



Cleveland Landmarks Commission

Thursday, April 22, 2021

****PLEASE MUTE YOUR MICROPHONE****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

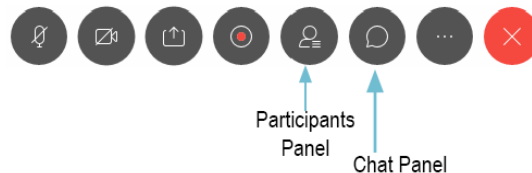
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



April 22, 2021

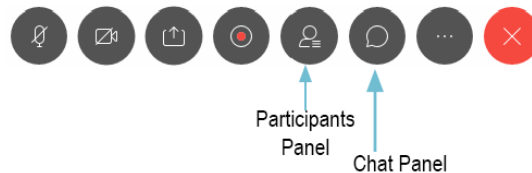
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A
PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



April 22, 2021

Cleveland Landmarks Commission

Call to Order & Roll Call



April 22, 2021

Cleveland Landmarks Commission

Public Hearing



April 22, 2021

April 22, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Public Hearing Action



April 22, 2021

April 22, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Certificates of Appropriateness



April 22, 2021



Case 21-026: Warehouse Historic District (Tabled 4/8/21)

Western Reserve Building 1468 West 9th Street

Signs for Adcom

Ward 3: McCormack

Project Representatives: Bob Kunzen, Brilliant Electric Sign; Leslie Dinovi, Derryl Strong,
Joe Kubic, Adcom

WR9



ADCOM

SIGNAGE

ROOFTOP

EXISTING CONDITIONS.

TAKEN FROM DETROIT SUPERIOR BRIDGE
AT CAR/PEDESTRIAN VANTAGE POINT ON
EASTERN APPROACH OF THE CITY.

ROOFTOP
EXISTING



PREVIOUS VERSION.

As presented last session with
black rectangle background.

ROOFTOP
PREVIOUS





ROOFTOP

v1 PREFERRED



ROOFTOP

v2a



ROOFTOP

v2b



ROOFTOP

v2c

ROOFTOP

v3



ROOFTOP

v4



Previous



v2a



v2b



v2c



v1
Preferred

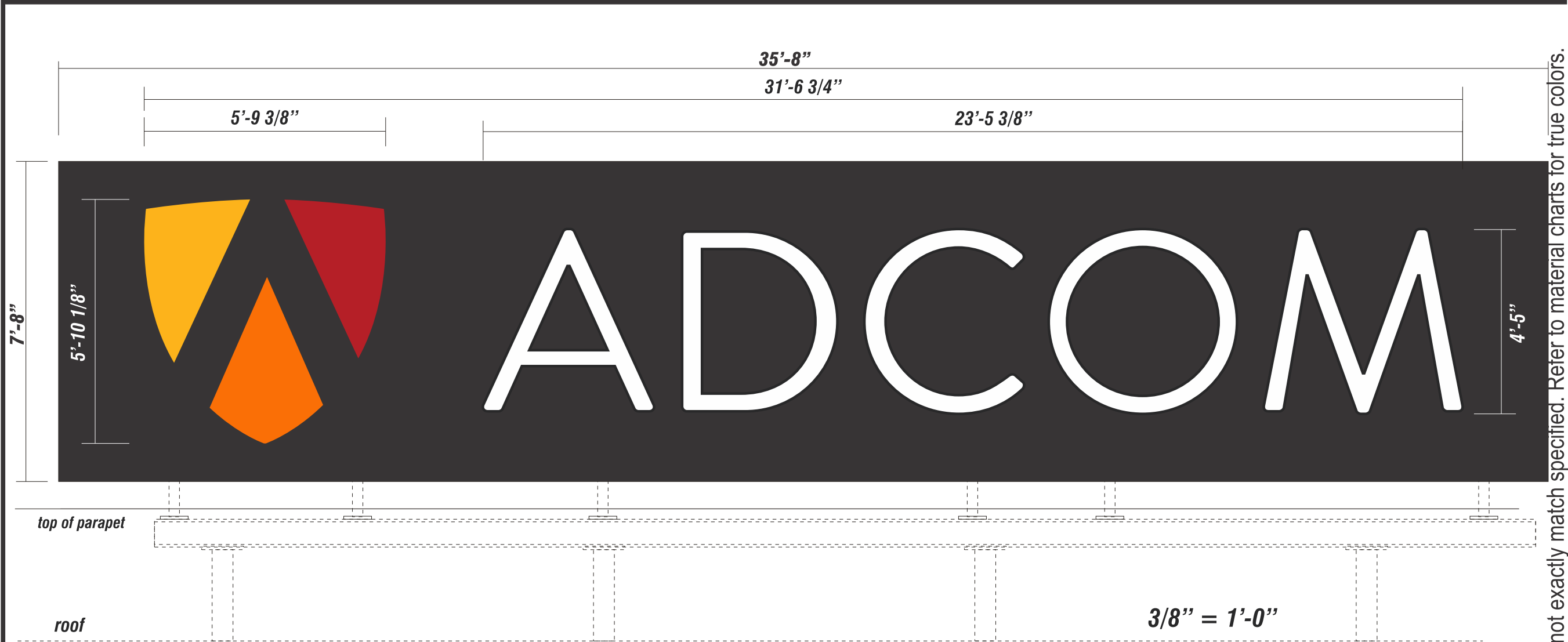


v3



v4





LARGER BACKGROUND OPTION

SIGN ELEVATION: 3/8" = 1'-0'
Notes
Manufacture & install one (1) set of internally illuminated, LED channel logo segments & letters mounted on top of the roof sing bracket system & rails; remote power supplies
- Logo segments faces to be white polycarbonate with first surface, translucent vinyls; the upper left side to be sunflower 3630-25 (to match yellow PMS 1235C); center segments to be kumquat orange 3630-74 (to match orange PMS 1585C); right side segment to be regal red 3630-83 (to match red PMS 7621C); all trim & returns to be painted the PMS colors to match the faces as close as possible
- Letter to the right to have white polycarbonate faces so the copy would be white; trim & returns to be painted white
- Rails to be painted to match building fascia

RATED 120 VOLTS

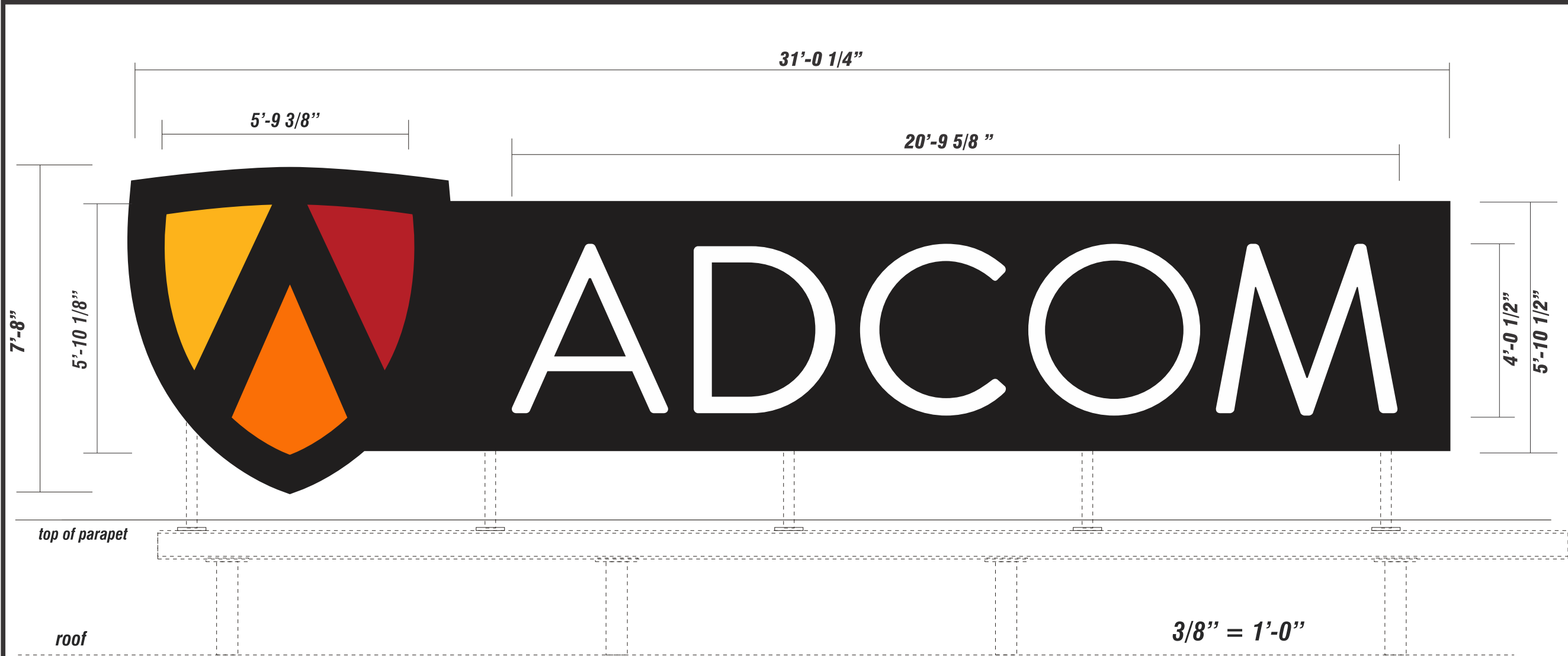
NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Brilliant Electric Sign Co., Ltd.
4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	ADCOM		SALESMAN	DATE	REVISION	DESIGN NO.
			JM	3/12/20	6/04/20 RK 3/15/20 RK	B20-385
LOCATION	WESTERN RESERVE BUILD, W9TH ST., CLEVELAND, OH		DESIGNER	SCALE	6/26/20 RK 3-22-21dm	COPYRIGHT ©
			CP	SHOWN		2020
			FILE NAME charlotte/ Adcom letters (5)			



V1 PREFERRED OPTION

SIGN ELEVATION: 3/8"=1'-0'
Notes
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			CP	SHOWN	3-22-21dm	2020
			FILE NAME charlotte/ Adcom letters (5)			



March 15, 2021

Ms. Leslie Dinovi
 ADCOM
 1468 West 9th Street, Suite 600
 Cleveland, Ohio 44113

RE: Sign Location Feasibility
 Roof Mounted Exterior Signage
 ADCOM
 1468 West 9th Street, Suite 600
 Cleveland, Ohio 44113

Dear Leslie,

As a follow up to my March 11th letter, I am providing you with a brief summary in the form of “Pros” and “Cons” for each of the areas evaluated, concluding with recommendations on possible sign locations from a structural point of view.

It should be understood that the overall impact the sign will have on the entire facility will be negligible, however where the new sign makes attachment to the existing building the localized impact can be significant. Therefore as previously mentioned there needs to be a direct load path from the new sign support structure to the existing main vertical support members (columns or bearing walls). Support from secondary roof members should be avoided if possible, particularly in the case of the 1888 and 1920 buildings.

Two roof areas along the west edge were evaluated for the proposed roof mounted exterior sign. Two options were considered for the 1920 building and one option for the 1888 buildings. The following is a brief summary of the pros and cons for each option.

Initial Concept – Sign Located on Existing Mechanical Support Structure at the West Edge of the 1920 Building

Pros

- Desirable sign location aesthetically.
- Intent was to utilize existing mechanical support framing.

Cons

- The existing mechanical support structure does not provide a direct load path to the main vertical support members. While the eastern support stub columns appear to be located over or relatively close to the existing building columns, the western columns are presumably located over secondary roof beam members. The additional loads would need to transfer through the unknown and undocumented roof beams to the main structural elements.
- The existing mechanical support structure lacks sufficient bracing to support the additional lateral forces that will result from the new sign. Significant modifications would be required to brace the structure laterally.
- Anchorage of the existing stub columns to the roof structure could not be relied upon particularly in an uplift condition. Further exploratory work and evaluation will be required.
- Reinforcement of the secondary roof beams likely not possible.
- Interference issues with the existing mechanical equipment.

- No original construction documents available.
- Fairly significant forensic evaluations of the existing building roof structure will be required.
- Significant evaluation, design and engineering time.
- Additional load will be introduced to an area already loaded with existing mechanical equipment.

Sign Located on a Dedicated Support Structure in the vicinity of the Initial Concept of the 1920 Building

Pros

- Desirable sign location aesthetically.
- Dedicated support structure either above or below and independent of the existing mechanical support structure.

Cons

- A direct load path to the main vertical support members likely not achievable at the east supports due to the existing mechanical platform stub columns.
- Significant interference issues with the existing mechanical support structure, mechanical equipment, piping, conduits, etc.
- Constructability would be very difficult if even possible. Work area is highly congested.
- No original construction documents available.
- Fairly significant forensic evaluations of the existing building roof structure will be required.
- Significant evaluation, design and engineering time.
- Additional load will be introduced to an area already loaded with existing mechanical equipment.

Sign Located at the West Edge of the 1888 Building

Pros

- Based on current information available it appears that a direct load path to the buildings main structural elements can be achieved.
- With the exception of the existing RTU the majority of the existing roof area is open and free of any penetrations and/or equipment.
- Support structure will be relatively simple and straight forward.
- Desirable sign location aesthetically.

Cons

- Oldest portion of the facility.
- No original construction documents available.
- Fairly significant forensic evaluations of the existing building roof structure will be required.
- Connections of the support structure to the buildings main structural elements may be difficult.
- Fairly significant design and engineering time.

Based on my observations and evaluations it is my opinion that the only structurally feasible option for supporting the new sign structure would be from the 1888 building roof. Based on what we currently know a direct load path to the main building elements can be achieved for this location. Support from the 1920 building roof is not recommended. The cons far outweigh the pros especially when it comes to a lack of a direct load path to the main structural elements.

I hope this satisfies your immediate needs at this time. Please feel free to call if you should have any questions or need additional information. I would be happy to assist you any way I can.

Sincerely,

Chuck Hetman P.E.
 President



Case 21-028: Warehouse Historic District
Rockefeller Building 614 West Superior Avenue

Renovation

Ward 3: McCormack

Project Representatives: Brandon Kline, Bob Fridrich, Mitch Blakkolb, Bill Bonazza, Jen Diasio (Geis Companies), Heather Rudge, HP Group



Case 21-029: Warehouse Historic District

Rockefeller Building Garage 621 Frankfort Avenue aka 614 West Superior Avenue

Demolition

Ward 3: McCormack

Project Representatives: Brandon Kline, Bob Fridrich, Mitch Blakkolb, Bill Bonazza, Jen Diasio (Geis Companies), Heather Rudge, HP Group

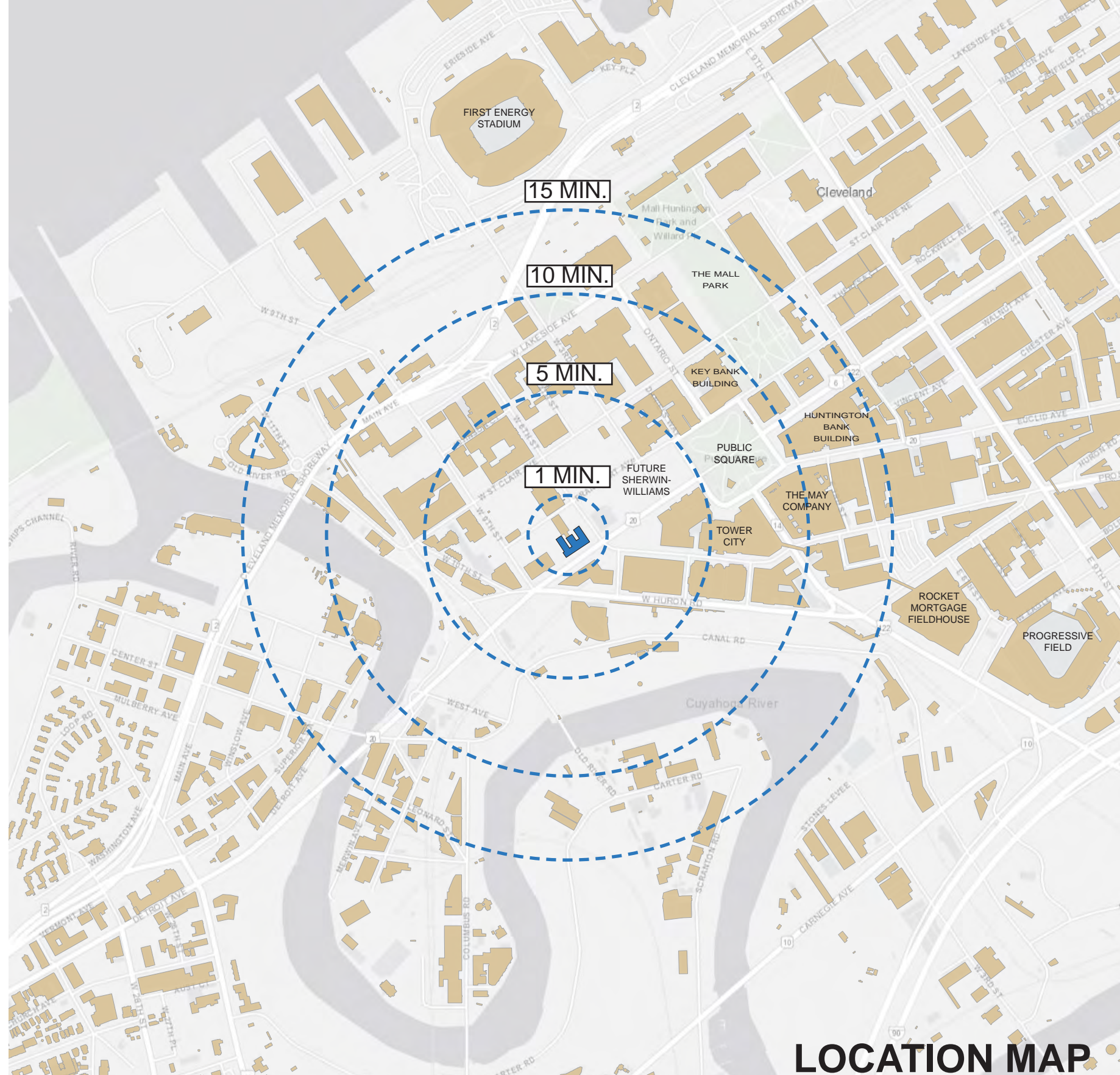
A photograph of the Rockefeller Building in Cleveland, Ohio, a tall brick skyscraper with many windows. The building is illuminated at dusk. In the foreground, there is a street intersection with traffic lights and a street sign for W. Prospect. Other buildings and trees are visible in the background.

ROCKEFELLER BUILDING REDEVELOPMENT

CLEVELAND LANDMARKS



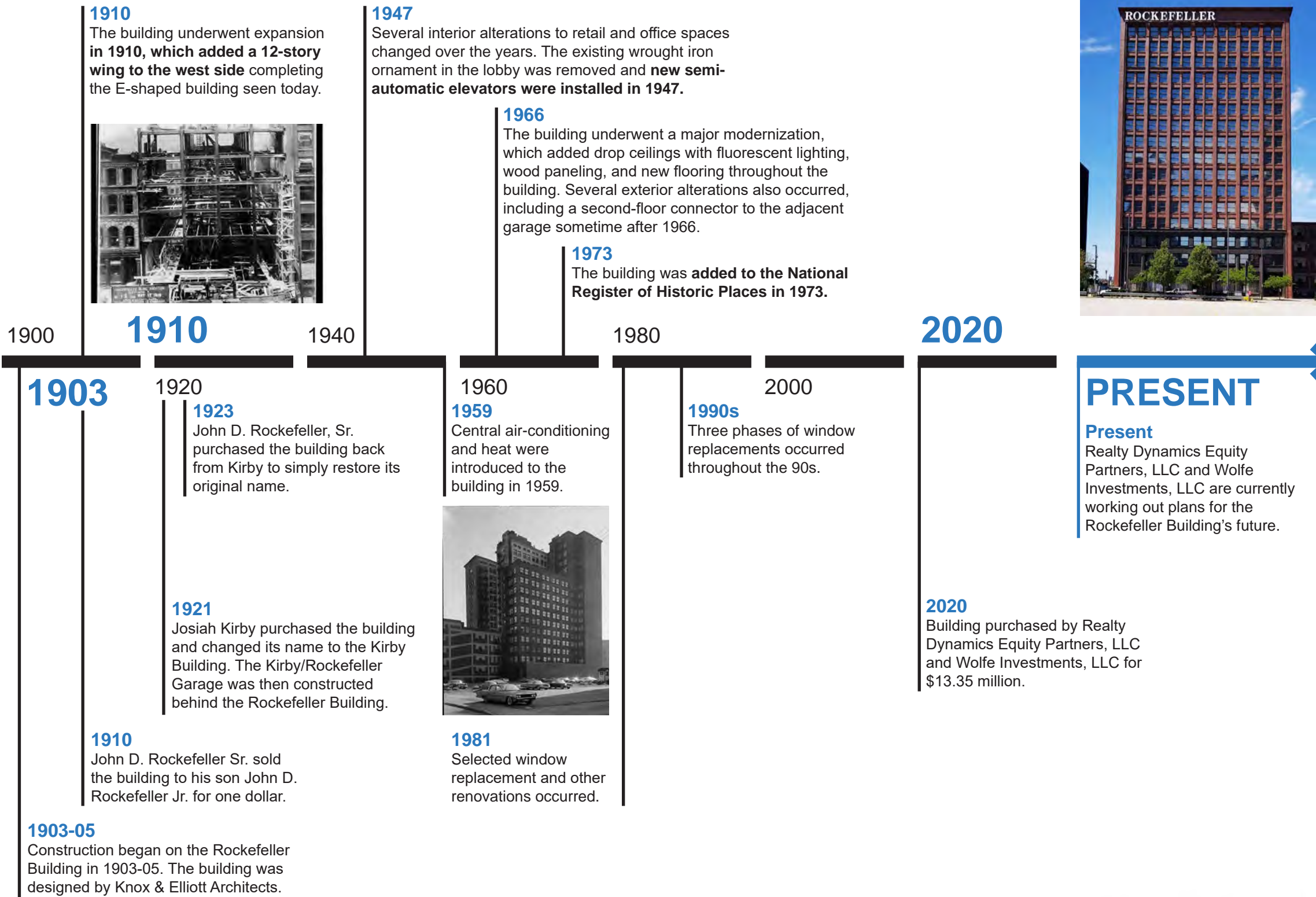
VICINITY MAP



LOCATION MAP

TIMELINE

WAREHOUSE DISTRICT



BUILDING VITALS

WAREHOUSE DISTRICT

ARCHITECTS: Knox & Elliot Architects

BUILT: 1903-05

HEIGHT: 212 ft (17 levels + penthouses)

DATE ACQUIRED: 2020

SF: 226,000 SF (1.84 Acres)

HISTORIC LISTING & HONORS: Listed on the National Register of Historic Places in 1973.

DISTRICT DESIGNATION: Warehouse District

ARCHITECTURAL DESIGN: Sullivanesque

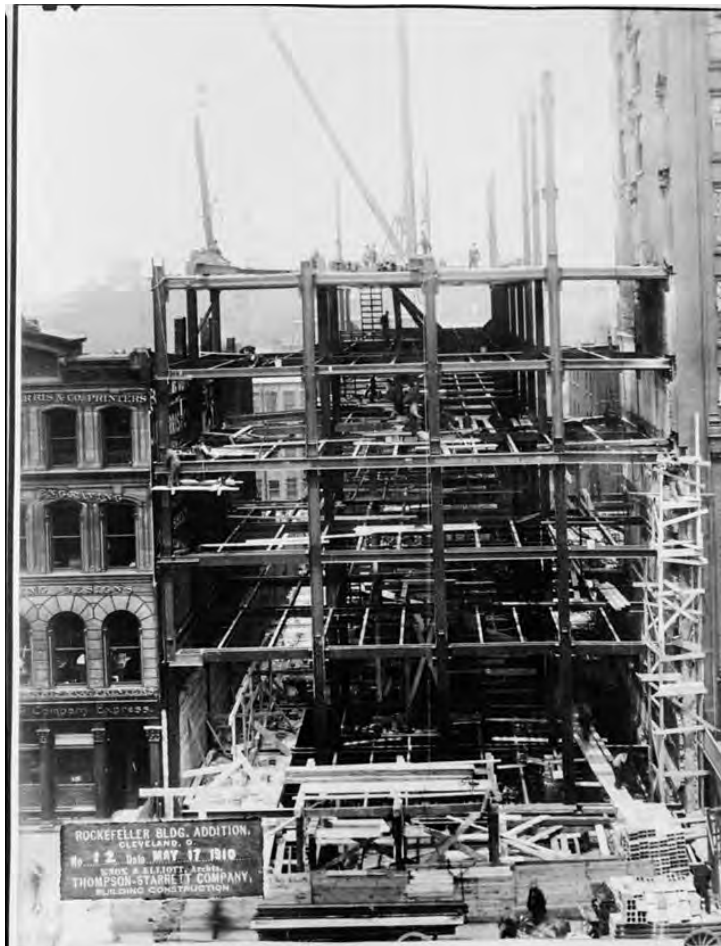
UNIQUE FEATURES: The Rockefeller Building reflects the Sullivanesque architectural style. The design was reflects many elements of this style such as its vertical columns expressing the steel frame underneath and the 3-story ornamental cast-iron base composed of Sullivanesque foliage. The building was constructed of masonry, steel, and concrete with terra cotta appointments. The paired windows on the South and East elevations are grouped between masonry piers above the third floor.

HISTORY: The building was built in 2 stages over the span of approximately 7 years. Built by the Standard Oil Company founder John D. Rockefeller Sr., the original structure began construction in 1903 with 7 bays, and an additional 4 bays in the same design were added to the west on Superior Avenue in 1910. The building housed offices of iron, coal, and lake-shipping companies and is proof that steel can be beautiful and ornate.



ROCKEFELLER BUILDING REDEVELOPMENT
614 W. SUPERIOR AVE. CLEVELAND, OH





1910 - SUPERIOR AVE. FACADE (ADDITION)



1910 - SUPERIOR AVE. FACADE



1910 - SUPERIOR AVE. FACADE



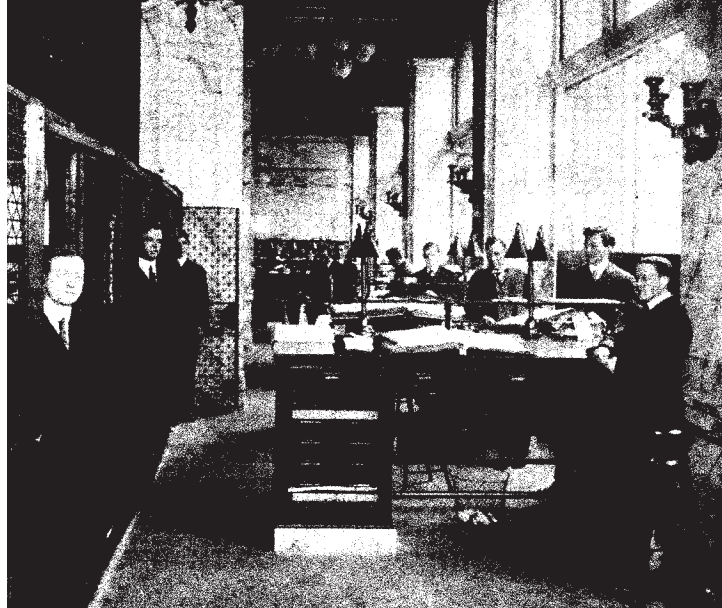
VIEW FROM FRANKFORT AVE.



ORIGINAL ELEVATOR LOBBY



INTERIOR VIEW OF CENTRAL NATIONAL BANK



INTERIOR VIEW OF CENTRAL NATIONAL BANK



1926 - SUPERIOR SAVINGS & TRUST

HISTORIC PHOTOS

ROCKEFELLER BUILDING REDEVELOPMENT
614 W. SUPERIOR AVE. CLEVELAND, OH





2021 - CORNER OF SUPERIOR AVE. & W. 6TH



2021 - VIEW SUPERIOR AVE.



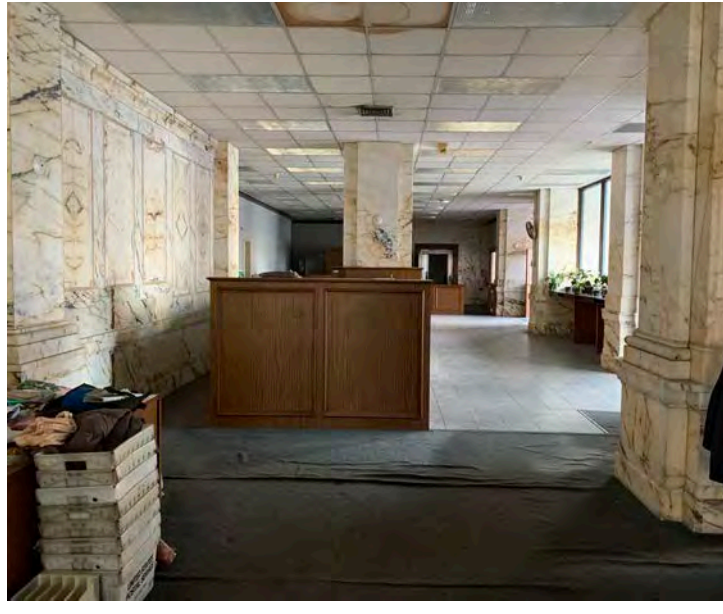
2021 - VIEW FROM FRANKFORT AVE.



