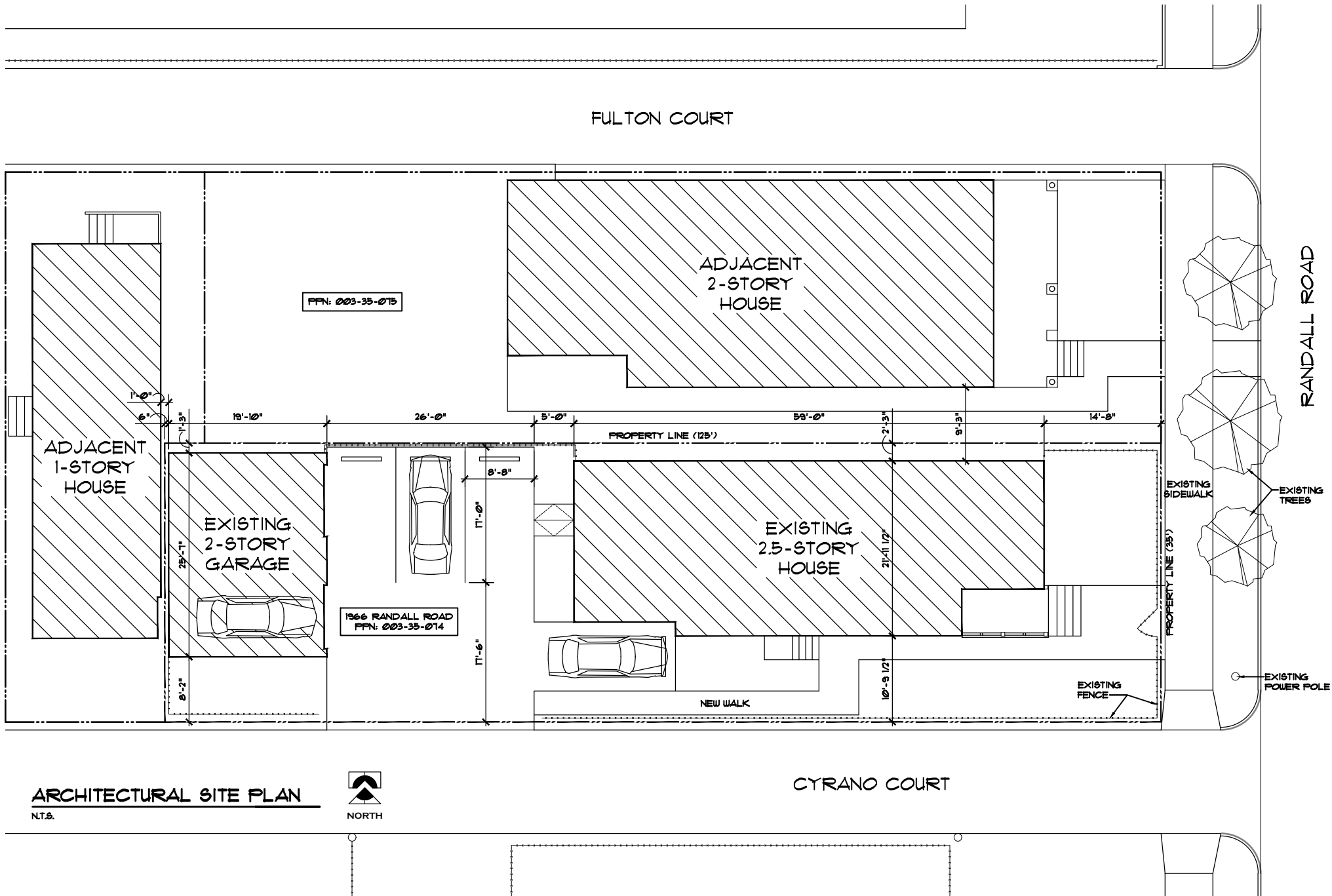
Case 21-046: Ohio City Historic District (Tabled 6/10/2021)

1966 Randall Road

Renovation

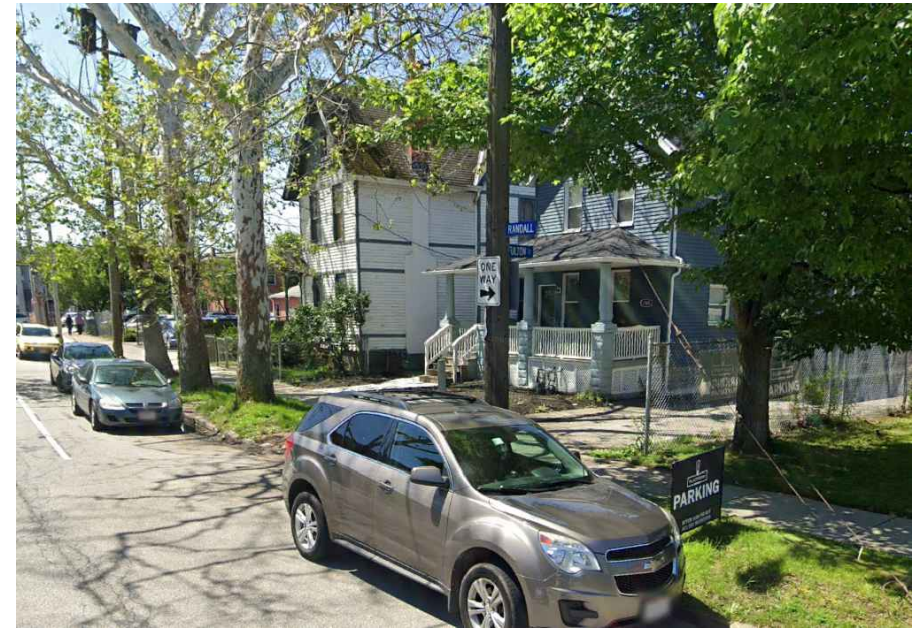
Ward 3: McCormack

Project Representative: Paul Beegan, Amy Chin Armour (Beegan Architectural Design); Michael A. Yap (Owner)





SITE LOCATION MAP



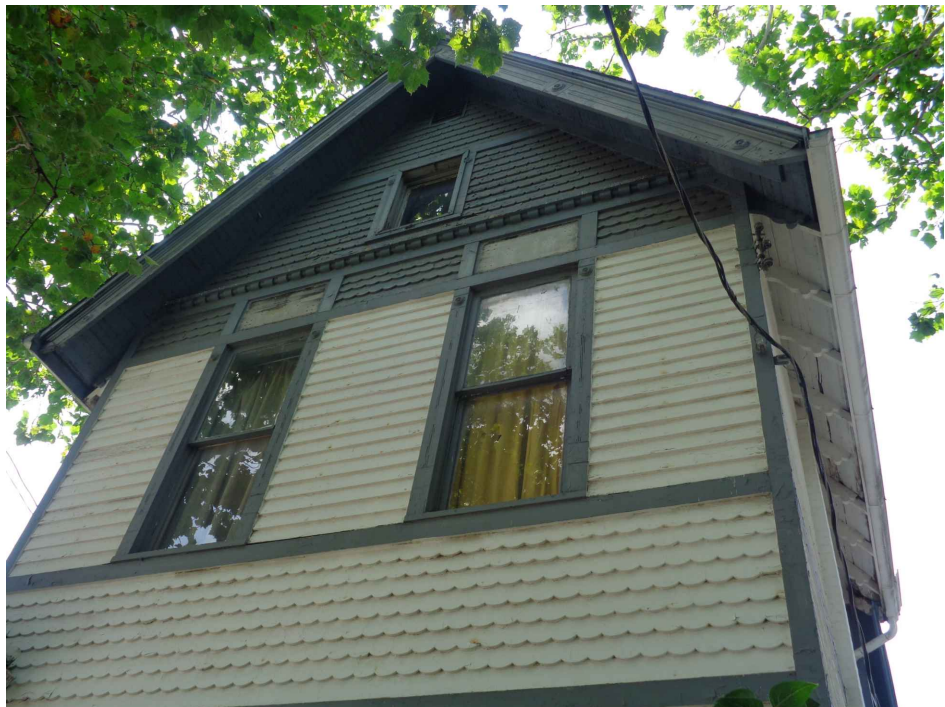
STREET VIEW FACING SOUTH



STREET VIEW FACING NORTH



EAST FACADE



EAST FACADE DETAIL



ENTRY PORCH DETAIL



ENTRY PORCH



NORTHEAST CORNER



NORTH FACADE



NORTHEAST CORNER



SOUTHWEST CORNER



SOUTH FACADE DETAIL



SOUTH FACADE DETAIL



PHOTOS PROVIDED BY CLEVELAND LANDMARKS COMMISSION





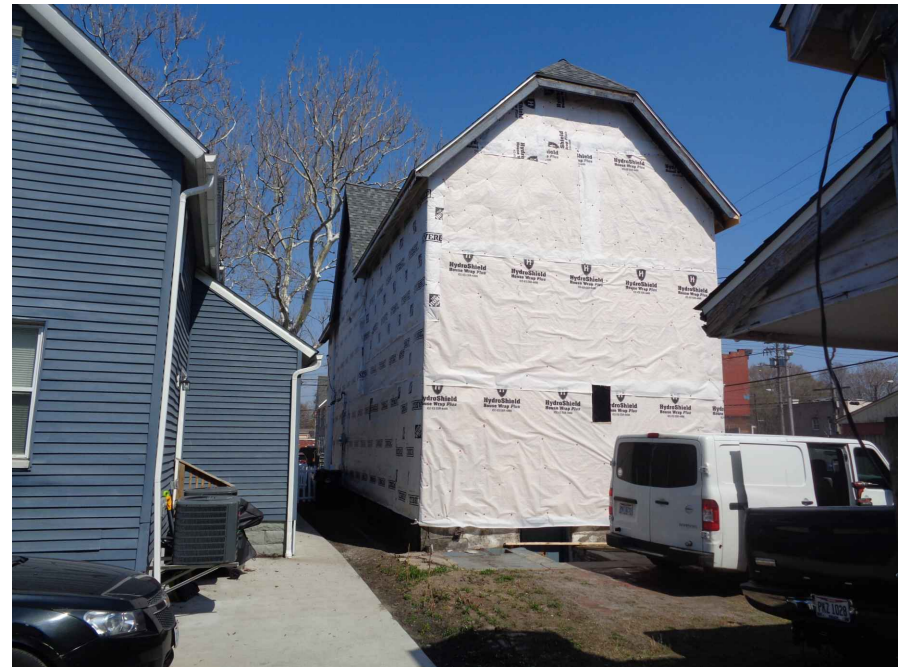
EXISTING SOUTHEAST CORNER 04/06/21



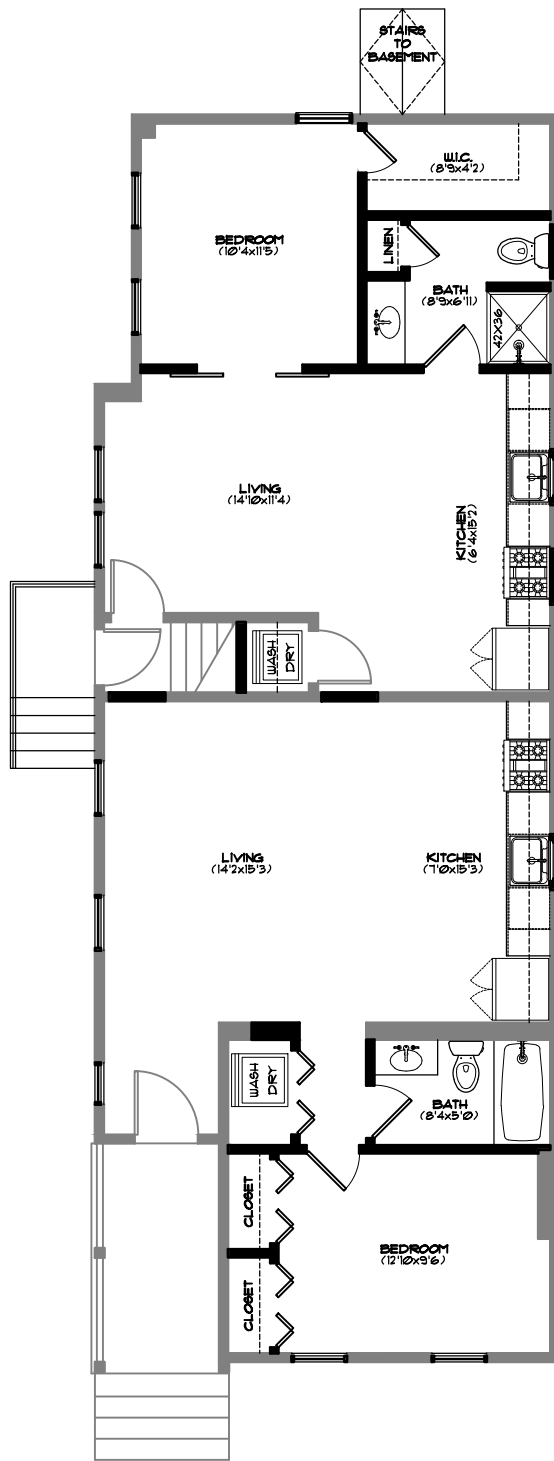
EXISTING NORTHEAST CORNER 04/06/21



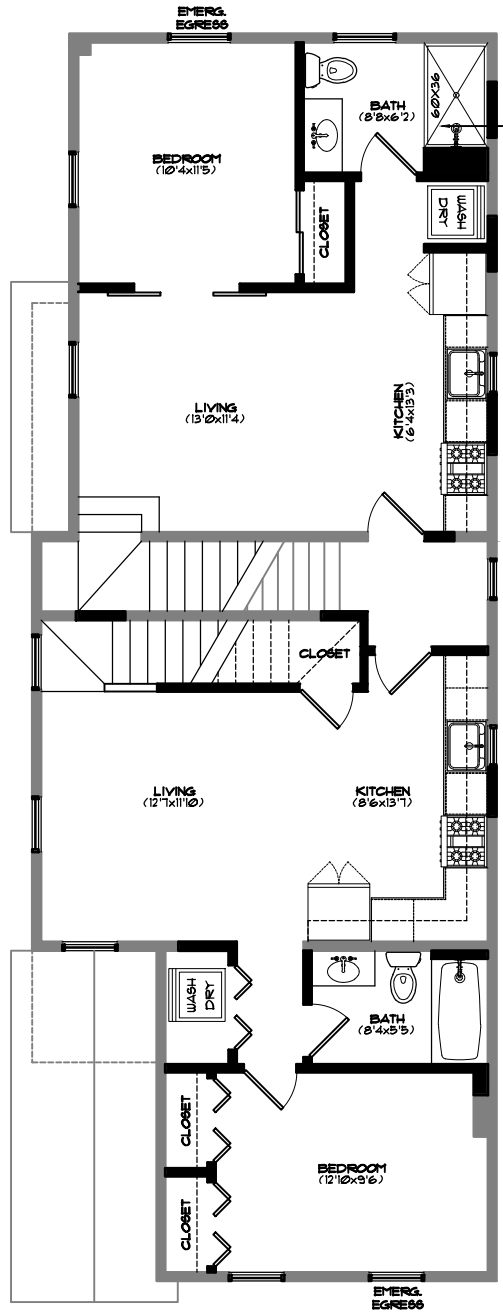
EXISTING SOUTHWEST CORNER 04/06/21



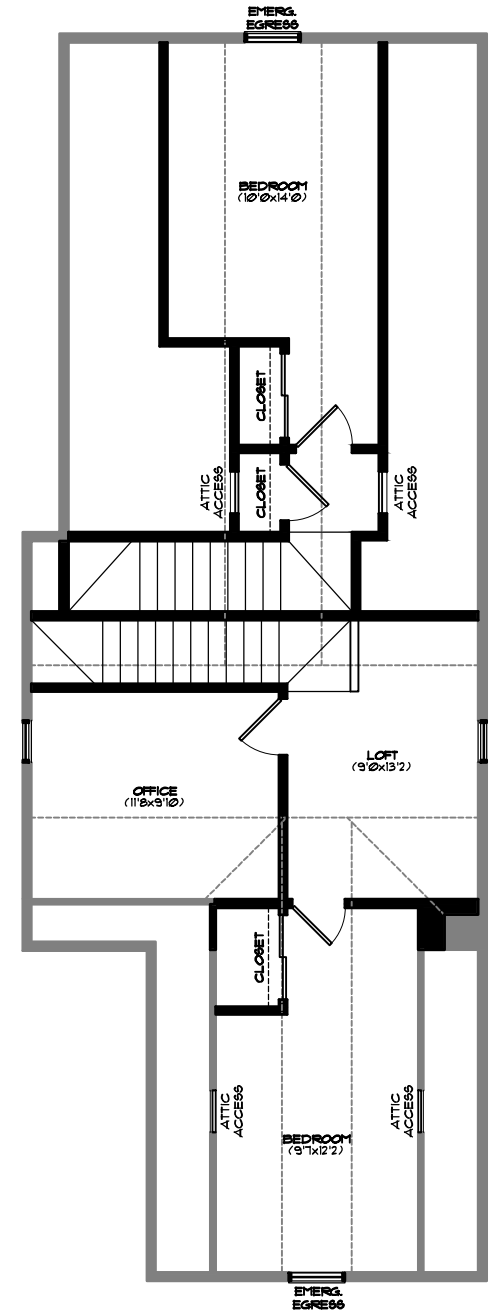
EXISTING NORTHWEST CORNER 04/06/21



1ST FLOOR PLAN
N.T.S.



2ND FLOOR PLAN
N.T.S.



3RD FLOOR PLAN
N.T.S.





EAST ELEVATION

N.T.S.

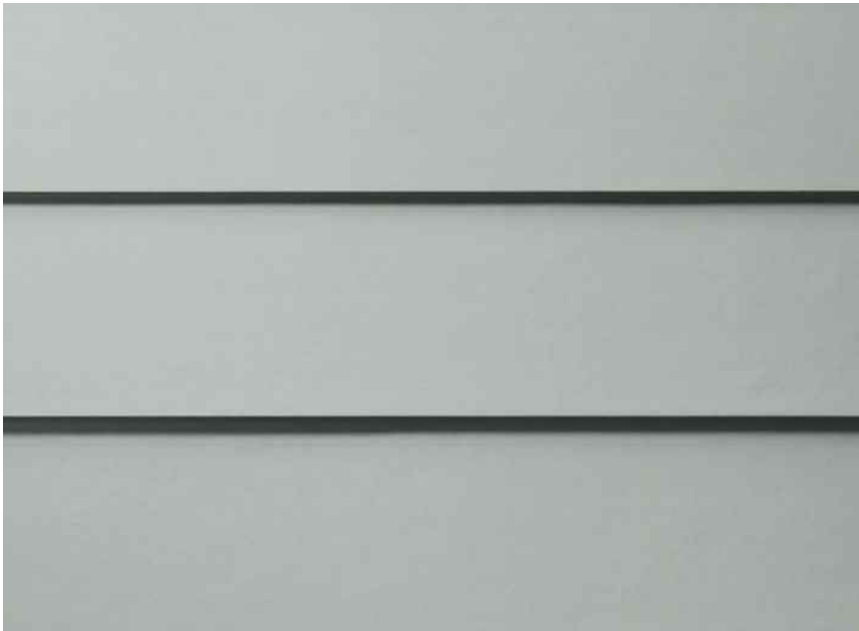
KEYNOTE LEGEND:

- ① NEW HARDIBOARD FIBER CEMENT SIDING
- ② NEW MILLED CEDAR NOTCHED SIDING TO REPLICATE ORIGINAL
- ③ NEW MILLED CEDAR ROUNDED OR SCALLOPED SIDING TO REPLICATE ORIGINAL
- ④ REINSTATE ORIGINAL VICTORIAN HORIZONTAL CYLINDRICAL MOLDING UTILIZING PAINTED HARDWOOD
- ⑤ REINSTATE ORIGINAL DECORATIVE TRIM WITH BULLSEYE ROSETTE MEDALLION AND LINEAR INCISED PATTERN UTILIZING PAINTED HARDWOOD
- ⑥ RESTORE EXISTING WOOD STRUCTURE WITH DETAILING TO MATCH ORIGINAL DESIGN
- ⑦ NEW ALUMINUM CLAD WINDOW TO MATCH ORIGINAL SIZE AND LOCATION
- ⑧ NEW ALUMINUM CLAD WINDOW AT EXISTING LOCATION WITH NEW SIZE

It was the surface detail that expressed the Victorian Stick and Queen Anne style influences of this late 19c house.



PHOTO PROVIDED BY CLEVELAND LANDMARKS COMMISSION



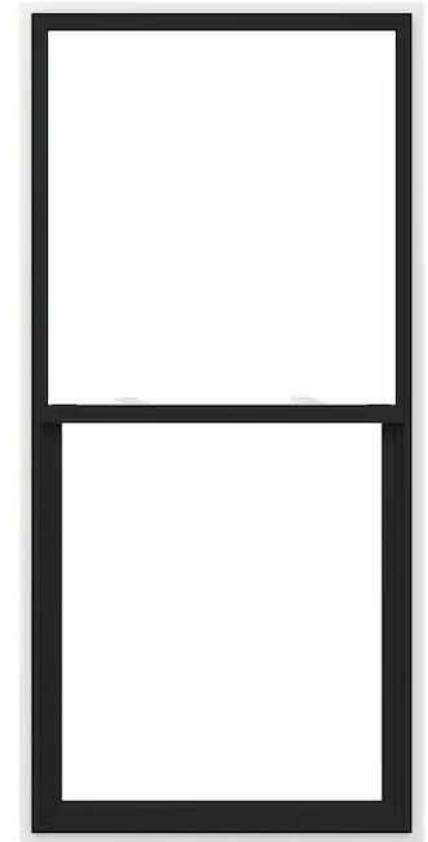
HARDIEPLANK FIBER CEMENT LAP SIDING
 COLOR: LIGHT MIST
 LOCATION: ALL EXTERIOR FACADES



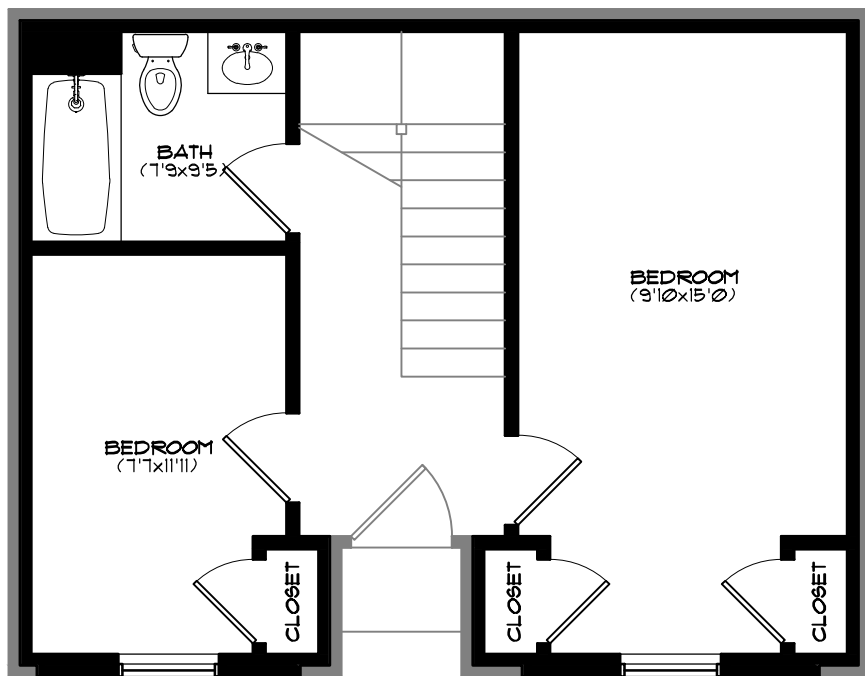
PLYCEM FIBER CEMENT TRIM
 COLOR: WHITE
 LOCATION: ALL EXTERIOR FACADES



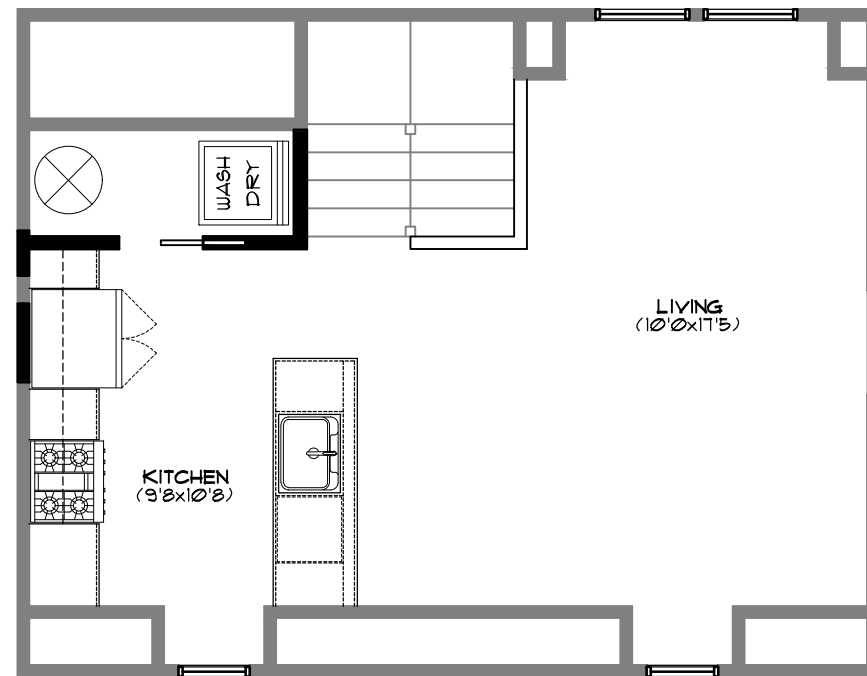
WOOD HALF-ROUND SIDING
 COLOR: TO BE PAINTED DARK GREY
 LOCATION: EAST, NORTH, SOUTH FACADE



PELLA ALUMINUM CLAD WINDOWS
 COLOR: BLACK
 LOCATION: ALL EXTERIOR FACADES



GARAGE 1ST FLOOR
N.T.S.



GARAGE 2ND FLOOR
N.T.S.



