



Cleveland Landmarks Commission

Thursday, February 25, 2021

****PLEASE MUTE YOUR MICROPHONE****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

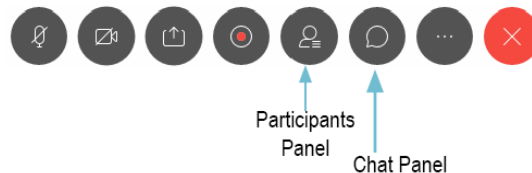
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



February 25, 2021

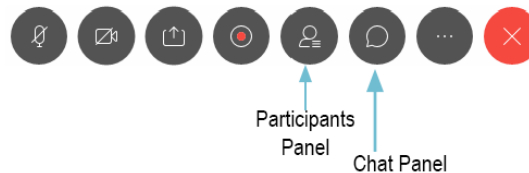
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A
PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



February 25, 2021

Cleveland Landmarks Commission

Call to Order & Roll Call



February 25, 2021

Cleveland Landmarks Commission

Public Hearing



February 25, 2021

February 25, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Public Hearing Action



February 25, 2021

February 25, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Certificates of Appropriateness



February 25, 2021



Case 21-004: Ohio City Historic District (Approved 1/28/21 to Return with Art Concepts)

Dexter Place 2800 Franklin Boulevard

Public Art Mural Concepts

Ward 3: McCormack

Project Representatives: Ashley Shaw, Ohio City Inc.; Tarra Petras, City Planning; Michael Grable, Casto

THE DEXTER COMMUNITY ART PROJECT





THE DEXTER

Franklin Boulevard facade

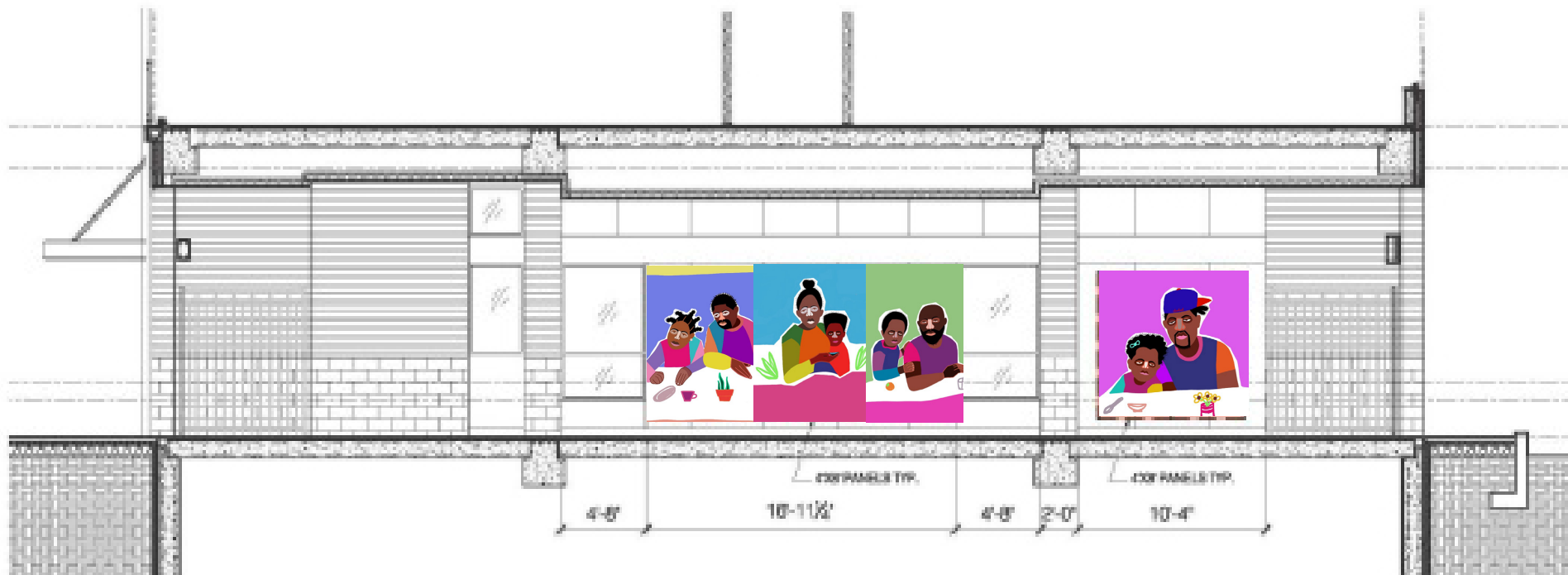


THE DEXTER

Dexter Place facade



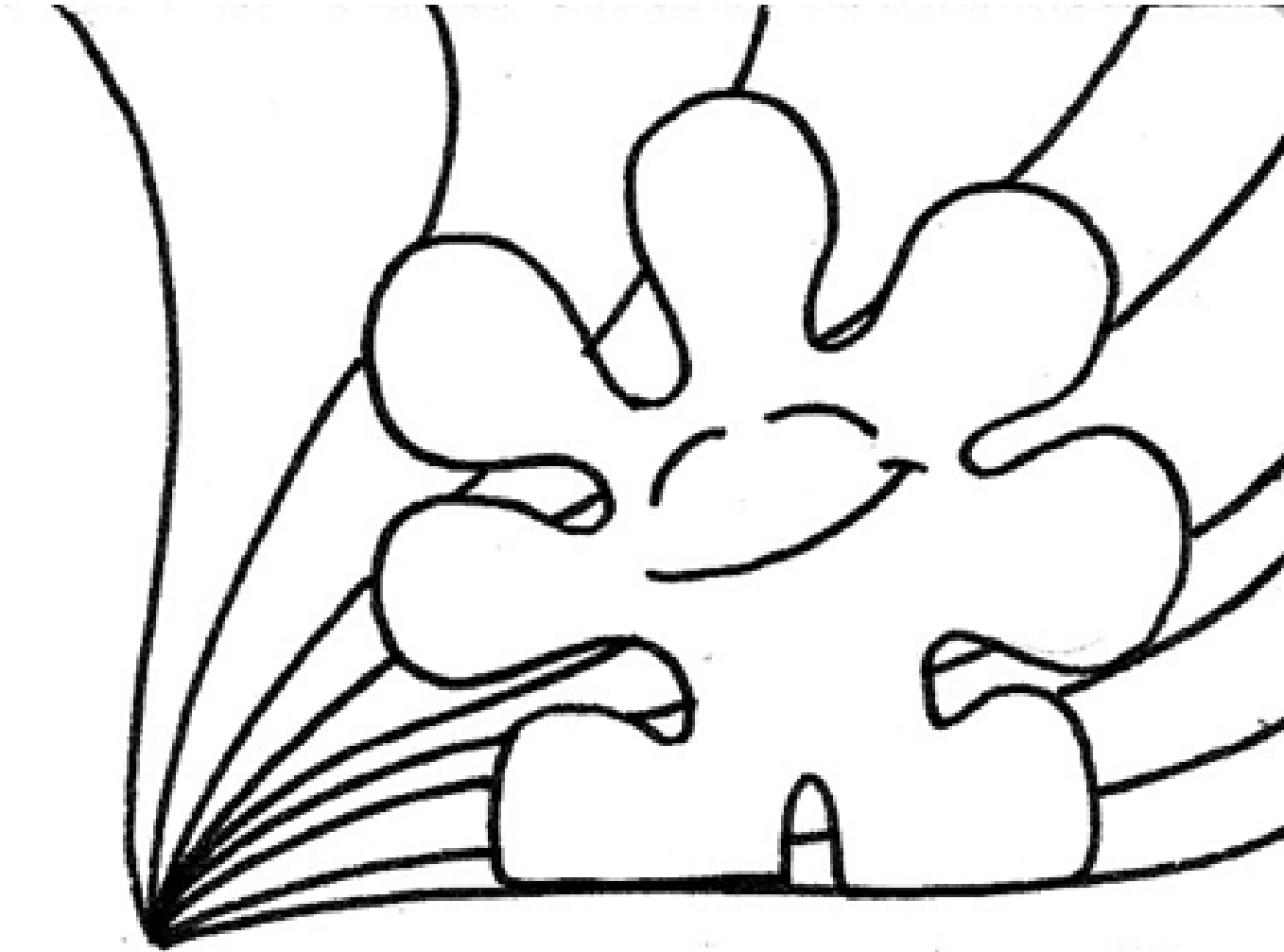




Lindsey Krivenski



Mac Love



Mac Love



April Bleakney

I plan to create this mural as a mixed media piece, likely incorporating painted, spray painted, hand drawn, and screen printed elements onto the board. The finished piece will be both abstracted/gestural and incorporate some more figurative/representational imagery - I love this visual juxtaposition and you will find examples of it in my past work. I play with layering, scale, color, and texture to weave an intriguing visual tapestry. The piece would take shape with contrasting layers built up giving texture and an interweaving nature to the artwork - combining pattern, color, and a variety of mark making techniques. In playing with scale and color, you'll see some forms may become somewhat abstracted, while others remain more recognizable. My work also often communicates a somewhat gritty Cleveland aesthetic. (See 'stylistic inspiration' below for past examples of this style of creation.) I would like to leave some play in the actual creation and execution, so don't want to too tightly design it beforehand; however, I will send over a more developed concept, representational visuals, and palette when it is ready.

TEXTURES:

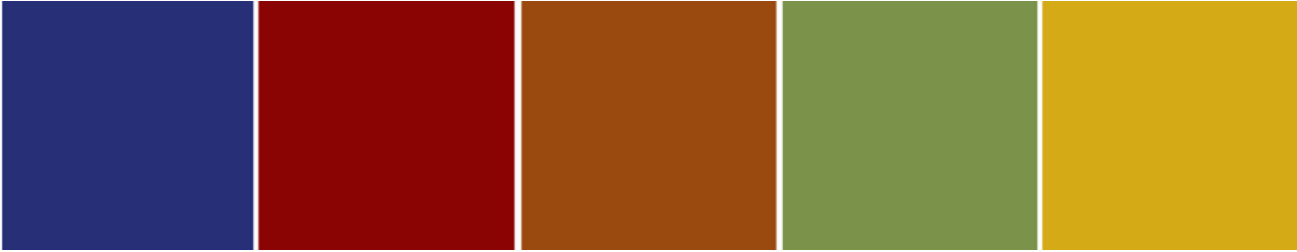
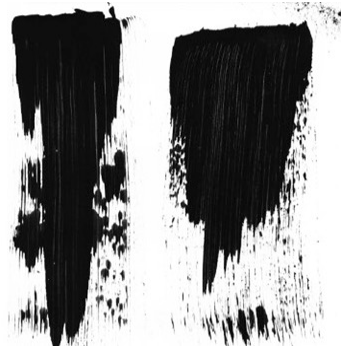
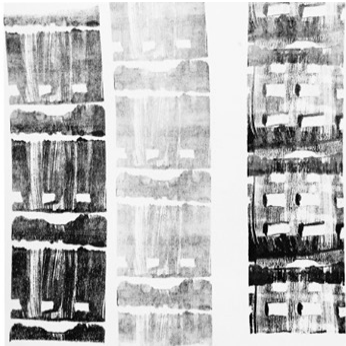
As mentioned previously, I would aim to give the mural rich visual interest through the use of texture and possibly pattern. I love photographing my city and often pull textural inspiration from my photographs.

In addition, I often use hand made mark-making techniques and brush strokes, combined with flats, to bring energy to my pieces. I envision this mural having both flats of color and more textural, painterly, mixed media qualities. (See 'stylistic inspiration' below for past examples of this style of creation.)

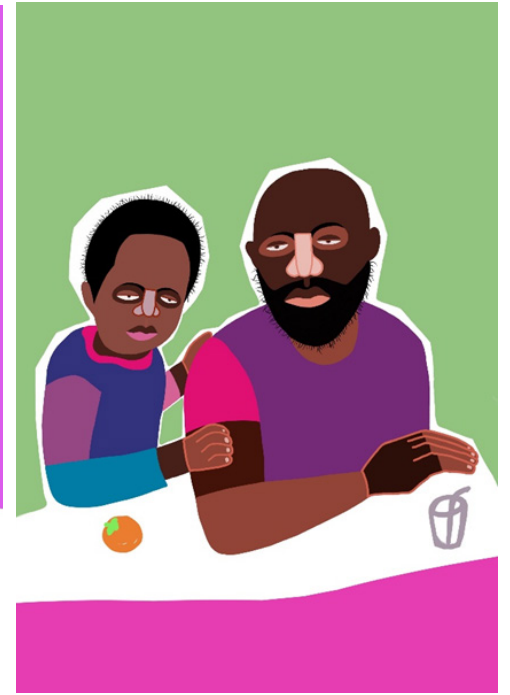
PALLETTE:

I love color, and the unexpected use of color. Given the nature of the imagery content, I initially anticipate bold colors that are toned down into warm, earthy versions of themselves alongside some brighter pops of color. Of course, the palette could evolve as the piece takes shape.

April Bleakney



Antwoine Washington





Case 20-064: Gospel Press Building (Approved 12/10/20, to Restudy Garage Door)

Tremont Place Lofts 710 Jefferson Avenue

Revised Door Proposal

Ward 3: McCormack

Project Representatives: Steve Jennings, Jen Trask, LDA Architecture; Graham Veysey, Marika Shiori-Clark, Michael Panzica



EXISTING SITE Tremont Place Lofts

Scale:

Date: 11.10.2020

Project Number: 20.28

5000 Euclid Avenue, Suite 104, Cleveland, Ohio 44103
p 216.932.1890 f 216.932.1897 w www.LDAarchitecture.com

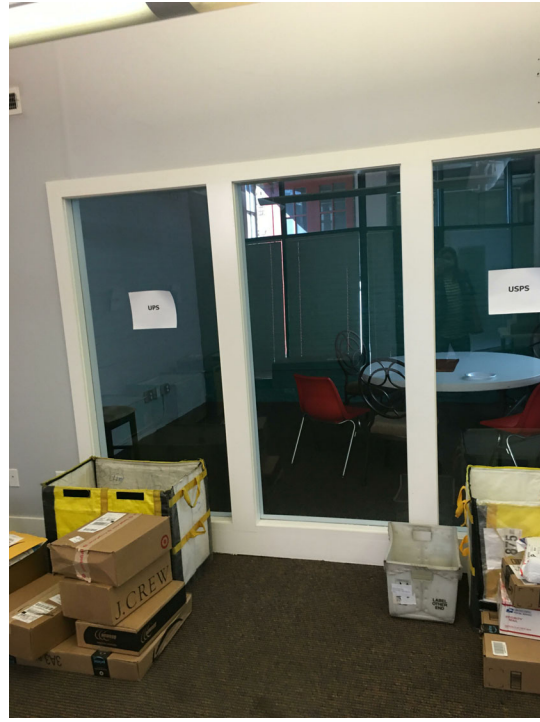
A-1



1



2



3



4

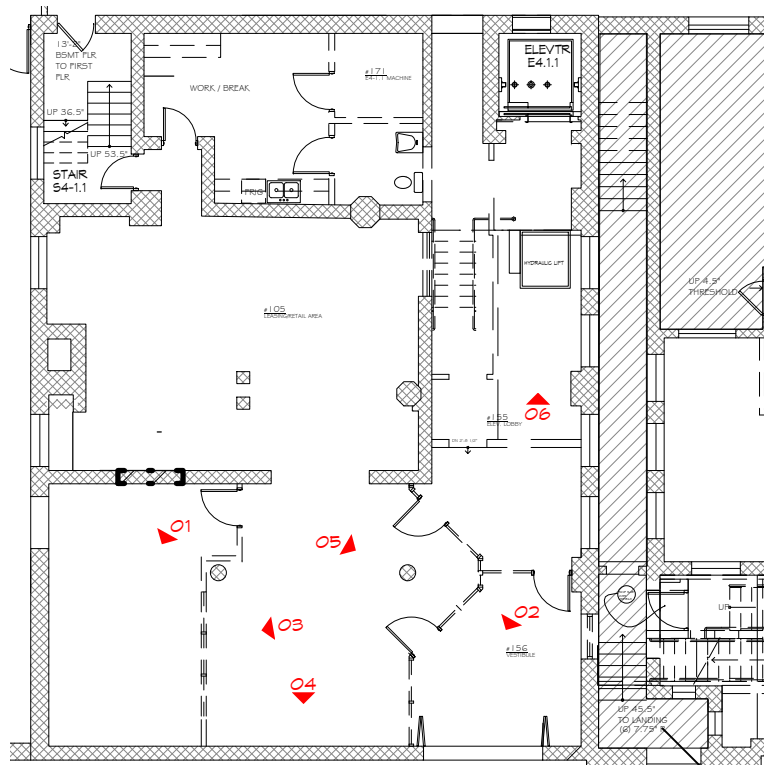


PHOTO KEY PLAN



5



6



INTERIOR PHOTOS Tremont Place Lofts

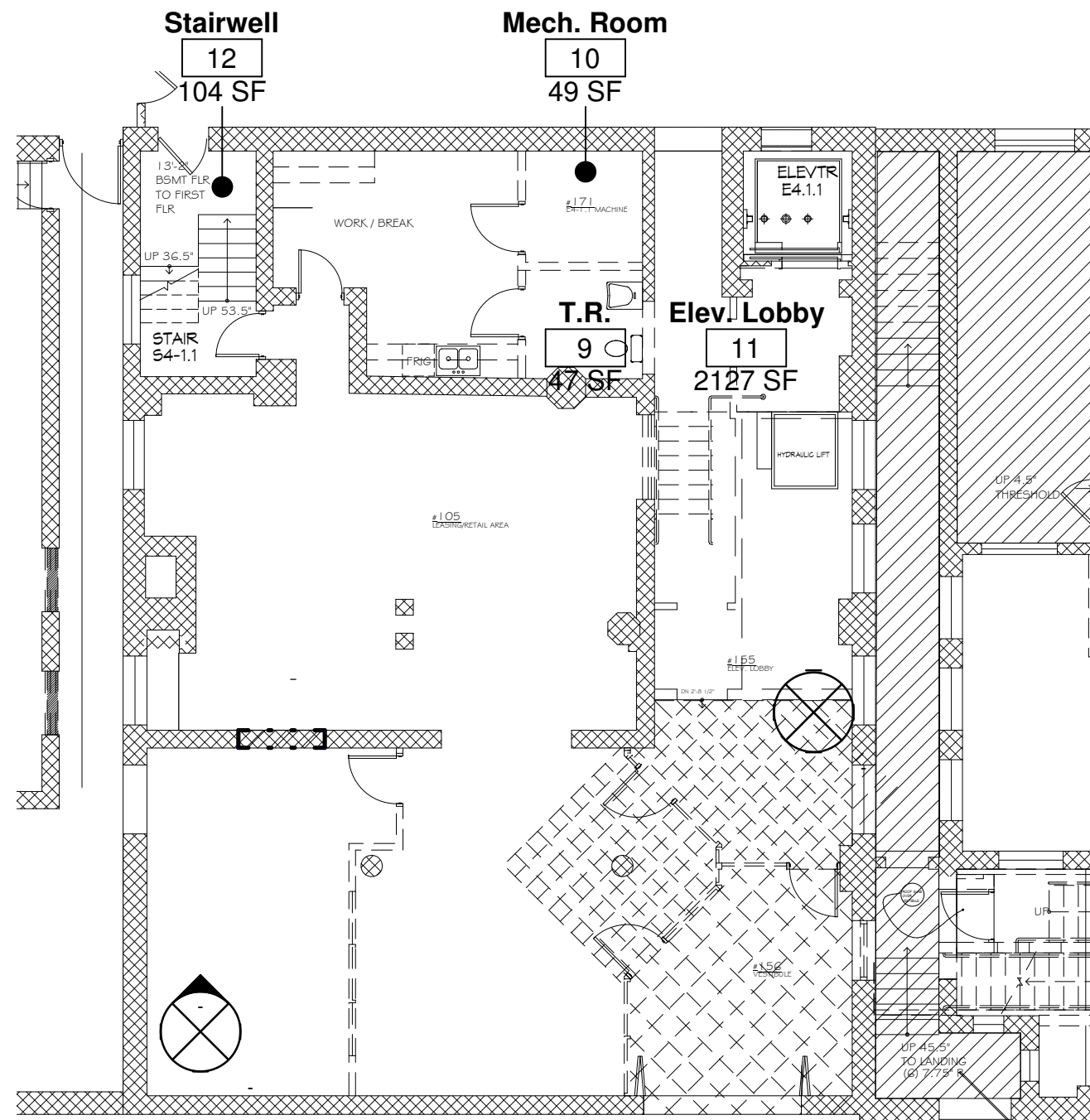
Scale: 1/16" = 1'-0"