2021 - VIEW OF CAST IRON FROM SUPERIOR



1ST FLOOR - ELEVATOR LOBBY



1ST FLOOR - SUPERIOR SAVINGS & TRUST



1ST FLOOR - SAFETY DEPOSIT BOXES



DETAIL OF CAST IRON @ 2ND FLOOR

EXISTING CONDITIONS

ROCKEFELLER BUILDING REDEVELOPMENT
614 W. SUPERIOR AVE. CLEVELAND, OH





BASEMENT - EXISTING MARBLE STAIR



BASEMENT - EXISTING VAULT DOOR



8TH FLOOR - HISTORIC MARBLE CORRIDOR



17TH FLOOR - VAULT DOORS



3RD FLOOR - NON-HISTORIC CORRIDOR



2ND FLOOR - ELEVATOR LOBBY



4TH FLOOR - PREVIOUSLY DEMO'D.

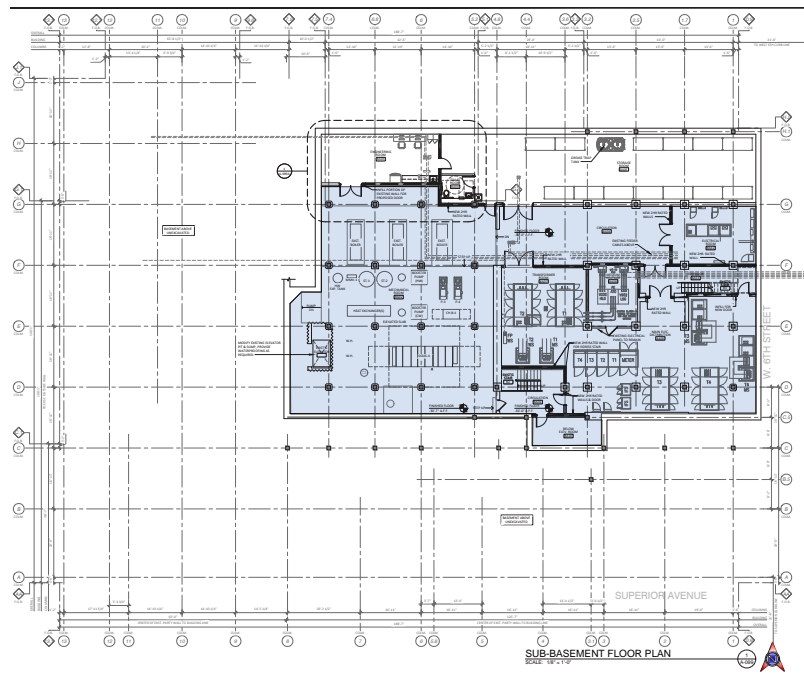


16TH FLOOR - ELEVATOR LOBBY

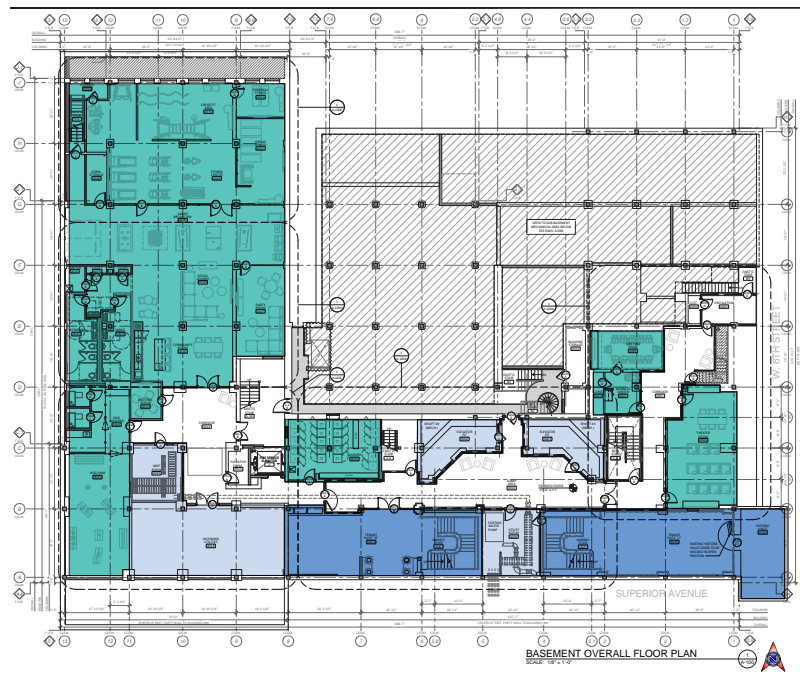
EXISTING CONDITIONS

ROCKEFELLER BUILDING REDEVELOPMENT

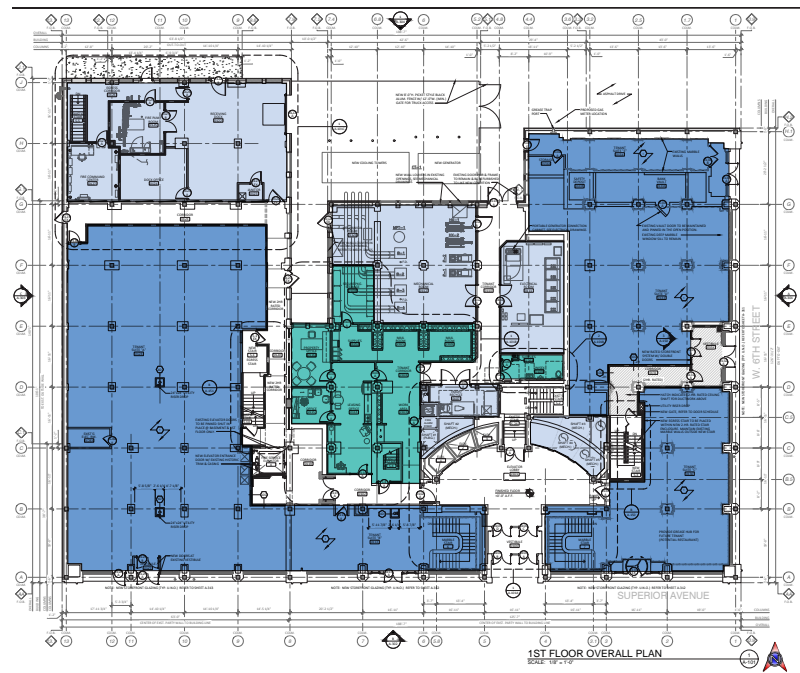
614 W. SUPERIOR AVE. CLEVELAND, OH



SUB-BASEMENT FLOOR PLAN



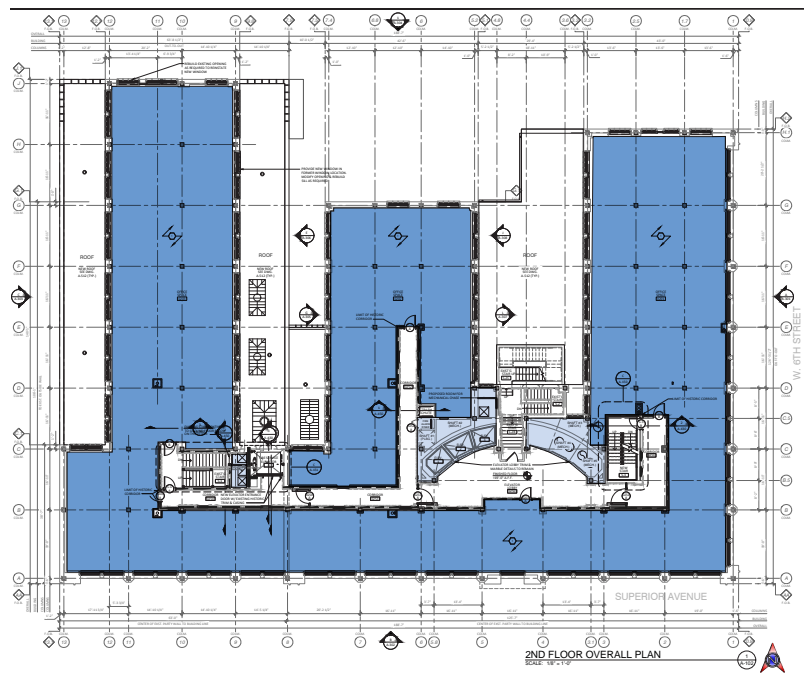
BASEMENT FLOOR PLAN



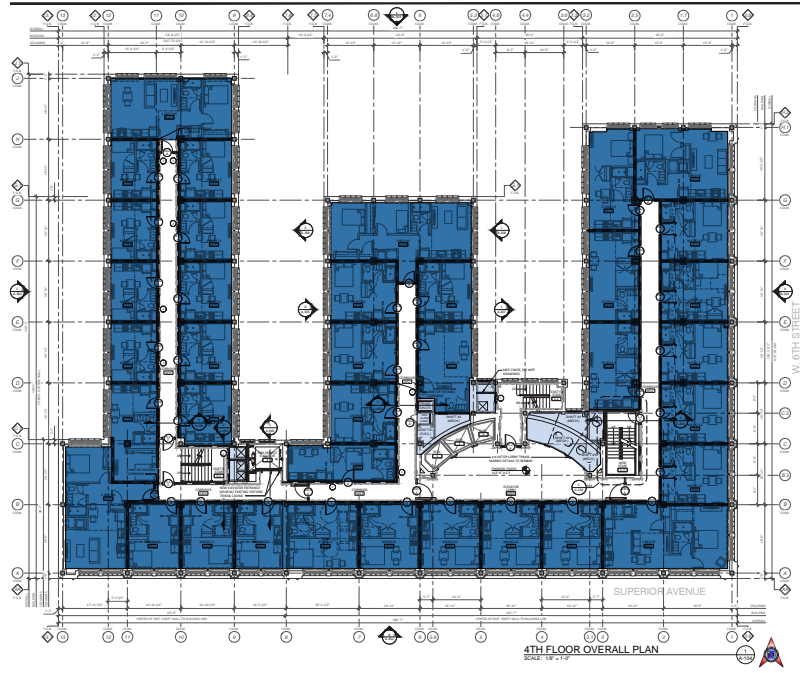
1ST FLOOR PLAN

LEGEND

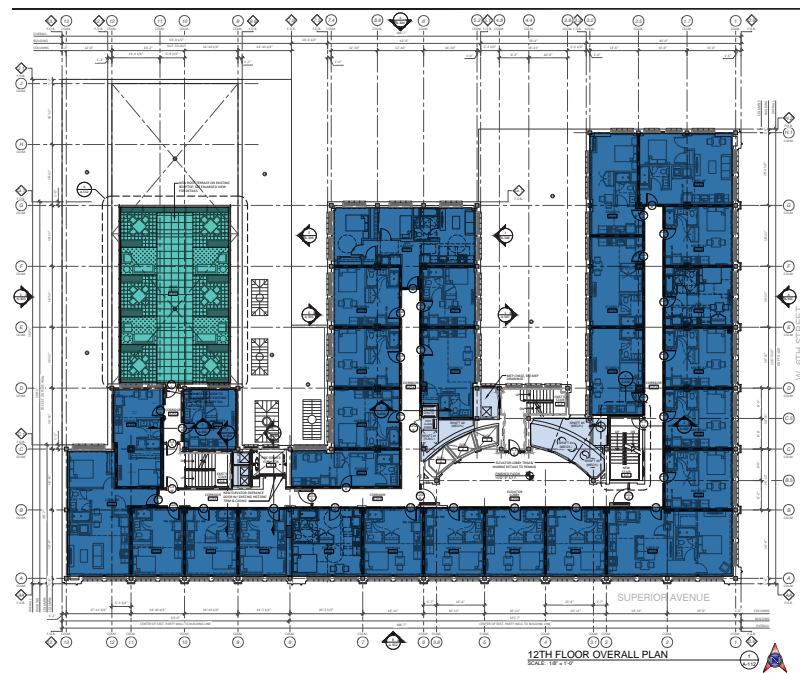
- STORAGE/ CIRCULATION
- MEP / UTILITIES
- RETAIL/ ENTERTAINMENT
- RESIDENTIAL UNITS
- RENTABLE STORAGE
- RESIDENTIAL AMENITIES



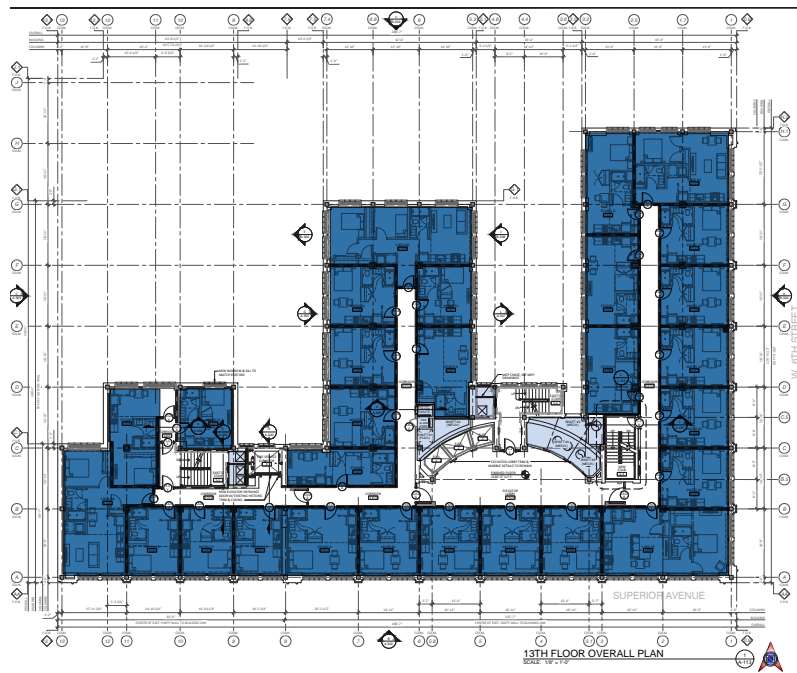
2ND & 3RD FLOOR PLANS



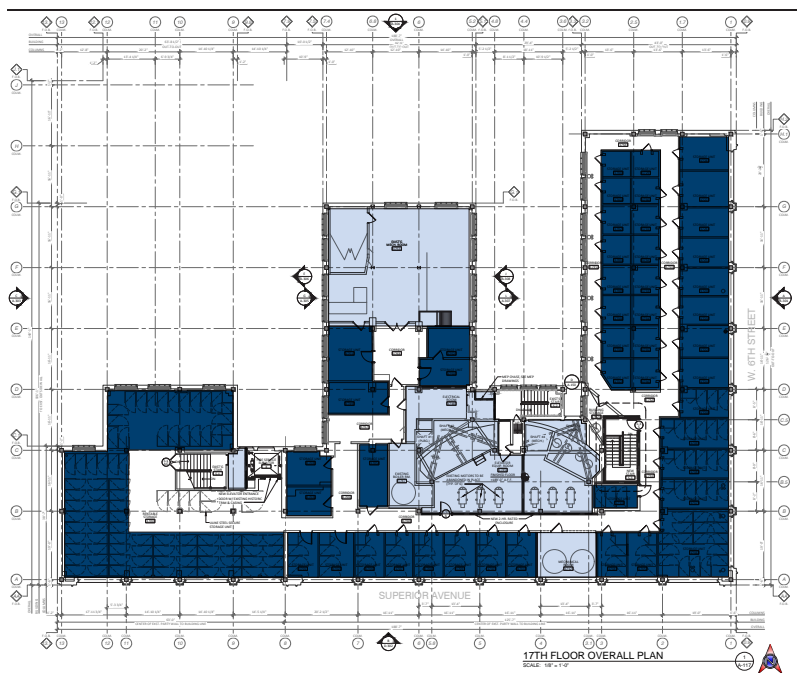
4TH - 11TH FLOOR PLANS



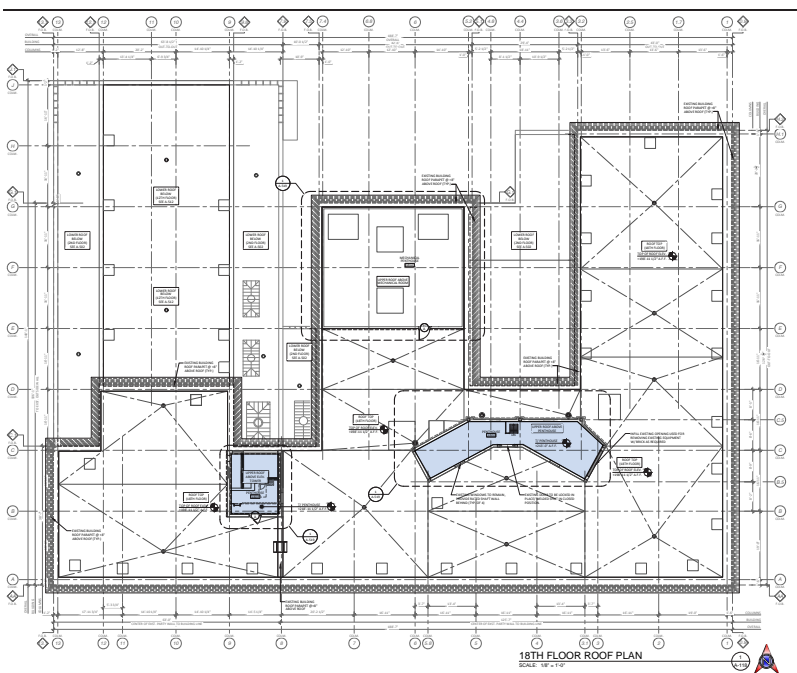
12TH FLOOR PLAN



13TH - 16TH FLOOR PLANS









17TH FLOOR PLAN



18TH FLOOR PLAN

LEGEND

-  STORAGE/ CIRCULATION
-  MEP / UTILITIES
-  RETAIL/ ENTERTAINMENT
-  RESIDENTIAL UNITS
-  RENTABLE STORAGE
-  RESIDENTIAL AMENITIES



TYPICAL TERRA COTTA CORNICE



CRACKED TERRA COTTA WINDOW HEAD @ STEEL BEARING ANGLE



CRACKED TERRA COTTA WINDOW HEAD @ STEEL BEARING ANGLE



ROTTED, CRACKED, AND FAILED WOOD WINDOW FRAME



ADDED OPENINGS, WINDOWS, AND LOOSE LINTELS



TYPICAL EMBEDDED J-BOLT FROM PREVIOUS FIRE ESCAPE



CRACKED TERRA COTTA WINDOW HEAD @ STEEL BEARING ANGLE



STEEL BEARING ANGLE AND TERRA COTTA HOOK @ WINDOW HEAD



STEEL CHANNEL AND ANGLE @ WINDOW HEAD



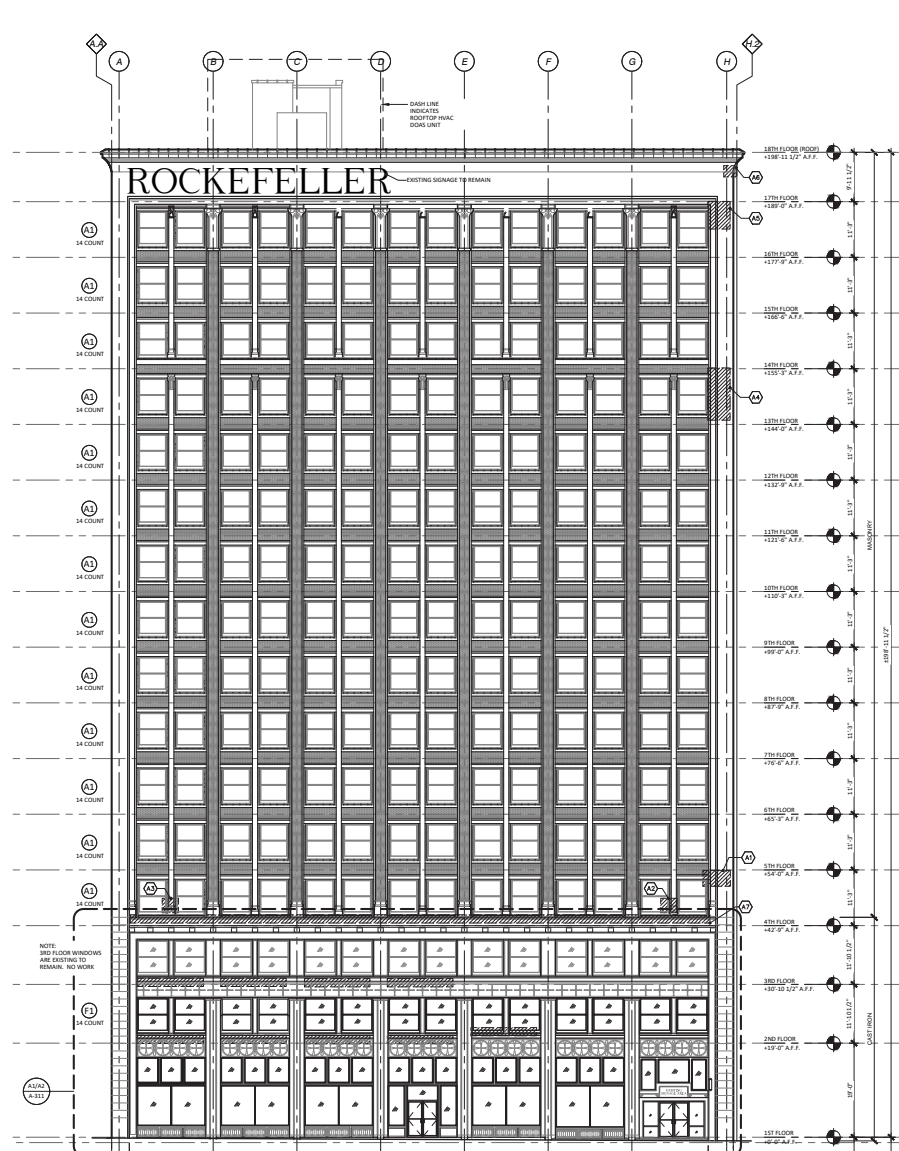
MULTI-WYTHER BRICK MASONRY BELOW 2ND FLOOR WINDOW SILL



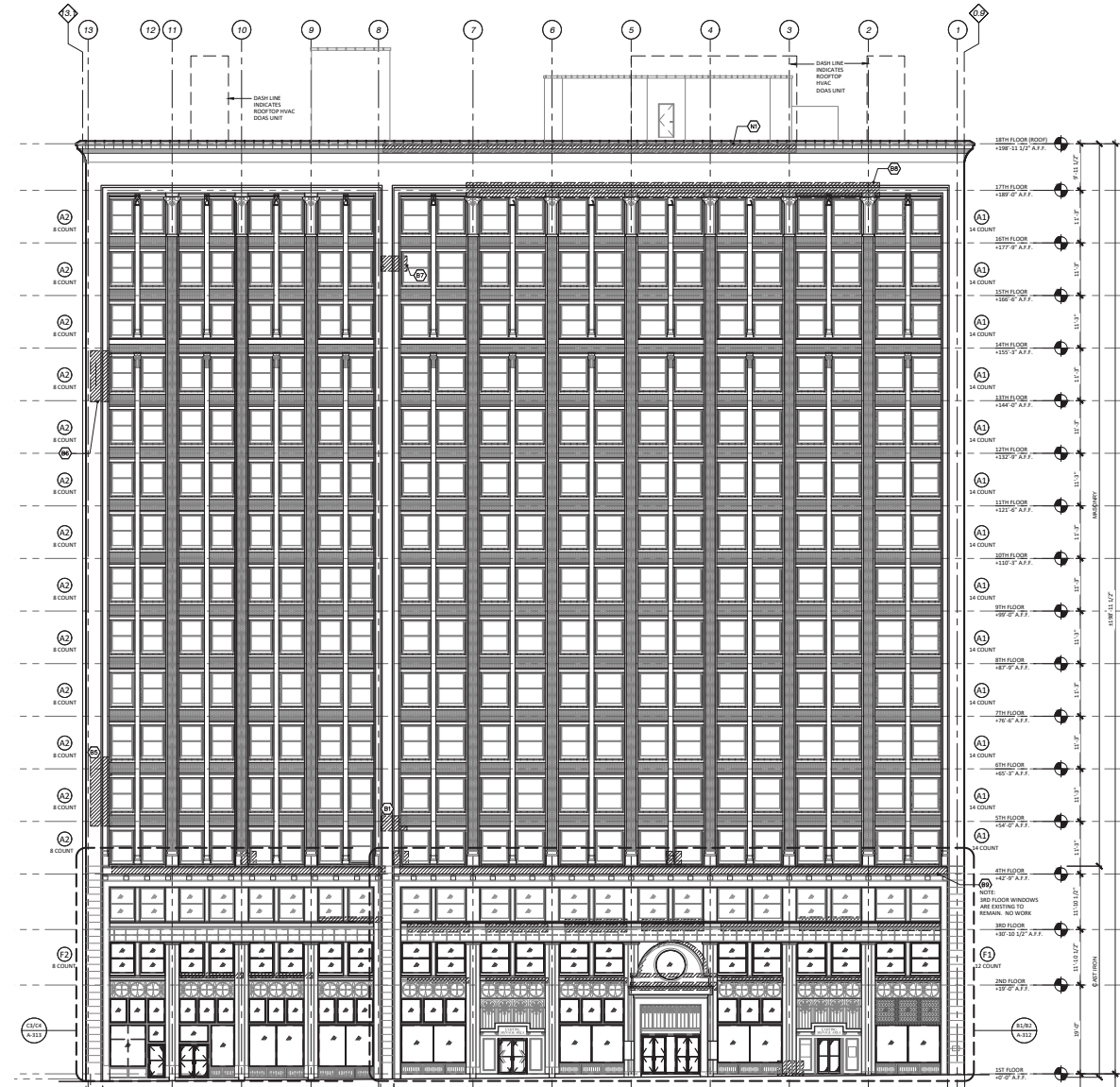
CRACKED AND SPALLED TERRA COTTA UNIT @ WINDOW SILL



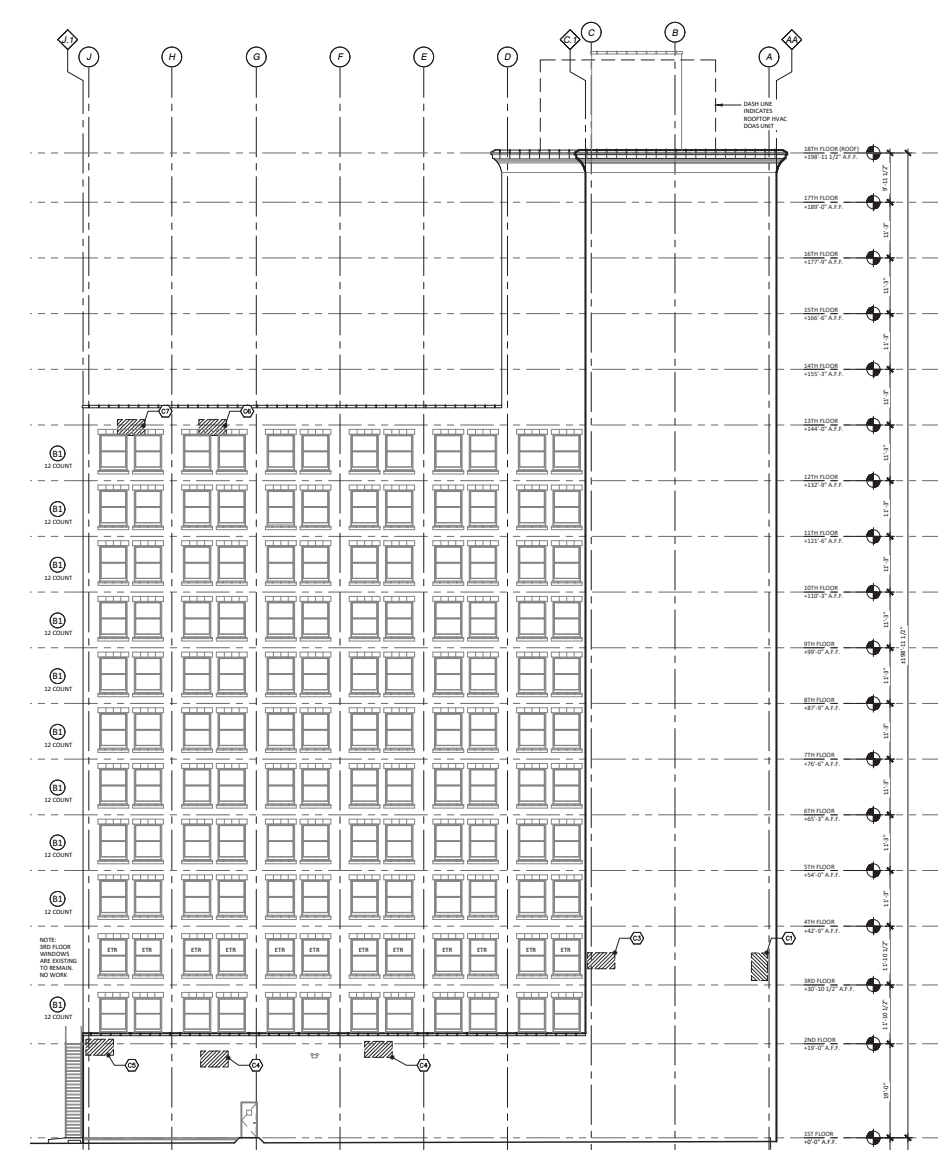
PLATE @ 5TH FLOOR WINDOW SILL WITH STEEL ANGLE