GARAGE EAST FACADE

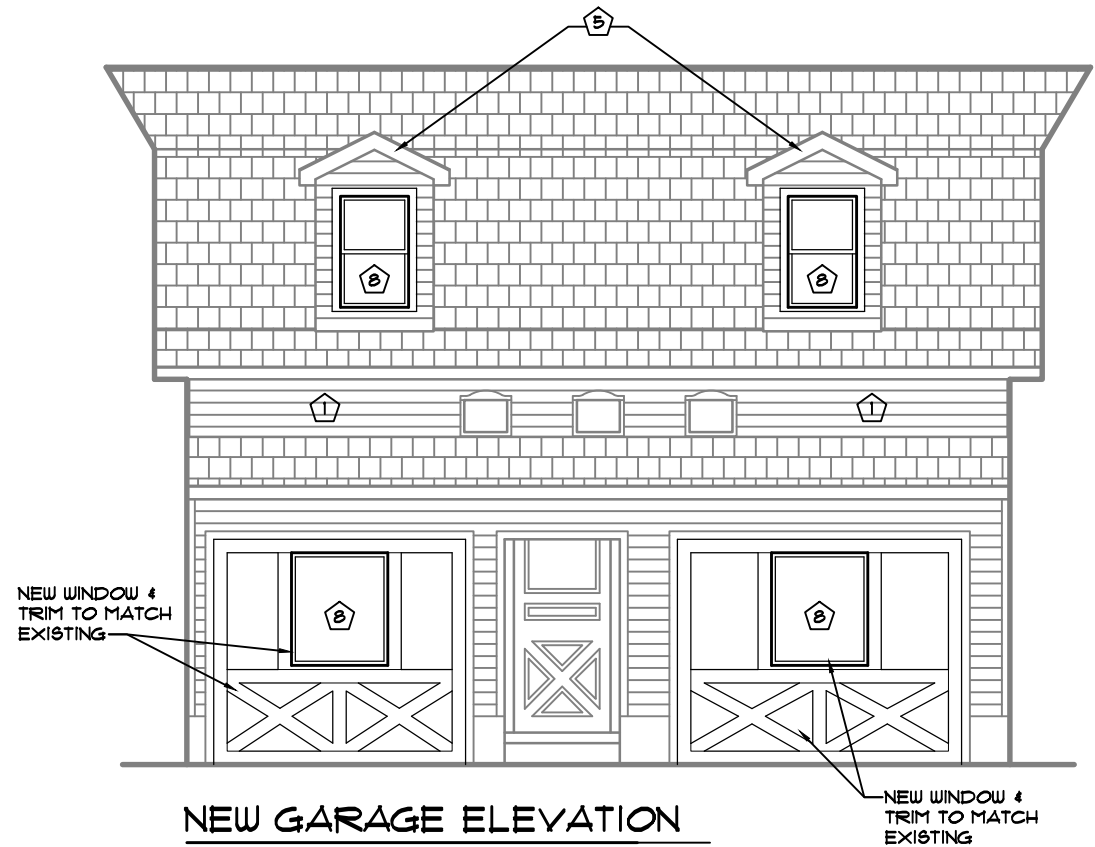


GARAGE SOUTHEAST CORNER



EXISTING GARAGE ELEVATION

N.T.S.



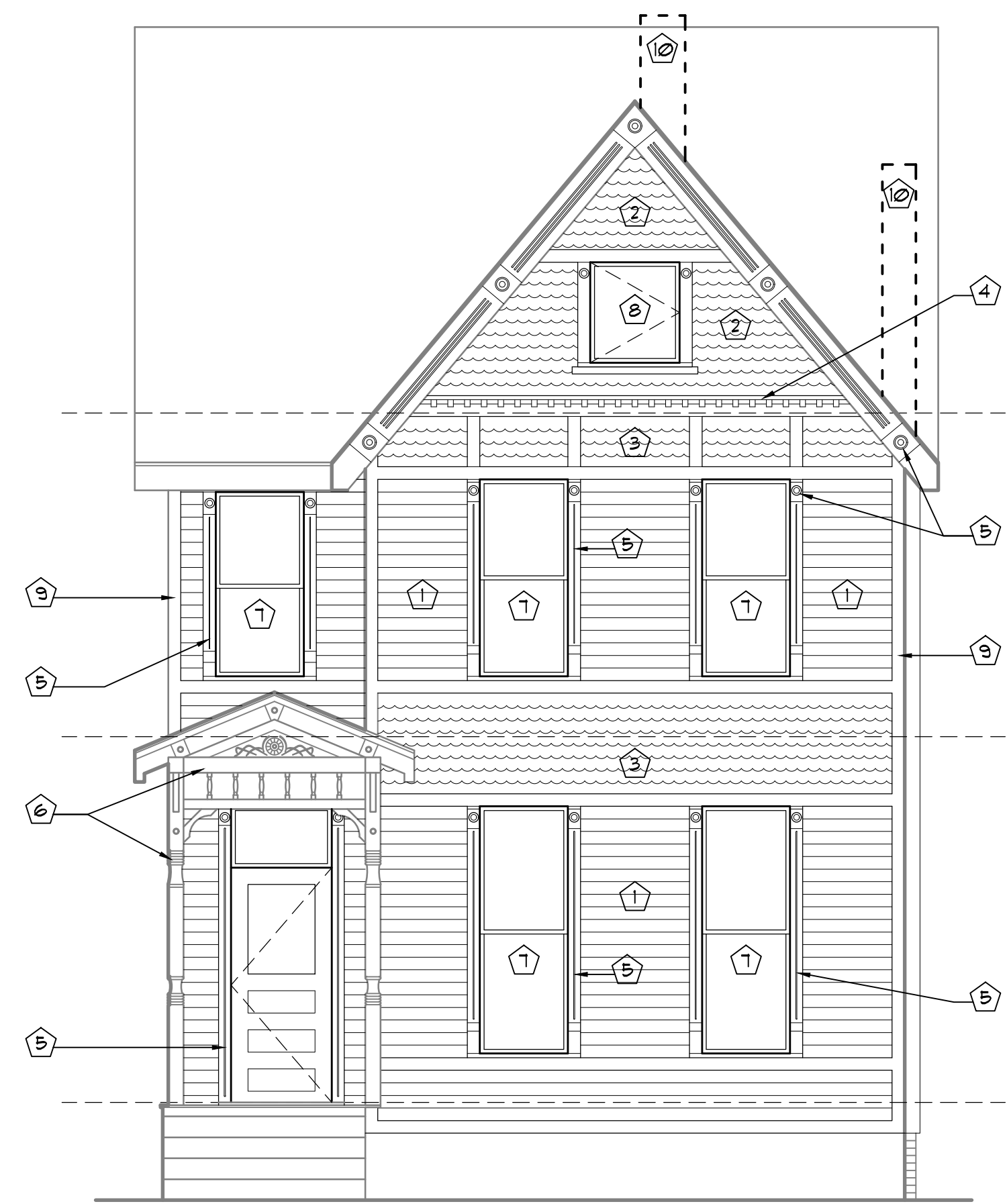
NEW GARAGE ELEVATION

N.T.S.

KEYNOTE LEGEND:

- ① NEW HARDIBOARD FIBER CEMENT SIDING
- ② REINSTATE ORIGINAL DECORATIVE TRIM WITH BULLSEYE ROSETTE MEDALLION AND LINEAR INCISED PATTERN UTILIZING PAINTED HARDWOOD
- ③ NEW ALUMINUM CLAD WINDOW AT EXISTING LOCATION WITH NEW SIZE

ISSUE	DATE	DESCRIPTION
1	08.02.21	Landmarks Commission



EAST ELEVATION

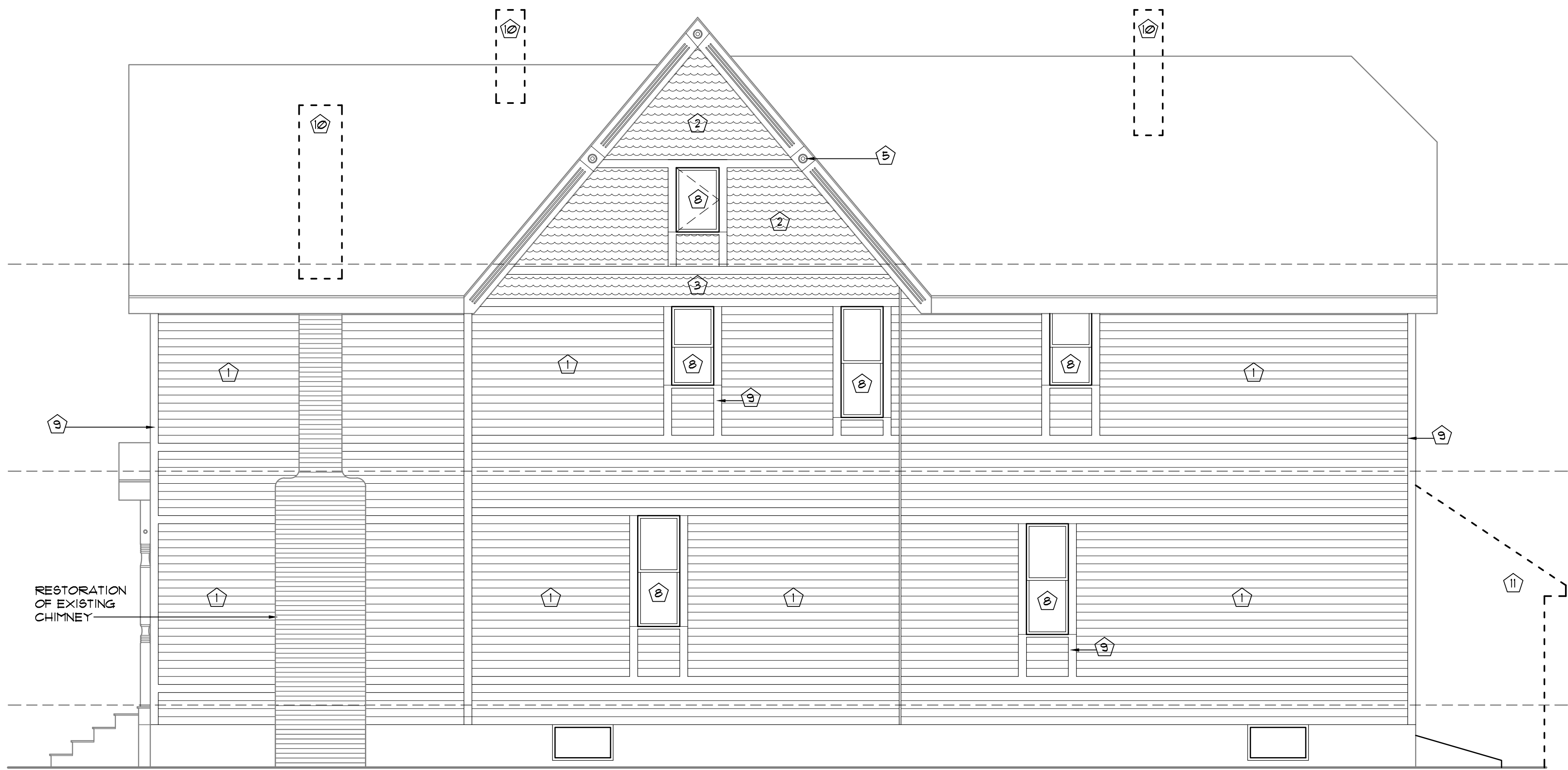
1/4" = 1'-0"

3RD FLOOR
ELEV. 23'-6"±

2ND FLOOR
ELEV. 13'-10"±

1ST FLOOR
ELEV. 2'-11"±

GRADE
ELEV. 0'-0"

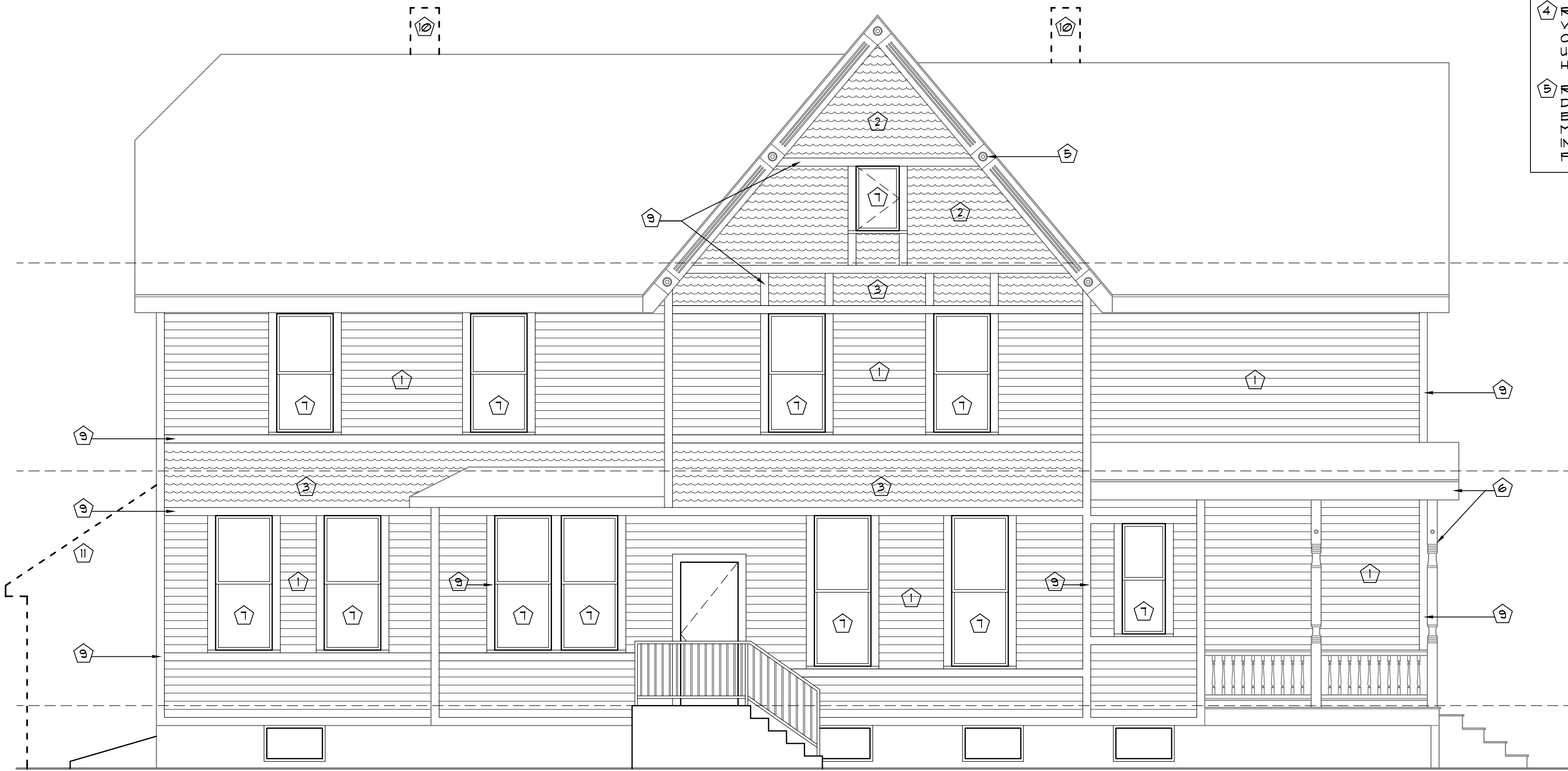


NORTH ELEVATION

1/4" = 1'-0"

KEYNOTE LEGEND:

- | | |
|--|---|
| 1 NEW HARDPLANK FIBER CEMENT SIDING | 6 RESTORE EXISTING WOOD STRUCTURE WITH DETAILING TO MATCH ORIGINAL DESIGN |
| 2 NEW MILLED CEDAR NOTCHED SIDING TO REPLICATE ORIGINAL | 7 NEW ALUMINUM CLAD WINDOW TO MATCH ORIGINAL SIZE AND LOCATION |
| 3 NEW MILLED CEDAR ROUNDED OR SCALLOPED SIDING TO REPLICATE ORIGINAL | 8 NEW ALUMINUM CLAD WINDOW AT EXISTING LOCATION WITH NEW SIZE |
| 4 REINSTATE ORIGINAL VICTORIAN HORIZONTAL CYLINDRICAL MOLDING UTILIZING PAINTED HARDWOOD | 9 NEW HARDIBOARD FIBER CEMENT TRIM |
| 5 REINSTATE ORIGINAL DECORATIVE TRIM WITH BULLSEYE ROSETTE MEDALLION AND LINEAR INCISED PATTERN UTILIZING PAINTED HARDWOOD | 10 EXISTING CHIMNEY TO BE REMOVED (DOTTED) |
| | 11 EXISTING PRIOR ADDITION TO BE REMOVED (DOTTED) |



SOUTH ELEVATION

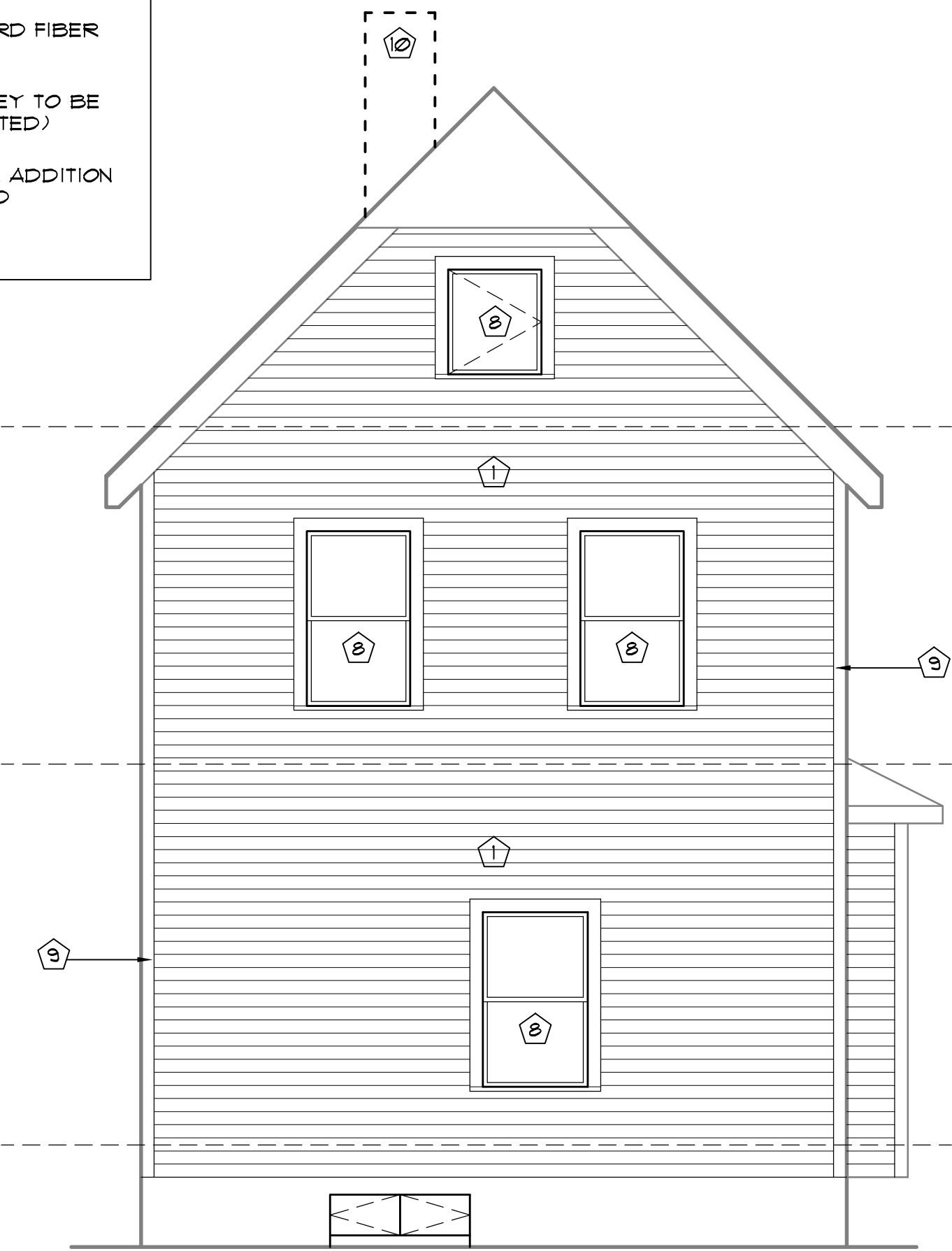
1/4" = 1'-0"

3RD FLOOR
ELEV. 23'-6"±

2ND FLOOR
ELEV. 13'-10"±

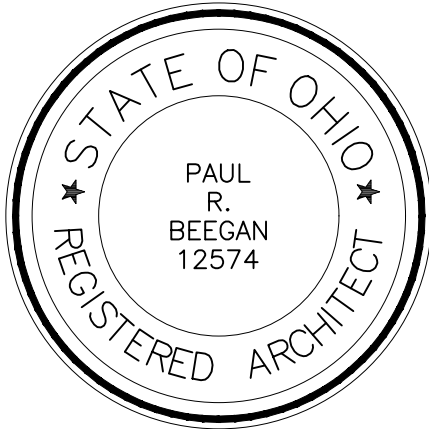
1ST FLOOR
ELEV. 2'-11"±

GRADE
ELEV. 0'-0"



WEST ELEVATION

1/4" = 1'-0"



PAUL R. BEEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2021

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE
LAKEWOOD, OHIO 44107
WWW.BEEGAN-AD.COM

216.521.9000 PHONE
216.916.4591 FAX
PAUL@BEEGAN-AD.COM

project no. 19-021

**1966 Randall Road
Residential Renovations**

1966 randall road
cleveland, ohio 44113

Exterior Elevations

A6

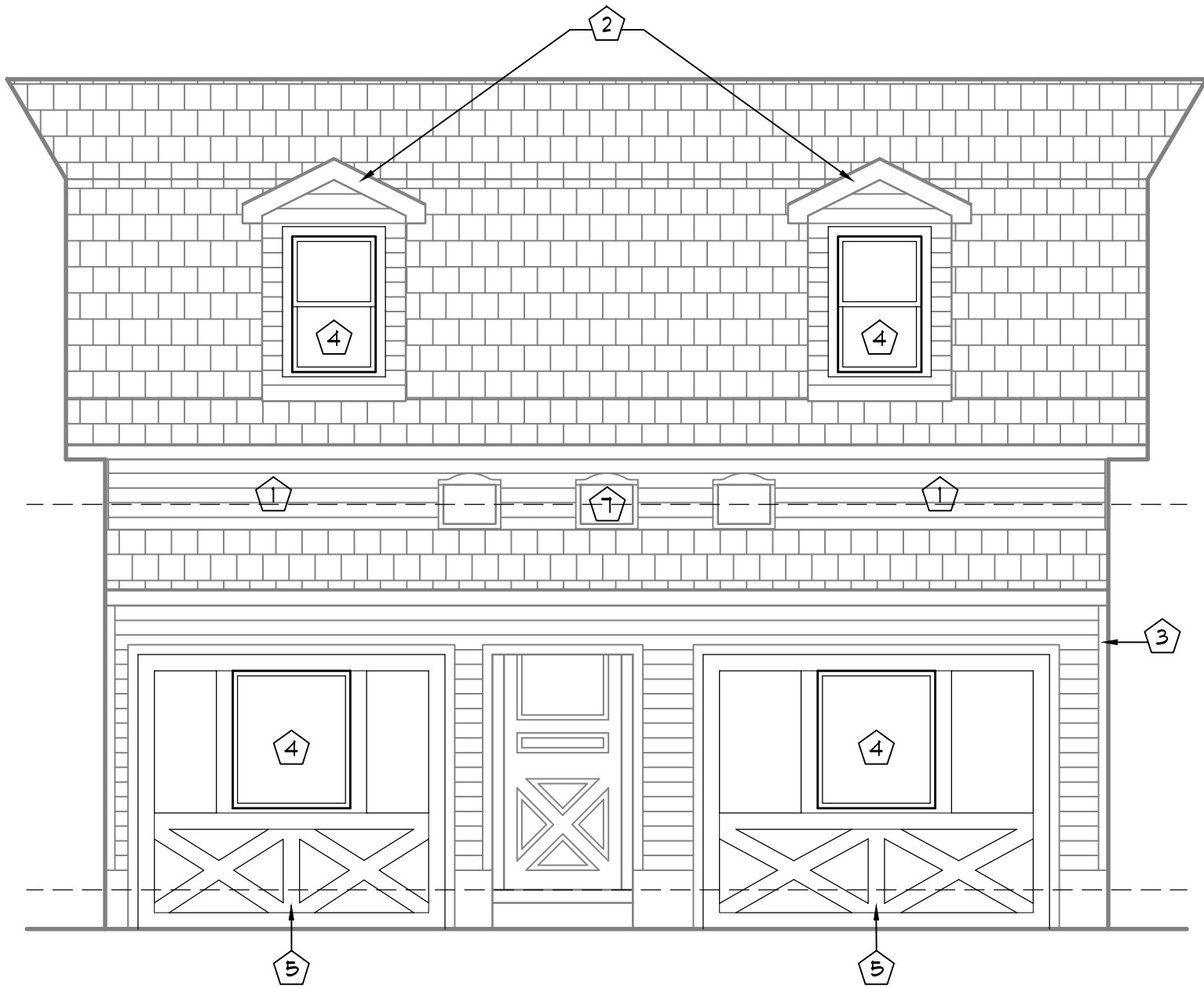
ISSUE	DATE	DESCRIPTION
1	08.02.21	Landmarks Commission

TOP OF ROOF
ELEV. 21'-0"±

2ND FLOOR
ELEV. 10'-10"±

1ST FLOOR
ELEV. 1'-0"±

GRADE
ELEV. 0'-0"

