



Cleveland Landmarks Commission

Thursday, June 24, 2021

****PLEASE MUTE YOUR MICROPHONE****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

Preamble

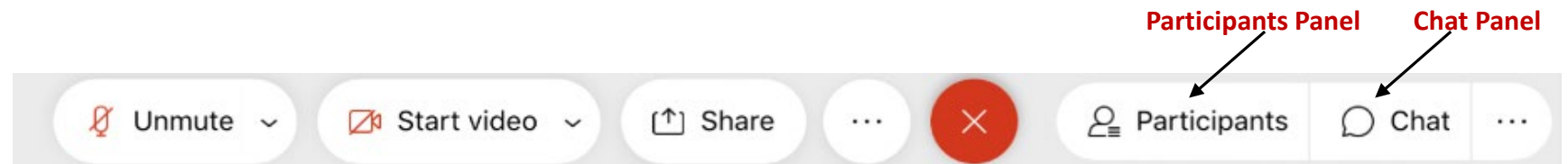
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



June 24, 2021

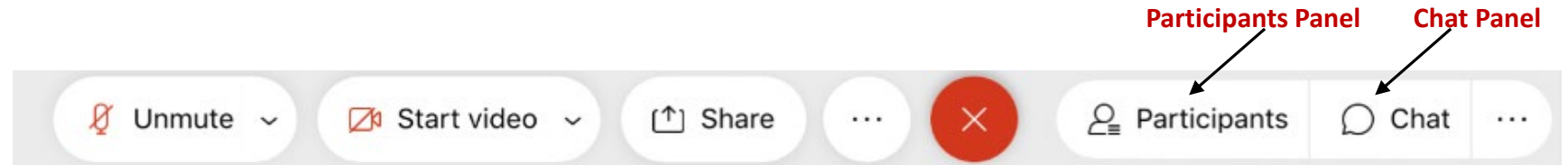
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A
PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



June 24, 2021

Cleveland Landmarks Commission

Call to Order & Roll Call



June 24, 2021

Cleveland Landmarks Commission

Public Hearing



June 24, 2021

June 24, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Public Hearing Action



June 24, 2021

June 24, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Certificates of Appropriateness



June 24, 2021



Case 21-047: Shaker Square Historic District (19-006 2/28/2019)

Shaker Towers 2815-25 East 130th Street

Mural

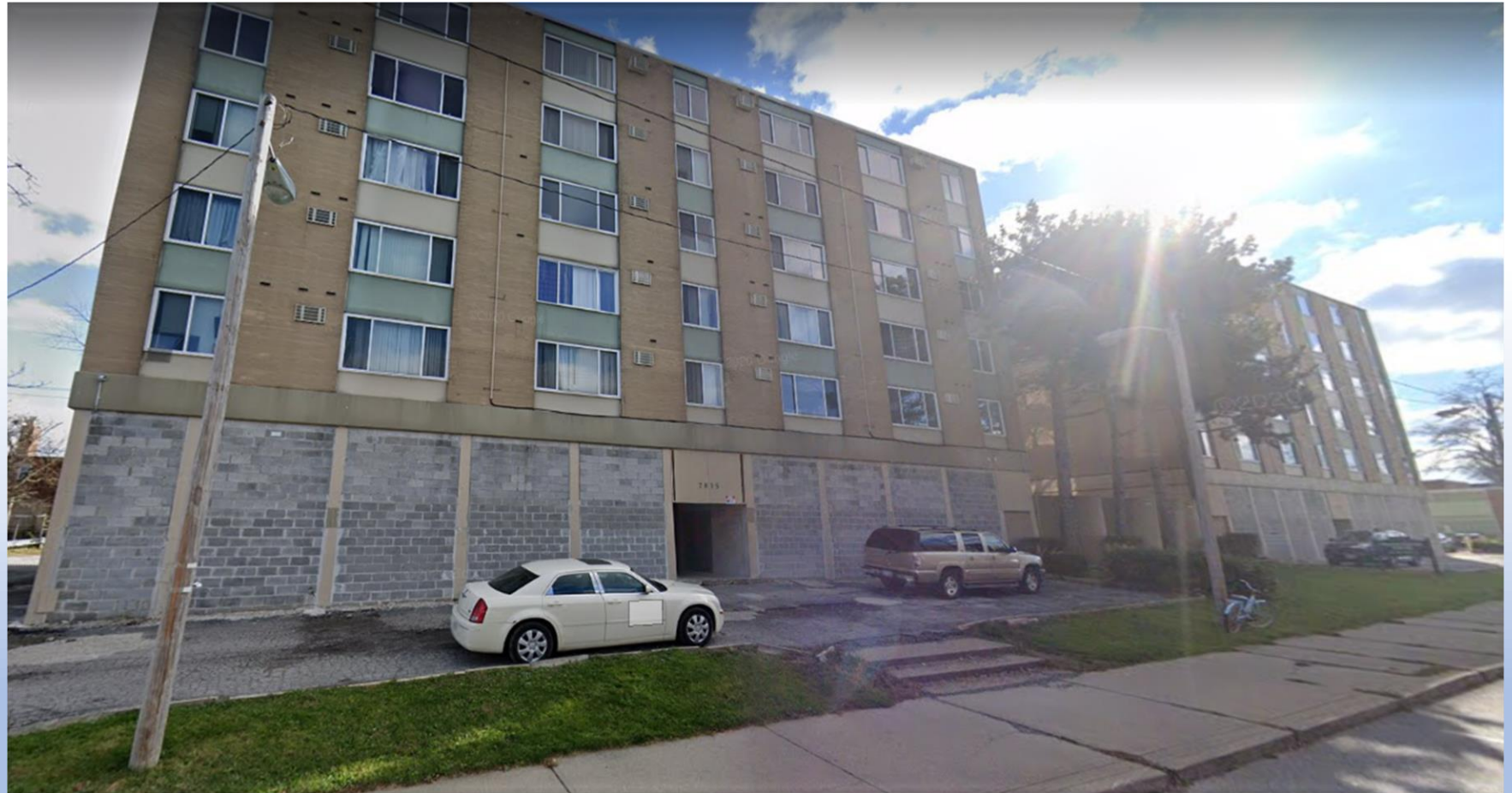
Ward 6: Griffin

Project Representatives: Josiah Britt, Artistic Manager, Harriet Wadsworth, Communications Director, Jay Westbrook, Project Manager, Make Your Mark; Shay Smith, Building Manager



E.130th Make Your Mark Mural Project

Shaker Square Towers
2815 & 2825 E.130th, Cleveland 44120





E.130th Make Your Mark Mural Project

Evolution of Shaker Square Towers Façade

Original Façade



Façade After
Mechanical Correction





Sherwin Williams Product Recommendation

115.02

Loxon®

Concrete and Masonry Primer-Sealer

U.S. LX02W0050 White, Canada LX02WQ050 White



CHARACTERISTICS

Loxon Concrete & Masonry Primer-Sealer is an acrylic coating specifically engineered for interior and exterior, above-grade, masonry surfaces requiring a high performance primer. It is highly alkali and efflorescence resistant and can be applied to surfaces with a pH of 6 to 13.

Loxon Concrete & Masonry Primer-Sealer:
Seals and adheres to concrete, brick, stucco and plaster

Conditions porous masonry surfaces

Use on above grade masonry surfaces for a long-lasting finish

Apply to masonry and concrete surfaces that are at least 7 days old.

Prevents harm to subsequent coatings by alkalis in the substrate

For use on these surfaces:

Concrete, Concrete Block, Brick, Stucco, EIFS
Fiber Cement Siding, Plaster, Mortar, Exterior
Wall Cladding

Color: White
Coverage:
Wet mils: 5.3-8.0
Dry mils: 2.1-3.2
Coverage sq.ft. per gallon: 200-300
Coverage on porous & rough stucco 80 square feet per gallon

Drying Schedule 77° F @ 50% RH:

@ 77° F
Touch: 4 hours
Recoat: 24 hours

Air and surface temperatures must not drop below 40°F for 48 hours after application.

Drying and recoat times are temperature, humidity and film thickness dependent.

Finish: 0-10 units @85°

Tinting with CCE only:

For best topcoat color development, use the recommended "P"-shade primer. If desired, up to 4 oz. per gallon of ColorCast Ecotones can be used to approximate the topcoat color. Check color before use.

White LX02W0050

V.O.C. (less exempt solvents):
less than 50 grams per litre; 0.42 lbs. per gallon

As per 40 CFR 59.406
Volume Solids: 40 ± 2%
Weight Solids: 55 ± 2%
Weight per Gallon: 10.92 lb
Flash Point: NA
Vehicle Type: Acrylic
Shelf Life: 36 months, unopened

COMPLIANCE

As of 04/07/2021, Complies with:

OTC	Yes
OTC Phase II	Yes
S.C.A.Q.M.D.	Yes
CARB	Yes
CARB SCM 2007	Yes
CARB SCM 2020	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	Yes
LEED® v4 & v4.1 V.O.C.	Yes
EPD-NSF® Certified	Yes
MIR-Product Lens Certified	Yes
MP1®	Yes

APPLICATION

Temperature:
minimum 40°F

The following is a guide. Changes in pressures and tip sizes may be needed for proper spray characteristics. Always purge spray equipment before use with listed reducer. Any reduction must be compatible with the existing environmental and application conditions.

Reducer: No reduction necessary
Airless Spray:
Pressure: 2000-2700 p.s.i.
Tip: .019 inch
Brush: Use a nylon-polyester brush.

Roller Cover: Use a 1/2 to 1 1/2 inch nap synthetic cover.

Spray and backroll on porous & rough stucco to achieve required film build and a pin-hole free surface.

For porous block a coat of Loxon Acrylic Block Surfactant is required to achieve a pinhole free surface.

Apply at temperatures above 40°F. When the air temperature is at 40°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 40°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 4-6 hours.

Do not apply at air or surface temperatures below 40°F or when air or surface temperatures may drop below 40°F within 48 hours.

For best performance results, avoid painting in direct sun or painting substrates with elevated surface temperatures.

Do not reduce.

May be applied to damp but not to wet surfaces.

APPLICATION TIPS

Apply paint at the recommended film thickness and spreading rate as indicated on the page. Application of coating below minimum recommended spreading rate may adversely affect the coating system's performance.

When spot priming on some surfaces, a non-uniform appearance of the final coat may result, due to differences in holdout between primed and unprimed areas. To avoid this, prime the entire surface rather than spot priming.

For optimal performance, this primer-sealer must be topcoated with a latex, alkyd-oil, water based epoxy, or solvent based epoxy coating on architectural applications.

For exterior use, this primer-sealer must be topcoated within 14 days to prevent degradation due to weathering.

RECOMMENDED SYSTEMS

Concrete, Masonry, Cement
1 coat Loxon Concrete and Masonry Primer
2 coats Appropriate topcoat

Stucco, Fiber Cement Siding, EIFS:
1 coat Loxon Concrete and Masonry Primer
2 coats Appropriate topcoat

Recommended Architectural Topcoats:

A-100 Exterior Latex
Duration Exterior & Duration Home Interior
Emerald Exterior & Interior
Loxon Masonry Coatings

SuperPaint Exterior & Interior

ProClassic Interior
ProMar Interior

Recommended Industrial Topcoats:

Industrial Enamels
Pro Industrial Series
Steel Master 9500 Silicone Alkyd
Water Based Catalyzed Epoxy

Industrial finishes have been tested for architectural applications only. Loxon Concrete and Masonry Primer has not been tested in environments subject to chemical attack. Any recommendations for use in such areas must follow a thorough evaluation of the effects of the environment on the Loxon Concrete and Masonry Primer and topcoat system.



Sherwin Williams Product Recommendation

102.01A

SuperPaint® Exterior Latex Flat A80-Series



CHARACTERISTICS

SuperPaint Exterior Latex, with resistance to early dirt pick up, provides outstanding performance on properly prepared aluminum and vinyl siding, wood, hardboard, masonry, cement, brick, block, stucco, and metal down to a surface and air temperature of 35°F.

VinylSafe® paint colors allow you the freedom to choose from 100 color options, including a limited selection of darker colors formulated to resist warping or bucking when applied to a sound, stable vinyl substrate.

Color: Most Colors

Coverage: 350-400 sq. ft. per gallon
@ 4 mls wet/1.5 mls dry

Drying Time, @ 50% RH:

	@ 35-45°F	@ 45°F +
Touch:	2 hours	2 hours
Recoat:	24-48 hours	4 hours

Drying and recoat times are temperature, humidity, and film thickness dependent.

Finish: 0-5 units @ 85°

Tinting with CCE only:

Base:	oz. per gallon	Strength:
Extra White	0-6	SherColor
Deep Base	4-12	SherColor
Ultra-deep Base	10-12	SherColor
Light Yellow	2-12	SherColor

Extra White A80W02151

(may vary by color)

VOC (less exempt solvents):
less than 50 grams per litre; 0.42 lbs. per gallon
As per 40 CFR 59.406

Volume Solids: 37 ± 2%
Weight Solids: 53 ± 2%
Weight per Gallon: 11.28 lbs

Flash Point: N/A
Vehicle Type: 100% Acrylic
Shelf Life: 36 months unopened
WVP Perms (US) 27.48 grains/(hr ft² in Hg)

Mildew Resistant
This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

COMPLIANCE

As of 08/31/2020, Complies with:

OTC	Yes
OTC Phase II	Yes
SCAQMD	Yes
CARB	Yes
CARB SCM 2007	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	N.A.
LEED® v4 & v4.1 VOC	Yes
EPD-NSF® Certified	N.A.
MIR-Manufacturer Inventory	N.A.
MPI®	Yes

APPLICATION

When the air temperature is at 35°F, substrates may be colder, prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

No reduction necessary.

Brush: Use a nylon-polyester brush.

Roller: Use a high quality 3/8-3/4 inch nap synthetic roller cover.

Use a high quality 3/8-3/4 inch nap synthetic roller cover.
For specific brushes and rollers, please refer to our Brush and Roller Guide on sherwin-williams.com

Spray—Airless 2000 p.s.i.
Tip .015-.019 inch

APPLICATION TIPS

Make sure product is completely agitated (mechanically or manually) before use.

Thoroughly follow the recommended surface preparations. Most coating failures are due to inadequate surface preparation or application. Thorough surface preparation will help provide long term protection.

SPECIFICATIONS

SuperPaint Exterior Latex can be self-priming when used directly over existing coatings, or bare drywall, plaster and masonry (with a cured pH of less than 9). The first coat acts like a coat of primer and the second coat provides the final appearance and performance. Please note that some specific surfaces require specialized treatment.

Use on these properly prepared surfaces:

Aluminum & Aluminum Siding¹

Galvanized Steel¹

2 coats SuperPaint Exterior Latex

Concrete Block, CMU, Split face Block

1 coat Loxon Acrylic Block Surferacer

2 coats SuperPaint Exterior Latex

Brick, Stucco, Cement, Concrete

1 coat Loxon Concrete and Masonry Primer²

or

Loxon Conditioner³

2 coats SuperPaint Exterior Latex

Cement Composition Siding/Panels

1 coat Loxon Concrete and Masonry Primer²

or

Loxon Conditioner³

2 coats SuperPaint Exterior Latex

Plywood

1 coat Exterior Latex Primer

2 coats SuperPaint Exterior Latex

Vinyl Siding

2 coats SuperPaint Exterior Latex

Wood (Cedar, Redwood)⁴

1 coat Exterior Oil-Based Wood Primer⁵

2 coats SuperPaint Exterior Latex

¹ On large expanses of metal siding, the air, surface, and material temperatures must be 50°F or higher.

² Not for use at temperatures under 50°F. See specific primer label for that product's application conditions.

³ Not for use at temperatures under 40°F. See specific primer label for that product's application conditions.

⁴ Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. For best results on these woods, use a coat of Exterior Oil-Based Wood Primer.

Other primers may be appropriate. Standard latex primers cannot be used below 50°F. See specific primer label for that product's application conditions.

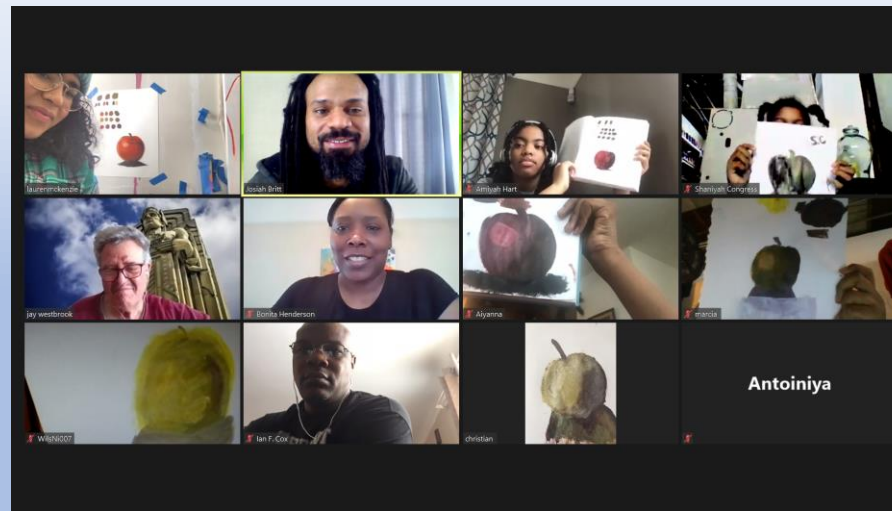
When repainting involves a drastic color change, a coat of primer will improve the hiding performance of the topcoat color.



About Make Your Mark:

The E. 130th Street Make Your Mark project grew out of the E. 130th Working Group planning for the 2020 Soul of Buckeye summer festival. Discussion among committee members led to three primary objectives:

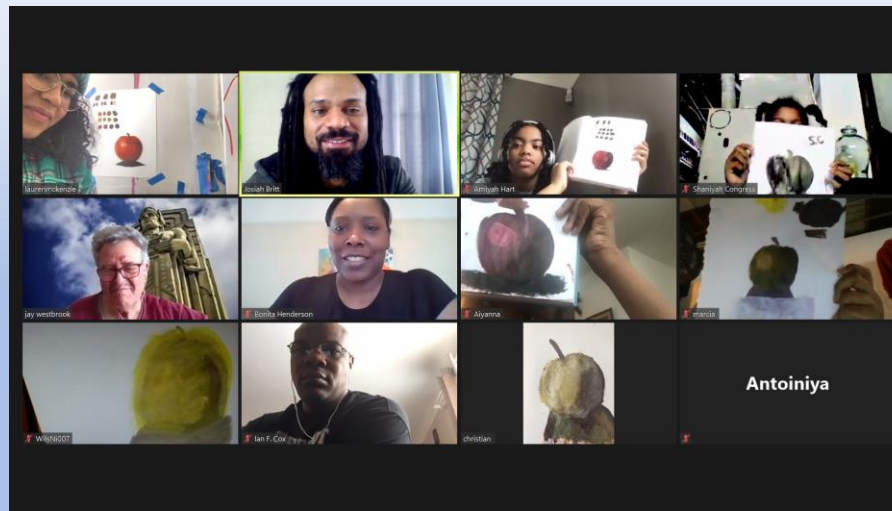
- 1) Engage youth in a meaningful way
- 2) Undertake a physical improvement to the street
- 3) Demonstrate the continual improvement of physical conditions on the street as well as the increasing civic engagement





About Make Your Mark (continued):

In phase one, Make Your Mark provided virtual artistic programming for youth and will result in a permanent mural along a recently enclosed ground floor parking area at the Shaker Square Towers, 2815 and 2825 E. 130th. Eight enthusiastic youth participants from the community were recruited, given high quality art supplies, and went through a four-part series of technically immersive art sessions led by two professional muralists. The youth artwork that resulted from these classes, then became the inspiration for a mural concept co-developed by the two muralist. A final in-person session was held to unveil the concept to the youth. All eight youth participants attended 100% of the project sessions.

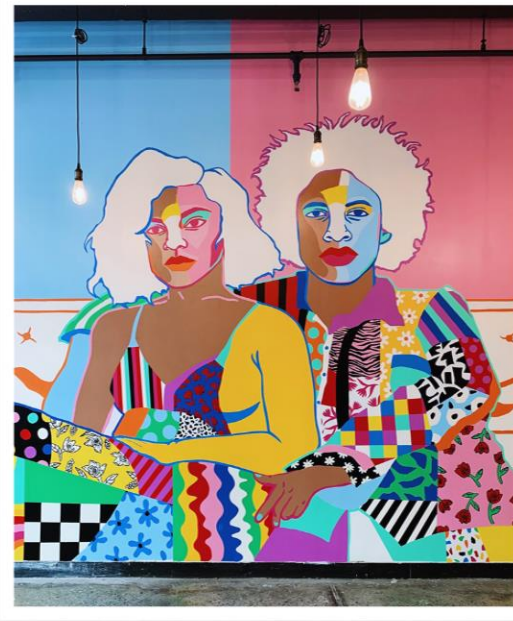




Make Your Mark Project Team:



Muralist: Lauryn Pearce



Muralist: Brandon Graves





Make Your Mark Project Team (continued):

Advisory Team:

Josiah Britt- Artistic Manager

Jay Westbrook- Planning Manager

Harriet Wadsworth- Admin Manager

David Wilson- Advisor

Pastor Ian Cox-Recruiter

Bonita Henderson-Recruiter

Shay Smith-Property Manager

Additional Support Team: E.130th Working Group, Shaker Square Apartment LLC, youth participants, CollectivExpress, E.128th Block Club, Holy Grove Church, Harvey Rice Wraparound School, Shaker Square Alliance, Burton, Bell, Carr Development, and Greater Buckeye activist, institutions, businesses and residents.

Project Facilitator: E.130th Working Group

Project Funders: St. Luke's Foundation, LAND Studio, Cleveland Foundation, George Codrington Foundation, Fowler Foundation, Neighborhood Connections, and IOBY crowd fund contributors.



CITY OF CLEVELAND
Office of the Council

www.clevelandcitycouncil.org

Blaine A. Griffin COUNCIL MEMBER, WARD 6 • MAJORITY WHIP

COMMITTEES: Safety - Chair • Workforce & Community Benefits - Vice Chair
Development, Planning & Sustainability • Finance • Operations

Letter of Support

March 10, 2021

Dear Bob Render, residents, and supporters of Make Your Mark,

Thank you for sharing with me the plans for the installation of these two vibrant, afro-centric murals at the East 128th Street Amos Norwood Mini-Park and the Shaker Square Towers Apartment Complex, between Drexmore Road and Buckeye Road. Bob, as you know, I have worked with you as the President of the East 128th Street Block Club Association, a member of the East 130th Street Working Group and my Ward 6-T precinct committeeman, over the past several years. I know that the concerns, dedication, and passion you have demonstrated on behalf of the Buckeye Road neighborhood has been matched by the stakeholders and other activist working on behalf of the East 130th Street Working Group. You have demonstrated that active engagement of homeowners, residents, landlords, local businesspersons, and others can and does make a difference. The emerging difference is a strong positive direction that is forged out of involvement, hope and change.

I fully support the current projects to install two highly imaginative and historically profound public art murals immediately South of Historic Shaker Square. Indeed, I have followed closely, the findings in the 2014 Design Charrettes: a history of poor and deteriorating infrastructure, erratic maintenance, lack of attractive green space and various kinds of visual art projects along the Buckeye Road corridor must be addressed. These cry out for initiatives that bring added value to this corridor.

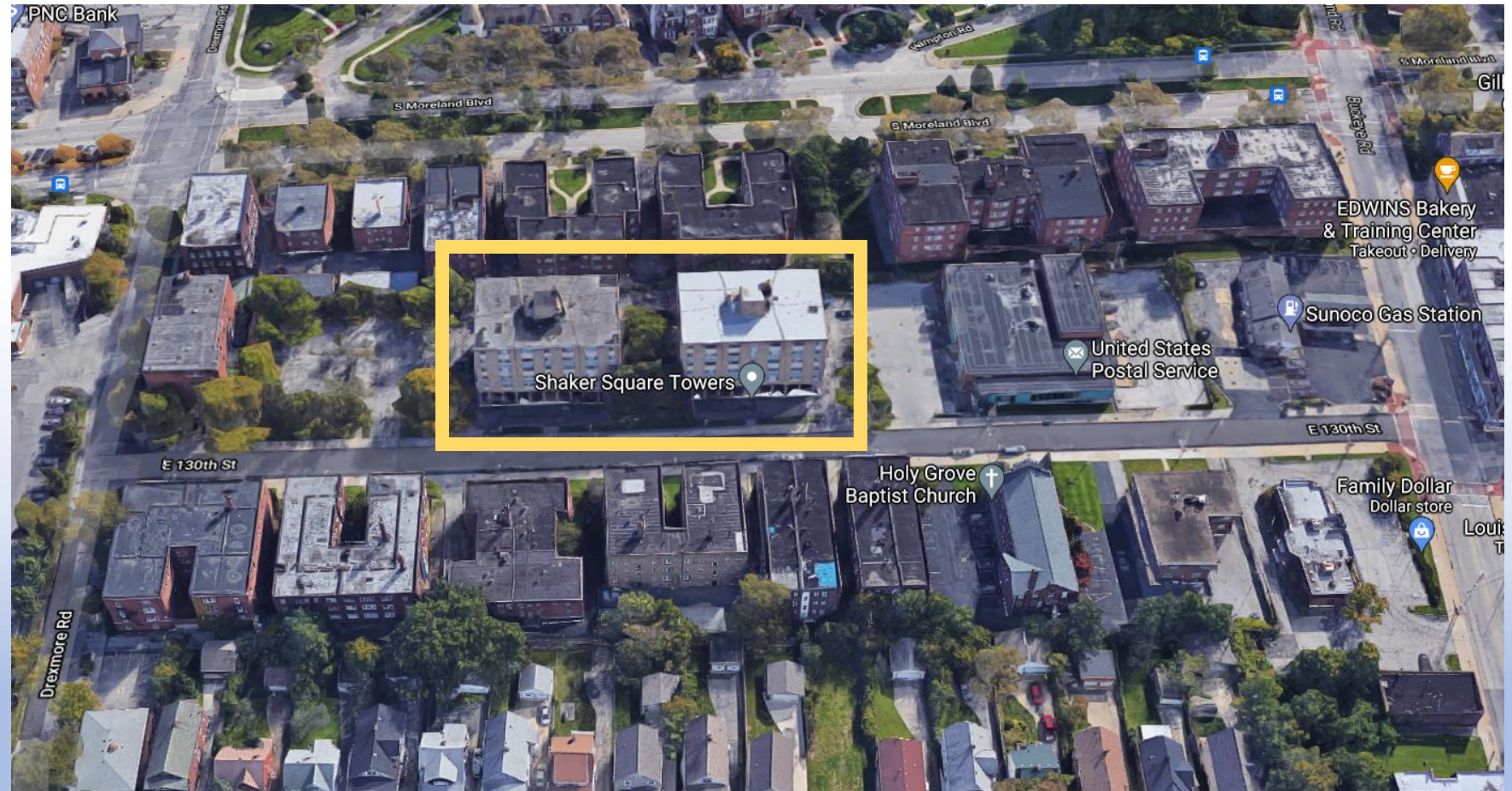
These two dramatic public art murals with their components of youth engagement and community involvement will serve as a catalyst to jumpstart some of the other art initiatives from years past into a complete public art gallery, along the entire Buckeye Road corridor. Make Your Mark and the visual history of African Americans will be a valuable part of the City of Cleveland's Planning Department Transportation for Living Communities Initiative through the Buckeye Refresh

City Hall 601 Lakeside Avenue, N.E., Room 220, Cleveland, OH 44114 • Phone (216) 664-4234 • Fax (216) 664-3837

Email bggriffin@clevelandcitycouncil.org



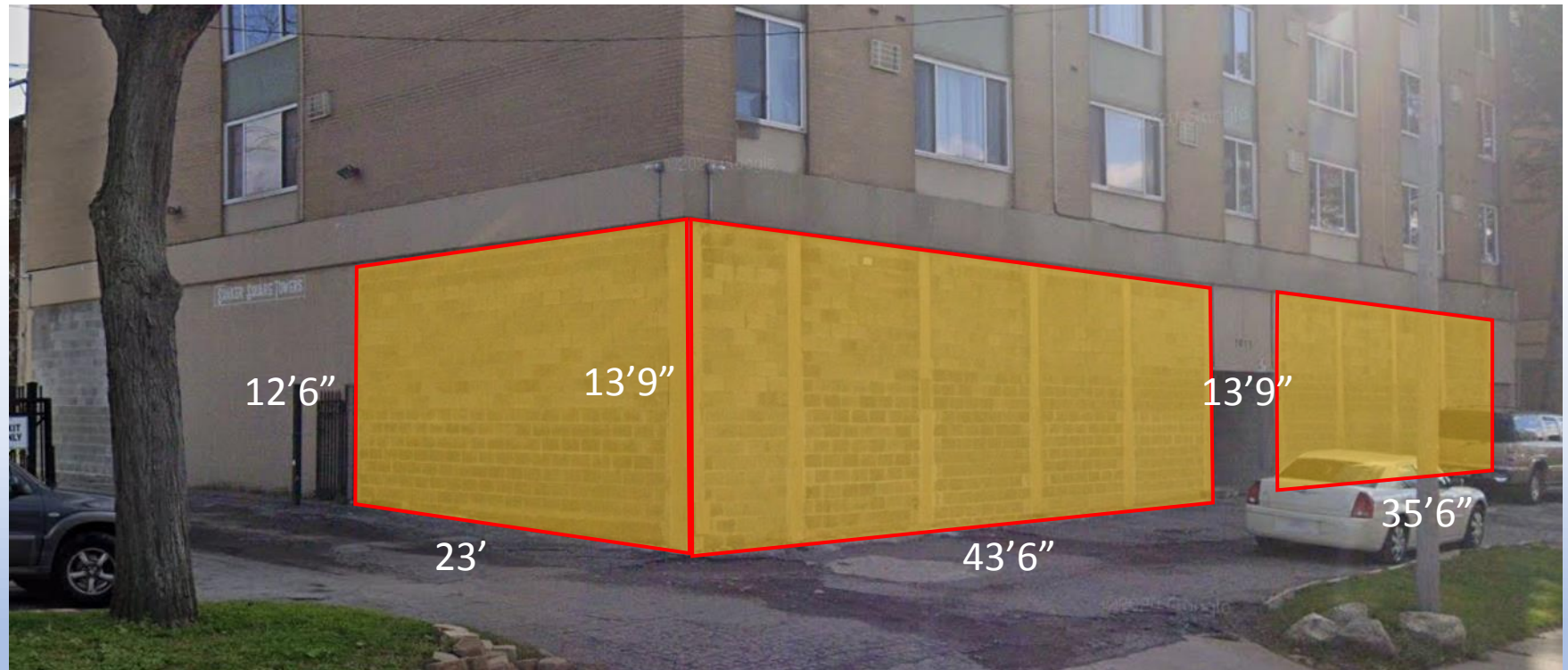
Site Location:





Project Location:

Shaker Square Towers- Building 1
2815 E.130th, Cleveland 44120

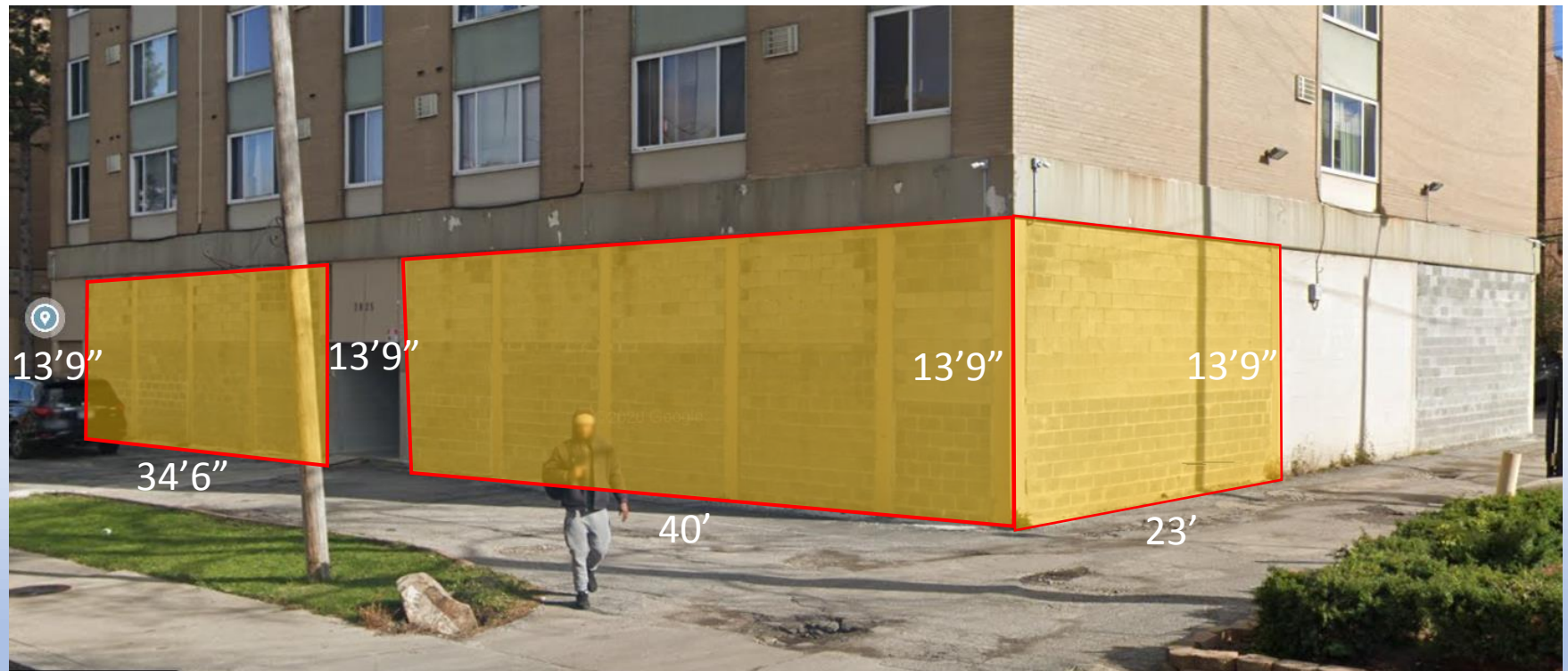


Building 1- Mural Square Footage: 1388.125 Sq Ft



Project Location (continued):

Shaker Square Towers- Building 2
2825 E.130th, Cleveland 44120



Building 2- Mural Square Footage: 1340.625 Sq Ft



Design- Rough Concept:

Shaker Square Towers- Building 1
2815 E.130th, Cleveland 44120





Design- Rough Concept (continued):

Shaker Square Towers- Building 2
2825 E.130th, Cleveland 44120





Design- Rough Concept (continued):



↑
Youth participants and muralist signatures

Total Mural Project Square Footage: 2728.75 Sq Ft

↑
Sponsor acknowledgement

Maintenance Plan

Mural will be owned and maintained by Shaker Square Towers in collaboration with the Make Your Mark team and stakeholder representatives for the duration of the mural's lifespan.