EAST ELEVATION
LOOKING @ EAST WING



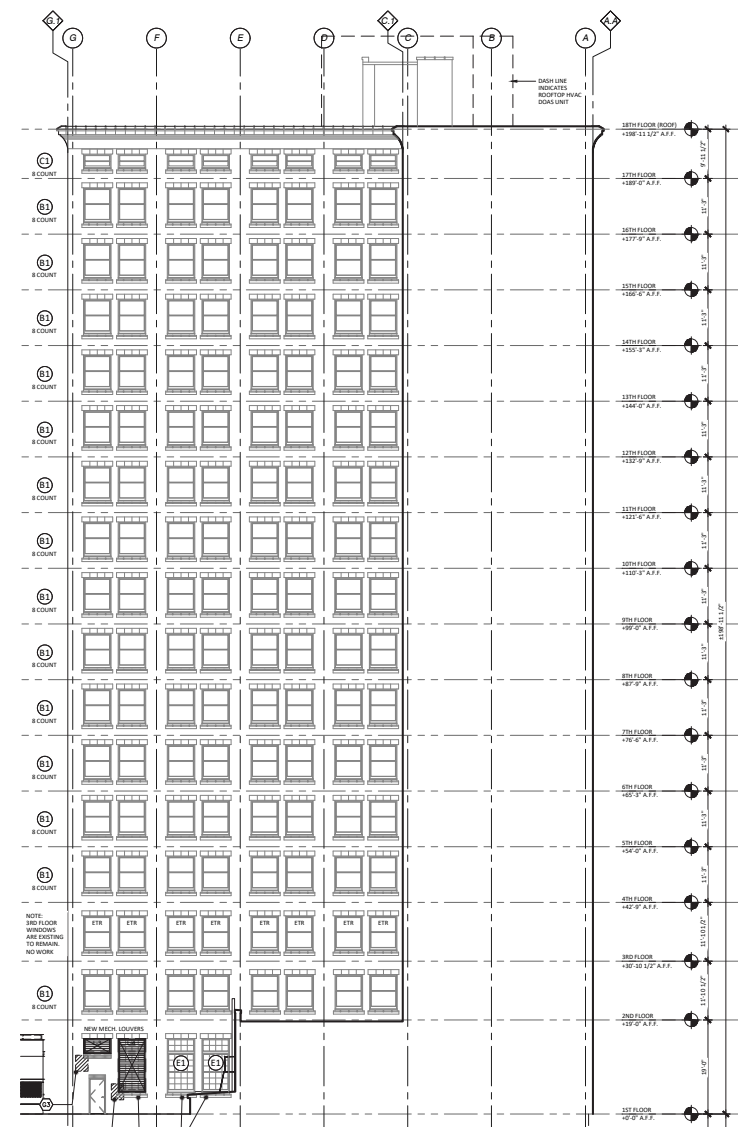
OVERALL SOUTH ELEVATION



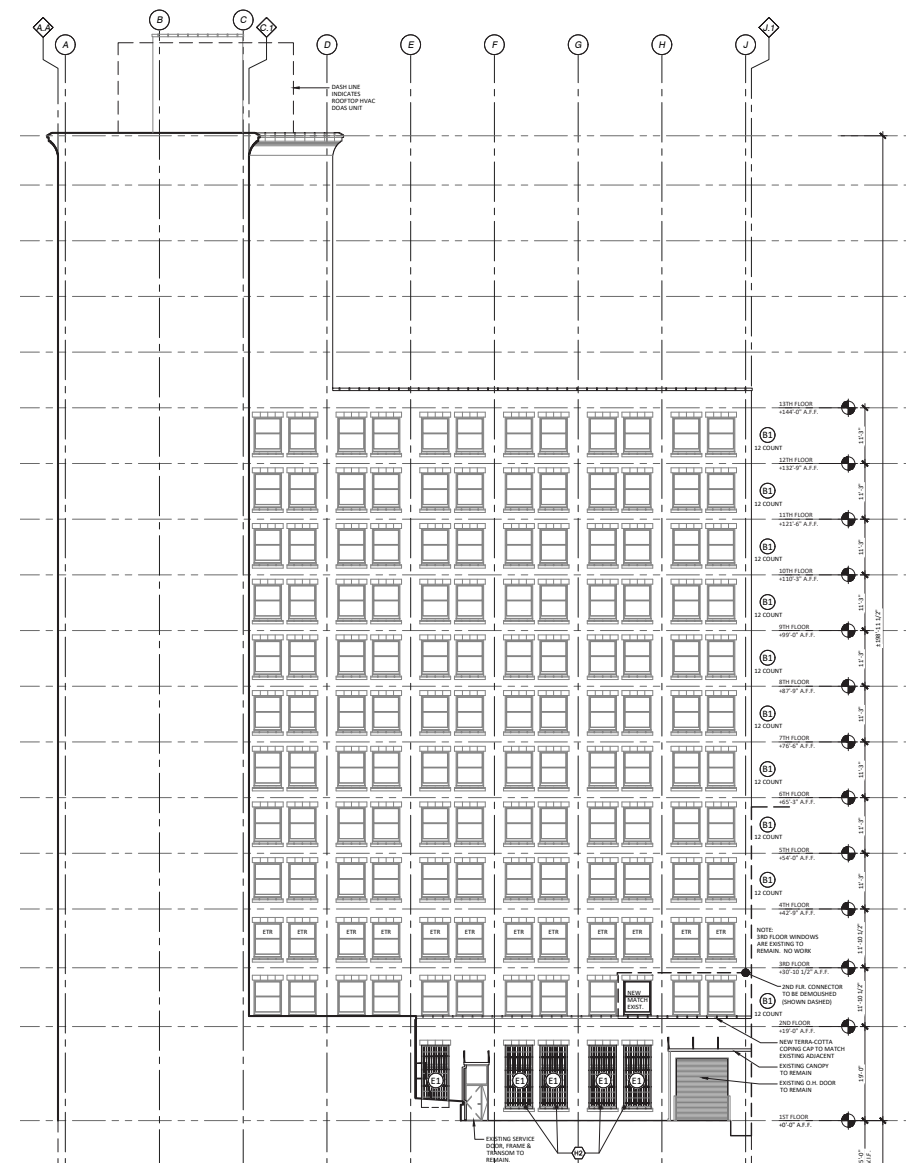
WEST ELEVATION
LOOKING @ WEST WING



OVERALL NORTH ELEVATION



WEST ELEVATION
LOOKING @ CENTER WING



PARTIAL EAST ELEVATION
LOOKING @ WEST WING

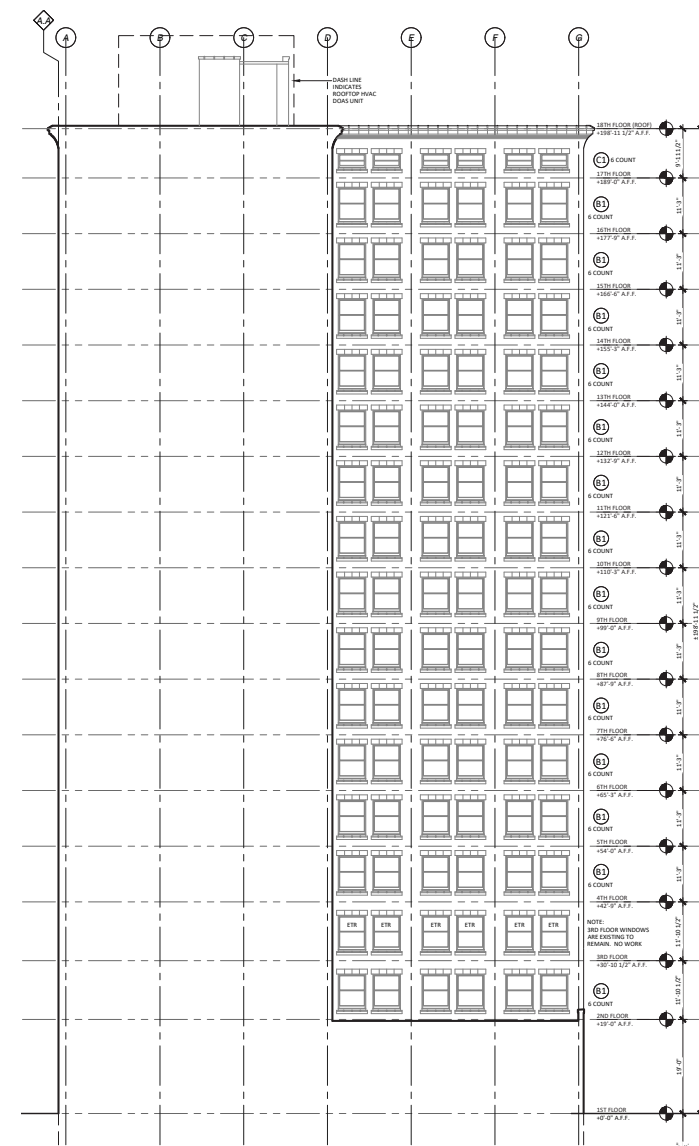
BUILDING ELEVATIONS

ROCKEFELLER BUILDING REDEVELOPMENT

614 W. SUPERIOR AVE. CLEVELAND, OH



PARTIAL WEST ELEVATION
LOOKING @ EAST WING



PARTIAL WEST ELEVATION
LOOKING @ EAST WING

BUILDING ELEVATIONS

ROCKEFELLER BUILDING REDEVELOPMENT

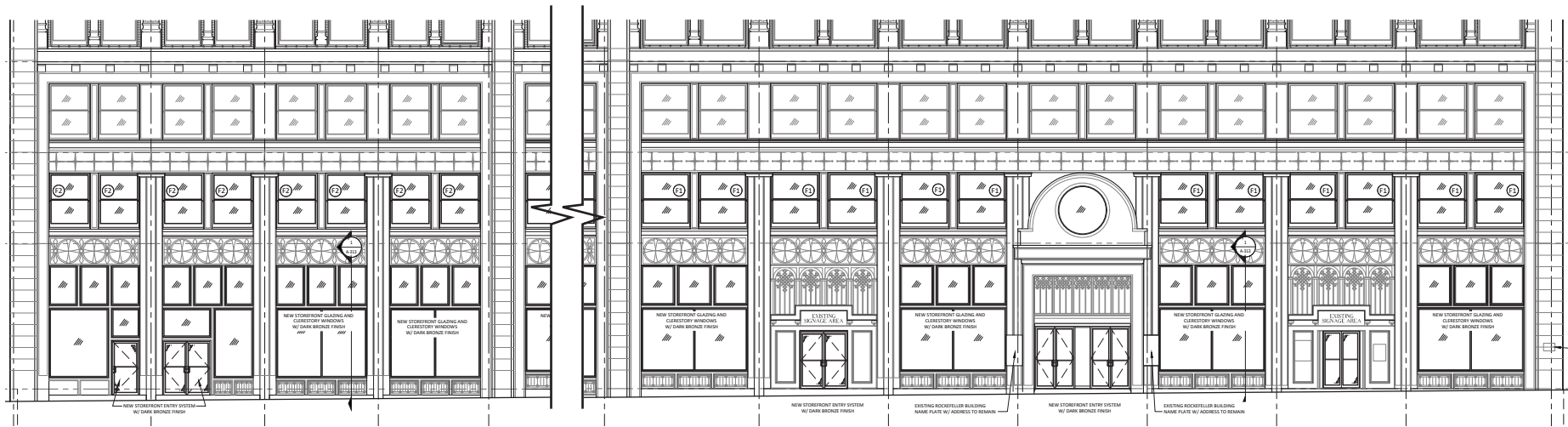
614 W. SUPERIOR AVE. CLEVELAND, OH



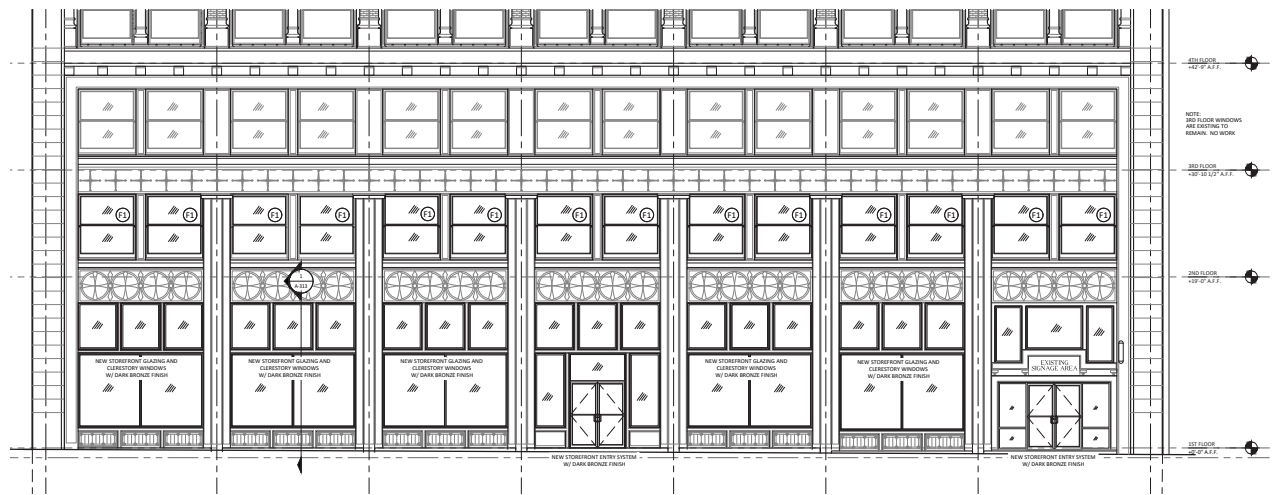
SOUTH STOREFRONT VIEW FROM SUPERIOR AVE.



EAST STOREFRONT VIEW FROM WEST 6TH STREET



SOUTH STOREFRONT ELEVATION

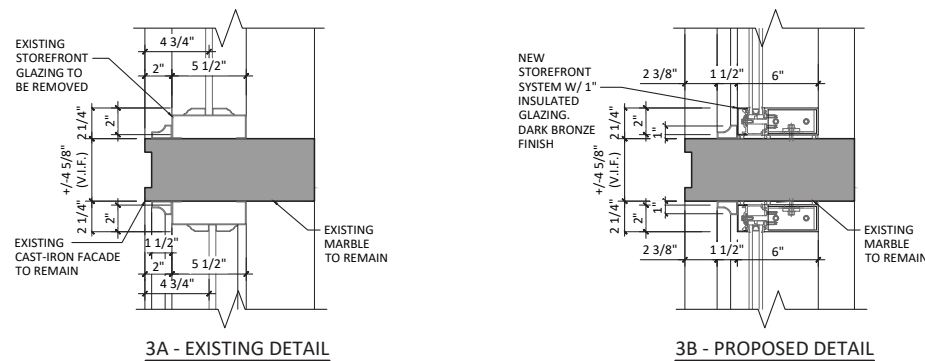


EAST STOREFRONT ELEVATION

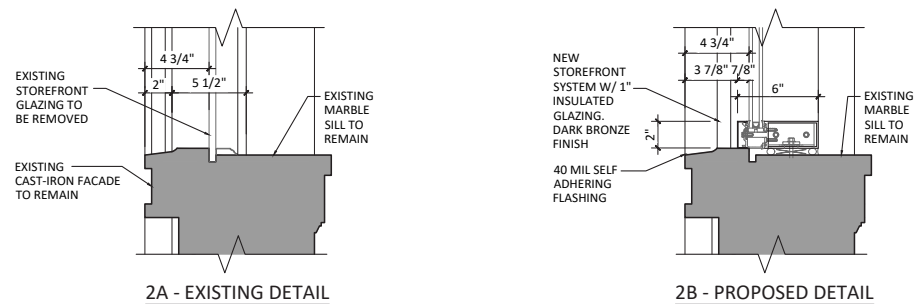
STOREFRONT ELEVATIONS

ROCKEFELLER BUILDING REDEVELOPMENT

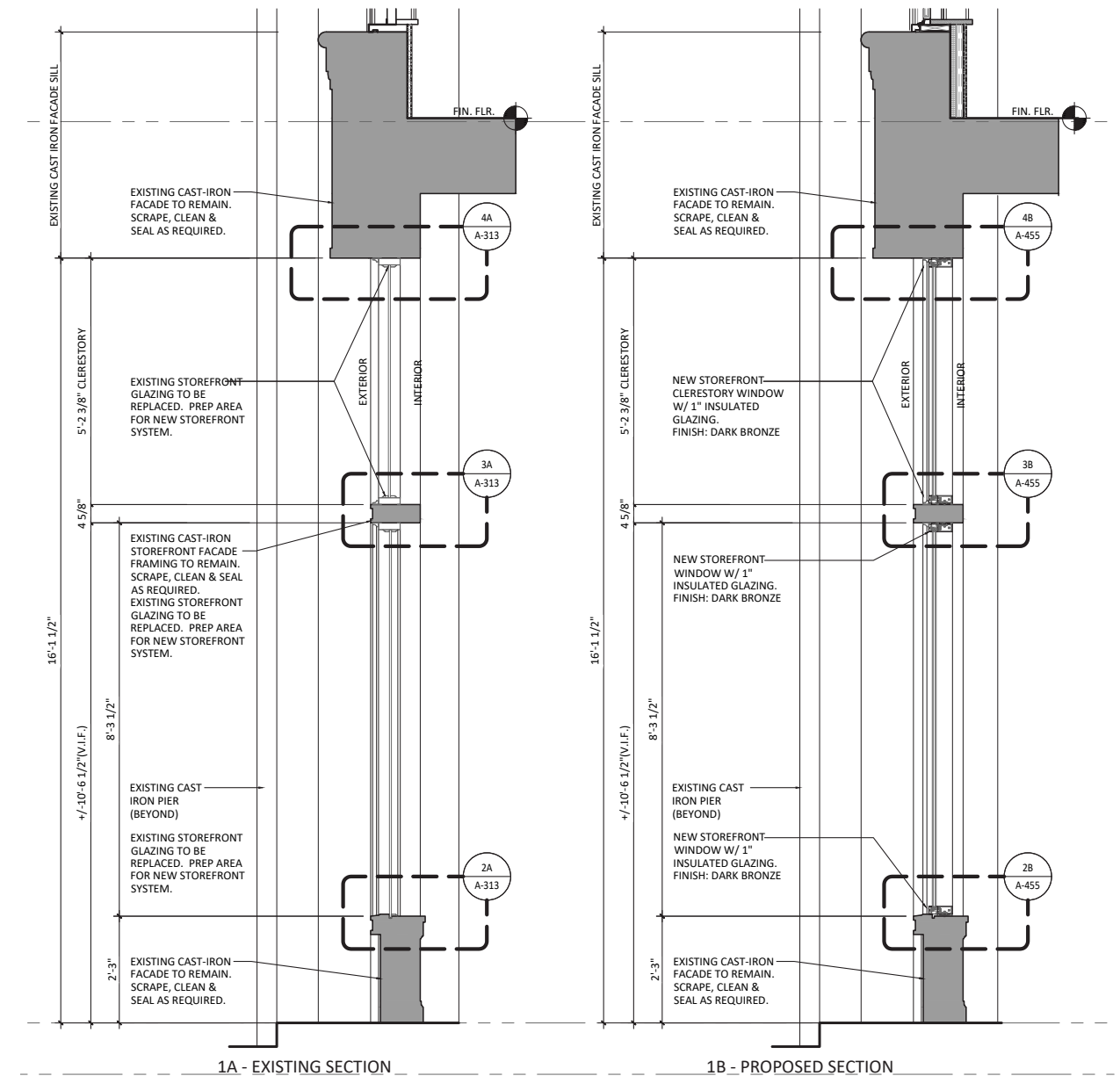
614 W. SUPERIOR AVE. CLEVELAND, OH



EXISTING & PROPOSED MULLION DETAILS



EXISTING & PROPOSED SILL DETAILS



STOREFRONT SECTIONS

STOREFRONT DETAILS

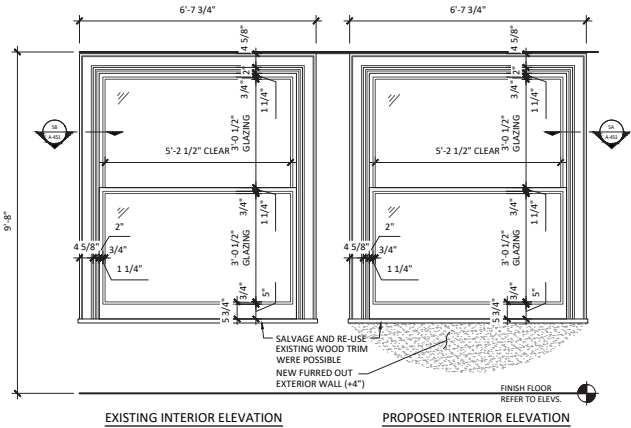
ROCKEFELLER BUILDING REDEVELOPMENT
614 W. SUPERIOR AVE. CLEVELAND, OH

NOTE:

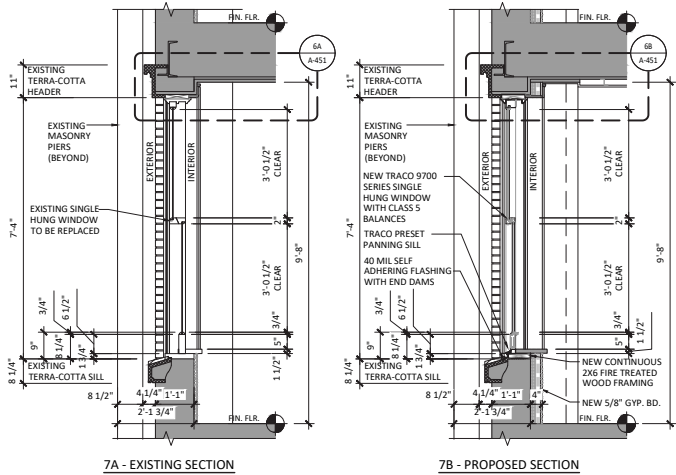
- ALL WINDOW TYPES AND ASSOCIATED FRAMES THROUGHOUT PROJECT ARE SLIGHT VARIATIONS OF WINDOW 'A1' SHOWN ON THIS SHEET.



EXISTING INTERIOR PHOTO - WINDOW 'A1'
(SOUTH & EAST ELEVATIONS)



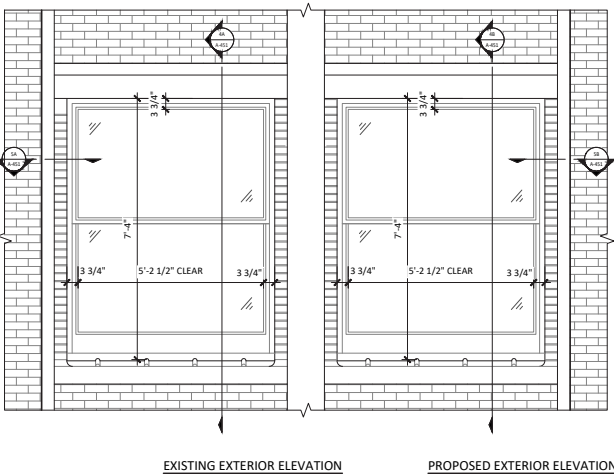
EXISTING & PROPOSED INTERIOR ELEVATIONS -
WINDOW 'A1' (SOUTH & EAST ELEVATIONS)



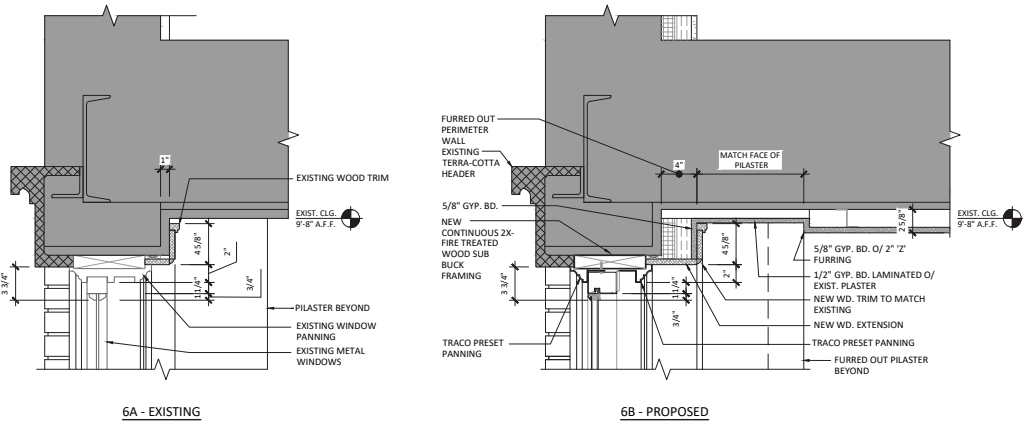
EXISTING & PROPOSED SECTIONS - WINDOW 'A1'
(SOUTH & EAST ELEVATIONS)



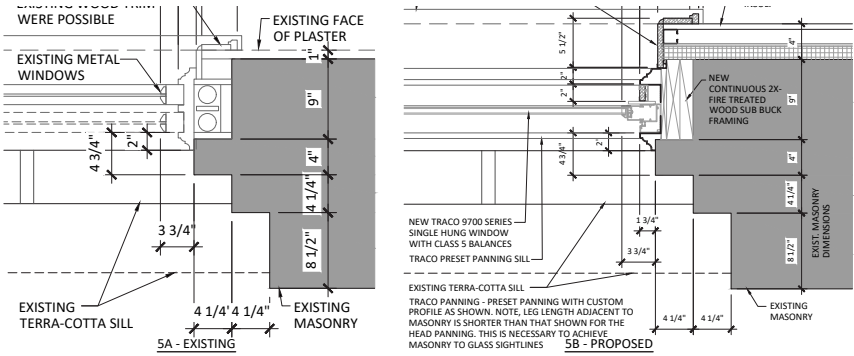
EXISTING EXTERIOR PHOTO - WINDOW 'A1'
(SOUTH & EAST ELEVATIONS)



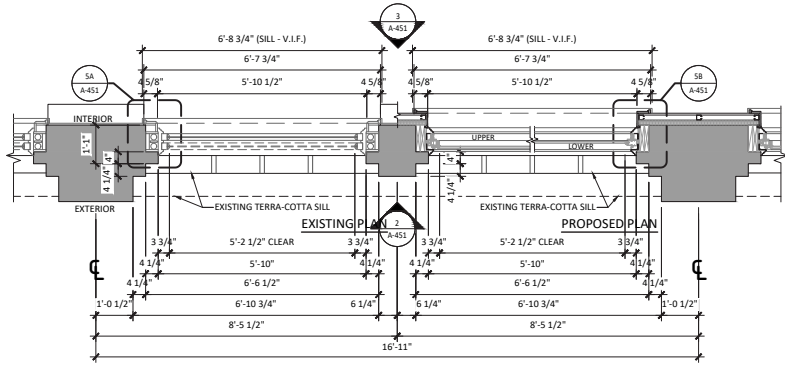
EXISTING & PROPOSED EXTERIOR ELEVATIONS -
WINDOW 'A1' (SOUTH & EAST ELEVATIONS)



EXISTING PERIMETER CEILING DETAIL - WINDOW 'A1'
(SOUTH & EAST ELEVATIONS)



RESTORED JAMB DETAIL - WINDOW 'A1'
(SOUTH & EAST ELEVATIONS)



HISTORIC WINDOW REPLACEMENT GENERAL NOTES
1. WINDOW BASES FOR DESIGN INDICATED AS NEW TRACO 9700 SERIES SINGLE HUNG WINDOW WITH CLASS 5 BALANCES HISTORIC REPLACEMENT WINDOW WITH 1" INSULATED GLASS.
2. FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION. EACH OPENING MAY HAVE SLIGHT VARIATIONS.
3. SUB-BUCK ANCHOR WINDOW CLIP PULL OUT STRENGTH TEST REQUIRED PRIOR TO INSTALLATION.
4. REFER TO SECTIONS THIS SHEET FOR WINDOW PROFILE DIMENSIONS.