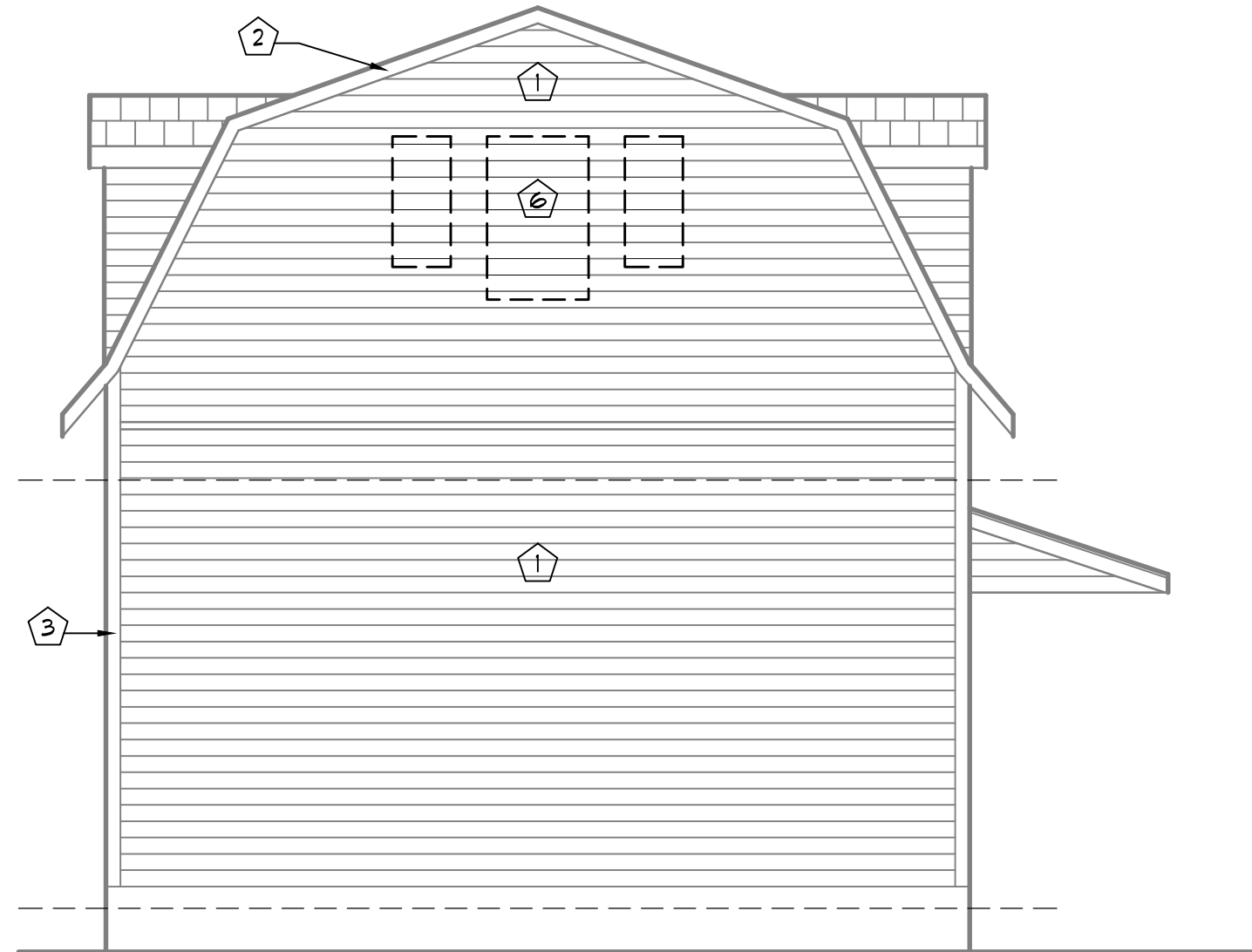


EAST ELEVATION

1/4" = 1'-0"

KEYNOTE LEGEND:

- 1) NEW HARDIBOARD FIBER CEMENT SIDING
- 2) REINSTATE ORIGINAL FASCIA BOARD
- 3) NEW HARDIBOARD FIBER CEMENT TRIM
- 4) NEW ALUMINUM CLAD WINDOW AT EXISTING LOCATION WITH NEW SIZE
- 5) NEW IN-FILLED WALL WITH TRIM AND DETAILING TO REPLICATE GARAGE DOOR
- 6) IN-FILLED WINDOWS COVERED TO MATCH EXTERIOR CONDITIONS
- 7) REINSTATE WINDOW TRIM TO MATCH EXISTING WITH SOLID IN-FILL



SOUTH ELEVATION

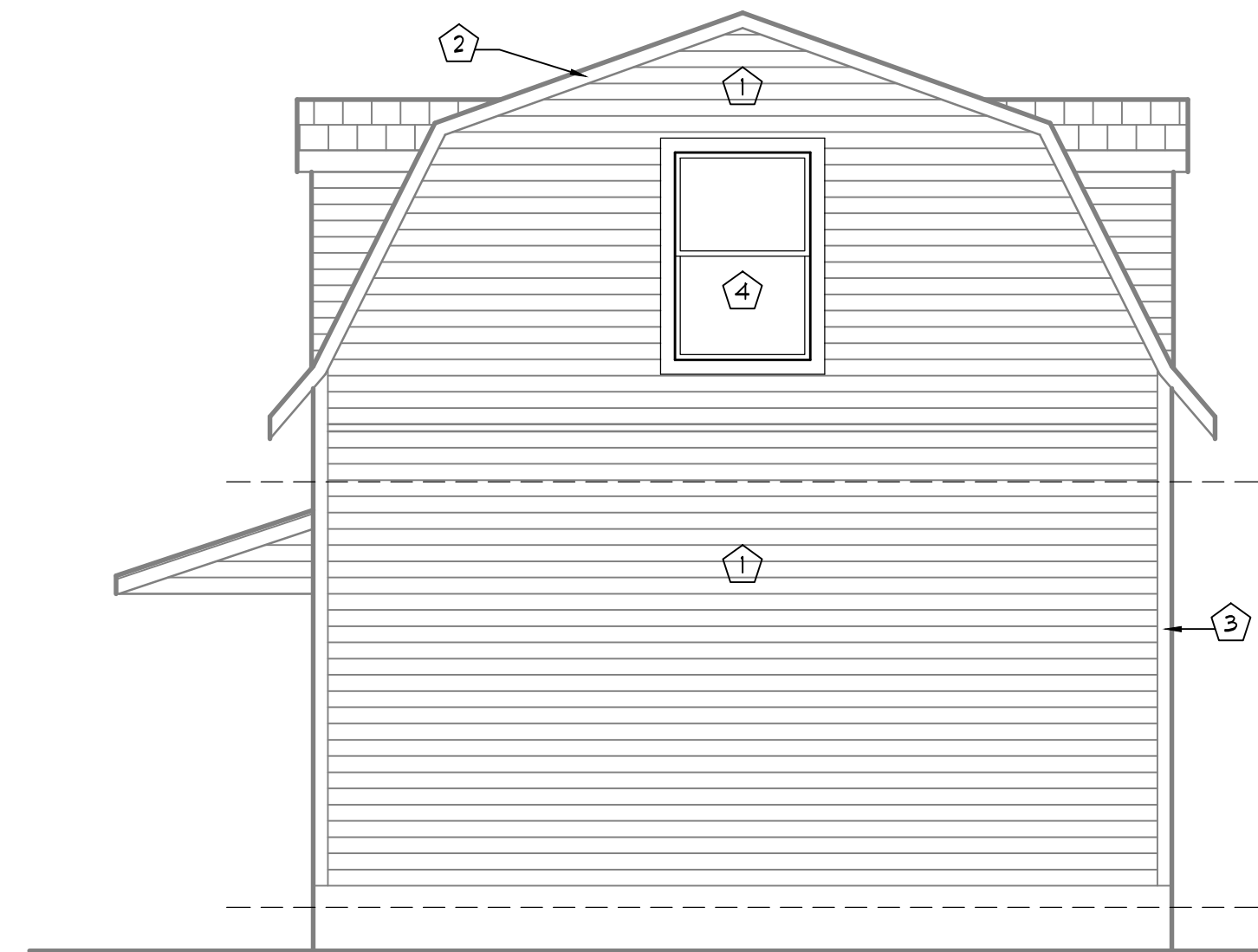
1/4" = 1'-0"

TOP OF ROOF
ELEV. 21'-0"±

2ND FLOOR
ELEV. 10'-10"±

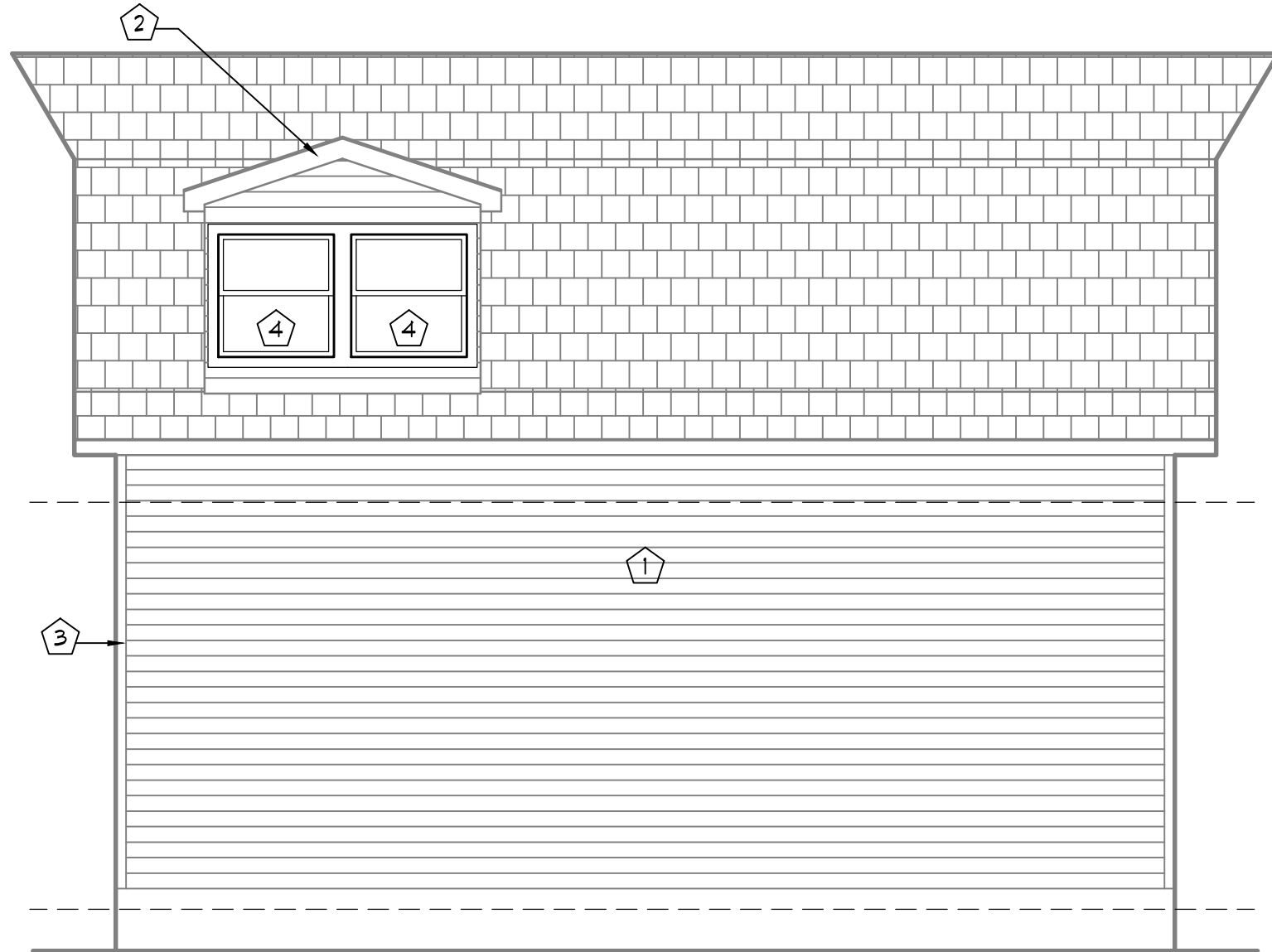
1ST FLOOR
ELEV. 1'-0"±

GRADE
ELEV. 0'-0"



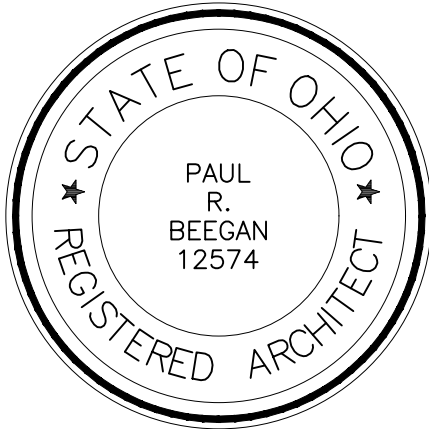
NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



PAUL R. BEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2021

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE
LAKEWOOD, OHIO 44107
WWW.BEEGAN-AD.COM

216.521.9000 PHONE
216.916.4591 FAX
PAUL@BEEGAN-AD.COM

project no. 19-021

1966 Randall Road
Residential Renovations

1966 randall road
cleveland, ohio 44113

Exterior Garage Elevation

A7



Case 21-060: Franklin-West Clinton Historic District (Tabled 7/22/2021)

McPartland Residence 5602 Franklin Boulevard

Driveway and Curb Cut

Ward 15: Spencer

Project Representative: Garrett and Caitlin McPartland, Property Owners



5602 Franklin Blvd. Driveway Proposal

Cleveland Landmarks Commission

Meeting - 8/12/21

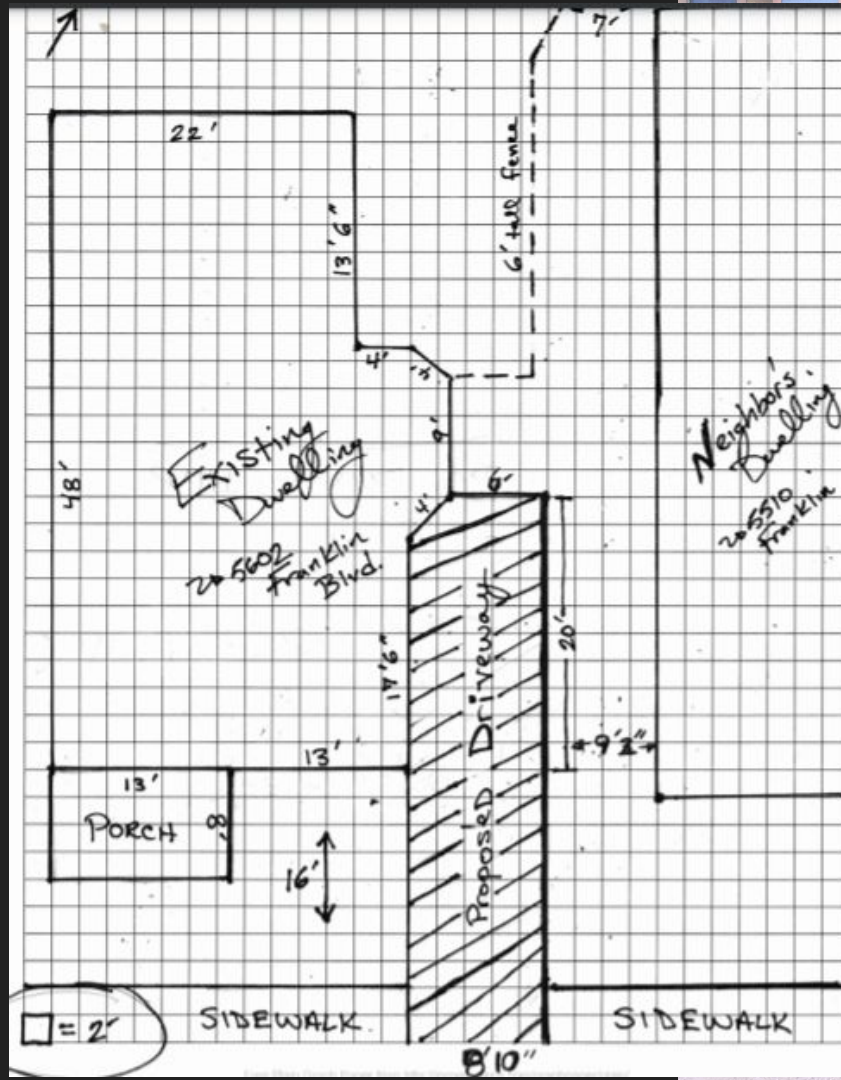
*Proposed driveway stems from:

- Rear accessway no longer providing adequate parking
- Dangers of street parking, experienced 7+ years

*Equitable way to remove hardship without harming character of FWC Historic District or its walkability

Proposal

- 9' x 20' space next to house
 - Leaves 9'2" to 5510 Franklin
- Approved by Design Review Board 7/7/21
- Supported by neighbors
- Maintains standard of parking beyond house line
 - 16' lawn provides space from sidewalk
- In line with existing character of FWC District





Unique Circumstance of Rear Accessway



- Requires easement to the city of Cleveland
- Factors now limiting its function:
 - Steps for 2nd floor apt at 1455 W. 57th
 - Garage at 5604 Franklin tightly borders accessway
- Experienced issues with rear parking:
 - Narrowness - 9'8 at stoop
 - Difficulty entering/exiting property
 - Necessitates using backyard as turnaround
 - Limited visibility
 - Reversing into active accessway
 - Cars, pedestrians, kids at play
 - Approaching W. 57th sidewalk

Variances

- 337.14: *Parking shall be at least 10' from any window wall of a residential structure containing a window*
 - 10" Variance
 - Official boundary survey to follow
 - Ordinance does not reflect the existing construction of several long-standing houses in the Franklin West Clinton Historic District
 - Those deviations contribute to district's character
- 337.23(6): *Parking in the front 50% of the lot is prohibited*
 - There appears to be precedent in the Franklin West Clinton Historic District
 - Explored in slides 5-8
 - Proposal does not violate common usage of driveways
 - Cars consistently parked in front 50% of lot, without impeding sidewalk

5413 FRANKLIN BLVD (south side of our block)

- Parking on side of house, not extending fully to the back of the lot
 - Most of parking area is in front 50% of lot
- Depth off sidewalk comparable to proposal
- Close proximity to western neighbor at 5507 Franklin
 - Paved to within 5'



5706 FRANKLIN BLVD (next block)

- Driveway occupies almost all space between this property and neighboring 5702 Franklin
 - So close the passenger side door cannot fully open
- Typically parked in front 50% of lot, right at house line



5912 W. Clinton Ave. (two blocks away)

- Parking in front 50% of lot on both sides of house
- Driveway on west side separated from neighboring 6002 W. Clinton by a fence and a couple of feet
- One space at side of house fenced off and used for more permanent parking of truck tractor
 - Single space beyond house line used for regular parking



6008 W. Clinton Ave. (two lots further west on Clinton)

- Parking entirely in front 50% of lot
 - Dimensions of parking space are comparable to proposed space on the side of our house
 - Approx. 10' x 25"
 - Space begins at sidewalk
 - However, based on my personal experience, a car here has never disrupted the walkability of the neighborhood



Common Construction & Usage of Driveways in Historic District along Franklin Blvd.

Variances to both 337.14 & 337.23(6) in construction and/or realistic usage

- 58th to 65th: Semi-permanent fencing creating space in front 50% of lot



Common Construction & Usage of Driveways in Historic District along Franklin Blvd.

Variances to both 337.14 & 337.23(6) in construction and/or realistic usage

- 58th to 75th: Widely enjoyed practice of parking in front 50% of lot



Common Construction & Usage of Driveways in Historic District along West Clinton Ave.

Variances to both 337.14 & 337.23(6) in construction and/or realistic usage

- 58th to 65th: Semi-permanent fencing creating parking space in front 50% of lot



Common Construction & Usage of Driveways in Historic District along West Clinton Ave.

Variances to both 337.14 & 337.23(6) in construction and/or realistic usage

- 58th to 65th: Widely enjoyed practice of parking in front 50% of lot



Cleveland Landmarks Commission

Design Review



August 12, 2021

Franklin – West Clinton Landmark District

Design Review Committee

Meeting Motion and Report Form

Gordon Square Arcade, Atrium Conference Room - 6516 Detroit Avenue

Project Number: FWC-2021-06.1 **Committee Meeting Date:** July 7, 2021

Project Name: Proposed Off Street Parking Pad

Project Address: 5602 Franklin Blvd **Landmark Status:** _____

Project Representative(s) Attending: Garrett McPartland

Description of Proposed Work:
(additional notes available upon request)

The homeowner would like to put an off-street parking space next to east side of the house with a new curb cut off Franklin Boulevard. The proposal would require the removal of a tree and a fence. The Proposal is for a 9' wide drive back to a bay window on the side of 5602. This would create a 20' deep parking space past the house's setback. The curb cut would be between two utility poles on the tree lawn off Franklin Blvd. The proposal calls for no incursion on the neighboring property to the east. They are asking for this parking pad in the front of the house because of the inaccessibility of parking in rear due to the narrowness of the alley, proximity of the west neighbor's garage to the alley and the entrance door of the house on the other side of the alley. Safety is the main reason for this request.

Committee Member Discussion:
(additional notes available upon request)

This is a continuation of a tabled discussion that we had at a meeting on May 5, 2021. We offered again a suggestion that a solution could be had by parking in the rear of the lot off the narrow alley. But, as stated above, it does not seem to be a workable solution. Another suggestion was to use an old garage of the neighbor to the east, but that property is in probate court and does not seem like a possibility. In the end a majority of the Committee present agreed that this seemed to be an option we would support.

Motion by Design Review Committee:

A motion was made to approve a 9 ft wide drive with a new curb cut off Franklin Blvd. that would extend back to the bay window on the house, creating a 20 ft deep parking spot on the east side of the property. The motion was approved by a vote of 5 to 1

- ☒ Approved (as presented)
☐ Approved (conceptually)
☐ Approved (with stated conditions)
☐ Disapproved
☐ Tabled

Committee Action: (check box and/or note: 1=motion; 2=seconded; App=Approve; Disapp=Disapprove; Abst.=Abstain; Pres=Present)

McCrickard (Chair) <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Noye <input type="checkbox"/> App <input checked="" type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Wunzin (V. Chair) 1 <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Polichuk <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Fishbaugh <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Sanbury <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Hopcian <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Talley <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Matisak 2 <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	<input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.

Non-Voting members in attendance:

☐ Don Petit ☒ Karl Brunjes ☐ Jenny Spencer ☐ Michael Englehart ☐ Joseph Giuliano ☐ Jamie Miles (CRS)

☐ _____ ☐ _____ ☐ _____ ☐ Others (on reverse)

Chairman's Signature & Date: Jim McPartland July 8, 2021

August 12, 2021



Case 21-056: The Agora (Concept Plan: 7/8/2021)

Agora East Wing 5000 Euclid Avenue

Renovation

Ward 7: B. Jones

Project Representative: Matt Orehek, Jesse Sweigart, Samantha Ayotte (LDA Architecture)



AGORA EAST WING RENOVATION

07.08.2021

Scale:
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AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS

Page 00

TITLE PAGE





07.08.2021

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EXISTING PHOTOS

AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
 RENEW PARTNERS

Page 02





07.08.2021

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EXISTING PHOTOS

AGORA COMPLEX - EAST WING RENOVATION

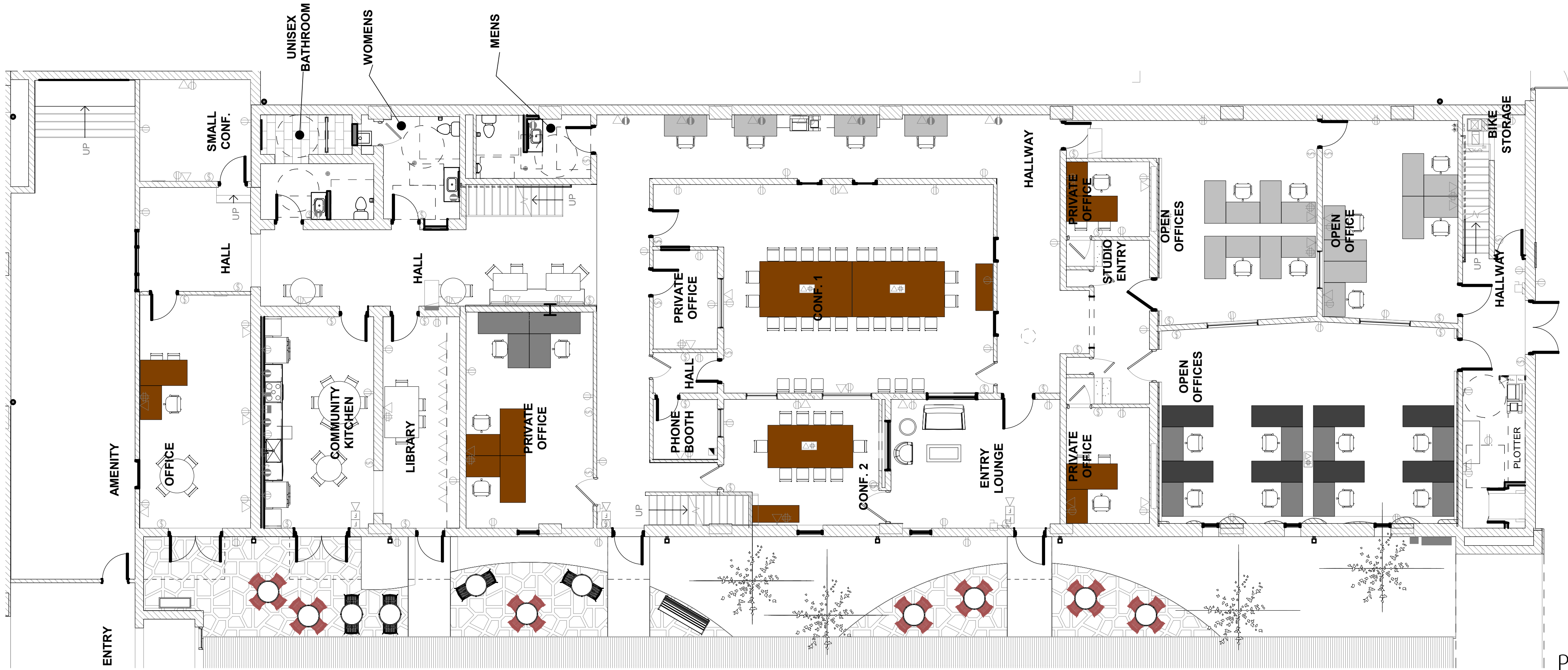
5000 EUCLID AVENUE
 RENEW PARTNERS

Page 03

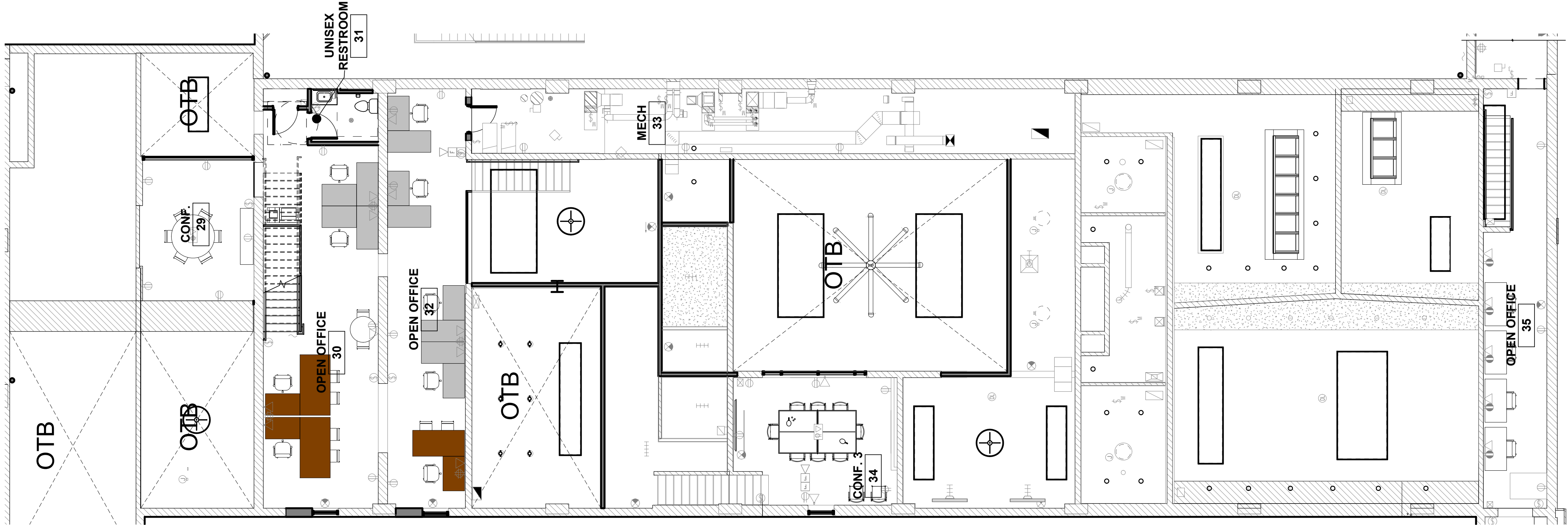


07.08.2021

Scale: 1/8" = 1'-0"
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EAST WING - FIRST FLOOR