Certificates of Appropriateness

June 24, 2021



Case 21-048: Warehouse Historic District
1296 West 6th Street
Storefront Renovation
Ward 3: McCormack
Project Representatives: Joseph Berardi, Architect

1296 West 6th Street

CLEVELAND, OH

Cleveland Landmarks Commission Review

June 24, 2021



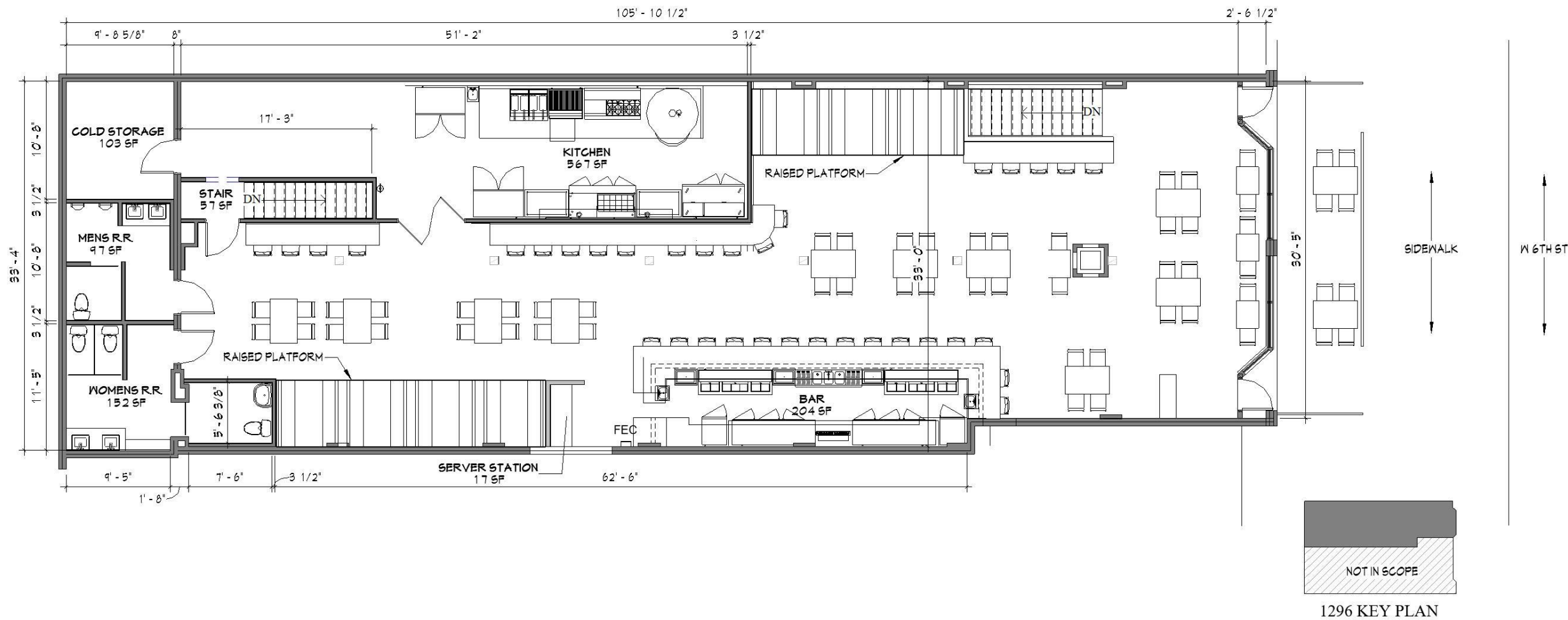
BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

KASSOUF



KASSOUF



AREA OF WORK



EXISTING STREET ELEVATION

CONSTRUCTED IN 1920

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



REFERENCE IMAGE 1 – 1930s



REFERENCE IMAGE 1 – ZOOMED IN AND BRIGHTENED

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



REFERENCE IMAGE 2 - 1990

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ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



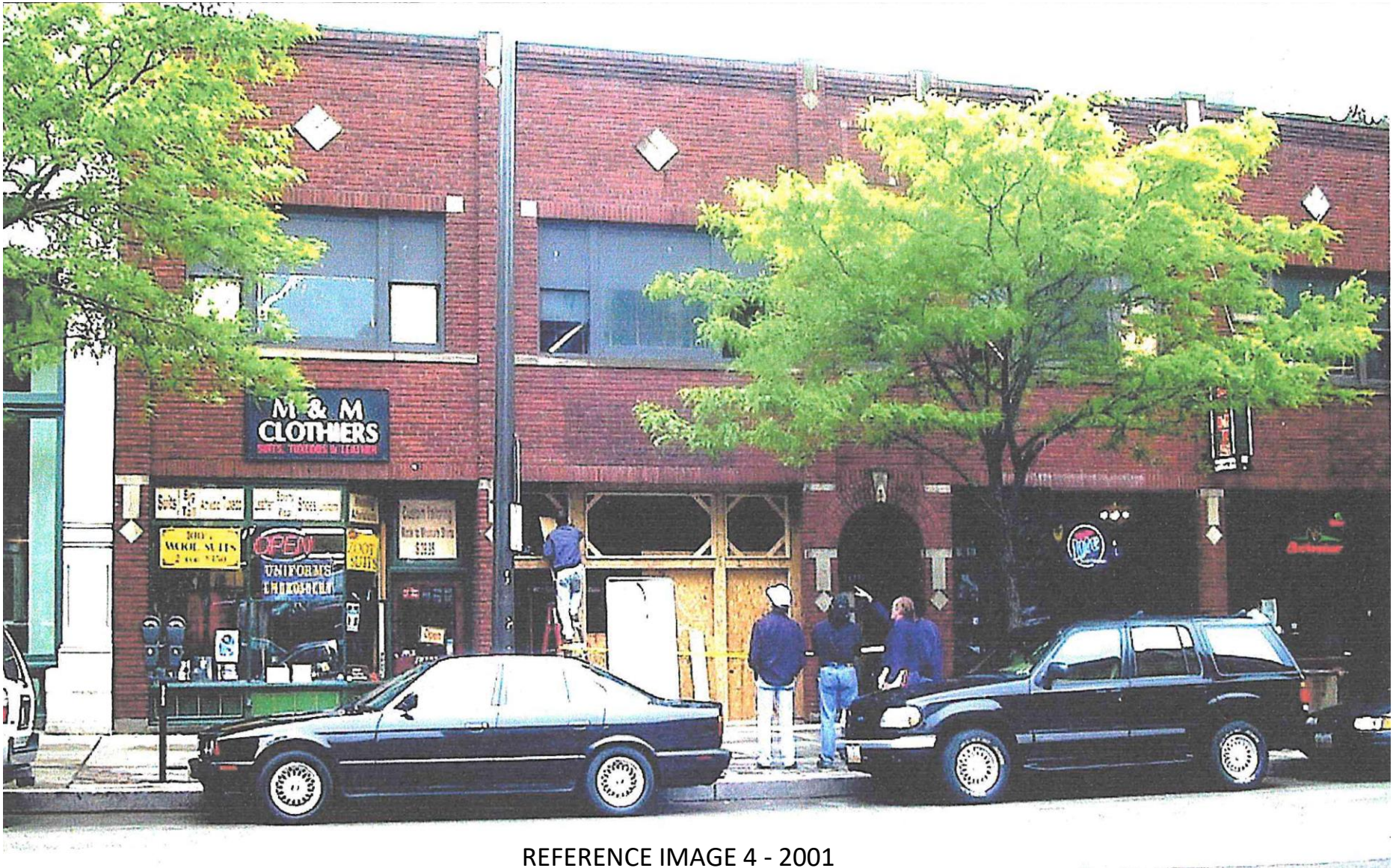
REFERENCE IMAGE 3 - 1990

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



REFERENCE IMAGE 4 - 2001

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



REFERENCE IMAGE 5 - 2001

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



REFERENCE IMAGE 6



REFERENCE IMAGE 7

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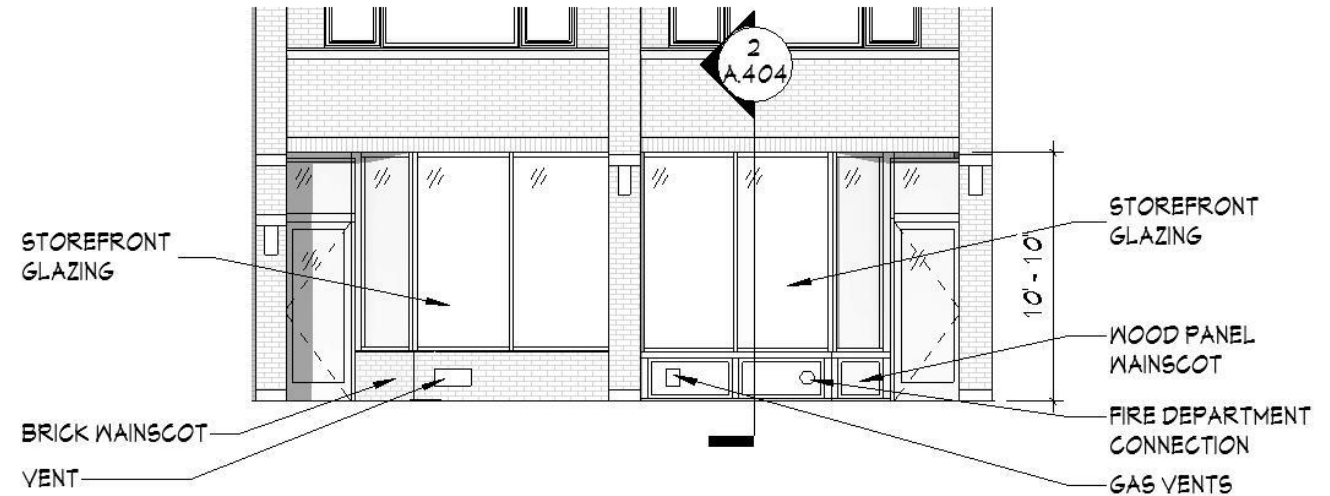
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



EXISTING ELEVATION IMAGE



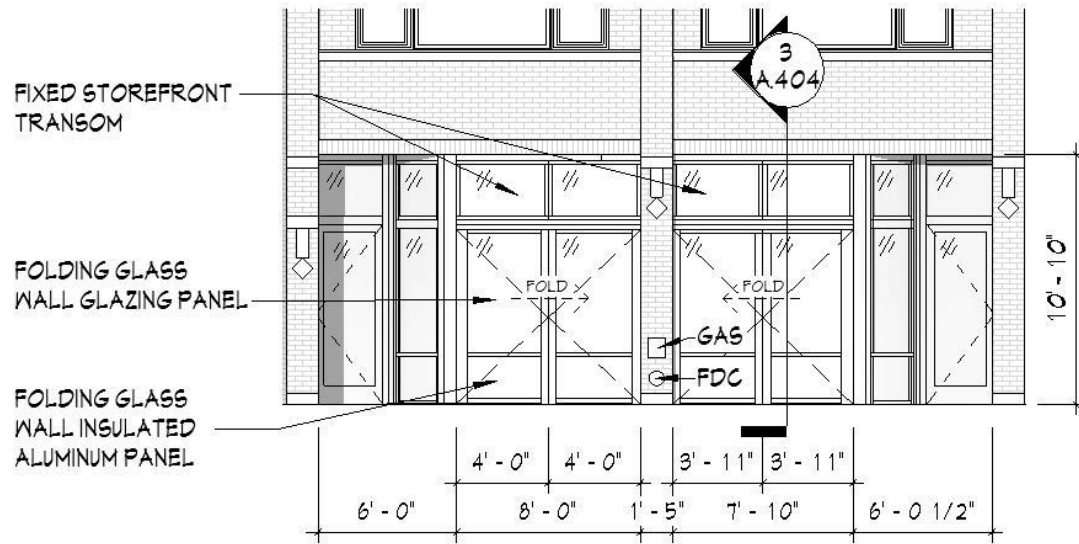
EXISTING ELEVATION DRAWING

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

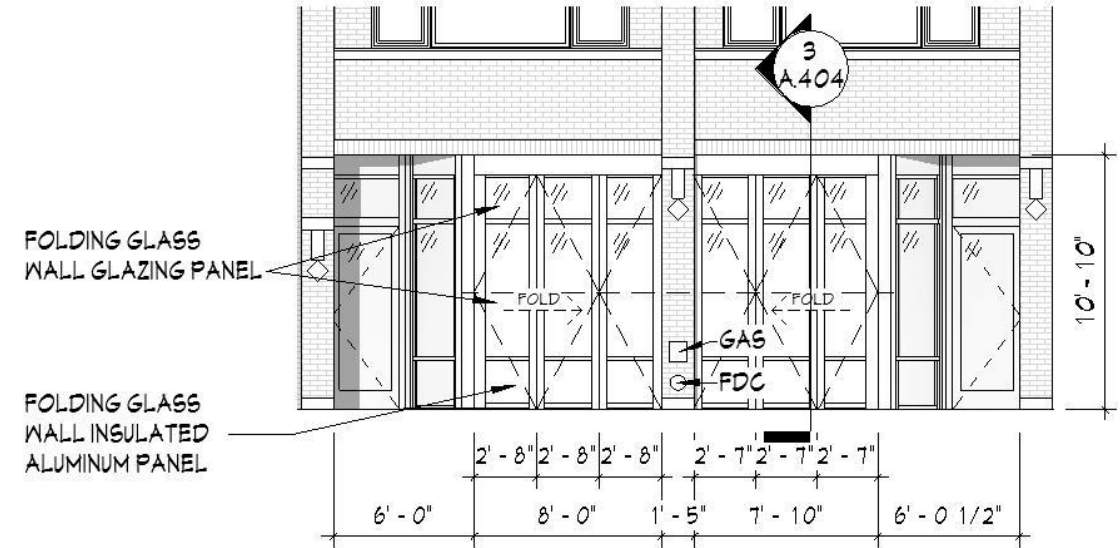
1296 West 6th Street

KASSOUF



NEW ELEVATION - 2 PANELS AT 8 FEET HIGH

OPTION 1



NEW ELEVATION - 3 PANELS AT 10 FEET HIGH

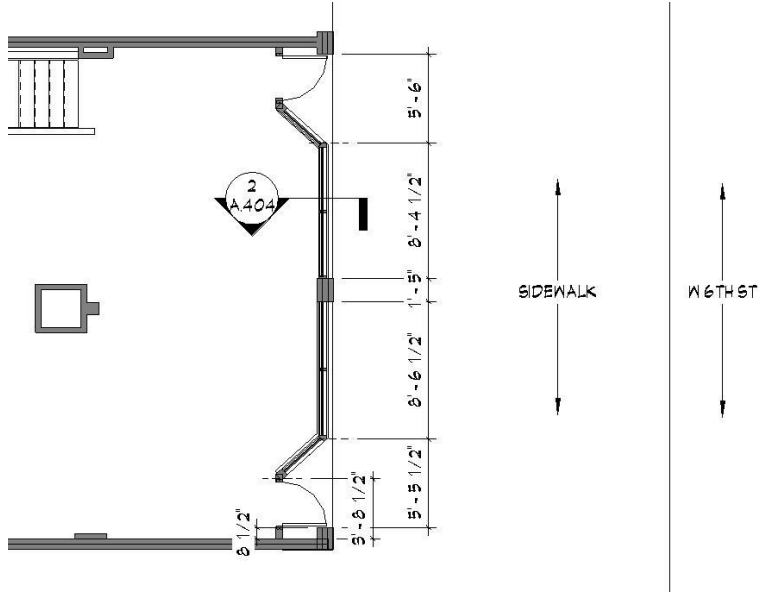
OPTION 2

BERARDI+

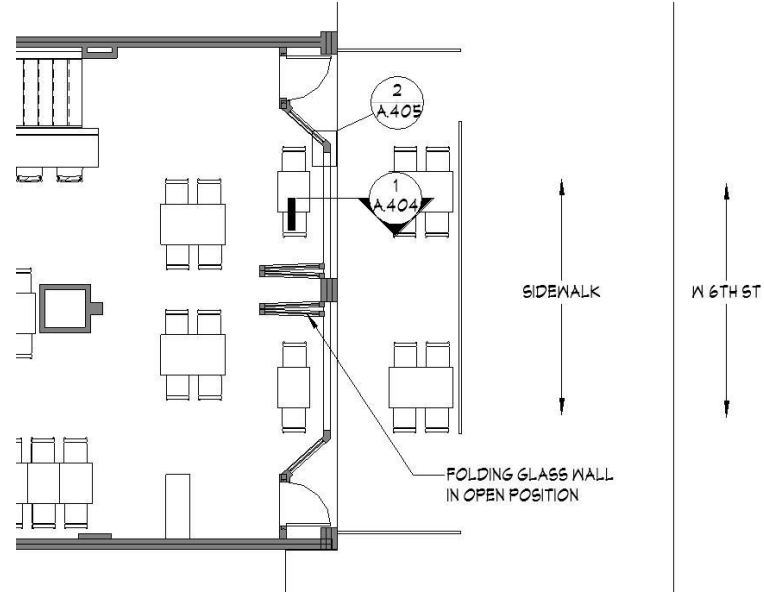
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF

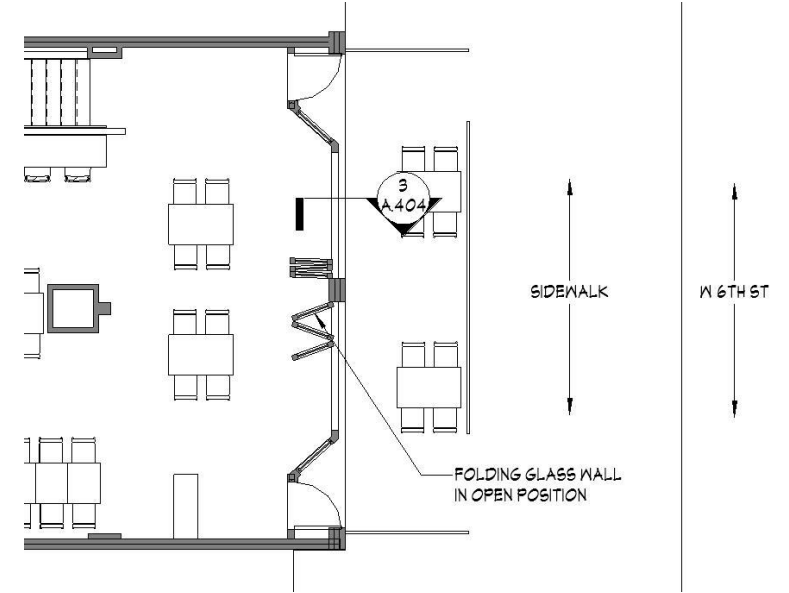


EXISTING PLAN



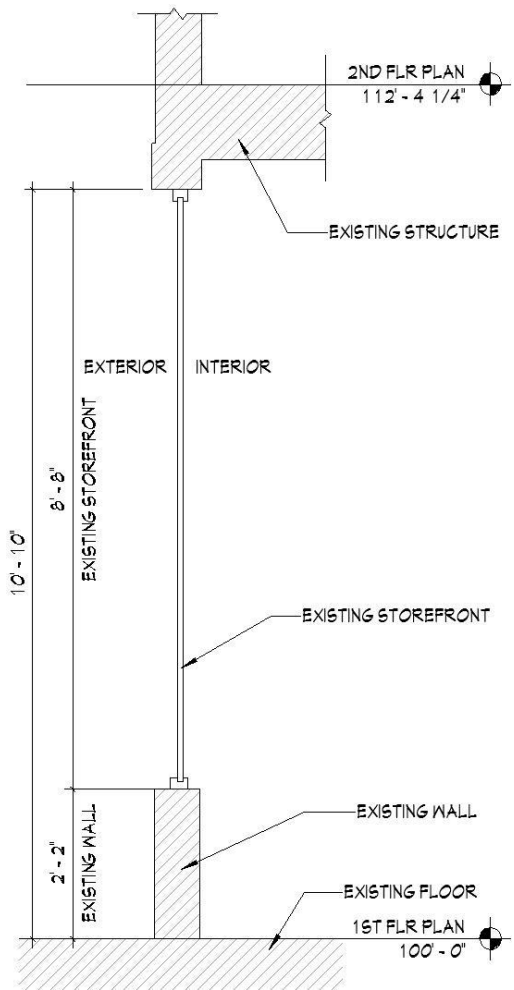
NEW PLAN – 2 PANELS

OPTION 1

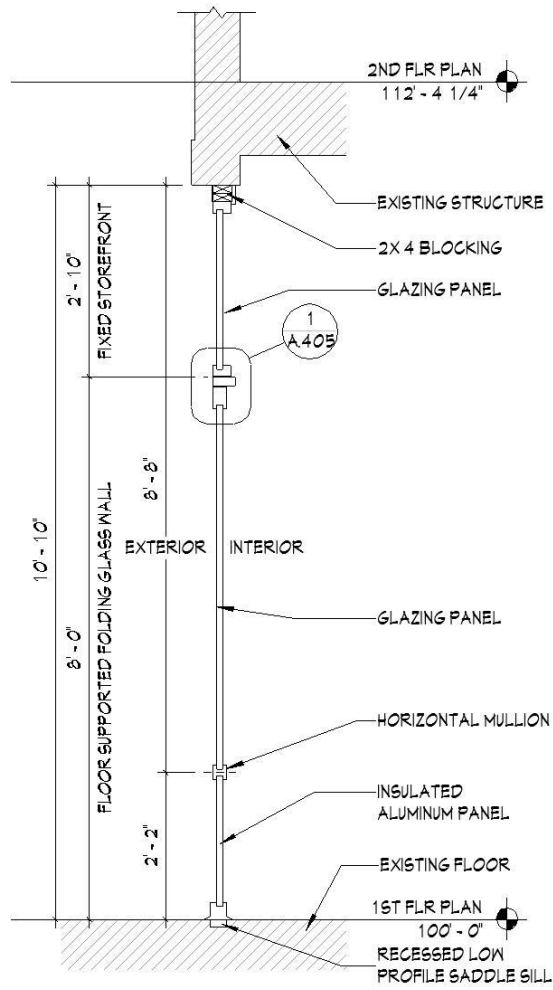


NEW PLAN – 3 PANELS

OPTION 2

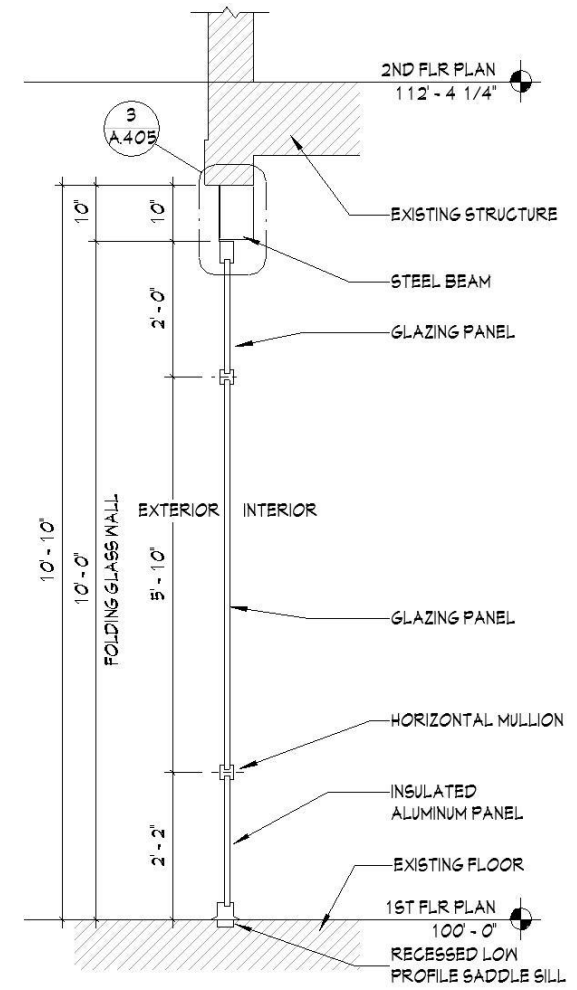


EXISTING SECTION



NEW SECTION – 2 PANELS AT 8 FEET

OPTION 1



NEW SECTION – 3 PANELS AT 10 FEET

OPTION 2

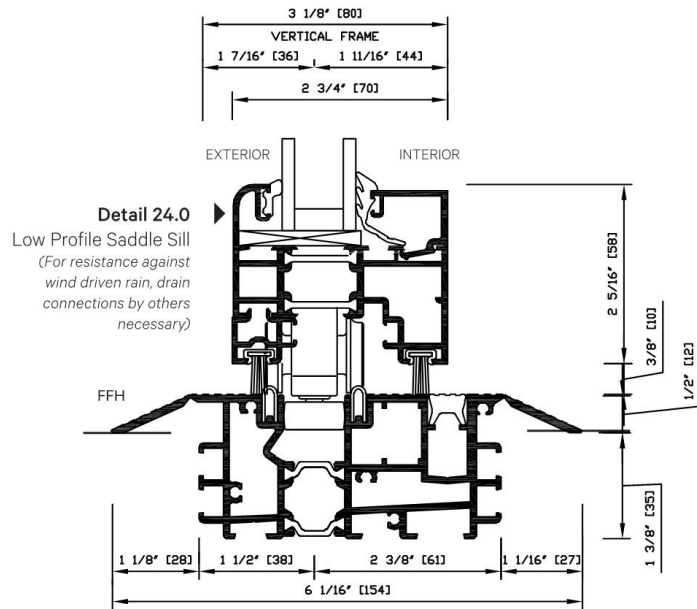
BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