EXISTING & PROPOSED PLANS FOR WINDOW TYPE 'A1'
(SOUTH & EAST ELEVATIONS)

WINDOW DETAILS



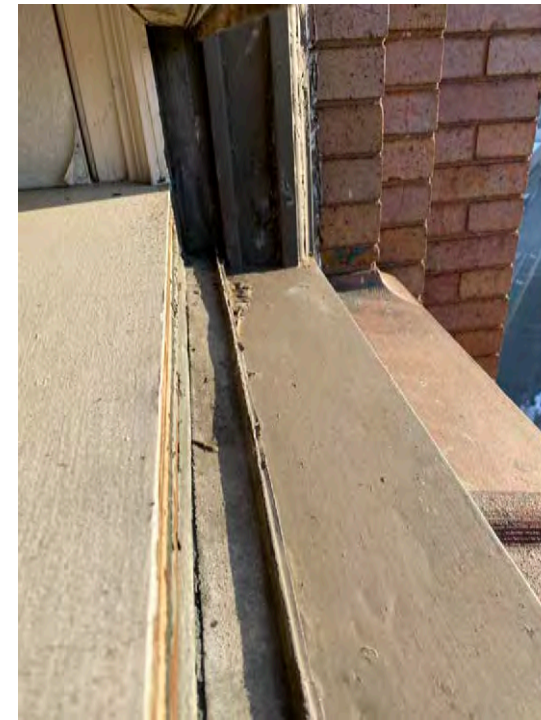
EXISTING WINDOW 'A1'
INTERIOR VIEW



EXISTING WINDOW 'A1'
CEILING DETAIL



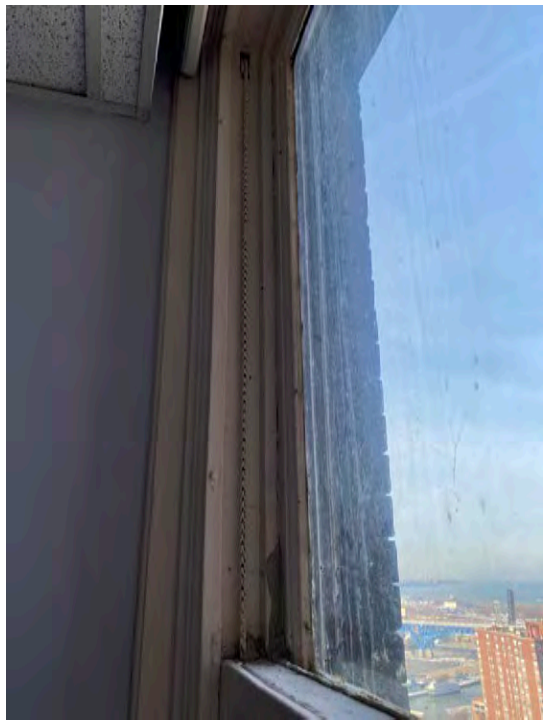
EXISTING WINDOW 'A1'
JAMB DETAIL



EXISTING WINDOW 'A1'
SILL DETAIL



EXISTING WINDOW 'A1'
JAMB DETAIL



EXISTING WINDOW 'A1'
JAMB DETAIL



EXISTING WINDOW 'A1'
JAMB DETAIL



EXISTING WINDOW 'A1'
FRAME DETAIL

EXISTING WINDOW PHOTOS

ROCKEFELLER BUILDING REDEVELOPMENT

614 W. SUPERIOR AVE. CLEVELAND, OH



SF-A-SF-D

Front view

Side view

#	FIXTURE SCHEDULE
TAG	DESCRIPTION
SF-A	FOCUSED VERTICAL LIGHTING (PIERS) MFGR: LUMENPULSE MODEL: LBG-27K.277.VIN.LUH FINISH: COLOR TO MATCH MASONRY
SF-B	HORIZONTAL BAND LIGHTING (4TH FLR. CORNICE) MFGR: WINONA MODEL: 801L WINDIRECT FINISH: COLOR TO MATCH CAST IRON
SF-C	NOT USED
SF-D	ABOVE ENTRY LIGHTING (SUPERIOR) MFGR: LUMENPULSE MODEL: LBS-27K.277.VIN.LUH FINISH: BLACK



EAST ELEVATION LIGHTING

SOUTH ELEVATION LIGHTING

EXTERIOR LIGHTING

ROCKEFELLER BUILDING REDEVELOPMENT
614 W. SUPERIOR AVE. CLEVELAND, OH





VIEW FROM WEST 6TH PARKING LOT



VIEW FROM EAST FACADE



VIEW FROM WEST FACADE



VIEW FROM NORTH FACADE



SITE PLAN



PARKING GARAGE

ROCKEFELLER BUILDING REDEVELOPMENT

614 W. SUPERIOR AVE. CLEVELAND, OH

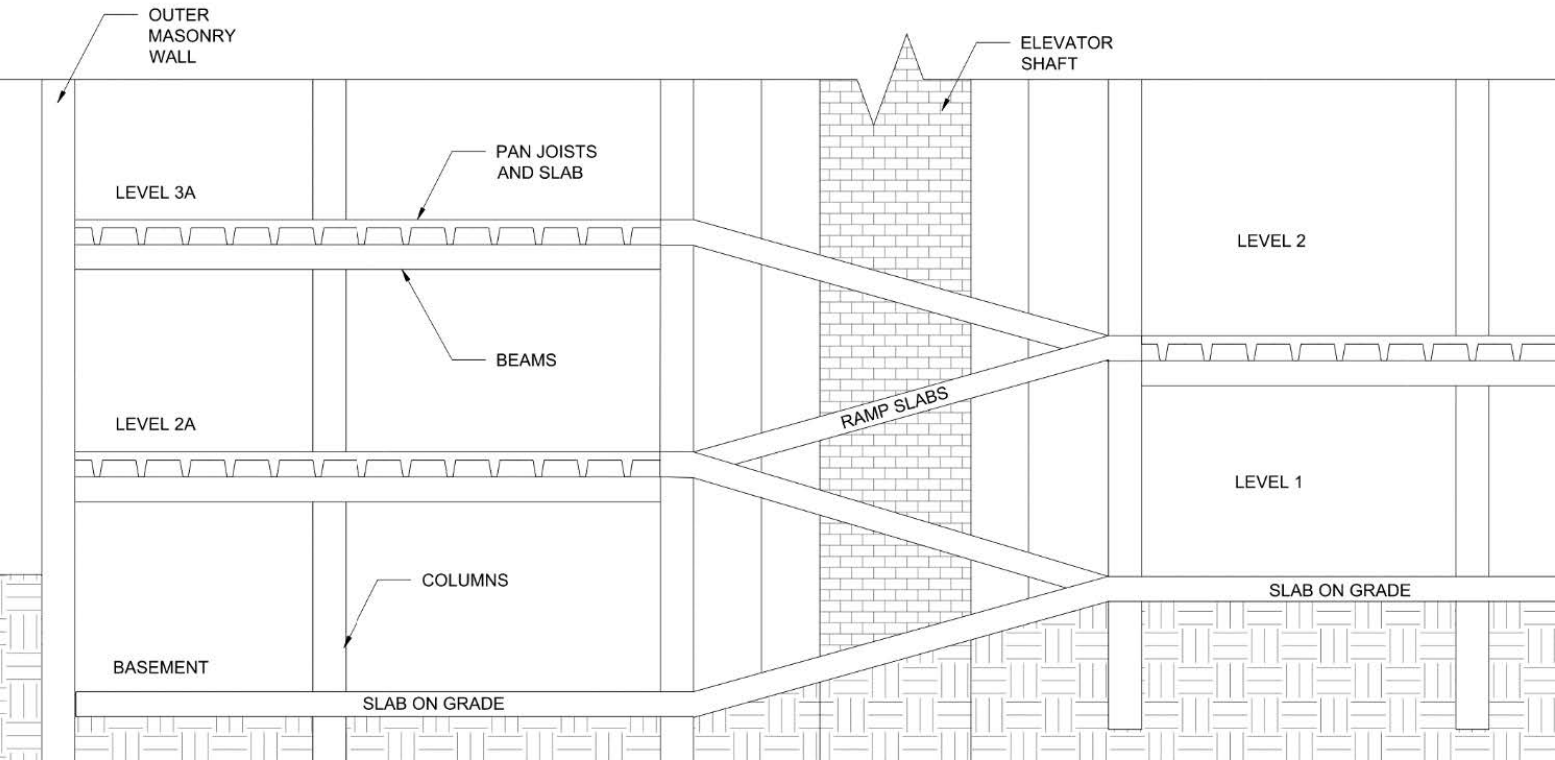


FINANCIAL CONSIDERATIONS:

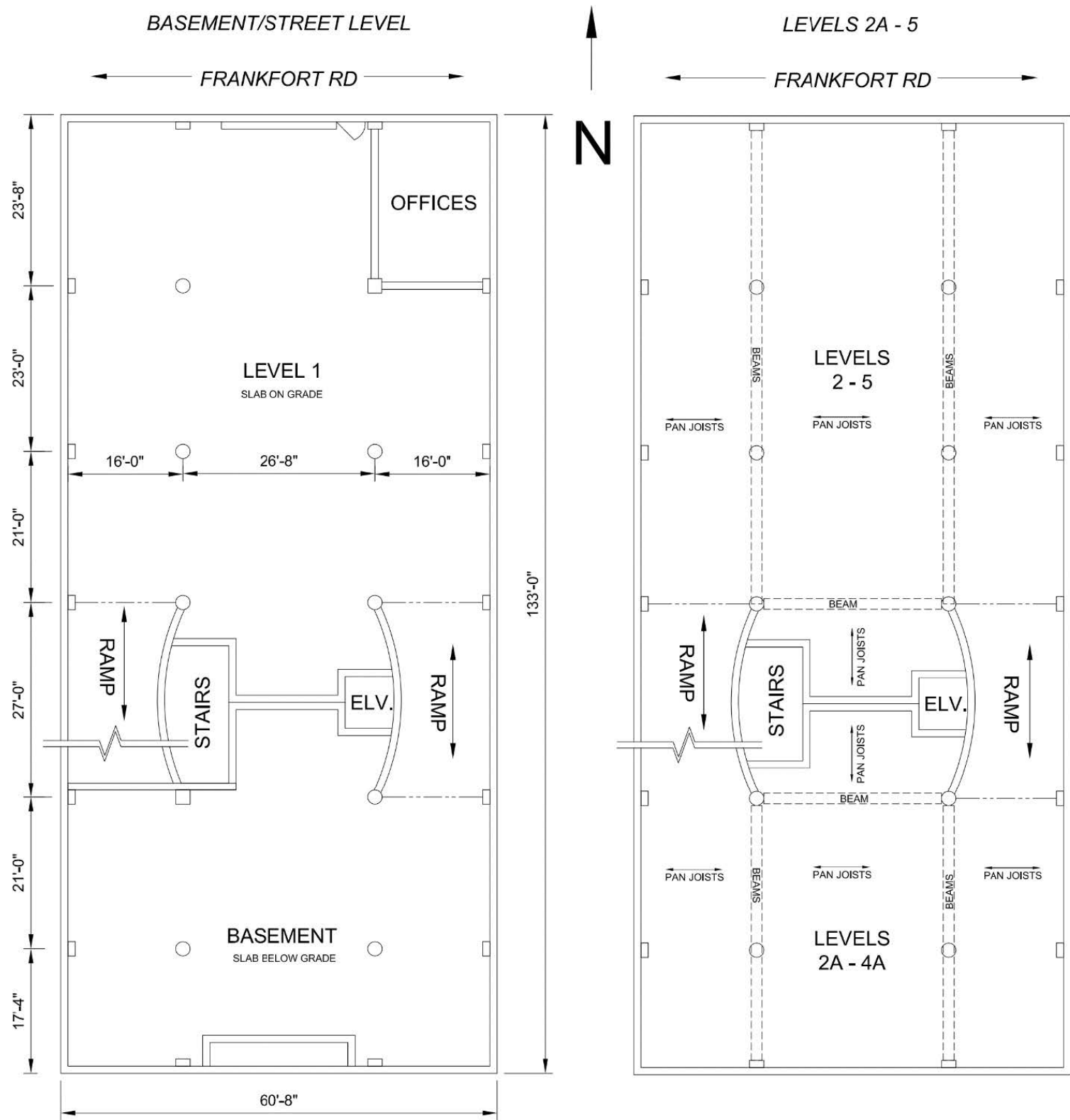
- A new garage should cost approximately \$25k per parking space in the Cleveland area totaling \$2.85 million for a 114 parking space garage.
- Preliminary budget estimation for rehabilitation of this garage is approximately \$7.5 million resulting in a cost per space of \$65k.
- The necessary modifications mentioned herein would likely result in a loss of 14 to 24 parking spaces valued at \$80k per space.

CODE CONSIDERATIONS:

- Non Compliant - Non functioning elevator
- Stairs do not meet code - Rise/run, clear width, landings
- Ramps to steep for cars - No transitions 25% slope - Code max 16% slope
- Parking spaces 7' W. x 16' L. (Non Compliant) - Standard space size 9' x 18'
- Ventilation required for enclosed garage - large air duct limited floor to floor height



PARKING GARAGE SECTION

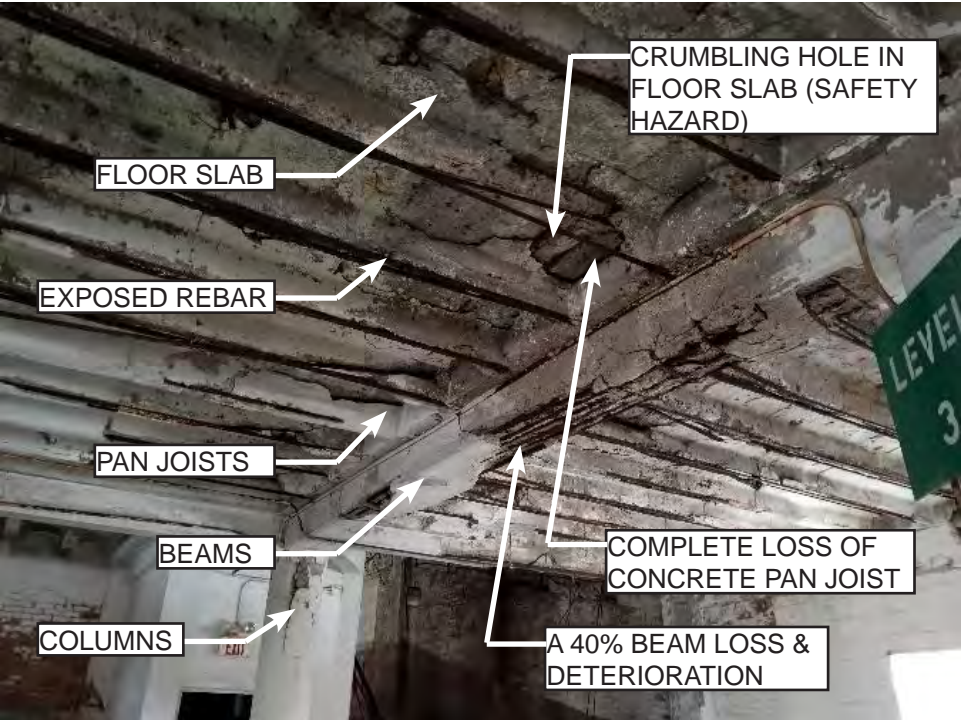


PARKING GARAGE FLOOR PLANS

PARKING GARAGE DETAILS

ROCKEFELLER BUILDING REDEVELOPMENT
614 W. SUPERIOR AVE. CLEVELAND, OH





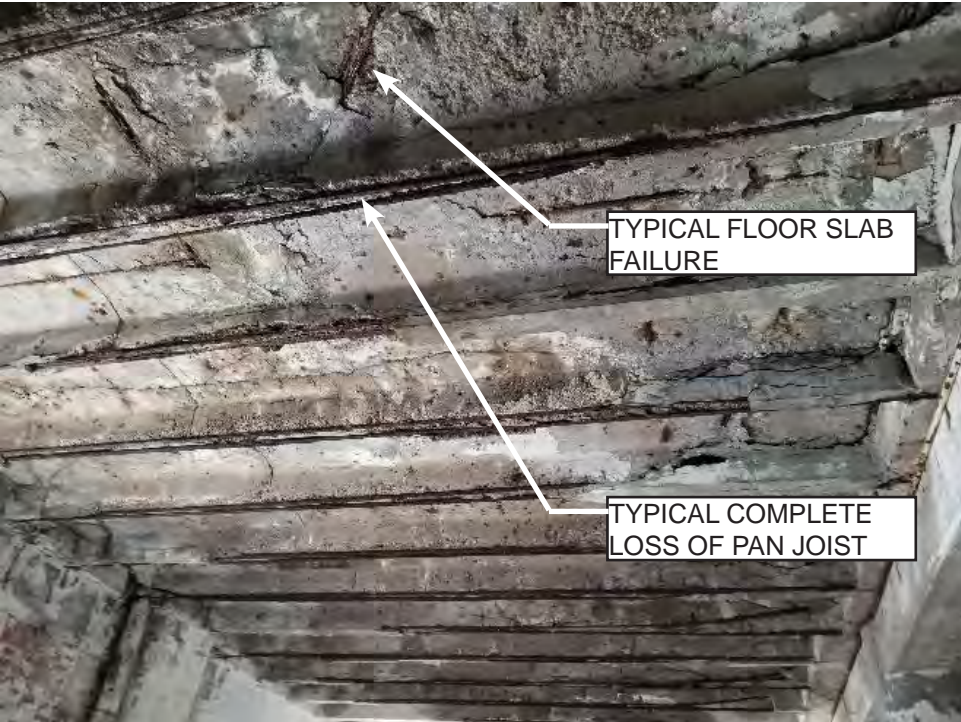
DETERIORATION OF MAIN STRUCTURAL ELEMENTS



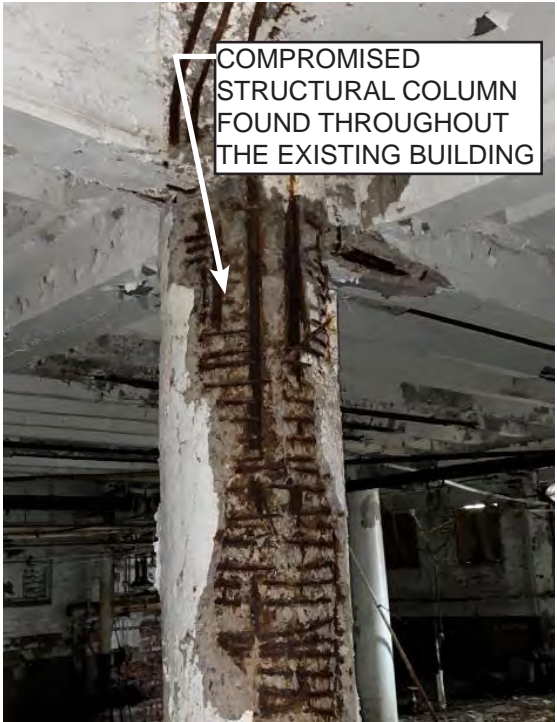
EXISTING COLUMN



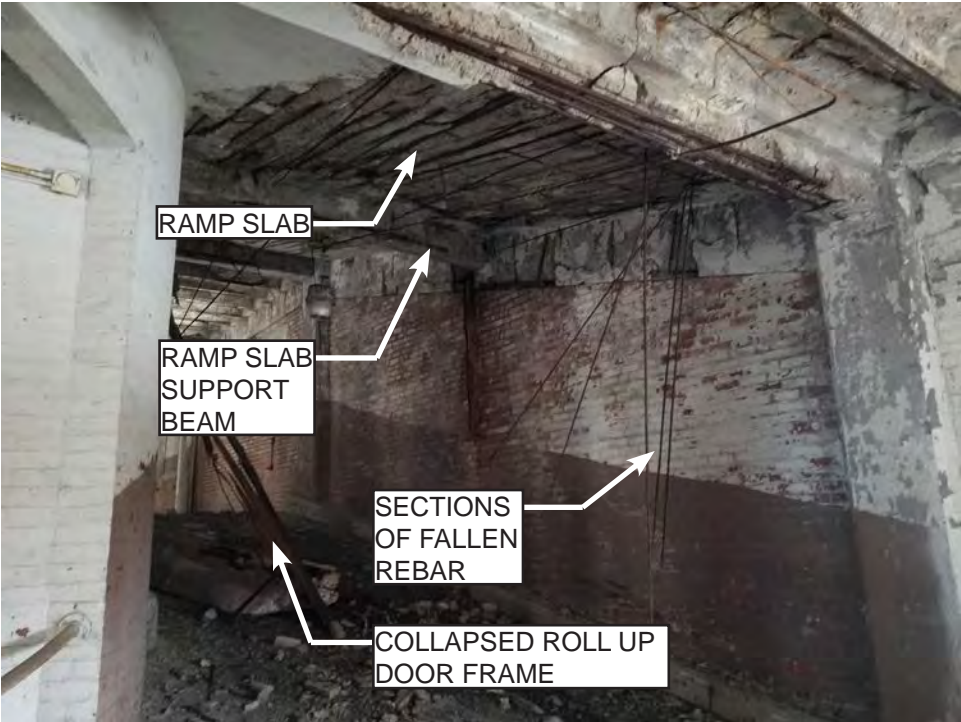
CONDITION OF EXISTING BEAMS



CONDITION OF EXISTING FLOOR SLABS & PAN JOISTS



EXISTING COLUMN



CONDITION OF EXISTING RAMP SLAB



CONDITION OF EXISTING BASEMENT



EXISTING STAIR



EXTERIOR DETERIORATION



CONDITION OF EXISTING SLAB ON GRADE



EXISTING STAIR



CONDITION OF EXISTING BRICK

PARKING GARAGE EXISTING CONDITIONS
ROCKEFELLER BUILDING REDEVELOPMENT
614 W. SUPERIOR AVE. CLEVELAND, OH

Rockefeller Garage

Site Visit







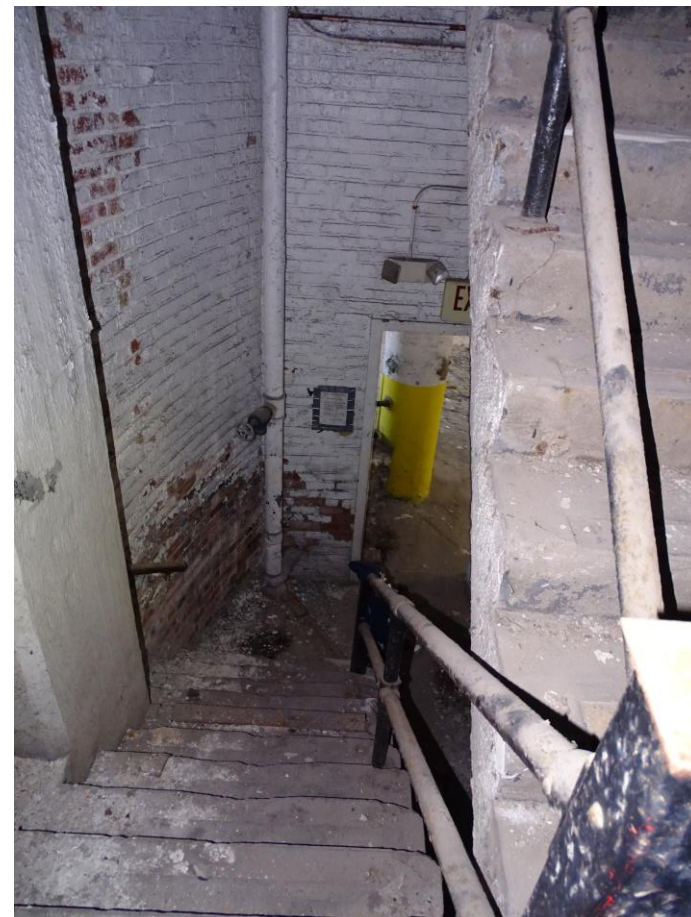


































Cleveland Landmarks Commission

Design Review



April 22, 2021

Historic Downtown Cleveland Design Review Committee

April 21, 2021

Rockefeller Building, 614 Superior

Committee: Long, O'Connell, Benton
Staff: Starinsky, Crawford
Applicant: Brandon Kline, Geis - GLSD Architecture; Agostino Pintus, owner

Proposal

- Adaptive reuse of the office building into apartments
- Demolition of parking garage along Frankfort built in 1921
- Significant repairs to brick and mortar and cast iron on all elevations
- Storefront system inset to be replaced - all historic details will remain intact
- Upper floor windows to be replaced to match existing
- Building lighting plan (similar to the installation at The May)
- 17th floor resident storage
- Basement will be amenities
- Garage
 - Structurally in poor condition - major masonry failure, exposed rebar, non-compliant stairway
 - Structure not conducive to a modern parking garage
 - Split level layout makes it difficult to reuse as a human use
 - No current ventilation system

See drawings for further detail.

Discussion

- Cast iron renovation? Depending on condition - flat sections: filling and painting, replace simple moldings (bullnoses, etc). Major ornamental elements are intact or have been collected over the years.
- Storefront insets? all entrances will be reinstated as originally designed. Glass will be clear and insulated
- Garage:
 - The Committee sees the need for demolition
 - Could the archway and other architectural elements be preserved? Owner is open to the this. What will CLC require?
 - Could the lot edges have a higher level of landscaping? They are open to this but have not designed this yet. The need to look at the potential of restriping.
 - Potentially put a small park along W 6th? That's a challenge due to parking revenue. They are open to discussing a solution here. WDI and the ownership team will meet on this.

Motion: Approve the renovation and demolition of the garage as presented with the provision that the site plan including landscaping and preservation of historic garage elements will be reviewed at a later date.

Second: O'Connell

Vote: Unanimous

Cleveland Landmarks Commission

Concept Plan



April 22, 2021



Case 21-030: Little Italy Historic District

Woodhill Development Site 1885 Coltman Road, aka 1862 East 123rd Street

New Construction of Townhouses and Apartment Building

Ward 6: Griffin

Project Representatives: Brandon Kline (Geis Companies), Michael Panzica, Hanna Cohan Plessner, Brad Nosan, Tim Panzica



SITE MAP

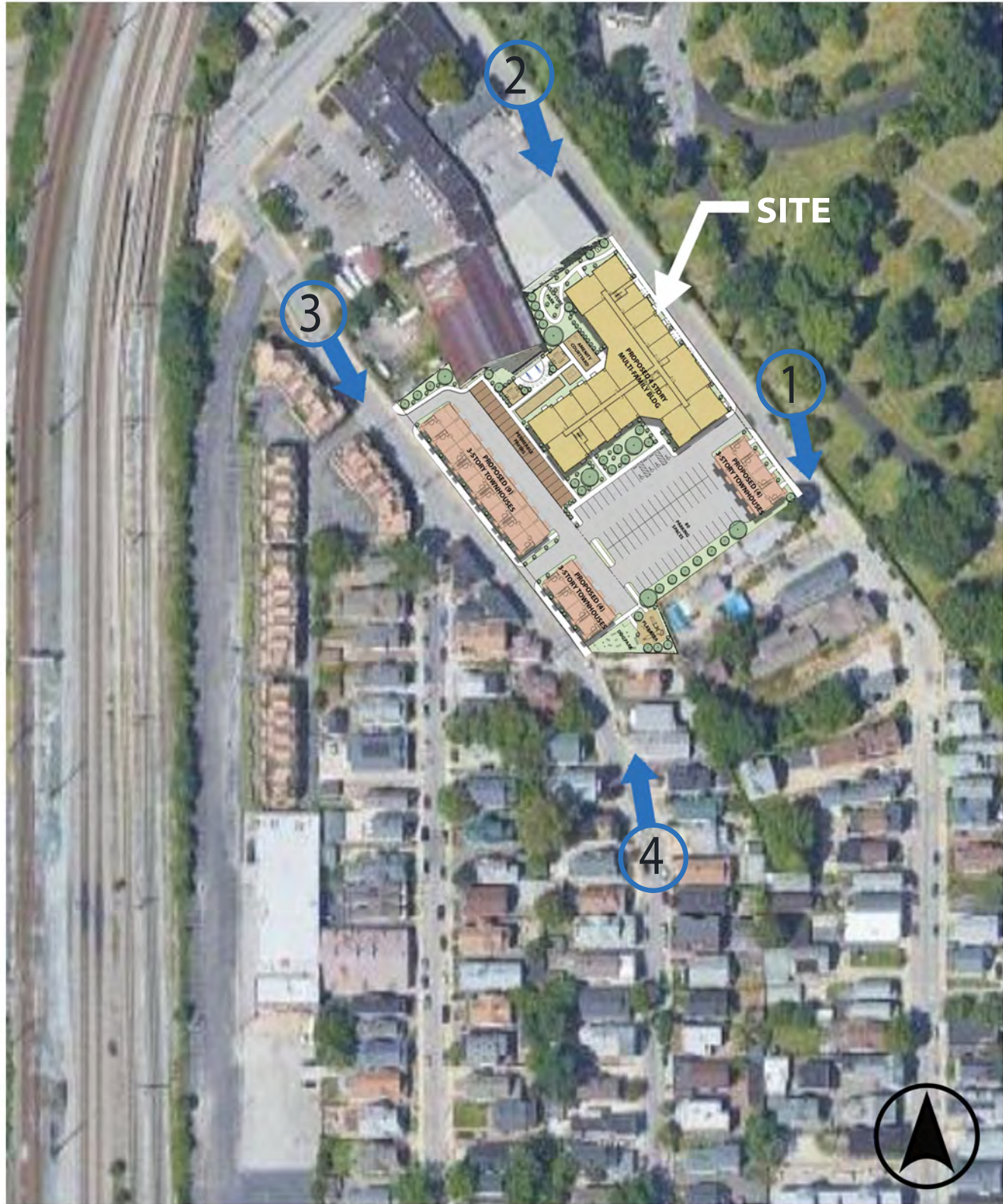
WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO





SITE CONTEXT - 2015

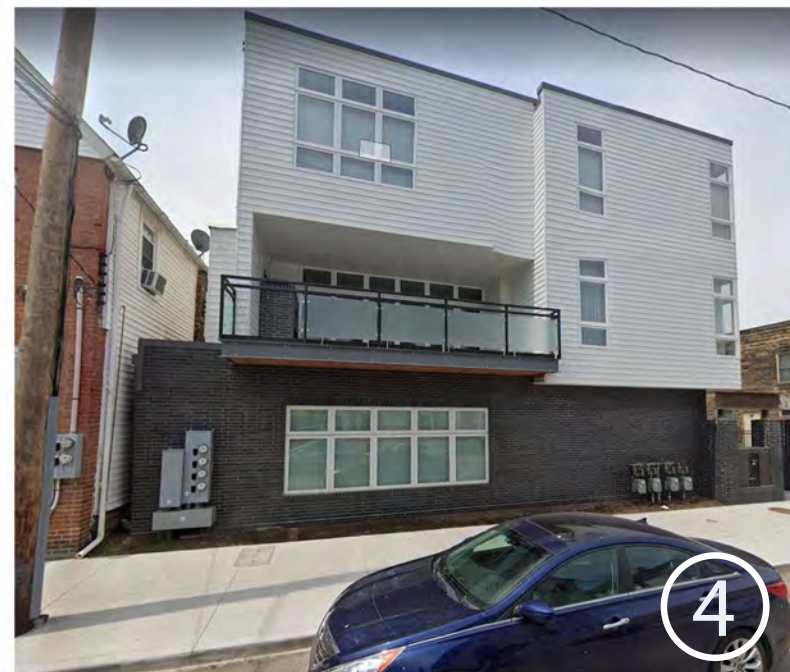
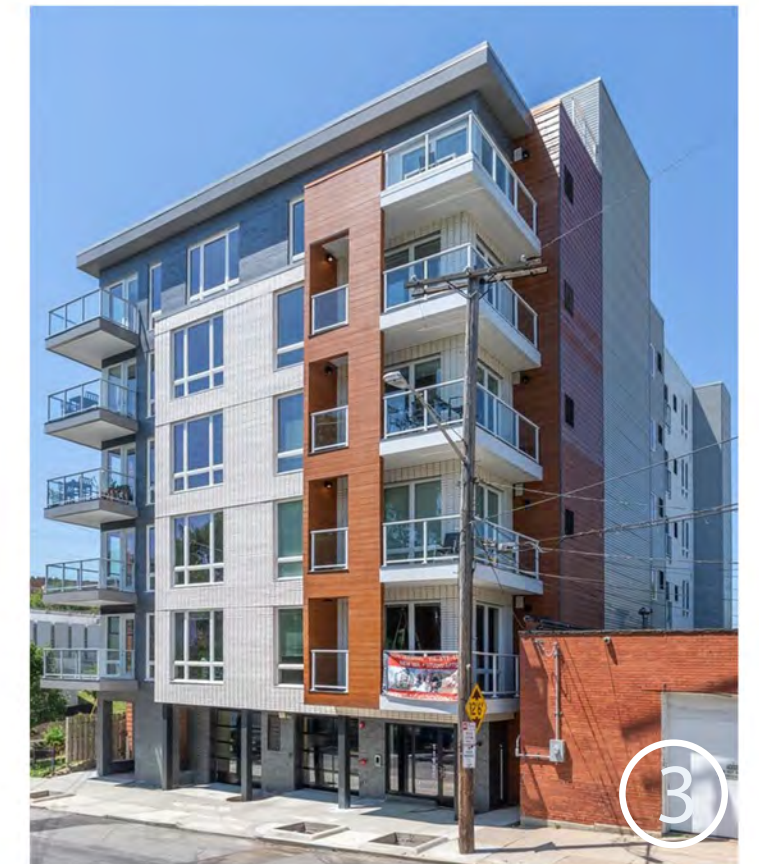
WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



SITE CONTEXT



WOODHILL DEVELOPMENT SITE
 1885 COLTMAN ROAD & 1862 E. 123RD STREET
 CLEVELAND, OHIO



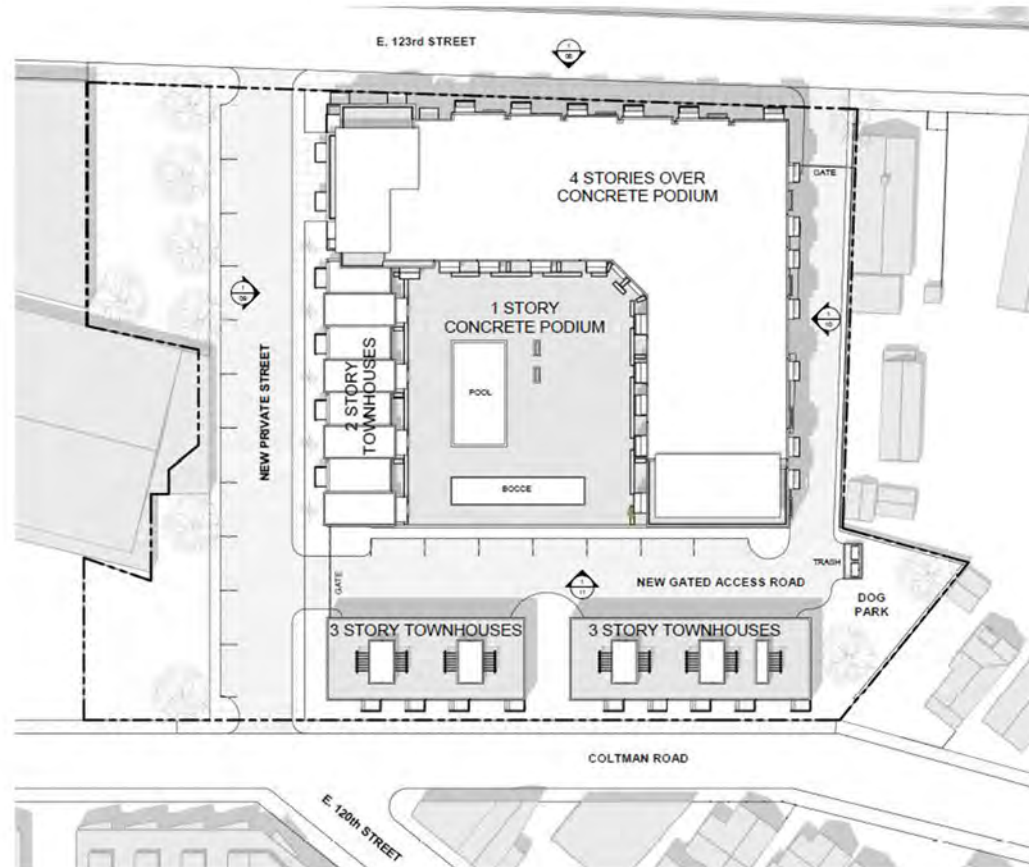
SITE CONTEXT



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO

1

PREVIOUSLY
SUBMITTED
10-16-2020

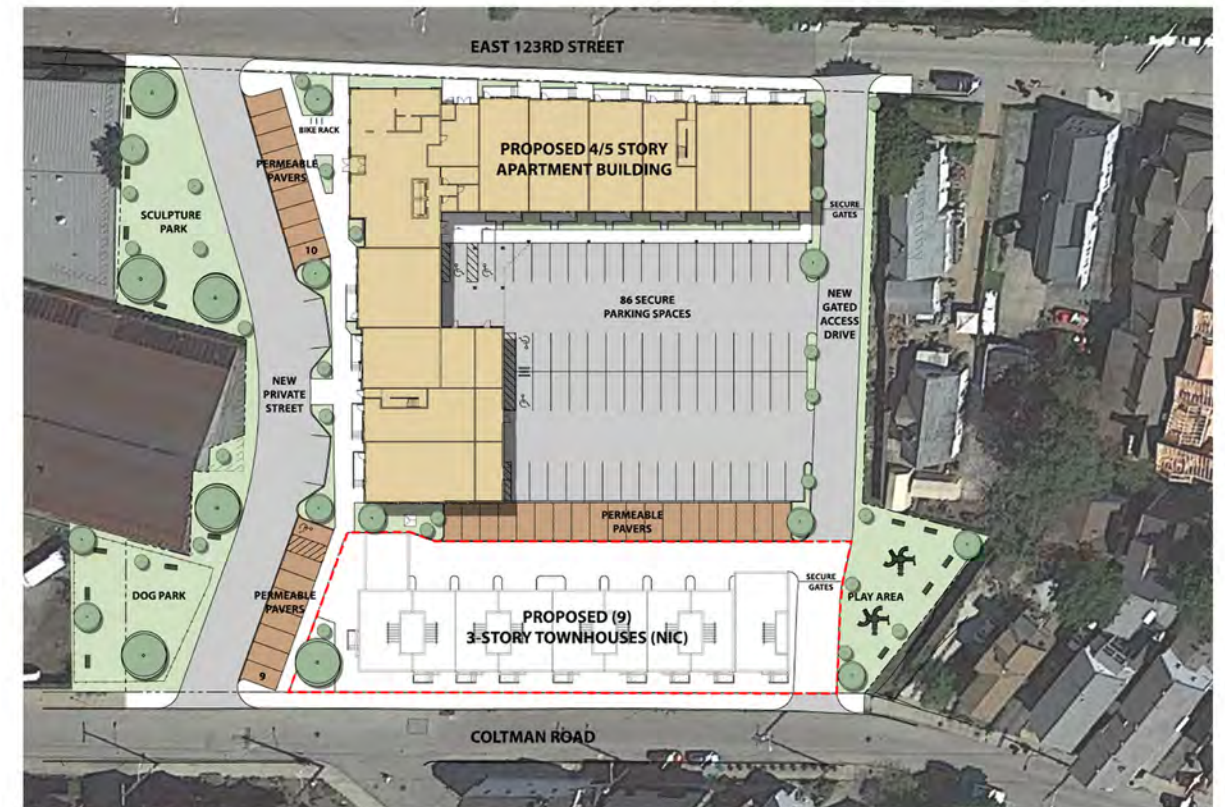


3

PREVIOUSLY
SUBMITTED
02-23-2021

105 Apartments
105 Parking Spaces
Building Ht - 59'-10"

9 Townhomes

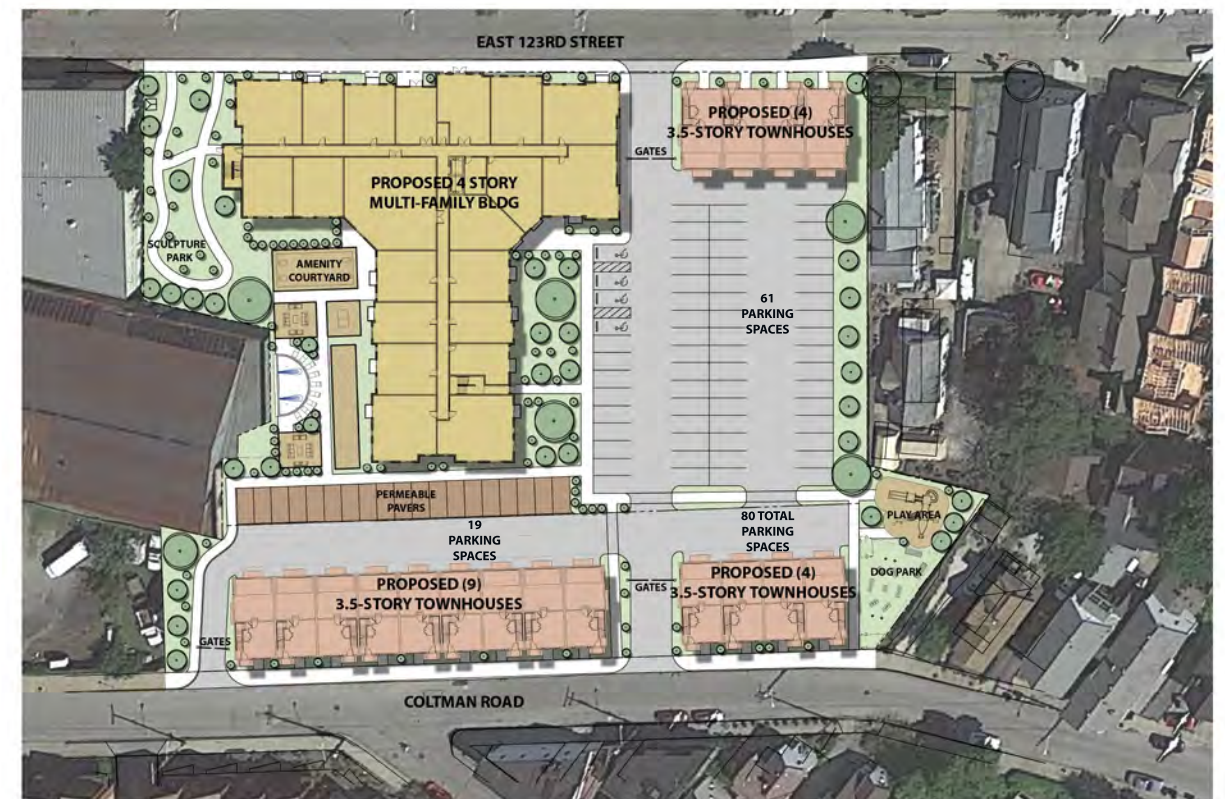


4

CURRENT
SITE PLAN
03-25-2021

80 Apartments
80 Parking Spaces
Building Ht - 45'-2"

17 Townhomes

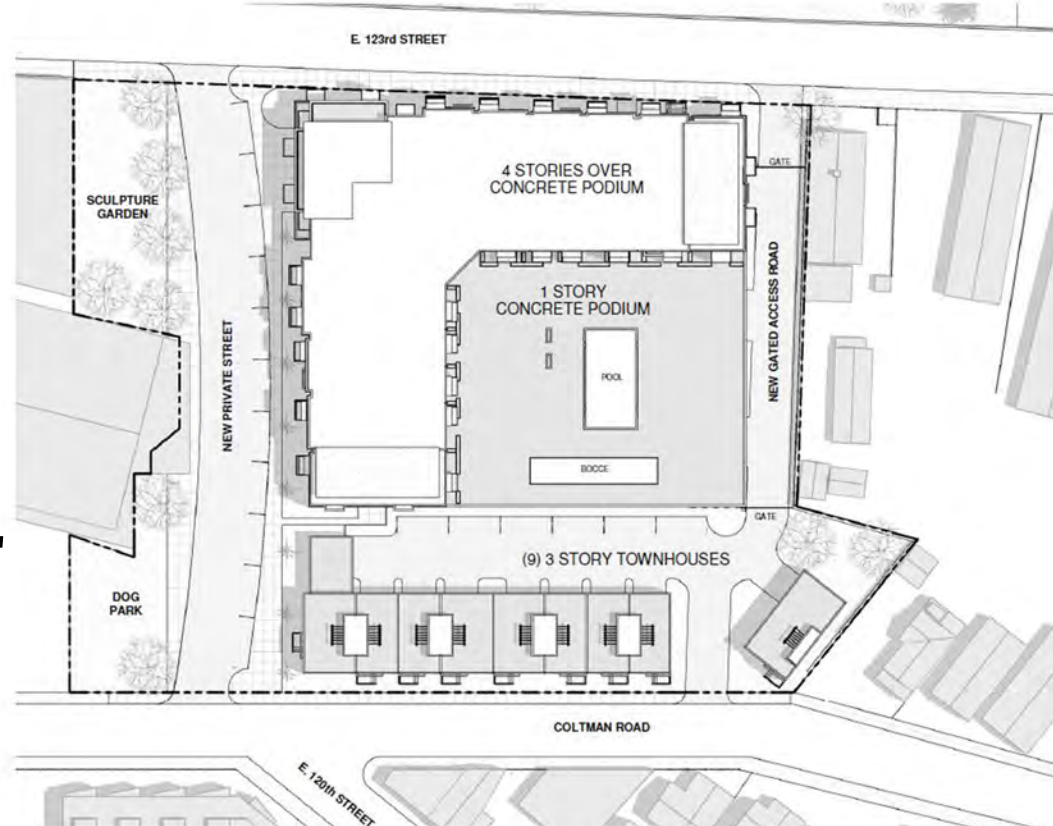


2

PREVIOUSLY
SUBMITTED
11-13-2020

102 Apartments
94 Parking Spaces
Building Ht - 56'-0"

9 Townhomes



SITE PLAN - PROGRESS



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



①

PREVIOUSLY
SUBMITTED
10-16-2020



③

PREVIOUSLY
SUBMITTED
02-23-2021

105 Apartments
105 Parking Spaces
Building Ht - 59'-10"
9 Townhomes



②

PREVIOUSLY
SUBMITTED
11-13-2020

102 Apartments
94 Parking Spaces
Building Ht - 56'-0"
9 Townhomes



④

CURRENT
RENDERING
03-25-2021

80 Apartments
80 Parking Spaces
Building Ht - 45'-2"
17 Townhomes

RENDERINGS - DOWN E 123RD - PROGRESS



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



①

PREVIOUSLY
SUBMITTED
10-16-2020



③

PREVIOUSLY
SUBMITTED
02-23-2021

105 Apartments
105 Parking Spaces
Building Ht - 59'-10"
9 Townhomes



②

PREVIOUSLY
SUBMITTED
11-13-2020

102 Apartments
94 Parking Spaces
Building Ht - 56'-0"
9 Townhomes



④

CURRENT
RENDERING
03-25-2021

80 Apartments
80 Parking Spaces
Building Ht - 45'-2"
17 Townhomes

RENDERINGS - COLTMAN RD - PROGRESS

WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



WOODHILL DEVELOPMENT SITE

PROJECT DESCRIPTION

The proposed project transforms a vacant industrial lot, the former site of the Woodhill Supply Company, which burned down in 2015, into residential apartments and for-sale townhomes. This development proposes a 4-story apartment building with 80 total units, and 3.5-story townhomes. For-rent apartments will be a variety of studio, 1-bedroom, and 2-bedroom units with street side patios to line the street.

Three corners of the site are buffered to the neighbors by green spaces - a dog park, a playground and a sculpture garden [which will be available to the neighborhood to enjoy.] The taller portion of the proposed building is to the north, closer to the sculpture museum, and the building steps down to 3 stories to help reduce the scale approaching the neighborhood. A new private driveway to secure parking pulls the new apartment building away from the existing residents, along with ensuring better traffic flow, where the previous existing construction was much closer to the property line. The apartment building is pushed to the northern end to keep for-sale townhomes closer to the neighborhood. Parking will be concealed in the center of the new construction, off the existing streets.

This redevelopment project has progressed to incorporate a mixed density of for-sale and for-rent product. The original submission planned for 102 for-rent units and 9 for-sale townhomes. Through careful development considerations and discussions with various shareholders, the current proposal has been revised to include 80 for-rent units and 17 for-sale townhomes, with appropriate parking.

In addition, the site orientation has been designed to be least impactful to the existing neighborhood.

ZONING VARIANCES REQUESTED

Area Density - Parcel 'A'

Density increase, from code allowed 33,423 usable square feet on the 66,845 square foot lot to 68,000 rentable square feet requested.

Area Density - Parcel 'B' and 'C'

Per Townhouse Zoning Code, there is no floor area requirement when setback requirements are met for Parcels 'B' (23,570 square feet) and 'C' (6,020 square feet)

Parking Space Size

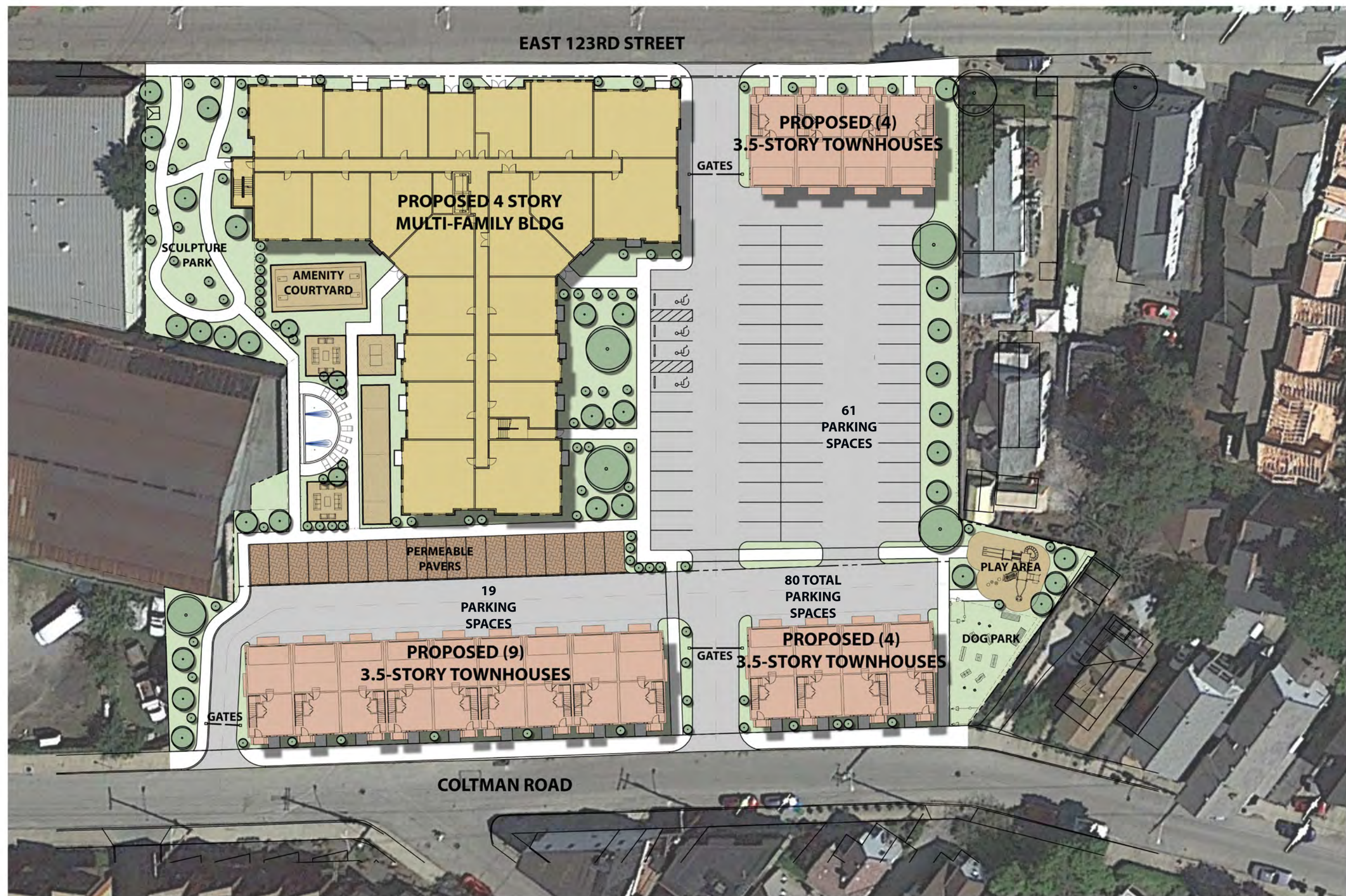
Reduction in size of parking spaces from code prescribed 9'-0" x 18'-0" to proposed 8'-6" x 18'-0"

PROJECT DESCRIPTION

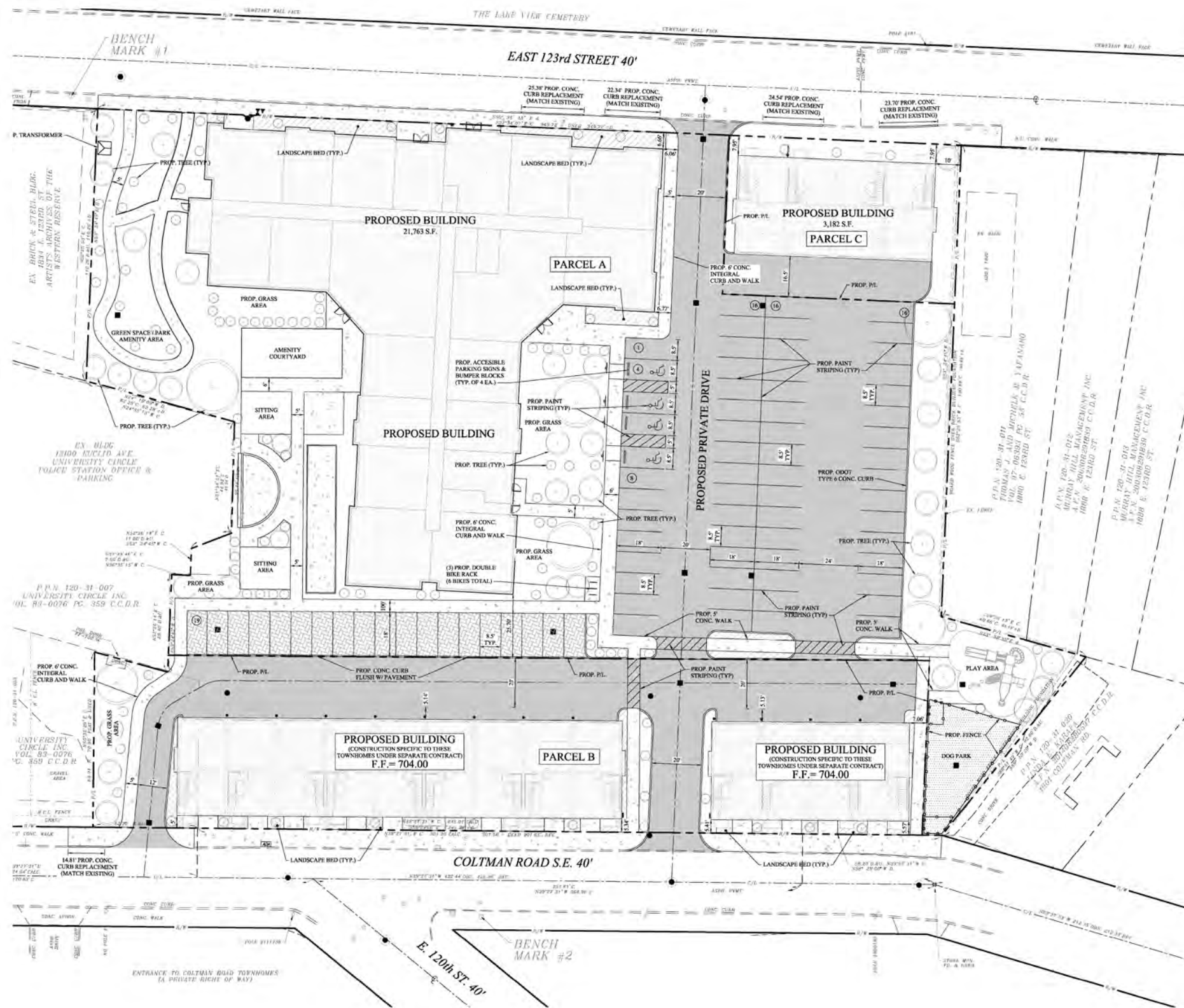
WOODHILL DEVELOPMENT SITE

1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO





SITE PLAN



SITE BENCH MARK
BENCH MARK #1 TOP OF HYDRANT ON SOUTH SIDE OF EAST 123RD ST. ON NORTH SIDE OF PROPERTY
ELEVATION = 899.01

SITE BENCH MARK
BENCH MARK #2 TOP OF HYDRANT ON SOUTH SIDE OF COLTMAN ST. ON SOUTH SIDE OF PROPERTY
ELEVATION = 702.87

SITE DATA

USE DISTRICT	= SI-B2 (SEMI-INDUSTRY)
PARCEL A	= 1.53 AC.
PARCEL B	= 0.54 AC.
PARCEL C	= 0.14 AC.
TOTAL SITE AREA	= 2.21 AC.
PROP. BUILDING AREA	= 24,945 S.F. (TOTAL FOOTPRINT)
NUMBER OF PARKING SPACES:	
REGULAR PARKING SPACES	= 76
HANDICAP PARKING SPACES	= 4
TOTAL PARKING SPACES	= 80
TOTAL BIKE SPACES	= 6

FLOOD ZONE

FLOOD ZONE "X" PER FLOOD INSURANCE
RATE MAP NUMBER 190150008E
COMMUNITY PANEL NUMBER 190104008E
EFFECTIVE DATE DECEMBER 01, 2010

LEGEND

	REGULAR DUTY ASPHALT
	CONCRETE PAVING
	PERMEABLE PAVERS
	LANDSCAPE BED

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



Scale: 1" = 20'

SITE PLAN



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



GROUND FLOOR



THIRD FLOOR



SECOND FLOOR



FOURTH FLOOR

FLOOR PLANS

MATERIAL LEGEND	
①	BRICK - MODULAR GLEN-GARY "CEDARVILLE"
②	METAL PAC-CLAD "FAUX WOODGRAIN - GOLDEN MAPLE"
③	LAP SIDING JAMES HARDIE "PLANK SELECT CEDARVILLE - RICH ESPRESSO"
④	METAL OVERHANGS PAC-CLAD "GRAPHITE"
⑤	WINDOW SYSTEM PLYGEM "BLACK"
⑥	DOOR SYSTEM PLYGEM "BLACK"
⑦	HOLLOW METAL DOORS TBD
⑧	BALCONY ENDURABLE "BLACK"
⑨	PICKET RAILING ENDURABLE "BLACK"



NORTH ELEVATION



SOUTH ELEVATION

ELEVATIONS



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO

MATERIAL LEGEND

1

BRICK - MODULAR
GLEN-GARY "CEDARVILLE"

2

METAL
PAC-CLAD "FAUX WOODGRAIN - GOLDEN MAPLE"

3

LAP SIDING
JAMES HARDIE "PLANK SELECT CEDARVILLE - RICH ESPRESSO"

4

METAL OVERHANGS
PAC-CLAD "GRAPHITE"

5

WINDOW SYSTEM
PLYGEM "BLACK"

6

DOOR SYSTEM
PLYGEM "BLACK"

7

HOLLOW METAL DOORS
TBD

8

BALCONY
ENDURABLE "BLACK"

9

PICKET RAILING
ENDURABLE "BLACK"



EAST ELEVATION



WEST ELEVATION

ELEVATIONS



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - APARTMENTS - VIEW LOOKING UP E. 123



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - APARTMENTS - VIEW LOOKING DOWN E. 123



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - APARTMENTS - AMENITY COURTYARD - VIEW FROM BEHIND TOWNHOMES



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - TOWNHOMES - VIEW LOOKING DOWN E. 123



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - TOWNHOMES - VIEW FROM COLTMAN RD GROUND FLOOR



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - TOWNHOMES - VIEW FROM COLTMAN RD CONTEXT



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - TOWNHOMES - VIEW FROM COLTMAN RD THIRD FLOOR



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



RENDERING - TOWNHOMES - VIEW FROM COLTMAN RD PARK SIDE



WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO



PLYGEM
SLIDING DOOR
"BLACK"



BALCONY/RAILING
ANODIZED ALUMINUM
"BLACK"



BRICK FACADE
GLEN-GERY
"CEDARVILLE"



PAC CLAD
FAUX WOODGRAIN METAL
"GOLDEN MAPLE"



JAMES HARDIE
LAP SIDING
"RICH ESPRESSO"



WINDOW SYSTEM
ANODIZED ALUMINUM
"BLACK"

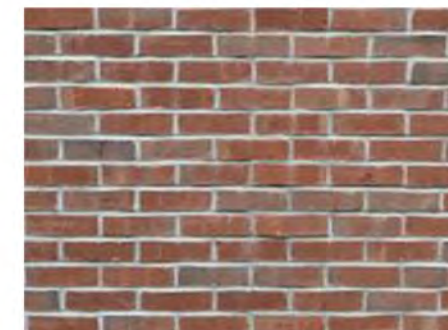
EXTERIOR FINISH BOARD - APARTMENTS

WOODHILL DEVELOPMENT SITE
1885 COLTMAN ROAD & 1862 E. 123RD STREET
CLEVELAND, OHIO





BRICK CORNER
GLEN GERY 1/2" MODULAR THIN
"ABERDEEN"



BRICK FACE
GLEN GERY 1/2" MODULAR THIN
"ABERDEEN"



LAP SIDING
SMOOTH COMPOSITE
"PORTABELLO SW6102"



LIGHT FIXTURE
KICHLER
ARCHITECTURAL
BRONZE
"LYNDON"



GARAGE DOOR
CLOPAY GALLERY COLLECTION
LONG PANEL WITH PLAIN GLASS
"SANDSTONE"



FRONT DOOR
THERMA-TRU
1/4" LIGHT WITH PANELS
"HICKORY"



WINDOW/TRIM
JELD-WEN PREMIUM
VINYL CASEMENT/AWNINGS
"CHESTNUT BRONZE"



RAILING / BRACKET
ALUMINUM OR EQUAL
"BLACK"

BALCONY DECKING
AZEK PAVER SYSTEM
"OLIVE"

EXTERIOR FINISH BOARD - TOWNHOMES



Case 21-031: Lorain Avenue Historic District

Lorain Avenue and West 47th Street

New Construction of Townhouses

Ward 3: McCormack

Project Representatives: Hannah Cohan Plessner (Knez Homes); Jim Miketo,
Michael J. David, Patrick Thornton, Chris Blue



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: 3/25/21

PROJECT NAME: W. 47th St. & Lorain Townhomes

PROJECT ADDRESS: PPN 002-34-129 & 002-34-128

PROJECT LOCATION (if no address): Northeast corner of W. 47th St. & Lorain Ave.