Date: 11.10.2020

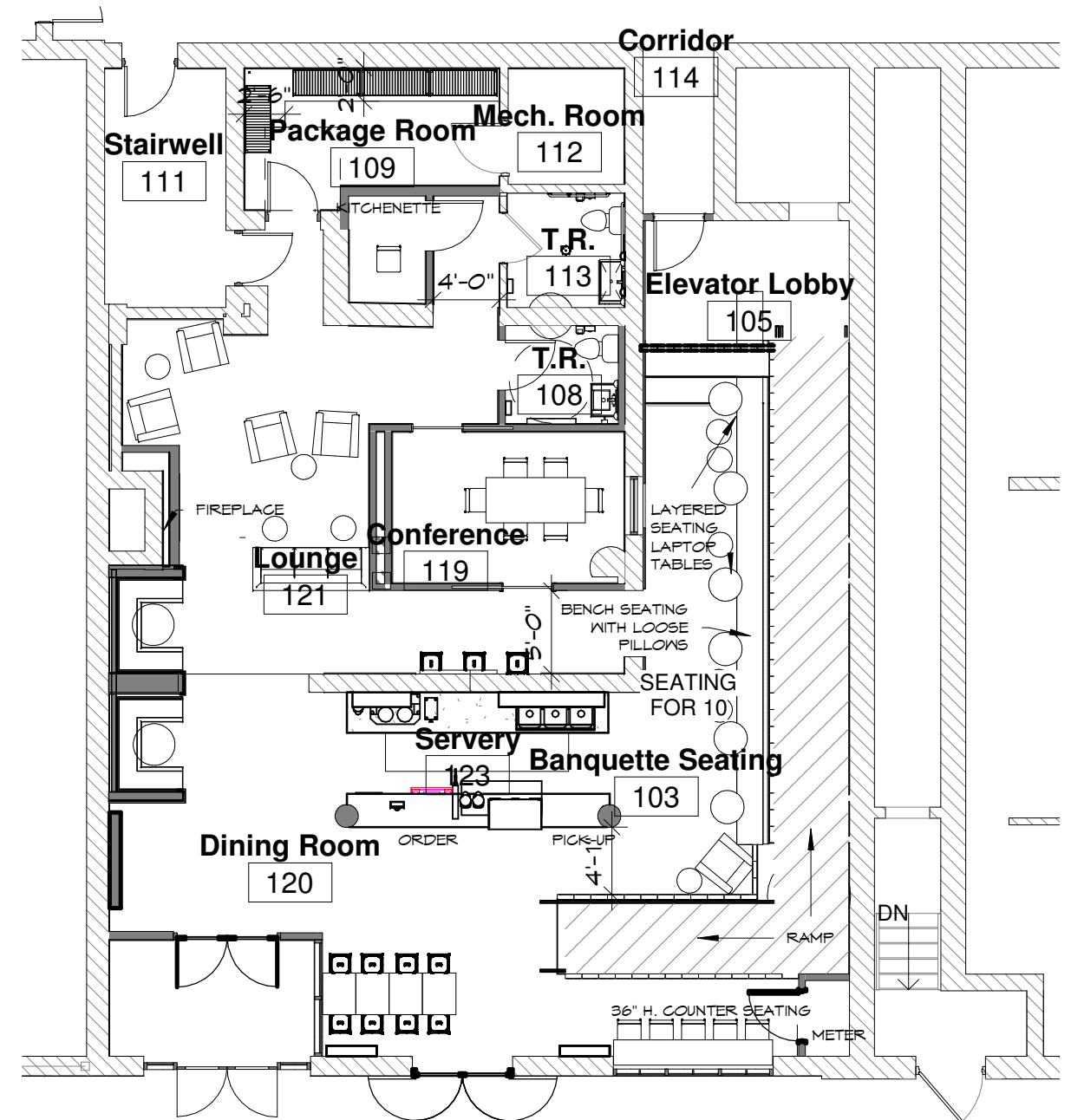
Project Number: 20.28

5000 Euclid Avenue, Suite 104, Cleveland, Ohio 44103
p 216.932.1890 f 216.932.1897 w www.LDAarchitecture.com

A-2



DEMO PLAN



PROPOSED PLAN



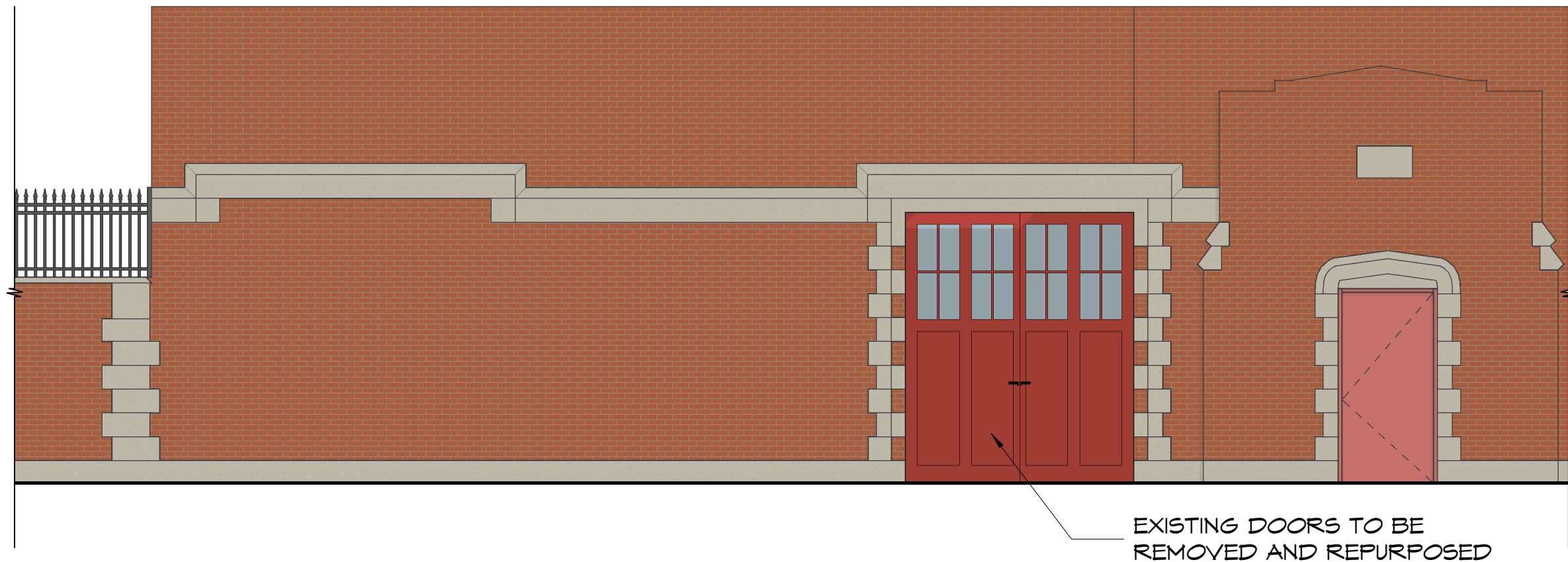
FIRST FLOOR PLAN - DEMO & PROPOSED
Tremont Place Lofts

Scale: 1" = 10'-0"

Date: 02.03.2021

Project Number: 20.28

A-3



1
A-4

WEST ELEVATION - EXISTING - SD

SCALE: 3/16" = 1'-0"



FRONT ELEVATION - EXISTING Tremont Place Lofts

Scale: 3/16" = 1'-0"

Date: 11.10.2020

Project Number: 20.28

A-4



2
A-5

SIDE ELEVATION - PROPOSED - SD

SCALE: 3/16" = 1'-0"



FRONT ELEVATION - PROPOSED Tremont Place Lofts

Scale: 3/16" = 1'-0"

Date: 02.03.2021

Project Number: 20.28

A-5

TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance

Versatility with Unmatched Fabrication Flexibility



Geisinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Mericle Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
© Perzel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



Brighton Landing
Cambridge, Massachusetts
ARCHITECT
ADD Inc., Cambridge, Massachusetts
GLAZING CONTRACTOR
Ipswich Bay Glass Company, Inc., Rowley, Massachusetts
PHOTOGRAPHER
© Gordon Schenck, Jr.

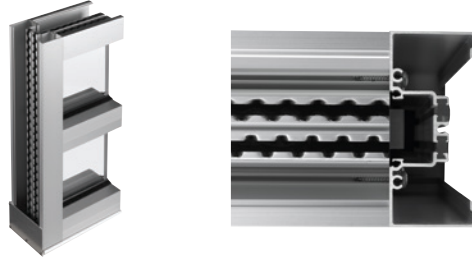
All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

PERFORMANCE

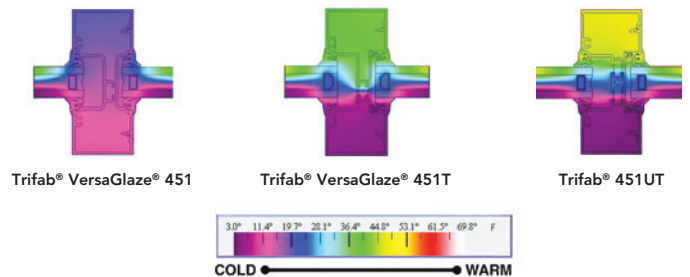
Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

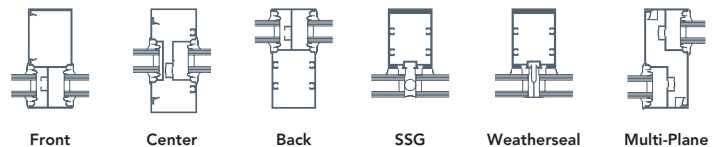
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425





Case 21-010: Ohio City Historic District

Addington Residence 1445 West 48th Street

Addition to Townhome

Ward 3: McCormack

Project Representatives: Eric Kuczek; Justin Kapela, J. Kapela Designs



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE: 12/21/20

PROJECT NAME: Addington Residence

PROJECT ADDRESS: 1445 W. 48th St., Cleveland, OH 44120

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review): Justin Kapela

COMPANY: J Kapela Design & Construction

PHONE: 330-554-1803

EMAIL: justin.kapela@jkapela.com

OWNER:

ARCHITECT/ CONTRACTOR:

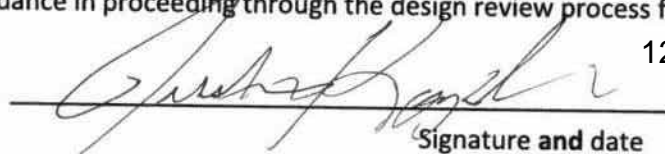
PROJECT TYPE: ☐ New Building ☐ Rehabilitation ☒ Addition ☐ Sign ☐ Fence ☐ Parking ☐ Storefront

USE TYPE: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional ☐ Mixed-Use

Review Level: ☐ Conceptual ☐ Schematic Design ☒ Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

12-21-2020


Signature and date

(For staff use only)

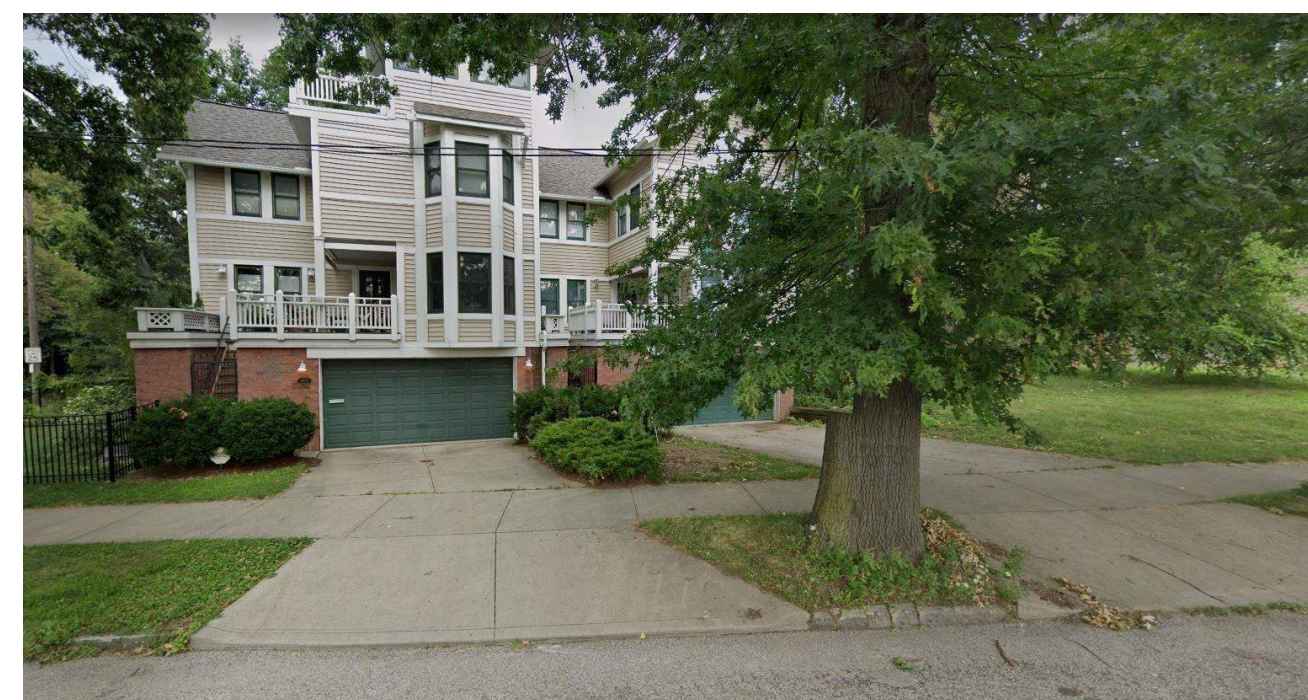
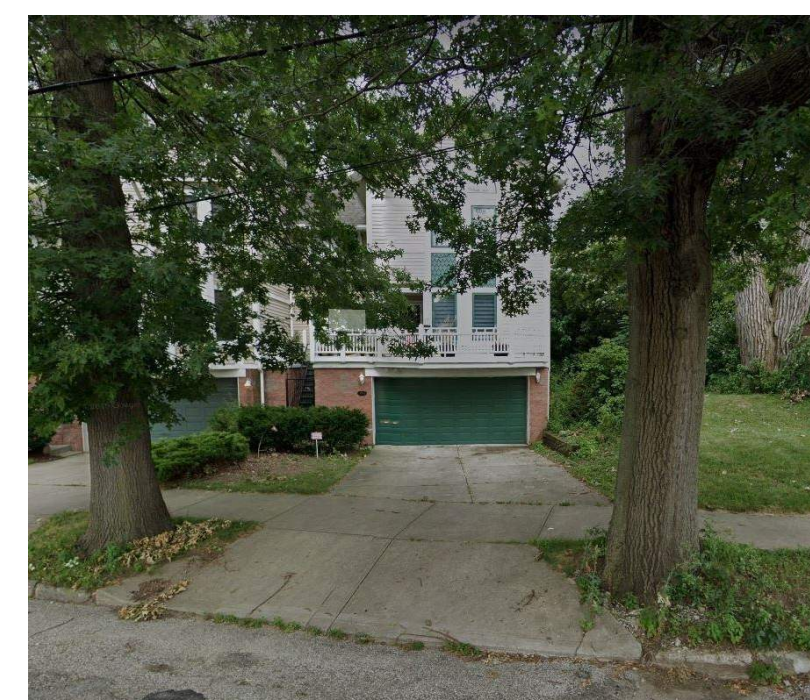
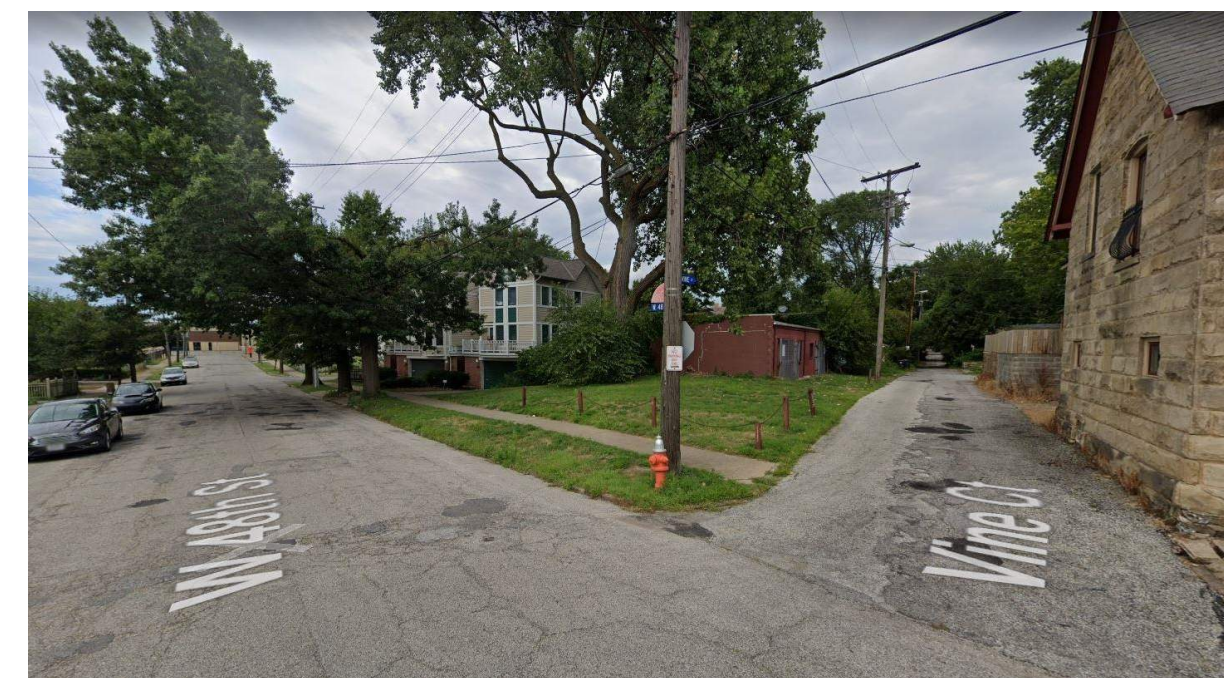
Received by:

Design Review District Name:

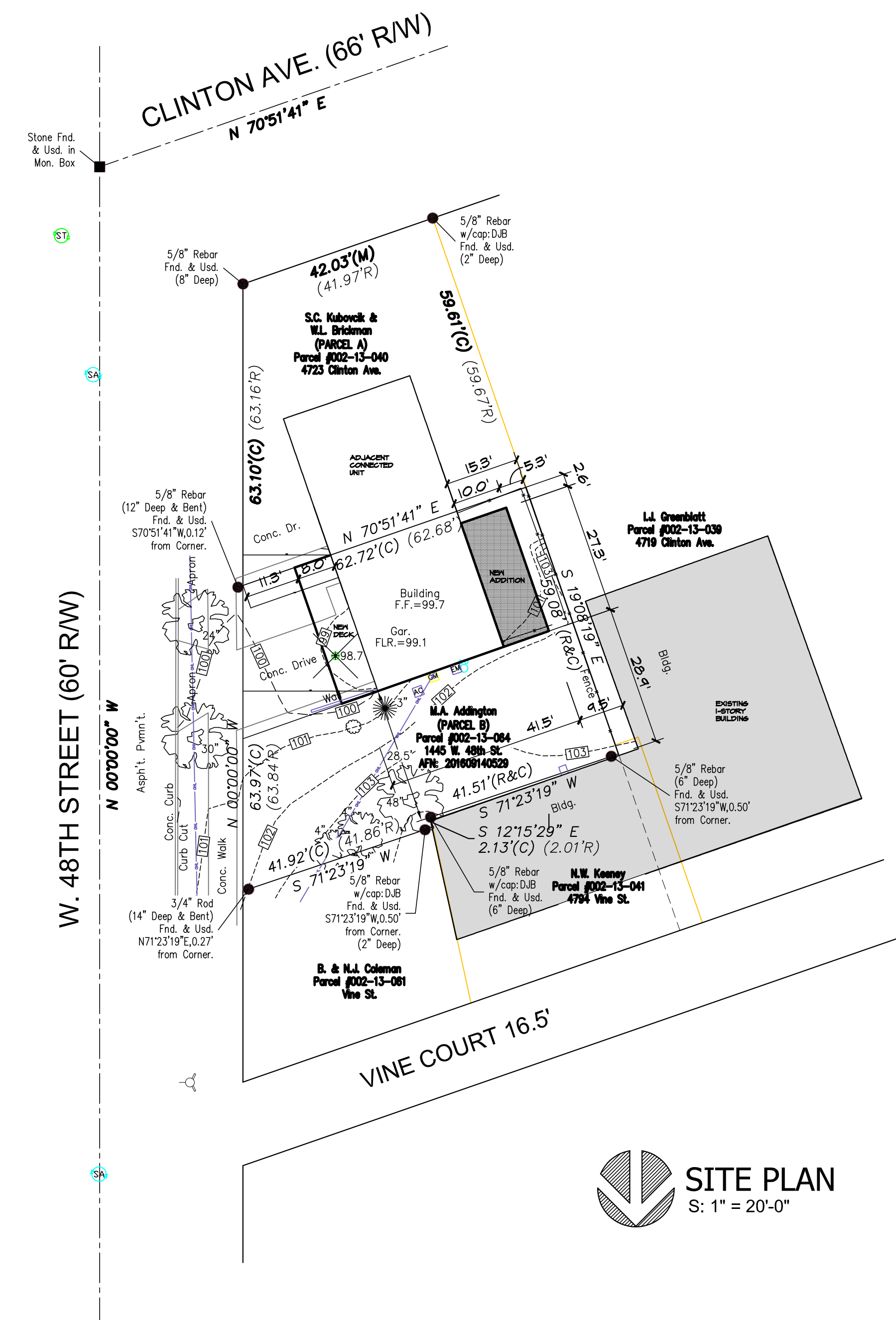
Assigned Review Case Number:

Project Summary:

New 546 square-foot 2-story addition on the rear side of a residential unit. There is an attached unit on the left side of the property. The project will also include a deck and guardrail that will be designed to match the existing. The deck will be supported by (3) columns consisting of CMU to match existing and white trim to match the deck and guardrail above. The first-floor addition will house an exercise room and the second floor space will be a sunroom. Parking will remain the same.



EXISTING SITE CONTEXT



CONTACT:
J. KAPELA DESIGNS & CONST.
2206 Superior Via. Suite #203
Cleveland, Ohio 44113
330-554-1803
www.jkapela.com

ADDINGTON RESIDENCE

1445 W. 48TH ST.
CLEVELAND, OH 44120

SITE PLAN

DATE	
2020-10-21	LAYOUT PLANS
2020-12-21	DESIGN REVIEW

02-02-21

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JOB # 2020-53

S101

FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" ^Ø x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
- (2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.
- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
- ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
- ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:

24"x24"(2)#4
30"x30"(3)#4
36"x36"(3)#4
42"x42"(4)#4
48"x48"(5)#4
60"x60"(5)#5
72"x72"(6)#5

CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOULY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

STEEL BEAM CHART

SIZE	DEPTH	WIDTH
W8x15	8 1/8"	4"
W10x22	10 1/8"	5 3/4"
W12x26	12 1/4"	6 1/2"
W12x45	12"	8"

NOTE: DIMENSIONS ARE DERIVED FROM AISC STEEL MANUAL. VERIFY WITH STEEL DISTRIBUTOR.

12" CONC. BLOCK REINFORCING DETAIL

MASONRY WALL REINFORCEMENT=

(1)#5 @ 48" o.c.

- 24" MAX. FROM CORNERS

- BARS 9" IN FROM SOIL SIDE

- GROUT CORES FULL-HEIGHT

SOLID AT REINFORCING BARS

DESIGN CRITERIA:

-36" MINIMUM GRAVEL FILL

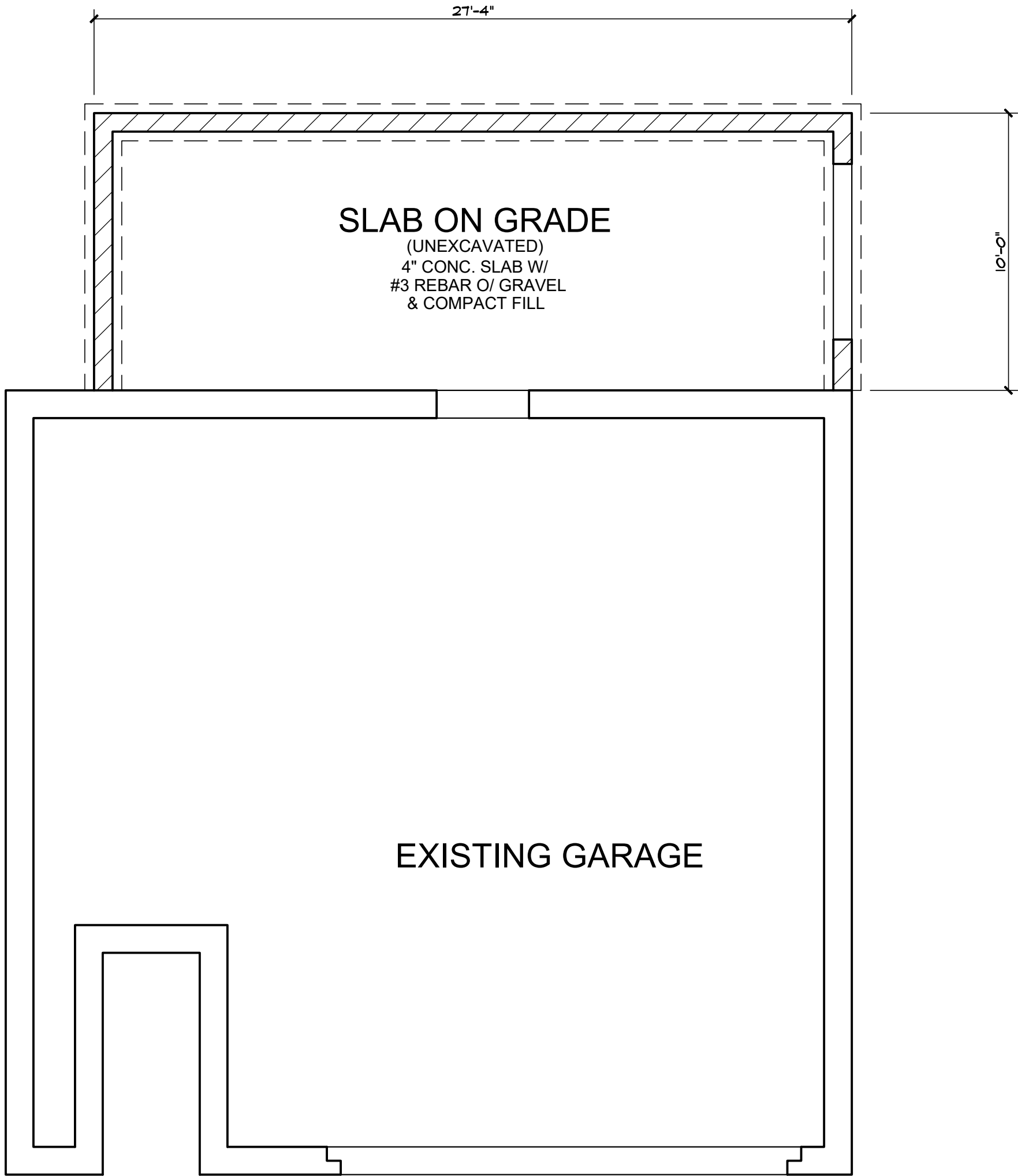
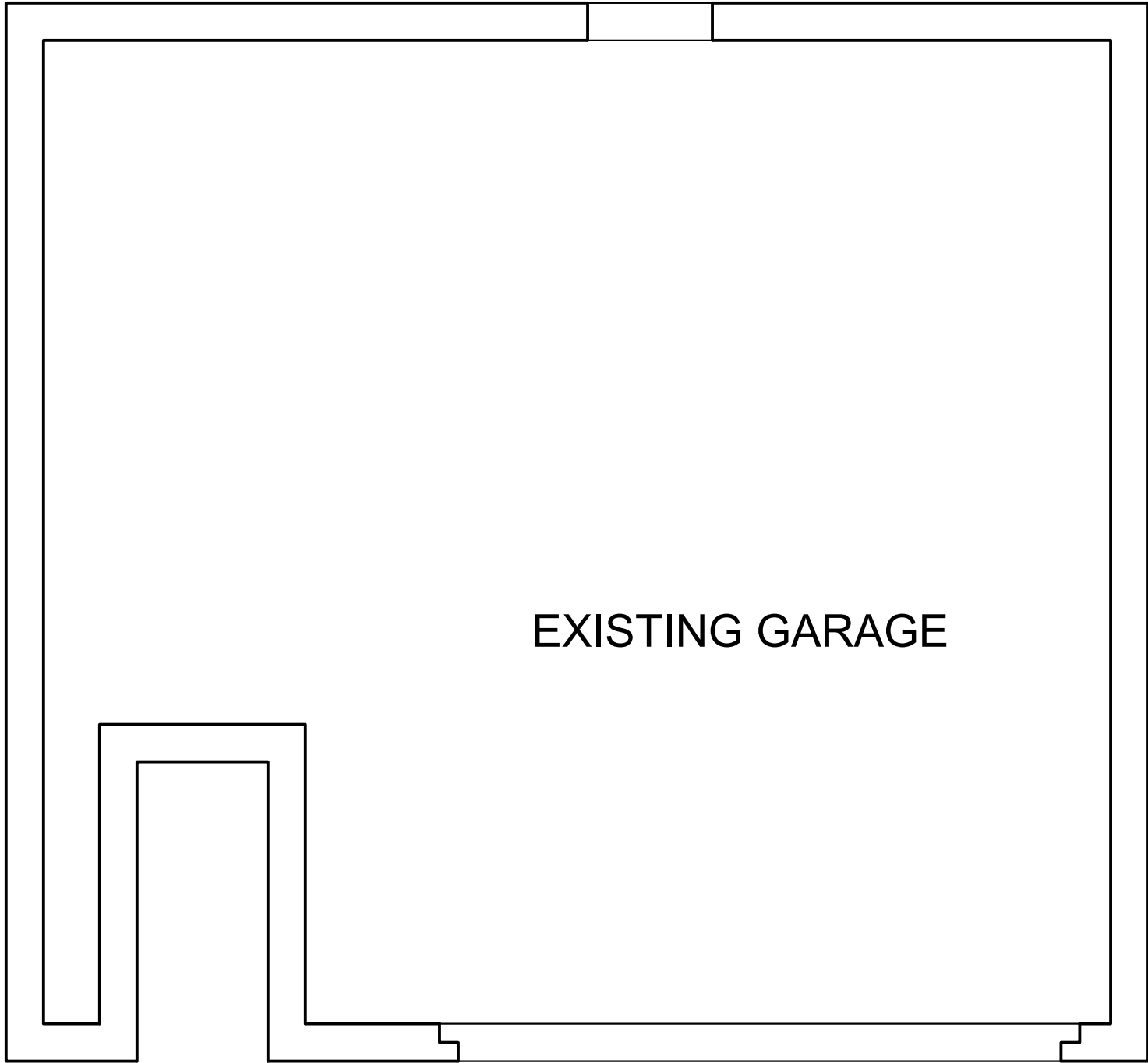
-MAX. LATERAL SOIL PRESSURE OF 55 psf

-1,500 psf SOIL BEARING PRESSURE

-MIN. 3,000 psi CONCRETE STRENGTH

-REINFORCING YIELD STRENGTH OF 60,000 psi

NOTE: THIS DETAIL IS ASSUMING BEST CASE SOIL CONDITIONS. FOR MEDIUM OR WORST CASE REFER TO RCO TABLE 404.1.(4)



FOUNDATION PLAN
S: 1/4" = 1'-0"

LOWER LEVEL NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

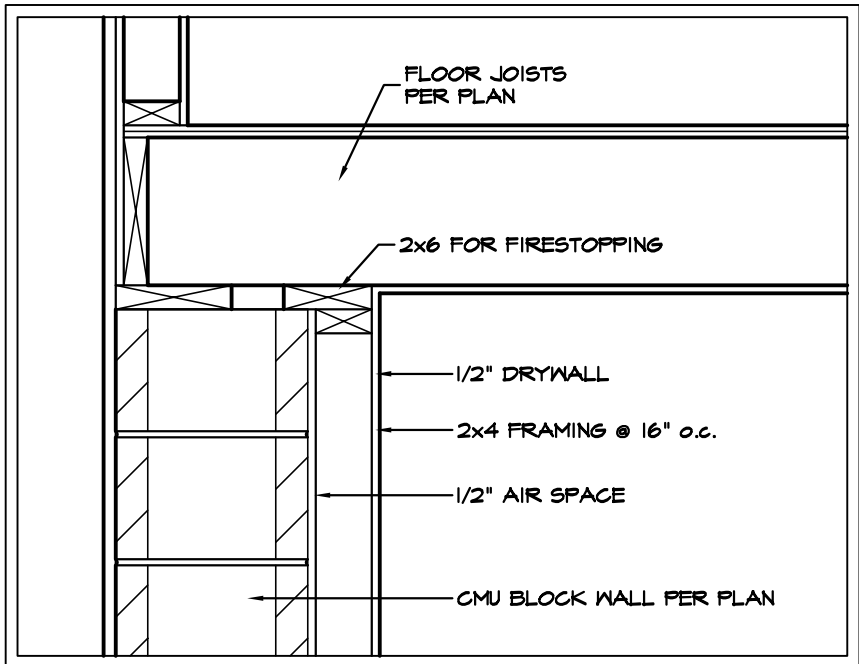
- ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.
- WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.
- WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:
MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
MINIMUM NET CLEAR OPENING HEIGHT.....24"
MINIMUM NET CLEAR OPENING WIDTH.....20"
MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

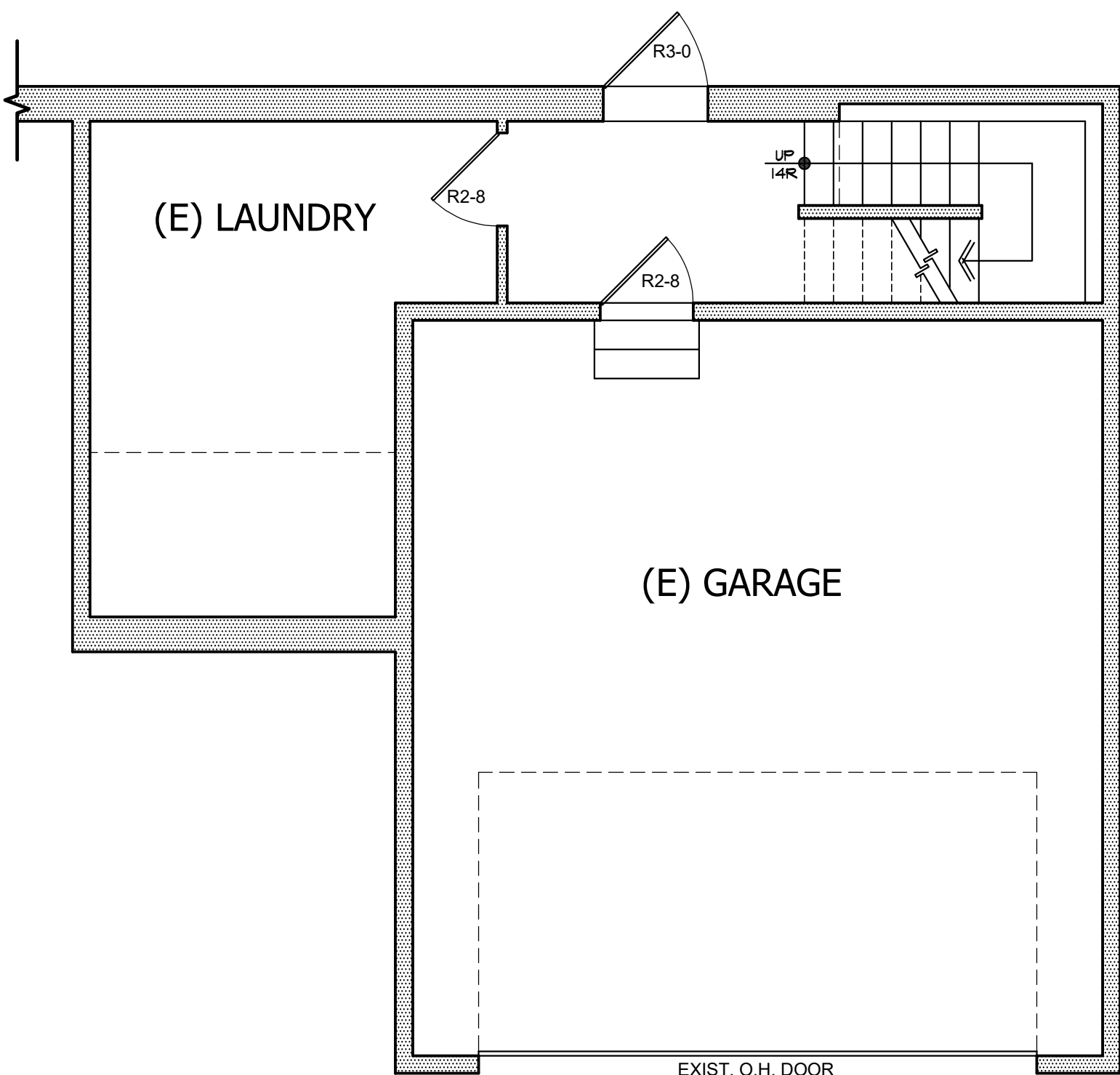
STAIR REQUIREMENTS:

- MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
- MINIMUM TREAD DEPTH.....9"
- MAXIMUM RISER HEIGHT.....8 1/4"
- MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
- MINIMUM NOSING PROJECTION.....1"
- MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
- MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"
- MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
- MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
- MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
- MAXIMUM HAND GRIP WIDTH.....2 1/4"
- MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

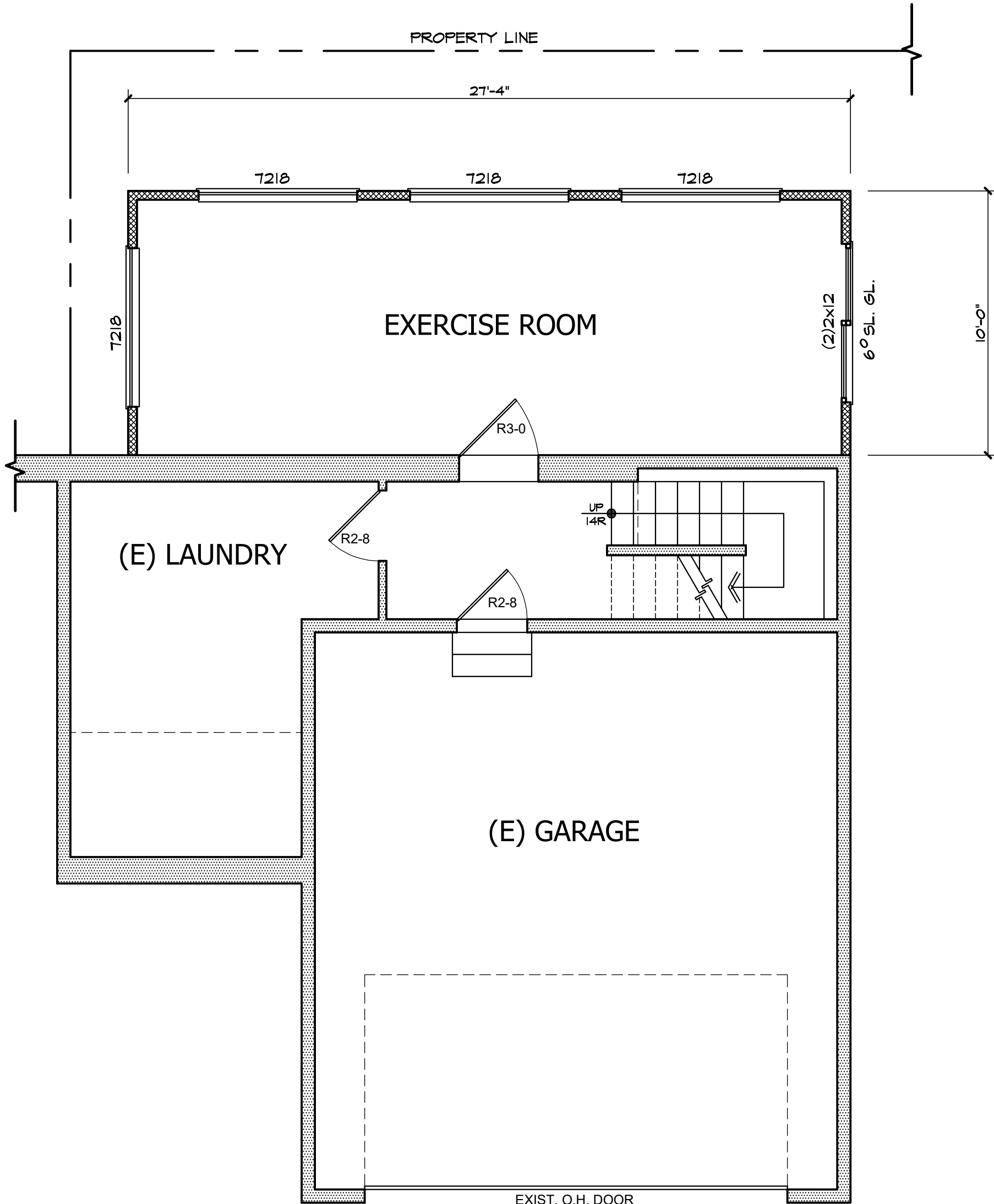
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



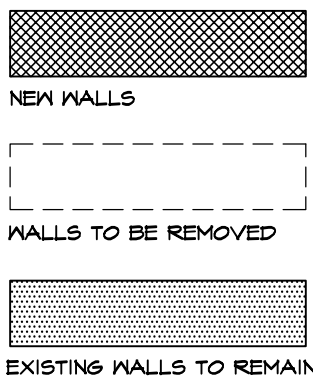
FIN. BASEMENT DETAIL (A-102)
S: 1" = 1'-0"



LOWER LEVEL PLAN - EXISTING
S: 1/4" = 1'-0"



LOWER LEVEL PLAN - NEW
S: 1/4" = 1'-0"



CONTACT:
J. KAPELA DESIGNS & CONST.
2206 Superior Via, Suite #203
Cleveland, Ohio 44113
330-554-1803
www.jkapela.com

DATE
2020-10-21 LAYOUT PLANS
2020-12-21 DESIGN REVIEW

02-02-21

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JOB # 2020-53

A102

FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-ALL WALLS ARE DIMENSIONED STUD-TO-STUD.

-ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.

-ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.

-SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.

-ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.

-ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS

-POINT LOADS ARE REPRESENTED BY (●)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
MINIMUM NET CLEAR OPENING HEIGHT.....24"
MINIMUM NET CLEAR OPENING WIDTH.....20"
MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
MINIMUM TREAD DEPTH.....9"
MAXIMUM RISER HEIGHT.....8 1/4"
MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
MINIMUM NOSING PROJECTION.....1"
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"
MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
MAXIMUM HAND GRIP WIDTH.....2 1/4"
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

8d NAILS #6" o.c. ON PANEL EDGES

8d NAILS #12" o.c. IN PANEL FIELD

1/2" Ø ANCHOR BOLTS #12" FROM END OF PL. @ 6'-0" O.C. MAX.

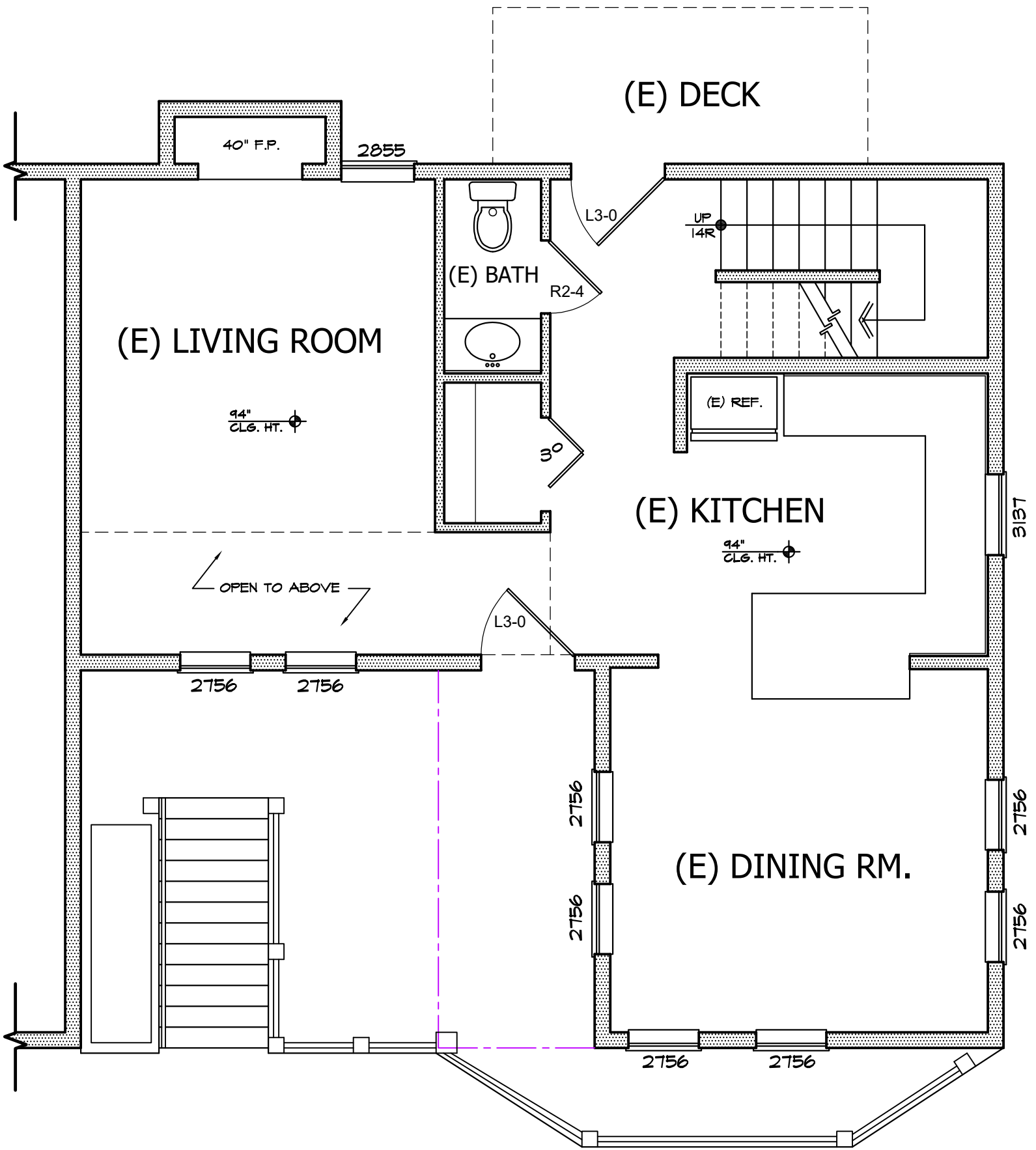
8d NAILS #6" o.c. - STAGGERED AT PANEL JOINTS

8d NAILS #6" o.c. ON PANEL EDGES

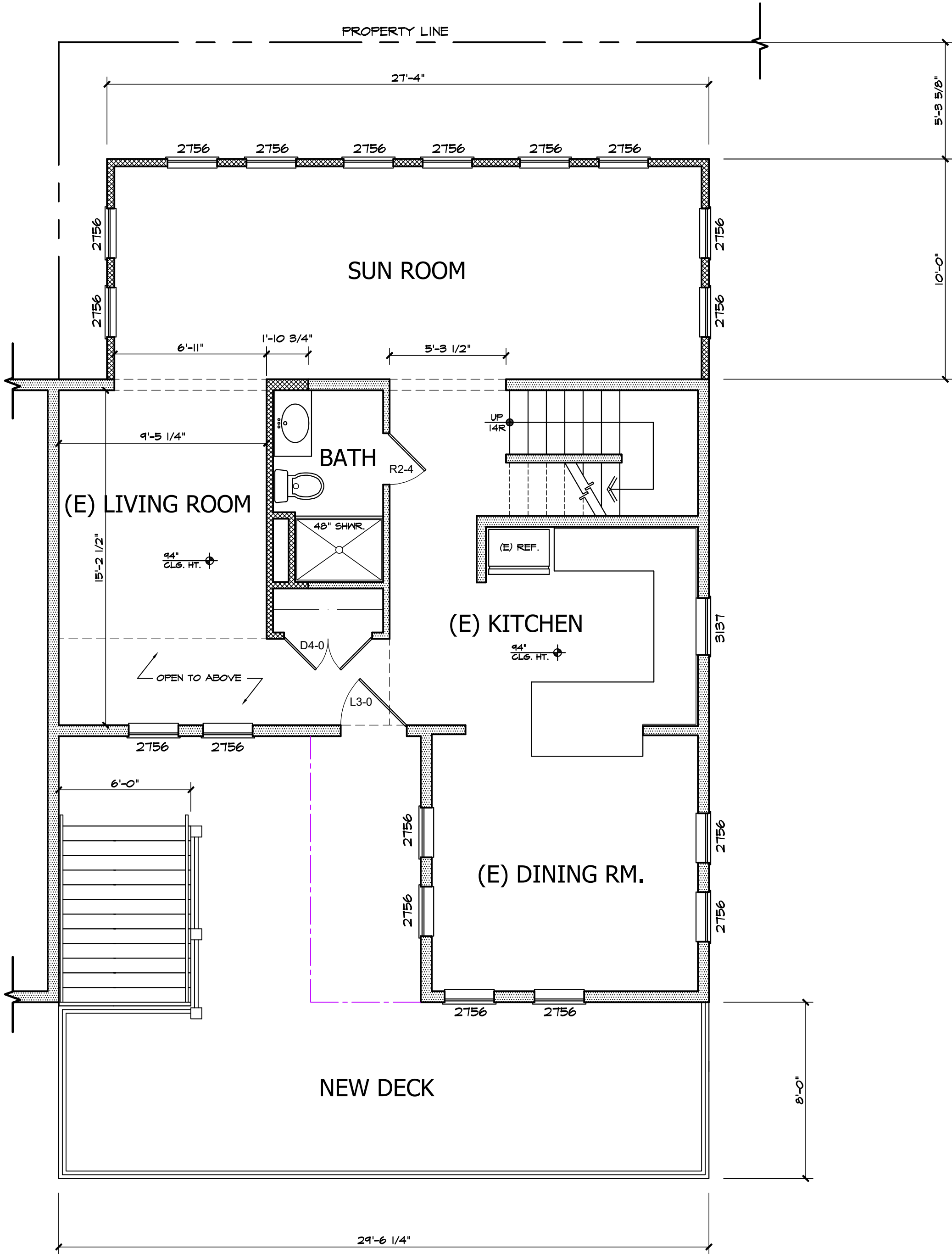
METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 7/8" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.3(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

BRACED WALL PANELS (NOT TO SCALE)



FIRST FLOOR PLAN - EXISTING
S: 1/4" = 1'-0"



FIRST FLOOR PLAN - NEW
S: 1/4" = 1'-0"

ROOF NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 7/16" OSB OR PLYWOOD PER SECTION R602.10. NAILED W/ 8d NAILS AT 6" o.c. AT ALL PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

OVER-LAY RAFTERS:

USE 2x4's @24" o.c. FOR SPANS UP TO.....6'-0"
USE 2x6's @24" o.c. FOR SPANS UP TO.....9'-0"
USE 2x8's @24" o.c. FOR SPANS UP TO.....12'-0"
USE 2x10's @24" o.c. FOR SPANS UP TO.....15'-0"

LIVE LOADS:

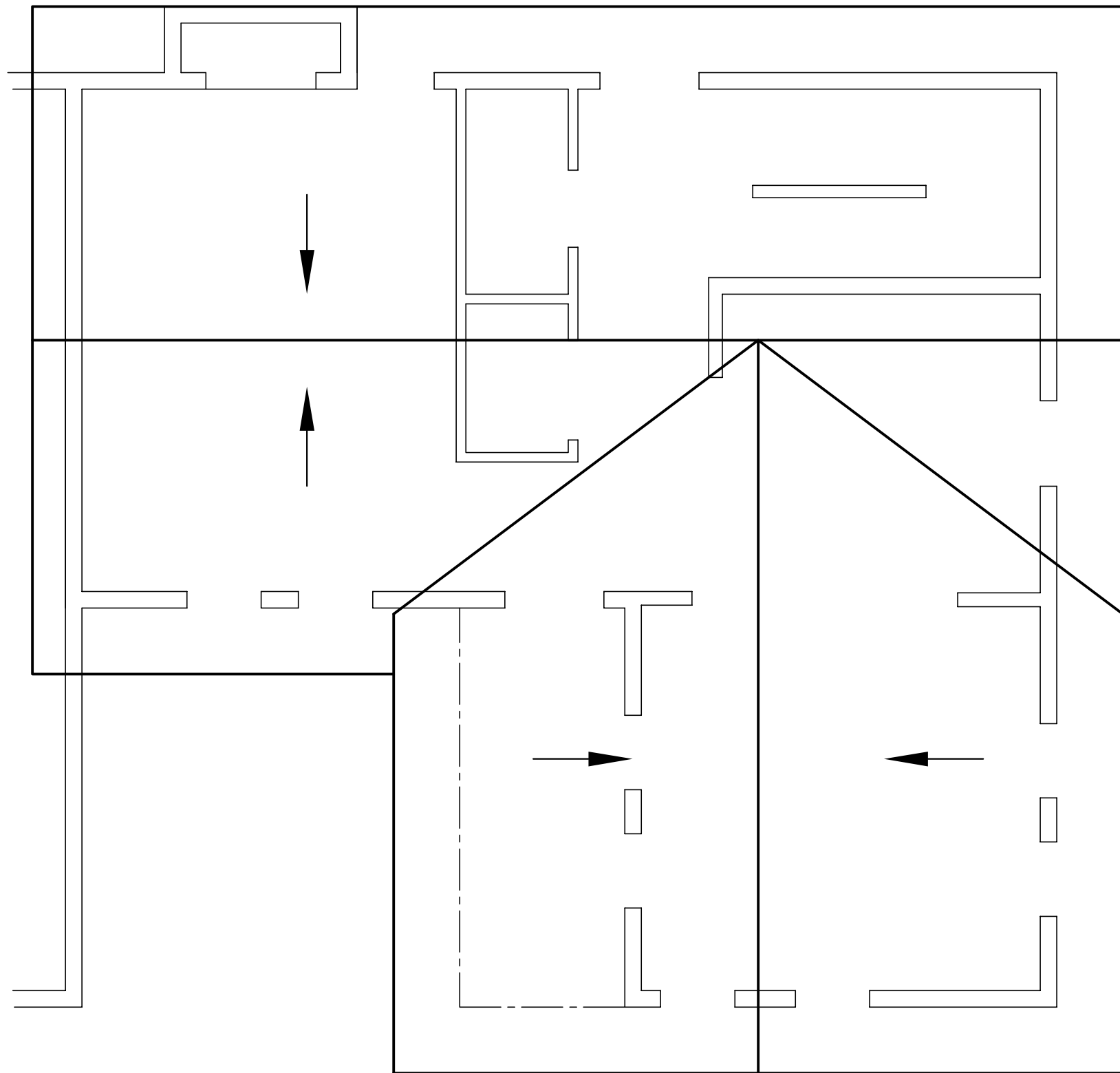
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:
ROOF/SNOW.....25psf ATTIC.....20psf
FIRST FLOOR.....40psf SECOND FLOOR.....40psf
BALCONIES.....60psf BASIC WIND SPEED.....90mph