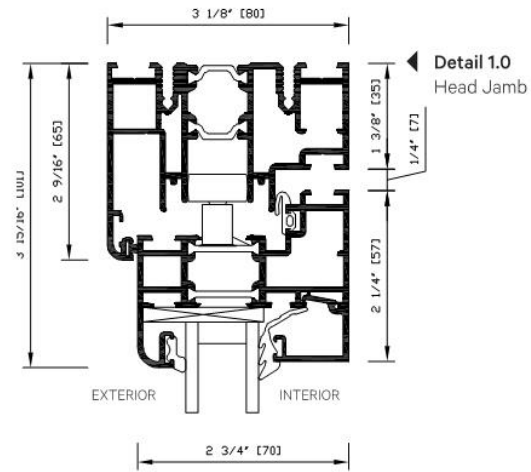
1296 West 6th Street

KASSOUF

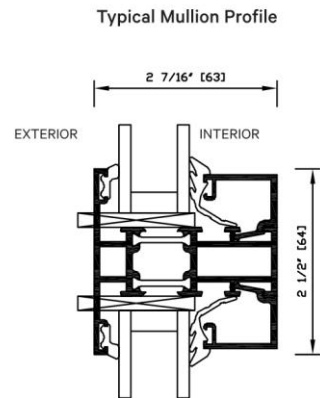
FOLDING GLASS WALL DETAILS



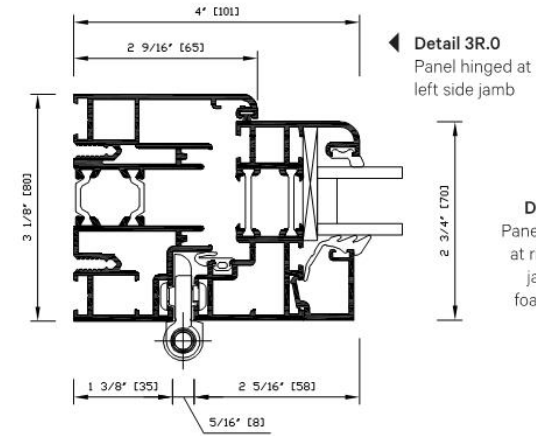
SILL SECTION



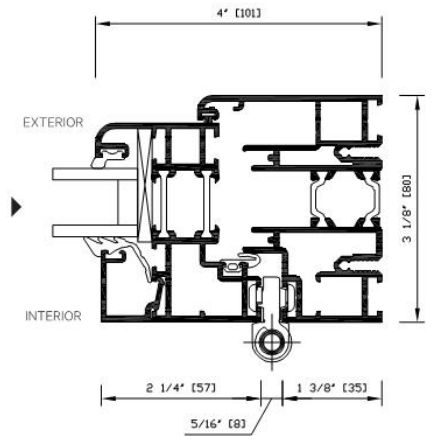
HEAD JAMB SECTION



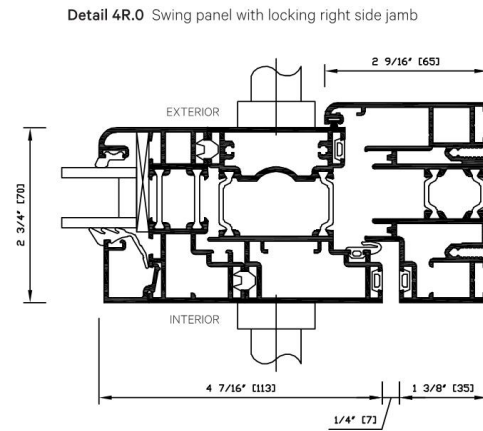
MULLION SECTION



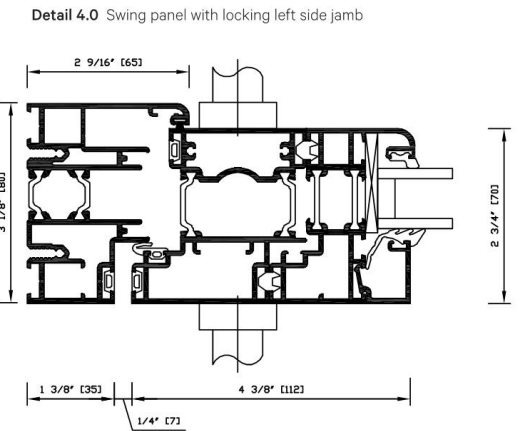
LEFT JAMB PLAN DETAIL



RIGHT JAMB PLAN DETAIL



LOCKING RIGHT JAMB
PLAN DETAIL



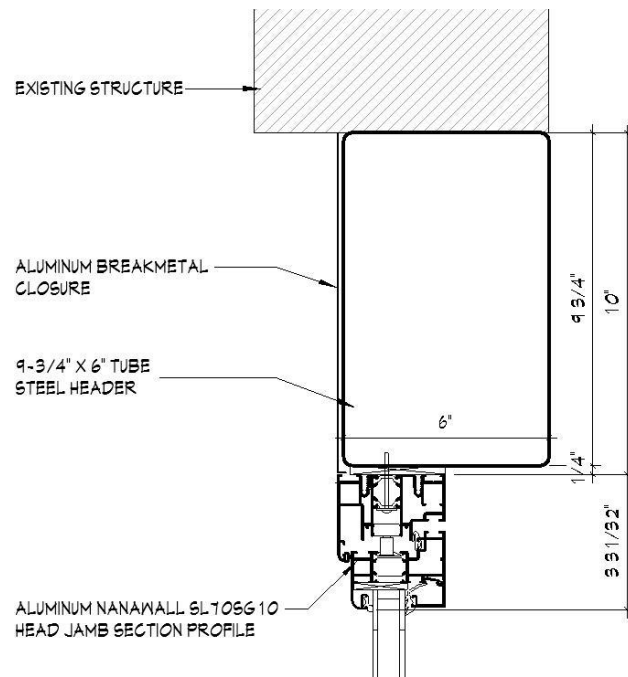
LOCKING LEFT JAMB
PLAN DETAIL

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

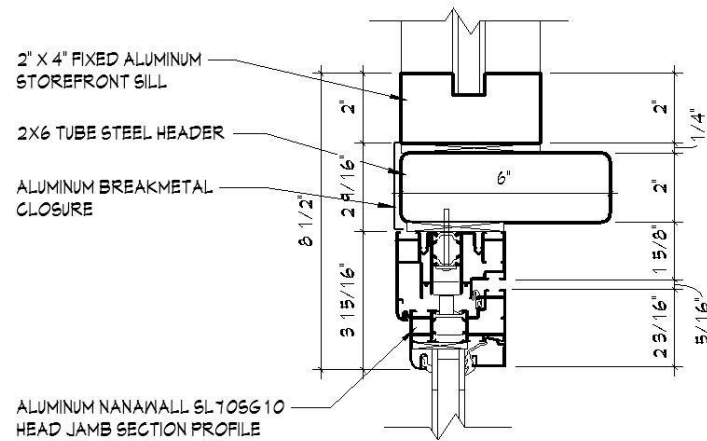
1296 West 6th Street

KASSOUF



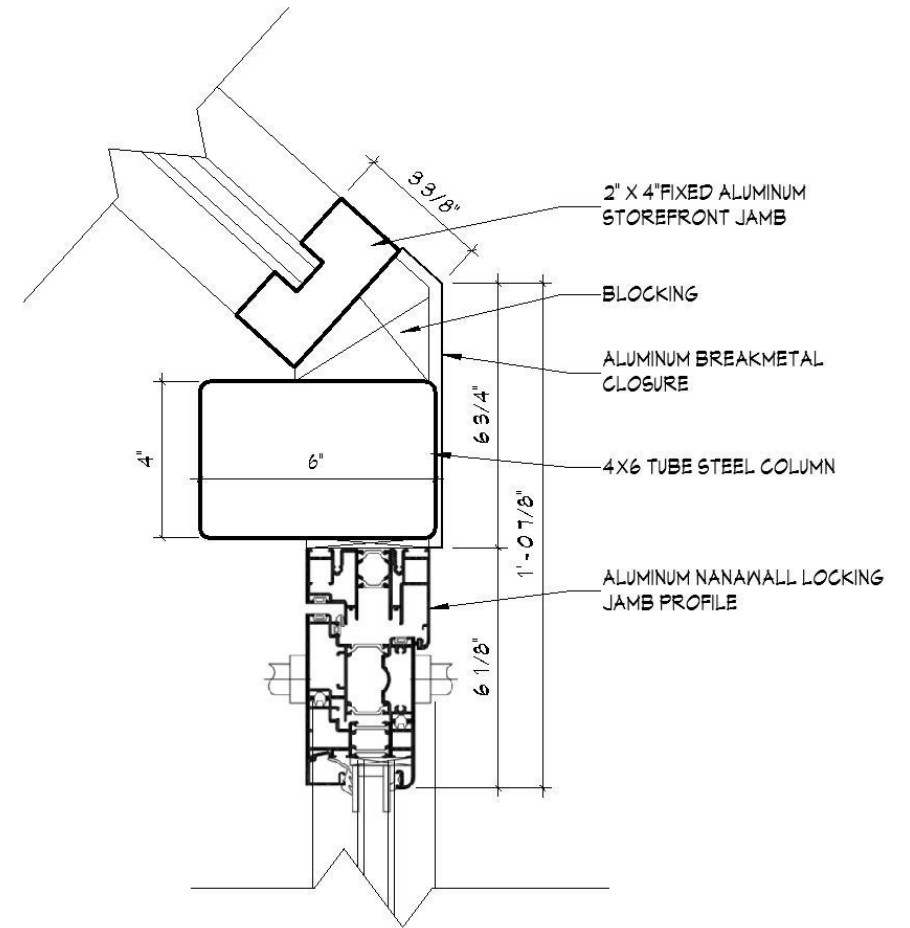
HEAD DETAIL AT TOP OF 3
PANEL SYSTEM

OPTION 2



HEAD DETAIL AT FIXED
STOREFRONT TRANSOM

OPTION 1



JAMB DETAIL AT ANGLED CORNER

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



2 PANELS – 8 FEET HIGH
CLOSED POSITION

OPTION 1



STOREFRONT COLOR:
BRONZE



2 PANELS – 8 FEET HIGH
OPEN POSITION

OPTION 1

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1296 West 6th Street

KASSOUF



3 PANELS – 10 FEET HIGH
CLOSED POSITION

OPTION 2



STOREFRONT COLOR:
BRONZE



3 PANELS – 10 FEET HIGH
OPEN POSITION

OPTION 2

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1296 West 6th Street

KASSOUF



OPTION 1

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



WHOLE BUILDING ELEVATION

OPTION 1

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING

1296 West 6th Street

KASSOUF



WHOLE BUILDING ELEVATION

OPTION 2

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1296 West 6th Street

KASSOUF

Certificates of Appropriateness

June 24, 2021



Case 21-049: Lorain Avenue Historic District

4344 Lorain Avenue

Renovation

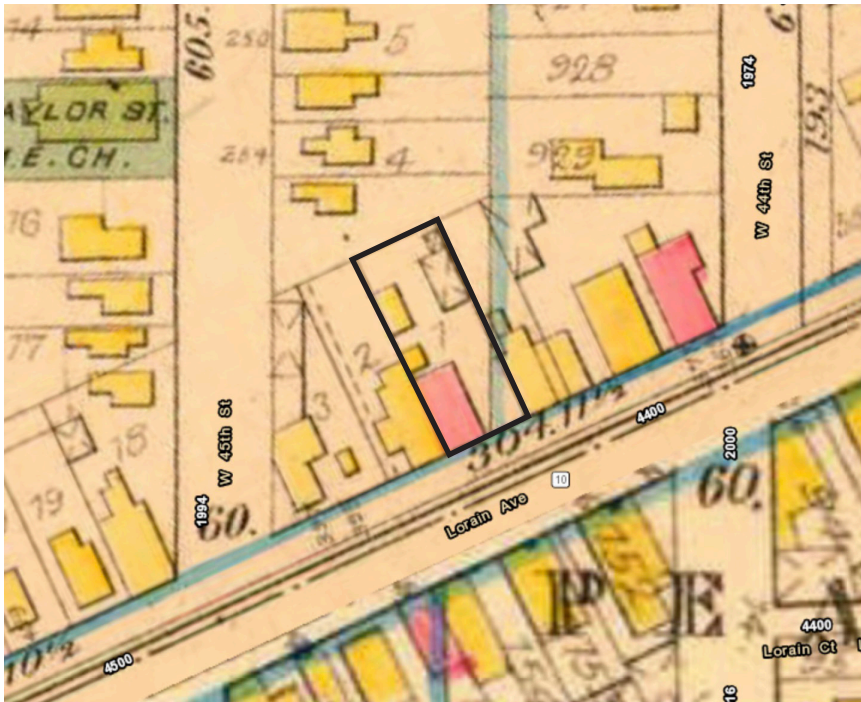
Ward 3: McCormack

Project Representatives: Bob Biggar, Developer; Antonia Marinucci, Architect

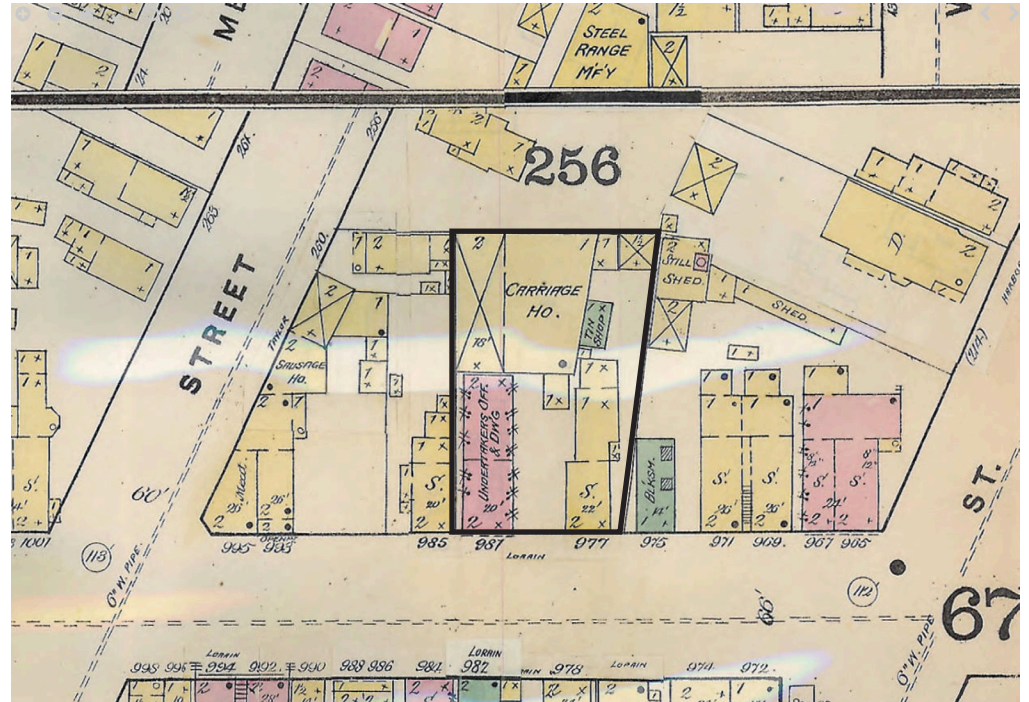


4434 Lorain Avenue

Demolition & renovation



1881 Front building (pink) is present



1886 Addition of rear house and "Carriage House"



1950s Postcard announcing new location on Detroit Ave

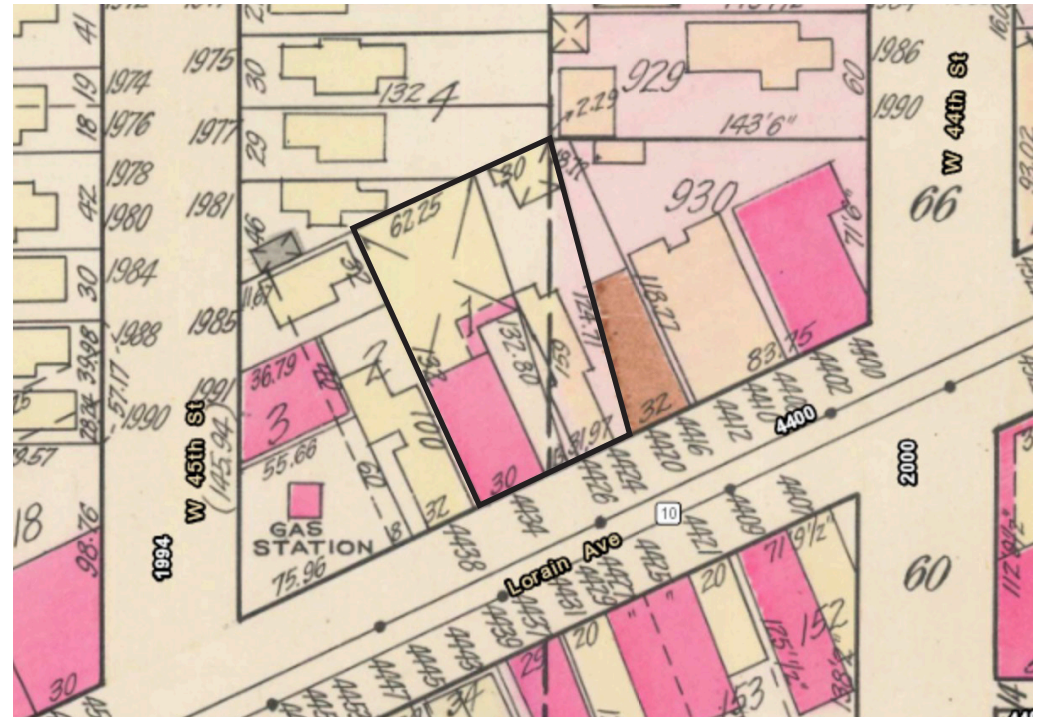
Press release states "We shall continue to operate our original home at 4434 Lorain Avenue."

Established 1865 - assumption is the business had operated at the Lorain location since establishment; Tax records and City directory showed Nunn family had ownership prior to 1881 mapping.

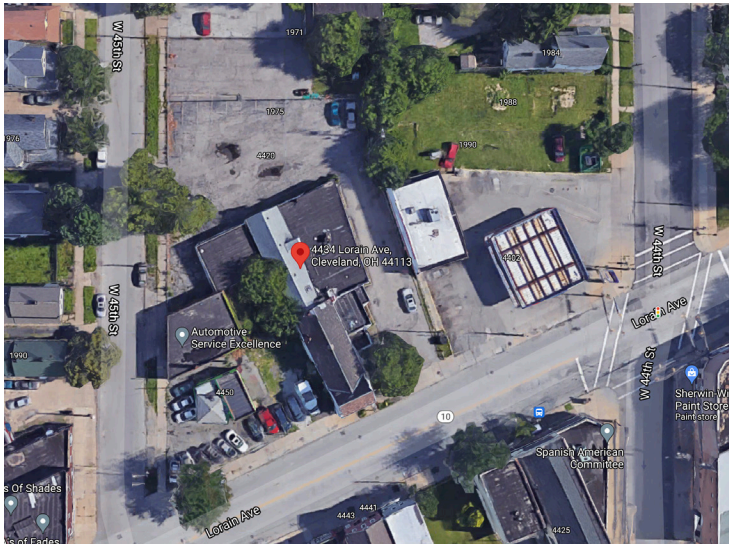
4434 Lorain Avenue



1912



1927-37 Front structure added



Today
4434 Lorain Avenue



Front (Lorain) facade: looking east



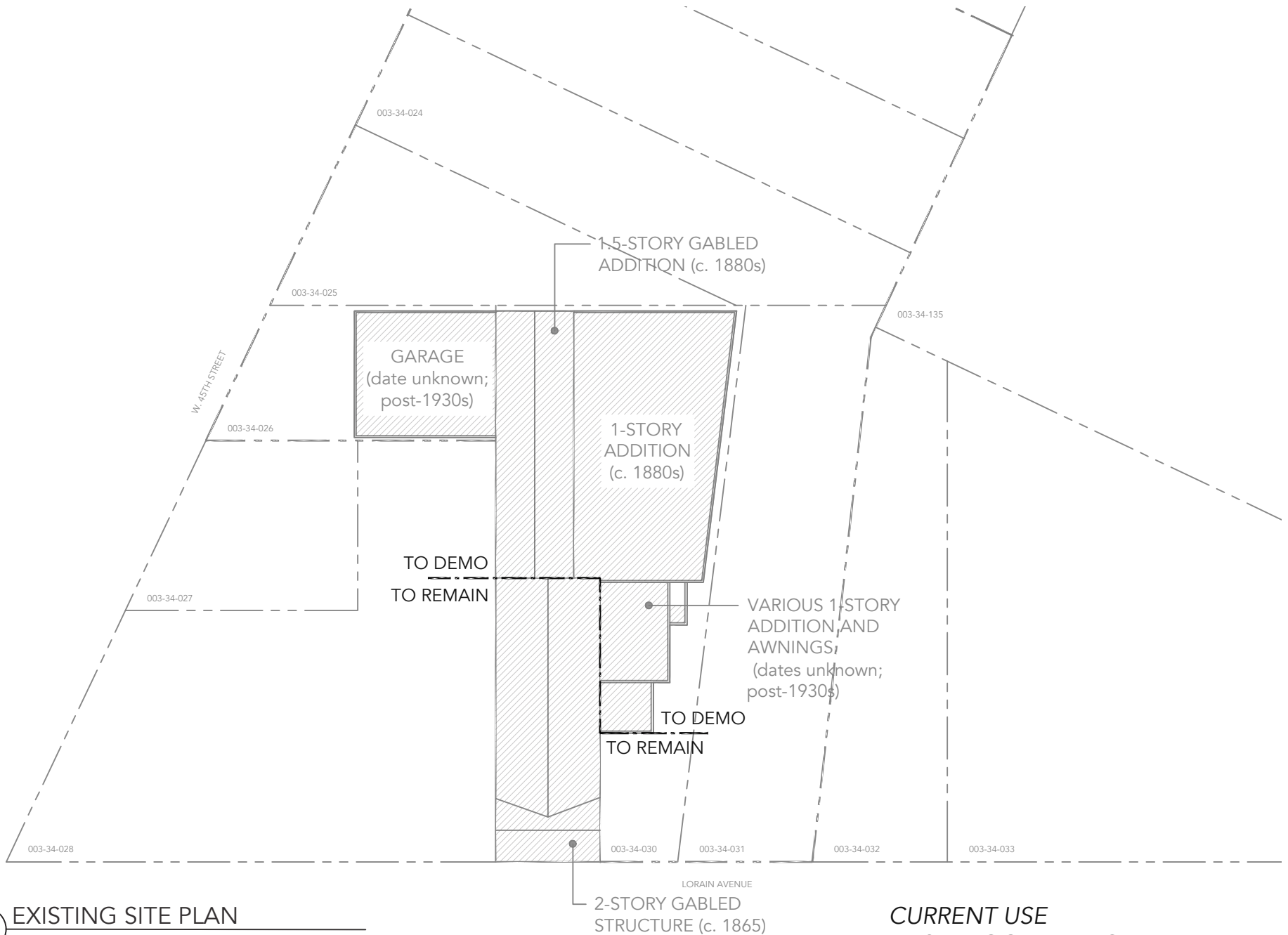
Front (Lorain) facade: looking west



Rear (W. 45th) facade: looking south-east



Rear facade: looking south-west



4434 Lorain Avenue

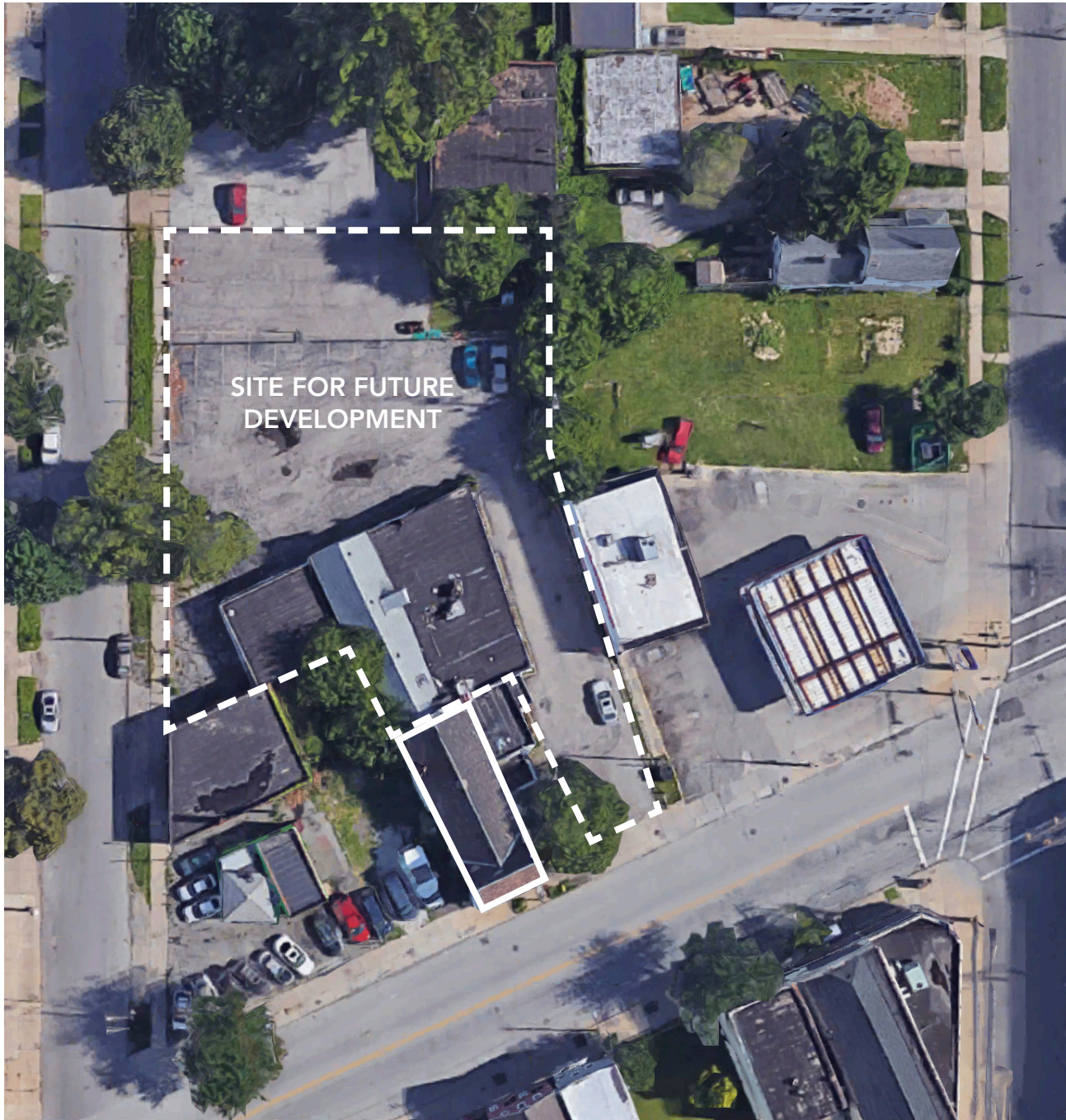


1 RESULTANT SITE PLAN
 $\frac{1}{32}'' = 1'-0''$

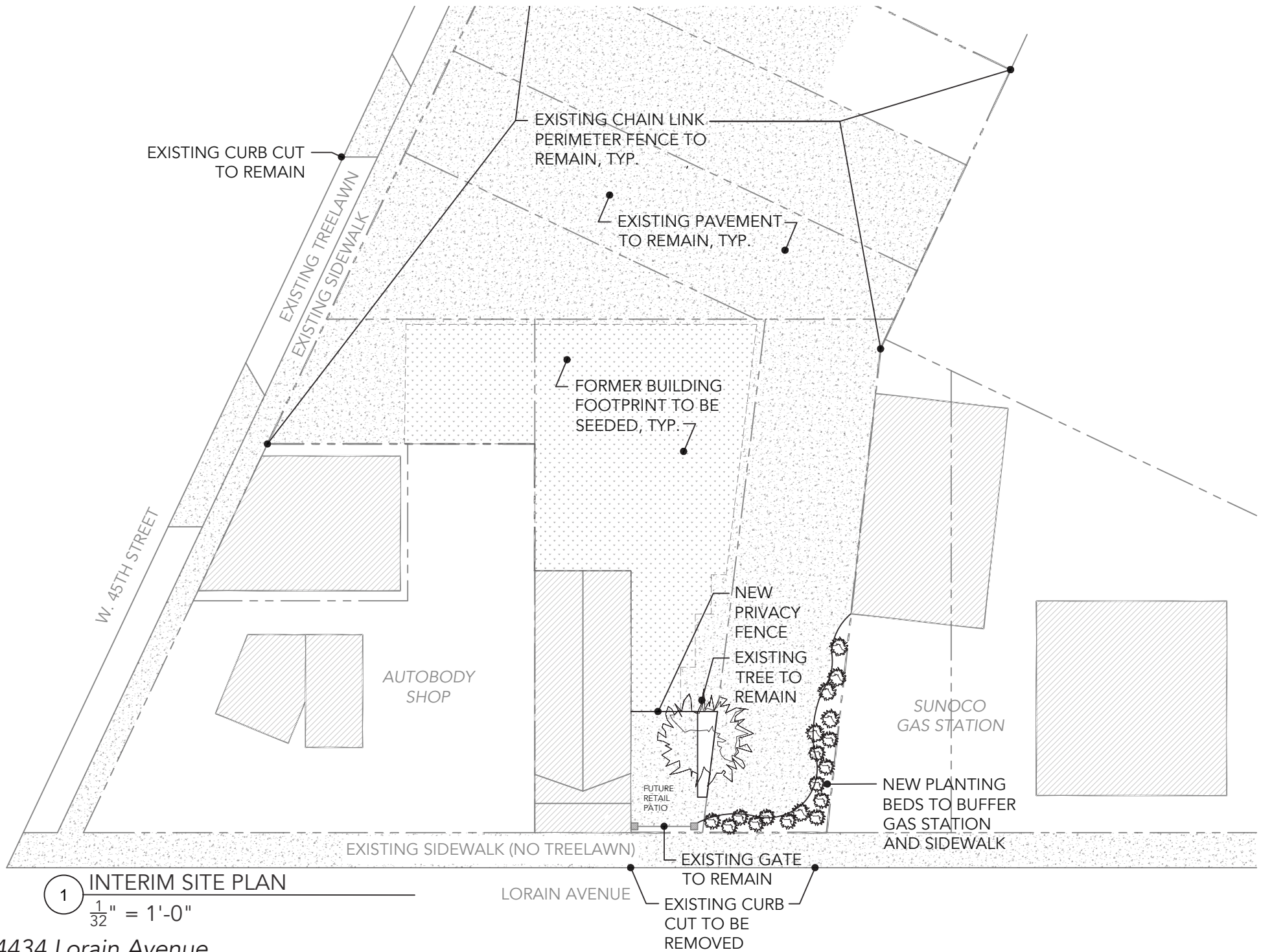
4434 Lorain Avenue

2-STORY GABLED
 STRUCTURE (c. 1865)

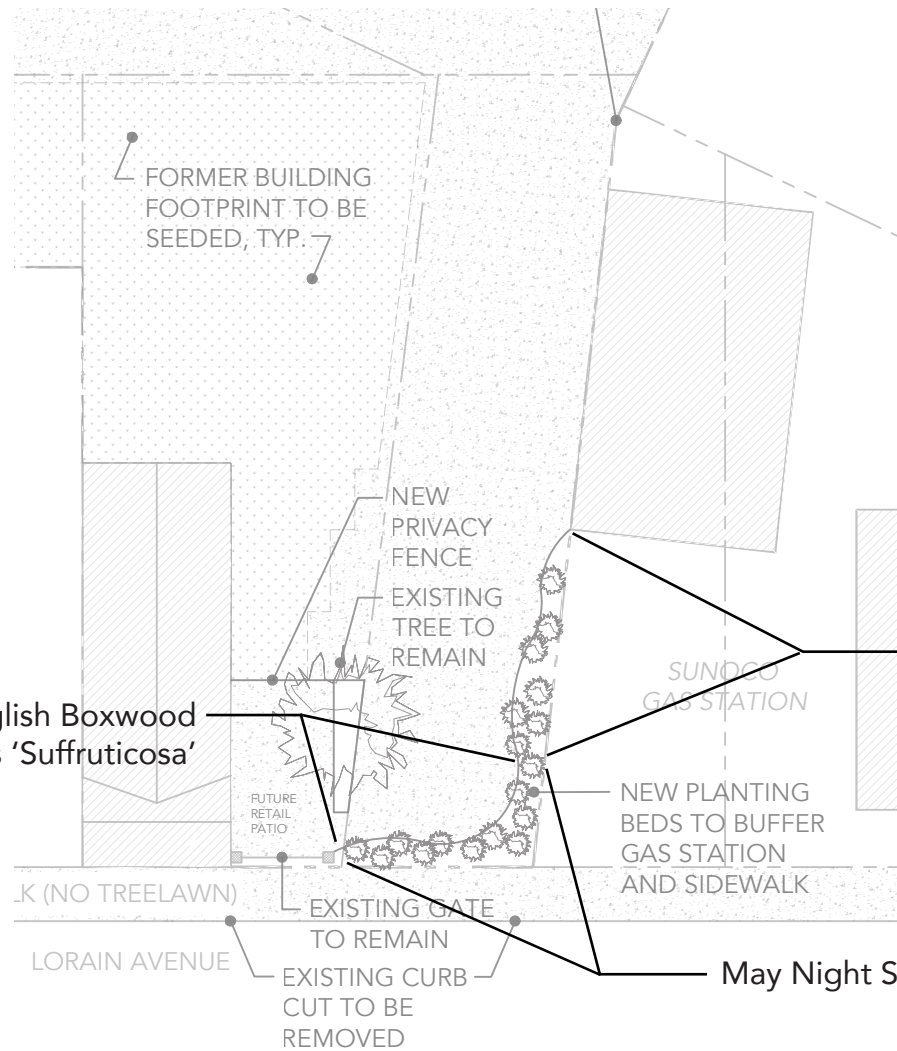
PROPOSED USE
 FIRST FLOOR: RETAIL
 SECOND FLOOR: 2-BED APT



4434 Lorain Avenue



4434 Lorain Avenue



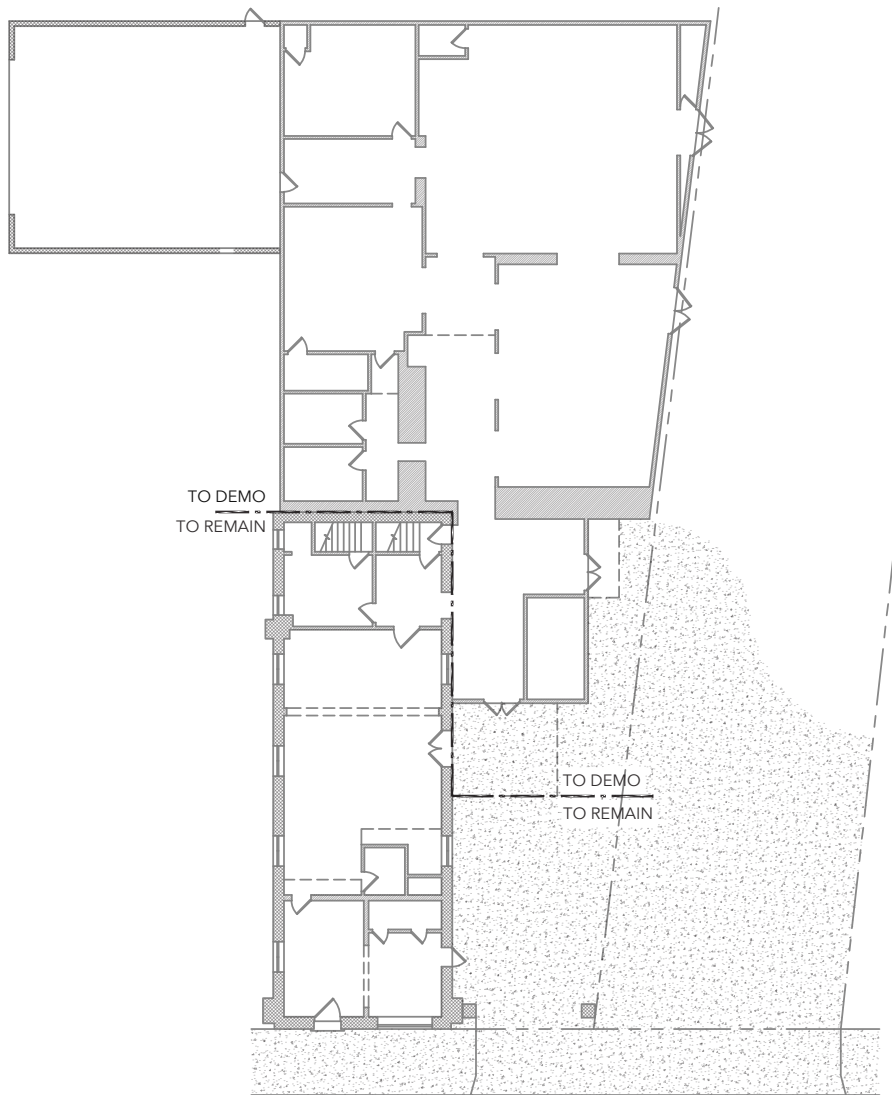
English Boxwood
Buxus sempervirens 'Suffruticosa'



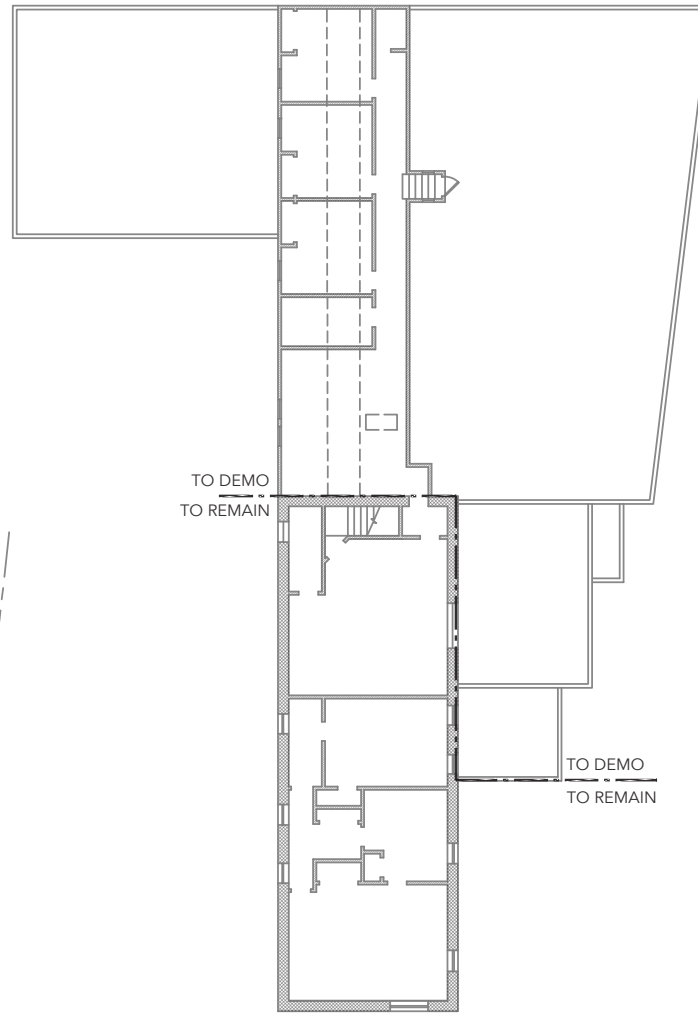
Emerald Green Arborvitae
Thuja occidentalis 'Emerald Green'

May Night Sage

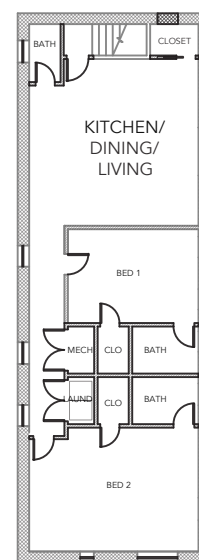
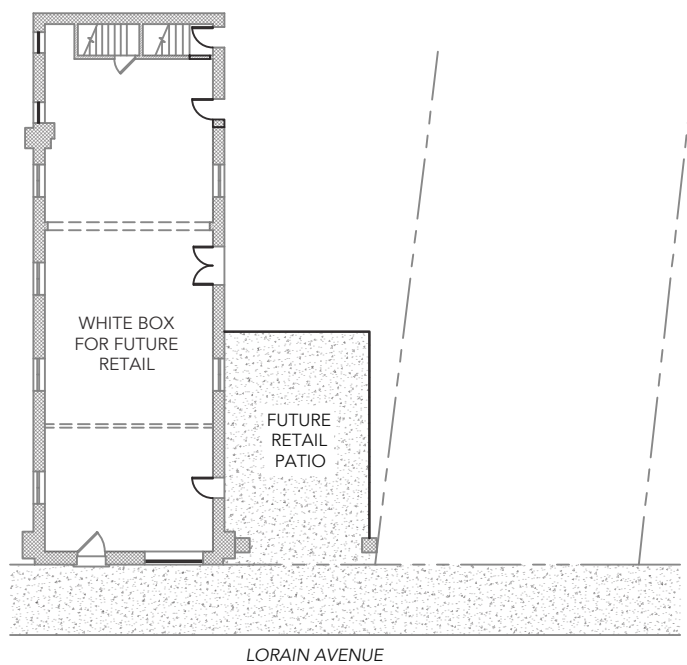