CONTACT PERSON (for design review): Hanna Cohan

COMPANY: B.R. Knez Construction, Inc.

PHONE: 440-710-0711

EMAIL: hcohan@knez.net

OWNER: Teddy Rider, LLC

ARCHITECT/ CONTRACTOR: Sixmo Inc. / B. R. Knez Construction, Inc.

PROJECT TYPE: ☒ New Building ☐ Rehabilitation ☐ Addition ☐ Sign ☐ Fence ☐ Parking ☐ Storefront

USE TYPE: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional ☐ Mixed-Use

Review Level: ☐ Conceptual ☒ Schematic Design ☐ Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

3/25/21

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

PROJECT SUMMARY
W. 47th & Lorain Townhomes

The proposed W. 47th & Lorain Townhomes project is located at the northeast corner of W. 47th Street and Lorain Avenue. It's comprised of eight townhomes divided into two buildings. There are a variety of different townhome sizes and configurations to provide diverse options for pricing and lifestyle. They range in size from approximately 1,650 square feet to 3,100 square feet. There is a mix of two and three bedroom units with a flex space well suited for a home office on the first floor of each. The townhomes with frontage on W. 47th Street are three stories with a roof deck. The townhomes with frontage on Lorain Avenue are four stories with a roof deck on the fourth story. All units included attached garages. The corner unit features an English basement style garden level apartment that can be either utilized by the owner or rented out as an income suite. Private services will be managed by a homeowners' association including landscape maintenance, trash pickup, and snow removal. The units will be market rate, fee simple townhomes.

The proposed site configuration and density provide an appropriate transition from the more residential character of W. 47th Street to the commercial corridor of Lorain Avenue. This type of development promotes a walkable urban neighborhood and supports existing neighborhood services. There are no additional curb cuts required for this project. The development fits within the RA-3 zoning standards and townhomes are an allowable use under the Local Retail zoning district. No zoning variances are anticipated.

Knez Homes is a leader locally and nationally in sustainable development and the building and selling of homes. Knez Homes is presenting this development in partnership with Forest City Shuffleboard in order to further positive and responsible development in the Ohio City neighborhood. All Knez homes meet or exceed the Enterprise Green Building Standards and Energy Star Guidelines. Knez designed communities and products are award winning and desired by customers at a variety of price points. Together, Forest City Shuffleboard and Knez have a proven track record of performance and success within the neighborhood and look forward to the opportunity to extend that success with the W. 47th & Lorain Townhomes.

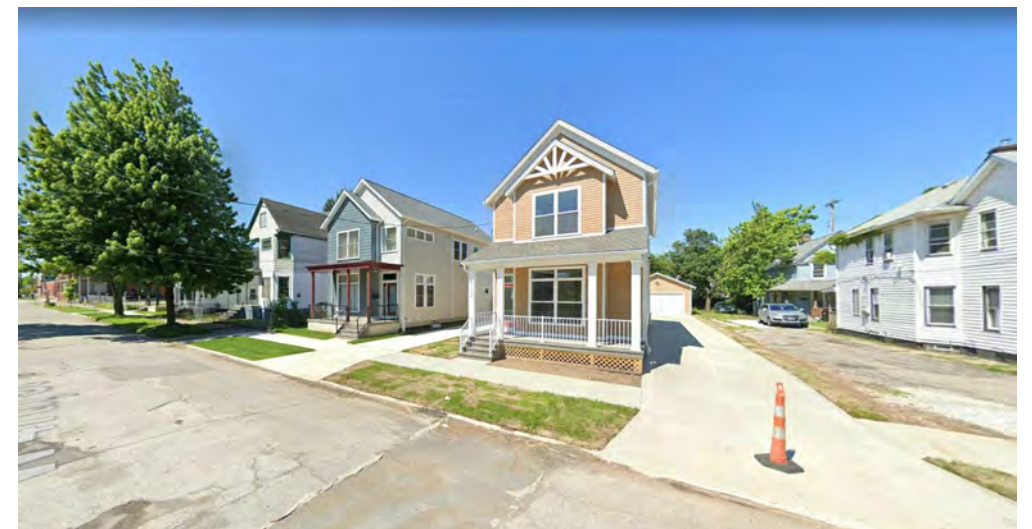
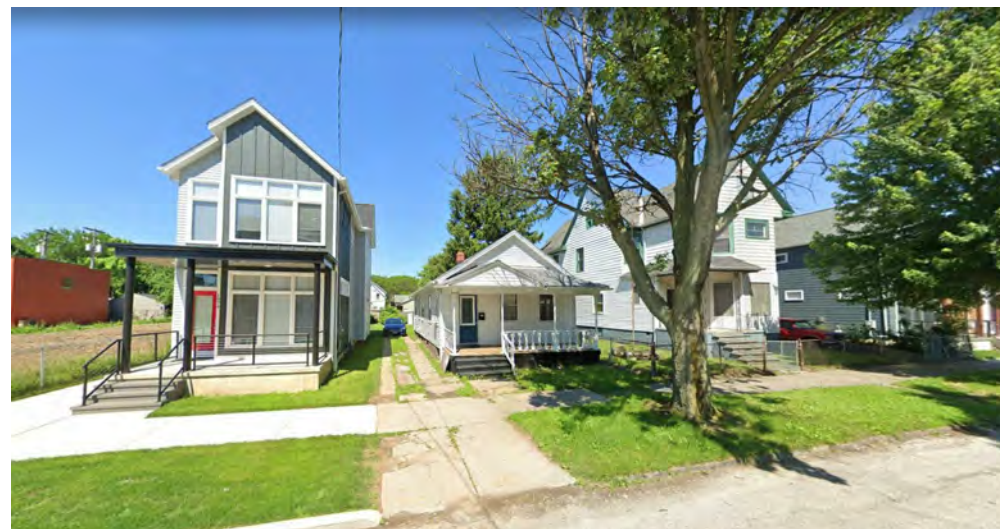
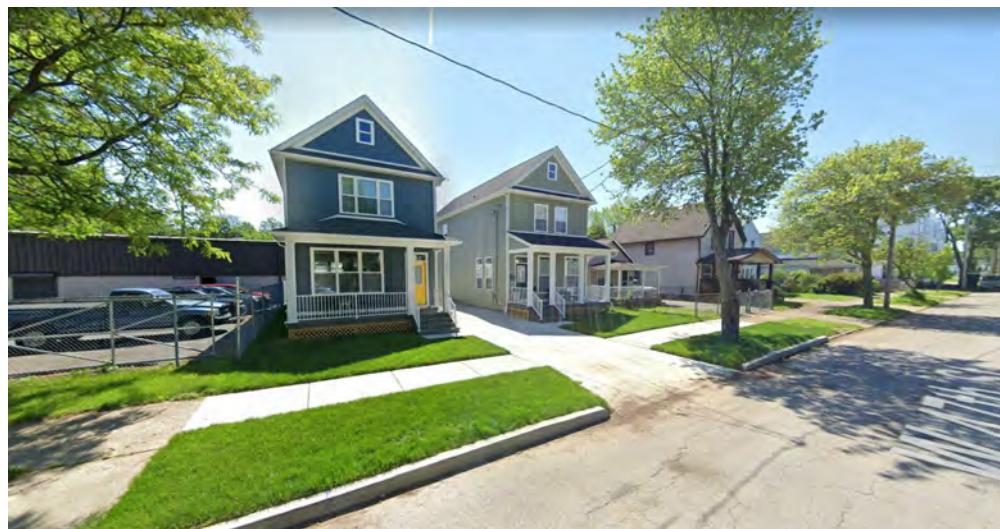
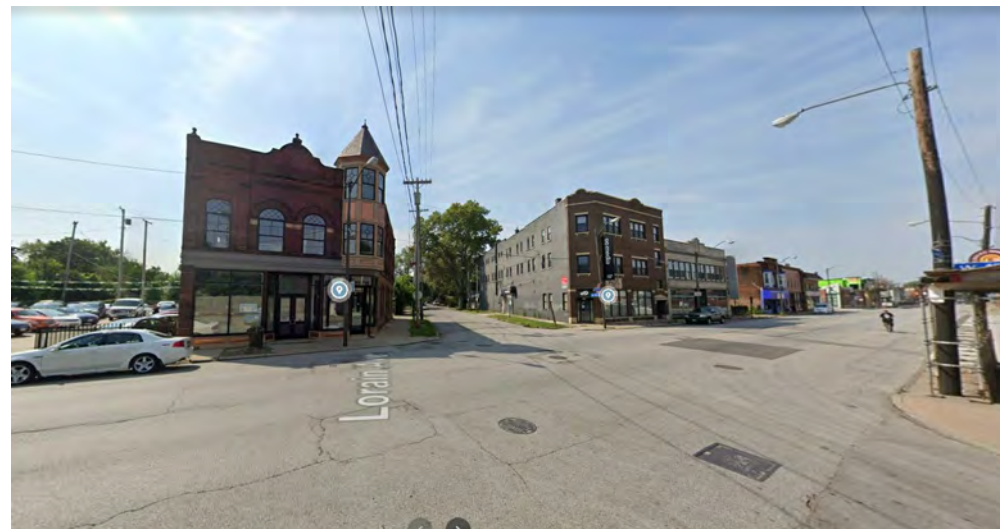
W 47th and Lorain Townhomes

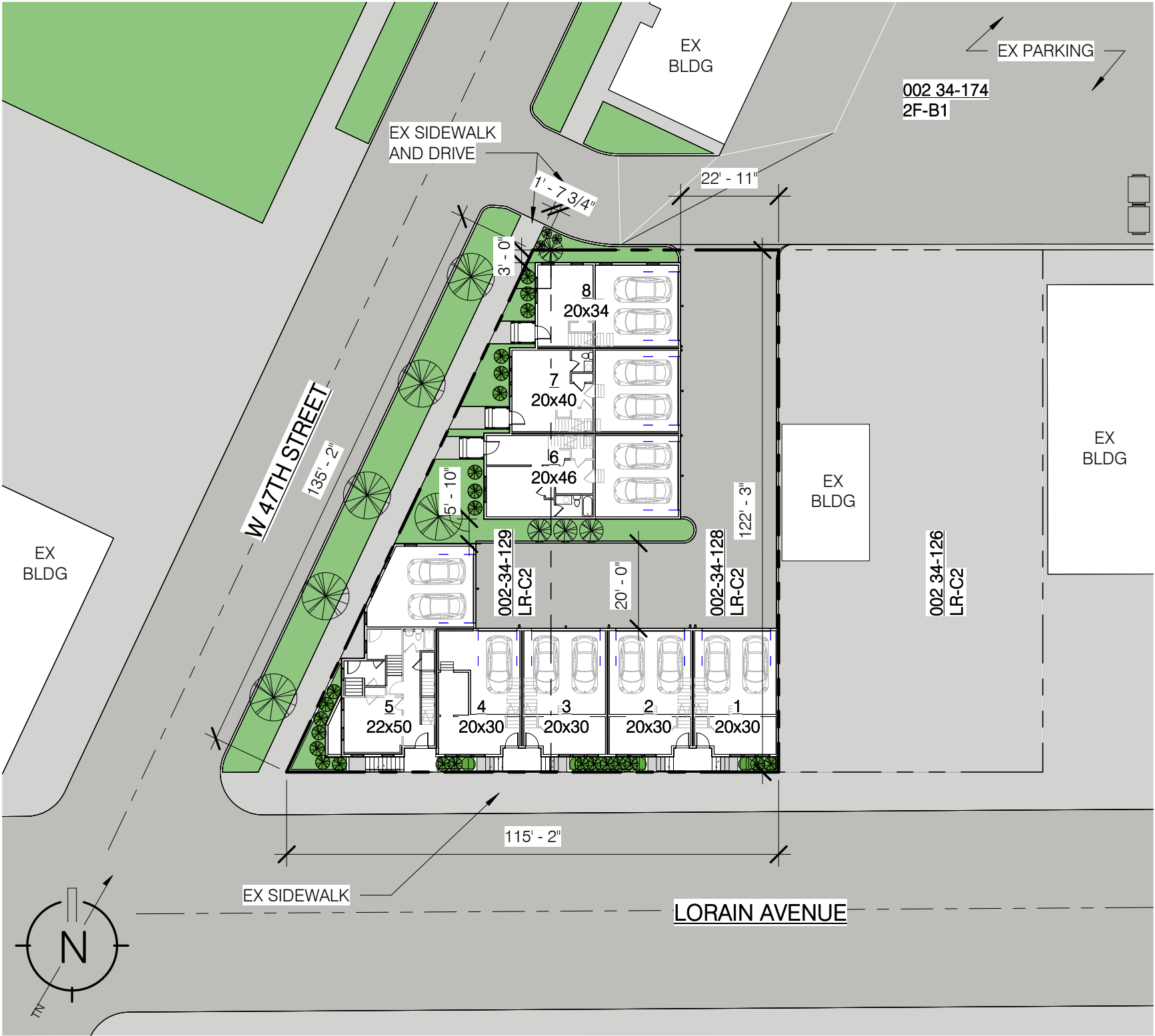
Cleveland. Ohio

03.22.2021









ZONING ANALYSIS		
RA-3		
	REQUIRED	PROPOSED
FRONT YARD DEPTH	0-12'	0'-7'10"
INTERIOR SIDE YARD DEPTH		
ADJOINING 2 FAMILY DISTRICT	3' MIN	3' MIN
ADJOINING OTHER DISTRICT	NONE	NONE
REAR YARD DEPTH		
ADJOINING 2 FAMILY DISTRICT	6' MIN	N/A
ADJOINING OTHER DISTRICT	NONE	N/A
FIRST FLOOR GLAZING		
PRINCIPAL FRONTAGE	35% MIN	35-42%
SECONDARY FRONTAGE	25% MIN	41%
ACTIVE USE:		
PRINCIPAL FRONTAGE	60% FRONTAGE 9' MIN DEPTH	60% MIN 9' MIN
FRONTAGE FEATURES:	B,C,D, OR E 16 SF MIN	B, E 22-50 SF
HEIGHT OF FINISHED FLOOR ABOVE GRADE:	28" - 66"	28"-64"
HEIGHT LIMIT (2):	60'-0"	48'

FINISHED FLOOR AREA						
	FIRST FL	SECOND FL	THIRD FL	PENTHOUSE	GARDEN	TOTAL
UNIT 1:	170	591	591	354	-	1,706
UNIT 2:	175	608	607	363	-	1,754
UNIT 3:	175	608	607	363	-	1,754
UNIT 4:	332	607	606	363	-	1,908
UNIT 5:	549	868	867	275	570	3,129
UNIT 6:	491	875	875	157	-	2,398
UNIT 7:	385	780	780	157	-	2,102
UNIT 8:	261	645	645	115	-	1,666



1 Units 1-5 South Elevation
 1/8" = 1'-0"



1 Units 1-8 West Elevation
1/8" = 1'-0"





1 Units 1-8 East Elevation
1/8" = 1'-0"



1 Units 1-5 North
1/8" = 1'-0"



SW 7564
Polar Bear



SW 7546
Praire Grass

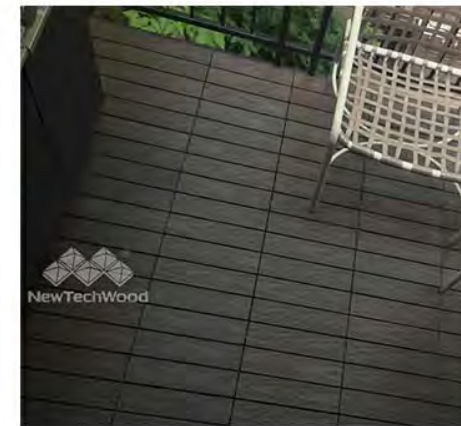
Fiber Cement Panel

*Hardieboard Smooth Panel or Similar
Colors as shown*



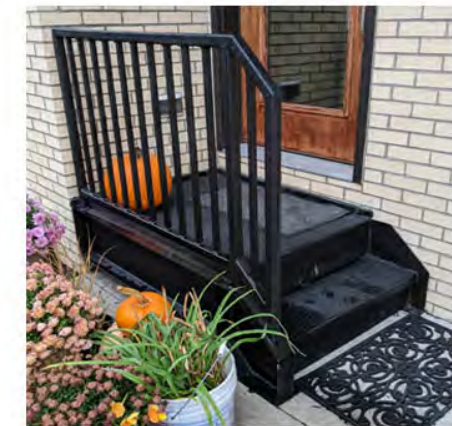
Windows

*Simonton Premium Vinyl
with Versatex corner and
field trim to match
Color: Cream*



Composite Roof Tiles

*NewTechWood
Color: Spanish Walnut*



Stoops

*Premanufactured steel to match Forest City 5 (at W47th units only)
Color: Bronze to match aluminum railing*



8533 Velour



481-483 Velour

Thin Brick

*Belden Brick Co
Colors as shown*



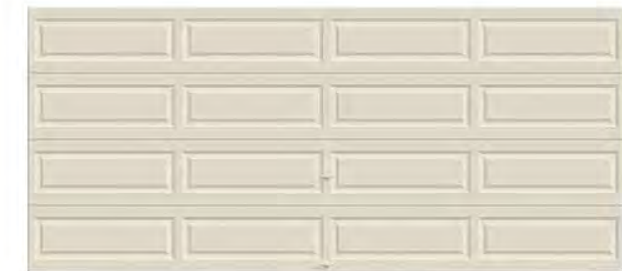
Lap Siding

*Alside Coventry
5" Exposures
Colors as shown*



Entry Door

*Therma Tru - Pulse
Color: SW 7048 Urbane Bronze*



Garage Door

*Clopay - Classic Long Panel
Color: Almond*



Tuscany



Riviera

Aluminum Railing

*Westbury or Similar
Color: Bronze Fine Texture*



Exterior Lighting

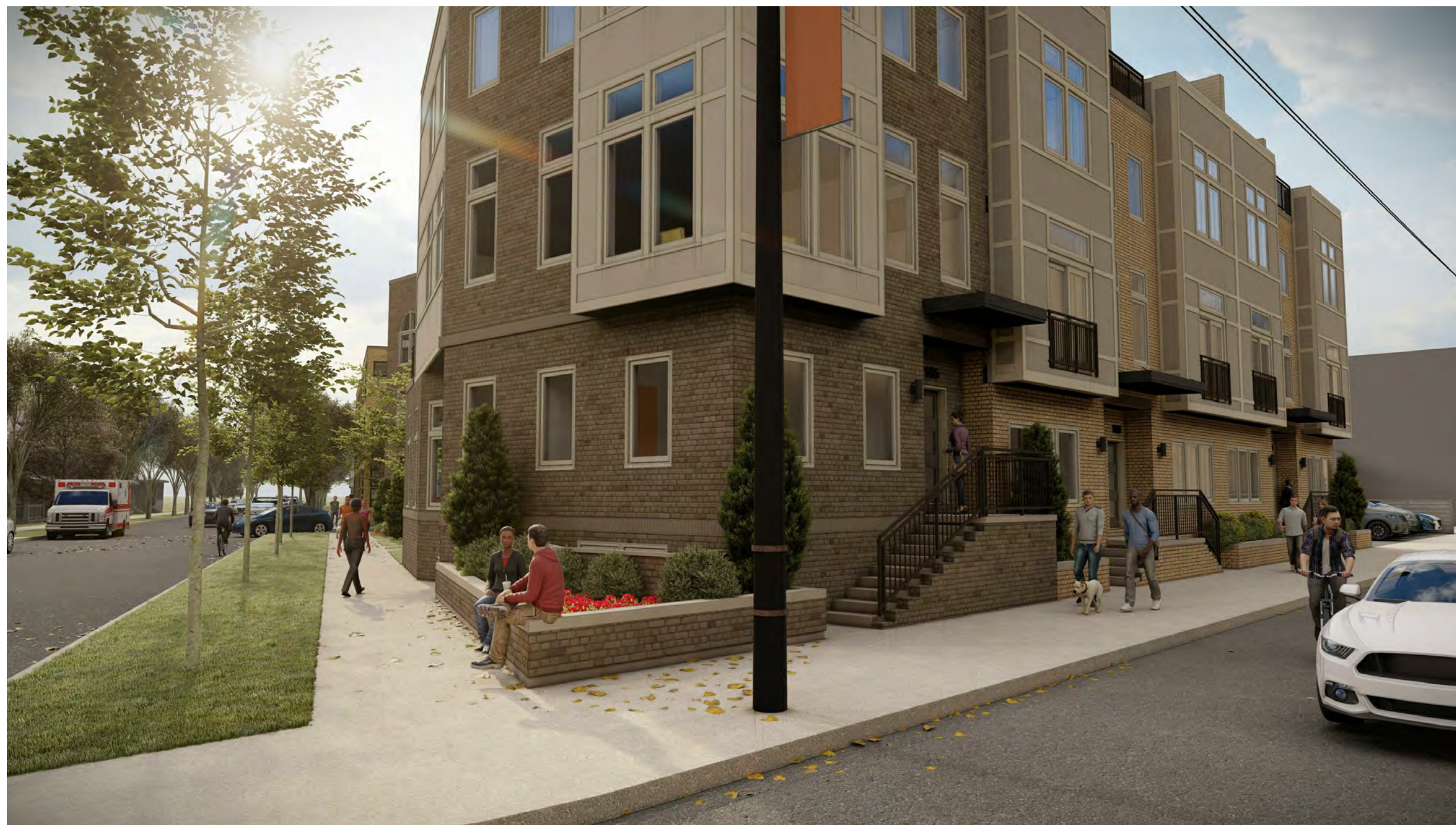
*Kichler Lyndon
Color: Architectural Bronze*