EAST WING - SECOND FLOOR

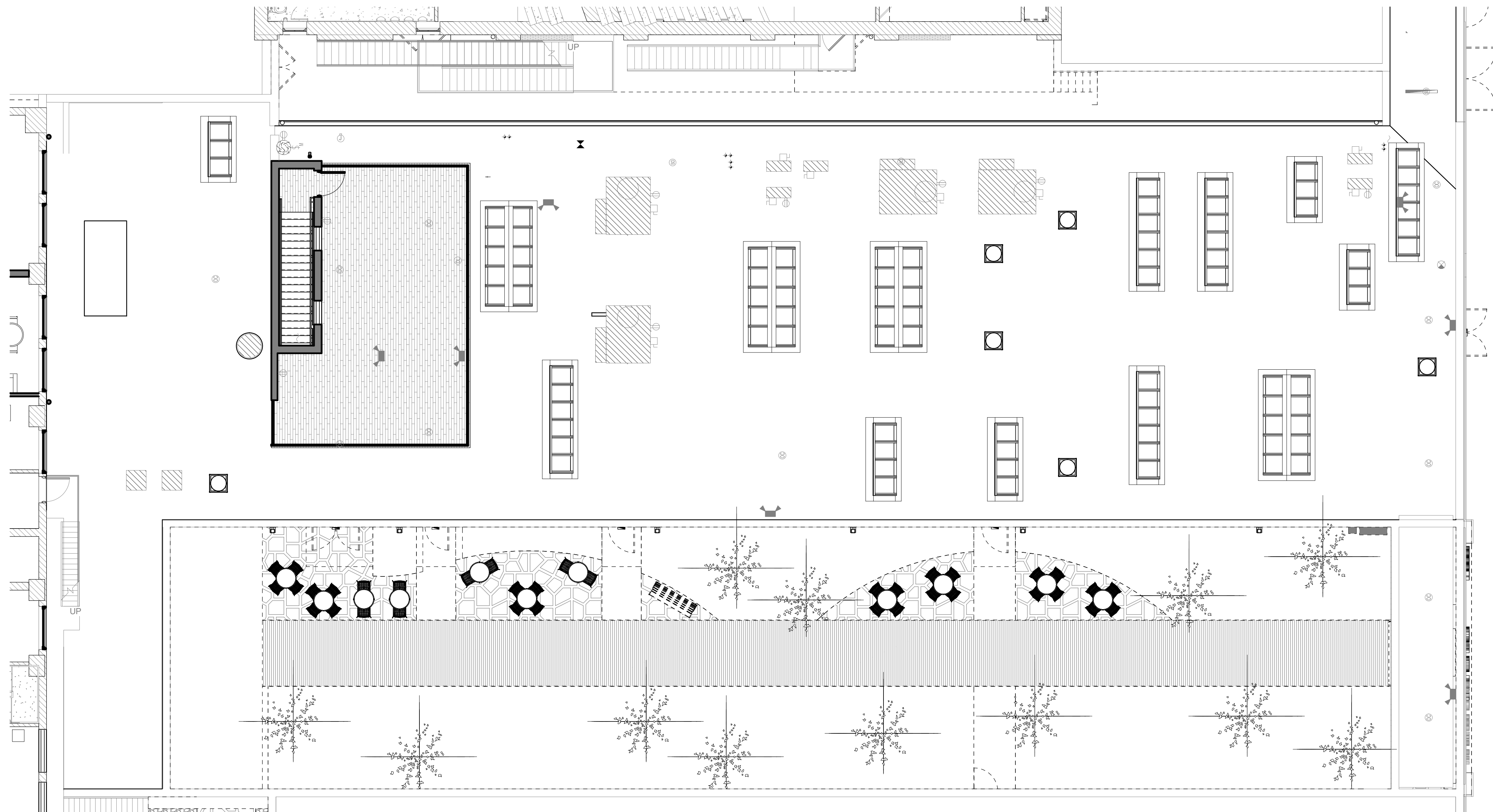
PHASE 1 - FLOOR PLANS EAST WING

AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS

Page 05





ROOF PLAN

07.08.2021

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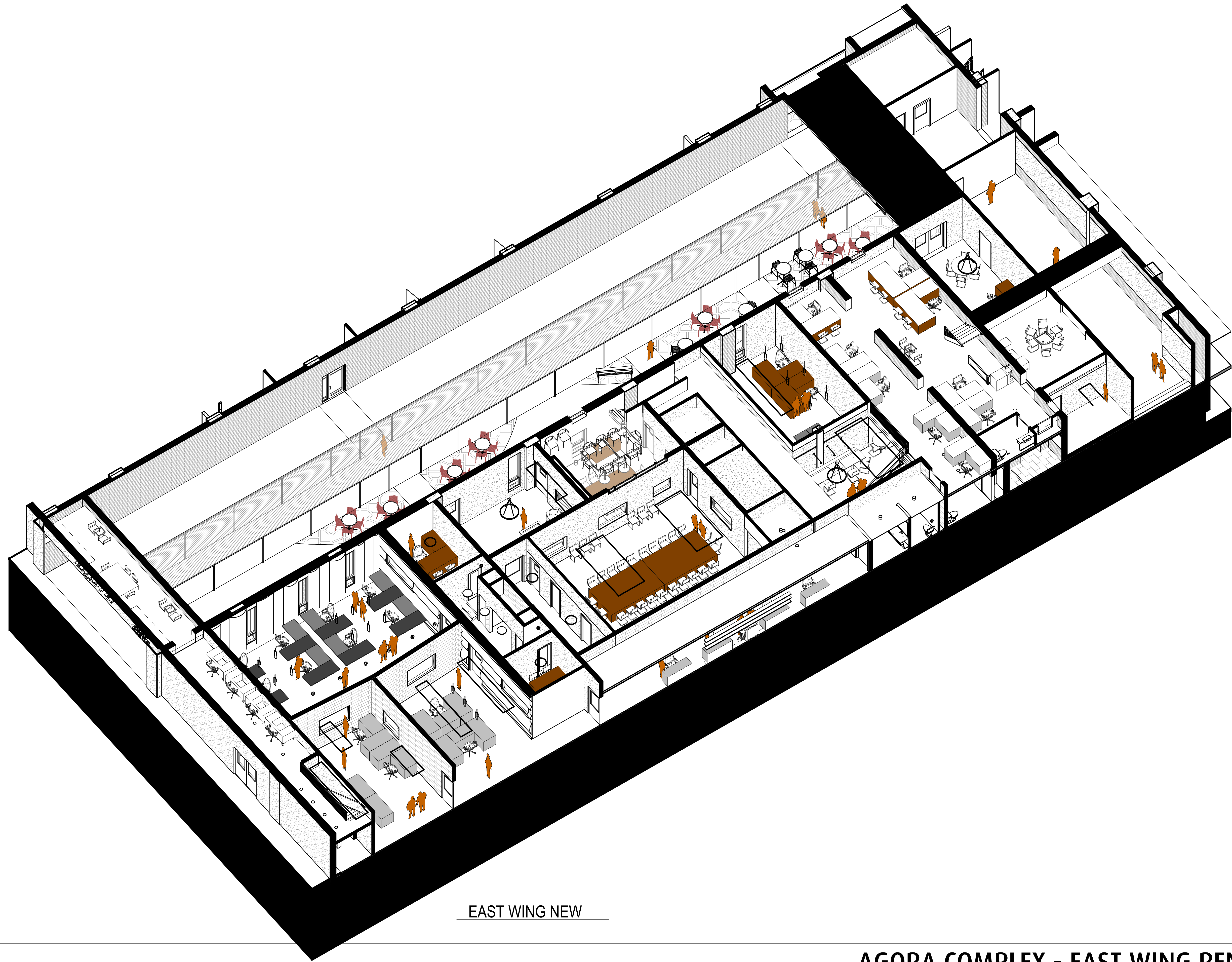
PHASE 1 - ROOF PLAN

AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
 RENEW PARTNERS

Page 06





EAST WING NEW

07.08.2021

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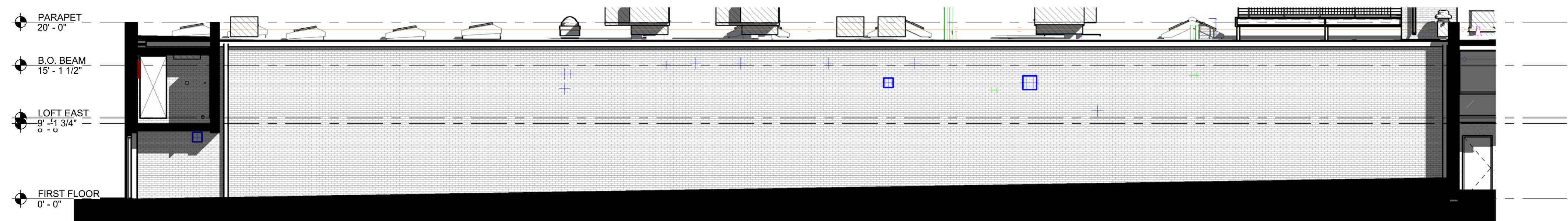
AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS

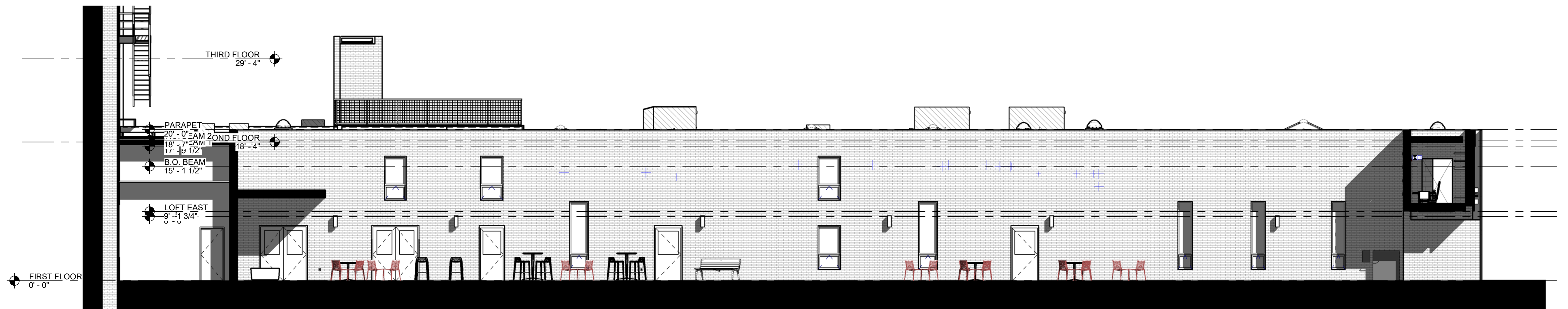
Page 07

PHASE 1 - AXON PLANS





EAST ELEVATION 2



WEST ELEVATION 1



SOUTH ELEVATION

07.08.2021

Scale: 1/8" = 1'-0"
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PHASE 1 - ELEVATIONS

AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS

Page 08





SOUTH ELEVATION TOWER

07.08.2021

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PHASE 1 - ELEVATIONS

AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS

Page 09





SW 2839 - ROYCROFT
COPPER RED



SW 2849 -
WESTCHESTER GRAY



SW 2850 - CHELSEA
GRAY



QUAKER WINDOWS -
LIGHT BRONZE
ANODIZED



07.08.2021

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AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE

RENEW PARTNERS

Page P1

AERIAL





SW 2839 - ROYCROFT
COPPER RED



SW 2849 -
WESTCHESTER GRAY



SW 2850 - CHELSEA
GRAY



QUAKER WINDOWS -
LIGHT BRONZE
ANODIZED



07.08.2021

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AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS
Page P2

SOUTH FACADE





SW 2839 - ROYCROFT
COPPER RED



SW 2849 -
WESTCHESTER GRAY



SW 2850 - CHELSEA
GRAY



QUAKER WINDOWS -
LIGHT BRONZE
ANODIZED



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AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS

Page P3

SOUTH FACADE - TOWER





SW 2839 - ROYCROFT
COPPER RED



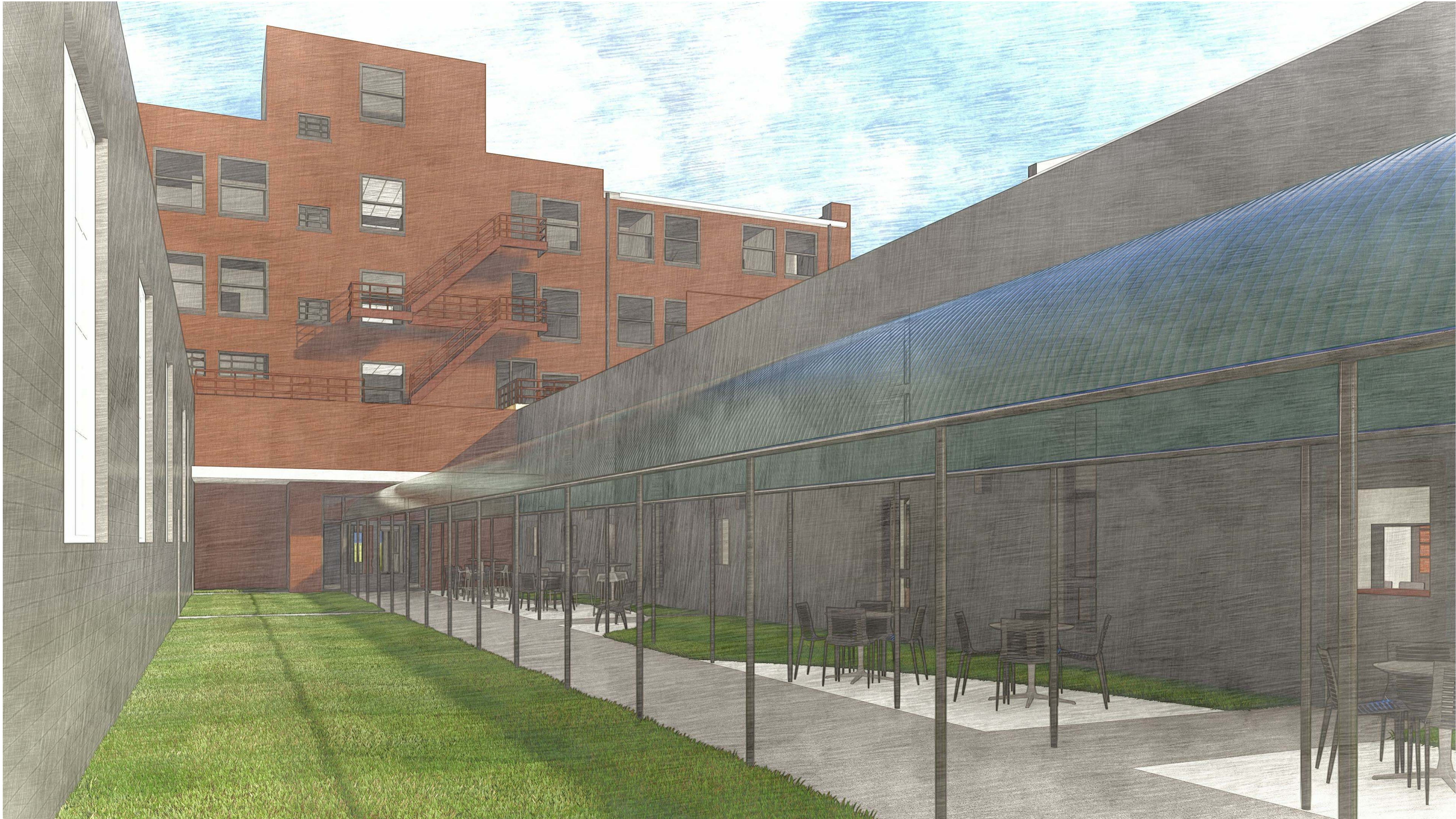
SW 2849 -
WESTCHESTER GRAY



SW 2850 - CHELSEA
GRAY



QUAKER WINDOWS -
LIGHT BRONZE
ANODIZED



07.08.2021

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AGORA COMPLEX - EAST WING RENOVATION

5000 EUCLID AVENUE
RENEW PARTNERS
Page P4

Cleveland Landmarks Commission

Concept Plan



August 12, 2021



Case 21-064: Franklin-West Clinton Historic District

5901 Franklin Boulevard

Addition

Ward 15: Spencer

Project Representative: Matt Orehek, Samantha Ayotte, Dominick Durante (LDA Architecture);
Michael Laskey (Salus Development)



Case 21-065: Franklin-West Clinton Historic District

5901 Franklin Boulevard

Demolition of an Automobile Repair Garage

Ward 15: Spencer

Project Representative: Matt Orehek, Samantha Ayotte, Dominick Durante (LDA Architecture); Michael Laskey (Salus Development)