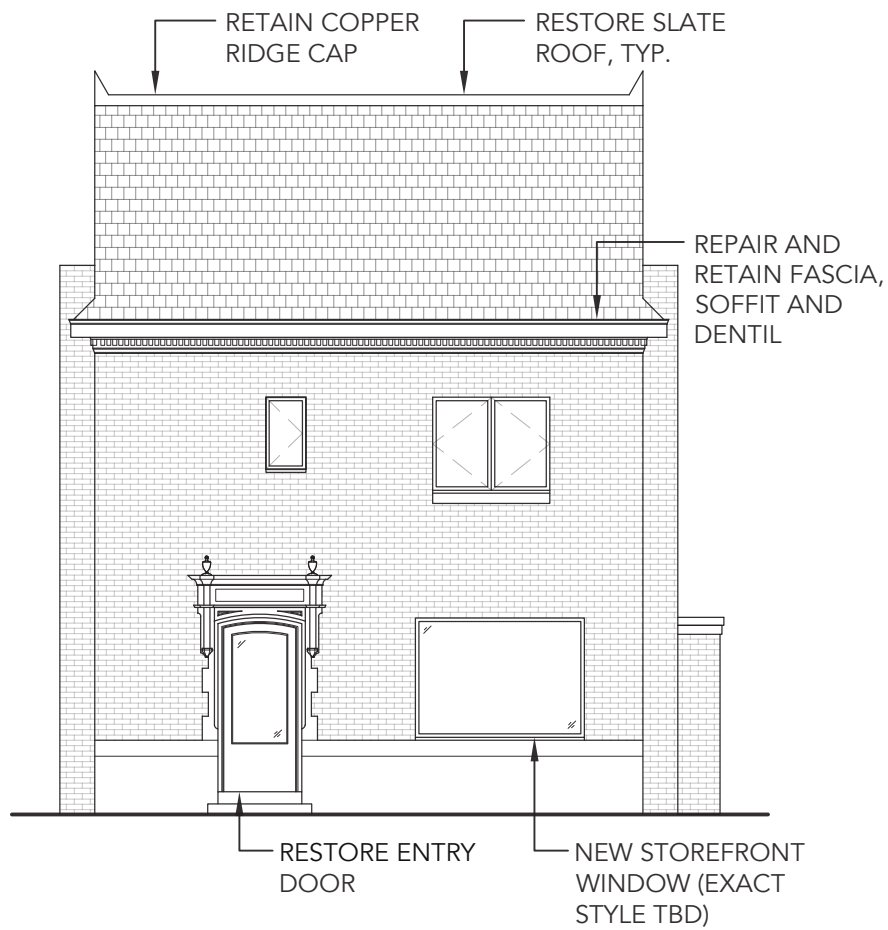
1 EXISTING FIRST FLOOR PLAN
 $\frac{1}{32}'' = 1'-0''$



2 EXISTING SECOND FLOOR PLAN
 $\frac{1}{32}'' = 1'-0''$



4434 Lorain Avenue



SW 7009
Pearly White
 Interior / Exterior
 Location Number: 254-C2

SW 7069
Iron Ore
 Interior / Exterior
 Location Number: 251-C7

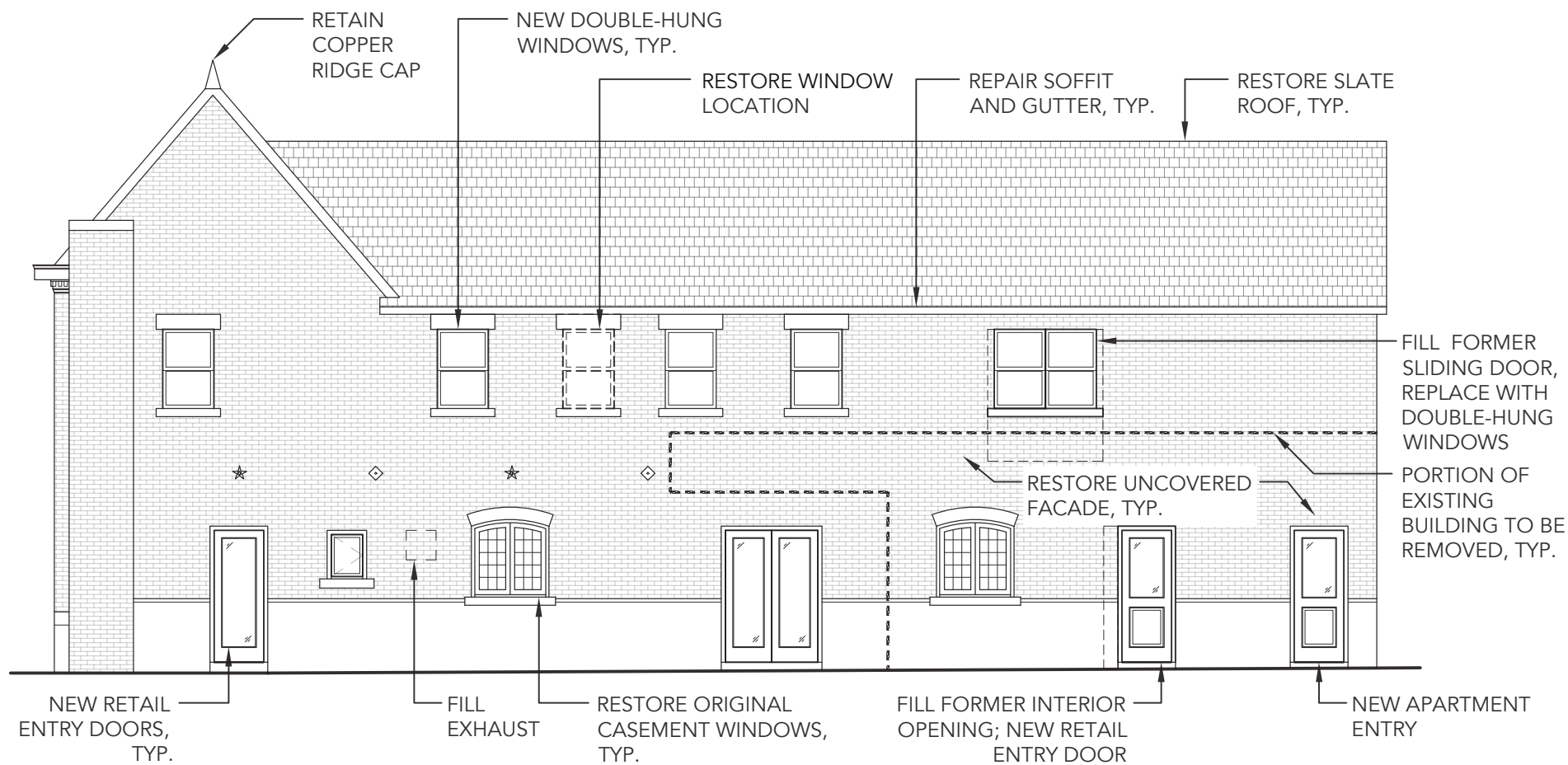
SW 0031
Dutch Tile Blue
 Interior / Exterior

SW 2821
Downing Stone
 Interior / Exterior

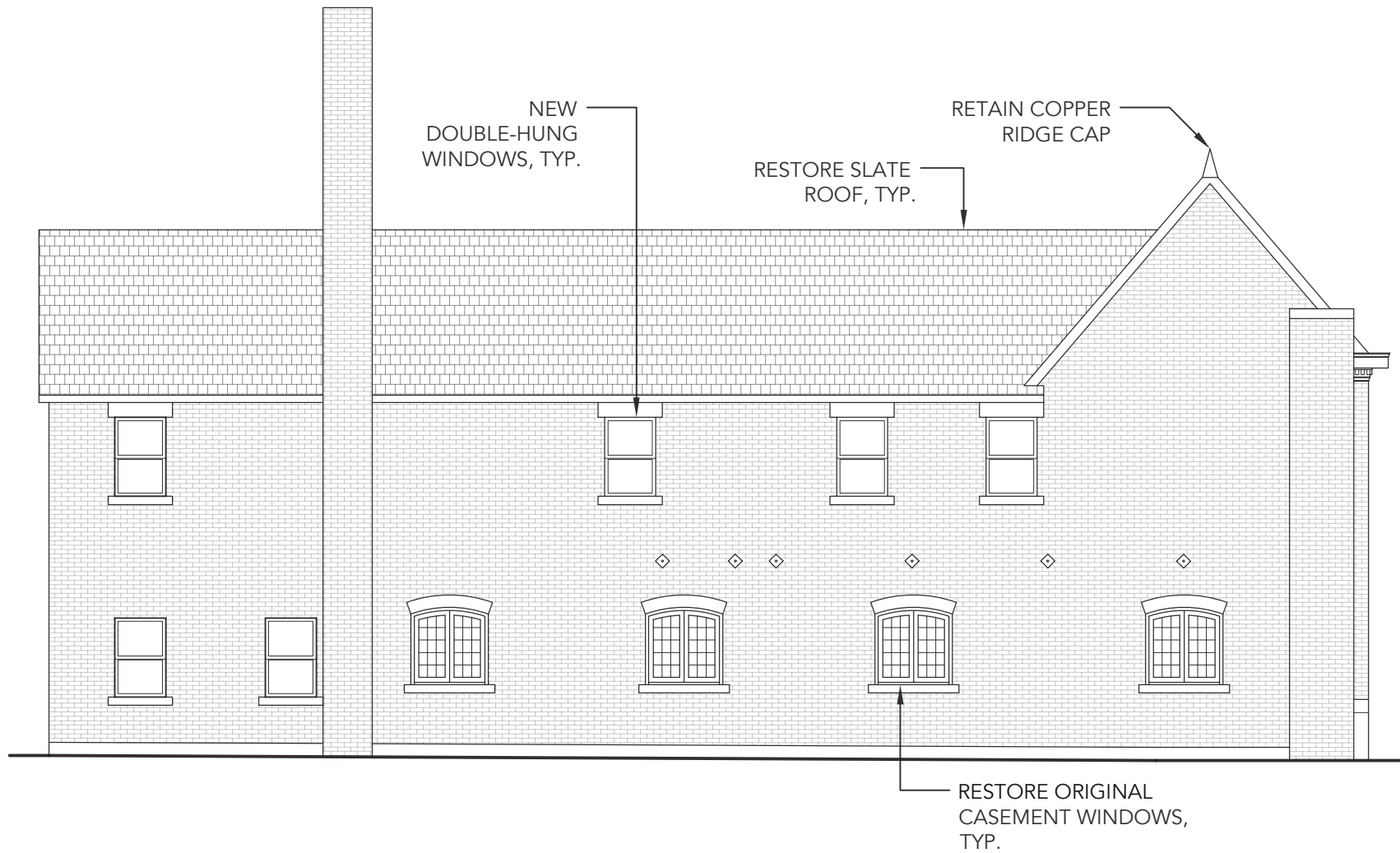
Palette direction (pending Storefront approval)

1 PROPOSED SOUTH ELEVATION
 $\frac{1}{8}" = 1'-0"$

4434 Lorain Avenue

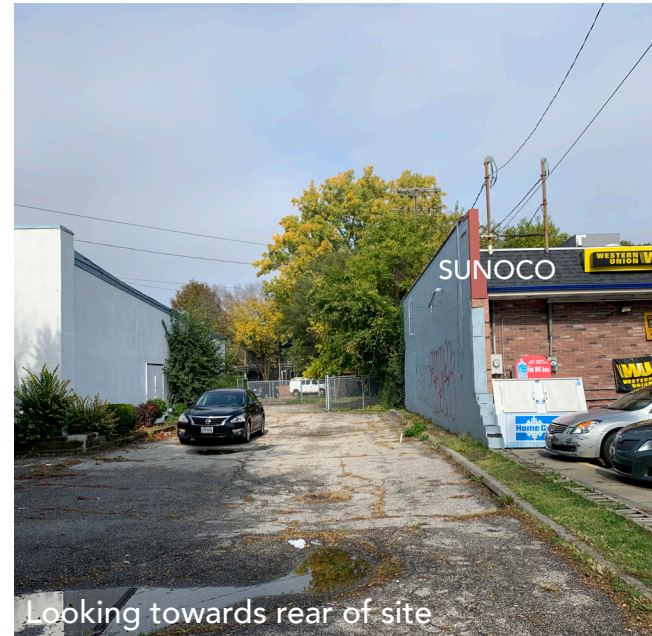


1 PROPOSED EAST ELEVATION
 $\frac{1}{8}" = 1'-0"$



1 PROPOSED WEST ELEVATION
 $\frac{1}{8}'' = 1'-0''$

4434 Lorain Avenue





East facade



West facade

4434 Lorain Avenue

Exterior photos



4434 Lorain Avenue

South (Lorain) facade



4434 Lorain Avenue

South facade details



4434 Lorain Avenue

Interior (proposed demolition)



4434 Lorain Avenue

Interior (proposed demolition)



4434 Lorain Avenue

Interior (historic structure to remain)



4434 Lorain Avenue

Interior (historic structure to remain)

4344 Lorain Ave

Site Visit

April 29, 2021















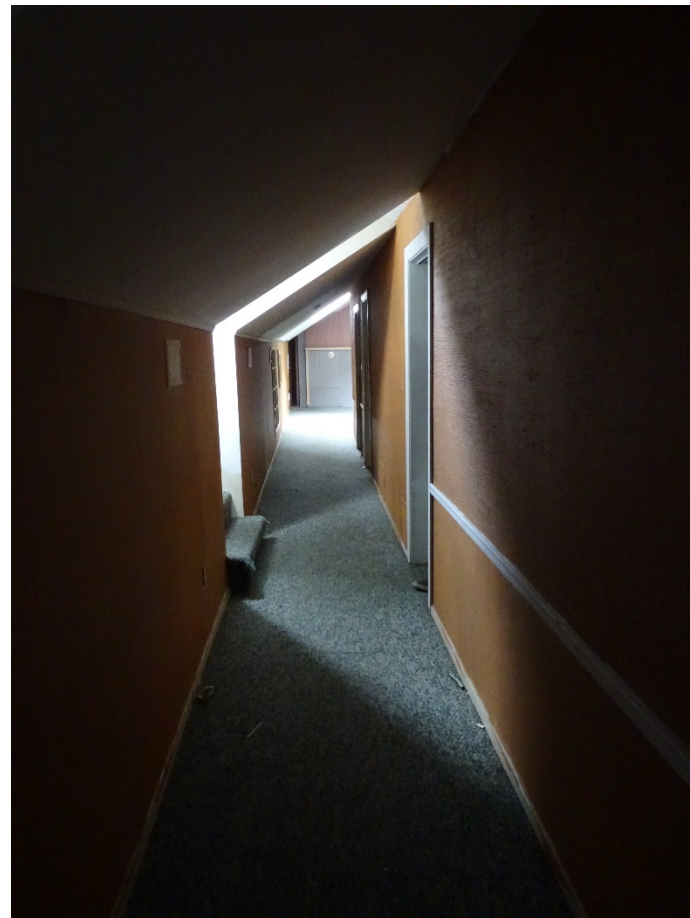
- Exterior wall on the interior
- May be an earlier building that was enclosed when the larger barn was added.



Stairs to remain.















Case 21-044: Little Italy Historic District (Concept Plan 5/27/21)

1934 East 123rd Street

New Construction of Townhouses

Ward 6: Griffin

Project Representatives: Andrew Kalnitsky, Developer; Ryan Grass, Grassroots Architecture



Case 21-044: Little Italy Historic District (Concept Plan 5/27/21)

1934 East 123rd Street

New Construction of Townhouses

Ward 6: Griffin

Project Representatives: Andrew Kalnitsky, Developer; Ryan Grass, Grassroots Architecture



Case 21-045: Little Italy Historic District (Concept Plan 5/27/21)

1934 East 123rd Street

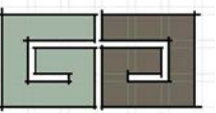
Demolition

Ward 6: Griffin

Project Representatives: Andrew Kalnitsky, Developer; Ryan Grass, Grassroots Architecture



1934 EAST
123RD STREET
CLEVELAND
LITTLE ITALY
TOWNHOME
DEVELOPMENT



GRASSROOTS
ARCHITECTURE

DESIGN
APPROVAL
06.18.2021

CONTEXT
IMAGERY

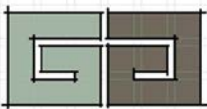
S0.1

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1934 EAST
123RD STREET
CLEVELAND
LITTLE ITALY
TOWNHOME
DEVELOPMENT



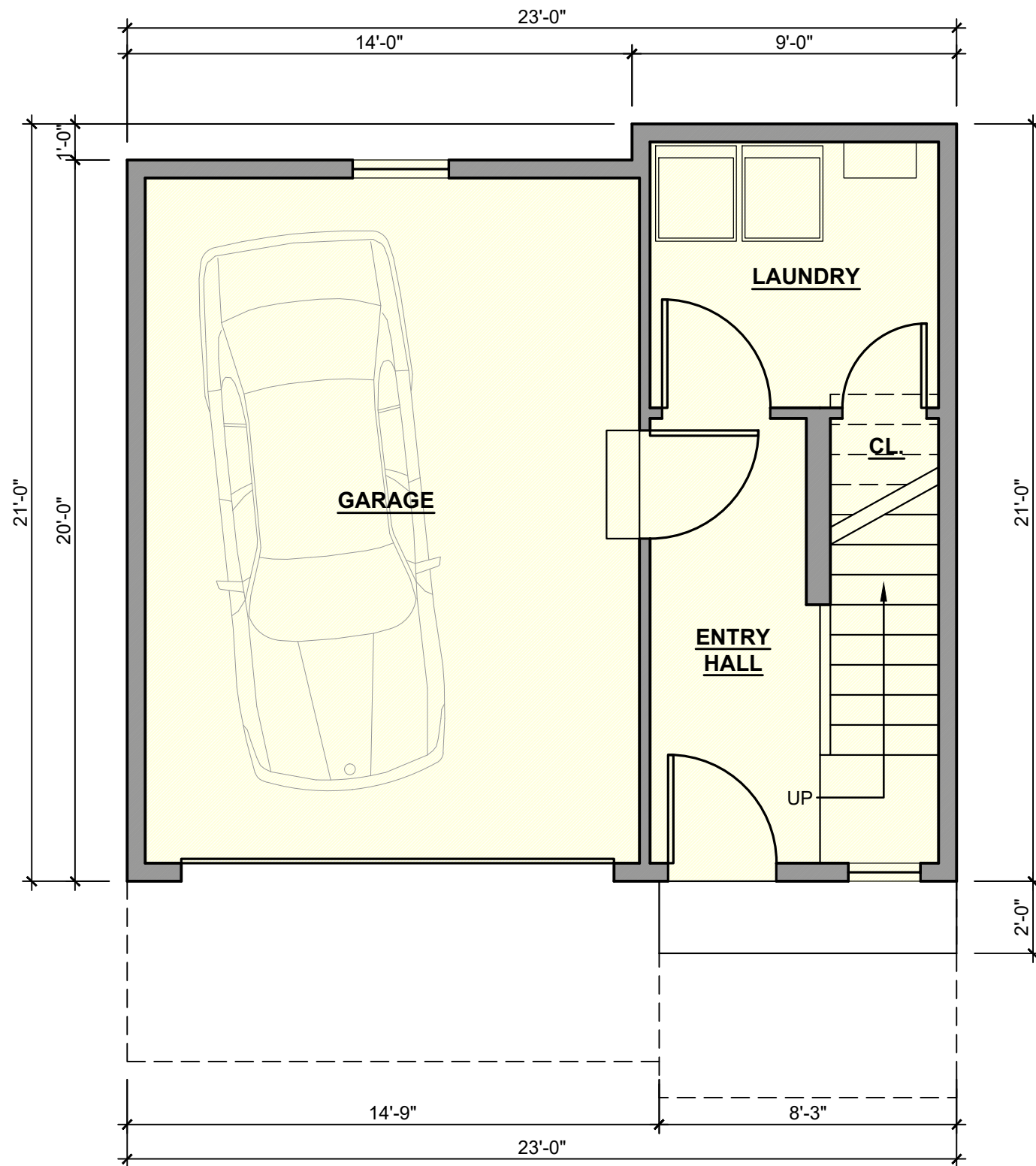
GRASSROOTS
ARCHITECTURE

DESIGN
APPROVAL
06.18.2021

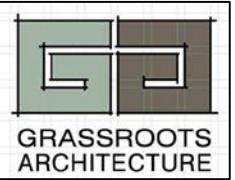
CONTEXT
IMAGERY

S0.2

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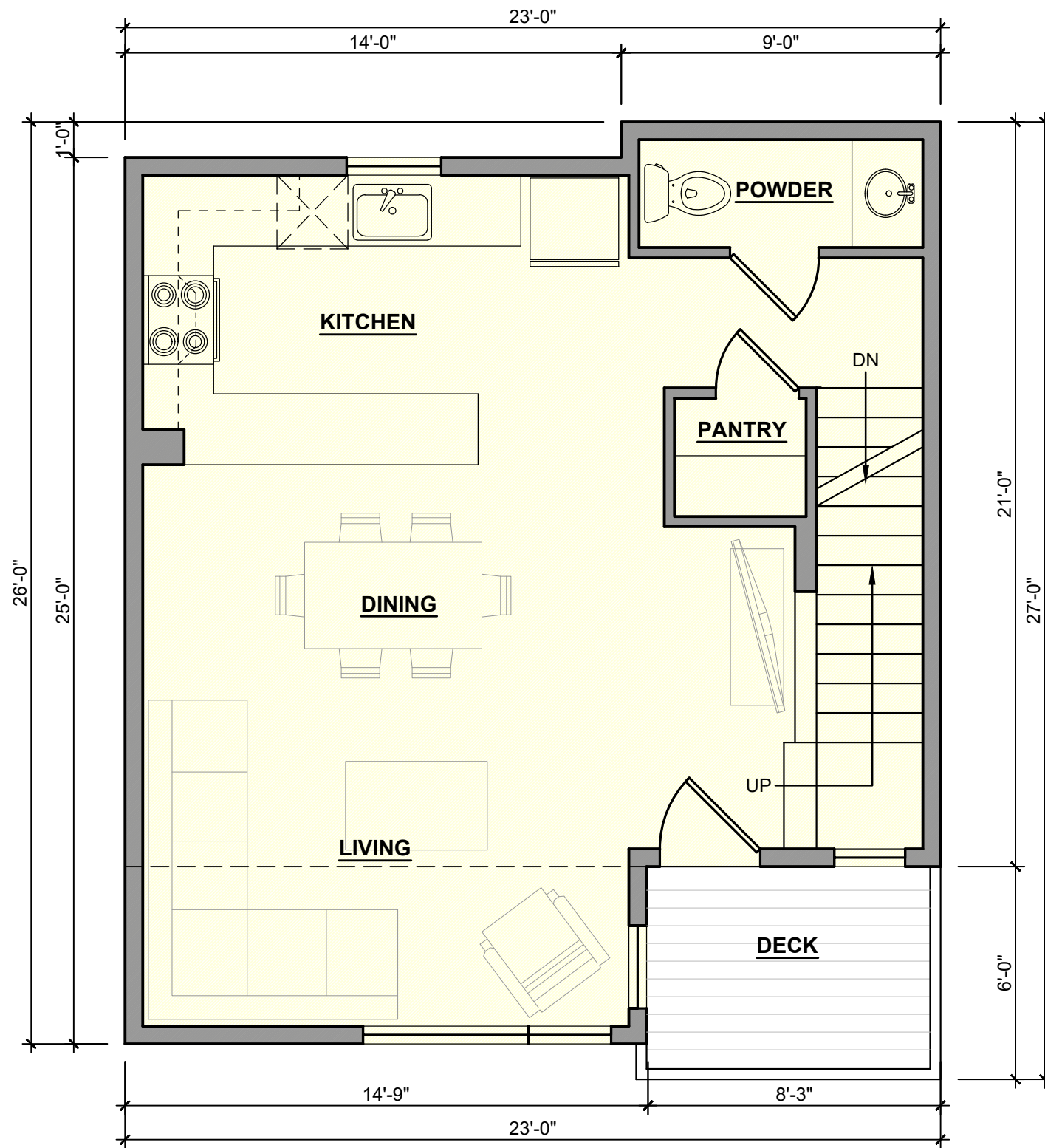
1934 EAST
123RD STREET
CLEVELAND
LITTLE ITALY
TOWNHOME
DEVELOPMENT



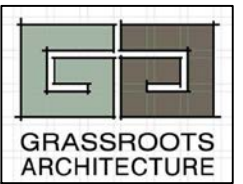
DESIGN
APPROVAL
06.18.2021

TYPICAL
FIRST FLOOR
UNIT PLAN

A1.1



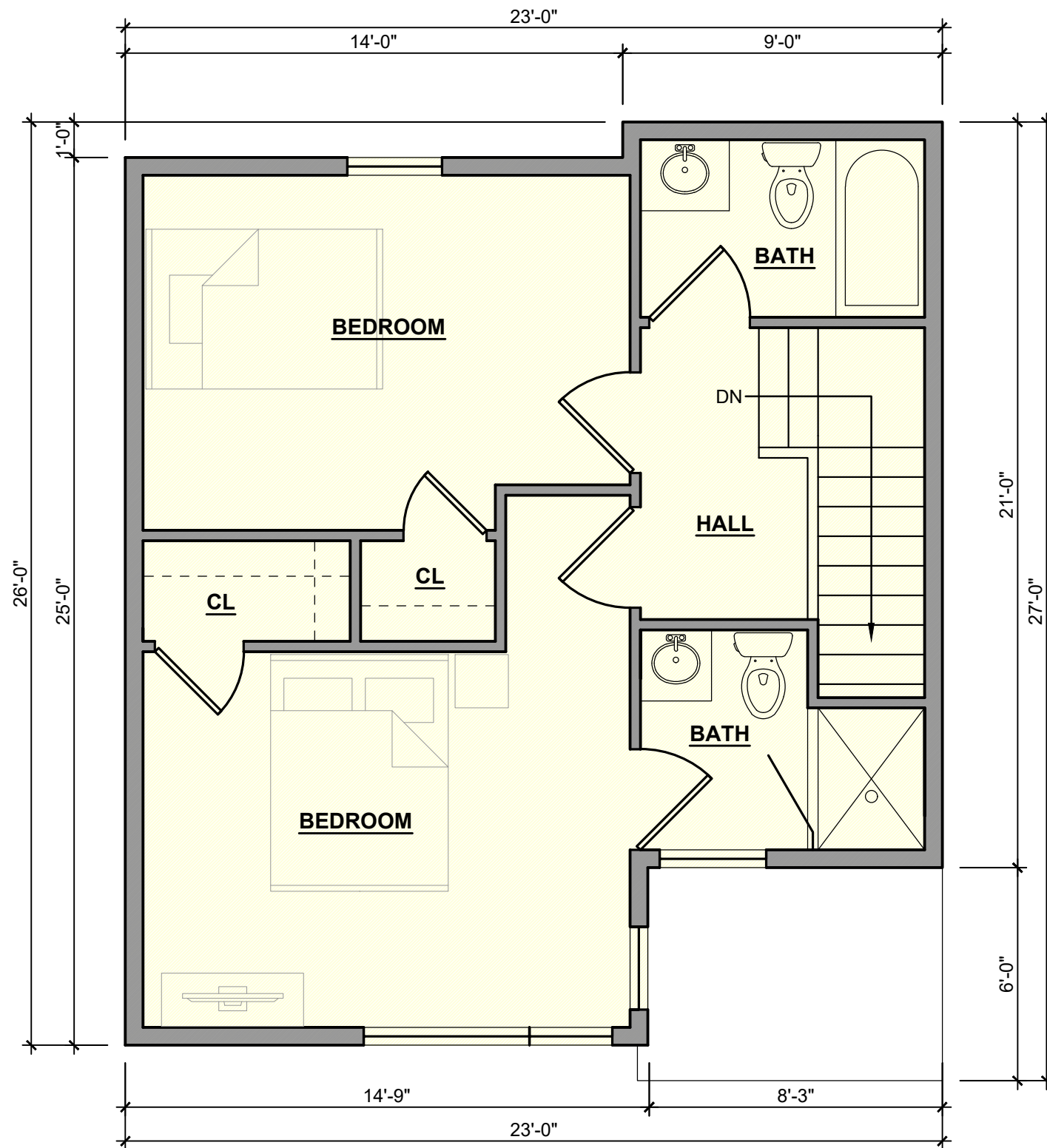
1934 EAST
123RD STREET
CLEVELAND
LITTLE ITALY
TOWNHOME
DEVELOPMENT



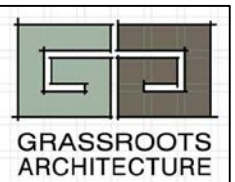
DESIGN
APPROVAL
06.18.2021

TYPICAL
SECOND FLOOR
UNIT PLAN

A1.2



1934 EAST
123RD STREET
CLEVELAND
LITTLE ITALY
TOWNHOME
DEVELOPMENT

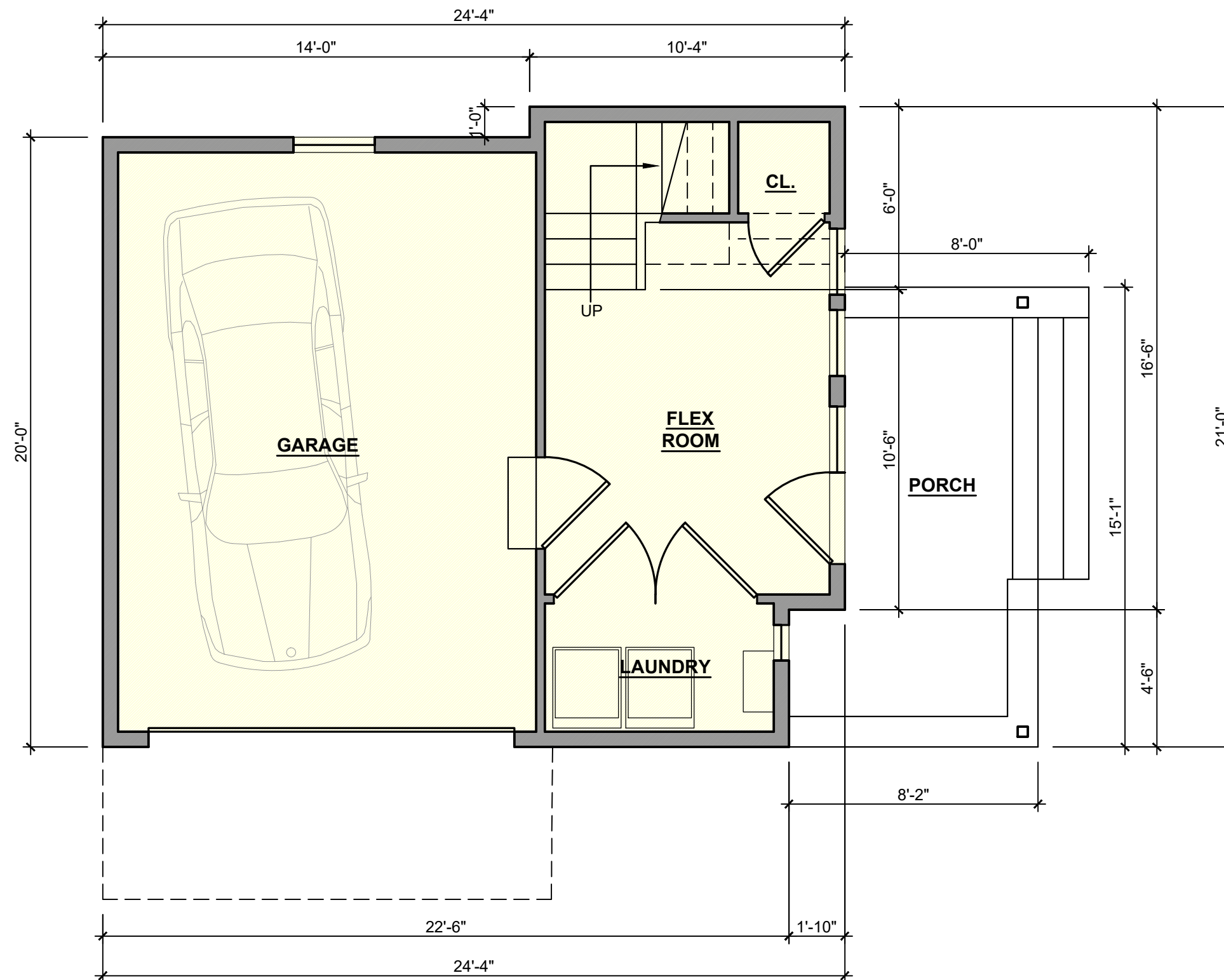


DESIGN
APPROVAL
06.18.2021

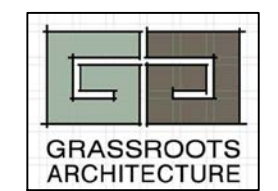
TYPICAL
THIRD FLOOR
UNIT PLAN

A1.3

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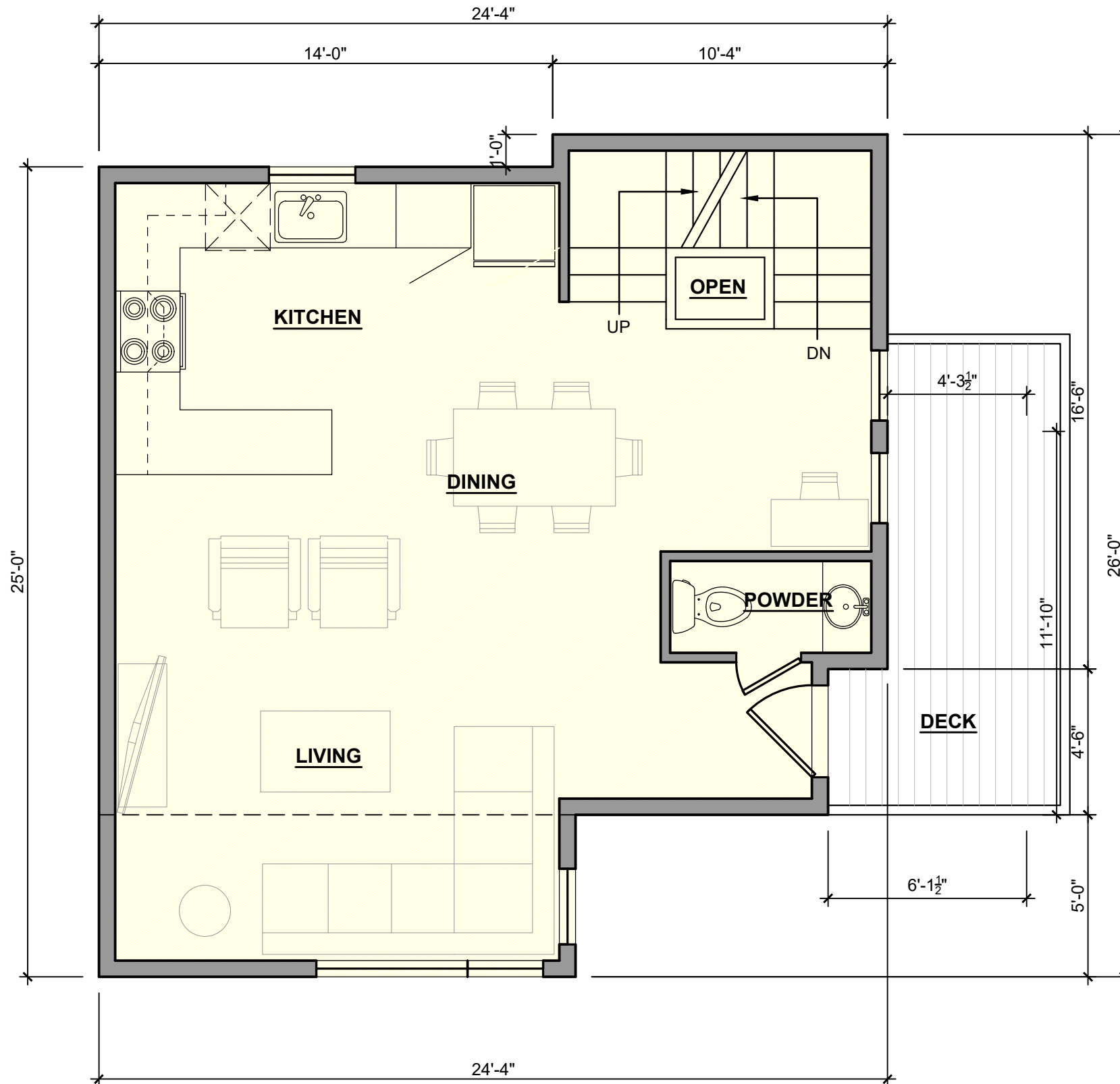
1934 EAST
123RD STREET
CLEVELAND
LITTLE ITALY
TOWNHOME
DEVELOPMENT