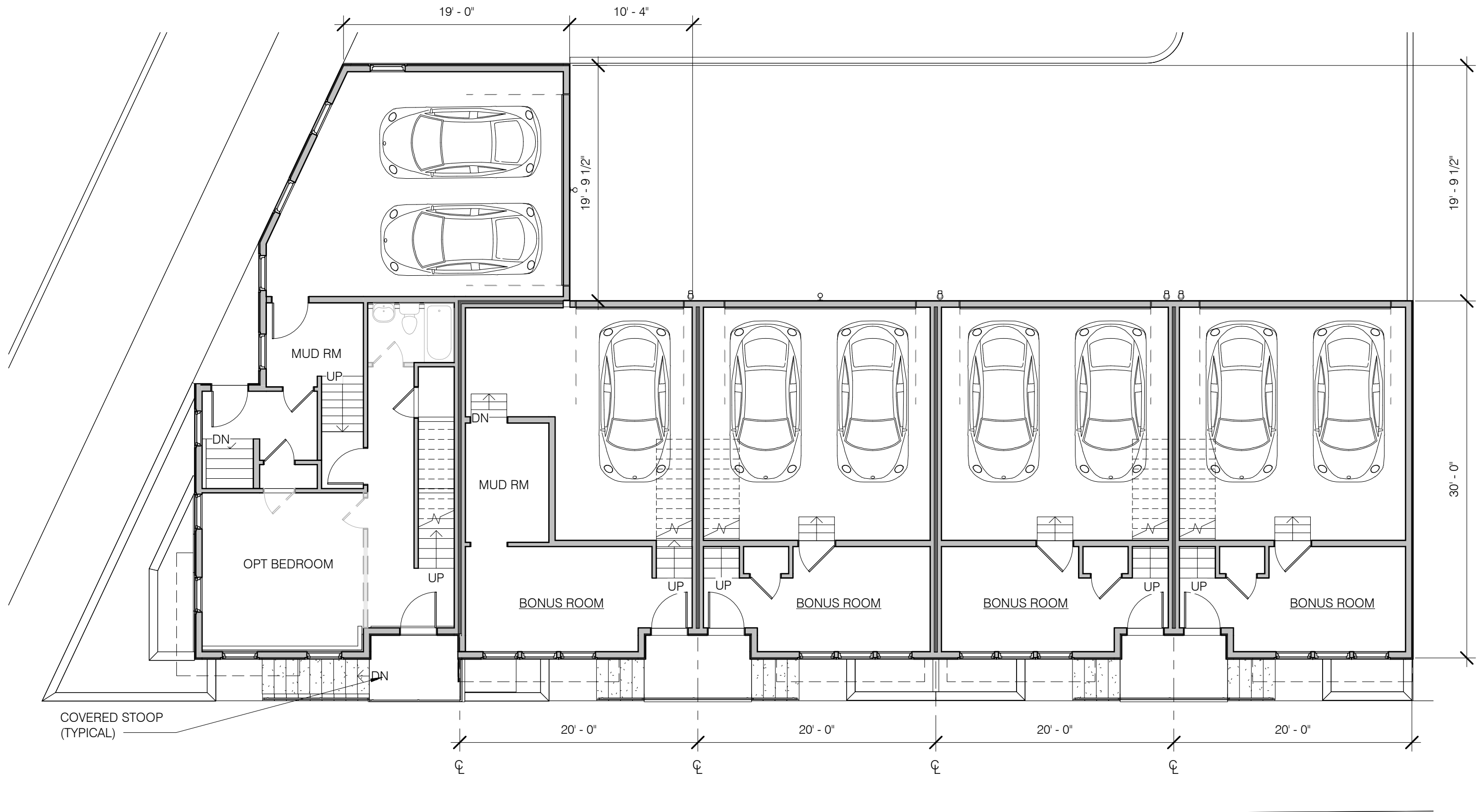


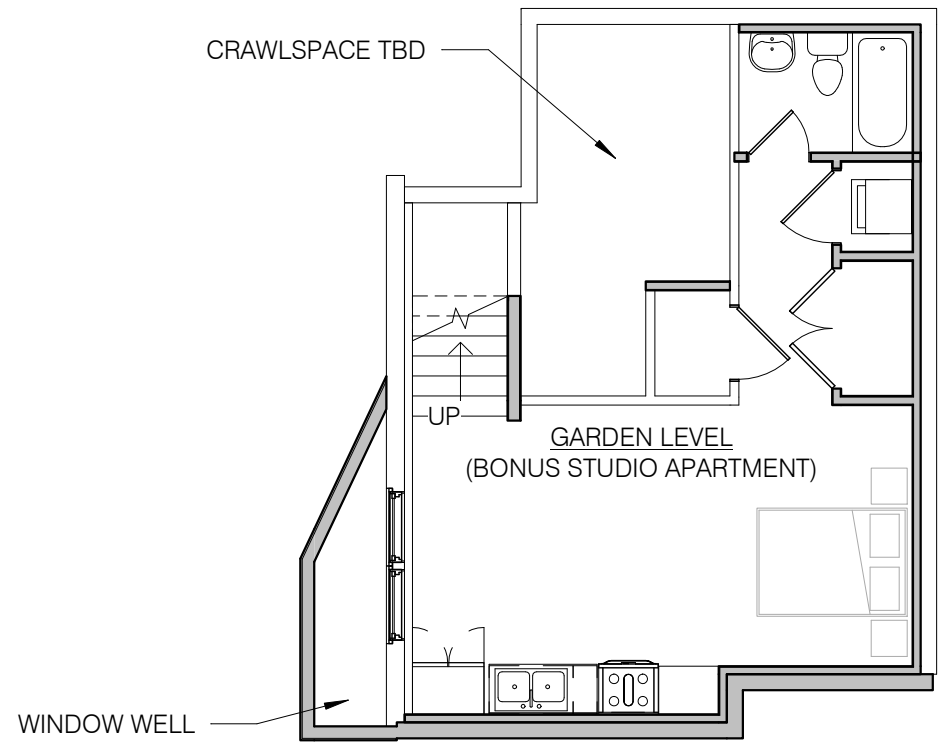


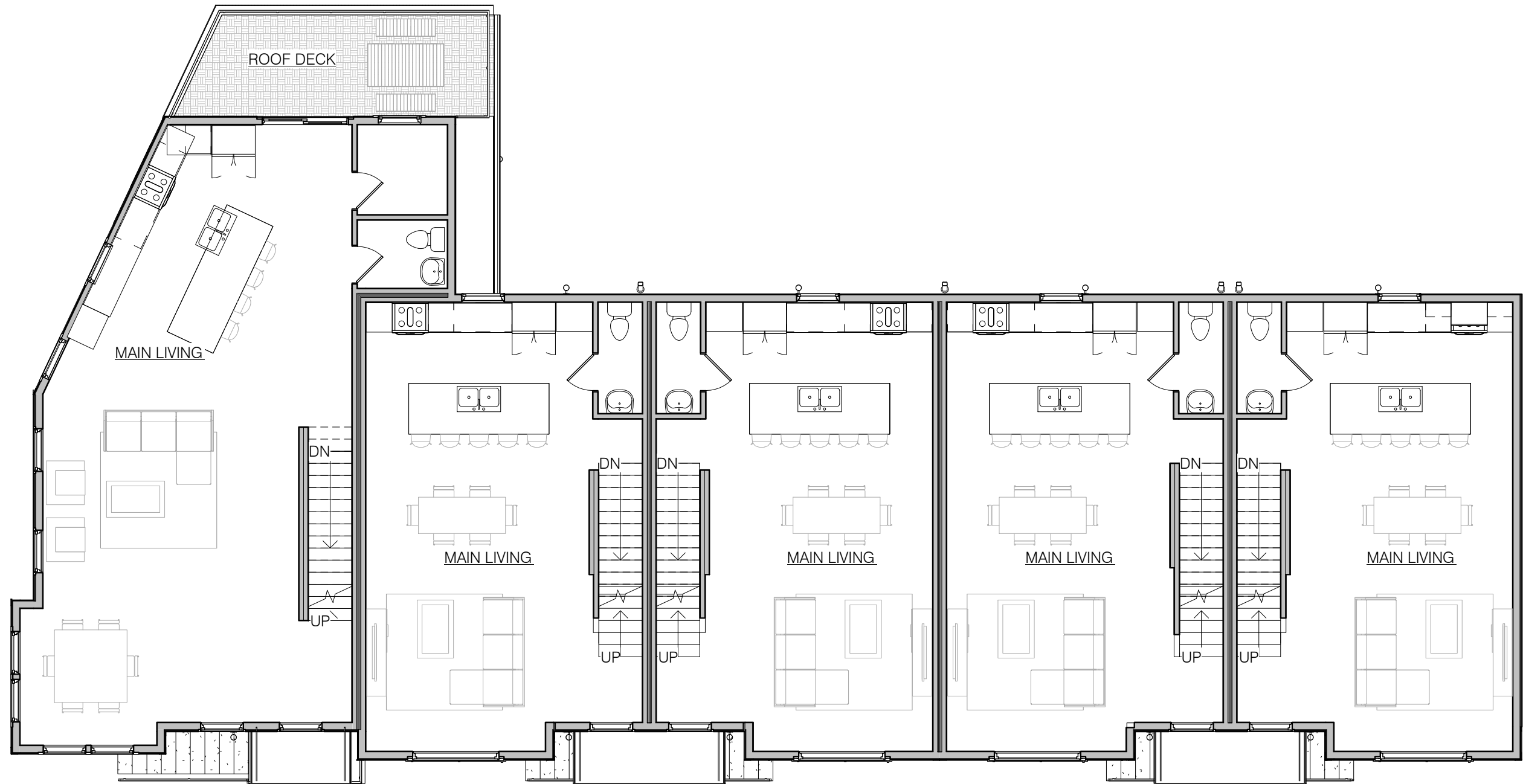


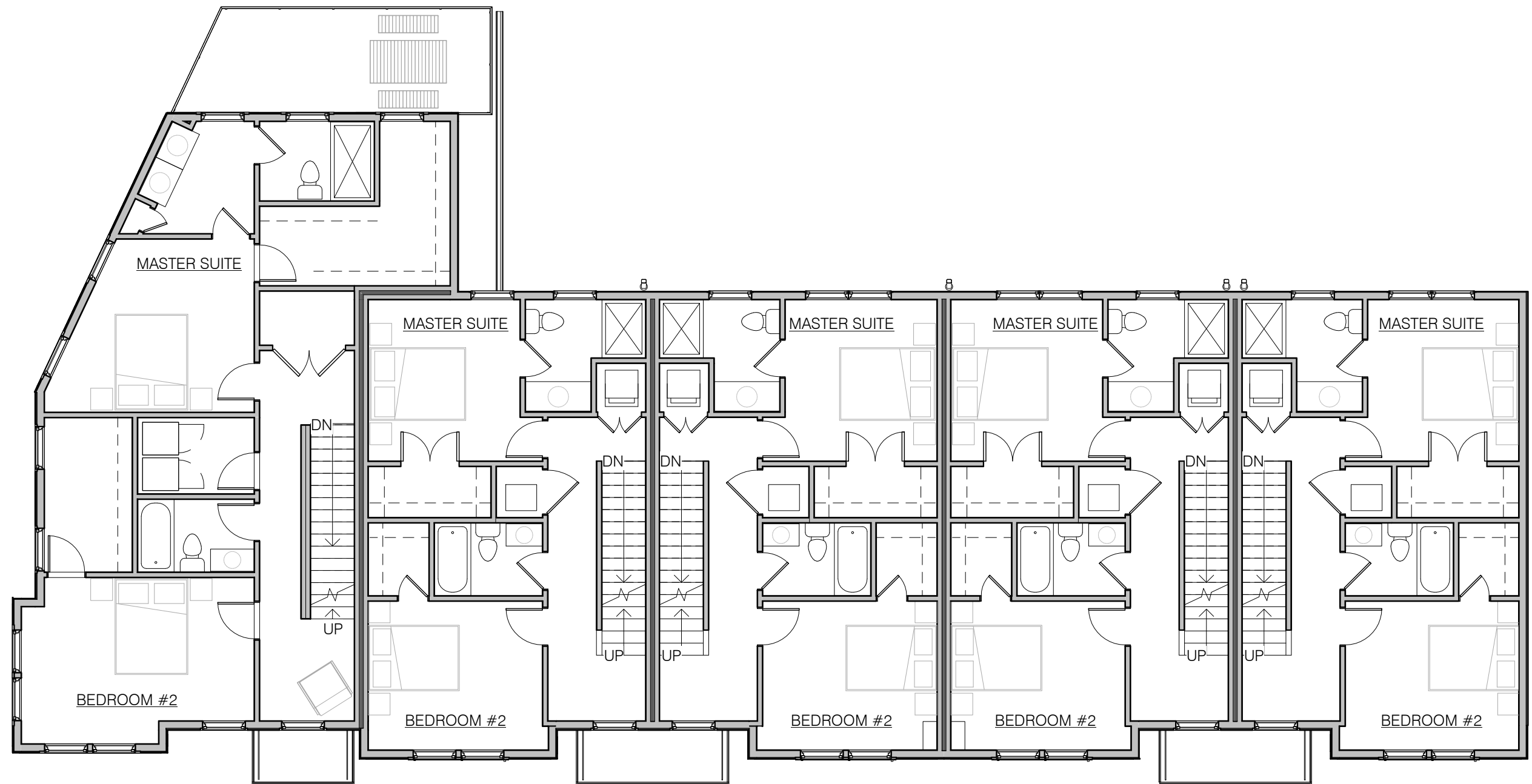


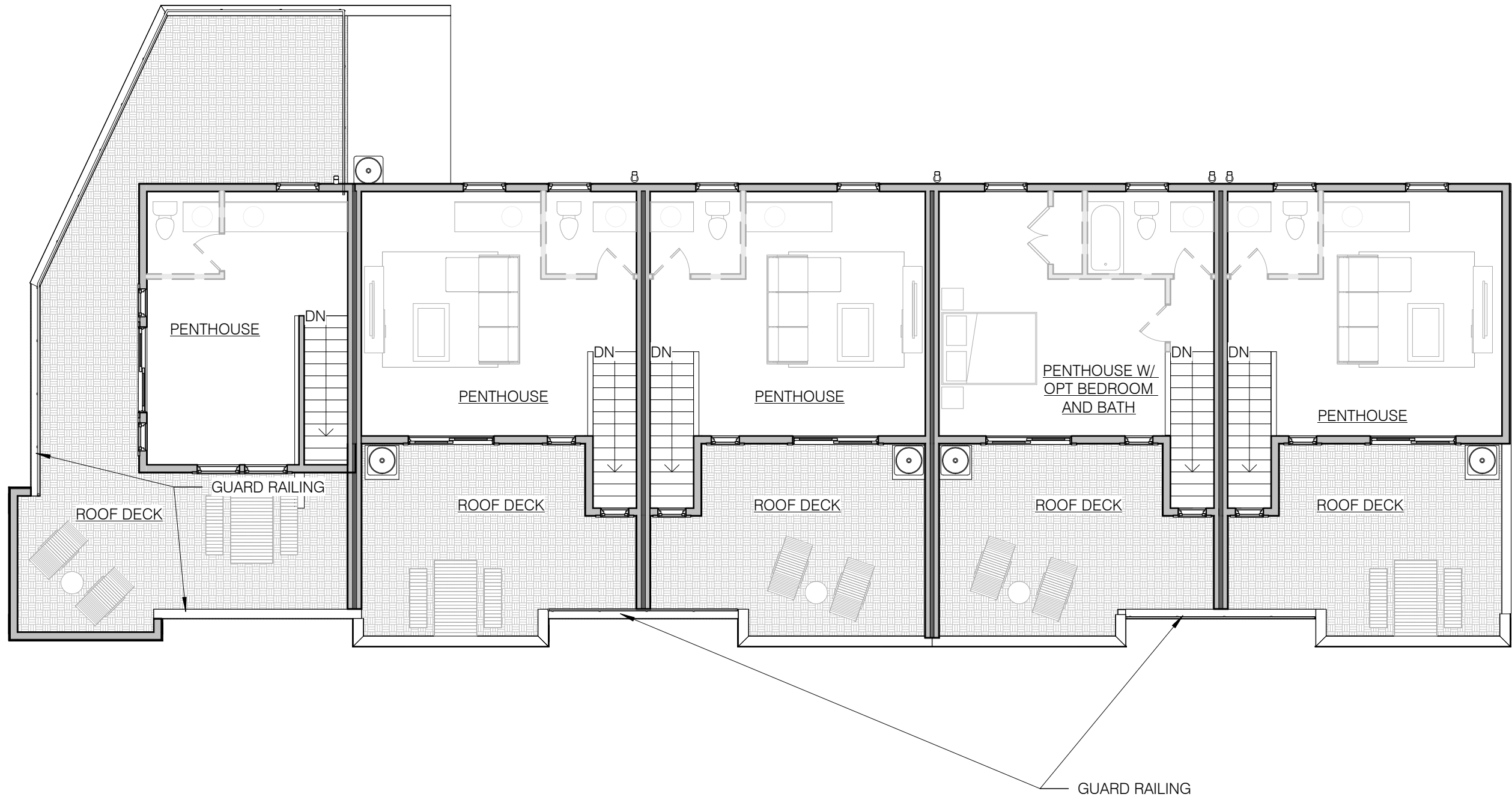


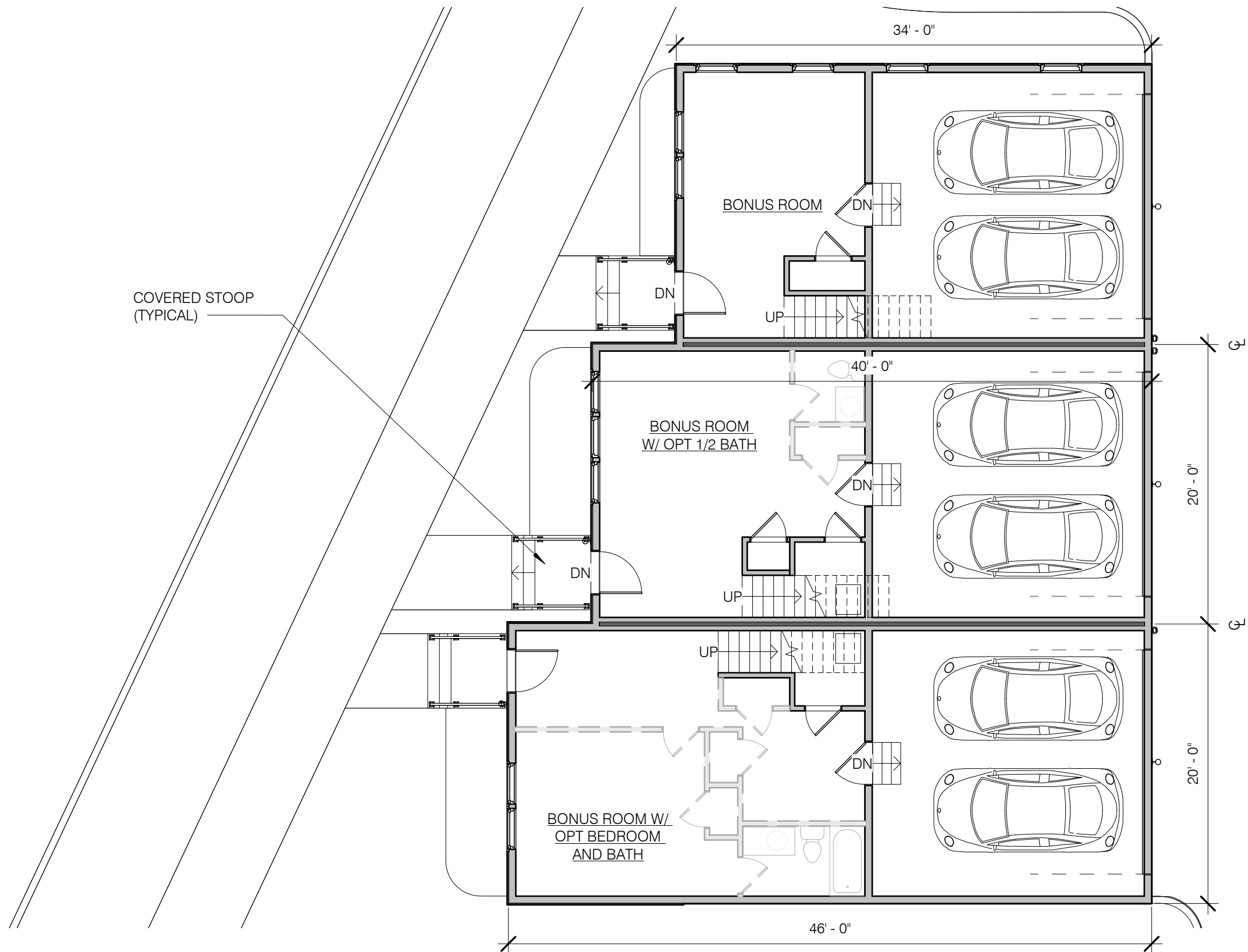


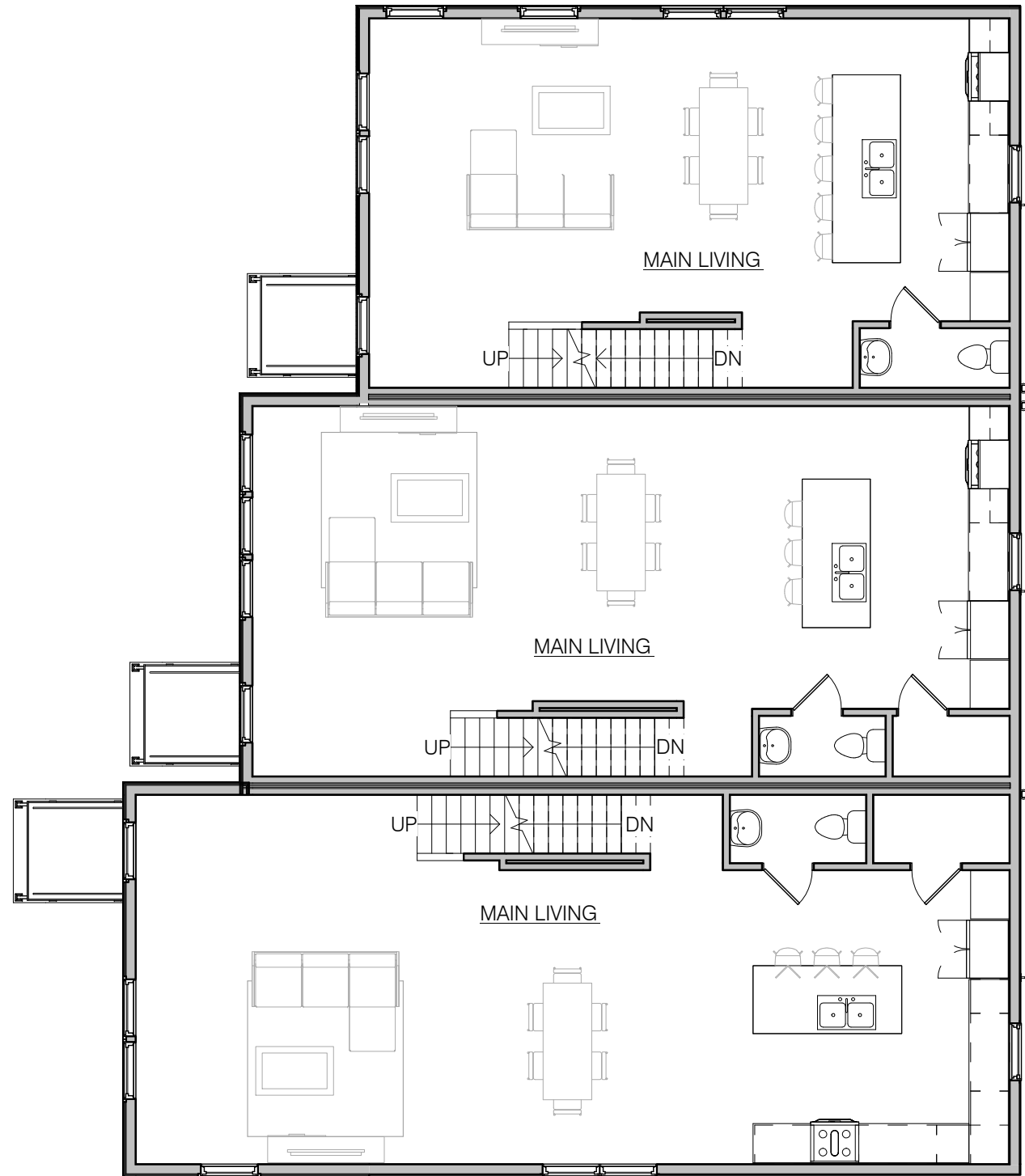


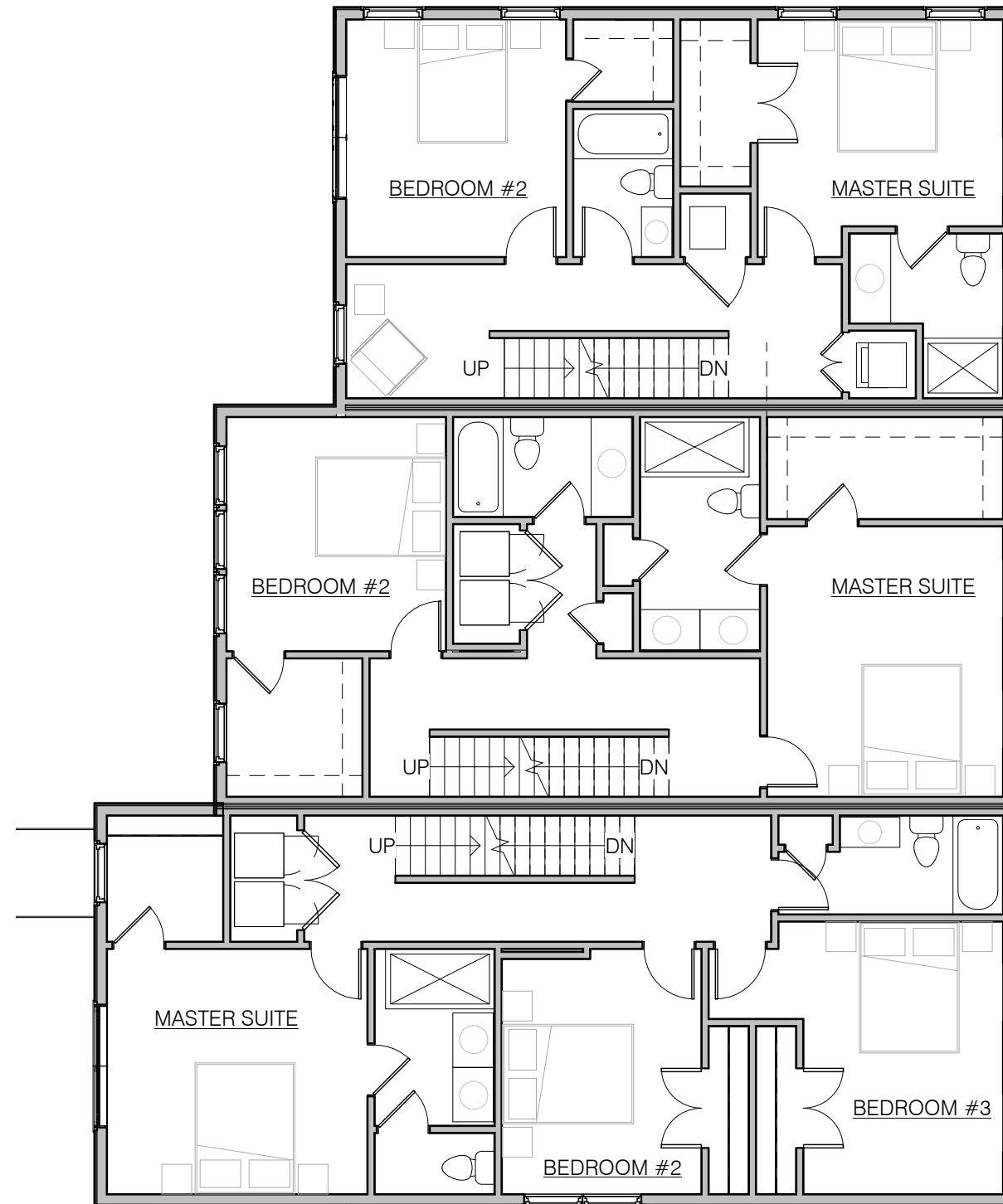


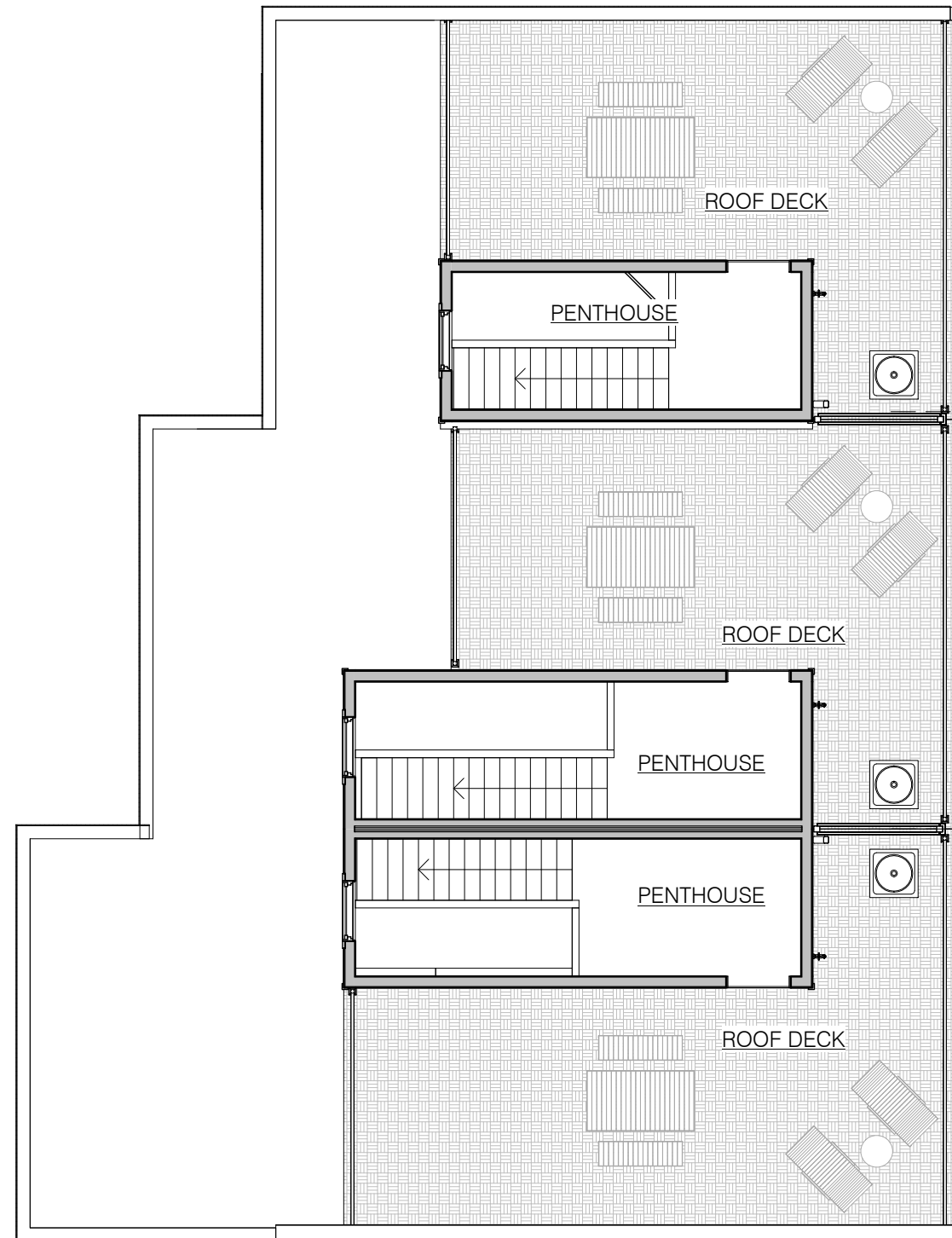














CITY OF CLEVELAND

Office of the Council

www.clevelandcitycouncil.org

Kerry McCormack COUNCIL MEMBER, WARD 3

COMMITTEES: Health & Human Services - *Chair*

Development, Planning & Sustainability • Finance • Operations • Utilities

March 26th, 2021

To Whom It May Concern,

I am writing to express my full support for the proposal presented by Knez Homes at West 47th and Lorain Avenue. The proposal fills an important gap along the historic Lorain Avenue corridor that is finally seeing significant revitalization. I appreciate the fact that the design presents a welcoming, yet durable appearance for a major corridor. The project also prioritizes walkability and connection into the interior part of the Ohio City neighborhood.

This project encompasses what the community and City are looking for in high quality and contextual developments that bring vibrancy to our major corridors and the community.

Please don't hesitate to reach out to me with any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Kerry McCormack".