LASKEY RESIDENCE | SITE & AMENITY IMPROVEMENTS
5901 FRANKLIN BOULEVARD, CLEVELAND, OH

07.14.2021

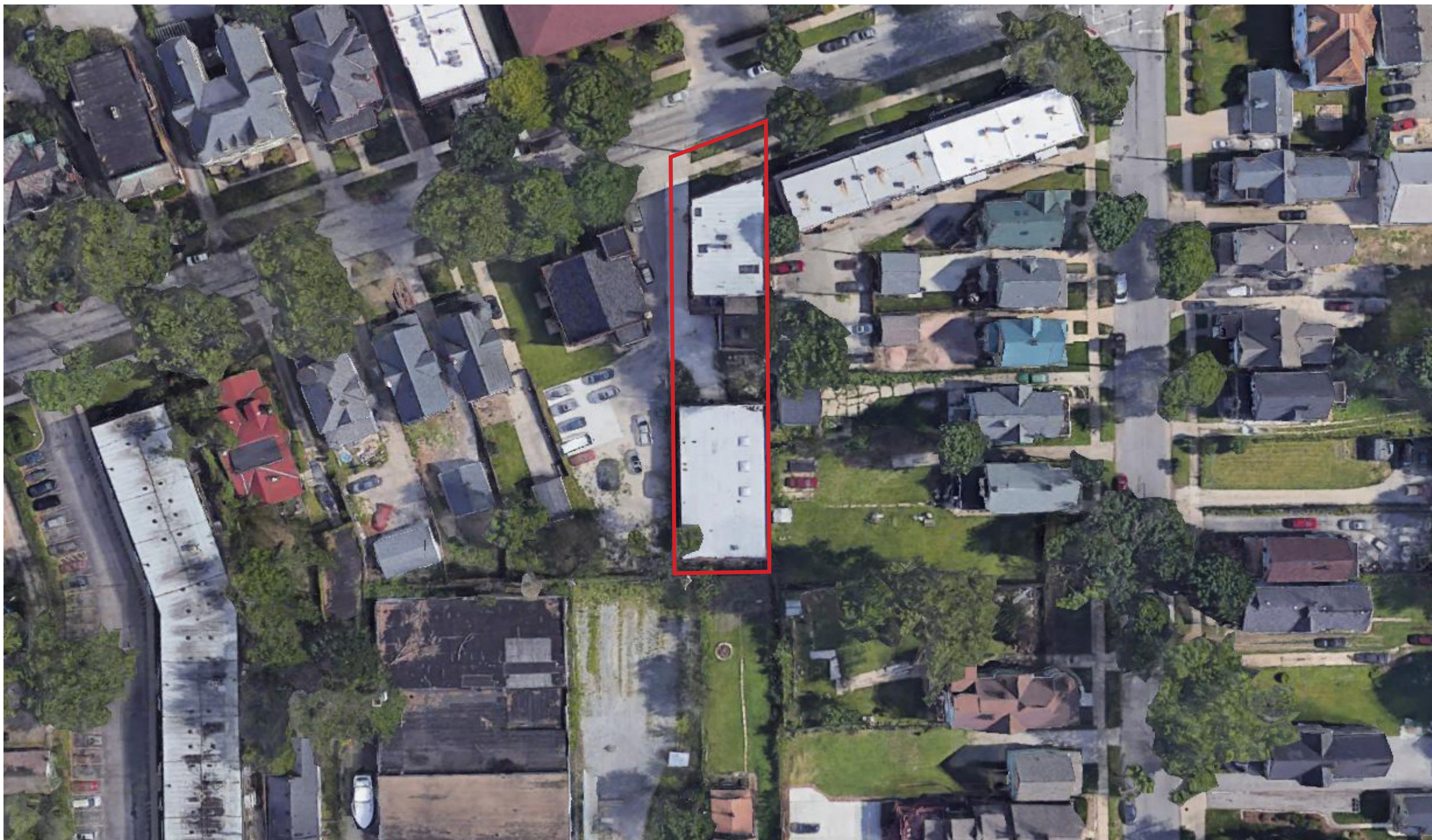




SITE

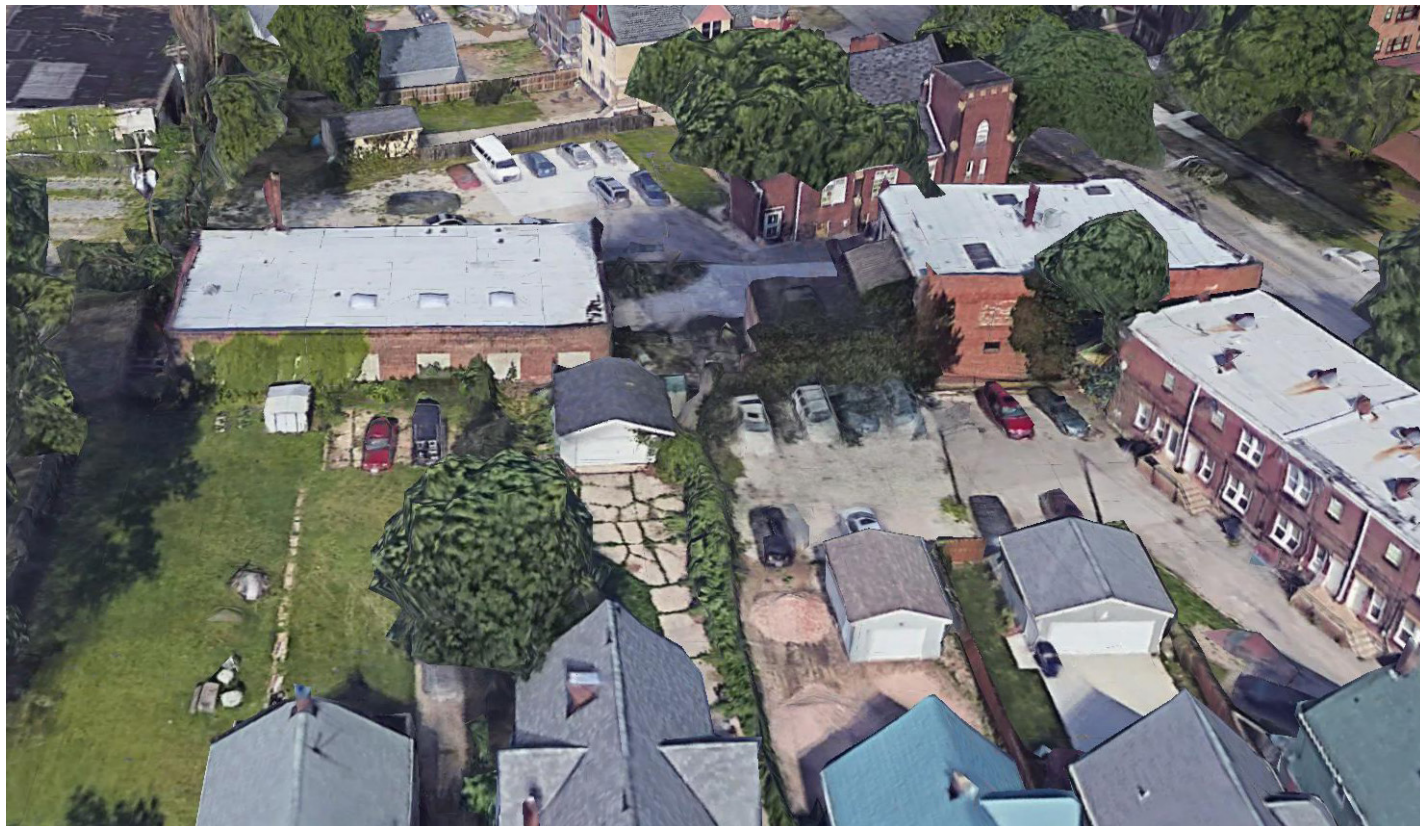
LASKEY RESIDENCE
PAGE 2 OF 14





EXISTING AREA CONTEXT

LASKEY RESIDENCE
PAGE 3 OF 14



EXISTING AREA CONTEXT

LASKEY RESIDENCE
PAGE 4 OF 14





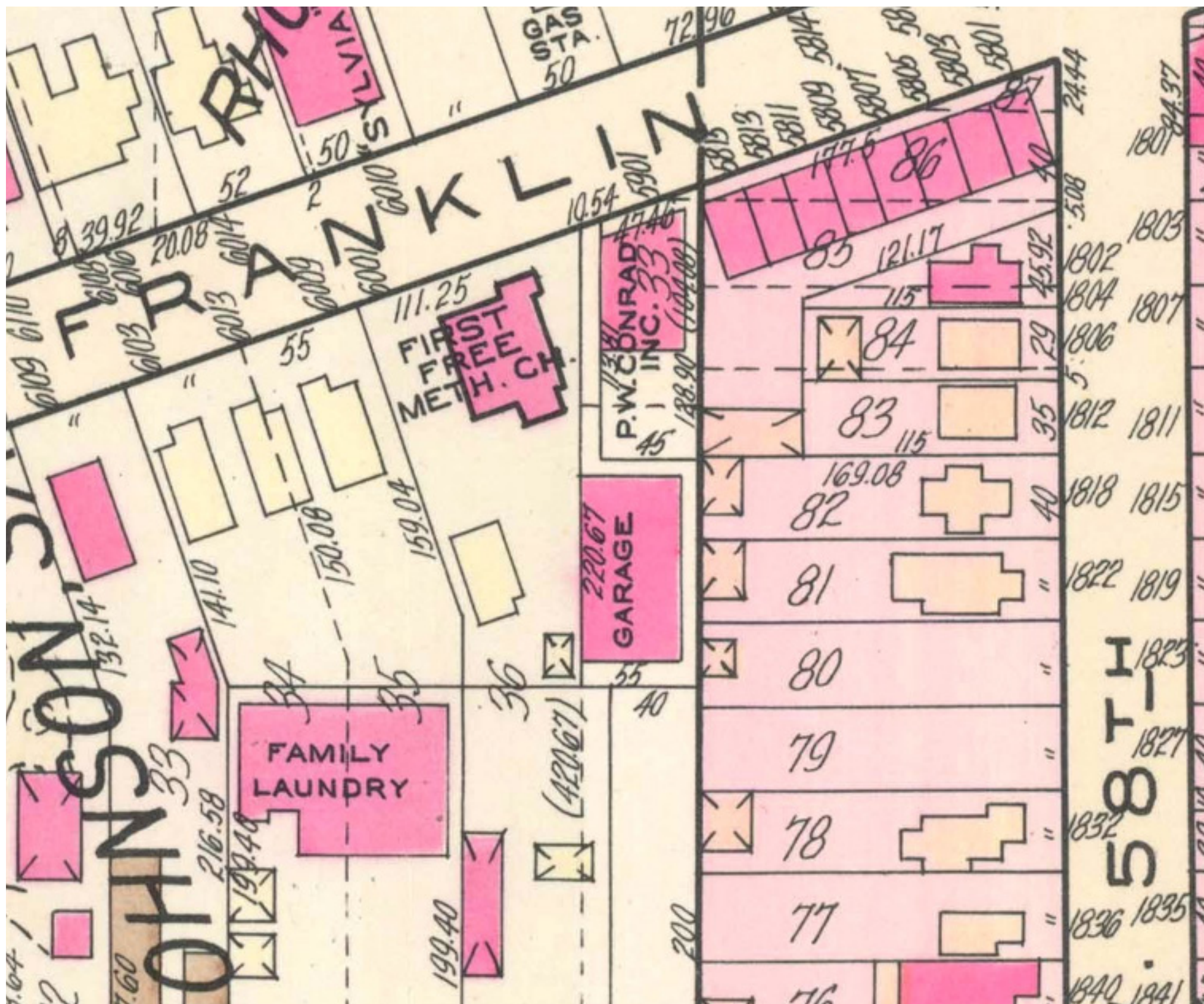
ILLES BUILDING

LASKEY RESIDENCE
PAGE 5 OF 14



GARAGE STRUCTURE | EXISTING CONDITIONS

LASKEY RESIDENCE
PAGE 6 OF 14



HISTORIC APPLICABILITY

LASKEY RESIDENCE
PAGE 7 OF 14

LOCAL LANDMARKS DISTRICT

FRANKLIN-WEST CLINTON

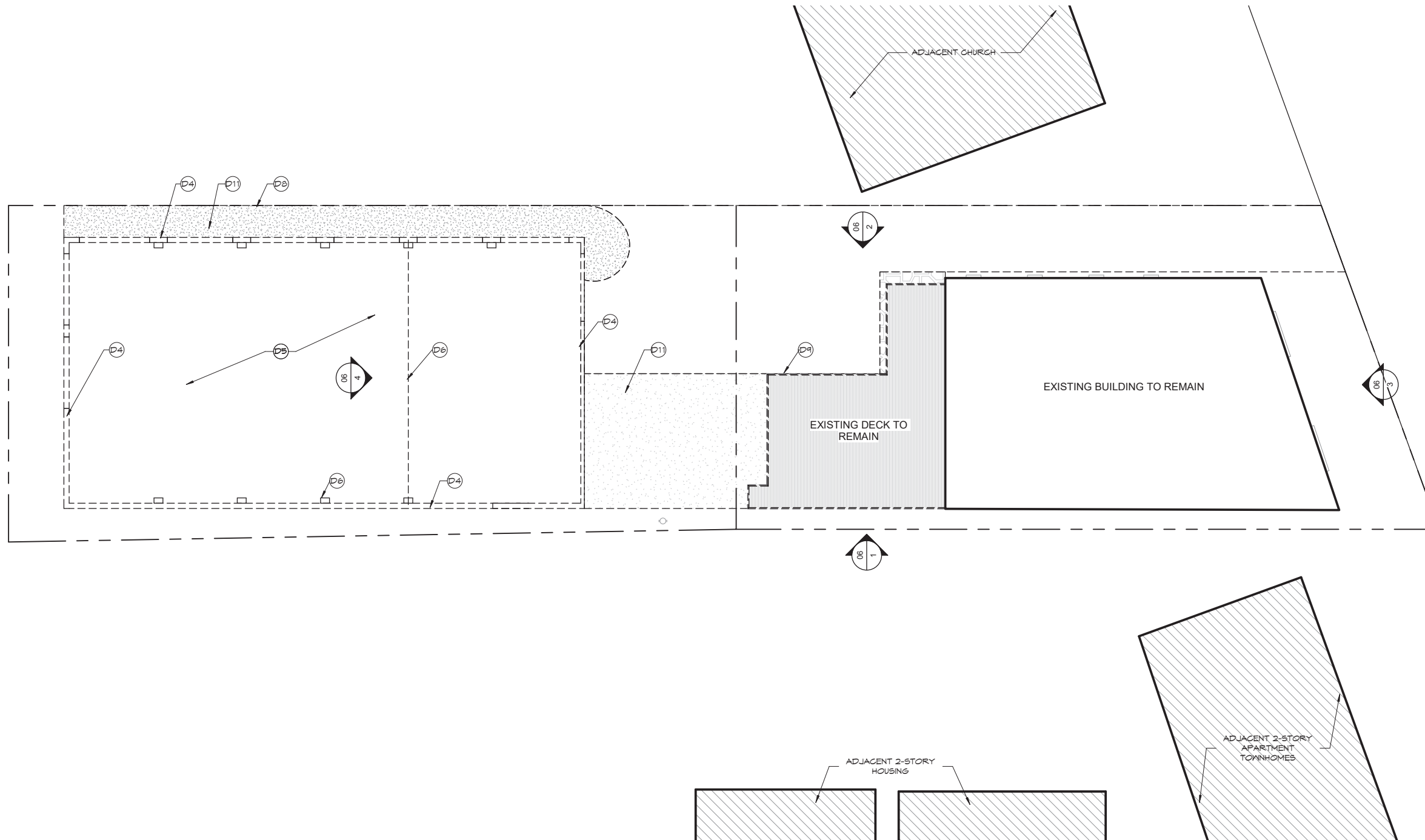
NATIONAL HISTORIC DISTRICT

FRANKLIN BOULEVARD-WEST CLINTON AVENUE HISTORIC DISTRICT (+BOUNDARY INCREASE)

The Illes Building is noted as a contributing building in the National Register of Historic Places Designation.

- The garage structure, which is proposed for demolition, is not noted.





SITE PLAN GENERAL NOTES

1. GENERAL CONTRACTOR TO PREVENT DAMAGE TO EXISTING CONDITIONS TO REMAIN. PROTECT EXISTING TREES AND VEGETATION TO REMAIN. PROTECT EXISTING UTILITIES. DO NOT STOCKPILE MATERIALS OR RESTRICT TRAFFIC WITHIN DRIP LINE OF EXISTING TREES TO REMAIN. PROVIDE AND MAINTAIN TEMPORARY GUARDS TO ENCIRCLE TREES OR GROUPS OF TREES TO REMAIN; OBTAIN APPROVAL BEFORE BEGINNING WORK.

2. REMOVE ANY STUMPS AND DEBRIS. REMOVE BELOW GRADE AT LEAST 12" BELOW FINISH GRADE AND TO THE EXTENT NECESSARY SO AS NOT TO INTERFERE WITH NEW CONSTRUCTION. REMOVE ABANDONED MECHANICAL, ELECTRICAL, AND PLUMBING WORK AS REQUIRED.

3. PREVENT EROSION AND SILTATION OF PAVEMENT, CATCH BASINS AND PIPING. CONTROL WINDBLOWN DUST. REMOVE WASTE MATERIALS AND UNSUITABLE SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.

4. PROVIDE FINISHED GRADING, INCLUDING TOP SOIL. LANDSCAPING (PLANTING AND HARDSCAPE) IS NOT IN THE SCOPE OF WORK. PROVIDE GRASS SEEDING IN AREAS NOT TO BE USED FOR PLANTING.

5. SLOPE GRADE AWAY FROM BUILDING, TYP.

6. THIS PLAN IS A REPRESENTATION OF DESIGN INTENT ONLY AND AS SUCH DENOTES VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL SHOP DRAWINGS WHICH WILL INDICATE MECHANICAL, ELECTRICAL, AND STRUCTURAL DESIGN APPROPRIATE TO ENSURE DESIGN INTENT IS MET.

7. CODE: ALL CONSTRUCTION SHALL CONFORM TO 2017 OBC AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES AND SHALL REPORT ALL POTENTIAL CONFLICTS WITH THE PROPOSED UTILITIES, UTILITY RIGHT OF WAYS, ETC. TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.

9. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING FIELD CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN THE SITE STAKING PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. SHOULD DISCREPANCIES OCCUR, THE SURVEYOR IS RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT OF SUCH DISCREPANCIES BEFORE CONSTRUCTION BEGINS.

10. ALL ITEMS LABELED AS "EXISTING" ARE TO BE PROTECTED DURING CONSTRUCTION AND REMAIN UNLESS INDICATED OTHERWISE.

11. CONTRACTOR TO CLEAN ALL EXCESS MATERIALS AND PROPERLY DISPOSE OF ALL WASTE MATERIALS.

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL 

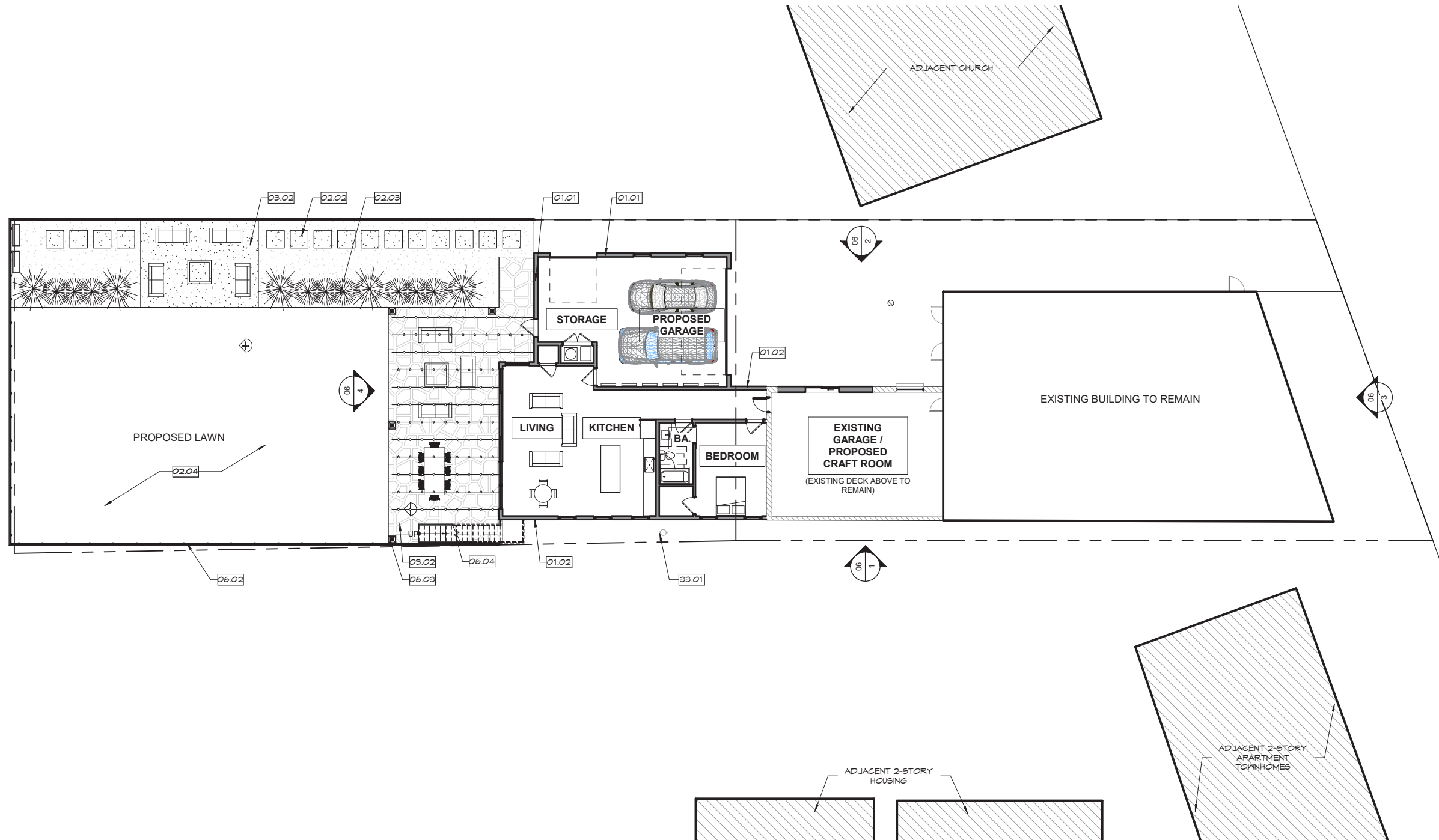
TYPICAL UNLESS NOTED OTHERWISE

- D4 REMOVE WALL IN ITS ENTIRETY AS INDICATED, TYP. COORDINATE WITH LOCATION OF NEW CONSTRUCTION.
- D5 REMOVE EXISTING SLAB ON GRADE AND PREPARE FOR LANDSCAPING.
- D6 REMOVE ALL EXISTING STRUCTURAL COLUMNS AND FRAMING IN THEIR ENTIRETY.
- D8 REMOVE EXISTING FENCING.
- D9 REMOVE EXISTING RAILING.
- D11 REMOVE EXISTING GRASS FOR PROPOSED PARKING LOT EXTENSION.

DEMOLITION SITE PLAN

LASKEY RESIDENCE

PAGE 8 OF 14



SITE PLAN GENERAL NOTES

1. GENERAL CONTRACTOR TO PREVENT DAMAGE TO EXISTING CONDITIONS TO REMAIN. PROTECT EXISTING TREES AND VEGETATION TO REMAIN. PROTECT EXISTING UTILITIES. DO NOT STOCKPILE MATERIALS OR RESTRICT TRAFFIC WITHIN DRIP LINE OF EXISTING TREES TO REMAIN. PROVIDE AND MAINTAIN TEMPORARY GUARDS TO ENCRICLE TREES OR GROUPS OF TREES TO REMAIN; OBTAIN APPROVAL BEFORE BEGINNING WORK.

2. REMOVE ANY STUMPS AND DEBRIS. REMOVE BELOW GRADE AT LEAST 12" BELOW FINISH GRADE AND TO THE EXTENT NECESSARY SO AS NOT TO INTERFERE WITH NEW CONSTRUCTION. REMOVE ABANDONED MECHANICAL, ELECTRICAL, AND PLUMBING WORK AS REQUIRED.

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4. PROVIDE FINISHED GRADING, INCLUDING TOP SOIL. LANDSCAPING (PLANTING AND HARDSCAPE) IS NOT IN THE SCOPE OF WORK. PROVIDE GRASS SEEDING IN AREAS NOT TO BE USED FOR PLANTING.

5. SLOPE GRADE AWAY FROM BUILDING. TYP.

6. THIS PLAN IS A REPRESENTATION OF DESIGN INTENT ONLY AND AS SUCH DENOTES VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL SHOP DRAWINGS WHICH WILL INDICATE MECHANICAL, ELECTRICAL, AND STRUCTURAL DESIGN APPROPRIATE TO ENSURE DESIGN INTENT IS MET.

7. CODE: ALL CONSTRUCTION SHALL CONFORM TO 2017 OBC AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES AND SHALL REPORT ALL POTENTIAL CONFLICTS WITH THE PROPOSED UTILITIES, UTILITY RIGHT OF WAYS, ETC. TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.

9. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING FIELD CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN THE SITE STAKING PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. SHOULD DISCREPANCIES OCCUR, THE SURVEYOR IS RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT OF SUCH DISCREPANCIES BEFORE CONSTRUCTION BEGINS.

10. ALL ITEMS LABELED AS "EXISTING" ARE TO BE PROTECTED DURING CONSTRUCTION AND REMAIN UNLESS INDICATED OTHERWISE.

11. CONTRACTOR TO CLEAN ALL EXCESS MATERIALS AND PROPERLY DISPOSE OF ALL WASTE MATERIALS.

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

01.01 TYPICAL EXTERIOR WALL CONSTRUCTION
TYPE 1: 5/8" GYPSUM BOARD (INTERIOR) ON 2X6 WOOD STUDS @ 16" O.C. w/ WOOD SHEATHING AND METAL PANEL RAINSCREEN ON EXTERIOR.

01.02 TYPICAL EXTERIOR WALL CONSTRUCTION
TYPE 1: 5/8" GYPSUM BOARD (INTERIOR) ON 2X6 WOOD STUDS @ 16" O.C. w/ WOOD SHEATHING AND HORIZONTAL WOOD RAINSCREEN ON EXTERIOR.

02.02 PROVIDE NEW STONE PAVERS.

02.03 PROVIDE NEW LOW MAINTENANCE LANDSCAPING.

02.04 PROVIDE NEW LOW MAINTENANCE LAWN.

03.02 NEW STAMPED CONCRETE PATIO.

06.02 PROVIDE NEW HORIZONTAL WOOD SLAT PRIVACY FENCE.

06.03 NEW WOOD COLUMN WITH STONE BASE.

06.04 NEW WOOD STAIR.

33.01 EXISTING UTILITY POLE TO REMAIN.



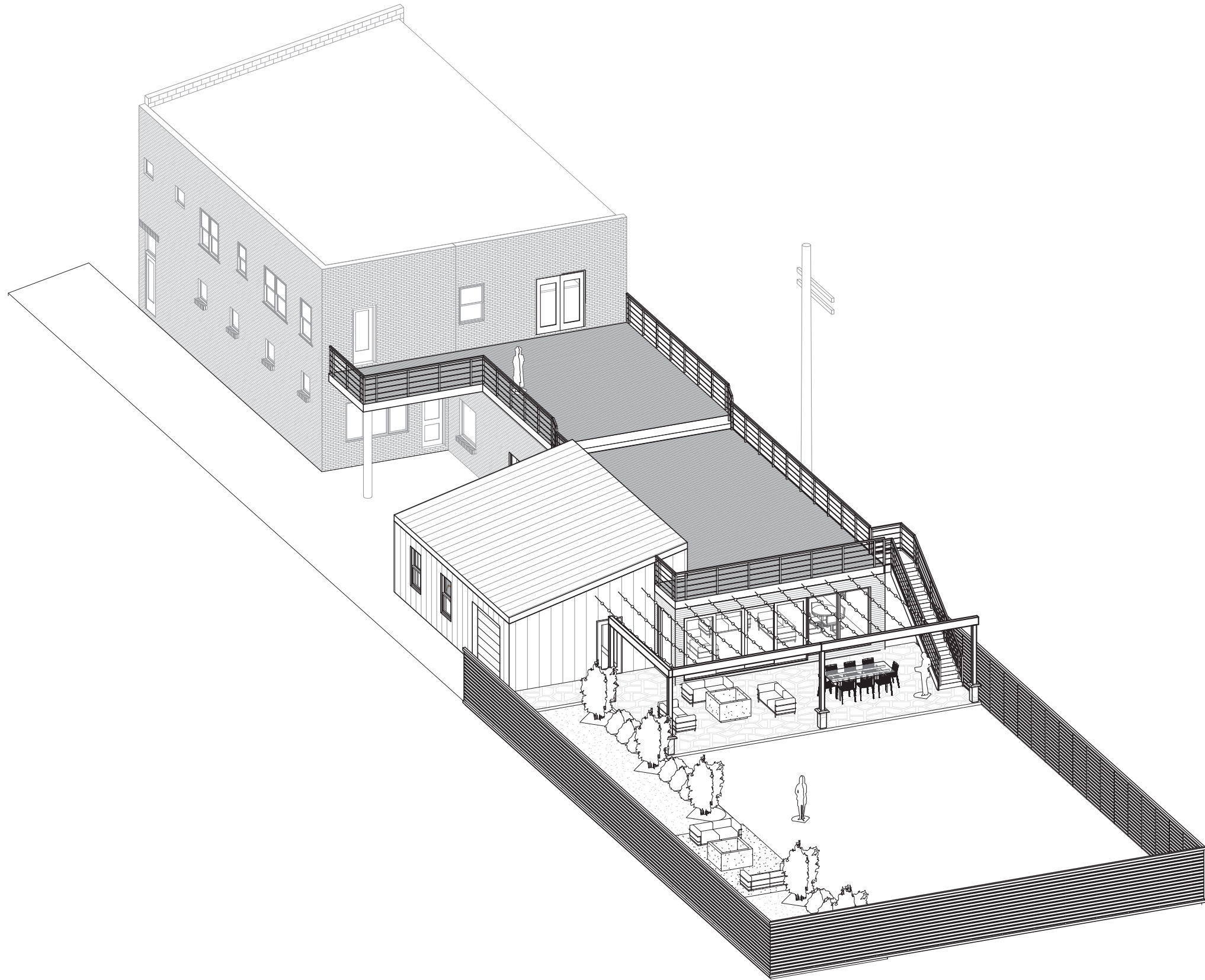
1,833 SQ. FT.