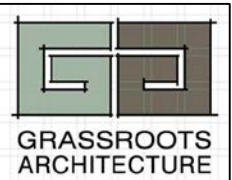
DESIGN
APPROVAL
06.18.2021

FRONT
FIRST FLOOR
UNIT PLAN

A1.1A



1934 EAST
123RD STREET
CLEVELAND
LITTLE ITALY
TOWNHOME
DEVELOPMENT

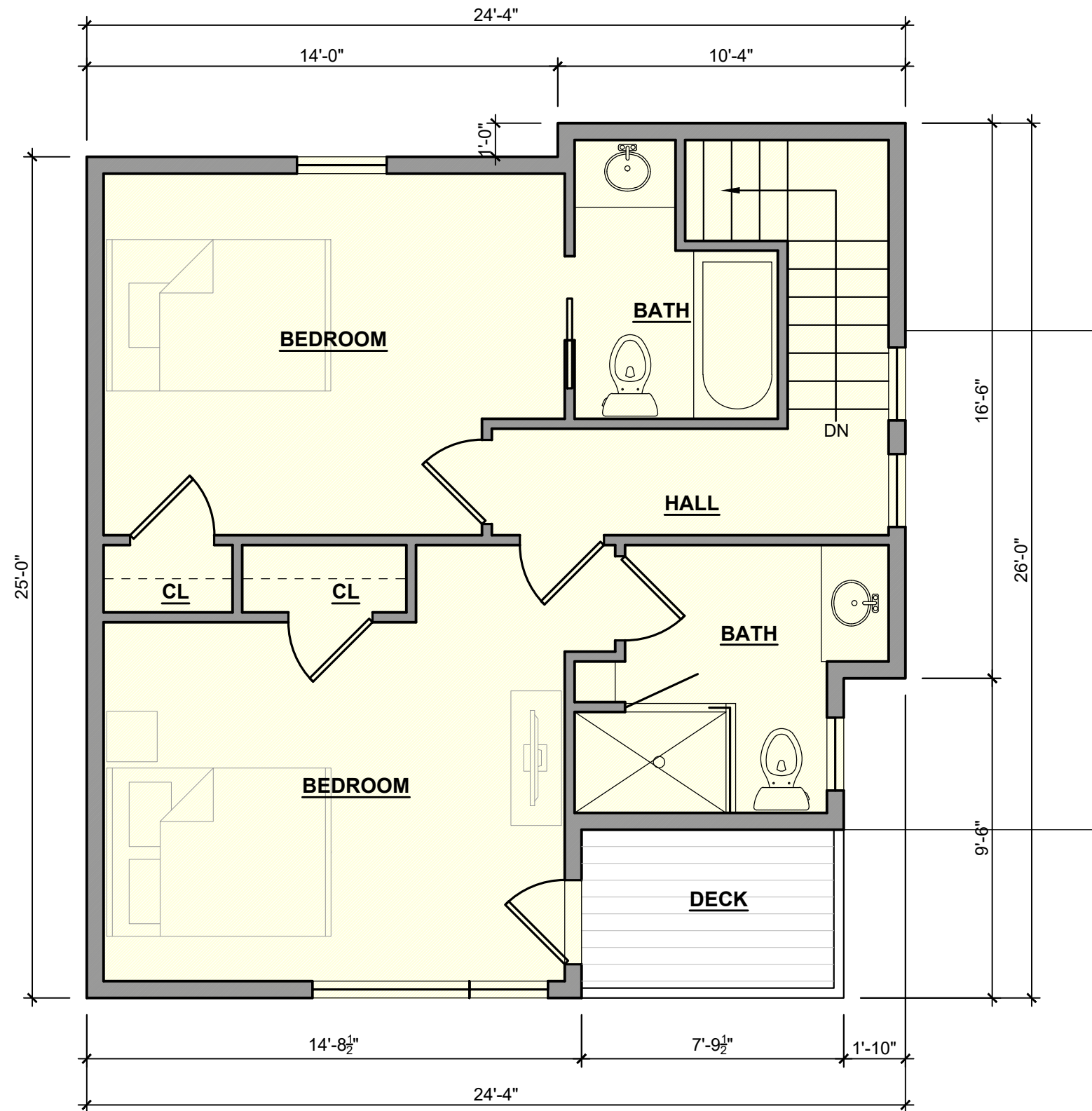


DESIGN
APPROVAL
06.18.2021

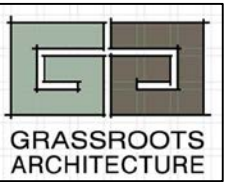
FRONT
SECOND FLOOR
UNIT PLAN

A1.2A

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DEVELOPMENT

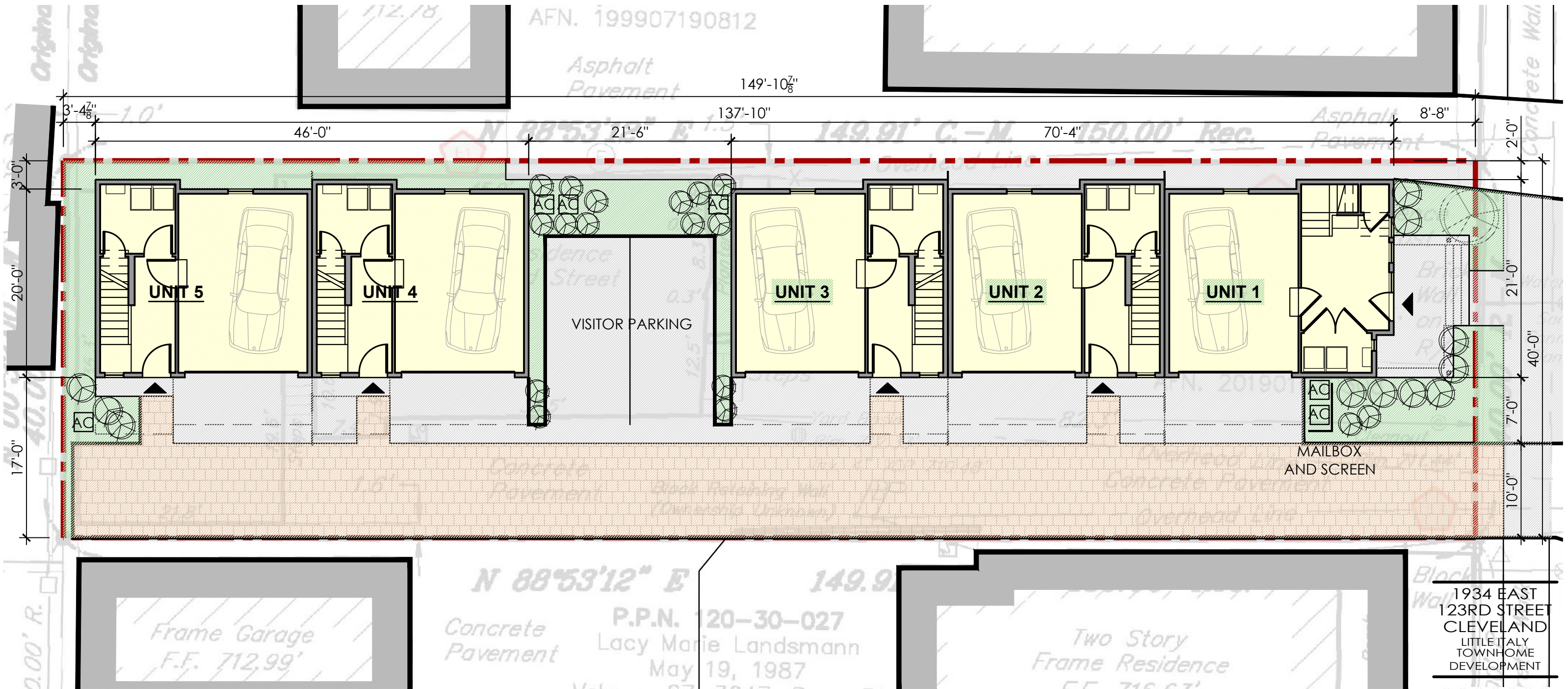


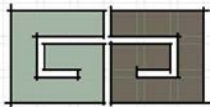
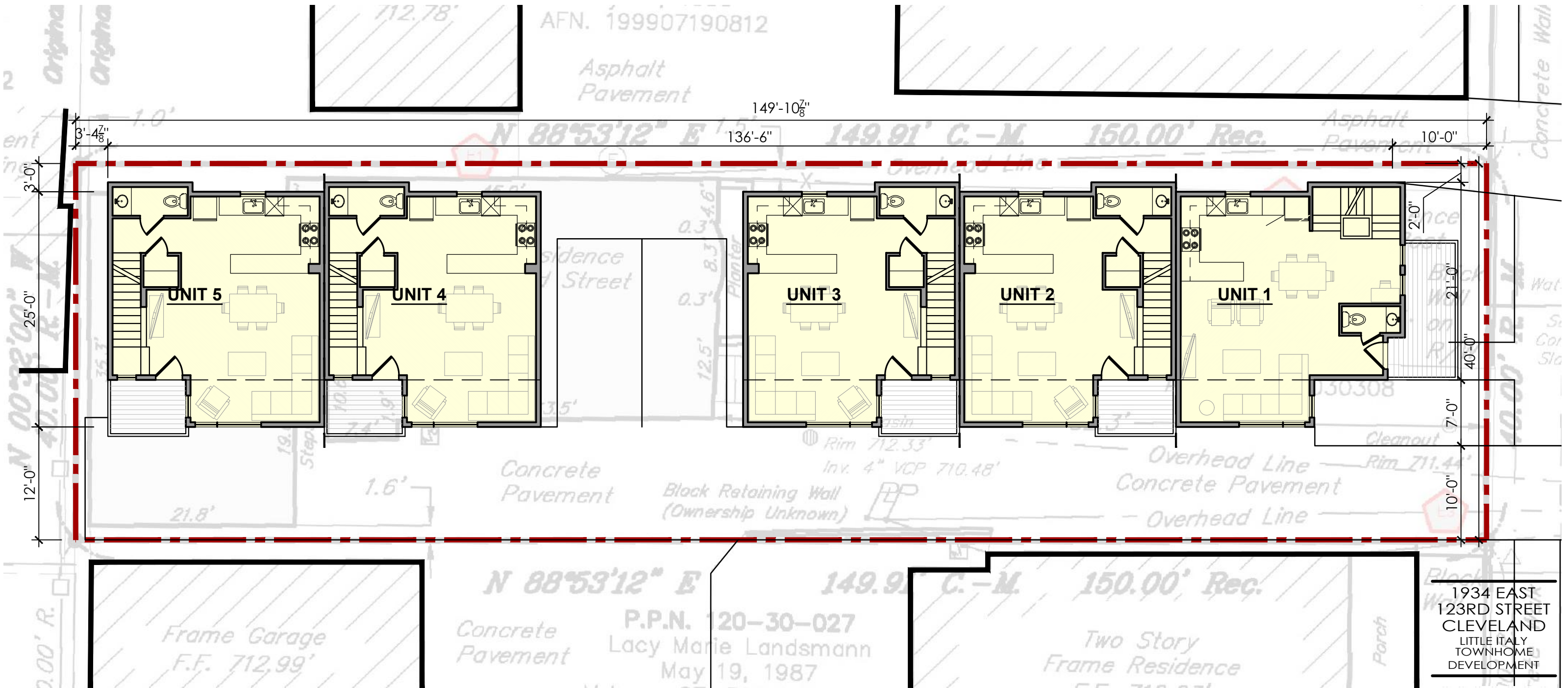
DESIGN
APPROVAL
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FRONT
THIRD FLOOR
UNIT PLAN

A1.3A

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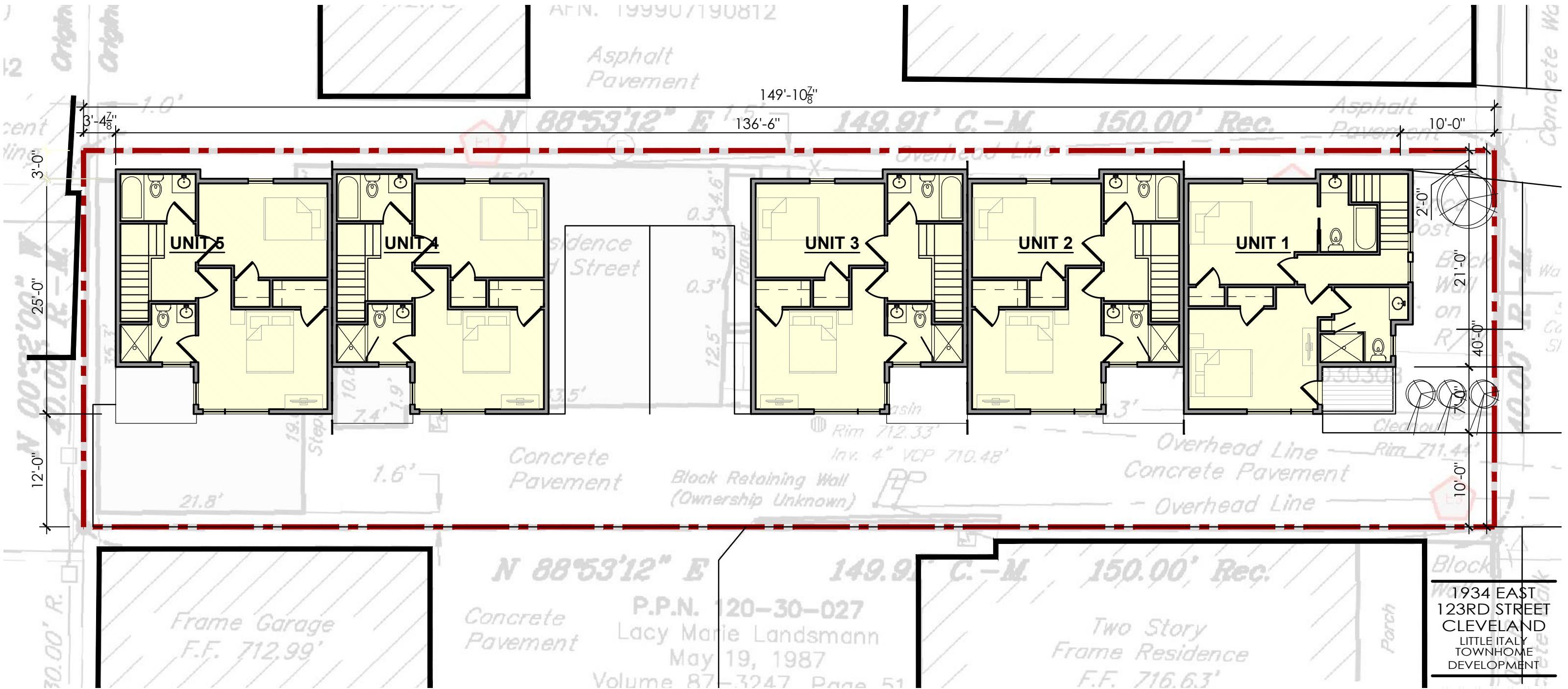
GRASSROOTS
ARCHITECTURE

DESIGN
APPROVAL
06.18.2021

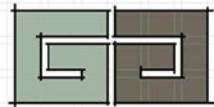
PROPOSED SITE
PLAN 2ND FLR
SCALE: 1" = 10'-0"

S1.2

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LITTLE ITALY
TOWNHOME
DEVELOPMENT



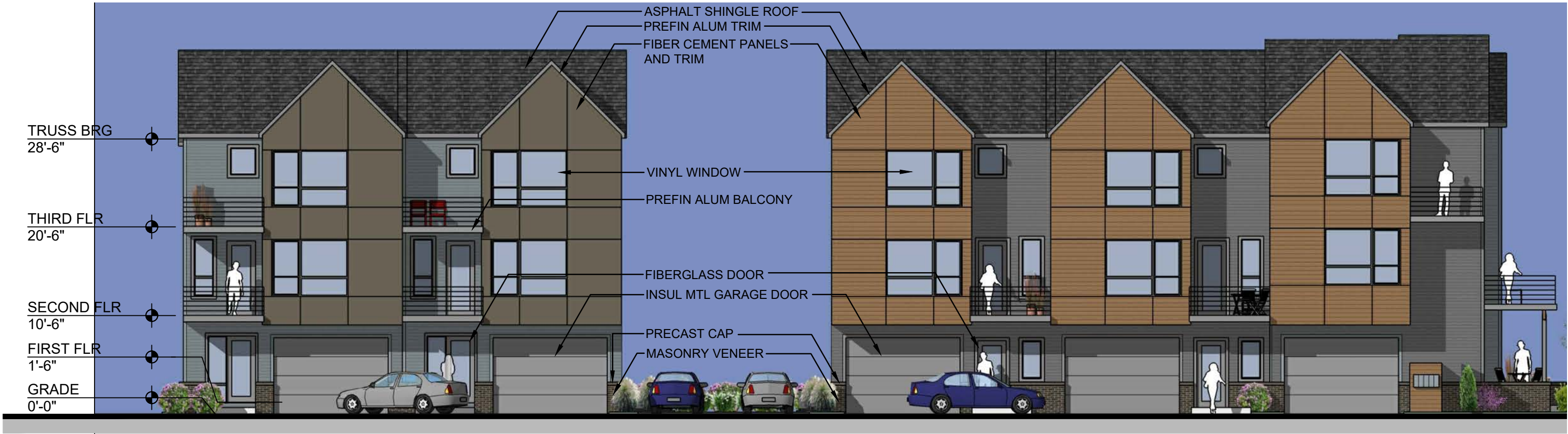
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ARCHITECTURE

DESIGN
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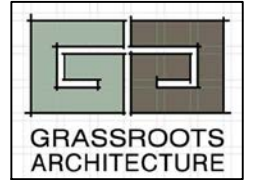
PROPOSED SITE
PLAN 3RD FLR
SCALE: 1" = 10'-0"

S1.3

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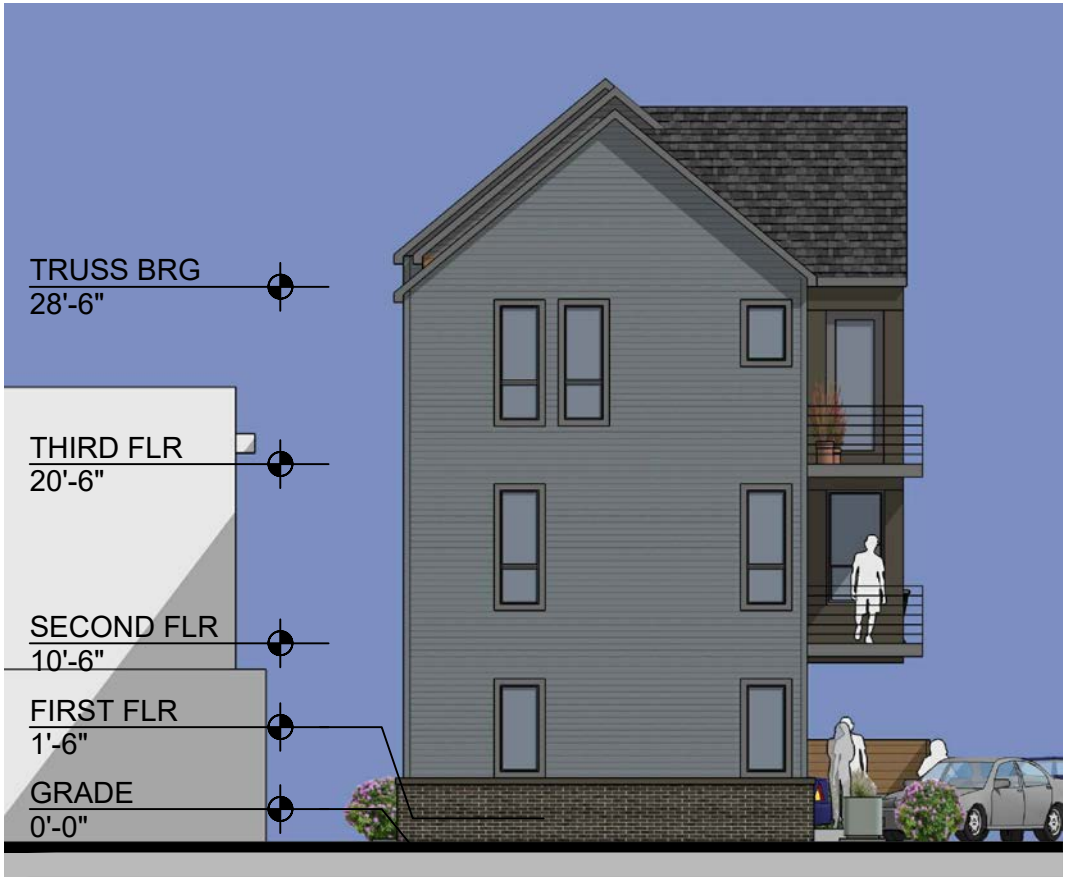


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06.18.2021

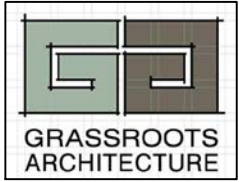
EXTERIOR
IMAGERY

A3.0

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LITTLE ITALY
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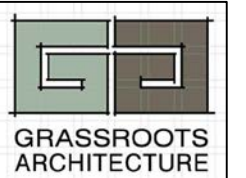
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A3.1

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IMAGERY

A3.2

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Case 21-050: Little Italy Historic District

2137 Murray Hill Road

New Construction of a Multi-Family Building

Ward 6: Griffin

Project Representatives: Kevin Oliver, Nicholas Mellon, Oliver Architecture; Carmen Iammarino, Developer



PROJECT INFORMATION

PROJECT ADDRESS:	2137 MURRAY HILL ROAD, CLEVELAND, OH 44106
BUILDING SUMMARY:	TWO-STORY MULTIFAMILY RESIDENTIAL BUILDING. +/-1,145 GROSS SF PER STORY. TOTAL PROJECT GROSS SF = 3,435 SF
CONSTRUCTION TYPE:	VB CONSTRUCTION
SPRINKLER SYSTEM:	SPRINKLERED
OCCUPANTS:	8 TOTAL OCCUPANTS
ZONING DISTRICT:	MF-C1 MULTI-FAMILY
PROJECT SUMMARY:	NEW CONSTRUCTION OF A 2.5 STORY 2 UNIT RESIDENTIAL BUILDING.

ZONING REQUIREMENTS FOR MF-C1

BUILDING AREA
MAXIMUM GROSS FLOOR AREA PER 355.04(b) = 1/2 TIMES THE LOT AREA
PROPOSED GROSS FLOOR AREA = 3,435 SF (NEW CONSTRUCTION) + 1600 SF(EXISITNG HOUSE) = 5,035 SF / 7,328 SF TOTAL LOT AREA = .69 OF LOT AREA
***VARIANCE REQUIRED FOR MAXIMUM GROSS FLOOR AREA**

STREET FRONTAGE
MINIMUM REQ'D. STREET FRONTAGE PER 355.04(b)= 25' - 0"
PROPOSED STREET FRONTAGE = 33' - 0"

HEIGHT LIMITS
HEIGHT LIMIT PER 353.01(b) = 35' - 0"
PROPOSED MAXIMUM HEIGHT = 29' - 4"

YARDS
MINIMUM FRONT YARD SETBACK REQ'D. PER 357.04(a) 15% OF 226'-1" = 34' - 0"
PROPOSED FRONT YARD SETBACK = 143'-6"
MINIMUM SIDE YARD SETBACK PER 357.09(2) = 7' - 0"
PROPOSED SIDE YARD SETBACK = 3' - 0"
PROPOSED SIDE YARD SETBACK = 4' - 2 3/4"
***VARIANCE REQUIRED FOR SIDE YARD SETBACK**
MINIMUM REAR YARD SETBACK LOT PER 357.08(1). 15% OF 226'-1" = 34' - 0"
PROPOSED REAR YARD = 34' - 0"

PARKING REQUIREMENTS
REQUIRED PARKING 349.04(a) 1 SPACE PER DWELLING = 4 SPACES
PARKING PROVIDED = 8 STANDARD SPACES

LOT AREA REQUIREMENTS
MINIMUM LOT AREA REQUIRED = 2,400 SF PER DWELLING UNIT (VERIFY WITH CITY OF CLEVELAND)
***VARIANCE REQUIRED FOR NEW CONSTRUCTION - 2 UNITS X 2,400 = 4,800 SF. ACTUAL LOT SIZE = 7,328 SF**

OLIVER ARCHITECTURE

216.245.2661
7100 Euclid Ave. #225
Cleveland, OH 44103
www.oliverarchitect.com



2137 MURRAY HILL

2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

NOT FOR CONSTRUCTION

TITLE SHEET

Date:
06/01/21

Sheet:
A000



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Cleveland, OH 44103
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2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

NOT FOR CONSTRUCTION

AERIAL PERSPECTIVES

Date:
02.01.21

Sheet:
A001



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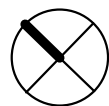
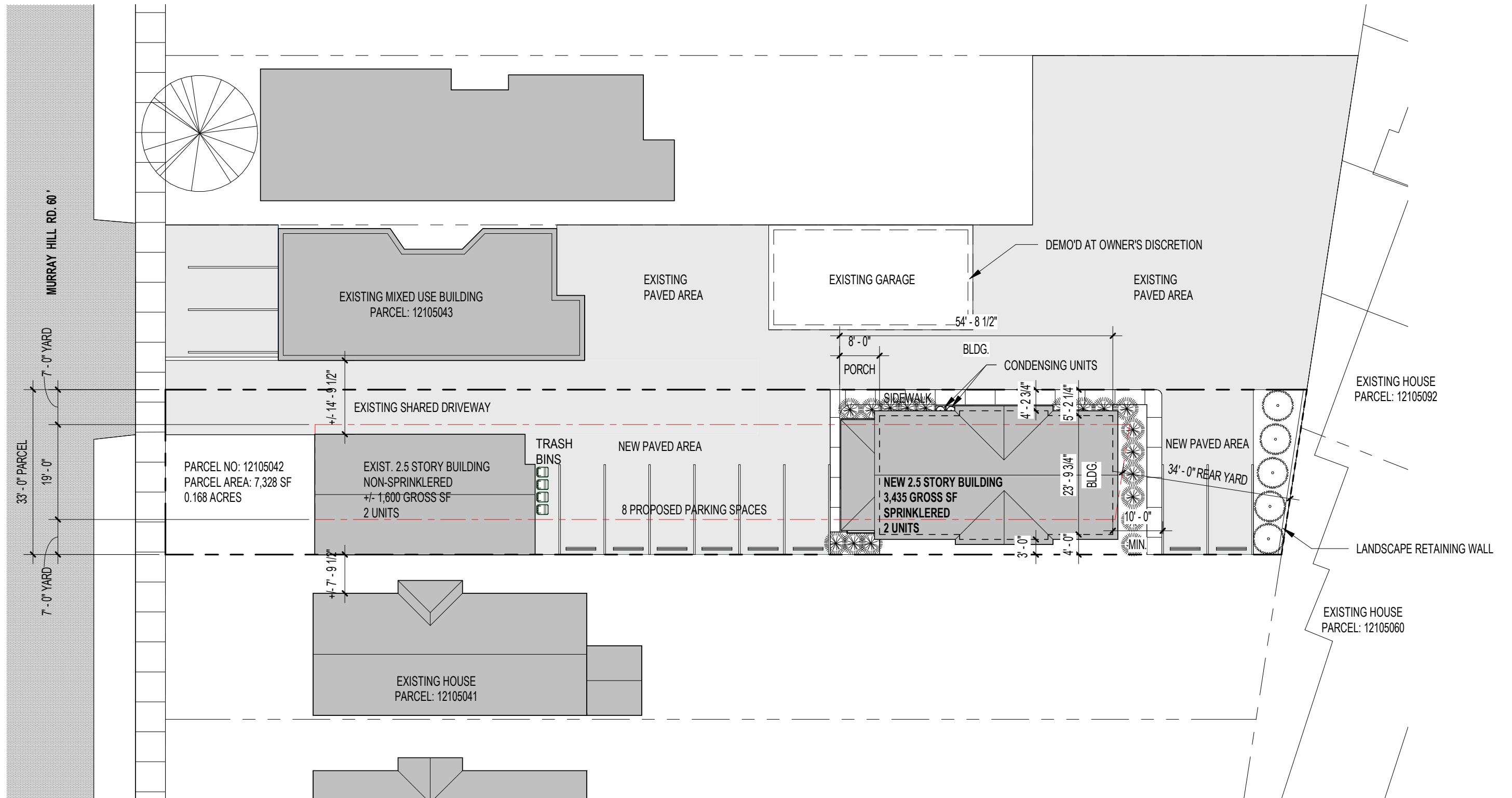
2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

NOT FOR CONSTRUCTION

SITE PHOTOS

Date:
02.09.21

Sheet:
A002



A1 SITE PLAN
1" = 20'-0"

OLIVER ARCHITECTURE

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Cleveland, OH 44103
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2137 MURRAY HILL

2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

NOT FOR CONSTRUCTION

SITE PLAN

Date:
06/01/2021

Sheet:
SD-001

2119-2121 MURRAY HILL ROAD

MURRAY HILL RD. 60'

2137 MURRAY HILL ROAD

BUILDING A

BUILDING C

PRIOR CT. 14'

BUILDING B

EXIST. 2.5 STORY BUILDING

NEW 2.5 STORY BUILDING



1

SITE PLAN - CONTEXT

1" = 30'-0"

OLIVER ARCHITECTURE

216.245.2661
7100 Euclid Ave. #225
Cleveland, OH 44103
www.oliverarchitect.com



2137 MURRAY HILL

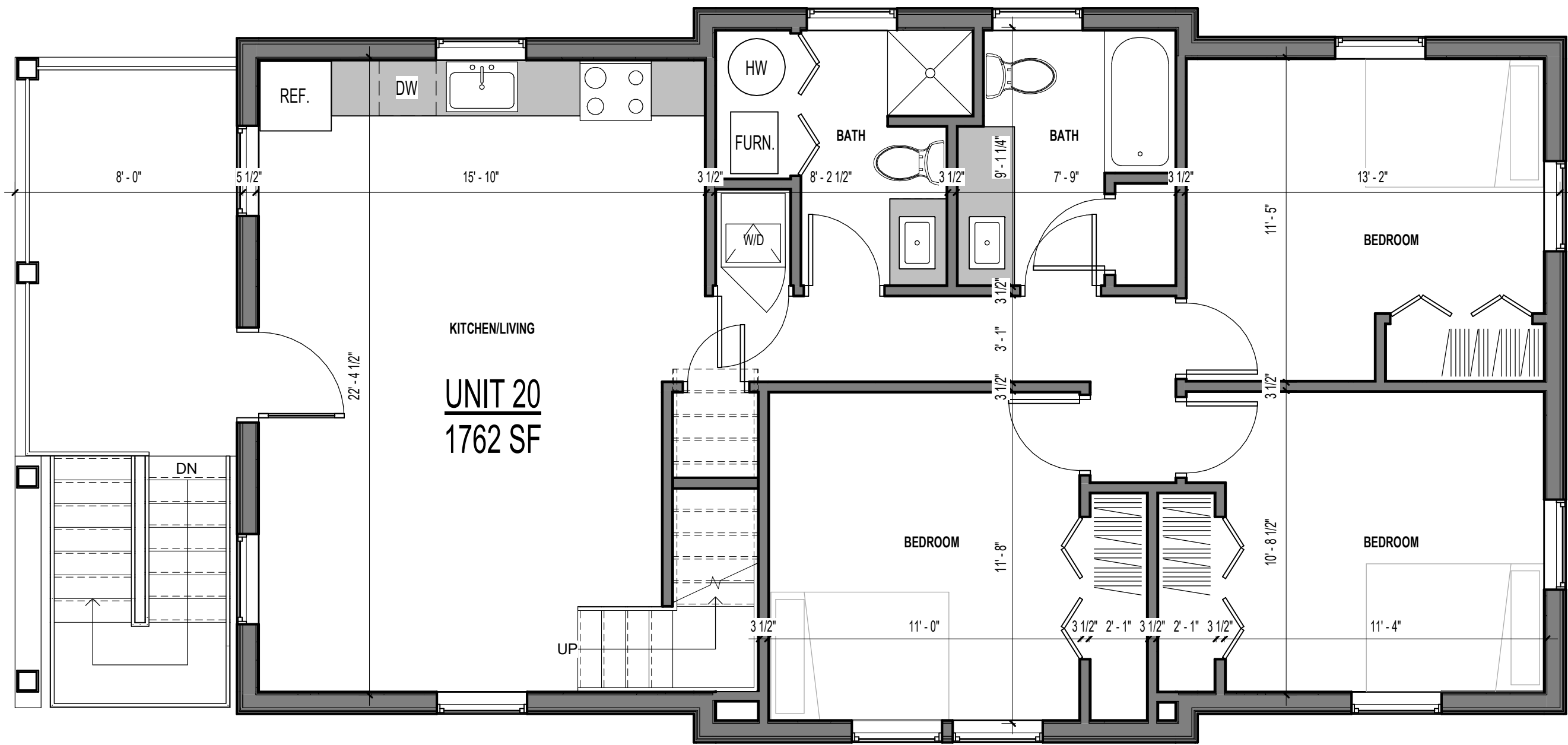
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CLEVELAND OH, 44106