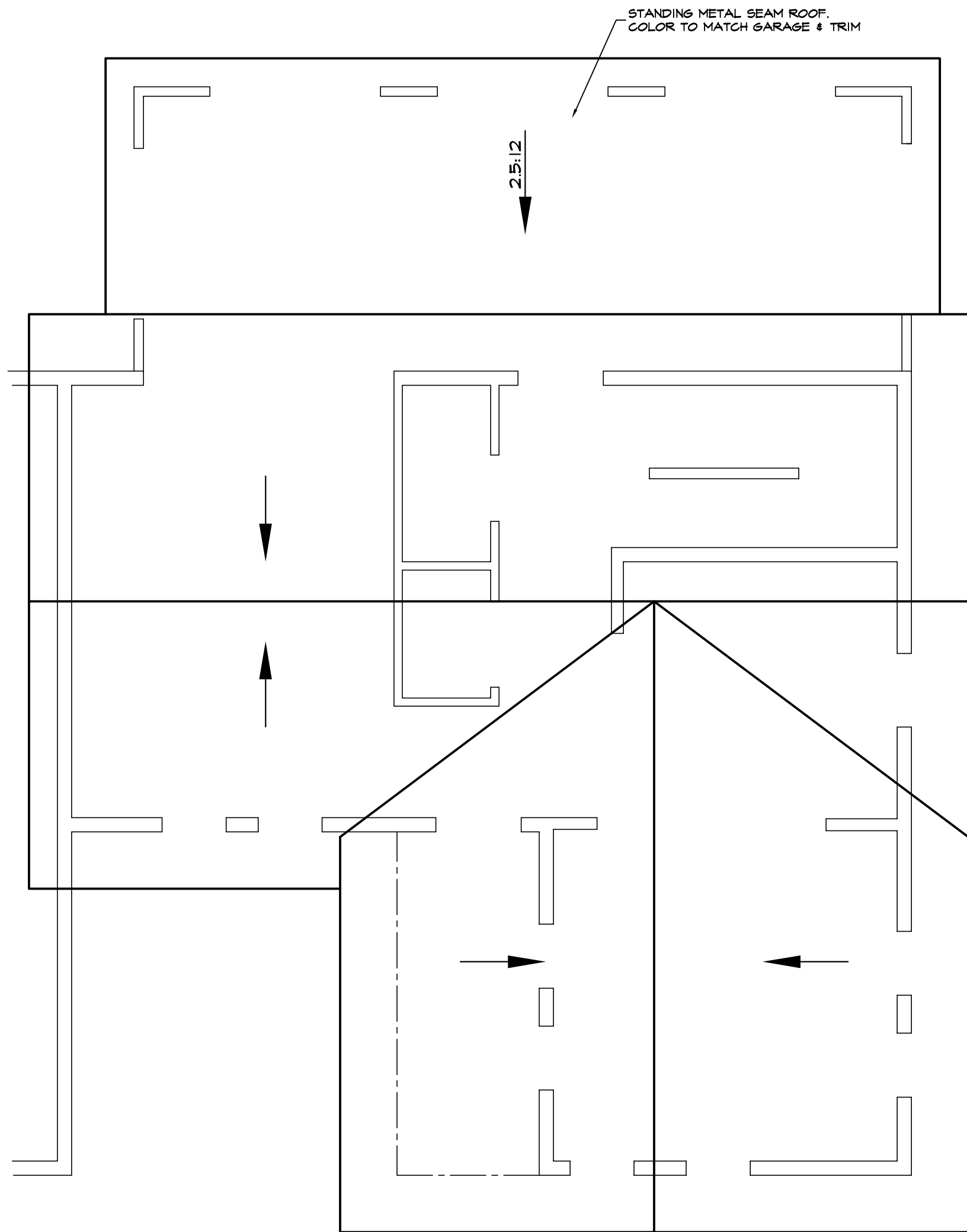
POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



ROOF PLAN - EXISTING
S: 1/4" = 1'-0"



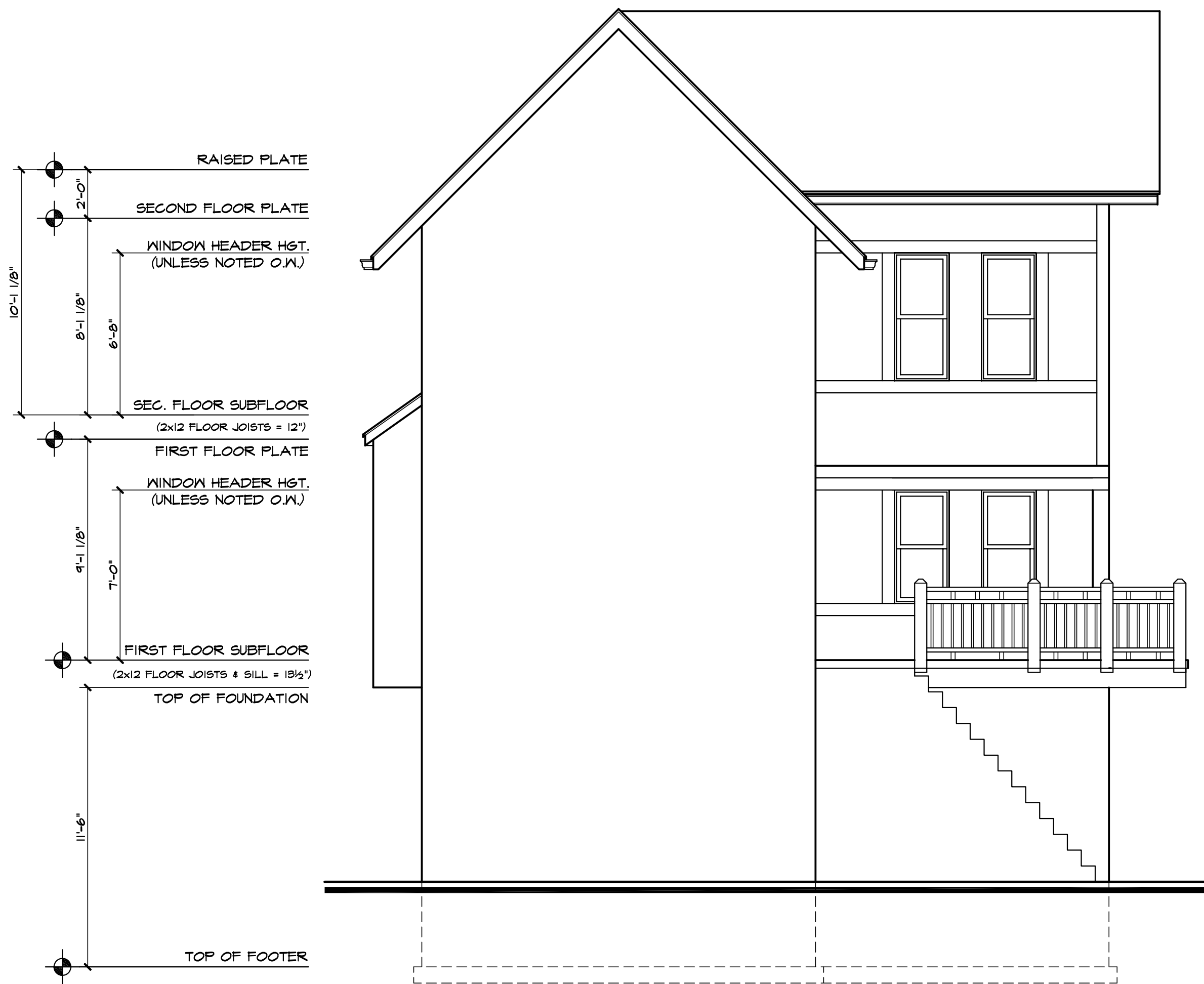
ROOF PLAN - NEW
S: 1/4" = 1'-0"



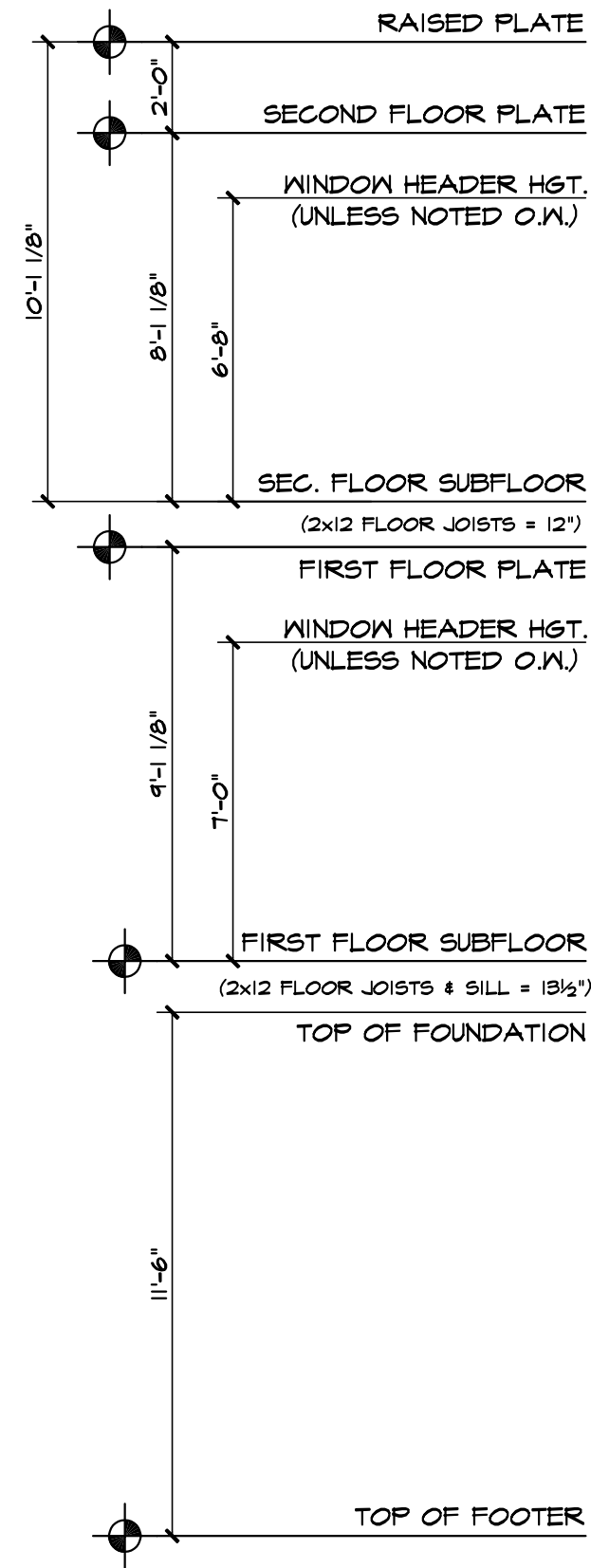
FRONT ELEVATION - NEW
S: 1/4" = 1'-0"



FRONT ELEVATION - NEW
S: 1/4" = 1'-0"



LEFT SIDE ELEVATION - EXISTING
S: 1/4" = 1'-0"



LEFT SIDE ELEVATION - NEW
S: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - EXISTING
S: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - NEW
S: 1/4" = 1'-0"



CONTACT:
J. KAPELA DESIGNS & CONST.
2206 Superior Via, Suite #203
Cleveland, Ohio 44113
330-554-1803
www.jkapela.com

ADDINGTON RESIDENCE
1445 W. 48TH ST.
CLEVELAND, OH 44120
EXTERIOR ELEVATIONS

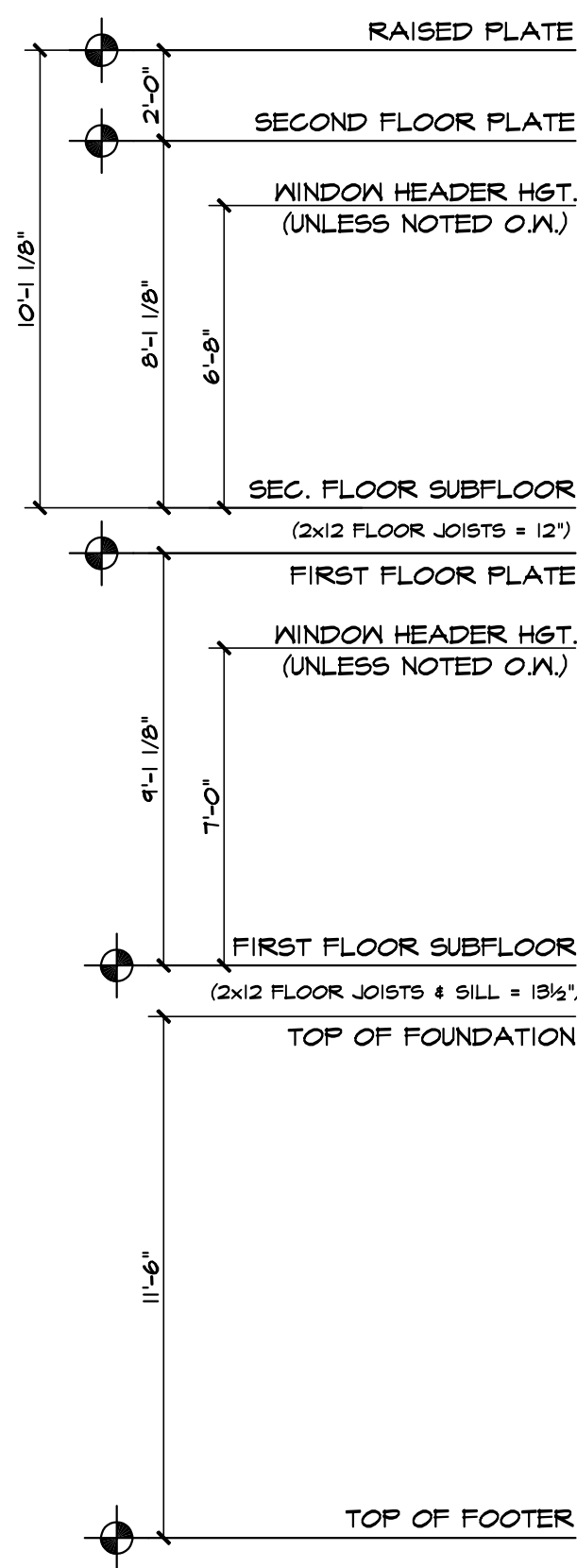
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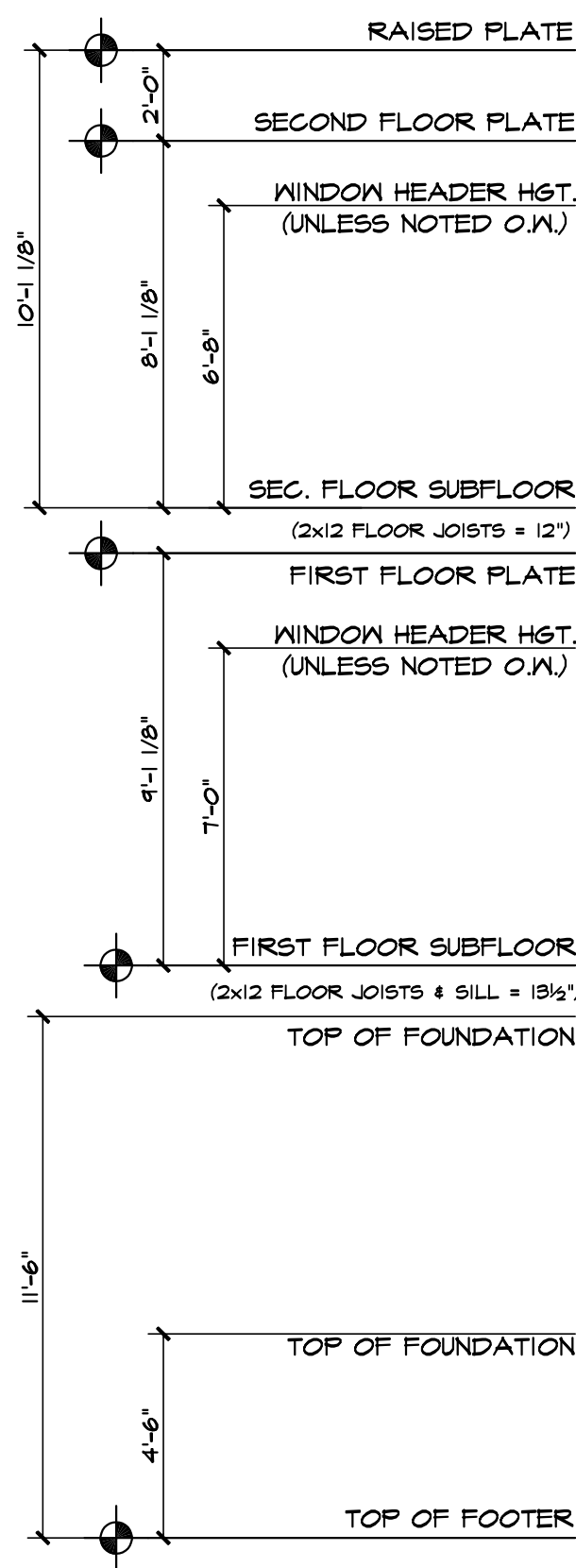
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JOB # 2020-53

A203



REAR ELEVATION - EXISTING
S: 1/4" = 1'-0"



REAR ELEVATION - NEW
S: 1/4" = 1'-0"



Case 21-011: Ohio City Historic District

Nosotros Vibe Garden 2828 Clinton Avenue

Rock Climbing Wall

Ward 3: McCormack

Project Representatives: Peter Stancato, Nosotros; David Maison, Architect; Jake Miley, Architect, Midwest Church Design; David Lentz, Saucy Brew Works

Nosotros Rock Climbing Gym

2828 Clinton Ave



Nosotros Rock Climbing Gym

- 501c3 nonprofit
- 2018 - 100 dates
- 2019 - Car
- 2020 - \$6500 underserved youth
- 2021 - Affordable clubs
- Extra - Near West Rec



Context

- Location has active street life
- Climbing adds to social culture
- Young adult professional participation
- Youth will benefit

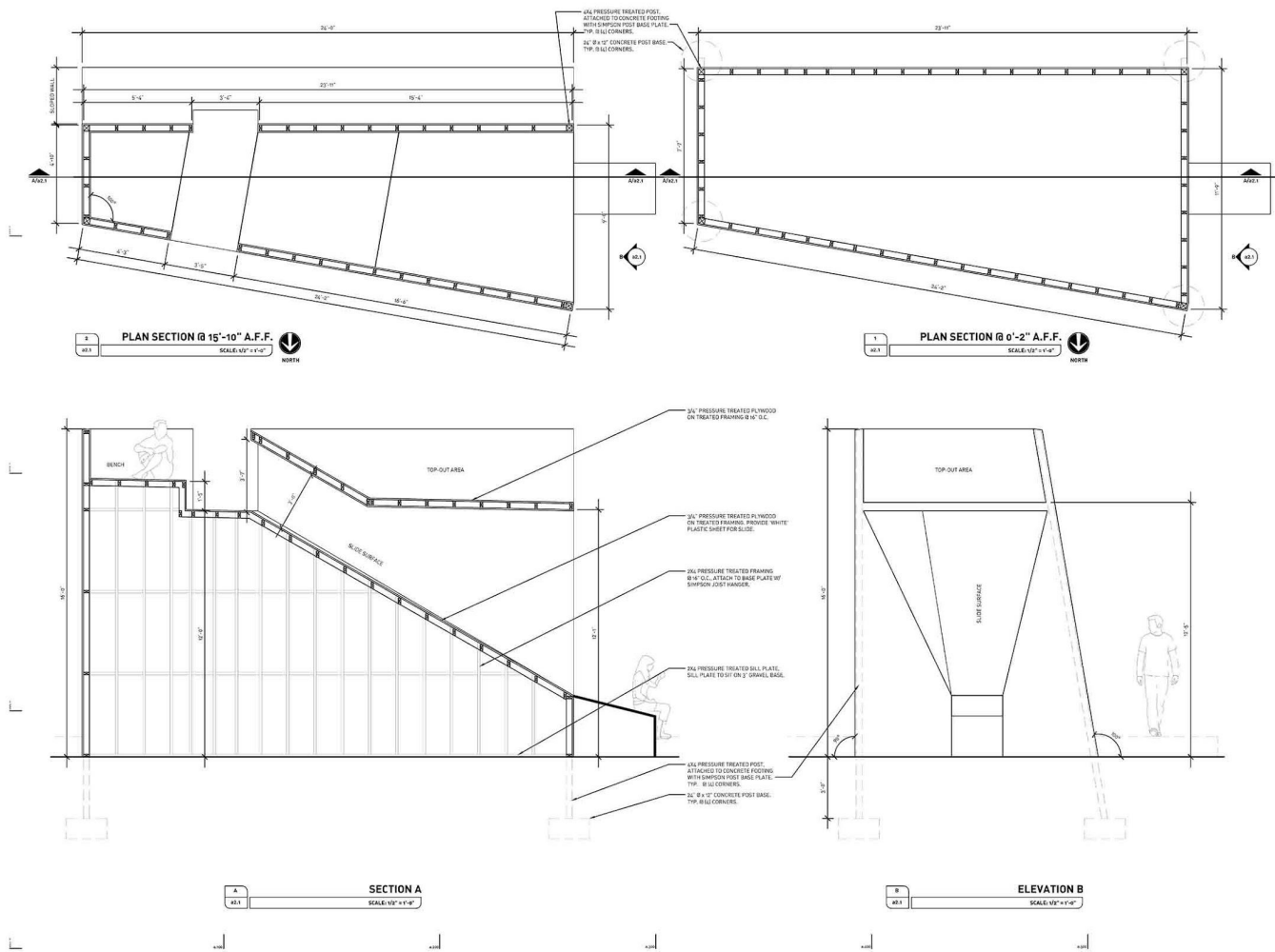


Rendering

- Low-height climbing
 - 24' x 9' x 16'
- Padding
 - 36' x 20' x 12"
- Protocols
 - Waiver
 - Tour
 - Supervision



Drawings



NOSOTROS - Outdoor Climbing Wall
Saucy Brew Works - Vibe Garden



PROJECT INFO

PROJECT:	NOSOTROS - Saucy Brew Works Downtown and 8th Street Cleveland, OH 44115
ARCHITECT:	ARCHITECT
DATE:	10/10/2020
REVISIONS:	

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Nosotros Rock Climbing Gym

gonosotros.com



SAUCY BREW WORKS – TEMPORARY OUTDOOR RESTAURANT VENUE

2807 CHURCH AVENUE / PARKING LOT @ CLEVELAND VIBRATOR COMPANY - 28TH STREET & CHURCH AVENUE

PARKING LOT AREA: 26,400 S.F.