PROPOSED SITE PLAN

LASKEY RESIDENCE

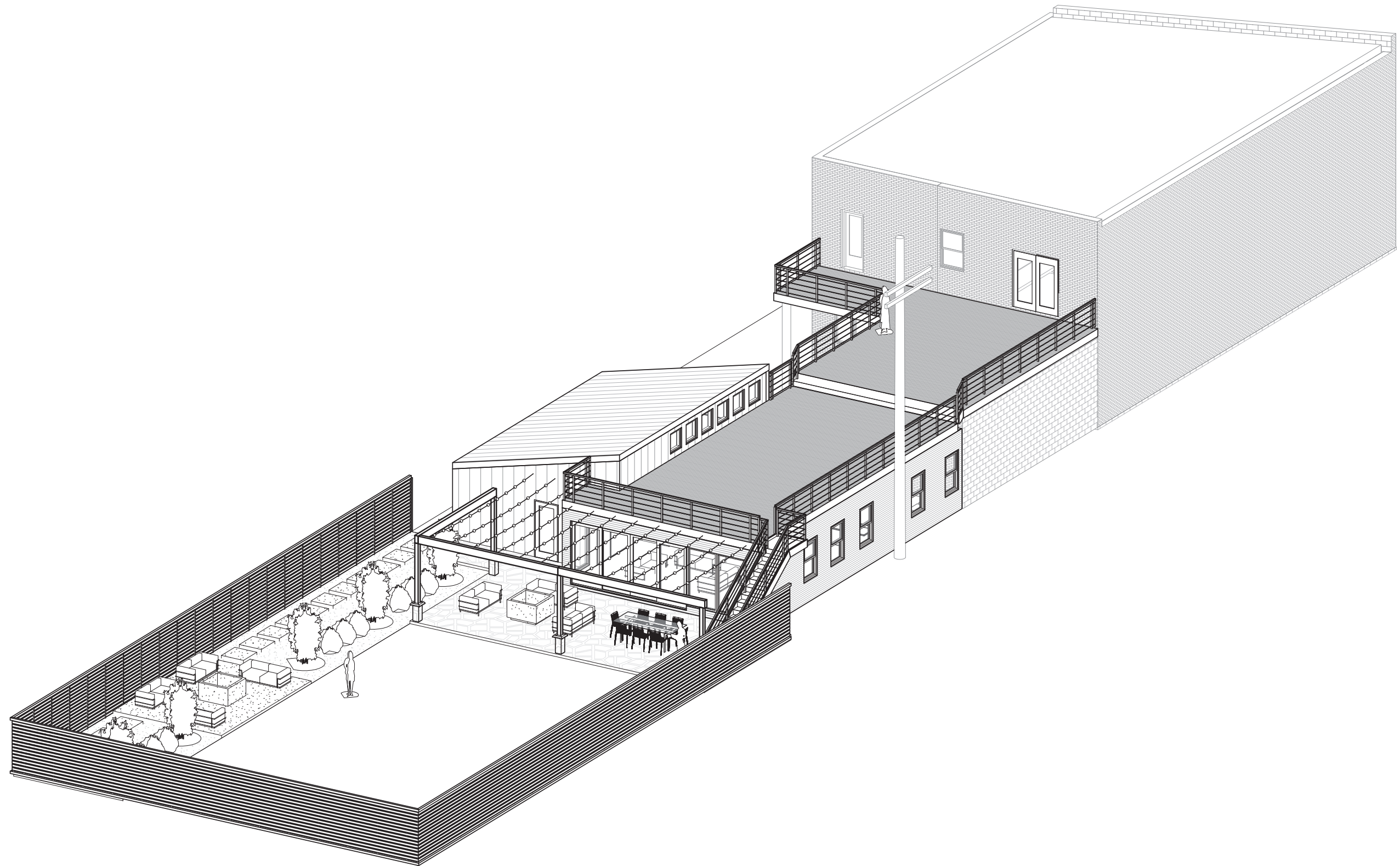
PAGE 9 OF 14





PERSPECTIVE VIEW

LASKEY RESIDENCE
PAGE 10 OF 14



PERSPECTIVE VIEW

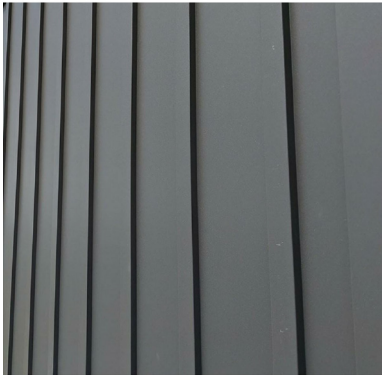
LASKEY RESIDENCE
PAGE 11 OF 14



PERSPECTIVE VIEW

LASKEY RESIDENCE
PAGE 12 OF 14

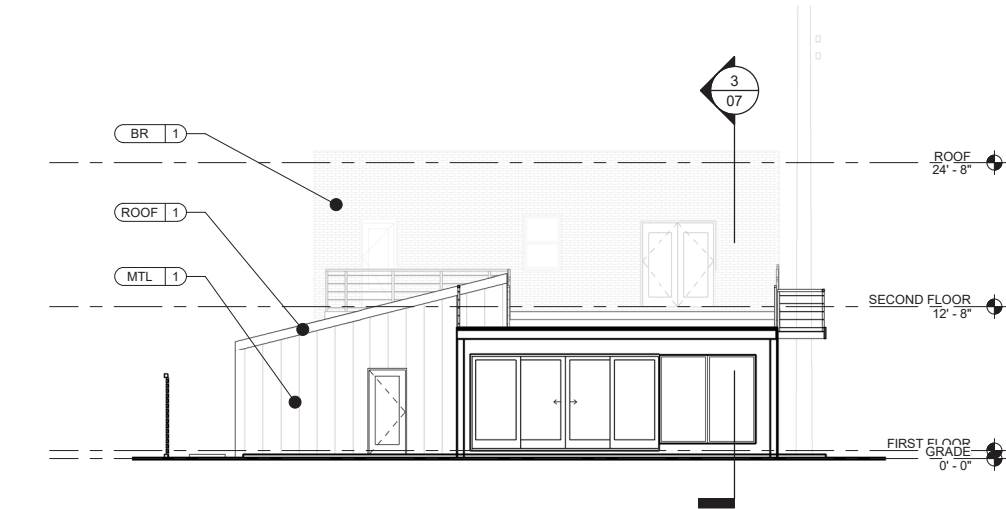
EXTERIOR FINISH SCHEDULE					
SYMBOL		MATERIAL	MANUFACTURER	STYLE	COLOR
KEY	#				
BR	1	EXISTING TO REMAIN			
CMU	1	EXISTING TO REMAIN			
MTL	1	METAL PANEL SIDING	TBD		CHARCOAL GRAY
ROOF	1	STANDING SEAM METAL ROOF	TBD		CHARCOAL GRAY
WD	1	WOOD RAINSCREEN	TBD		CEDAR WOOD



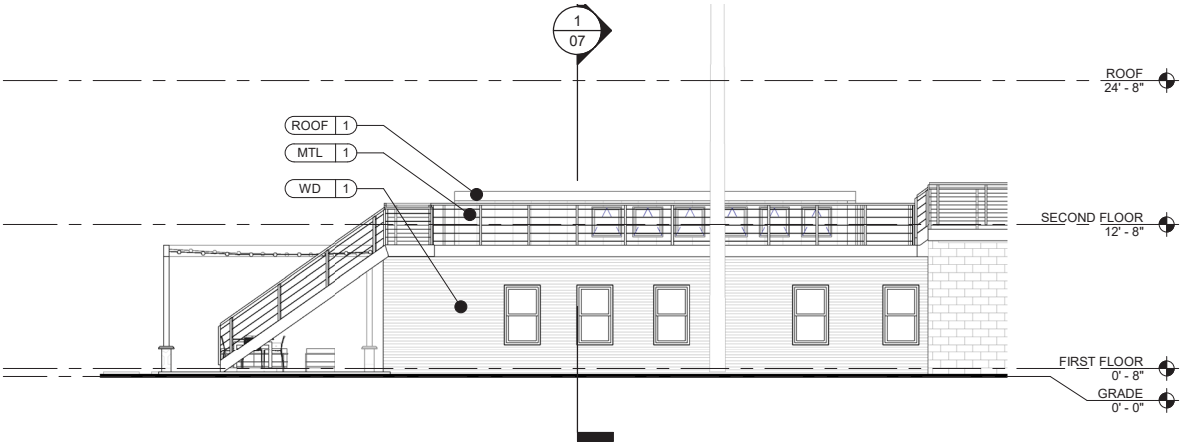
Charcoal Gray Board and Batten Metal Paneling (Standing Seam Metal Roof to match)



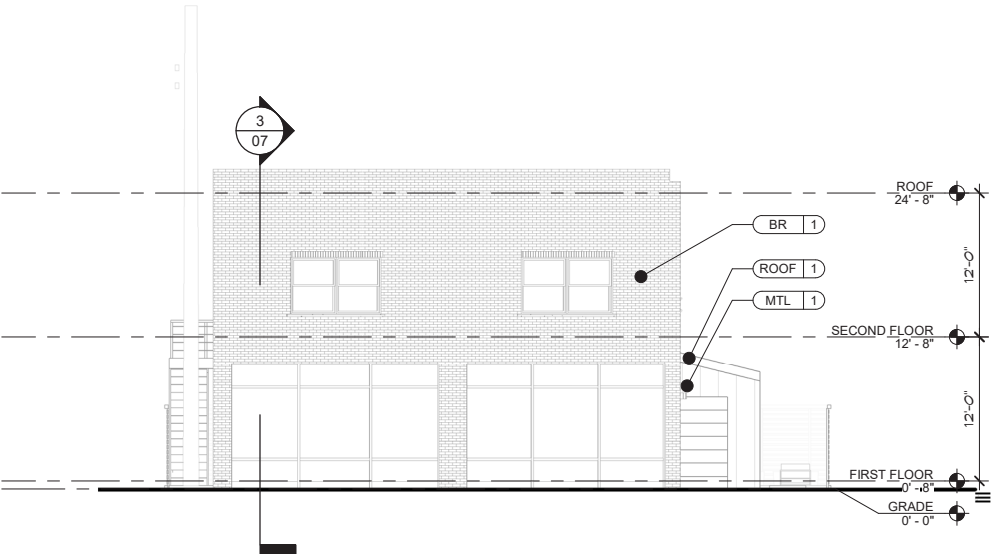
Horizontal Wood Slat Rainscreen in Cedar



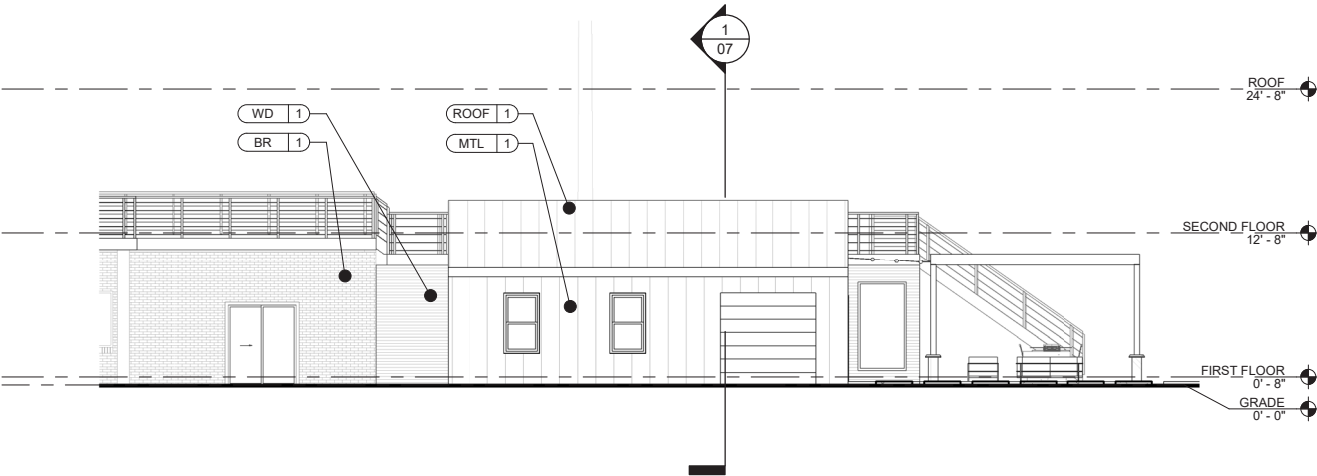
SOUTH ELEVATION



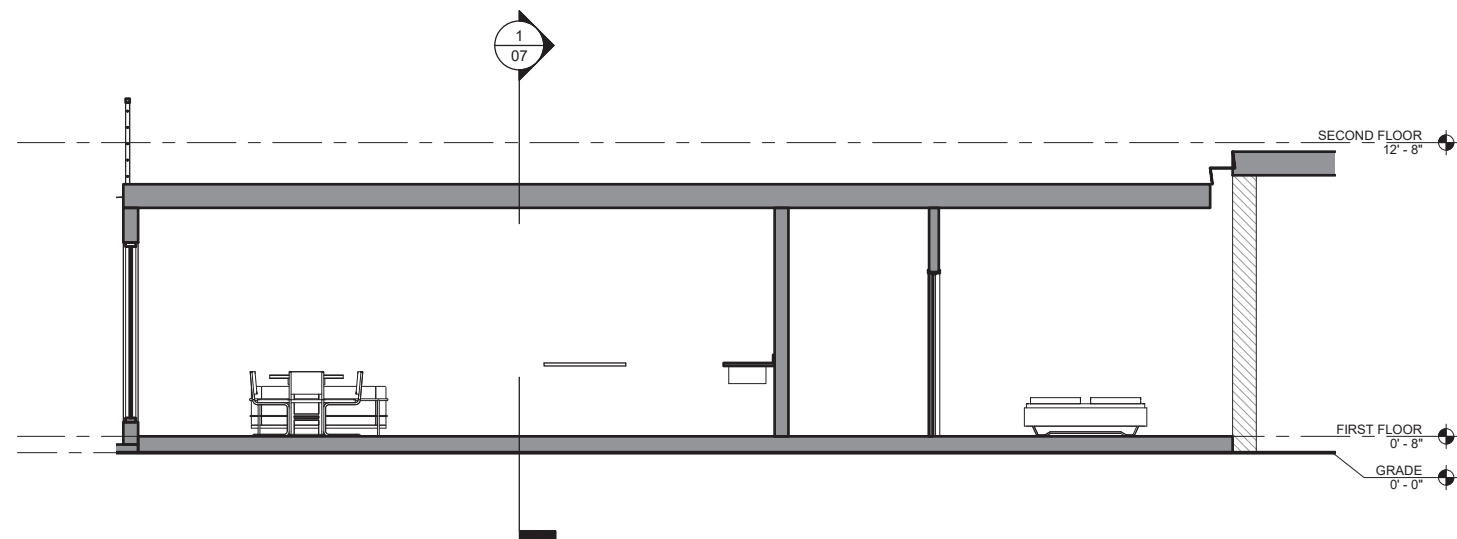
EAST ELEVATION



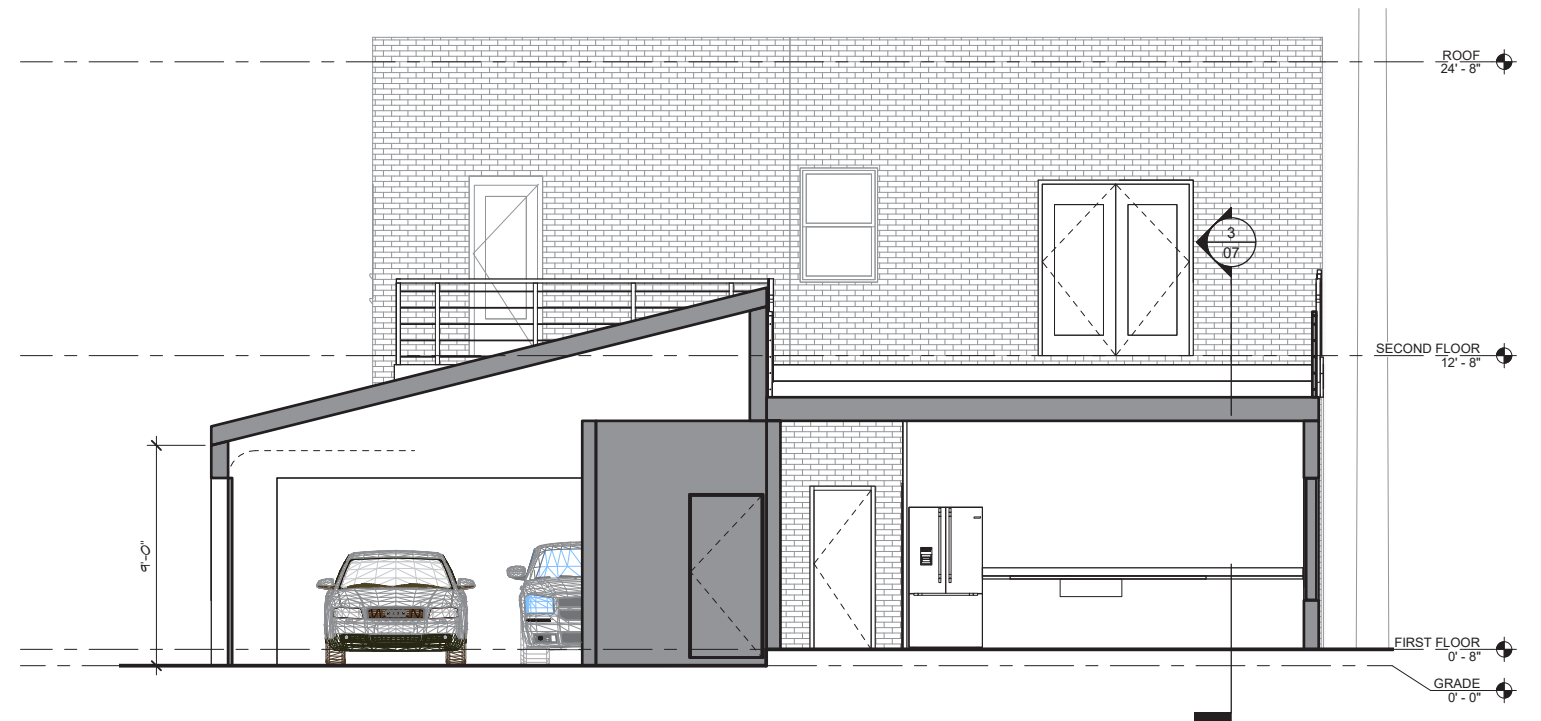
NORTH ELEVATION



WEST ELEVATION



LONGITUDINAL SECTION



CROSS SECTION

5901-3 Franklin Blvd

Proposed Garage Demolition

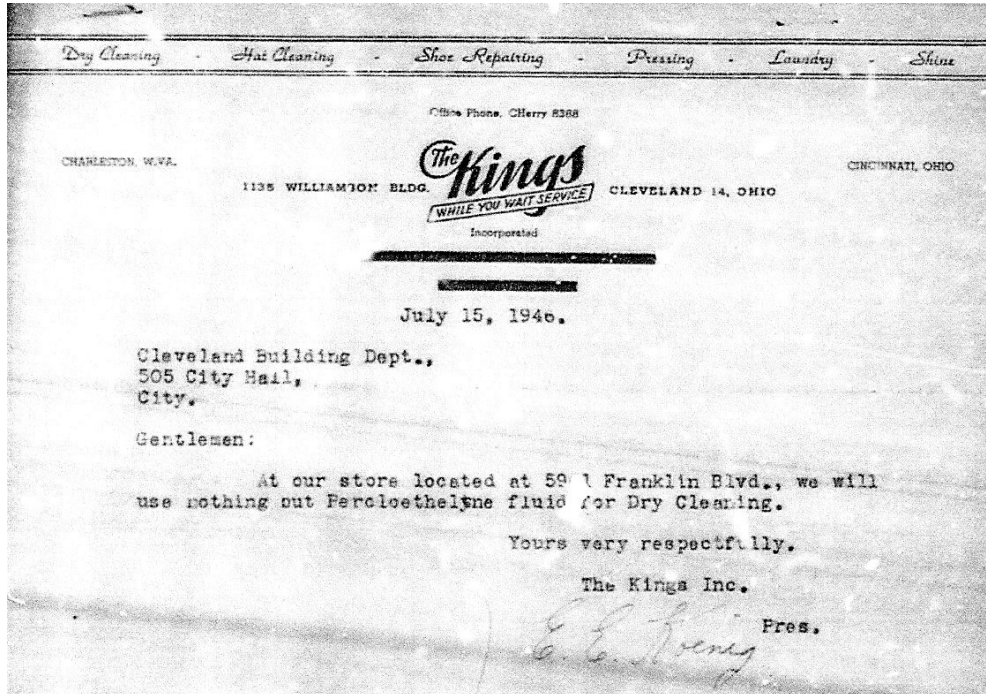
History

- May 25, 1921 – Permit for new garage
 - May 29, 1921 – Billboard Permit
 - April 25, 1924 – Store and Suites
 - June 3, 1929 – Gas Tank
 - May 31, 1938 – Gas Tank
-
- One gas tank was portable. Unknown if second was removed.

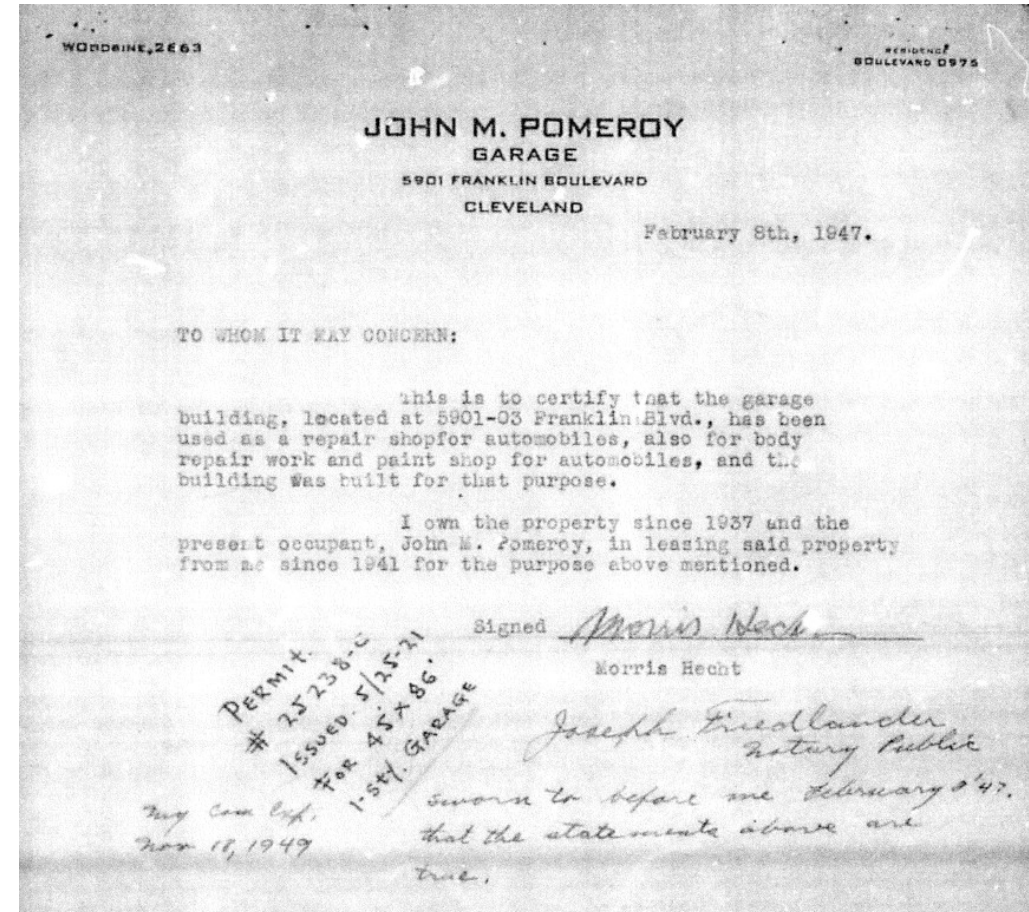
1930



1947



- Front building Use changes
 - Auto Sales
 - Dry Cleaning
 - Laundry
 - Antique Store
 - Residential
- Rear Building use changes
 - Repair garage (1921-1969)
 - Midwest Specialty Meat Co. (1969 – 1980s)



1953



1971



Current Conditions



















Cleveland Landmarks Commission

Design Review



August 12, 2021

Franklin – West Clinton Landmark District

Design Review Committee

Meeting Motion and Report Form

Gordon Square Arcade, Atrium Conference Room - 6516 Detroit Avenue

Project Number: FWC-2021- 07 **Committee Meeting Date:** July 21, 2021

Project Name: Laskey Residence

Project Address: 5901 Franklin Blvd **Landmark Status:** _____

Project Representative(s) Attending: Matt Orchek and Samantha Ayotte of LDA Architects

Description of Proposed Work:
(additional notes available upon request)

This is a preliminary meeting to 1) discuss the demolition of the existing garage and 2) get a conceptual approval of the proposed addition per the drawings submitted.

Committee Member Discussion:
(additional notes available upon request)

Applicants were advised to conduct a survey for orphaned storage tanks under and around the rear garage. Committee members queried applicants about tree preservation as the project progresses. Some Committee members shared concerns about the vertical metal siding proposed for the new garage which is visible from Franklin Ave.

Motion by Design Review Committee:

1) Motion was made to allow for the demolition of the existing rear garage. Motion was approved as presented. Wuzin -1, Polichuk - 2

2) Motion was made to accept the conceptual proposal. Polichuk – 1, Hopcian -2

- ☒ Approved (as presented) **1**
- ☒ Approved (conceptually) **2**
- ☐ Approved (with stated conditions)
- ☐ Disapproved
- ☐ Tabled

Committee Action: (check box and/or note: 1=motion; 2=seconded; App=Approve; Disapp=Disapprove; Abst.=Abstain; Pres=Present)

McCrickard (Chair) <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Noye <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Wunzin (V. Chair) <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Polichuk <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Fishbaugh <input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Sanbury <input type="checkbox"/> App <input type="checkbox"/> Disapp <input checked="" type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Hopcian <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Talley <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Matisak <input checked="" type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	<input type="checkbox"/> App <input type="checkbox"/> Disapp <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.