NOT FOR CONSTRUCTION

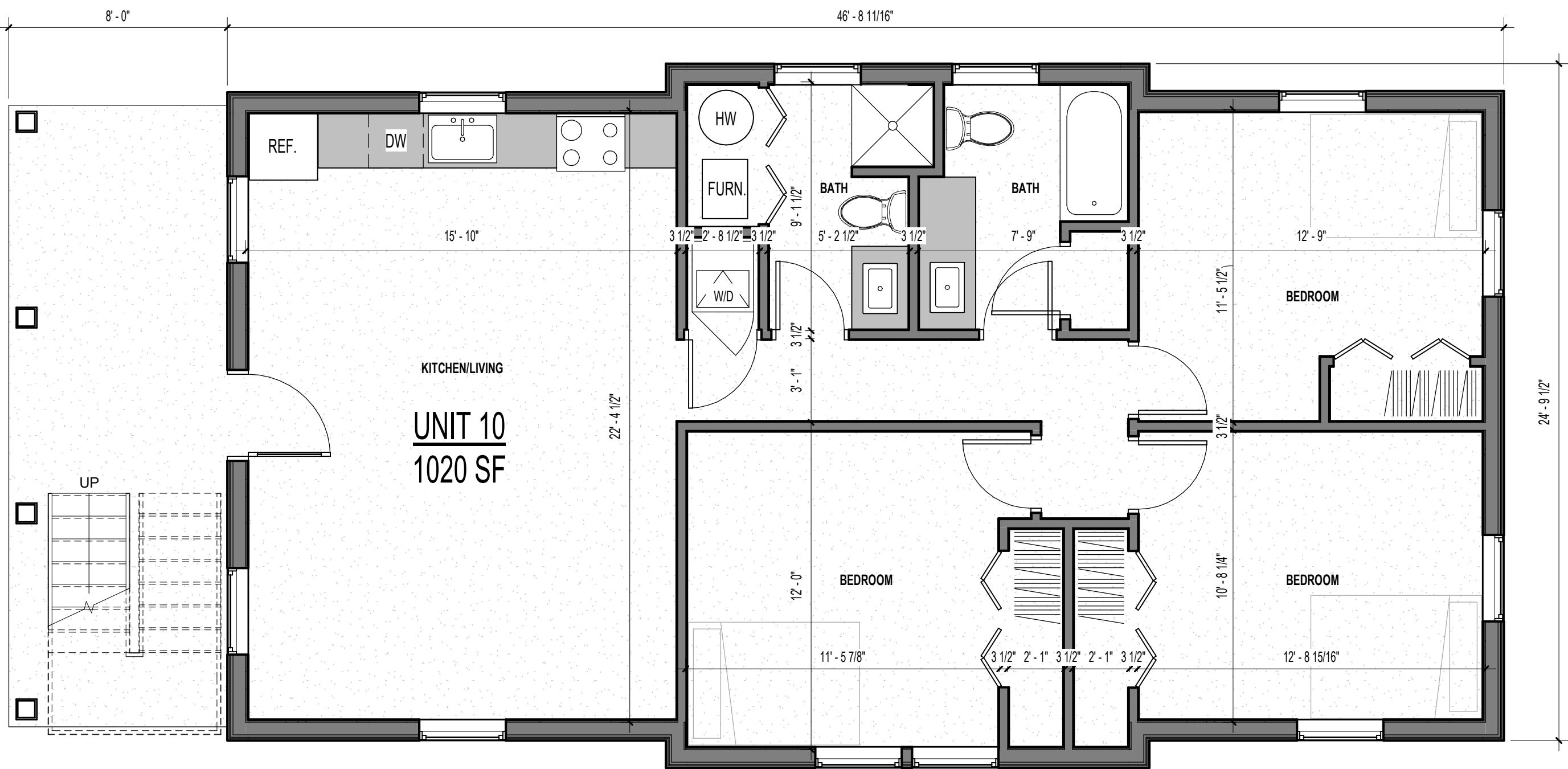
CONTEXT PLAN


Date:
06/01/21

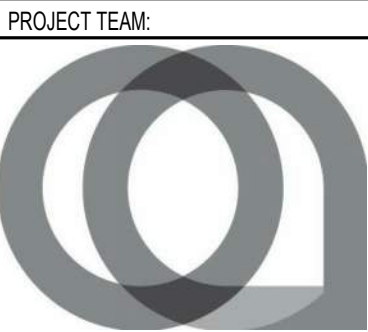
Sheet:
SD-002



 **C3 2.0 PLAN**
1/4" = 1'-0"



 **A3 1.0 PLAN**
1/4" = 1'-0"



PROJECT TEAM:
ARCHITECT:
Oliver Architecture
216.245.2661
7100 Euclid Avenue #200
Cleveland, OH 44103
www.oliverarchitect.com

PRELIMINARY
NOT FOR CONSTRUCTION

2137 MURRAY HILL

2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

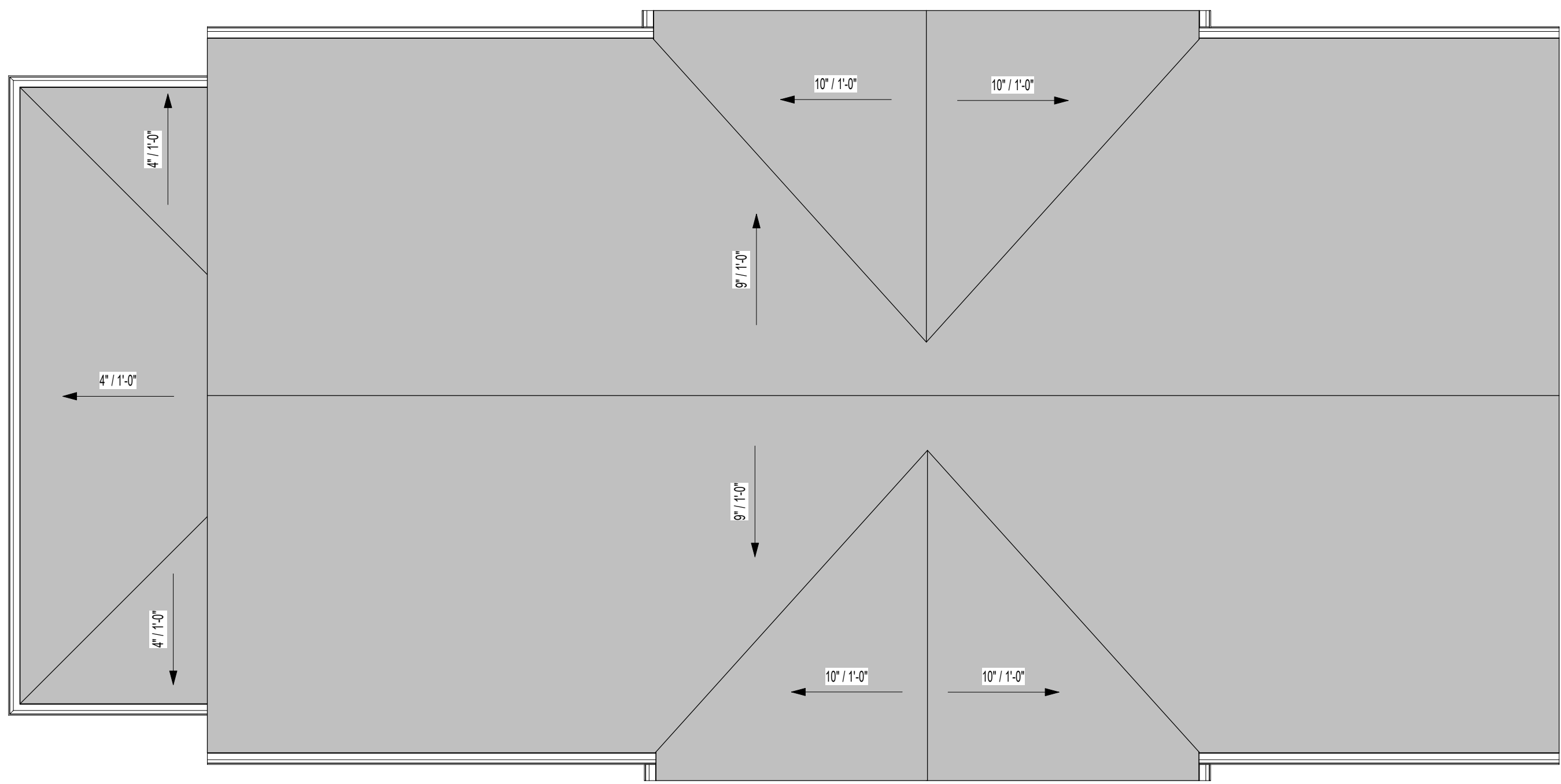
ISSUE DATE



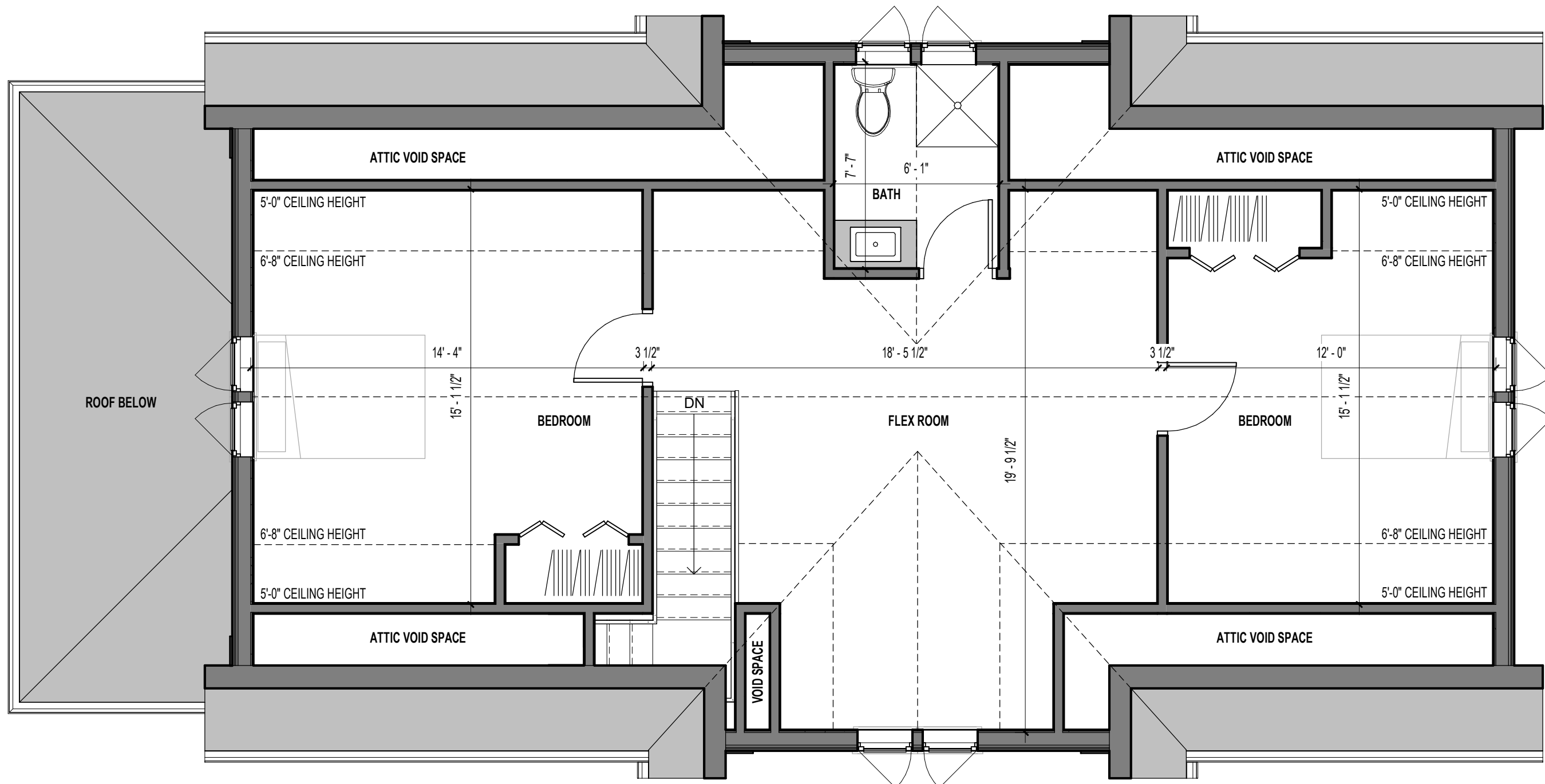
KEVIN A. OLIVER NO. 1015200
EXPIRES ON: 12/31/2021

FLOOR PLANS

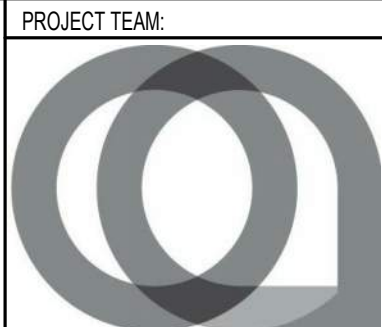
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1/4" = 1'-0"
Print Date:
6/3/2021 12:22:59 PM
Sheet:
A100



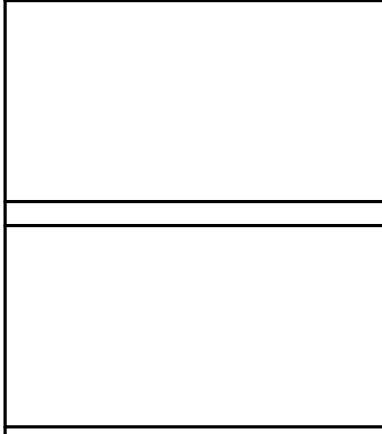
C3 ROOF PLAN
1/4" = 1'-0"



A3 3.0 PLAN
1/4" = 1'-0"



ARCHITECT:
Oliver Architecture
216.245.2661
7100 Euclid Avenue #200
Cleveland, OH 44103
www.oliverarchitect.com



2137 MURRAY HILL
2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

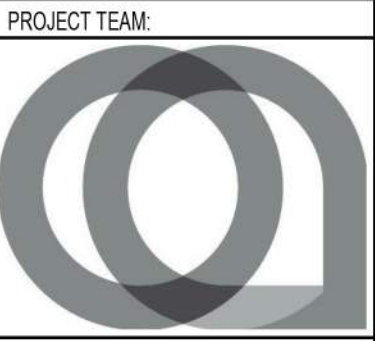
ISSUE DATE



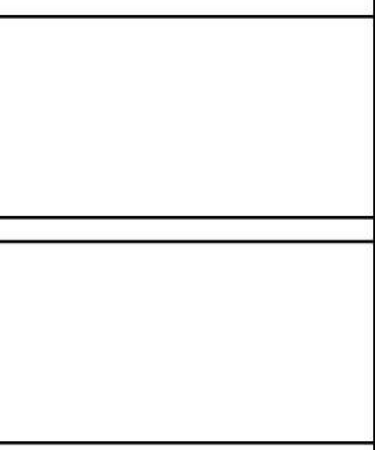
FLOOR PLANS & ROOF PLAN

Scale: 1/4" = 1'-0"
Print Date: 6/3/2021 12:24:35 PM
Sheet: A120

EXTERIOR MATERIALS	
MARK	DESCRIPTION
AS-01	ASPHALT SHINGLE ROOFING
BR-01	MODULAR BRICK VENEER - GLEN GERY "BELGIUM"
VS-01	4" EXPOSURE VINYL SIDING BY ALSIDE COLOR = PLATINUM GRAY



ARCHITECT:
Oliver Architecture
216.245.2661
7100 Euclid Avenue #200
Cleveland, OH 44103
www.oliverarchitect.com



PRELIMINARY
NOT FOR CONSTRUCTION

2137 MURRAY HILL

2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

ISSUE DATE



ELEVATIONS

Scale: 3/16" = 1'-0"
Print Date: 6/4/2021 5:19:16 PM
Sheet: A200



D3 WEST ELEVATION
3/16" = 1'-0"



B3 EAST ELEVATION
3/16" = 1'-0"



A3 SOUTH ELEVATION
3/16" = 1'-0"

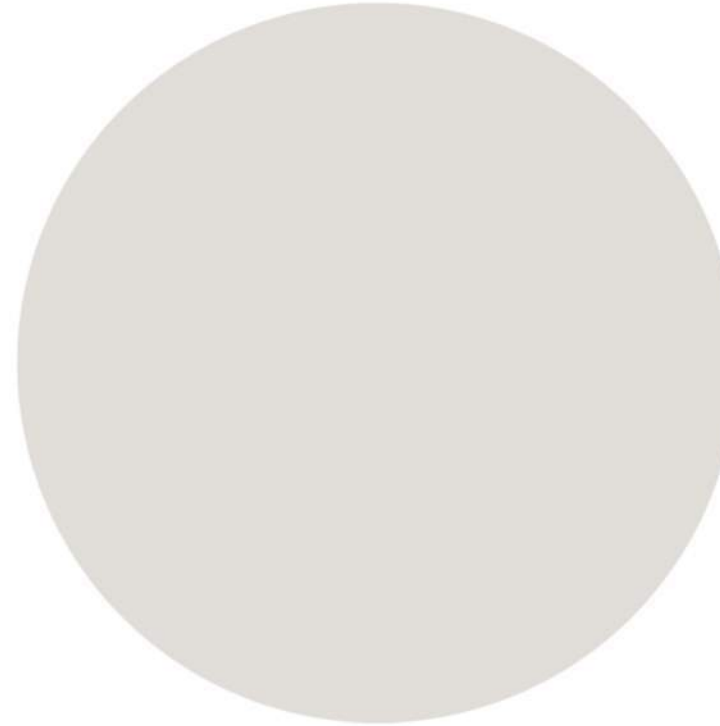


A5 NORTH ELEVATION
3/16" = 1'-0"

ASPHALT SHINGLE
BUILDING PRODUCTS OF CANADA
YUKON SB - TWILIGHT GREY



VINYL SIDING
ALSIDE
PLATINUM GRAY



PRECAST CONCRETE LINTEL
SANDERSON CONCRETE



MODULAR BRICK VENEER
GLEN GERY
BELGIUM HANDMADE



ABC Supply Co. #597 Medina

Address: 865 W Liberty St

MEDINA, OH 44256

Phone: 3307225101

Fax: 3307257665



Page 1 of 6

Number:

Sales Person:

Customer Information

Name:

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name: LITTLE ITALY

Specifications

U.D. = 37-1/2" x 85-5/8"; R.O. = 38-1/4" x 86"

O.M. of Exterior Trim = 40" x 86-7/8"

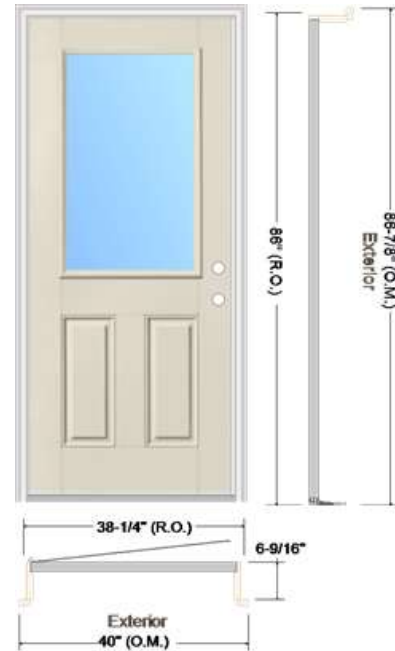


Image is viewed from Exterior!

Lead Time: Stock (Call to verify)

Comment:

Item Description	Qty
3' 0" x 7' 0" 70-S206 Smooth-Star Fiberglass Door w/Clear Glass - Left Hand Inswing	3
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	3
Set of Standard - Brushed Nickel Hinges	3
Primed Dura-Frame - 6-9/16" Jamb w/Dura-Frame Brickmould Exterior Trim (Applied) w/(1)Brushed Nickel Adjustable Security Strike Plate (for Lockset only)	3
Bronze Compression Weatherstrip	3
Tru-Defense Composite Adj. w/Dark Cap - Mill Finish Sill	3

Distributed by:



Version #: 1.16-O
Version Date: 10/7/2020

6500 Professional Series Brickmold New Construction Windows



SINGLE HUNG FEATURES

Brickmold 2-7/8" fusion welded PVC frame and sash provide lasting, low-maintenance beauty.

Integral nailing fin is 1-1/4" long and set back 1-1/4"

Sloped sill efficiently diverts water away from the interior.

3/4" Intercept warm-edge insulating glass is the foundation of thermal performance and comfort.

Optional IntelliGlass Low E glass with Argon gas fill heightens energy efficiency.

Stainless steel constant force balance system and metal on metal pivot bar system keeps the sash aligned and moves with minimal force.

Recessed tilt latches release the sash for trouble-free cleaning of both sides of the glass.

BioMaxx composite sweep locks are lead free and nest securely into the tamperproof retainer.

Integral extruded lift rail will never pull loose for assured confidence in operation and function.

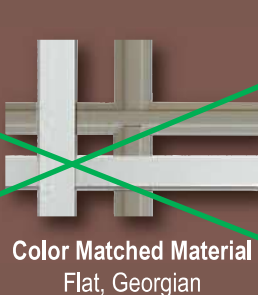
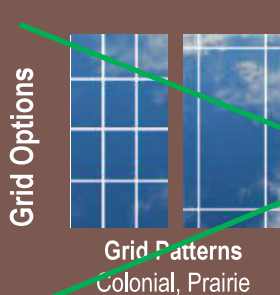
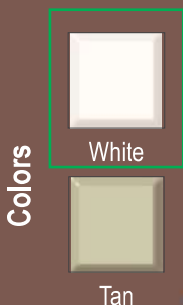
Steel reinforced lock rail adds extra stability and structure to the multi-chambered vinyl

Full overlap interlock and mylar fin synthetic weatherstripping at meeting rail keep out drafts.

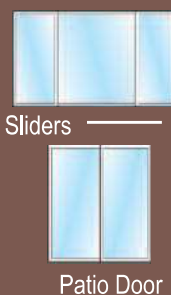
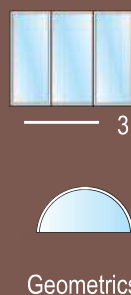
Included half screen features BetterVue mesh.

Non-Prorated Limited Lifetime Warranty covers vinyl, glass, screens and hardware for as long as you live in your home and is transferrable.

OPTIONAL FEATURES



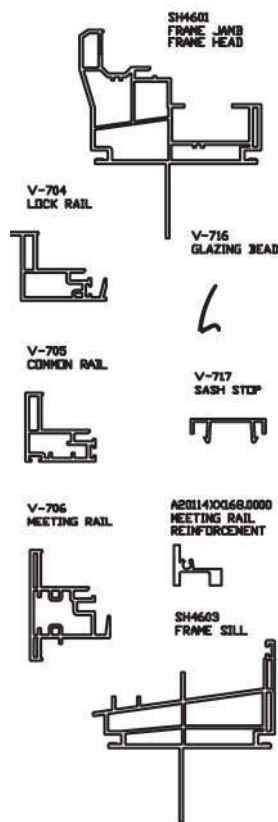
Matching Styles





Single Hung T700

vinylmax windows



Product Features

- Fusion welded frame and sash corners
- 2 1/8" Frame with beveled exterior
- 1-1/4" Nail fin is set back 1-1/4"
- Maintenance-free multi-chambered vinyl
- Full width interlock
- Sloped Sill
- Foam-filled compression bulb at sill
- Multiple rows of mylar fin weatherstrip
- Integral lift rail
- Bio-Maxx composite sweep locks
- Recessed tilt latches
- Stainless steel constant force balances
- Metal drop in pivot cam
- Tilt in, lift out sash
- Aluminum screen frame
- BetterVue screen mesh
- 3/4" Insulated glass unit
- Intercept Spacer system
- Tape Glazed
- Limited Lifetime Warranty
- White or Tan Vinyl
- Made in USA with more than 90% domestic content

Made in USA



Size Limits

	Width	Height	UI*
Minimum	11 3/4"	21 1/2"	34
Maximum	52"	100"	150

*United Inches = Width + Height

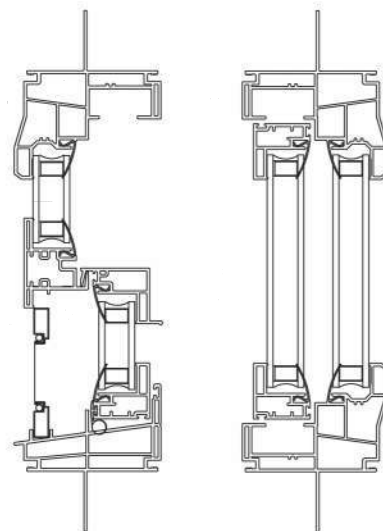
Performance

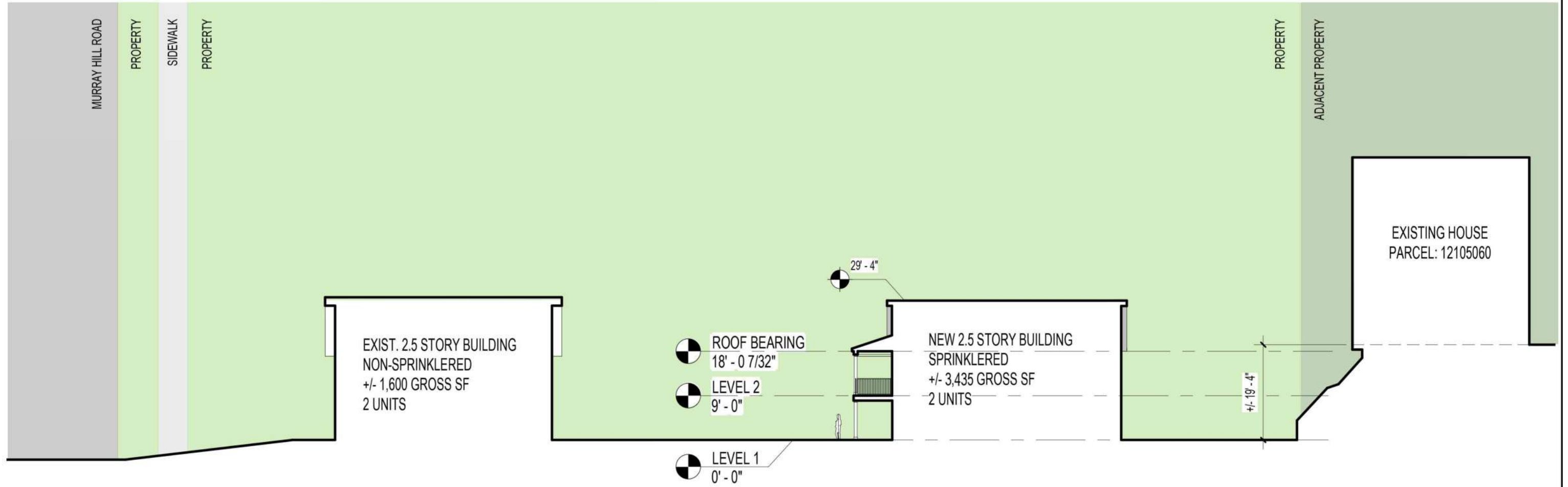
Thermal Performance	NFRC	A9904.02-116-45			
(no grids/ grids)	U-value	SHGC	VT	CR	
Clear/Clear	.48	.64/.58	.66/.59	43	
IntelliGlass LE/Argon	.31	.30/.27	.57/.51	56	
IntelliGlass X Solar LE/Argon	.30	.26/.23	.51/.45	55	

Structural Performance	83327.01-501-.47
Air Infiltration@ 25MPH	.18 cfm/ft ²
Water Penetration	6.9 psf
Design Pressure	+/- 37.62 psf
Equivalent Wind	122 mph

PRODUCT RATING: R-PG25

Cross Sections





1 SITE SECTION
1" = 20'-0"

OLIVER ARCHITECTURE

216.245.2661
7100 Euclid Ave. #225
Cleveland, OH 44103
www.oliverarchitect.com



2137 MURRAY HILL

2137 MURRAY HILL ROAD
CLEVELAND OH, 44106

NOT FOR CONSTRUCTION

SITE SECTION

Date:
06/01/21

Sheet:
A300

Cleveland Landmarks Commission

Concept Plan



June 24, 2021



Case 21-051: Lorain Avenue Historic District

Urban Community School Lorain Avenue

New Construction of a Mixed-Use Building

Ward 3: McCormack

Project Representatives: Stan Kaczmar, Christine Raymond, Kaczmar Architects; Thomas Gill, Al Sanchez, John Hagerty, Urban Community School



Case 21-052: Lorain Avenue Historic District

Urban Community School Lorain Avenue

Demolition

Ward 3: McCormack

Project Representatives: Stan Kaczmar, Christine Raymond, Kaczmar Architects; Thomas Gill, Al Sanchez, John Hagerty, Urban Community School

May 27, 2021

**Attn: Ohio City Design Review Committee
Cleveland Landmarks Commission**

**Re: Application for Certificate of Appropriateness for Demolition
Urban Community School
4809 Lorain Ave.
Cleveland, OH 44102**

Urban Community School respectfully requests approval to demolish the building located on our campus at 4809 Lorain Ave. The school purchased the structure in March of 2021 following years of safety concerns due to neglect by the prior owner. Immediately after we received results from an engineering study confirming the instability of the building, a temporary sidewalk protection structure was installed (Jan 2020). This protection was installed at the school's expense to protect students and families from the potentially falling bricks.

GENERAL DESCRIPTION

The building was constructed between 1881 and 1886. Per the 1886 Sanborn Maps, the structure contained addresses 1070, 1072, and 1074 Lorain Street at the southwest corner of Liberty Street.

The building is two (2) stories tall with a basement. The building footprint is approximately 3,200 SF in area; thus, the total building area is approximately 9,600 gross square feet.

The most recent occupants of the first floor included a physician's office, church, and small apartment. The second floor is divided into four apartments.

CURRENT CONDITION OF THE BUILDING

All aspects of the building have been neglected and not maintained resulting in severe deterioration. The building structure is in an unsafe and unstable condition. The City of Cleveland Department of Building & Housing issued a Notice of Violation on 02/06/2020 stating that the structure is found to be structurally unsafe. Please see attached Existing Building Assessment Report dated January 2, 2020 and letter dated April 29, 2021 for additional structural comments by Thorson Baker + Associates.

INTENDED USE OF THE SITE

We are proposing a building addition to the existing school consistent with our overall Campus Master Plan. The new structure will include office space for the school, a boardroom, lease space for a community based non-profit partner, a large Community Room, and a Chapel. The office space is required due to the school's growth over time and will free up existing space within the existing school for student use. The Community Room and Chapel will be available for use by the non-profit partners on campus as well as the local community.

Please see the following attachments for additional information. Allowing demolition of the building will greatly alleviate our urgent concerns and those of our parents & guardians for the safety of our students as well as any member of the community walking along Lorain Ave. Thank you for your consideration.