OPERATION INFO

OPERATION TO EXTEND FROM THE ISSUE DATE OF TEMPORARY OCCUPANCY THRU NOVEMBER 30TH, 2020

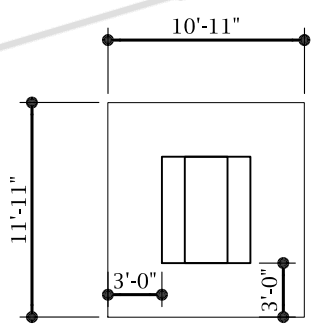
HOURS OF OPERATION 11AM – 10PM MONDAY-SUNDAY

ALL GATES TO REMAIN UNLOCKED DURING OPERATION FOR ADDITIONAL EGRESS

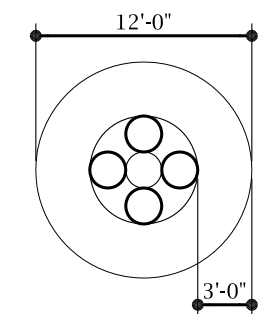
SITE KEY PLAN

(A) FIRE DEPARTMENT SITE ACCESS

TABLE LEGEND



SOCIAL DISTANCING GROUPING FOR PARTY OF UP TO 6* MAINTAINING 6'-0" SEPARATION MOVEABLE 6'-0" PICNIC TABLE



SOCIAL DISTANCING GROUPING FOR PARTY OF UP TO 4* MAINTAINING 6'-0" SEPARATION MOVEABLE 2'-0" TABLE

CAPACITY SHOWN WOULD ACCOMMODATE 332; HOWEVER, THE SEATING AREAS WILL ALL BE OPEN TO GUESTS, AND A PARTY OF TWO COULD OCCUPY EITHER A 4 GROUPING OR AN 8 GROUPING, SO THE ACTUAL OCCUPANCY WILL BE SIGNIFICANTLY LESS

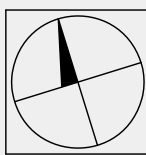
ADEQUATE TOILET FACILITIES ARE PROVIDED IN EXCESS OF THE HIGHEST CAPACITY NUMBER VIA PORTABLE RESTROOMS OUTSIDE AND EXISTING ADA ACCESSIBLE RESTROOMS INSIDE

01

ELECTRICAL LIGHTING PERMIT INFO ON SHEET SE.1

SITE PLAN

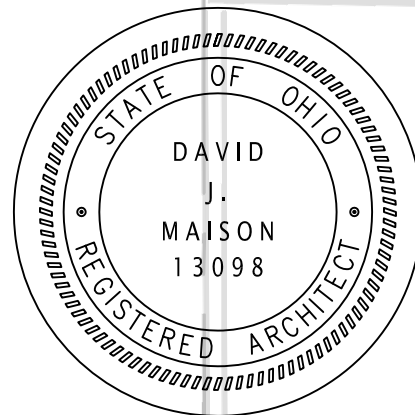
SCALE: 3/32" = 1'



MAISON^{A+D}

ARCHITECTURE & DESIGN | CLEVELAND, OH

2153 PROFESSOR AVE. PHONE: 216.832.3434
TREMONT, OHIO 44113



DAVID J. MAISON
LICENSE #13098
EXP. DATE 12/31/2021

LOCATION OF PROPOSED CLIMBING WALL IN AREA OF PREVIOUSLY BZA APPROVED "PONG" AREA
APPROVED AREA FOR SAND VOLLEYBALL AND OUTDOOR PONG

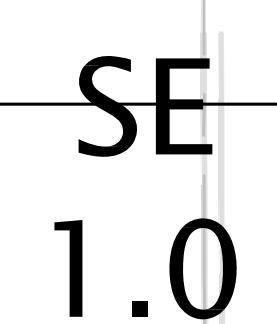
28TH STREET

EXISTING PERIMETER CHAIN LINK FENCE TO REMAIN

SP
1.0

CLIMBING WALL FEBRUARY 09 2021
PROJECT : SBW VB-2

PARKING LOT AREA: 26,400 S.F.



Cleveland Landmarks Commission

Concept Plan



February 25, 2021



Case 21-012: Gordon Square Historic District

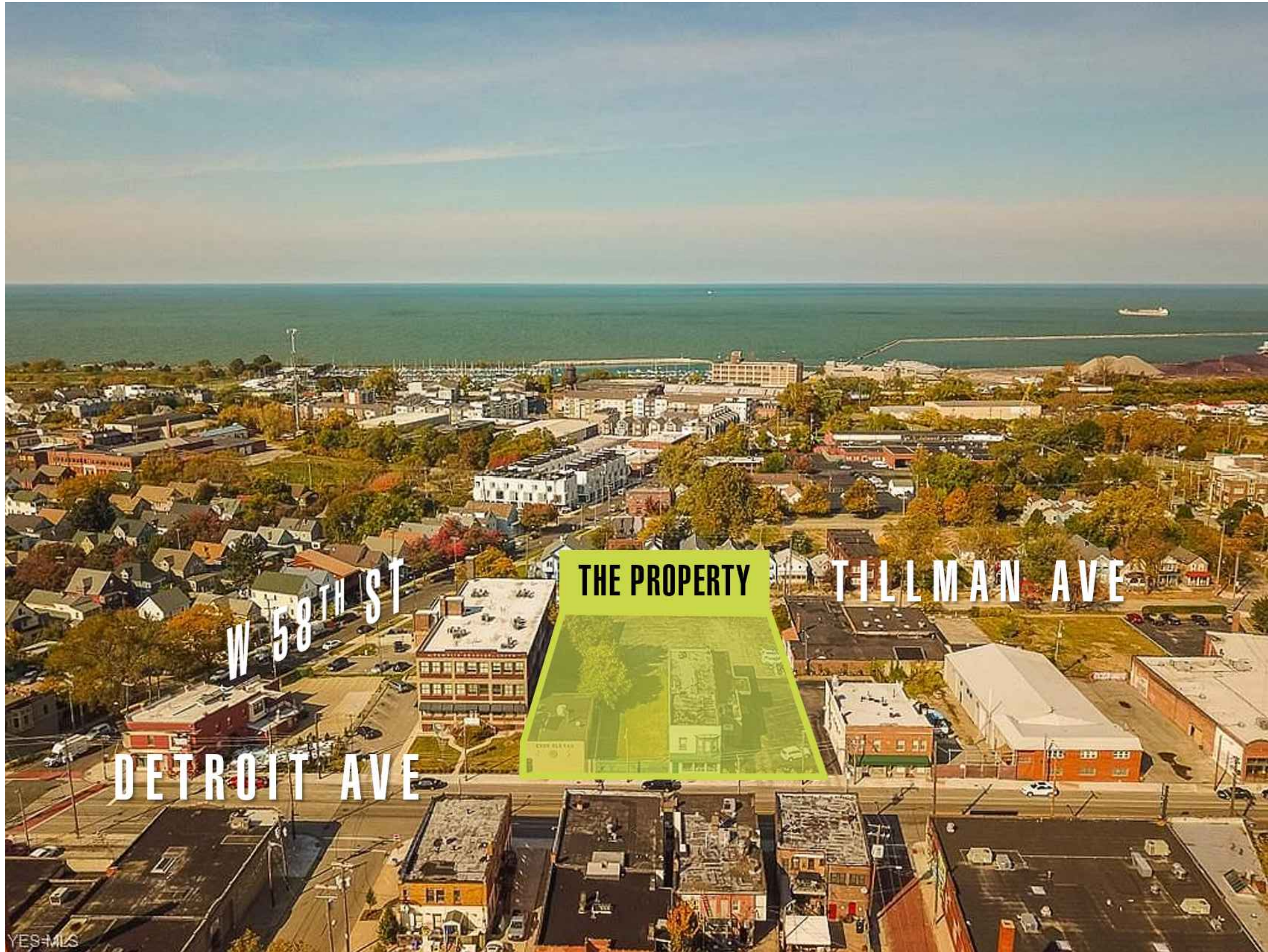
5506-08, 5602 Detroit Avenue

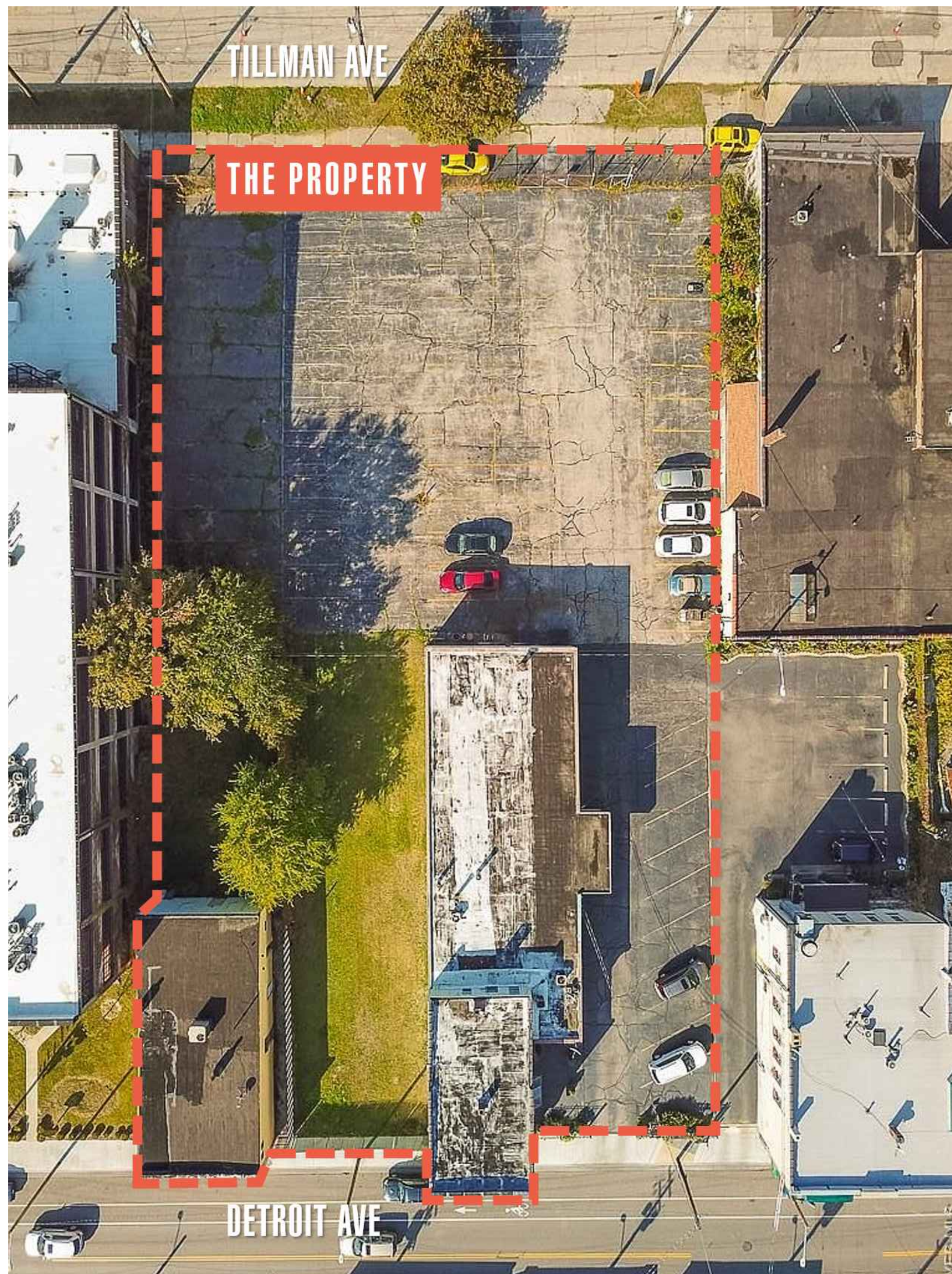
Demolition and New Construction for Waverly & Oak Mixed-Use Development