Non-Voting members in attendance:

☐ Don Petit ☐ Karl Brunjes ☐ Jenny Spencer ☐ Michael Englehart ☐ Joseph Giuliano ☐ Jamie Miles (CRS)

☐ _____ ☐ _____ ☐ _____ ☐ Others (on reverse)

Chairman's Signature & Date:  July 22, 2021



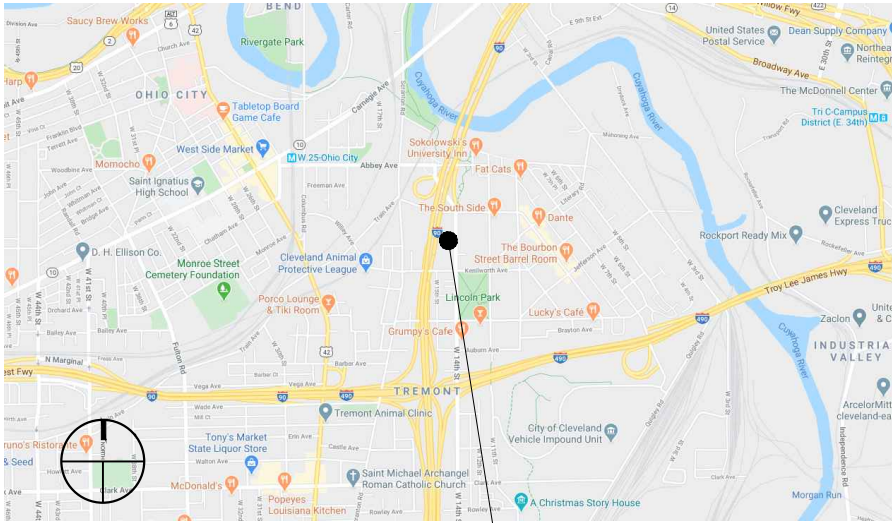
Case 21-066: Tremont Historic District

Tremont Oaks Phase 2 West 14th Street

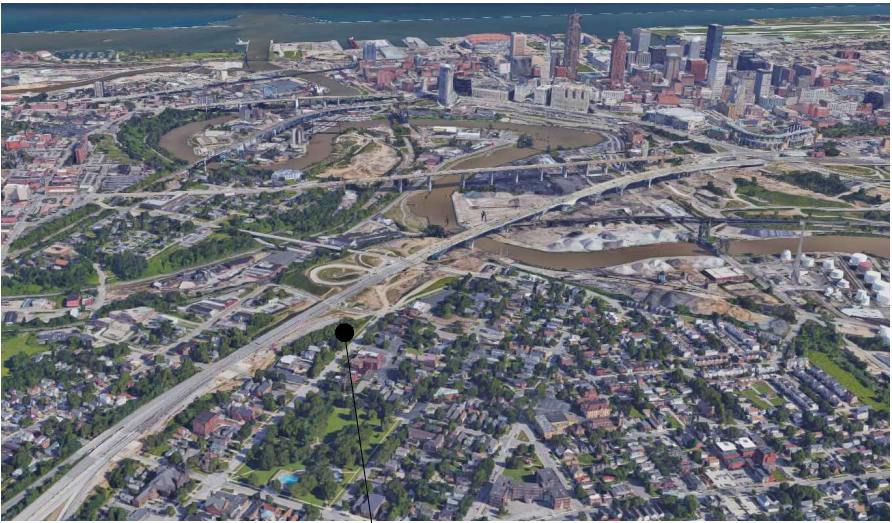
New Construction

Ward 3: McCormack

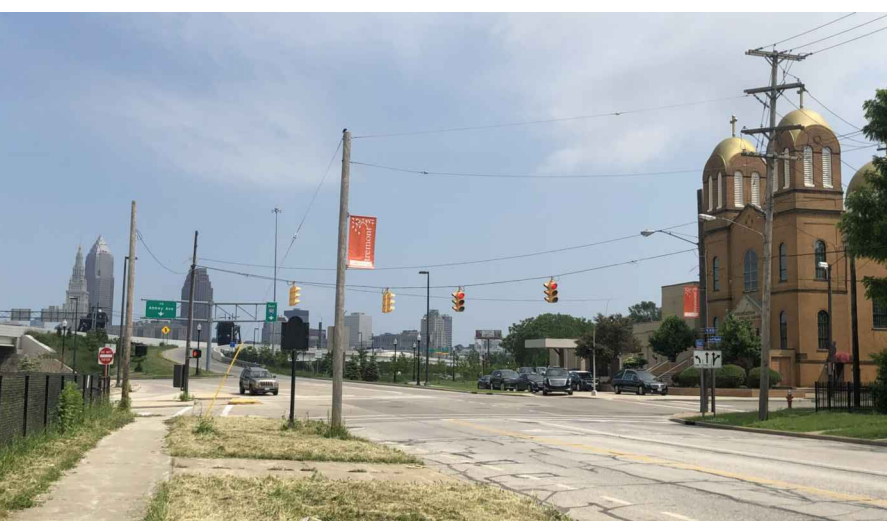
Project Representatives: Richard Maron, Developer; Daniel Sirk, SA Architects



Project location
West 14th Street



Project location
West 14th Street



View 1
14th Street looking North



View 2
Adjacent Property to the South



View 3
Project Location



View 4
Property across the street



Property across the street
(looking East)



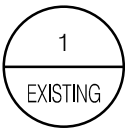
Property across the street
(going North)



Property across the street
(going North)



14th Street
Examples of Neighboring Buildings



WEST 14TH PHASE II
EXISTING CONTEXTUAL PHOTOS
SCALE: N.T.S.



PROJECT:	RICK MARON - RESIDENTIAL CONCEPT PHASE II
LOCATION:	WEST 14TH STREET TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
<input checked="" type="checkbox"/> SCHEMATIC DESIGN
<input type="checkbox"/> DESIGN DEVELOPMENT
<input type="checkbox"/> PROGRESS
<input type="checkbox"/> BIDDING
<input type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> CONSTRUCTION
<input type="checkbox"/> REFERENCE / LOD
<input type="checkbox"/> RECORD

SCALE:	N.T.S.
DATE:	07-29-21
JOB NUMBER:	20-814
REFERENCE:	
SHEET REF.:	

DRAWN BY:	ES
CHECKED BY:	DJS
EXISTING	
SKETCH NUMBER:	

INTERSTATE 90
INTERBELT HIGHWAY
(VOLUME 371, PAGES
14-18 OF C.C.M.R.)
A PUBLIC RIGHT-OF-WAY

EXISTING
PARKING LOT

EXISTING 2-STORY
APARTMENT BUILDING

PROPOSED 2-STORY
APARTMENT BUILDING

IN-OPERATING (FIXED) WINDOWS
ON NORTH ELEVATION

PROPOSED
PARKING LOT

(3) ORNAMENTAL TREES
CRABAPPLES

EXISTING
SIDEWALK

ENTRY

PROPERTY LINE 180'-2"

EXISTING
SIDEWALK

PROPERTY LINE
PROPERTY LINE

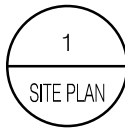
WEST 14TH STREET 100'
FORMERLY JENNINGS AVENUE
A PUBLIC RIGHT-OF-WAY

SITE PLAN SUMMARY

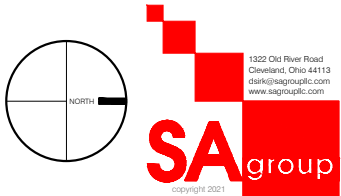
6 TOTAL PARKING SPACES -
(INCLUDING 1 ADA PARKING SPACE)

RESIDENTIAL UNITS: (8) TOTAL
4 x 436 SF = 1,744 SF
2 x 557 SF = 1,114 SF
2 x 501 SF = 1,002 SF

TOTAL 1ST FLOOR UNITS AREA: 1,930 SF
TOTAL 2ND FLOOR UNITS AREA: 1,930 SF
TOTAL: 3,860 SF



WEST 14TH PHASE II
PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"



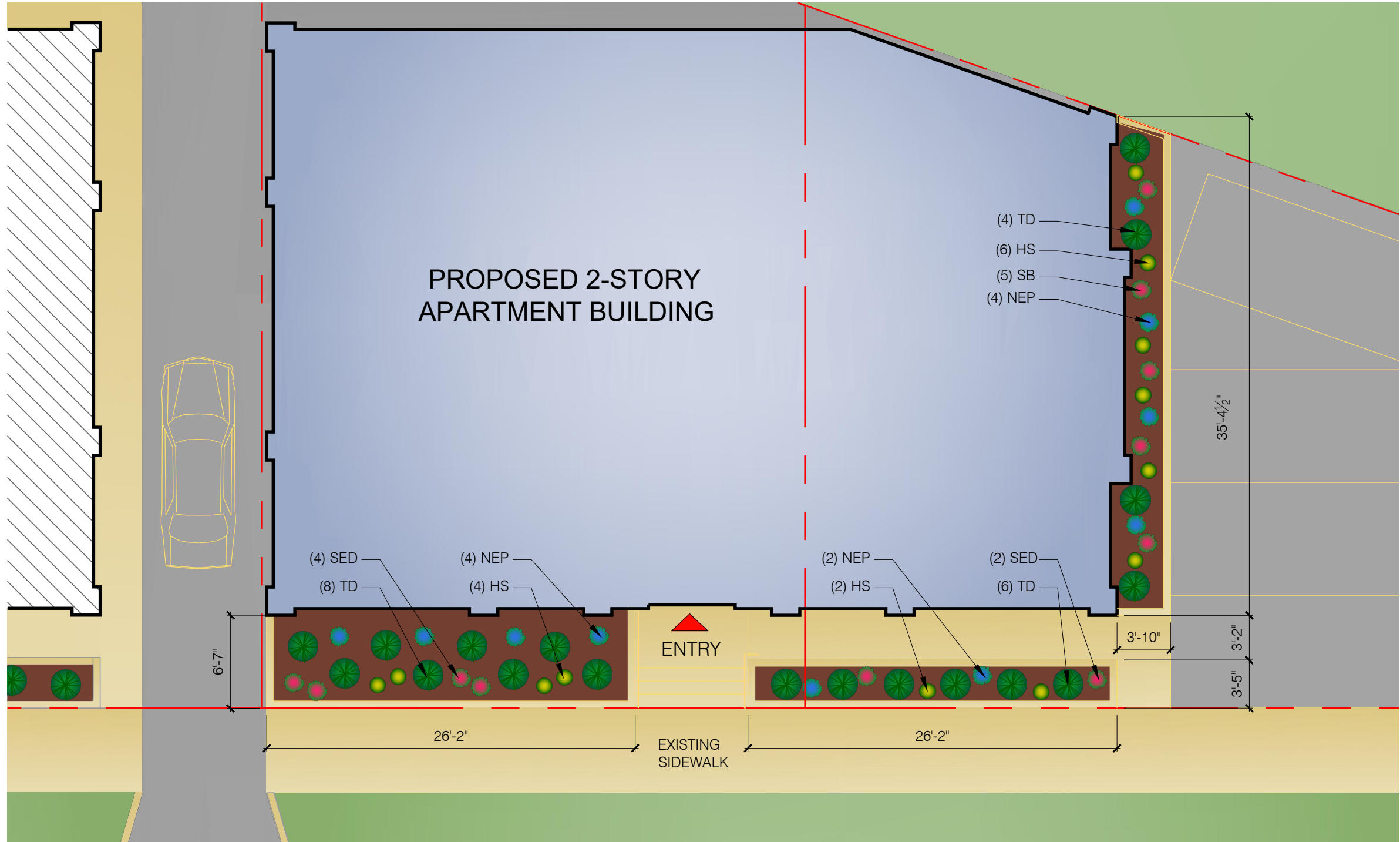
PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE 1 LOD
☐ RECORD

SCALE: 1/16"=1'-0"
DATE: 07-29-21
JOB NUMBER: 20-814
REFERENCE:
SHEET REF.:

DRAWN BY: ES
CHECKED BY: DJS
SITE PLAN
SKETCH NUMBER:

INTERSTATE 90



WEST 14TH STREET

PLANTING MATERIAL IMAGES

SHRUB



(TD)
DENSIFORMIS
ANGLOJAP YEW
TAXUS X MEDIA, No. 5

SHRUB



(SB)
SPIRAEA X BUMALDA
'ANTHONY WATERER'

PERENNIAL



(HS)
HEMEROCALLIS
STELLA-D-ORO-
YELLOW, No. 2

PERENNIAL



(SED)
SEDUM SPECTABILE
'AUTUMN FIRE'

PERENNIAL

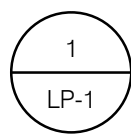


(NEP)
NEPETA FAASSENII
'WALKER'S LOW'
CATMINT

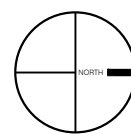
MULCH



MALUS 'PRARIEFIRE'
CRABAPPLE



WEST 14TH PHASE II
PROPOSED LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
**WEST 14TH STREET
TREMONT - CLEVELAND OHIO**

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE 1 LOD
☐ RECORD

SCALE: 1/8" = 1'-0"
DATE: 07-29-21
JOB NUMBER: 20-814
REFERENCE:
SHEET REF.:

DRAWN BY: ES
CHECKED BY: DJS
LP-1
SKETCH NUMBER:



WORKING - DESK



WORKING - OVERALL



WEST 14TH PHASE II
UNIT LAYOUT OPTION - WORKING
 SCALE: 1/4" = 1'-0"



PROJECT:
RICK MARON -
RESIDENTIAL CONCEPT PHASE II
 LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: **N.T.S.**
 DATE: **07-29-21**
 JOB NUMBER: **20-814**
 REFERENCE:
 SHEET REF.:

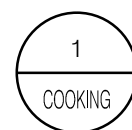
DRAWN BY: **ES**
 CHECKED BY: **DJS**
WORKING
 SKETCH NUMBER:



COOKING - LIVING



COOKING - OVERALL



WEST 14TH PHASE II
UNIT LAYOUT OPTION - COOKING
 SCALE: 1/4" = 1'-0"

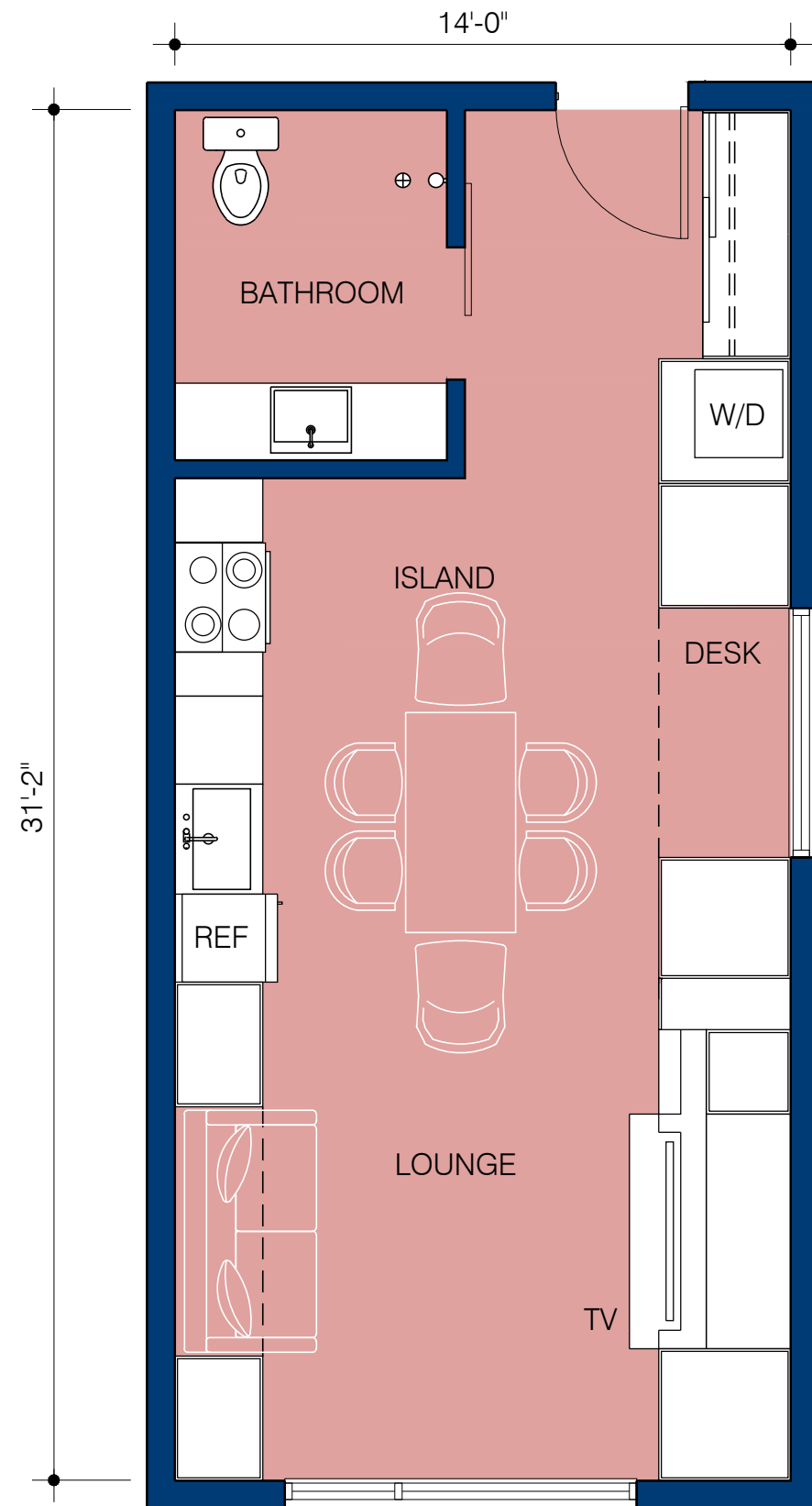


PROJECT:
RICK MARON -
RESIDENTIAL CONCEPT PHASE II
 LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: N.T.S.
 DATE: 07-29-21
 JOB NUMBER: 20-814
 REFERENCE:
 SHEET REF.:

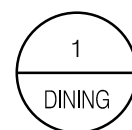
DRAWN BY: ES
 CHECKED BY: DJS
COOKING
 SKETCH NUMBER:



DINING - LIVING



DINING - OVERALL



WEST 14TH PHASE II
UNIT LAYOUT OPTION - DINING
 SCALE: 1/4" = 1'-0"

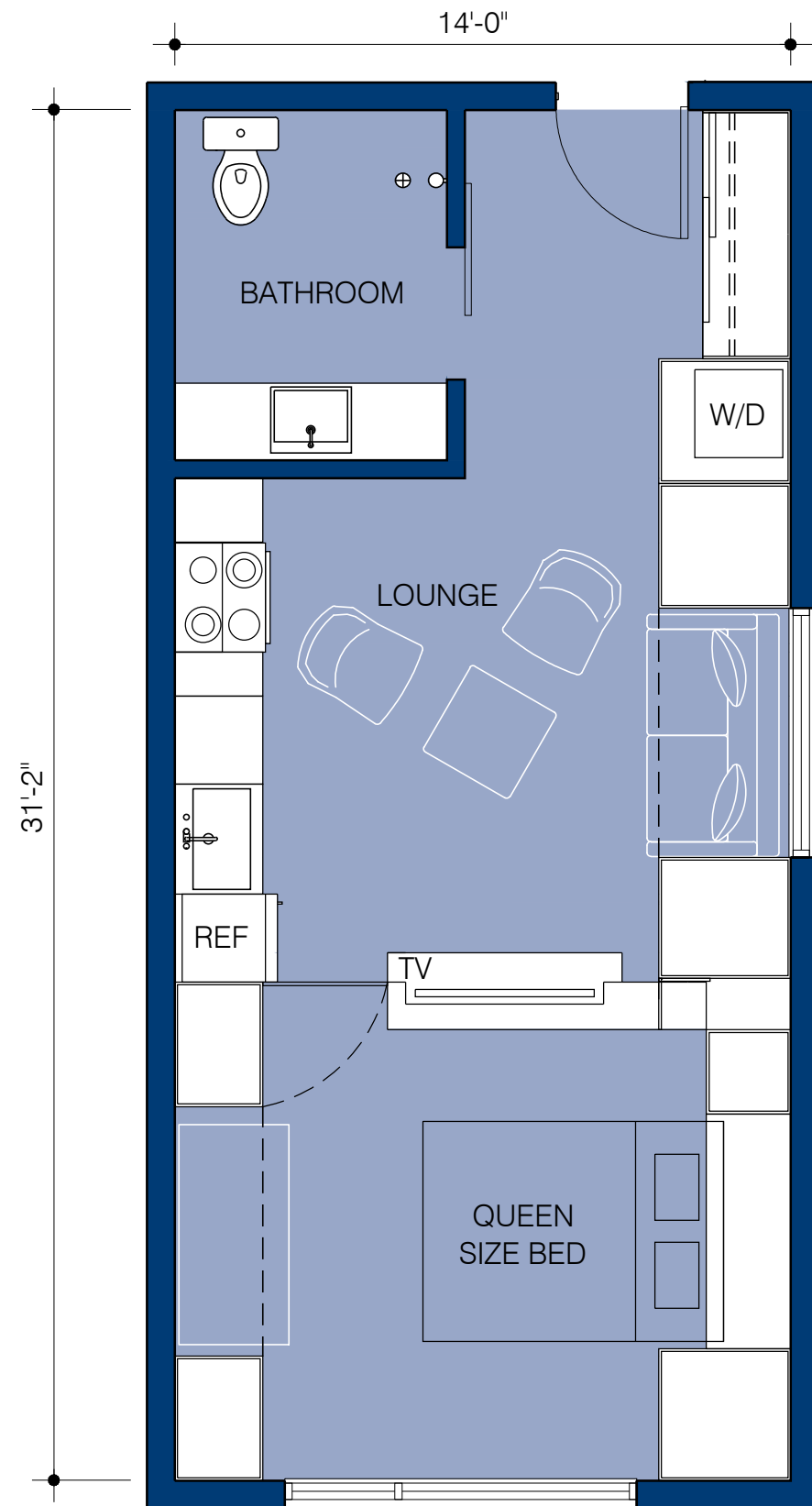


PROJECT:
RICK MARON -
RESIDENTIAL CONCEPT PHASE II
 LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: **N.T.S.**
 DATE: **07-29-21**
 JOB NUMBER: **20-814**
 REFERENCE:
 SHEET REF.:

DRAWN BY: **ES**
 CHECKED BY: **DJS**
DINING
 SKETCH NUMBER:



SLEEPING - LIVING



SLEEPING - OVERALL



WEST 14TH PHASE II
UNIT LAYOUT OPTION - SLEEPING
 SCALE: 1/4" = 1'-0"



PROJECT:
RICK MARON -
RESIDENTIAL CONCEPT PHASE II
 LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: **N.T.S.**
 DATE: **07-29-21**
 JOB NUMBER: **20-814**
 REFERENCE:
 SHEET REF.:

DRAWN BY: **ES**
 CHECKED BY: **DJS**
SLEEPING
 SKETCH NUMBER:



HOME OFFICE



HOME OFFICE



WEST 14TH PHASE II
UNIT LAYOUT OPTION - HOME OFFICE
 SCALE: 1/4" = 1'-0"

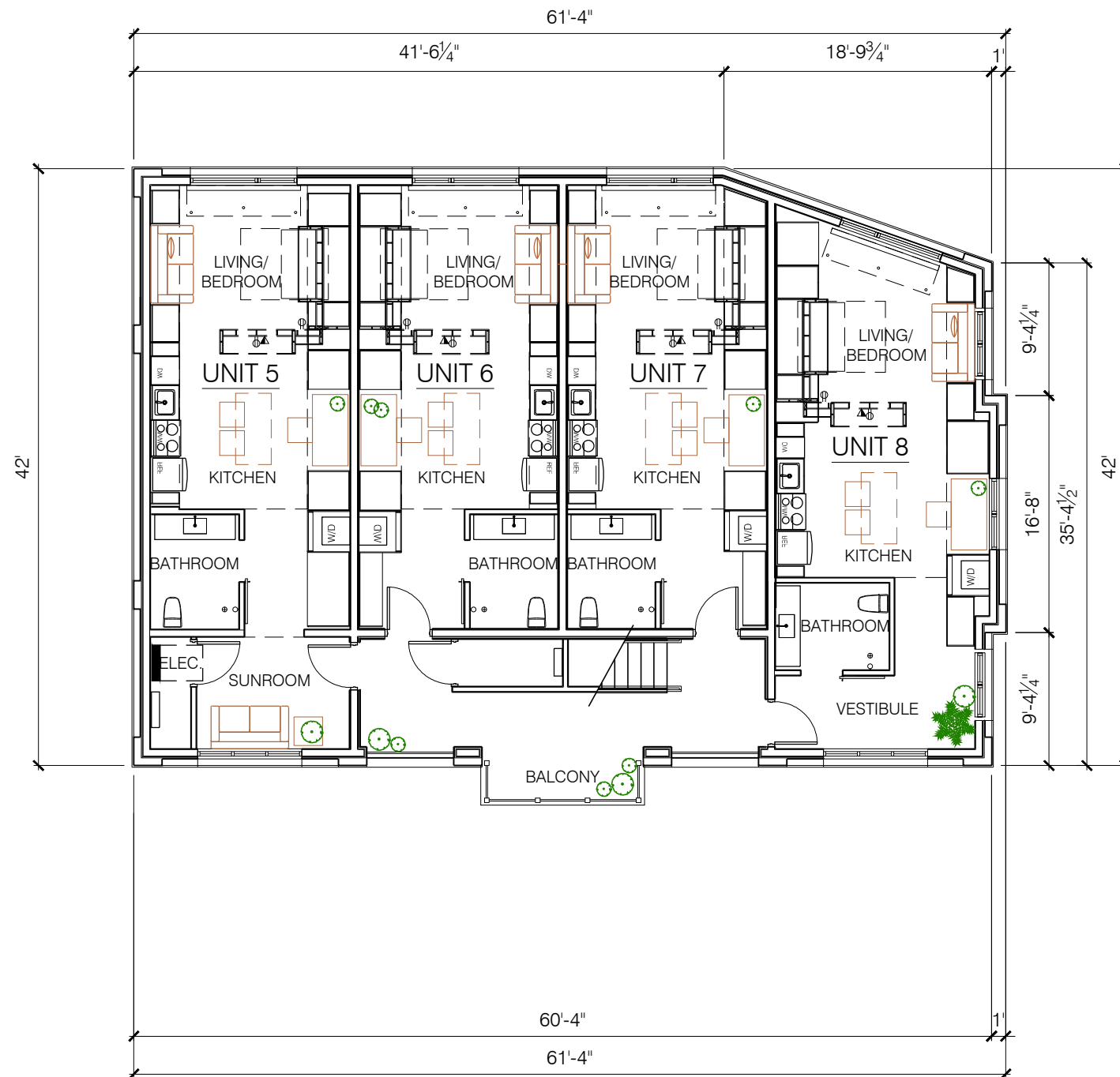


PROJECT:
RICK MARON -
RESIDENTIAL CONCEPT PHASE II
 LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

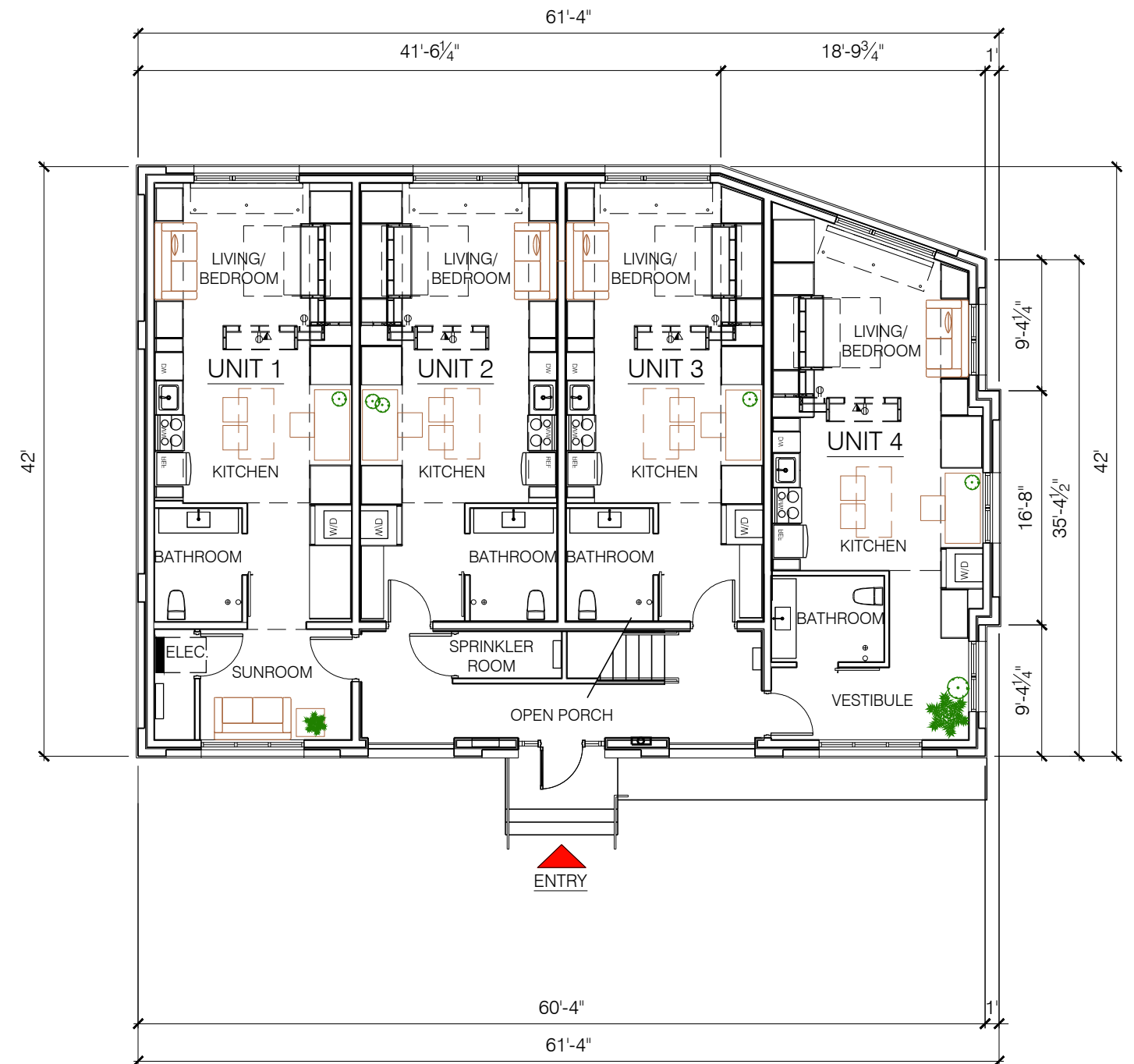
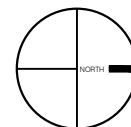
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 DATE: **07-29-21**
 JOB NUMBER: **20-814**
 REFERENCE:
 SHEET REF.:

DRAWN BY: **ES**
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OFFICE
 SKETCH NUMBER:



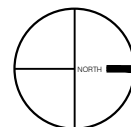
2
PLANS

WEST 14TH PHASE II
PROPOSED 2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"



1
PLANS

WEST 14TH PHASE II
PROPOSED 1ST FLOOR PLAN
SCALE: 3/32" = 1'-0"



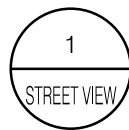
PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**

LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: 3/32" = 1'-0"
DATE: 07-29-21
JOB NUMBER: 20-814
REFERENCE:
SHEET REF.:

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CHECKED BY: DJS
PLANS
SKETCH NUMBER:



WEST 14TH PHASE II
CONTEXTUAL STREET VIEW
SCALE: N.T.S.