Sincerely,



Thomas Gill

President

Urban Community School

ATTACHMENTS:

Existing Photographs

Existing Site Plan / Aerial Photo

Building & Housing Notice of Violation

Thorson Baker + Associates Letter dated 04/29/21

Mid State Restoration Letter dated May 13, 2021

Existing Building Assessment Report dated January 2, 2020

Renderings and Plans for proposed building dated May 25, 2021









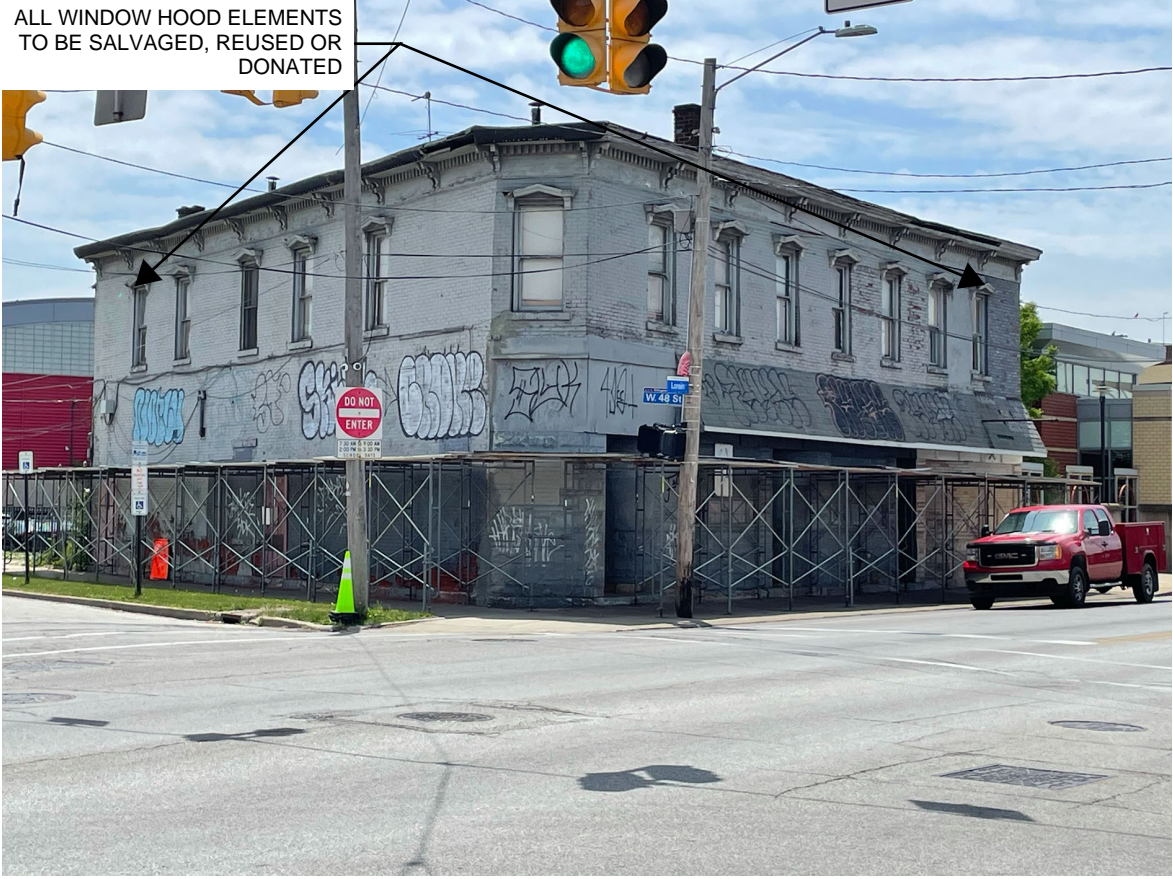
POTENTIAL SALVAGE ITEMS

4809 Lorain Avenue

ALL CORNICE BRACKETS & DENTILS TO BE SALVAGED, REUSED OR DONATED



ALL WINDOW HOOD ELEMENTS TO BE SALVAGED, REUSED OR DONATED



Urban Community School

SALVAGE AND REUSE
UNDAMAGED TIN CEILING



NEW ADDITION TO URBAN
COMMUNITY SCHOOL

METROHEALTH OHIO
CITY HEALTH
CENTER

CHILDREN'S
RELOCATED
INDOOR
PLAY AREA

AVAILABLE AREA IS APPROXIMATELY
1,400 NET SQUARE FEET

PRESIDENT
OFFICE

SCHOOL ACCESS DRIVE

EXISTING URBAN
COMMUNITY SCHOOL

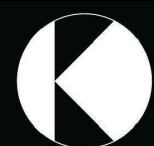
TOTAL NEW BUILDING AREA = 35,000 SF



SITE PLAN

SCALE: 1"=40'-0"

ECC



Kaczmar
architects incorporated
cleveland • ohio

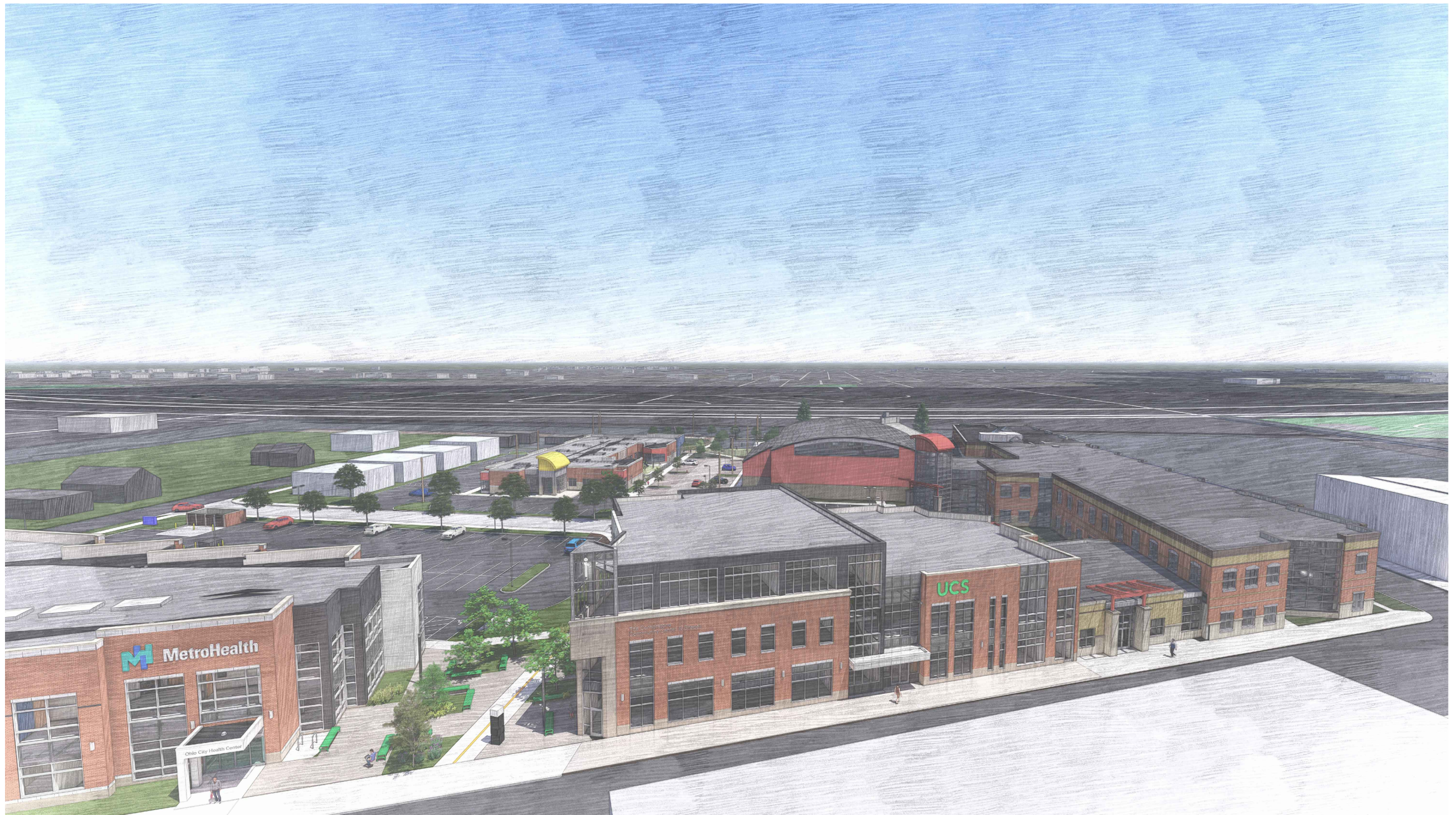
UCS

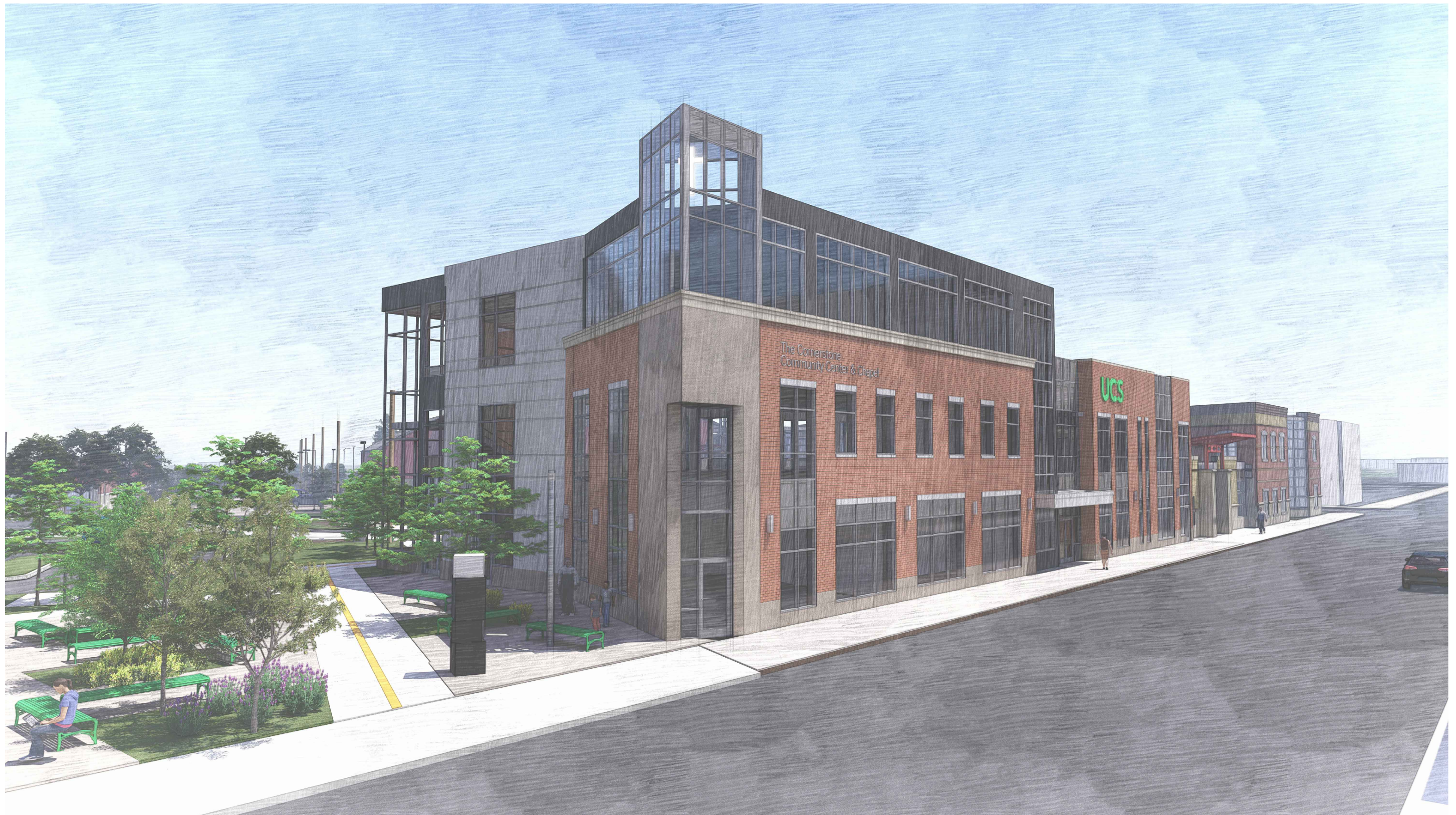
THE CORNERSTONE
NEW COMMUNITY BUILDING AT URBAN COMMUNITY SCHOOL
4909 LORAIN AVENUE
CLEVELAND, OHIO

06.21.21

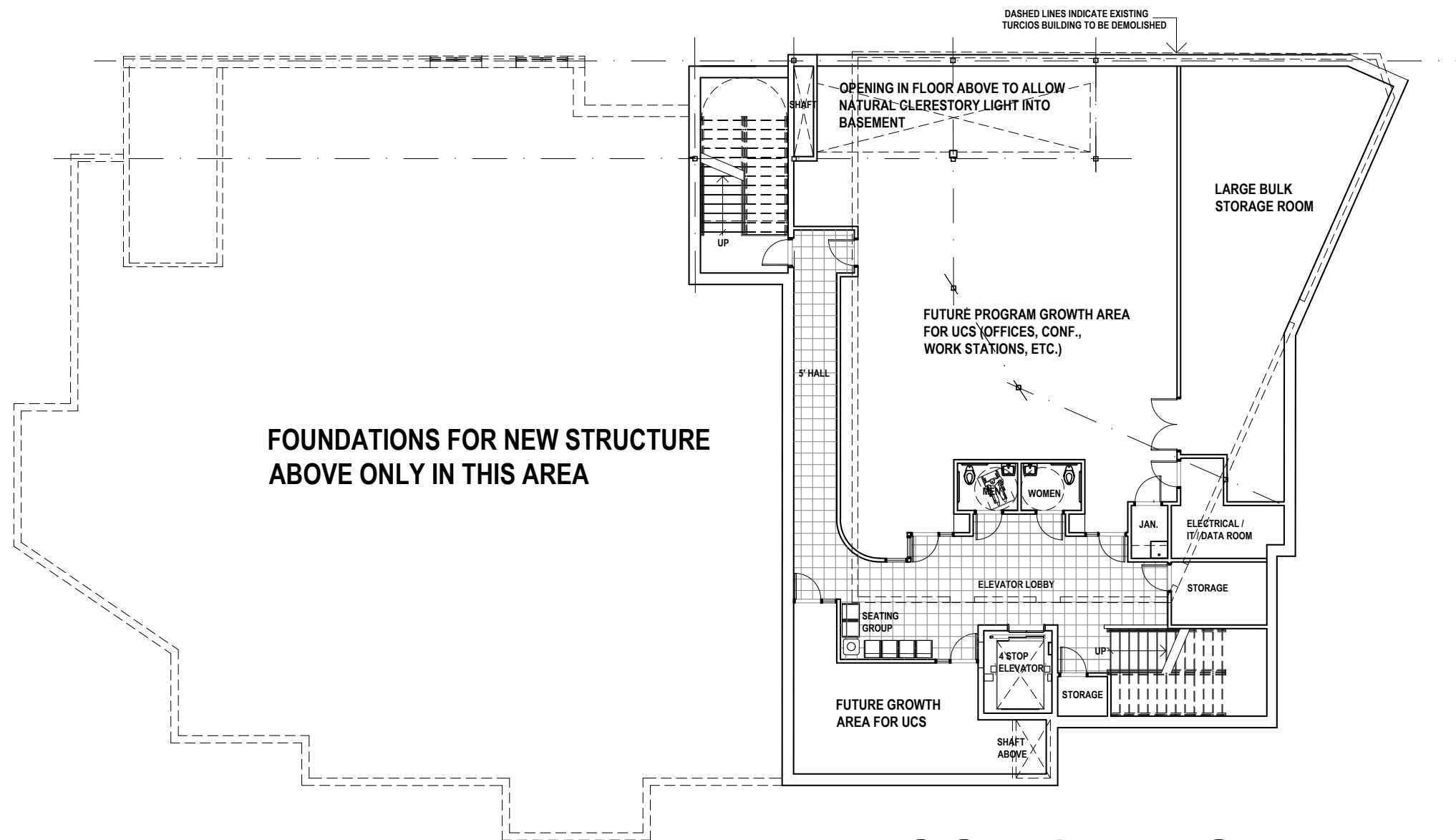
1" = 40'-0"

001





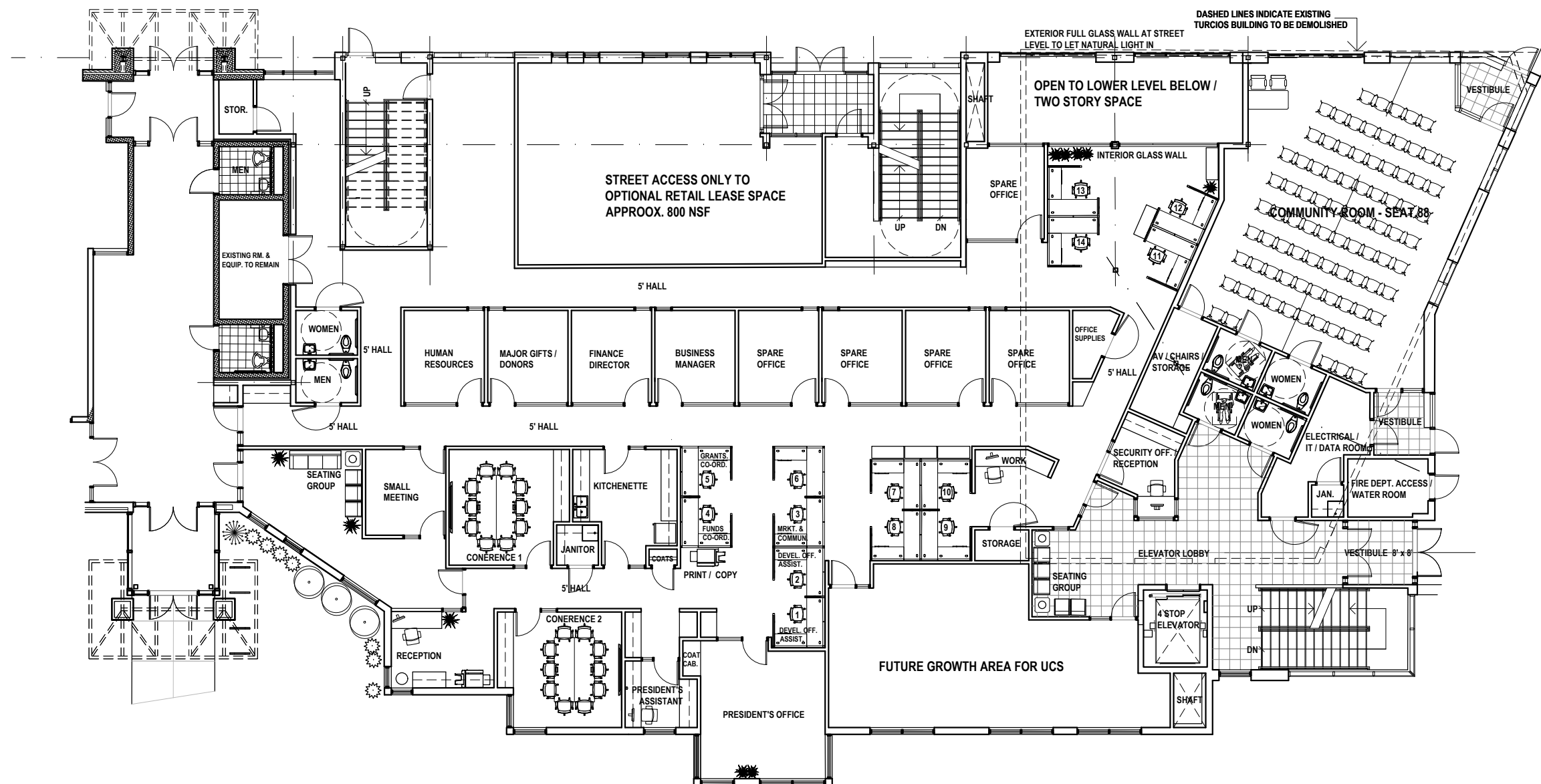




FLOOR 1 - BASEMENT

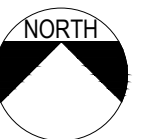
TOTAL FLOOR AREA = 5,367 GSF

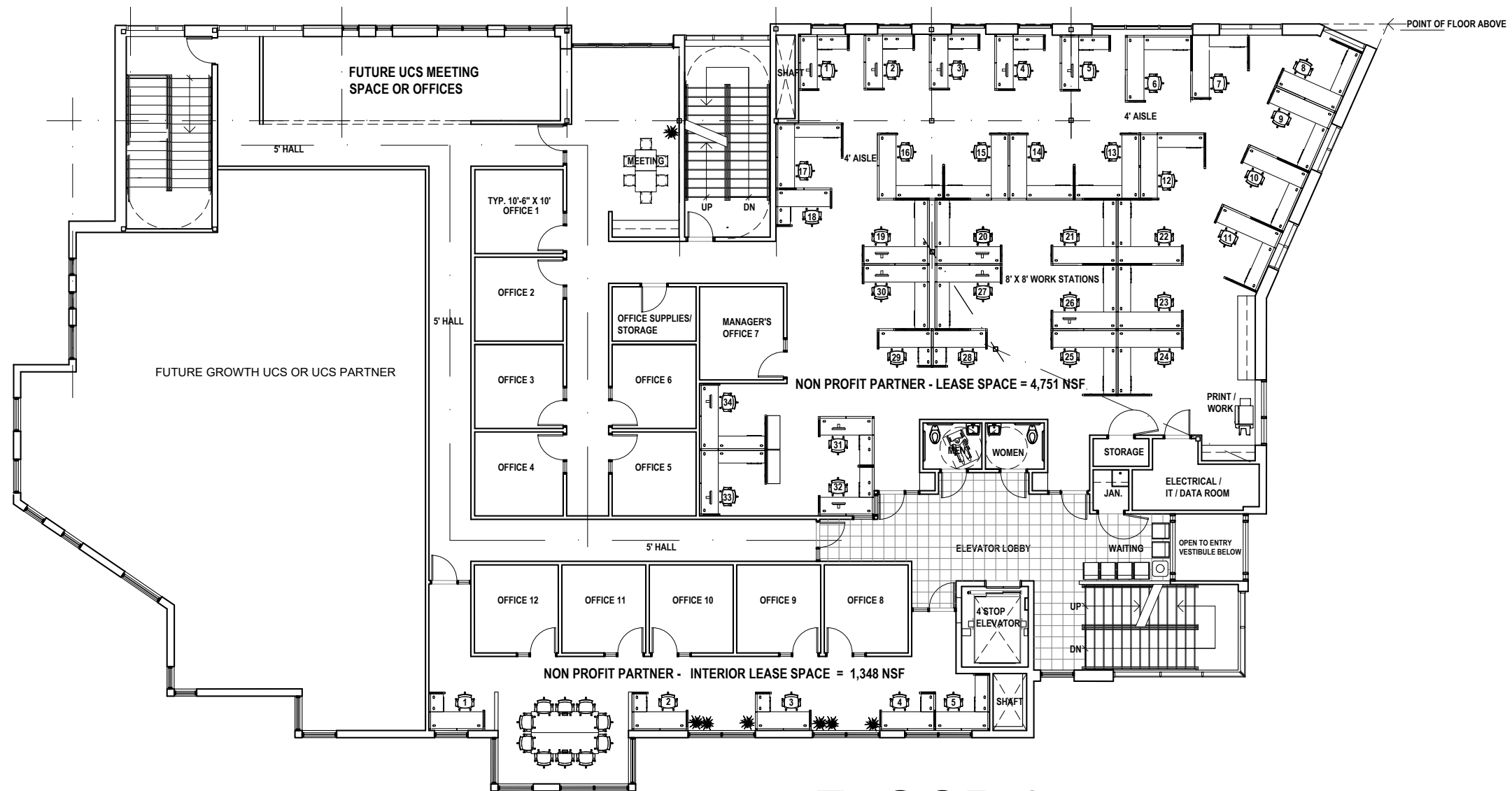




FLOOR 2 - STREET

TOTAL FLOOR AREA = 11,800 GSF

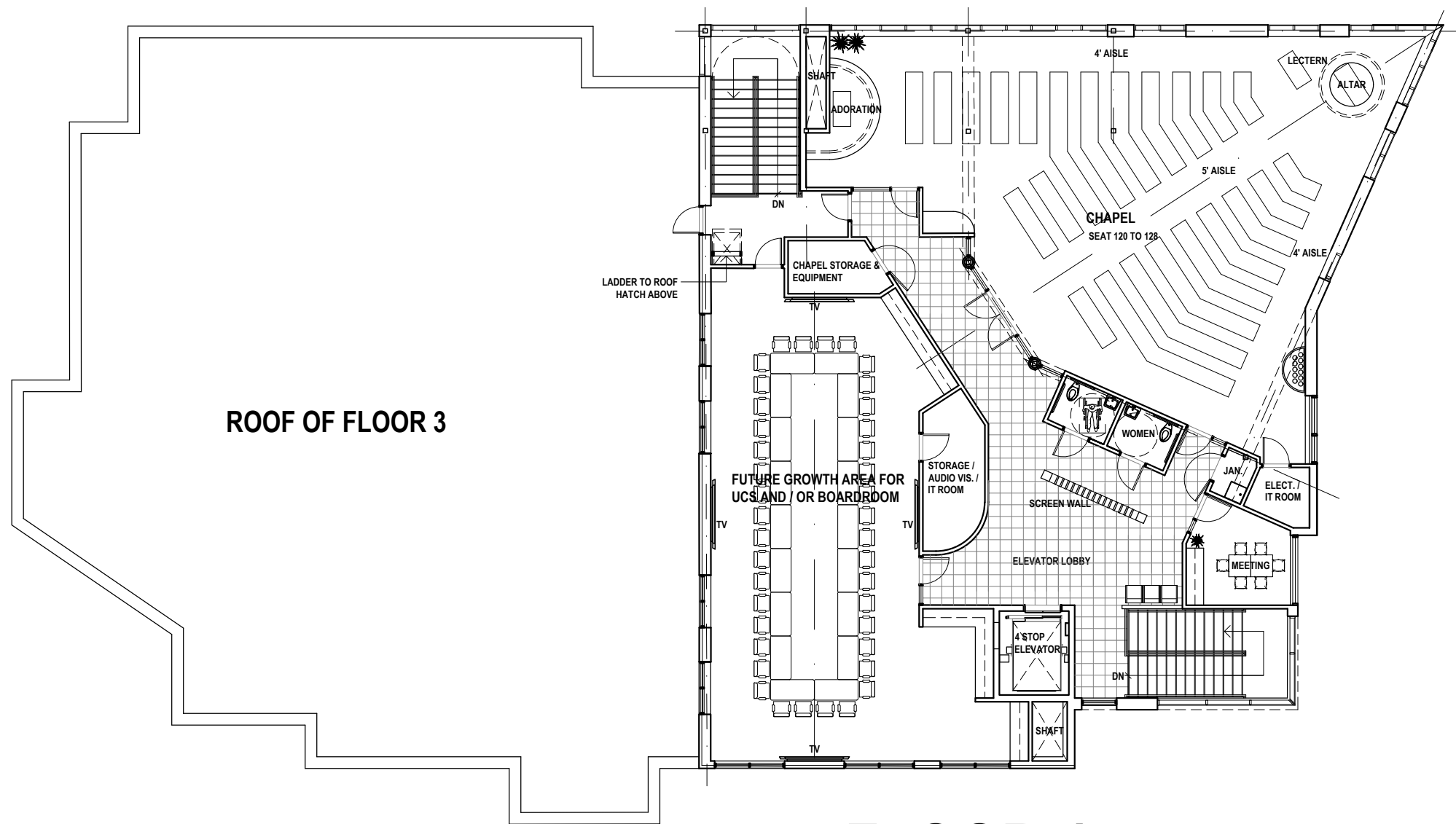




**TOTAL COMBINED INTERIOR LEASE
SPACE = 6,099 NSF**

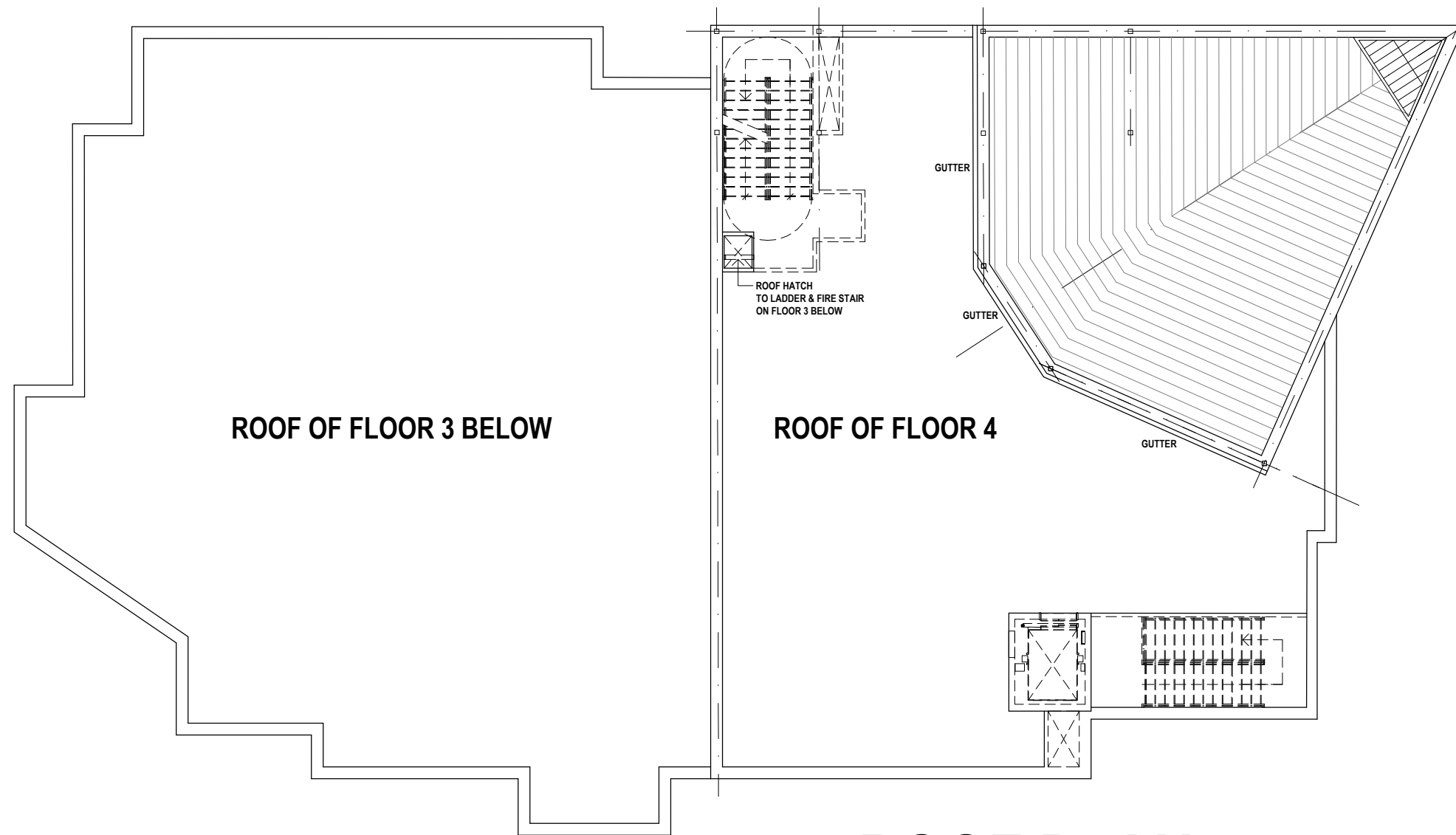
FLOOR 3
TOTAL FLOOR AREA = 11,800 GSF





FLOOR 4
TOTAL FLOOR AREA = 6,000 GSF





ROOF PLAN



THE CITY OF CLEVELAND
DEPARTMENT OF BUILDING & HOUSING
DIVISION OF CODE ENFORCEMENT
601 LAKESIDE AVE. CLEVELAND, OH 44114

NOTICE OF VIOLATION OF BUILDING AND HOUSING ORDINANCES

WARD: 3

ISSUE DATE: 2/6/2020

CENSUS TRACT: 102600

PPN: 00619010

PROP. ADDRESS: 4809 Lorain Ave, Cleveland, OH
44102

AKA:

----- RESPONSIBLE PARTY(S) -----

REINA TURCIOS RUIZ, TRUSTEE OF THE TURCIOS FAMILY KEYSTONE TRUST DATED MAY 12,
2017
7603 SNOW ROAD
PARMA, OH 44129

REINA TURCIOS RUIZ, TRUSTEE OF THE TURCIOS FAMILY KEYSTONE TRUST DATED MAY 12,
2017
4809 LORAIN AVE., CLEVELAND OHIO, 44102

REINA TURCIOS RUIZ, TRUSTEE OF THE TURCIOS FAMILY KEYSTONE TRUST DATED MAY 12,
2017
4135 BROWNING CHASE DR. TUCKERM, GA 30084

OCCUP./USE: M Mercantile - Retail shops, Carry-out
Food Shops

INSPECTION DATE: 02/06/2020

KIND OF STRUCTURE: 2 Sty. Masonry

VIOLATION #: V20004963

ZONING DISTRICT: Local Retail Business

NUMBER OF DWELLING UNITS:

TYPE OF VIOLATION: Exterior Maintenance

THIS NOTICE SHALL BE COMPLIED WITH AND ALL VIOLATIONS CORRECTED BY THE BELOW
LISTED "COMPLY DATE".

FAILURE TO COMPLY WITH THIS NOTICE WILL RESULT IN PROSECUTIVE ACTION OR PENALTY
AS PROVIDED BY LAW.

PLEASE CONTACT THE INSPECTOR UPON RECEIPT OF THIS NOTICE.

RIGHT TO APPEAL

You have the right to appeal this notice. If you wish to appeal, you must file a written appeal within 30 days of the
issuance date on this notice. The appeal must be filed at:

Cleveland City Hall
601 Lakeside Avenue, Room 516
Cleveland, Ohio 44114

TO CONTACT YOUR INSPECTOR CALL MONDAY THRU FRIDAY.

INSPECTOR: KENNETH A MAXWELL PHONE: 216-664-
2328

EMAIL: kmaxwell@city.cleveland.oh.us

SEQ NO	COMPLY DATE	NATURE OF VIOLATION	COMMENTS
1	03/07/2020	12 [3103.09]: UNSAFE STRUCTURE: THIS STRUCTURE IS FOUND TO BE STRUCTURALLY UNSAFE.	THE EXTERIOR WALLS AND DECORATIVE MASONRY PARTS ARE FALLING ON THE SIDEWALK AND THE EXTERIOR OF THE BUILDING IS IN POOR CONDITION AND SERIOUS HAZARD PARTS
2	03/07/2020	14 [3105.01(A)]: MAKE APPLICATION FOR AND OBTAIN ALL THE REQUIRED PERMITS BEFORE STARTING ANY WORK FROM THE BUILDING DEPARTMENT, ROOM 505, CITY HALL.	
3	03/07/2020	3 [3101.10(C)]: MAINTENANCE OF EXTERIOR WALLS AND ROOF. EXTERIOR WALLS OF EVERY STRUCTURE AND APPURTENANT SHALL BE MAINTAINED WEATHERTIGHT AND SHALL BE MAINTAINED SO TO RESIST DECAY OR DETERIORATION FROM ANY CAUSE.	
4	03/07/2020	4 [3101.10(D)]: MAINTENANCE OF INTERIOR WALLS AND FLOOR. EVERY STRUCTURE SHALL BE MAINTAINED FREE HOLES, LARGE CRACKS, AND ANY LOOSE AND DETERIORATED MATERIAL.	

TO CONTACT YOUR INSPECTOR CALL MONDAY THRU FRIDAY.

INSPECTOR: KENNETH A MAXWELL PHONE: 216-664-2328 EMAIL: kmaxwell@city.cleveland.oh.us



Thorson • Baker + Associates
CONSULTING ENGINEERS

structural
mechanical
electrical

civil
technology
commissioning

April 29, 2021

Ms. Christine Raymond
Kaczmar Architects
1468 West 9th Street, Suite 400
Cleveland, OH 44113

Re: 4807 Lorain Ave. Building – Possible Façade Re-Use

Cleveland, OH

Dear Ms. Raymond:

As a follow up to our recent discussion, we understand that you are asking our opinion as to the possibility of salvaging the existing brick façade, with the intent of demoing the existing building and constructing a new building behind it. Please allow this letter to serve as our opinion from a Structural Engineering standpoint.