Ward 15: Spencer

Project Representatives: Scott Dimit, Dimit Architects; Justin Strizzi, Taylor

Hawkins, Bond Street Group





EXISTING CONDITION – VIEW ALONG DETROIT AVE



EXISTING CONDITION – VIEW ALONG TILLMAN AVE

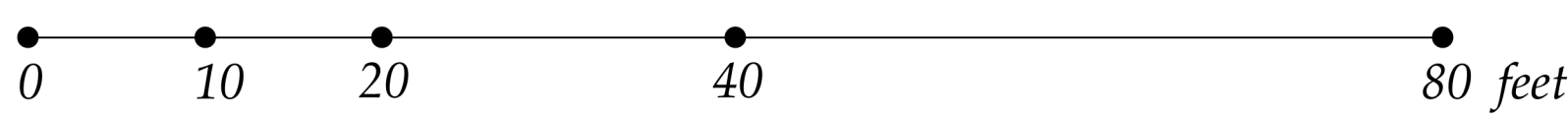






Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

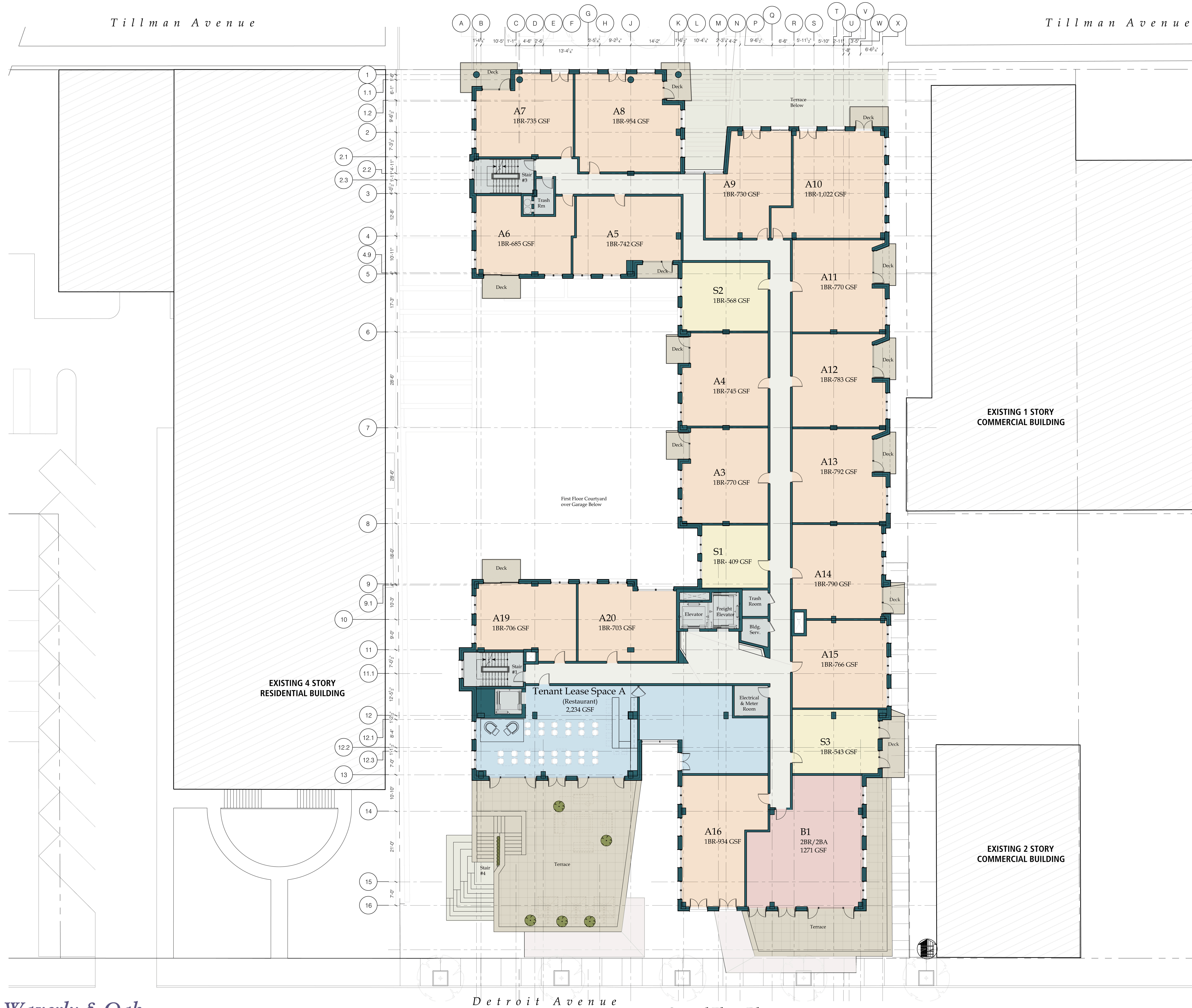
Detroit Avenue
Lower Level Floor Plan

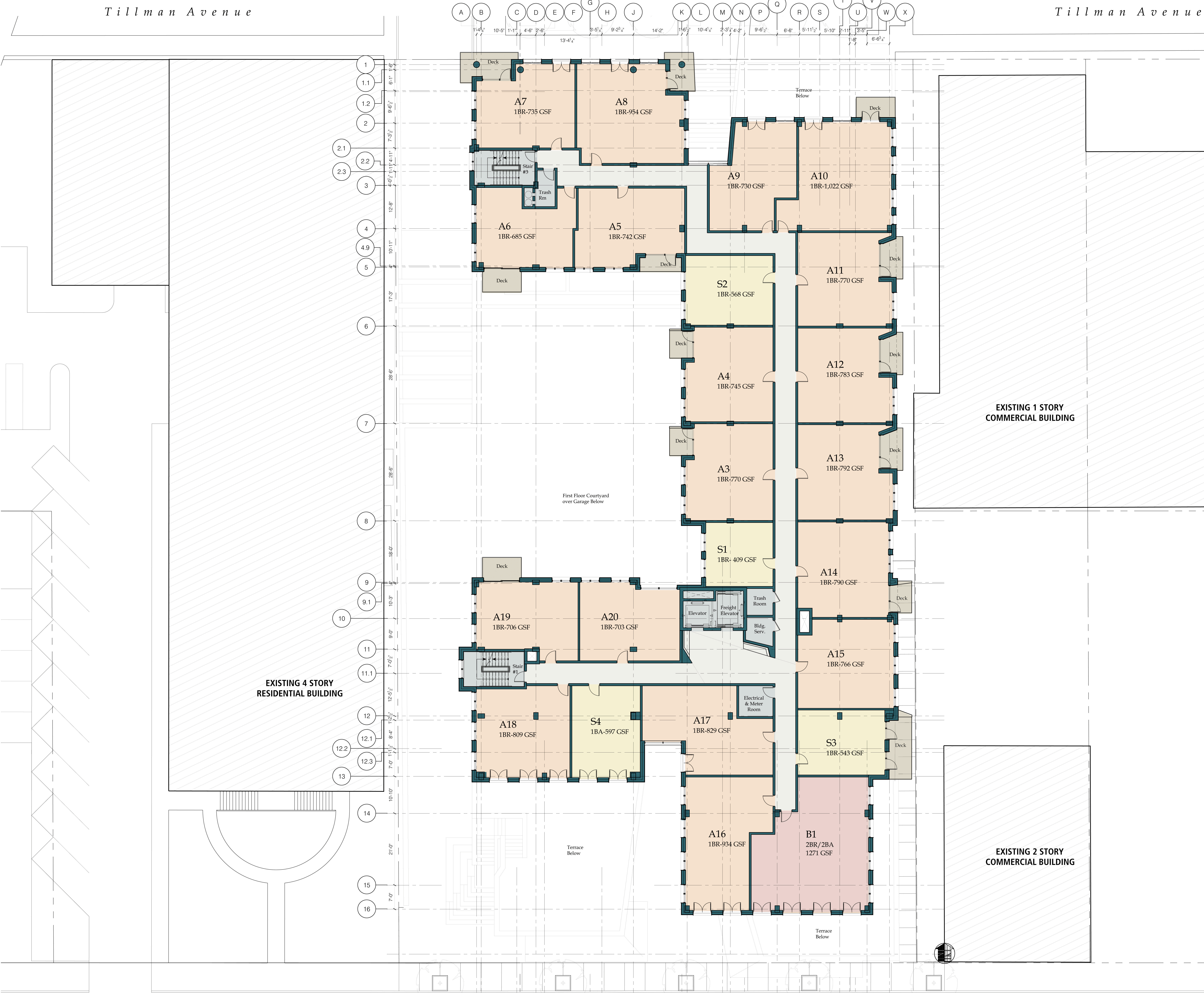




Area and Yield Summary		
Lower Level:		
Parking:	31,047 s.f. (88%)	
Gross CAM Area:	4,074 s.f. (12%)	
Parking Spaces	102 Spaces	
First Floor:		
Gross CAM Area:	23,221± s.f. Gross	
Commercial Lease Spaces	5,011 s.f. (22%)	
Co-Working Space	12,107 s.f. (52%)	
Residential Gross Lease Area:	4,690 s.f. (20%)	
	1,413 s.f. (6%)	
One Bedrooms		
	2 Units.	
Total Units per Floor	2 Units	
Second Floor:		
Commercial Hospitality Spaces	21,169± s.f. Gross	
Residential Gross Lease Area:	2,234 s.f. (10%)	
Gross CAM Area:	15,418 s.f. (73%)	
	3,517 s.f. (17%)	
Studios		
	3 Units.	
One Bedrooms	16 Units.	
Two Bedrooms	1 Units.	
Total Units per Floor	20 Units	
Typical Floor (Floors 3, 4, & 5):		
Residential Gross Lease Area:	21,169± s.f. Gross	
Gross CAM Area:	17,628 s.f. (83%)	
	3,541 s.f. (17%)	
Studios (500 S.F. +/-)		
	4 Units.	
One Bedrooms (720 S.F. +/-)	18 Units.	
Two Bedrooms (1,000 S.F. +/-)	1 Units.	
Total Units per Floor	23 Units	
Sixth Floor:		
Residential Gross Lease Area:	20,041± s.f. Gross	
Gross CAM Area:	16,594 s.f. (83%)	
	3,447 s.f. (17%)	
Studios		
	4 Units.	
One Bedrooms	17 Units.	
Two Bedrooms	1 Units.	
Total Units per Floor	22 Units	
Penthouse Floor:		
Residential Gross Lease Area:	13,874 ± s.f. Gross	
Rooftop Lounge Area:	8,309 s.f. (60%)	
Gross CAM Area:	2,078 s.f. (15%)	
	3,487 s.f. (25%)	
Penthouse Apartments:		
	7 Units.	
Total Units per Floor	7 Units	

Building Totals:		
Total Apartment Units		120 Units
Total Parking Spaces		102 Spaces
Total Gross Leasable Area	(79%)	115,727 ± s.f.
Total CAM Area:	(21%)	30,159 ± s.f.
Total Gross Square Feet (Without Garage):		145,886 ± s.f.
Total Garage Area		31,047 ± s.f.

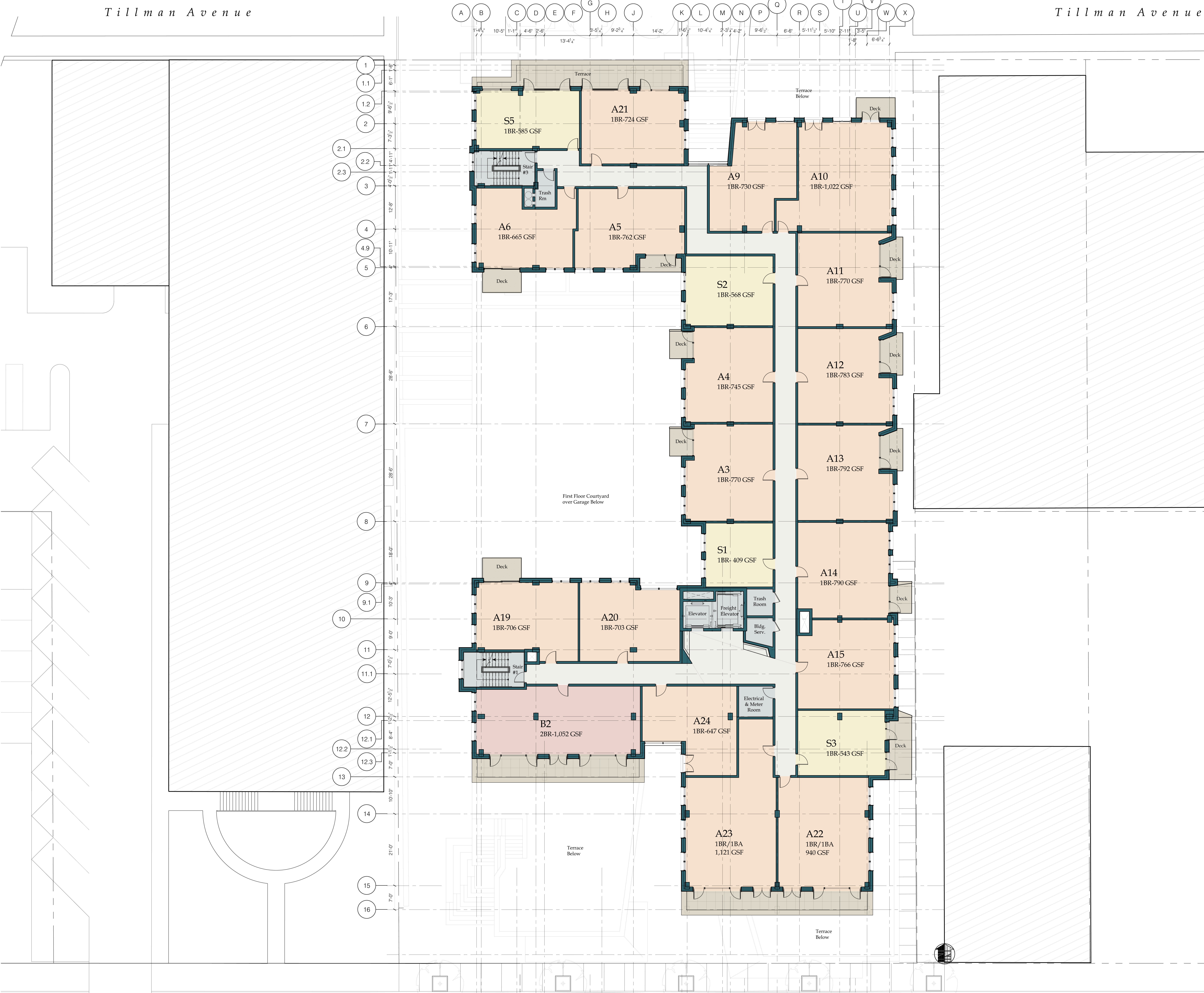




Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

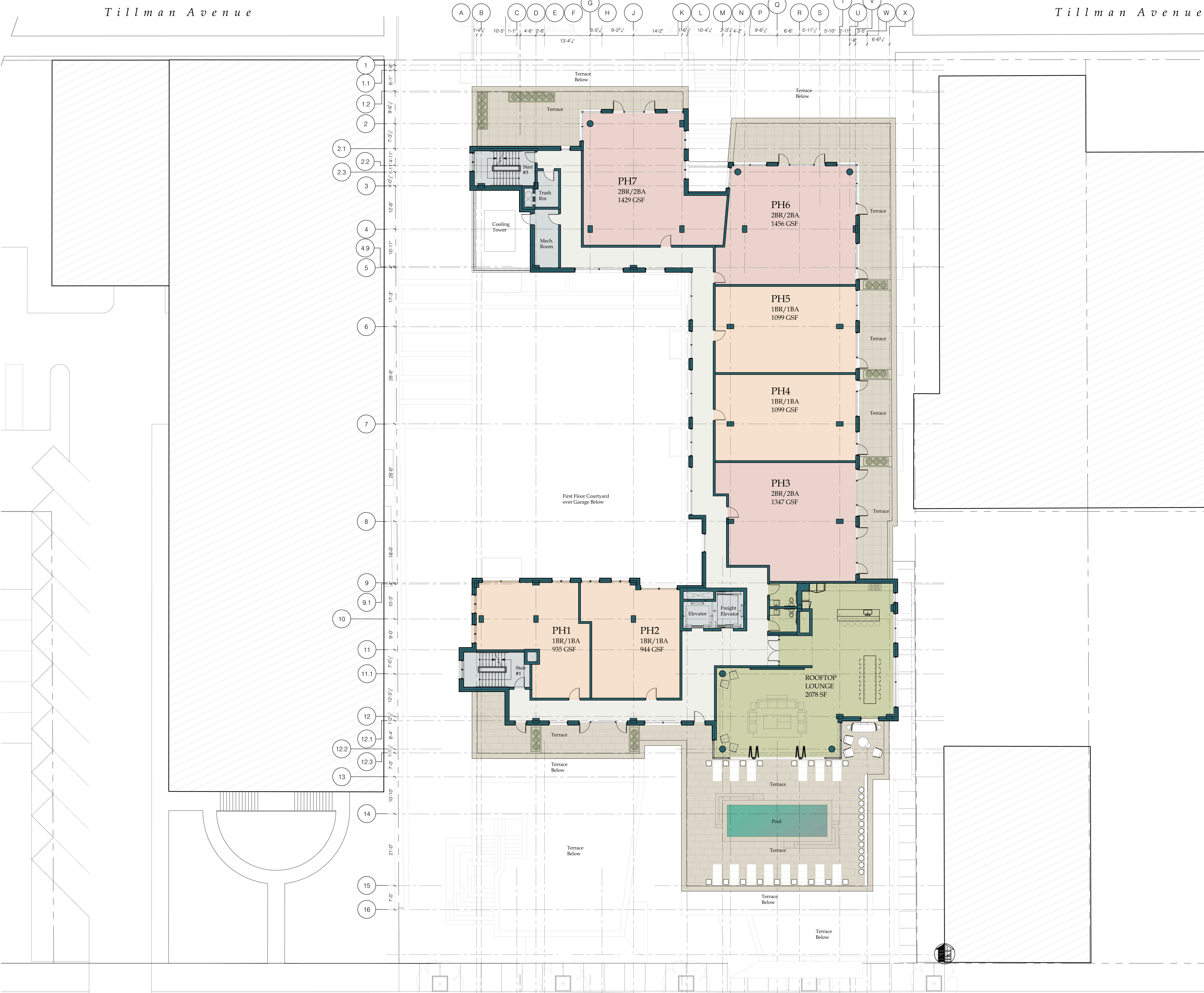
Detroit Avenue
Typical Third to Fifth Floor Plans





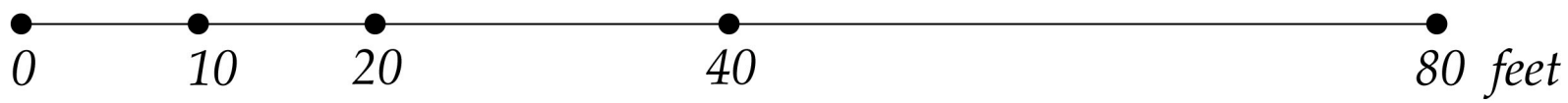
Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

Sixth Floor Plan



Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

Penthouse Floor Plan





Waverly & Oak
 Gordon Square Neighborhood, Cleveland, Ohio

South Facade at Detroit Avenue

 **BOND STREET**

DIMITARCHITECTS
 architecture + interiors + urban design
 February 25, 2021



Waverly & Oak
 Gordon Square Neighborhood, Cleveland, Ohio

North Facade at Tillman Avenue

 **BOND STREET**

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 February 25, 2021



Waverly & Oak
 Gordon Square Neighborhood, Cleveland, Ohio

Northeast Corner at Tillman Avenue

⌘ BOND STREET

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Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

Above Detroit Avenue and W. 58th Street

 **BOND STREET**

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February 25, 2021

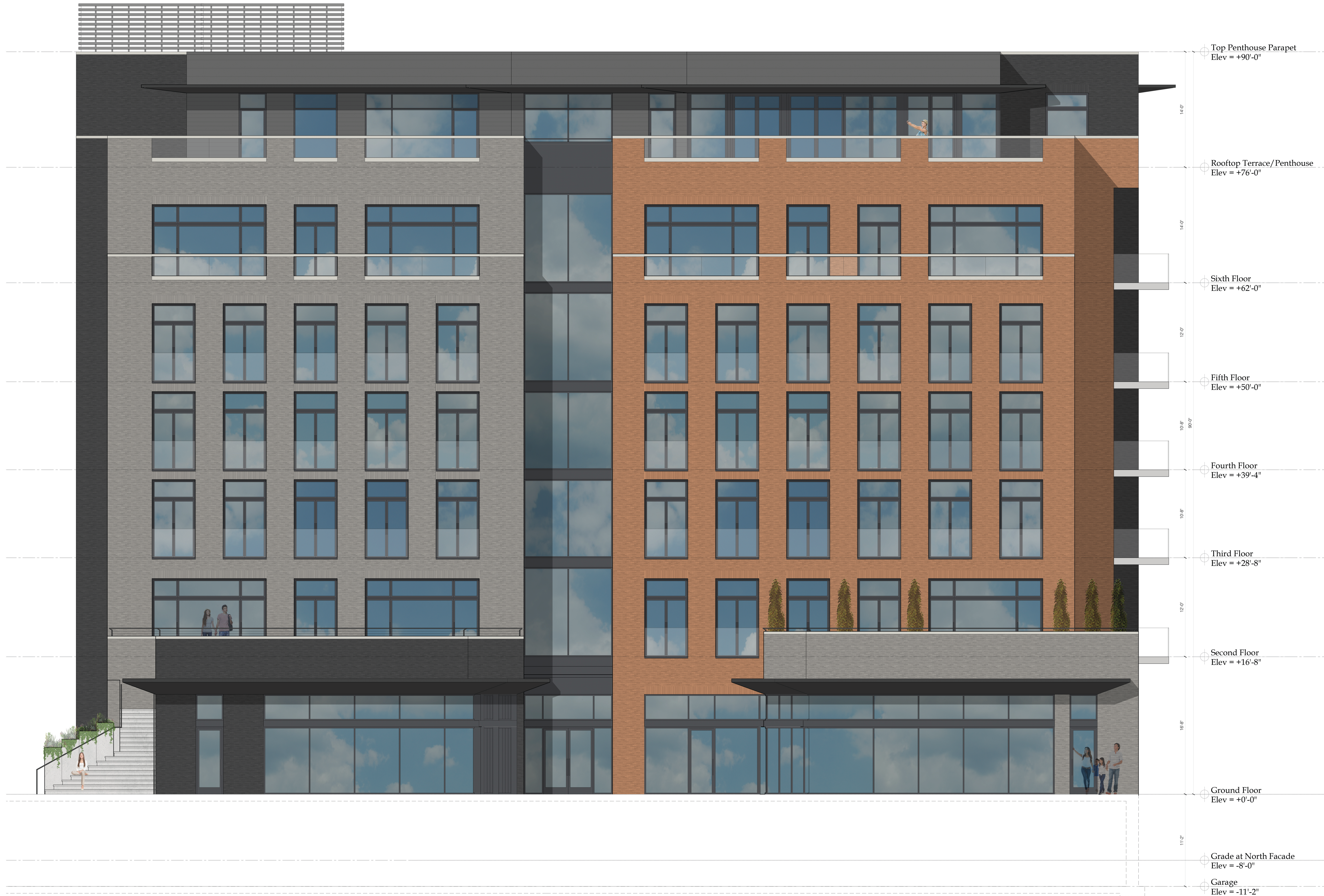


Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

Above Detroit Avenue

 **BOND STREET**

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architecture + interiors + urban design
February 25, 2021



Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

South Elevation
Scale: 1/4" = 1'-0"



Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

North Elevation
Scale: 1/4" = 1'-0"



Waverly & Oak
Gordon Square Neighborhood, Cleveland, Ohio

East Elevation
Scale: 1/8" = 1'-0"