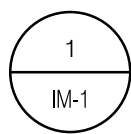


PROJECT:	RICK MARON -
	RESIDENTIAL CONCEPT PHASE II
LOCATION:	WEST 14TH STREET
	TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
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<input type="checkbox"/> DESIGN DEVELOPMENT
<input type="checkbox"/> PROGRESS
<input type="checkbox"/> BIDDING
<input type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> CONSTRUCTION
<input type="checkbox"/> REFERENCE / LOD
<input type="checkbox"/> RECORD

SCALE:	N.T.S.
DATE:	07-29-21
JOB NUMBER:	20-814
REFERENCE:	
SHEET REF.:	

DRAWN BY:	ES
CHECKED BY:	DJS
STREET VIEW	
SKETCH NUMBER:	



WEST 14TH PHASE II
PROPOSED FRONT ELEVATION (EAST)
SCALE: N/A

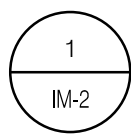


PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
**WEST 14TH STREET
TREMONT - CLEVELAND OHIO**

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: **N.T.S.**
DATE: **07-29-21**
JOB NUMBER: **20-814**
REFERENCE:
SHEET REF.:

DRAWN BY: **ES**
CHECKED BY: **DJS**
IM-1
SKETCH NUMBER:



WEST 14TH PHASE II
PROPOSED SIDE ELEVATION (SOUTH)
SCALE: N/A



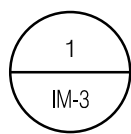
PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**

LOCATION:
**WEST 14TH STREET
TREMONT - CLEVELAND OHIO**

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: **N.T.S.**
DATE: **07-29-21**
JOB NUMBER: **20-814**
REFERENCE:
SHEET REF.:

DRAWN BY: **ES**
CHECKED BY: **DJS**
IM-2
SKETCH NUMBER:



WEST 14TH PHASE II
PROPOSED SIDE ELEVATION (NORTH)
SCALE: N/A

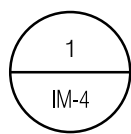


PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
**WEST 14TH STREET
TREMONT - CLEVELAND OHIO**

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: **N.T.S.**
DATE: **07-29-21**
JOB NUMBER: **20-814**
REFERENCE:
SHEET REF.:

DRAWN BY: **ES**
CHECKED BY: **DJS**
IM-3
SKETCH NUMBER:



WEST 14TH PHASE II
PROPOSED SIDE ELEVATION (EAST)
SCALE: N/A



PROJECT:
RICK MARON -
RESIDENTIAL CONCEPT PHASE II
LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE 1 LOD
☐ RECORD

SCALE: **N.T.S.**
DATE: **07-29-21**
JOB NUMBER: **20-814**
REFERENCE:
SHEET REF.:

DRAWN BY: **ES**
CHECKED BY: **DJS**
IM-4
SKETCH NUMBER:

EXTERIOR MATERIALS



PT-1
6" HARDIE PLANK LAP SIDING,
STATEMENT COLLECTION, KHAKI BROWN
MATCHES SHERWIN WILLIAMS COLOR:
SW 2827 "COLONIAL REVIVAL STONE"



PT-3
(METAL COPING, CORNICE, TRIMS)
HARDIE BOARD/ TRIM, MONTEREY TAUPE
MATCHES SHERWIN WILLIAMS COLOR:
SW 2821 "DOWNING STONE"



BRICK
BELDEN FULL SIZE BRICK
COLONY RED RANGE
C1088

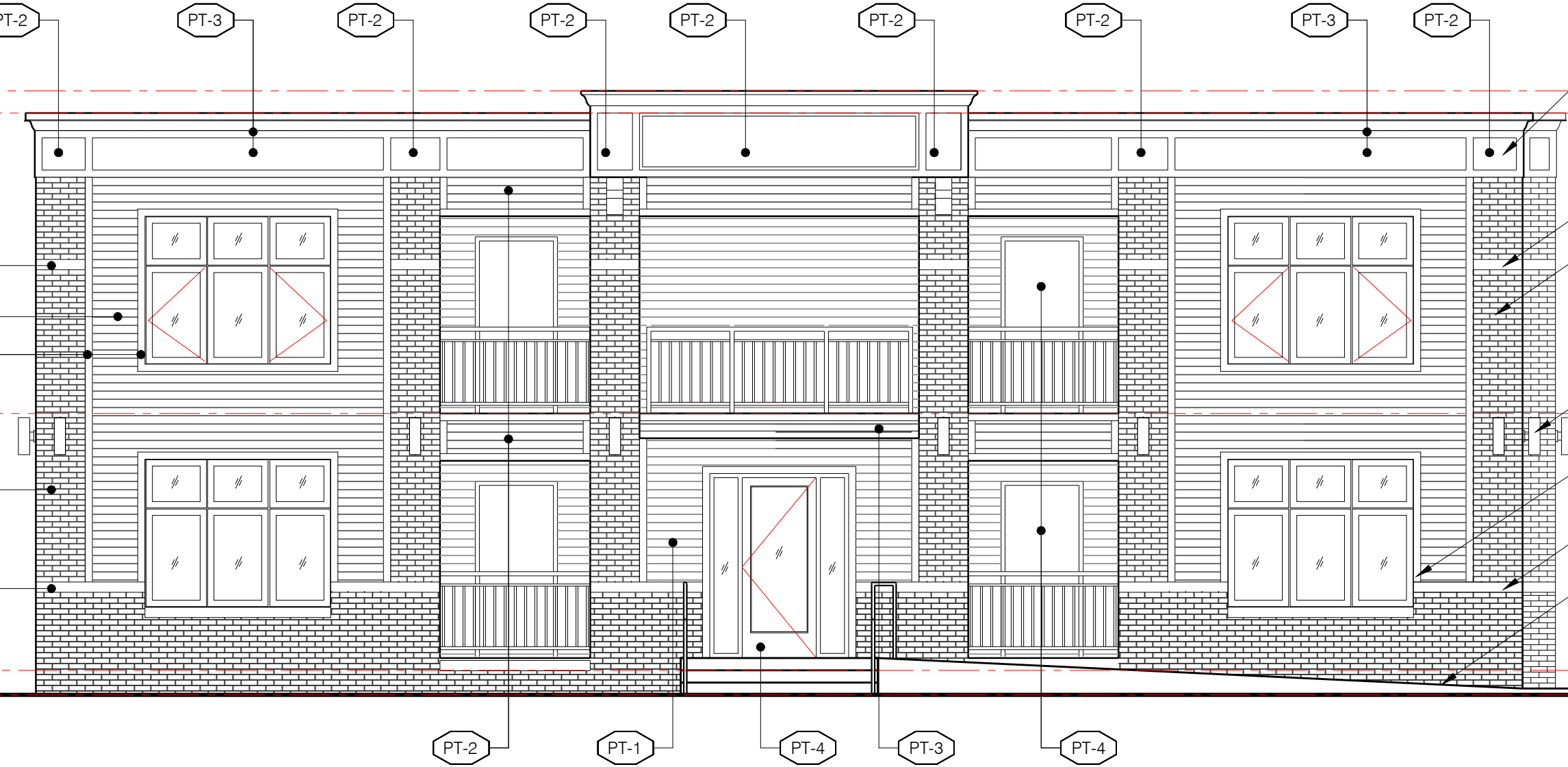


STONE BAND
CAST STONE
COLOR TO MATCH PT-3

WINDOWS
FIBREX COMPOSITE ANDERSEN WINDOWS,
COLOR: DARK BRONZE

METAL RAILINGS
ALUMINUM, PAINTED, COLOR: DARK BRONZE

WALL SCONCE LIGHT FIXTURES
WAC LIGHTING, TUBE ARCHITECTURAL
8" DOUBLE WALL MOUNT
LED, 3500K, COLOR: DARK BRONZE



1
ELEV-1

WEST 14TH PHASE II
PROPOSED FRONT (EAST) ELEVATION
SCALE: 3/16" = 1'-0"



PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
**WEST 14TH STREET
TREMONT - CLEVELAND OHIO**

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: 3/16" = 1'-0"
DATE: 07-29-21
JOB NUMBER: 20-814
REFERENCE:
SHEET REF.:

DRAWN BY: ES
CHECKED BY: DJS
ELEV-1
SKETCH NUMBER:

EXTERIOR MATERIALS



PT-1
6" HARDIE PLANK LAP SIDING,
STATEMENT COLLECTION, KHAKI BROWN
MATCHES SHERWIN WILLIAMS COLOR:
SW 2827 "COLONIAL REVIVAL STONE"



PT-3
(METAL COPING, CORNICE, TRIMS)
HARDIE BOARD/ TRIM, MONTEREY TAUPE
MATCHES SHERWIN WILLIAMS COLOR:
SW 2821 "DOWNING STONE"



BRICK
BELDEN FULL SIZE BRICK
COLONY RED RANGE
C1088

WINDOWS
FIBREX COMPOSITE ANDERSEN WINDOWS,
COLOR: DARK BRONZE



PT-2
6" HARDIE PLANK LAP SIDING,
STATEMENT COLLECTION, TIMBER BARK
MATCHES SHERWIN WILLIAMS COLOR:
SW 0038 "LIBRARY PEWTER"



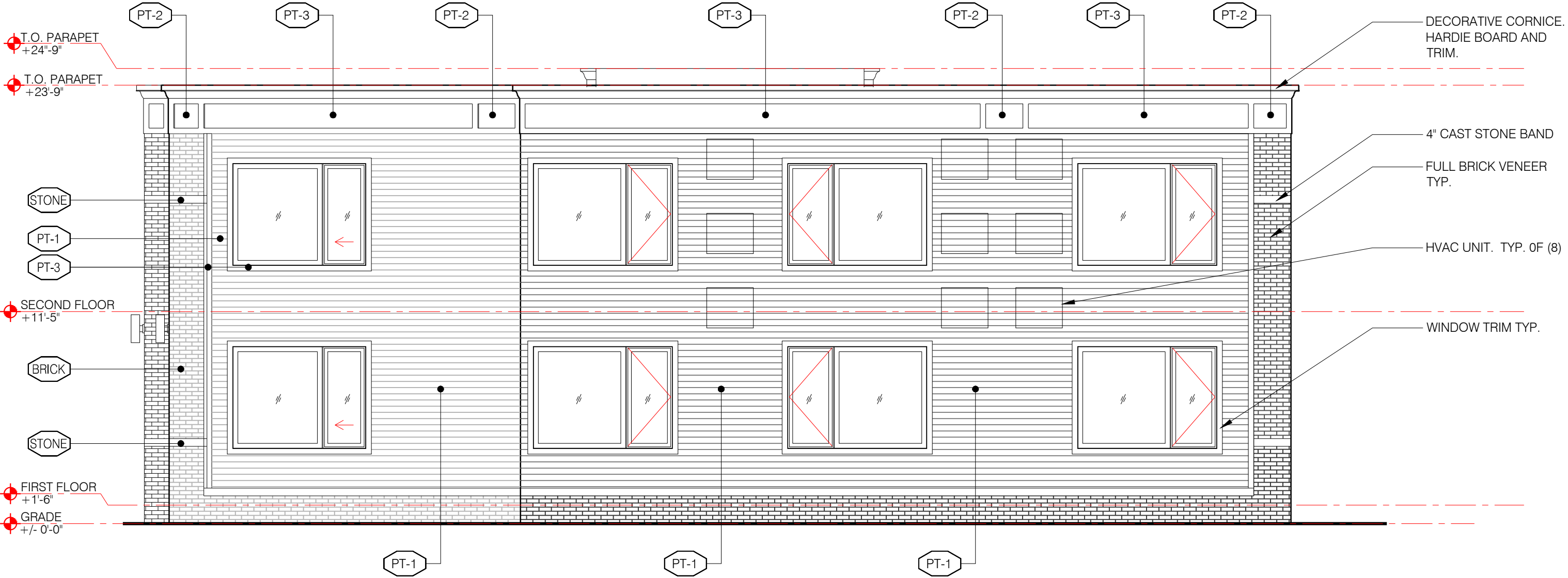
PT-4
(BUILDING DOOR, UNIT DOORS)
SW 0041 DARK HUNTER GREEN



STONE BAND
CAST STONE
COLOR TO MATCH PT-3

METAL RAILINGS
ALUMINUM, PAINTED, COLOR: DARK BRONZE

WALL SCONCE LIGHT FIXTURES
WAC LIGHTING, TUBE ARCHITECTURAL
8" DOUBLE WALL MOUNT
LED, 3500K, COLOR: DARK BRONZE



1
ELEV-2

WEST 14TH PHASE II
PROPOSED REAR (WEST) ELEVATION
SCALE: 3/16" = 1'-0"



PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE / LOD
☐ RECORD

SCALE: 3/16" = 1'-0"
DATE: 07-29-21
JOB NUMBER: 20-814
REFERENCE:
SHEET REF.:

DRAWN BY: ES
CHECKED BY: DJS
ELEV-2
SKETCH NUMBER:

EXTERIOR MATERIALS



PT-1
6" HARDIE PLANK LAP SIDING,
STATEMENT COLLECTION, KHAKI BROWN
MATCHES SHERWIN WILLIAMS COLOR:
SW 2827 "COLONIAL REVIVAL STONE"



PT-3
(METAL COPING, CORNICE, TRIMS)
HARDIE BOARD/ TRIM, MONTEREY TAUPE
MATCHES SHERWIN WILLIAMS COLOR:
SW 2821 "DOWNING STONE"



BRICK
BELDEN FULL SIZE BRICK
COLONY RED RANGE
C1088

WINDOWS
FIBREX COMPOSITE ANDERSEN WINDOWS,
COLOR: DARK BRONZE



PT-2
6" HARDIE PLANK LAP SIDING,
STATEMENT COLLECTION, TIMBER BARK
MATCHES SHERWIN WILLIAMS COLOR:
SW 0038 "LIBRARY PEWTER"



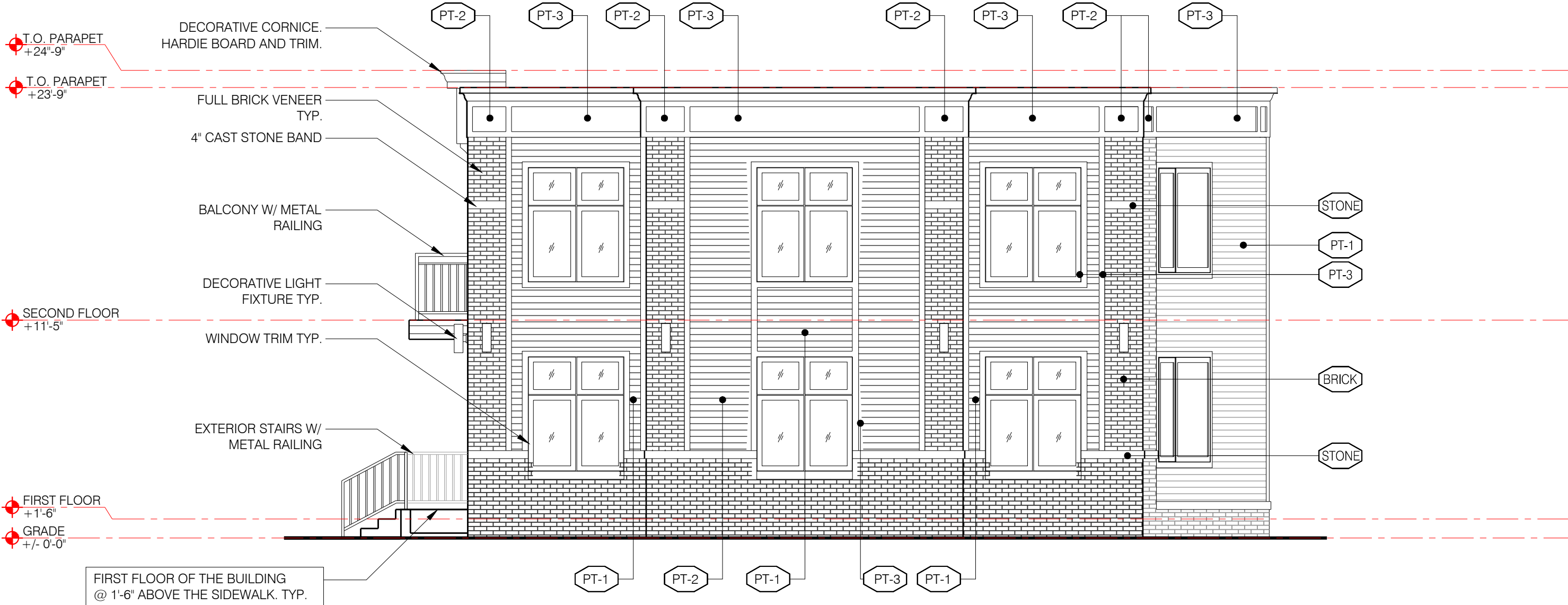
PT-4
(BUILDING DOOR, UNIT DOORS)
SW 0041 DARK HUNTER GREEN



STONE BAND
CAST STONE
COLOR TO MATCH PT-3

METAL RAILINGS
ALUMINUM, PAINTED, COLOR: DARK BRONZE

WALL SCONCE LIGHT FIXTURES
WAC LIGHTING, TUBE ARCHITECTURAL
8" DOUBLE WALL MOUNT
LED, 3500K, COLOR: DARK BRONZE



1
ELEV-3

WEST 14TH PHASE II
PROPOSED SIDE (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"



PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE 1 LOD
☐ RECORD

SCALE: 3/16" = 1'-0"
DATE: 07-29-21
JOB NUMBER: 20-814
REFERENCE:
SHEET REF.:

DRAWN BY: ES
CHECKED BY: DJS
ELEV-3
SKETCH NUMBER:

EXTERIOR MATERIALS



PT-1
6" HARDIE PLANK LAP SIDING,
STATEMENT COLLECTION, KHAKI BROWN
MATCHES SHERWIN WILLIAMS COLOR:
SW 2827 "COLONIAL REVIVAL STONE"



PT-3
(METAL COPING, CORNICE, TRIMS)
HARDIE BOARD/ TRIM, MONTEREY TAUPE
MATCHES SHERWIN WILLIAMS COLOR:
SW 2821 "DOWNING STONE"



BRICK
BELDEN FULL SIZE BRICK
COLONY RED RANGE
C1088

WINDOWS
FIBREX COMPOSITE ANDERSEN WINDOWS,
COLOR: DARK BRONZE



PT-2
6" HARDIE PLANK LAP SIDING,
STATEMENT COLLECTION, TIMBER BARK
MATCHES SHERWIN WILLIAMS COLOR:
SW 0038 "LIBRARY PEWTER"



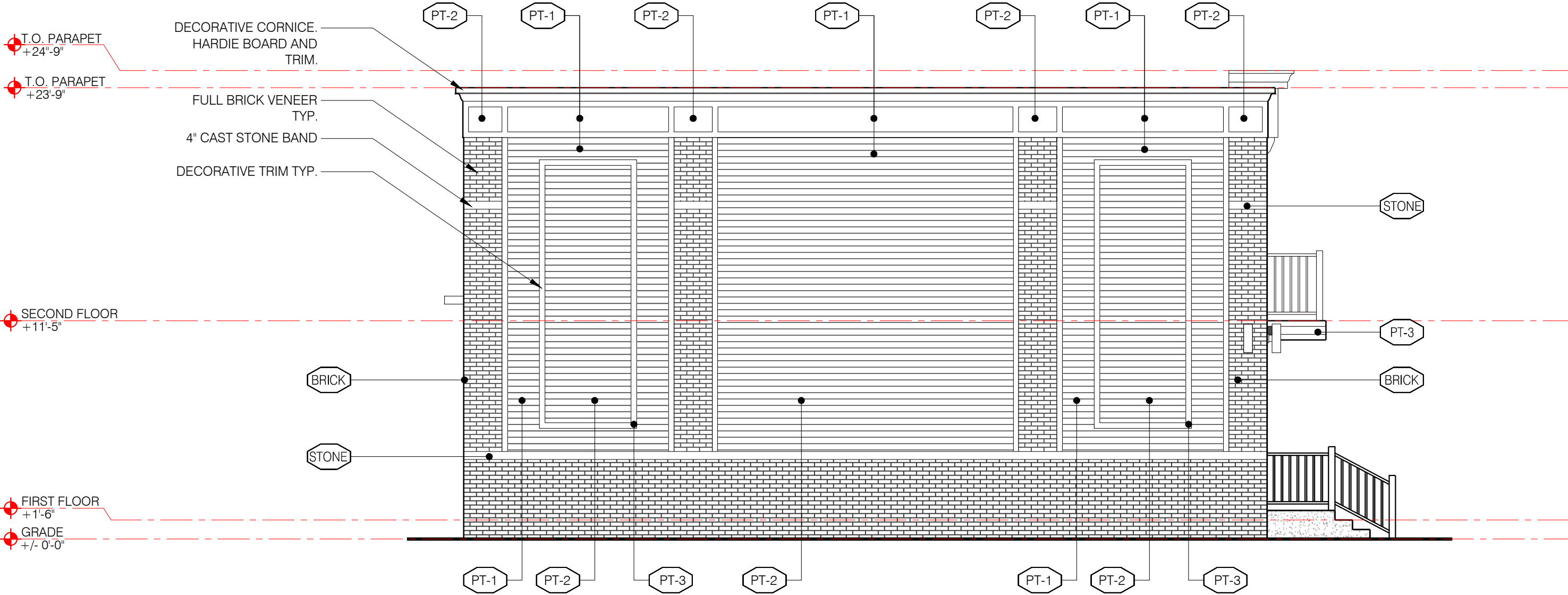
PT-4
(BUILDING DOOR, UNIT DOORS)
SW 0041 DARK HUNTER GREEN



STONE BAND
CAST STONE
COLOR TO MATCH PT-3

METAL RAILINGS
ALUMINUM, PAINTED, COLOR: DARK BRONZE

WALL SCONCE LIGHT FIXTURES
WAC LIGHTING, TUBE ARCHITECTURAL
8" DOUBLE WALL MOUNT
LED, 3500K, COLOR: DARK BRONZE



1
ELEV-4

WEST 14TH PHASE II
PROPOSED SIDE (SOUTH) ELEVATION
SCALE: 3/16" = 1'-0"



PROJECT:
**RICK MARON -
RESIDENTIAL CONCEPT PHASE II**
LOCATION:
WEST 14TH STREET
TREMONT - CLEVELAND OHIO

AUTHORIZED USE:
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ PROGRESS
☐ BIDDING
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ REFERENCE 1 LOD
☐ RECORD

SCALE: 3/16" = 1'-0"
DATE: 07-29-21
JOB NUMBER: 20-814
REFERENCE:
SHEET REF.:

DRAWN BY: ES
CHECKED BY: DJS
ELEV-4
SKETCH NUMBER:

Cleveland Landmarks Commission

Landmark Nomination



August 12, 2021

August 12, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Section 106 Environmental Review



August 12, 2021

August 12, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Meeting Minute Approvals



August 12, 2021

Meeting Minutes Approval

August 12, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Administrative Reports



August 12, 2021

Cleveland Landmarks Commission

Adjournment



August 12, 2021

Cleveland Landmarks Commission



August 12, 2021