During the site observation we conducted on December 18, 2019, there were several issues noted in our report that compromised the adequacy of the building for occupancy and required immediate attention from a safety standpoint. One of those areas was the brick façade. We had noted in our report that the exterior brick façade is structurally unsound and is in an extremely poor condition, and that the outside areas surrounding the building should be cordoned off immediately to protect the public from the possibility of falling debris.

The brick façade on the front of the building is currently bowed out of plumb approximately 3" to 4", and is not physically tied back to the wall structure with any means of tie-back anchors that we could see. This most likely was the reason the side wall had previously collapsed, and in our opinion the front wall has the possibility of doing the same.

Regarding salvaging the facade, it is Thorson Baker + Associates' professional opinion as Structural Engineers that the existing brick façade is beyond repair and is in an unstable condition to attempt any means of shoring and salvaging during construction of a new building.

If you have any further questions, please contact us.

Sincerely,

Thorson • Baker + Associates, Inc.

Principal – Structural Department
DLN/dln

MID STATE RESTORATION, INC.

2521 MONROE AVENUE
CLEVELAND, OHIO 44113-4121

www.midstaterestoration.com

PHONE - (216) 771-2112 FAX - (216) 771-0508

May 13, 2021

Mr. John Hagerty
URBAN COMMUNITY SCHOOL
4909 Lorain Avenue
Cleveland, Ohio 44102

Re: Façade Assessment for Structure located at 4805 – 4809 Lorain Avenue

Dear John,

We wish to thank you for your inquiry and are pleased to present our assessment of the masonry façade located at 4805 – 4809 Lorain Avenue.


Observations

On Friday April 30th we performed an on-site review and evaluation of the masonry façade. The assessment was performed from visual observations at grade level of the façade on all elevations.

1. The 2 story structures façade is comprised of a stone veneer on the first floor of the North Elevation and brick and block veneer on the 2nd story. The East and South elevation are comprised of a brick veneer, and the West elevation is clad in vinyl siding.
2. We were informed that the West elevation originally was clad in a brick veneer. This veneer collapsed in previous years and was replaced with siding.
3. The brick and stone façade is covered with a paint coating that is peeling and flaking on all elevations.
4. The North elevation upper façade has areas of displaced and bulging brick. The brick veneer has failed in areas and was replaced with a concrete block veneer.
5. The East elevation has severely eroded sections of brick veneer at the grade level that require replacement. Areas of displaced and bulging brick veneer also exist at the second-floor line.
6. The South elevation again has areas identified with displaced brick. The rear porch structure and masonry support columns need to be removed and are a safety concern.

Recommendations

In summary the masonry façade is in very poor condition. The existence of displaced and bulging locations of the façade are a serious concern, especially with the fact that the West elevation collapsed in previous years. The façade requires to be anchored to a solid back up system. The present condition and previous failure of the West elevation and locations of the North elevation questions the existence or lack of a tie system for the masonry façade. It is our opinion that the masonry façade is not salvageable and requires replacement with new masonry units and a properly designed tie system to the back up structure.



If there are any questions or concerns, please call at your earliest convenience to discuss.

Sincerely,

Jim /jm

JAMES L. HAYES, PRESIDENT

jhayes@midstaterestoration.com

MID STATE RESTORATION, INC.

Existing Building Assessment Report 4805 - 4809 Lorain Avenue

Cleveland, Ohio

January 2, 2020



Report prepared in conjunction with:



THORSON BAKER + ASSOCIATES
3030 West Streetsboro Rd.
Richfield, OH 44286
Phone: (330) 659-6688
Fax: (330) 659-6675

Enclosed within is a comprehensive Existing Building Assessment Report for the Turcios-Ruiz property located at 4805-4809 Lorain Avenue. The Report serves to summarize the condition of the existing building, as it relates to deficiencies per today's Building Code, as well as information describing existing structural, mechanical/plumbing, and electrical systems.

The building is currently occupied by at least two residents and is used for church services at least three times a week. The overall condition of the building is extremely poor. There are dangerous life safety hazards that must be addressed with urgency and the building's use and occupancy should be suspended immediately. In our opinion, the building is beyond repair or renovation. See attached letter from Thorson Baker & Assoc. dated December 27, 2019 for issues requiring immediate attention.

The conclusions and recommendations in this report are based on a brief tour inside the building. No testing, exploratory probing, inspections, dismantling, or in-depth studies were performed. Although walk-through observations of the majority of rooms were performed, not all areas were observed or were clearly visible due to limited lighting and / or visibility. There may be defects in areas which were not readily accessible or may not have been visible.

The report documents the conditions at the time the site visits were conducted.

Schedule of site visits:

- Exterior review of masonry conducted on July 10, 2019.
- Aerial drone photos taken on September 19, 2019.
- Interior observations conducted on December 18, 2019.

Applicable Codes/Regulations:

- 2017 Ohio Building Code
- 2017 Ohio Plumbing/Mechanical Codes
- 2017 National Electrical Code / NFPA 70
- 2009 ICC ANSI A117.1 Guidelines

The Report is divided into three (3) Sections:

<u>Section</u>	<u>Description</u>
1	General Building Assessment – prepared by Kaczmar architects incorporated
2	Structural, Mechanical, Electrical Systems Evaluation Report– prepared by Thorson Baker & Associates (TBA) dated December 30, 2019
3	Supplemental Letter - dated December 27, 2019 documenting Issues Requiring Immediate Attention

General Building Summary

Per Cuyahoga County records, the building was constructed in 1900. The building is two (2) stories tall with a basement. The building footprint is approximately 3,200 SF in area; thus, the total building area is approximately 9,600 gross square feet.

The ground level houses a medical office suite, church, and an efficiency apartment. The second floor is divided into four (4) apartments. One apartment is occupied. The occupancy classification is mixed use of "B" Business and "R-2" Residential.

The second floor is accessed from a straight run staircase through an exterior door on Lorain Avenue. There is a rear door from the second floor to an exterior porch and staircase. The efficiency apartment is accessed directly from an exterior door at the southwest corner of the building. The building does not have an elevator.

The building structure is a combination of wood timber, wood framed walls, and exterior masonry veneer. The exterior materials include brick and stone. Windows are painted wood. The west wall is clad in vinyl siding. The roof is a low sloped / flat structure.

The building is not equipped with an automatic sprinkler system. A sprinkler system is not required by Ohio Building Code for a building of this size.

The building does not meet code-related accessibility requirements.

The overall condition of the building is very poor. See Section 2 for additional information regarding structural, mechanical, and electrical systems.



View of North Façade along Lorain Avenue

Exterior Envelope Conditions

The general condition of the exterior walls is extremely poor.

The north elevation is clad in brick and stone. All masonry has been painted. The coating is peeling off of the majority of the masonry. The brick veneer at the second floor is bulging and pulling away from the wall and is at risk of collapse. The perimeter of the building should be cordoned off immediately to protect the public from the possibility of falling debris. Pinning and complete replacement of all brick in these areas would be required. The stone masonry foundation is in disrepair (see Part II of attached Evaluation Report by TBA).

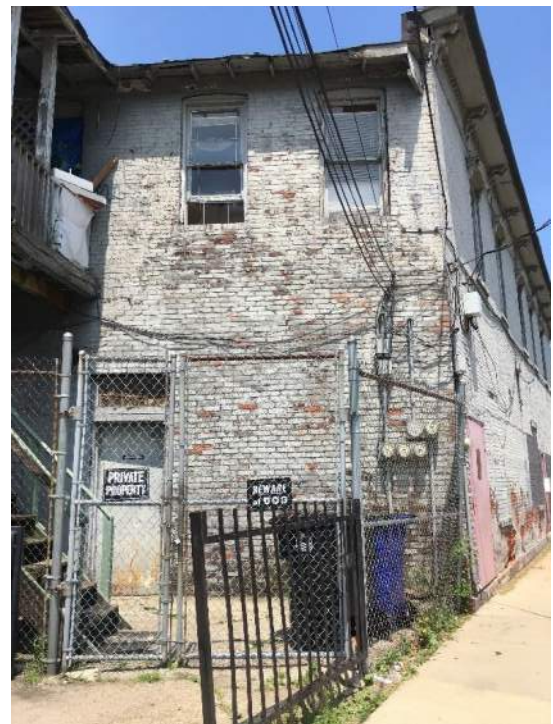


The masonry along the base of wall on the east elevation is crumbling and deteriorated. A large area of brick is bulging away from the wall. The stability of the masonry is unknown and presents a hazard for those walking on the adjacent sidewalk.



The west elevation is clad in vinyl siding. Previously, this wall had brick veneer consistent with the rest of the building. In 2007, the brick veneer detached from the wall and crumbled to the ground. Based on this event, it is strongly recommended that all brick veneer on all facades be inspected immediately by a masonry restoration contractor and a plan for rehabilitation of the wall be put into action with urgency.

The south elevation requires significant brick repair and / or replacement. The brick columns supporting the second-floor porch require replacement. The wood porch structure, railings and stairs are rotten, damaged, and structurally unsound (see Part II of attached Evaluation Report by TBA).



The windows are double hung, wood windows with single pane glass. The wood is damaged and rotten. Windows are beyond the end of their useful life and require replacement.

There is wood trim above the windows and a projected, decorative wood cornice at the top of the building on the north and east facades. The finish is peeling and there is evidence of decay. The stability of the cornice is questionable. The roof membrane extends to the front of the cornice, but is not properly terminated at the cornice edge.

The age of the roof is unknown and consists of a mixture of roofing materials. Adequate edge terminations are not present. The roof structure slopes from north to south sending all stormwater to the south edges of the building. There is a gutter along the south edge of the porch roof. The downspout from this gutter has been removed. There is an open hole in the roof of the porch which allows water to fall onto the porch further damaging the wood structure. The portion of main roof east of the porch does not have a gutter so the water flows over the edge causing damage to the wood below. The exposed wood structure of the eave in this area is severely damaged. A new, complete roof system including edge trim, terminations, and drainage system is required. The condition of the roof structure is unknown.



Interior Conditions

The interior conditions vary within the spaces, but are generally poor in condition with materials beyond their useful life. The church area has newer finishes and are in poor to fair condition.

There is evidence of water damage in multiple areas on ceilings and floors.



The majority of the first floor has suspended acoustical tile ceilings. Above the dropped ceiling, there is a tin ceiling attached to the floor joists. In at least one area, the tin ceiling has fallen away from the joists due to assumed water damage. Floor joists are exposed in the damaged area. By code there should be a fire separation between the first floor business use and residential floor above. A continuous fire separation does not exist.



Generally, both the first and second floors are not level, potentially due to structural failure and decaying materials. The majority of spaces have loose and peeling floor finishes.



The southwest area of the basement is in the worst condition of the basement areas. The floor slab is cracked, damaged, and spalled. There is a sanitary stack that has been leaking raw sewage causing water damage. The structure above is also damaged (see Part II of attached Evaluation Report by TBA).



Emergency Egress Review

The basement is divided into two areas. The south portion of the building is unoccupied and contains electrical panels and furnace units (see Parts III and IV of attached Evaluation Report by TBA). Access to the south area is through an exterior door that leads to a wood staircase. The steps are extremely inconsistent in dimension and stability, do not have adequate handrails, and have open risers which are prohibited by code. A safe, code compliant means of egress from this area is not provided and is required by code.



South stair to basement



North stair to basement

The north basement area contains the incoming water service and gas service. The majority of area is used for storage. A portion of the basement appears to be used as a gathering space. There is an interior stairwell that leads from the church space on the ground level to the north area of the basement. The north stairwell is the only means of egress from the basement. One exit is acceptable up to an occupant load of 49, however the condition of the stair is not code compliant. Solid risers are required and the treads are worn and nonuniform. Handrails with proper extensions at the top and bottom are required on both sides of the stair.

The church space on the ground level has one exit on the north wall. The maximum occupancy allowed in spaces with a single exit is 49. The medical office suite has three (3) exits which is acceptable by code.

The upper residential level is accessed via an interior stair on the north end of the building. This stair is very steep and is not code compliant. The second means of egress from the upper floor is through a door on the south wall leading to the exterior porch and staircase. This door is blocked and the porch and stair structures on the south façade are structurally unsound (see Part II of attached Evaluation Report by TBA). The hallway leading to the south door is used for storage and is blocked by a baby gate. A clear, second means of egress is required by code.



Second floor hallway



Second floor hallway



Porch and exterior stair



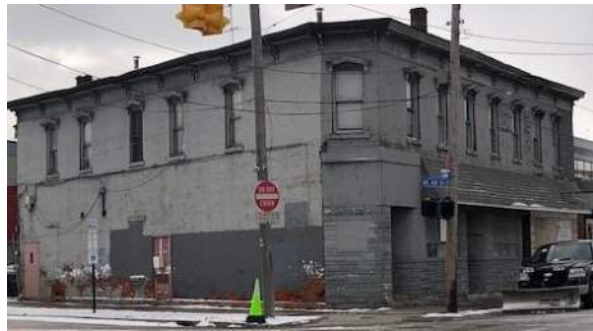
Exterior steps



Structural, Mechanical, Electrical Systems Evaluation Report

**Evaluation Report
December 30th, 2019**

**Mixed Use Building
4807 Lorain Ave.
Cleveland, OH**



Prepared for:
Kaczmar Architects Inc.
Christine M. Raymond
Principal

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PART I – INTRODUCTION

- A. Purpose
- B. Basic Building Description
- C. Limitations

PART II – STRUCTURAL SYSTEMS SUMMARY

- A. General
- B. Interior
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PART III – MECHANICAL SYSTEMS SUMMARY

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PART IV – ELECTRICAL SYSTEMS SUMMARY

- A. Electric Service and Metering
- B. Electrical Distribution
- C. Emergency and Exit Lighting
- D. Interior Lighting
- E. Special Systems
- F. Fire Alarm System
- G. Electrical Systems Summary

PHOTOGRAPHS

ATTACHMENTS

- A. Supplemental Letter – dated December 27th, 2019
Issues Requiring Immediate Attention

PART I – INTRODUCTION

A. Purpose:

Thorson • Baker + Associates, Inc.(TBA) visited the 2 story mixed use commercial building at 4807 Lorain Rd, Cleveland, Ohio 44102 on December 18th, 2019. Currently the space is occupied with a medical clinic, and place of worship on the first level, along with apartments on the second level.

The purpose of this visit was to perform a visual observation of the current condition of the building, and to provide comments on the structural, mechanical and electrical systems in regards to their suitability for purchase and reuse. All comments and recommendations within this report are the professional opinion of Thorson • Baker + Associates, Inc.

During Thorson • Baker + Associates site observation, “issues requiring immediate attention” were noted, and a letter dated December 27th, 2019 was issued accordingly. A copy of this letter is also an attachment to this report.

B. Basic Building Description:

1. The existing structure is a 2-story, 6300+/- S.F. plus basement, multi-tenant building built in approximately 1900, according to the counties website. The existing structure is mostly wood framed with 2x sawn lumber members framing the roof, second, and first floors. The basement walls are constructed of stone with a double Wythe brick load bearing wall down the center of the building. The exterior of the building is also 2x sawn lumber with 2x planking and was originally finished with brick veneer and sand stone, which is still in place on the North, East, and South elevations. However, currently the West wall is finished in vinyl siding, which was installed approximately 10+/- years ago due to a prior collapse of the exterior brick veneer on this wall.

C. Limitations:

1. Site observations were limited to visual observation only. Visual observation was limited to areas that were not covered by finishes or other obstructions.
2. No testing was performed on materials, equipment or systems. Equipment was not opened or taken apart for internal inspection. This Evaluation Report is no way a guarantee to the proper operation of equipment or systems.
3. As-built construction documents and shop drawings were not made available for reference prior to completion of this report.
4. This observation was not intended to be an inspection for health or environmental problems such as radon gas, asbestos, PCB's, lead, ants, termites, etc...

PART II – STRUCTURAL SYSTEMS SUMMARY

A. General

1. As previously discussed in the basic description the existing 2-story building with full basement is constructed of 2x sawn lumber supported by a stone/masonry foundation.
2. The stone foundation system was in disrepair and showed multiple signs of water infiltration issues. Also multiple areas of the stone exterior walls have been damaged or removed and or replaced with masonry infills.
3. The basement slab on grade was concrete, which was uneven and sloped in some areas, but otherwise in fair condition for its age. I.E. no spalling or large cracks were observed.
4. Construction of the first floor consisted of the original 2x12 sawn lumber floor joists at 16" on center spanning approximately 18'-9" +/- from the exterior wall to the center load bearing multi-wythe masonry wall. This span was then subdivided with a wood post girder beam line. However, the 4x10 sawn lumber girder beam was laid on its side in its weak axis and supported by 4x4 sawn lumber posts at approximately 8' on center in the original construction. In some areas the 4x4 wood posts had been subdivided again, and in other cases the posts had been removed and the original 4x10 girder beam was now spanning double or even triple its originally intended span. There are multiple structural concerns with the existing first floor framing as it is currently installed. ***TBA recommends that the first floor gathering spaces for the church services and clinic be suspended immediately until the structural deficiencies have been repaired or made safe.***
5. There was also a 4x10 girder beam post line along the perimeter of the building. I.E. the first floor wood framing is independent of the exterior basement stone walls. ***The same issues described above also apply along this perimeter and TBA recommends structural repairs be made immediately.***
6. A small area of the first floor framing appeared to have suffered some water damage from leaks above. This water damage coupled with the first floor framing issues described above in item 4 have caused the floor to sag down approximately 2"-3". This much deflection in the floor joist creates additional stress in the 2x12 sawn lumber member. ***TBA recommends structural repairs in this area be made immediately.***
7. The existing second floor framing was not observed in its entirety due to the enclosed ceilings throughout. However, a small opening in the ceiling was observed and the existing framing within this area was found to be very similar to the first floor with 2x12 sawn lumber members at 16" on center with a single girder beam line down the center of the building. Therefore, the second floor framing is spanning the full 18'-9" +/- from the perimeter wall. This span is in excess for this member, thus the current second floor framing will not meet residential code minimums for floor live loading. ***TBA recommends further investigation of the second floor framing if re-use is being considered.***

B. Interior

1. Most of the interior walls on both the first and second floors were non-structural dividing walls or separation walls. The only structural load bearing walls would be the perimeter walls and the column-beam line down the center of the building supported by the double wythe masonry wall previously mentioned in the basement.
2. A majority of the interior structural items described above in item 1 were not observed at the time of the site observation due to interior finishes being in place, I.E. plaster or drywall ceiling finishes, etc. None of the existing finishes were removed during the observation.

C. Roof

1. The roof was inaccessible and therefore not observed at the time of the site visit. The structural framing of the roof is assumed to be rough 2x sawn lumber framing similar to both the first and second floors.
2. A few areas of water damage to the ceilings of the second floor were observed during the second floor walk through. The roofing membrane is likely in need of repair and/or replacement.

D. Exterior

1. The exterior of the building was made up of multiple finishes. The structural framing appeared to be 2x wood wall framing with 2x wood plank sheathing. These areas were originally covered with a brick veneer. Some areas of the brick veneer have deteriorated and others have been removed or have fallen entirely.
2. The West elevation is currently vinyl siding. TBA was told while on site that the brick veneer along the entire West elevation had collapsed a number of years prior. Hence the brick rubble was cleaned up and the vinyl siding was installed over the 2x wood planking. Photographs of this area were provided after the site visit and are included below. It is TBA's opinion through observations and photographs that masonry brick ties were not used in the construction of the wall to tie the brick veneer back to the 2x framing. Thus the existing brick veneer is merely only stacked and set against the existing framing with mortar. Without the use of brick ties the brick veneer is vulnerable to collapse once out of plumb or misalignment.
3. The North exterior elevation of the building was constructed out of stone along the first level with a brick veneer above on the second level. A portion of the second level brick veneer along the front elevation appeared to be bulging out around the window line of the second level. ***These areas of "bulging" brick veneer would need to be removed and/or replaced immediately as there is a possibility of a collapse of the veneer as was previously witnessed at the West elevation.***

4. The East and South elevations of the exterior appear to still be the original brick veneer finish with some areas of CMU infill. There are also multiple areas of damaged or missing brick which would need to be replaced and or repaired.
5. On the South exterior elevation is a 2x framed second level porch with stairs extending up from ground level. The structural framing of this exterior porch and stairs does not meet code and is not in good condition. ***It is TBA's opinion that the rear exterior porch should be removed or structurally repaired immediately.***
6. Christine Raymond with Kaczmar Architect Inc. mentioned during the site observation that the exterior elevations were reviewed by a masonry contractor for restoration purposes. This report was not provided to TBA for review prior to this report.

PART III – MECHANICAL SYSTEMS SUMMARY

A. HVAC (Heating, Ventilating and Air Conditioning) System Summary

1. The building HVAC consists of gas-fired furnaces with split system AC Coils and AC condensing units outside on grade.
 - a. Two Furnaces are located in the basement and serve the basement and 1st floor Church/Clinic Office areas via floor registers. TBA notes that return air is not ducted back to the furnaces from all rooms or areas.
 - b. Two furnaces are also located on the second floor of the building in a former area well. This area well has been closed-in to form an uninsulated interior room.
 - c. One furnace is also located in a closet of the residence suite on the second floor.
2. The furnaces are typically 30,000 to 40,000 BTU natural gas fired and the condensing units appear to be 1-1/2 - 2 ton cooling capacity, although most of the name plates are very badly worn on both the condensing units and the furnaces, so the estimated sizes are uncertain.
3. There is a great deal of rust on the furnace chassis and the flues on the furnaces in the basement. ***One of the flues is rotted out / rusted through and is exposing the basement to products of combustion. Since there is no provision for outside air, these furnaces may be creating carbon monoxide and may be a health hazard and/or a code violation.***
4. All Furnaces and split systems appear to be at or beyond the end of their useful, safe life expectancy.
5. The two furnaces on the second floor in the area-well room appear to be abandoned in place and inactive.

6. The third furnace on the second floor is in the active resident suite, and is operable, but has gas piping unions and a shut off valve in the enclosed closet, which is acting as a return air plenum. ***Having unions and valves in the return air plenum of a gas fired appliance is a code violation and is against the Gas Company requirements, as a gas leak in these fittings can potentially cause an explosion or fire.***
7. Other portions of the second floor appeared to have no HVAC from any of the furnaces in the area well. One area is only heated by electric baseboard. Other rooms appear to have no heat whatsoever.
8. The majority of the system is in extremely poor condition and barely functional. If the building was to be renovated; none of the existing HVAC appears to be reusable.
9. ***If this building was to be maintained, the potential code violation issues of rusted out flues, insufficient combustion air, PVC piping and piping unions and valves in return plenums must be corrected to make the building minimally safe and code compliant.***

B. Plumbing System Summary

1. The water service to the building comes in below grade from Lorain Avenue as a 1-inch copper line into the basement and it is routed to a meter.
 - a. Water is then distributed through the building in what is predominantly a copper piping distribution.
 - b. This water service size appears to be rather restrictive for a building of this size. Hence there does not seem to be particularly good water pressure in the building.
2. Natural gas service enters the building in the basement from Lorain Avenue below grade through the basement wall in what appears to be a 2-inch low pressure gas service.
 - a. Gas is then distributed to a manifold with five gas meters.
 - b. ***The gas manifold itself is extremely heavily corroded and rusted, which has the possibility of bringing gas leaks.***
 - c. Gas piping is distributed through the basement and then rises up within the wall cavities. Some of the piping is in better condition than other parts. Some portions have been painted to protect from corrosion. However, other ***portions of the gas piping are very heavily rusted, which again may bring gas leaks.***
3. Sanitary sewer in the building includes a mixture of PVC and some galvanized piping that is still in place.
 - a. ***In the basement there is unprotected PVC piping in the return plenum of the furnaces. This is a potential code violation.***
 - b. Sewers from units above are connected to what appears to be old original cast iron sewer piping with lead and Oakham joints. The cast-iron piping is in extremely poor, corroded condition due to the acids in the sanitary waste.
 - c. Some of the sewer piping exits through the basement wall above the floor level.

- d. The floor drains in the basement floor are below the sanitary exit. It's unclear what those drains are routed to, how those drains get out of the building, or if they were run to a sump pump at one time which may or may not be currently active.
4. The majority the plumbing systems are in poor condition and barely functional. None of the plumbing, sewers or water piping distribution within the building would be reusable if this building was to be renovated.
5. ***If the building was to be maintained, in order to make it safe and code compliant the corroded and non-code compliant gas piping should be replaced and the PVC piping in return plenums should be replaced with metallic pipe or wrapped with proper insulation.***

C. Fire Protection System Summary

1. There is no sprinkler or fire protection system in the building

PART IV – ELECTRICAL SYSTEMS SUMMARY

A. Electric Service and Metering

1. The main electric service is fed from a pole on West 48th street and routed to the South East corner of the building. There are five (5) meters located outside with feeders. Then the service is distributed in the basement to five electric panels.
2. The main electrical incoming service size is unknown, however the individual distribution appears to be between 60 and 100 amps each panel.
3. The electrical conduit is broken in many places throughout the building.
4. The main feeders appear to have insulation on them, which has been exposed to water leakage and has corrosion on it.
5. ***The condition of the existing equipment and feeders is such that the owner should hire a licensed electrician to perform inspection and test to ensure the installation is in a safe working condition.***

B. Electrical Distribution

1. Power is distributed via conduit in the basement to a mix of grounded and non-grounded receptacles, with or without ground wires. ***The owner should hire a licensed electrical contractor to test the integrity of the existing grounding system.***
2. The building appears to be underwired (too few receptacles for the usage) and some receptacles (in the Church) appear to be overloaded with multiple extension cords plugged in. ***This could present a potential overload and fire hazard. This is an operational issue that should be addressed by the owner.***

C. Emergency and Exit Lighting

1. TBA did not see any exit signage, or emergency lights in the building. ***This could present a potential life-safety issue. The owner should have this evaluated immediately and have code compliant emergency and exit lighting installed by a licensed electrical contractor.***

D. Interior Lighting

1. Interior lighting is a mixture of ceiling fixtures and wall mounted single lightbulb sockets, most of which have the covers removed and bulbs missing.

E. Special Systems

1. There are no special electrical systems present in the building.

F. Fire Alarm System

1. The extent of the existing fire alarm system was not evaluated as part of the site observation. ***TBA recommends that the owner hires a licensed fire alarm contractor to install smoke and carbon monoxide detectors and to ensure that these devices are compliant with current code requirements.***

G. Electrical Systems Summary

1. The majority of the electrical system is in poor condition. If the building was to be renovated, the entire existing electrical system would need to be replaced.

PHOTOGRAPHS

STRUCTURAL



Exterior North and East Elevations



Exterior South Elevation



North exterior elevation brick veneer pushing out



West elevation prior brick veneer collapse



Current West elevation



Existing girder beam line subdividing basement



Existing 4x girder line supporting first floor framing independently of the basement stone wall



Existing 4x10 girder beam line with post removed and floor sagging approx. -2"



Existing 4x10 girder beam not supported by wall and no wood post in place



Water damage to second and first floor framing due to second floor bathroom



Minor water damage to roof framing and plaster finishes

HVAC



Abandoned second floor furnaces



Rusted furnaces and flues in basement



AC condensing unit on grade



Pipe union in resident suite furnace plenum

ELECTRICAL



Overhead service from pole





Electrical service metering





Service panels



Broken main conduit in basement over panels



Deteriorated and ungrounded or questionably grounded receptacles



PLUMBING



Rusted gas manifold



1", undersized water entry



Issues Requiring Immediate Attention
Supplemental Letter dated December 27th, 2019



December 27, 2019

Ms. Christine Raymond
Kaczmar Architects
1468 West 9th Street, Suite 400
Cleveland, OH 44113

Re: Evaluation Report – 4807 Lorain Rd. Building

Cleveland, OH

Dear Ms. Raymond:

The intent of this letter is to serve as a supplement to our evaluation report (that will be issued next week) to address issues that require immediate attention to the building.

As you know, we were requested to evaluate the condition of the above building. A site observation was conducted by two of our engineers on December 18, 2019. During that visit, they observed several issues that compromise the adequacy of the building for occupancy. These items were discussed with the current building owner after the site visit.

The following issues require immediate attention:

1. The first floor gathering space used for church services should be suspended immediately, as the floor structure has several structural deficiencies and is not safe for such use.
2. Both sets of stairs (the one to the basement and the one to the second floor) have loose, missing, and broken components and require repair. They are not safe for use in their current condition.
3. The exterior brick façade is structurally unsound and is in an extremely poor condition. The outside areas surrounding the building should be cordoned off immediately to protect the public from the possibility of falling debris.
4. The south exterior wood stair is structurally unsound and should be suspended from use immediately.
5. The flue piping for the furnaces needs to be examined by a licensed contractor. In particular, some of the piping in the basement is in extremely poor condition and should be replaced. The current condition of this piping could expose the occupants to carbon monoxide and possibly create a life-safety issue.
6. The gas piping to the furnace serving the third floor should be reworked so that the unions and shut-off valve are not located within the return plenum in the closet with the furnace. A gas leak from either of these fittings could present a life-safety issue.

7. The existing gas piping in the basement is heavily corroded and should be inspected by a licensed contractor. Portions of the piping should be considered for replacement including the gas manifold. Leak detection should be performed to ensure there is no current hazard.
8. The existing electrical service distribution equipment and main feeders should be inspected by a licensed electrician. The integrity of this equipment should be evaluated since it has been exposed to water and corrosion.
9. The building appears to lack emergency and exit lighting. This should be evaluated immediately. New battery-powered fixtures should be added in compliance with the National Electric Code.
10. Excessive use of extension cords in areas of the building are a sign that there are an insufficient number of receptacles for its current use. This is an operational issue that should be discouraged since overloaded extension cords is a common fire hazard.
11. The integrity of the grounding system in the building should be evaluated by a licensed electrician.
12. The location and condition of smoke detectors and carbon monoxide detectors should be evaluated by a licensed fire alarm contractor. This is a life-safety issue.

There is a significant amount of work to be done to ensure this building is safe for occupancy. We recommend the current building owner engage the local building and fire officials immediately to assist in evaluating the safety of the building. The owner should consider either engaging the appropriate contractors immediately or suspending occupancy until the building can be properly inspected and all potential life-safety issues corrected. It is important to note that the items listed in this document are not intended to be a comprehensive list of all deficiencies in the building.

Please forward this letter to your client and request that it is immediately forwarded to the current building owner. Also, please request that the current building owner provide a written response acknowledging receipt of this document and an understanding of the urgent need for corrective action.

If you have any further questions, please contact me.

Sincerely,

Thorson • Baker + Associates, Inc.



David L. Nemeth, P.E.
Principal – Structural Department

DLN/jes

Site Visit Photos

March 30, 2021







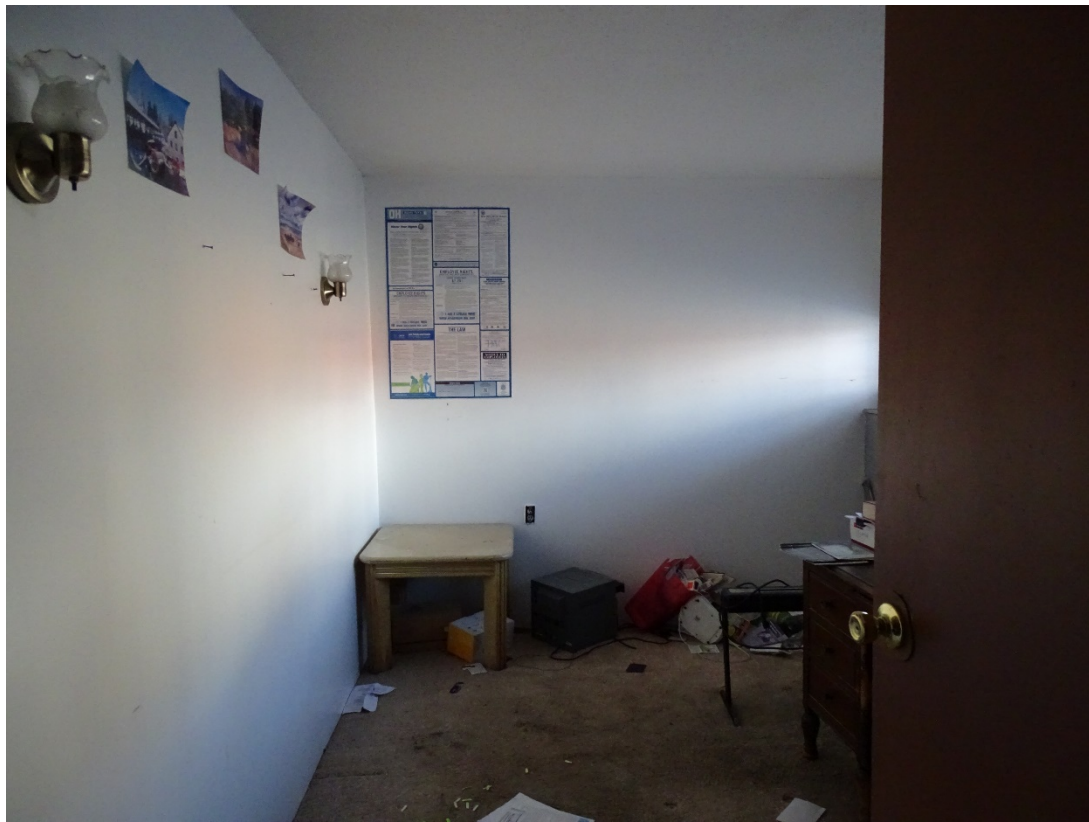






Storefront 1











Storefront 2















Upstairs Apartments















Cleveland Landmarks Commission

Landmark Nomination



June 24, 2021

June 24, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Section 106 Environmental Review



June 24, 2021

June 24, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Meeting Minute Approvals



June 24, 2021

Meeting Minutes Approval

June 24, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Administrative Reports



June 24, 2021

Cleveland Landmarks Commission

Adjournment



June 24, 2021

Cleveland Landmarks Commission



June 24, 2021