Kerry McCormack

City of Cleveland Councilman, Ward 3



Case 21-032: Hessler Road Historic District

11300 Hessler Road

New Construction

Ward 6: Griffin

Project Representatives: Richard Maron, Russell Berusch; Daniel Sirk, Ewa Sirk,
Architects, SA Group



Case 21-033: Hessler Road Historic District
1975 Ford Drive

Renovation

Ward 6: Griffin

Project Representatives: Richard Maron, Russell Berusch; Daniel Sirk, Ewa Sirk,
Architects, SA Group



Case 21-034: Hessler Road Historic District
1981 Ford Drive

Renovation

Ward 6: Griffin

Project Representatives: Richard Maron, Russell Berusch; Daniel Sirk, Ewa Sirk,
Architects, SA Group

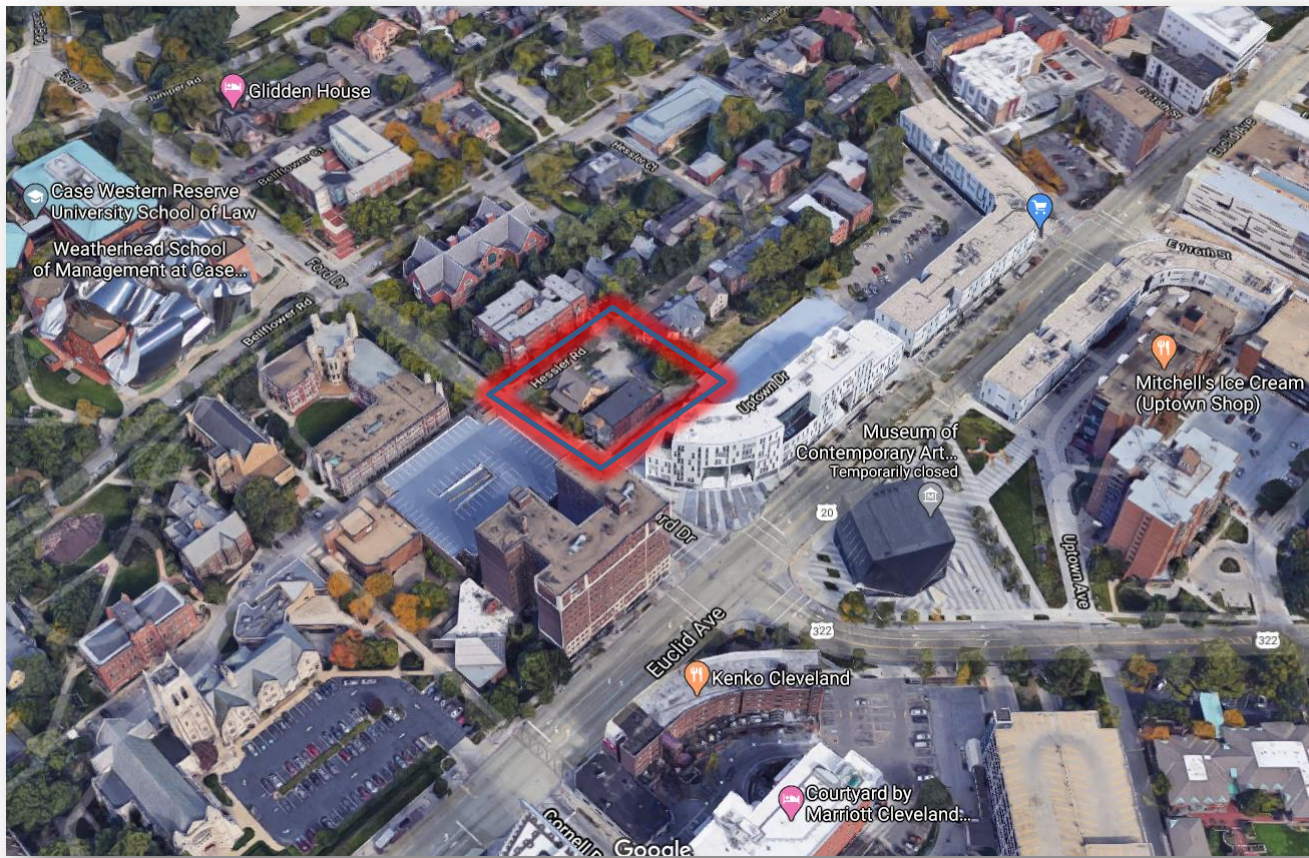


Case 21-035: Hessler Road Historic District
11300 Hessler Road Garage

Demolition

Ward 6: Griffin

Project Representatives: Richard Maron, Russell Berusch; Daniel Sirk, Ewa Sirk,
Architects, SA Group



Planning Framework & Design Principles for 1975 and 1981 Ford Road existing buildings

- Preserve existing Historic Fabric along Ford Road.
- Maintain wood finish @ 1975 Ford.
- Select exterior color pallet befitting of structure in historic district @ 1975 Ford.
- Maintain brick material @ 1981 Ford with appropriate tuck-pointing & maintenance of masonry.
- Accentuate natural light opportunities where appropriate.
- Enhance Connection to Ford Road via inviting front porches.
- Install landscape and plantings appropriate for four-season Cleveland climate.

Planning Framework & Design Guidelines for Hessler Street property

- Infill vacant property on Hessler Road.
- Align building setback to neighboring Hessler properties.
- Maintain verticality within two floors of any neighboring property.
- Incorporate design cues of neighboring properties, such as balconies.
- Design to achieve “eyes on the street” effect through outdoor porches and larger front windows.
- Maximize pedestrian access to building w/ADA accommodations.
- Minimize curb cuts on street.
- Minimize visible on-site vehicular parking and garage doors.

Statement of Support for 1975 & 1981 Ford

UCI selected and supports the Berusch Development Partners team to create a future development that:

- Preserves, restores, and respects the existing fabric in the Hessler Historic District.
- Provides infill on Hessler Road with quality new construction that adds a unique housing product to the market.
- Adds additional residential density to the district that:
 - Enhances neighborhood vitality,
 - Supports existing retail,
 - Promotes walkability and public transit ridership,
 - Increases safety with more eyes on the street,
 - Has committed to maintain high level operational and management standards.



1981 Ford | Existing Apartment Building



1975 Ford | Existing Apartment Building



1975 Ford | Existing Exterior



Paint PT-1
(Siding)
Sherwin Williams
Color: SW 7533 Khaki Shade



Paint PT-2
(Columns and Roof Trims)
Color To Match Existing
Sherwin Williams
Color: SW 7701 Cavern Clay



Paint PT-3
(Window Trims)
Color To Match Existing
Sherwin Williams
Color: SW 7533 Roycroft Brass





ZONING INFORMATION **ZONING DISTRICT = MF-E3**

Multi Family, 1 1/2 x Lot Area, 119 Height Limit,
No MINIMUM Lot Area for Multi Family

§ 357.06 Exceptions to Front Yard and Side Street Yard
Regulations

(a) Alignment to Existing Building Lines.
§ 357.08 Required Rear Yards

In a Residence District the depth of a rear yard shall be not less than fifteen percent (15%) of the depth of the lot but in no case less than twenty (20) feet; provided that in a Limited One-Family District, One-Family District or Two-Family District, such depth shall be not less than the height of the main building, and in a Multi-Family District such depth shall be not less than one-half (1/2) the height of the main building.

§ 357.09 Required Interior Side Yards

Min. distance to property line 7'-0"

Min. distance between main buildings on adjoining lots 10'-0"

DENSITY CALCULATION

EXISTING 1981 FORD LOT REQUIRED : 3,874 SF

NEW LOT PROVIDED: 5,250 SF

COMPLIES

EXISTING 1975 FORD LOT REQUIRED: 2,490 SF

NEW LOT PROVIDED: 5,580 SF

COMPLIES

PROPOSED 11300 HESSLER LOT REQUIRED: 4,990 SF

NEW LOT PROVIDED : 6,849 SF

COMPLIES

PARKING REQUIREMENT

§ 349.05 Location of Required Space

(a) The required accessory off-street parking facility shall be located on the same lot as the use for which it is provided or on a lot within four hundred (400) feet of the nearest boundary of the lot upon which the use is located measured by a straight line between the two (2) points; or, the Off-Street Parking Committee may determine that the building or use in question is served adequately by a Municipal or private parking facility. All such parking spaces shall be located behind the setback building line. No such parking space shall be located within ten (10) feet of any wall of a residential building or structure if such wall contains a ground floor opening designed to provide light or ventilation for such building or structure.

(b) The separate lot upon which such accessory parking facilities are provided shall be in the same ownership or control as the building or use to which the parking facilities are accessory.

PARKING SUMMARY

PARKING

CARS : (9)

ADA PARKING: (1)

CARS TOTAL: (10)

ADDITIONAL OFF-STREET

PARKING AND PUBLIC

PARKING GARAGE IS

AVAILABLE

WITHIN 400 FEET

APARTMENT UNITS

1975 FORD: (5) UNITS

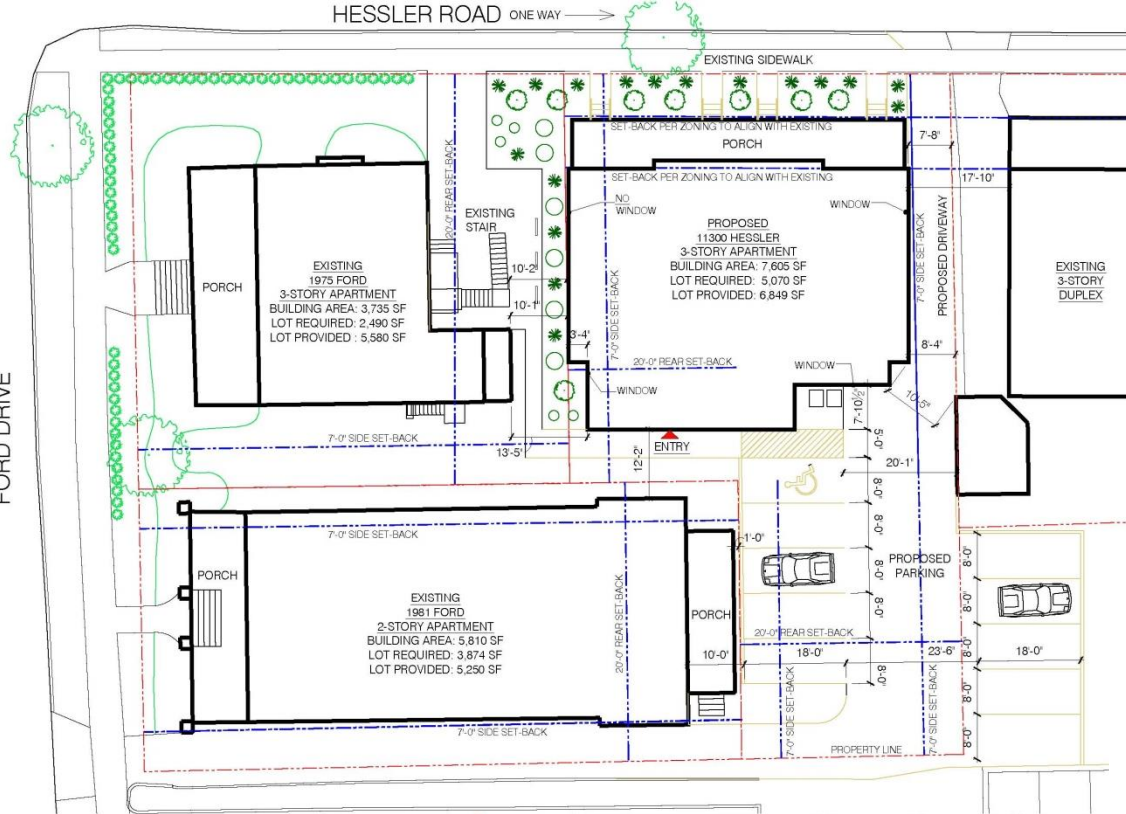
1981 FORD: (4) UNITS

11300 HESSLER: (12) UNITS

UNITS TOTAL: (21)

FORD DRIVE

HESSLER ROAD ONE WAY



Planting Material List



(HT)
Hydrangea paniculata



(TME)
Taxus x media
'Everlow'



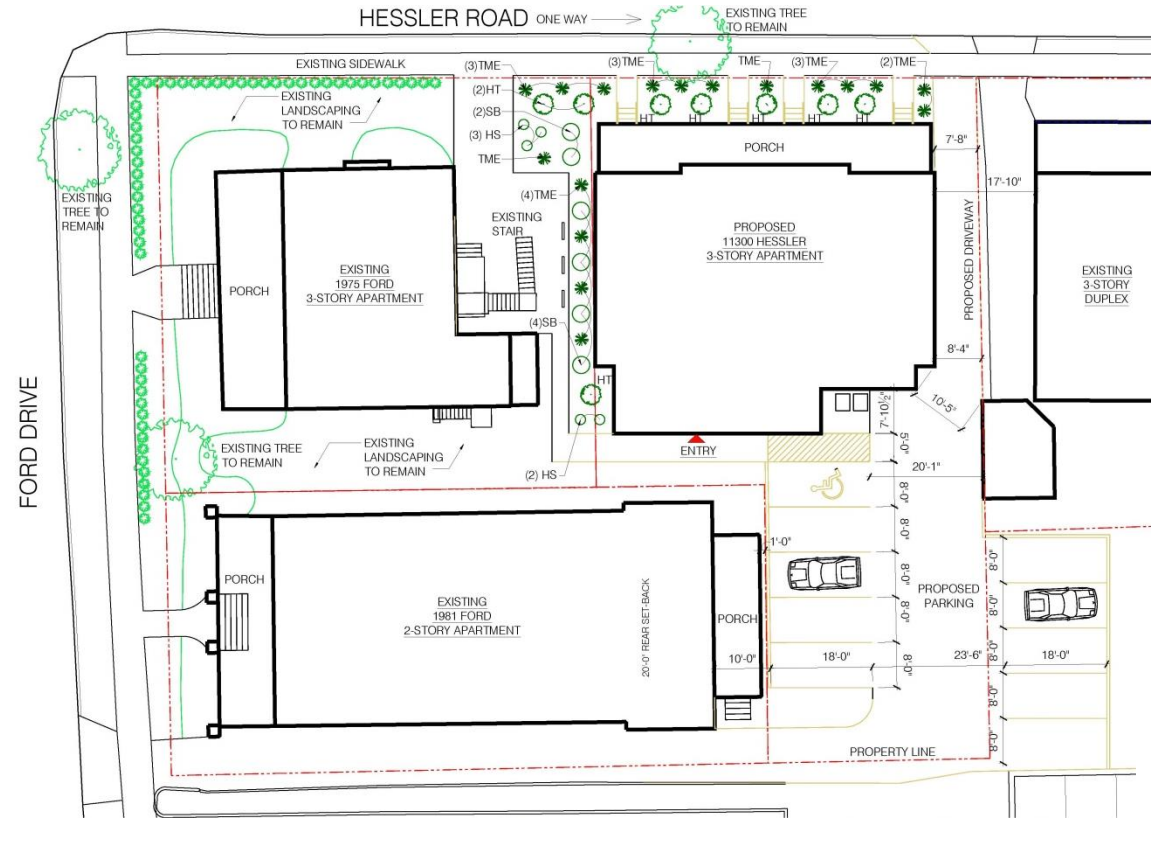
(SB)
Spiraea x Bumalda



(HS)
Hemerocallis Stella-d-
Oro- Yellow



(MULCH)
Hardwood Mulch





Working - Desk



Working - Overall



Cooking - Lounge



Cooking - Overall



Dining - Overall



Dining - Overall



Sleeping - Bedroom



Sleeping - Lounge



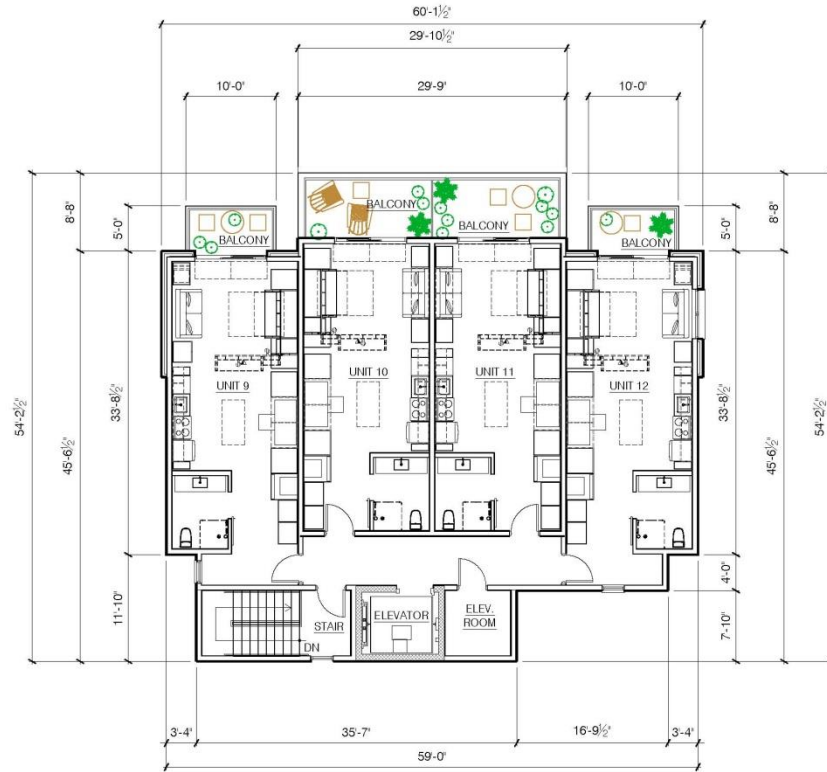
Working – Home Office



Working – Home Office









Roof
Asphalt Shingles
Certainteed
Driftwood



Paint PT-3
(Trim)
Sherwin Williams
SW 282 Downing Sand



Paint PT-2
(Accent)
Sherwin Williams
SW 2821 Downing Stone



Paint PT-1
(Field Color)
Sherwin Williams
SW 2841 Weathered Shingle



Lap Siding
Fiber Cement Siding
6" Exposure, Smooth
Custom Color to match PT-1



Shingle Siding
Fiber Cement Siding
7" Exposure, Smooth
Custom Color to match PT-2



Stone Band
Cordova Stone
1" Masonry Product;
Textured Face;
Color to match PT-3



Brick
Belden Full Size Brick
Colony Red Range
C1088





Roof
Asphalt Shingles
Certainteed
Driftwood



Paint PT-3
(Trim)
Sherwin Williams
SW 282 Downing Sand



Paint PT-2
(Accent)
Sherwin Williams
SW 2821 Downing Stone



Paint PT-1
(Field Color)
Sherwin Williams
SW 2841 Weathered Shingle



Lap Siding
Fiber Cement Siding
6" Exposure, Smooth
Custom Color to match PT-1



Shingle Siding
Fiber Cement Siding
7" Exposure, Smooth
Custom Color to match PT-2



Stone Band
Cordova Stone
1" Masonry Product;
Textured Face;
Color to match PT-3



Brick
Belden Full Size Brick
Colony Red Range
C1088





Roof
Asphalt Shingles
Certainteed
Driftwood



Paint PT-3
(Trim)
Sherwin Williams
SW 282 Downing Sand



Paint PT-2
(Accent)
Sherwin Williams
SW 2821 Downing Stone



Paint PT-1
(Field Color)
Sherwin Williams
SW 2841 Weathered Shingle



Lap Siding
Fiber Cement Siding
6" Exposure, Smooth
Custom Color to match PT-1



Shingle Siding
Fiber Cement Siding
7" Exposure, Smooth
Custom Color to match PT-2



Stone Band
Cordova Stone
1" Masonry Product;
Textured Face;
Color to match PT-3



Brick
Belden Full Size Brick
Colony Red Range
C1088





Roof
Asphalt Shingles
Certainteed
Driftwood



Paint PT-3
(Trim)
Sherwin Williams
SW 282 Downing Sand



Paint PT-2
(Accent)
Sherwin Williams
SW 2821 Downing Stone



Paint PT-1
(Field Color)
Sherwin Williams
SW 2841 Weathered Shingle



Lap Siding
Fiber Cement Siding
6" Exposure, Smooth
Custom Color to match PT-1



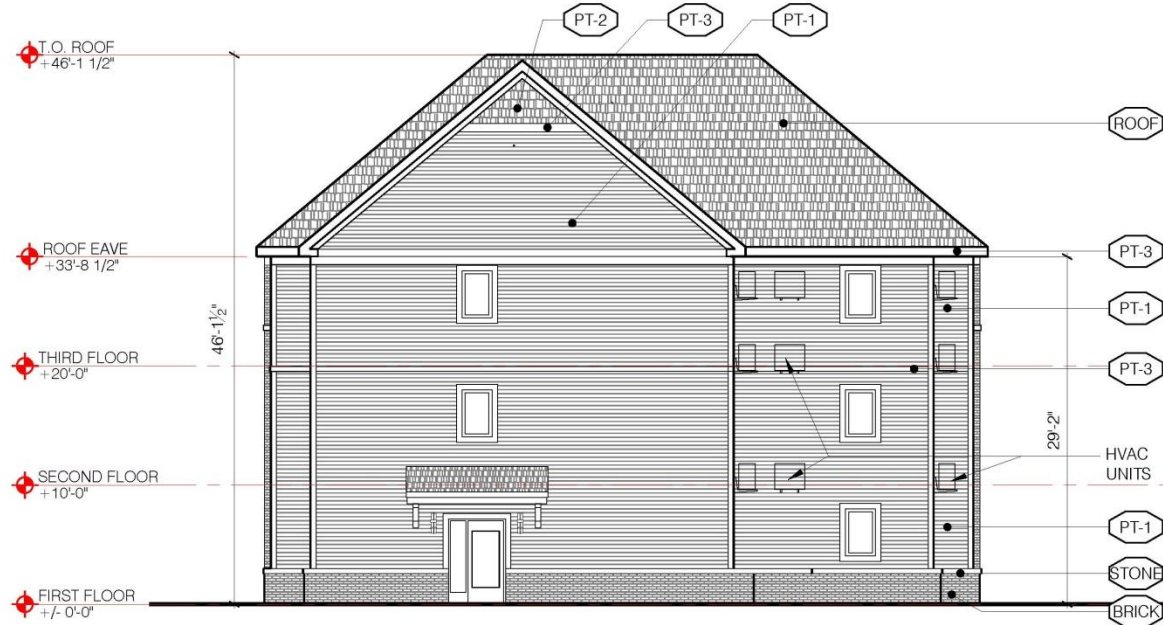
Shingle Siding
Fiber Cement Siding
7" Exposure, Smooth
Custom Color to match PT-2



Stone Band
Cordova Stone
1" Masonry Product;
Textured Face;
Color to match PT-3



Brick
Belden Full Size Brick
Colony Red Range
C1088





11300 Hessler | Proposed Exterior Rendering- A



11300 Hessler | Proposed Exterior Rendering- A



11300 Hessler | Proposed Exterior Rendering- A



11300 Hessler | Proposed Exterior Rendering- A



11300 Hessler | Proposed Exterior Rendering- B





11300 Hessler | Proposed Exterior Rendering- B

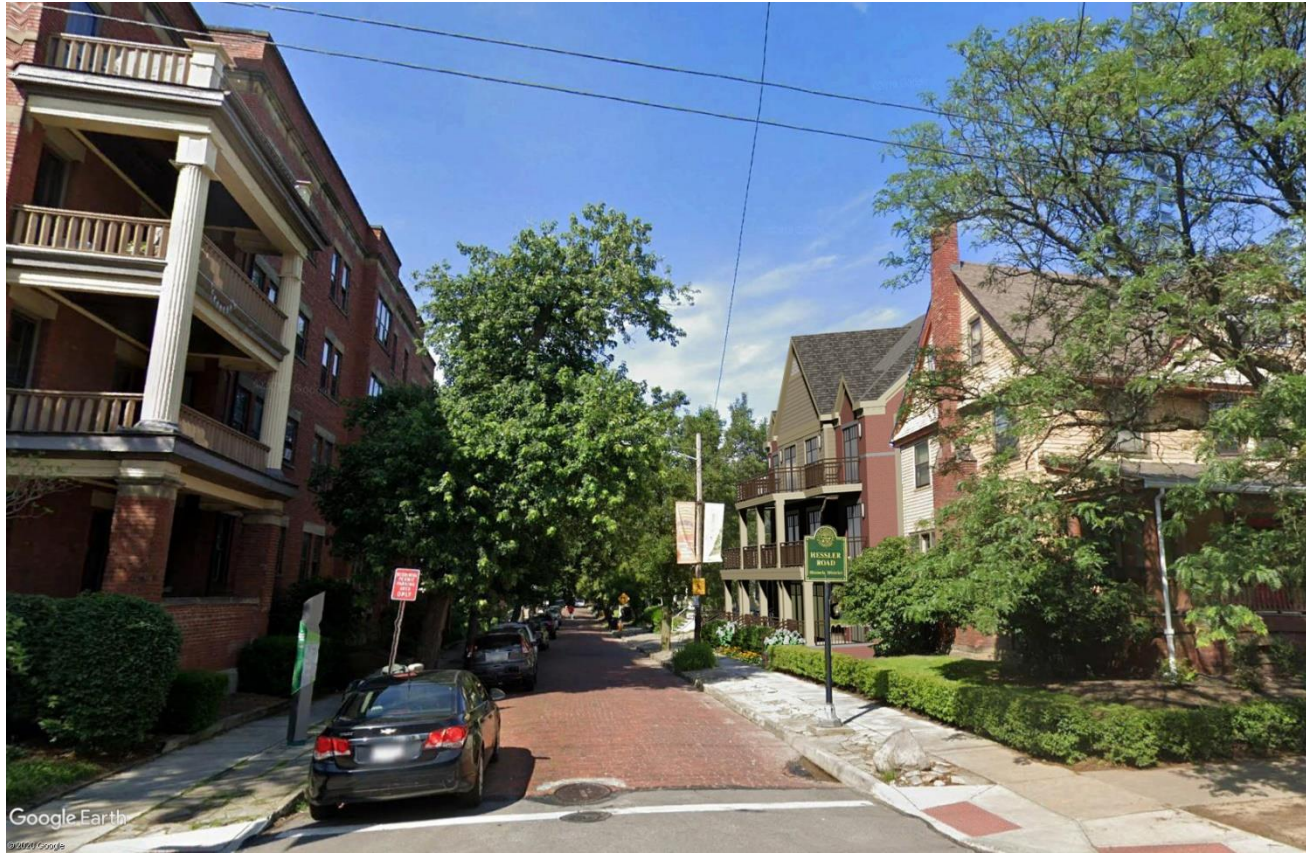


11300 Hessler | Proposed Exterior Rendering- C



11300 Hessler | Proposed Exterior Rendering- C





11300 Hessler | Proposed Contextual Street View



11300 Hessler | Proposed Contextual Street View

T.O. GABLE
+44'-10"

T.O. ROOF
+47'-7 1/2"

T.O. ROOF
+/- 37'-0"



T.O. ROOF
+/- 39'-8"

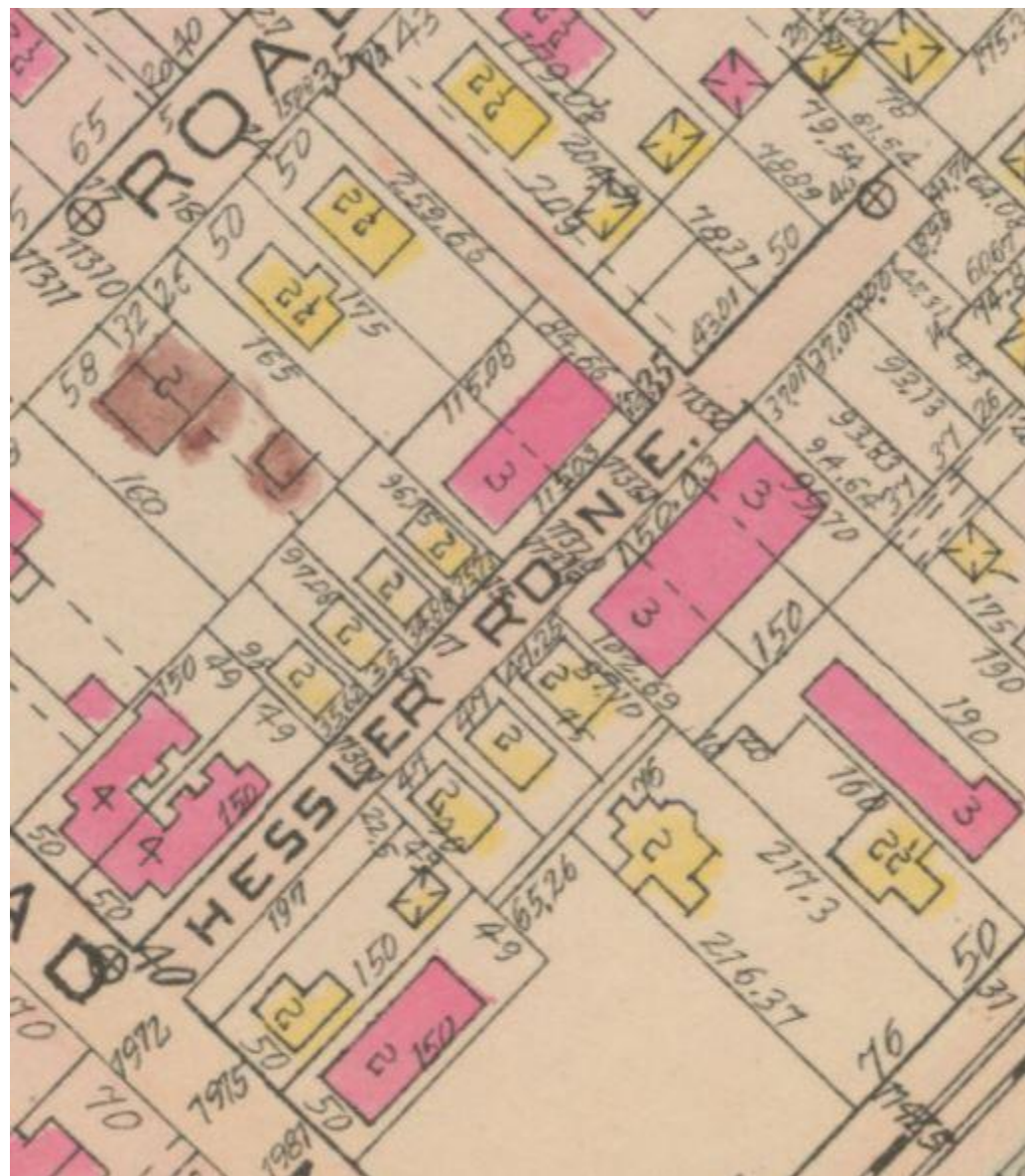
T.O. PARAPET
+54'-9"





Hessler Road Garage

Site Information









Cleveland Landmarks Commission

Landmark Nomination



April 22, 2021

April 22, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Section 106 Environmental Review



April 22, 2021

April 22, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Meeting Minute Approvals



April 22, 2021

Meeting Minutes Approval

April 22, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Administrative Reports



April 22, 2021

Cleveland Landmarks Commission

Adjournment



April 22, 2021

Cleveland Landmarks Commission



April 22, 2021