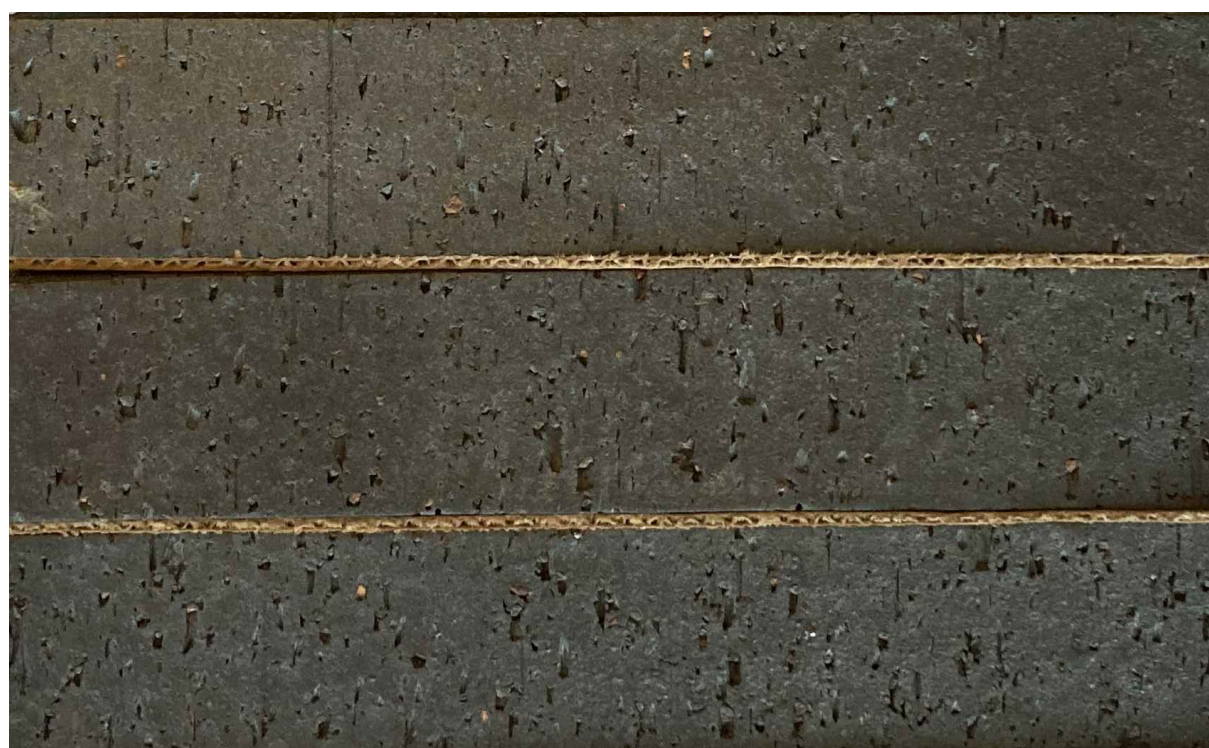




Wirecut light grey blend



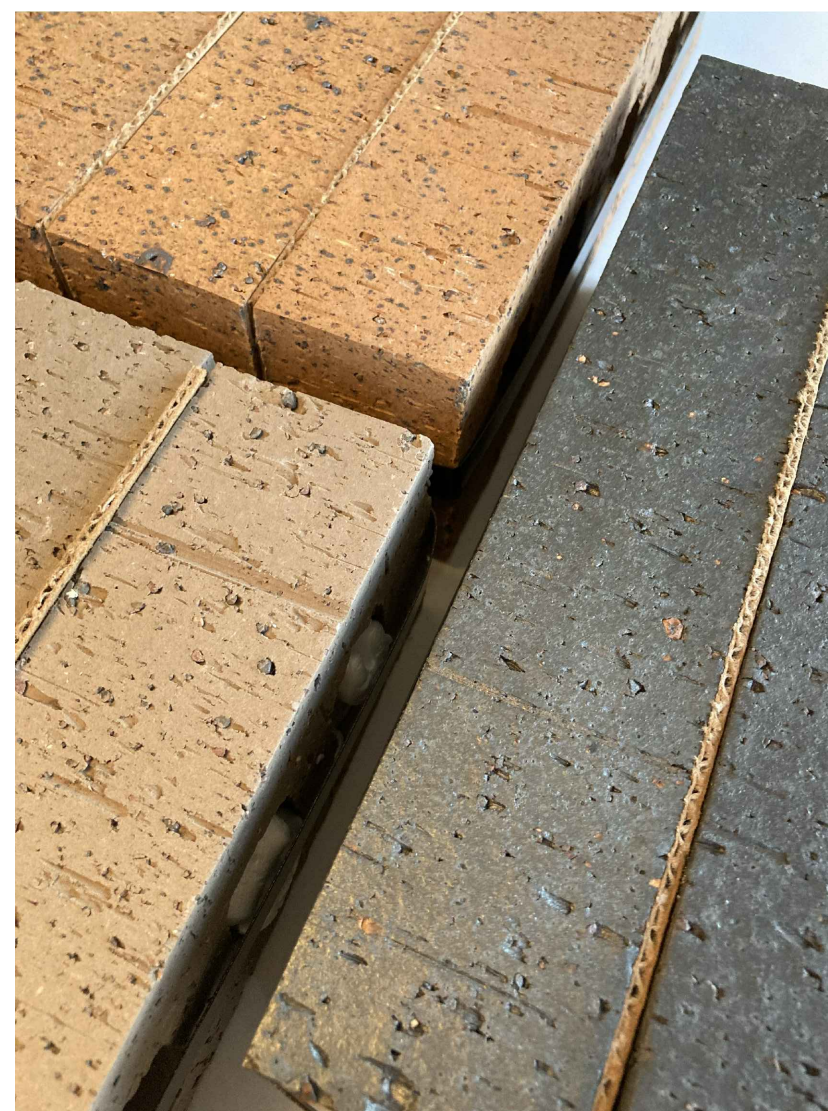
Wirecut desert iron spot dark



Manganese iron spot



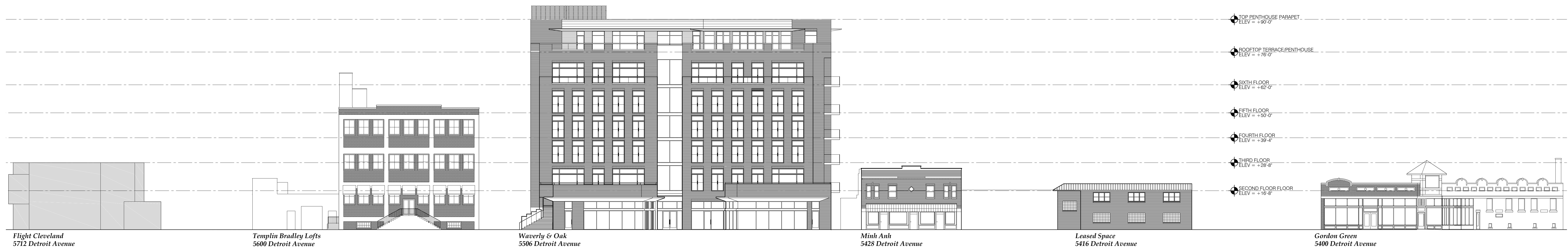
Horizontal metal panel



Norman brick



Shadowbox Juliet balconies



1
A0-00
SITE ELEVATION
SOUTH ELEVATION FROM DETROIT AVE
SCALE: 1/16" = 1'-0"



2
A0-00
SITE ELEVATION
NORTH ELEVATION FROM TILLMAN AVE
SCALE: 1/16" = 1'-0"



Waverly & Oak
 Gordon Square Neighborhood, Cleveland, Ohio

South Facade at Detroit Avenue

⌘ BOND STREET

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 architecture • interiors • urban design
 February 25, 2021

Site Visit

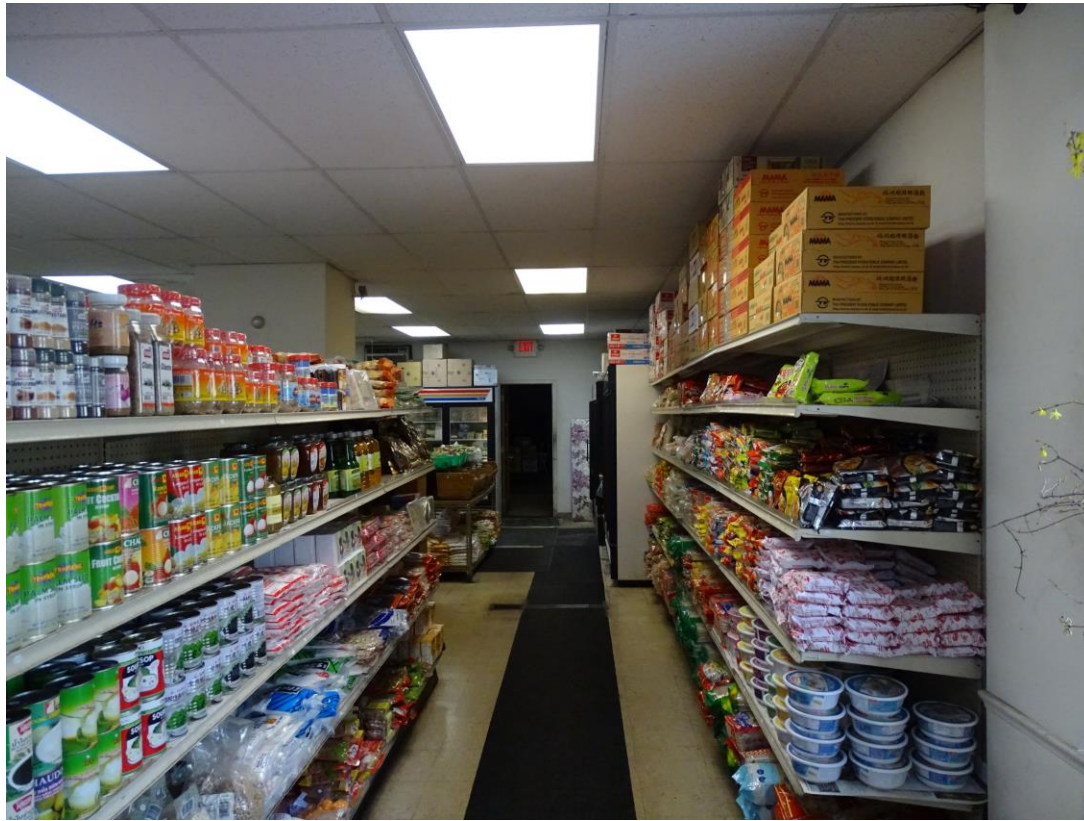
February 9, 2021







Vietnamese Market





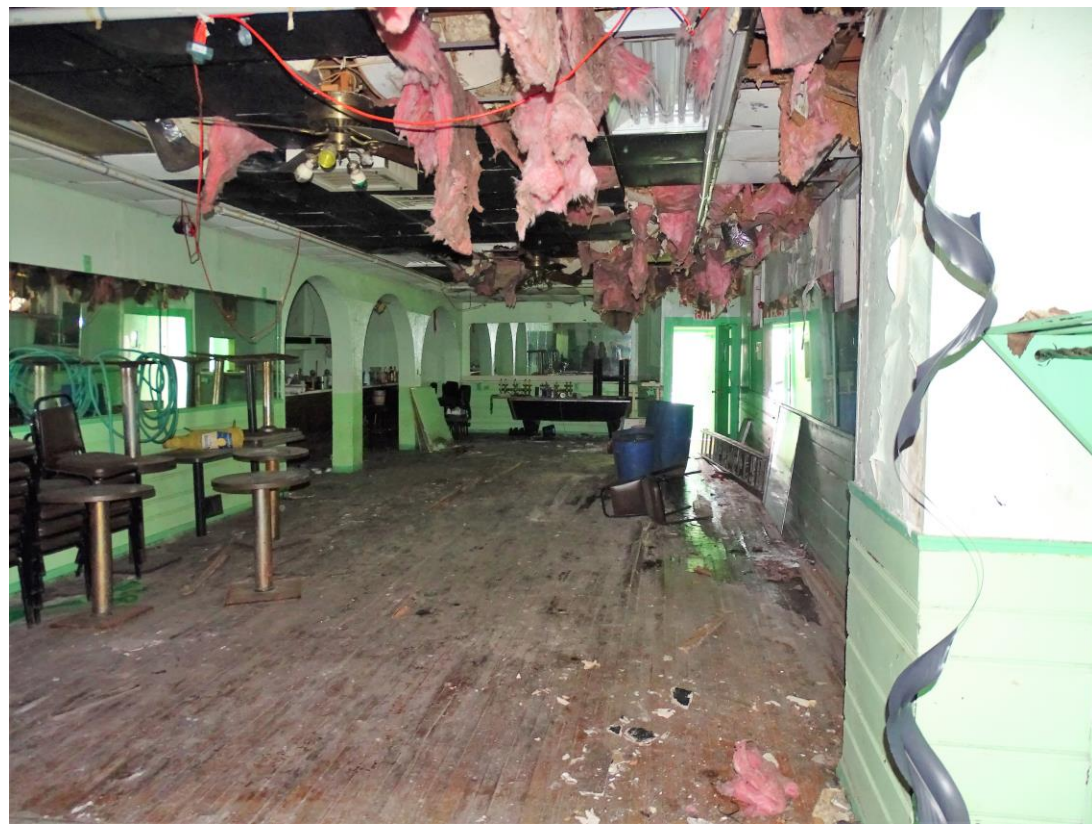


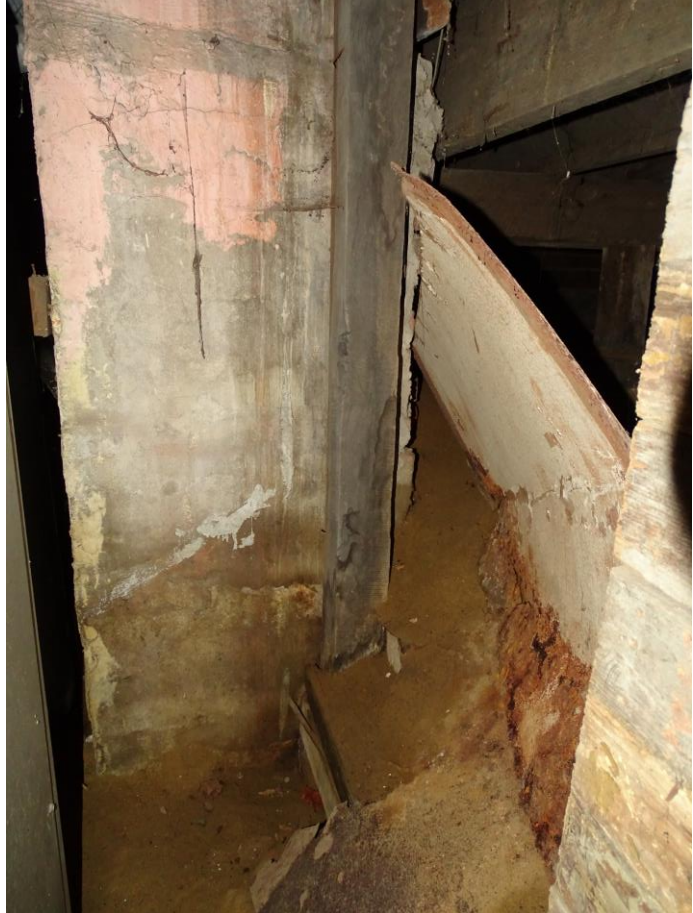




Club Azteca











Case 21-013: Ohio City Historic District

1828 Fulton Road

Renovation and New Construction of an Apartment Building

Ward 3: McCormack

Project Representatives: Westleigh Harper, Horton Harper Architects; Thomas Hasson, James Asimes, Local Development Partners

Cleveland Landmarks Commission

Ohio City CoUrbanize Presentation



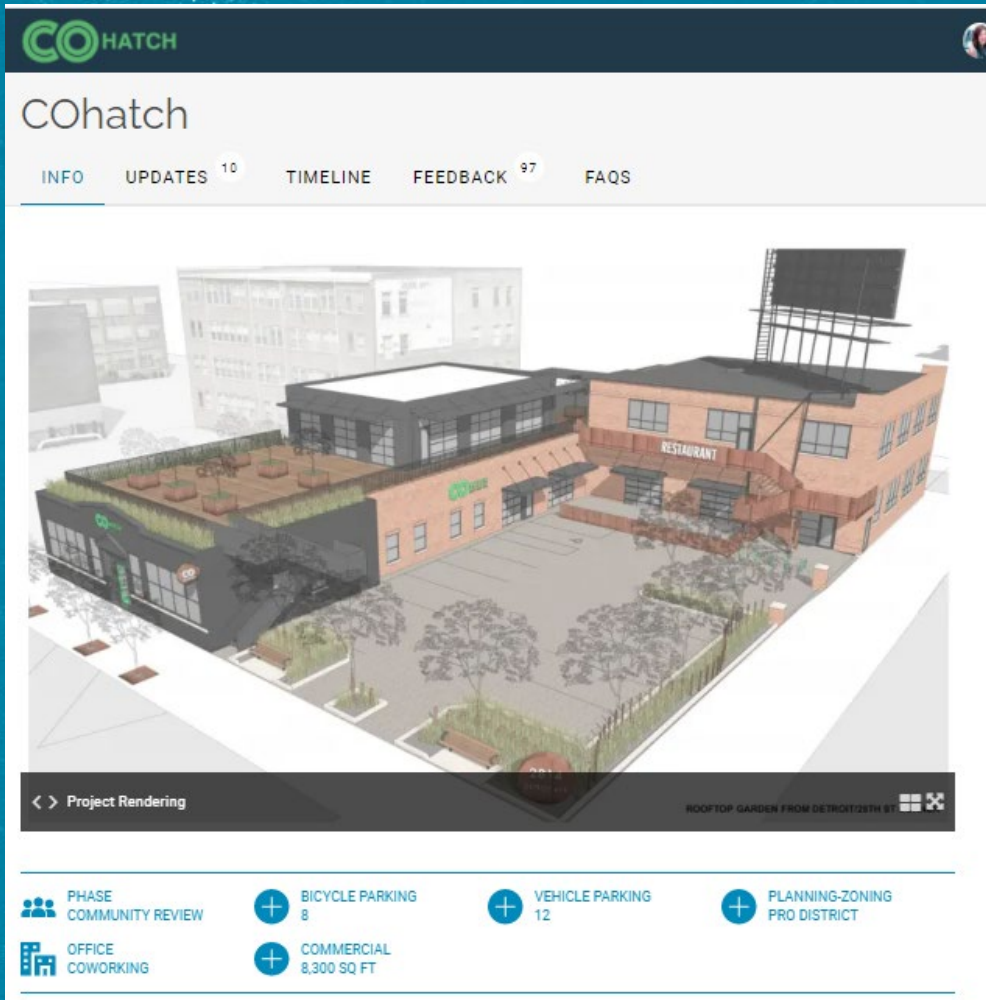
February 25, 2021

CoUrbanize

OHIO CITY INCORPORATED'S COMMUNITY ENGAGEMENT PLATFORM



ENSURING THE COMMUNITY IS INFORMED



Public Benefits



Innovation Space

Affordable work space, mobile community center, health & wellness coaching, maker space



Job Creation

Supports local nonprofits and provides scholarships, creates a community of social enterprises that provide second chance employment, connects investors & entrepreneurs to connect through pitch events



Parking

12 vehicle parking spaces and 8 bicycle parking spaces proposed



Pedestrian Streetscape

Streetscape improvements will be made along Detroit Avenue, including the removal of a curb cut, public benches, new trees and landscaping.



Retail

A new food & beverage concept, indoor/outdoor event space, family-friendly programming, social spaces (i.e. game room, active patio space)



Transportation

Leveraging proximity to Cleveland Lakefront Bikeway and Detroit Avenue bike lanes with bike parking and fix-it stations

I am presenting to the community for:

- Conceptual/Design Feedback and Input
- Zoning Variance Support
- Planning Commission Support
- An exception to the Pedestrian Retail Overlay
- Liquor License

Information & Plans


- 📄 Planning Commission Letter
- 📄 Planning Commission Agenda
- 📄 Local Design Review 2
- 📄 Design Review - COA and Notes
- 📄 COhatch - Block Club
- 📄 COhatch - Design Review
- 📄 Existing Conditions

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est 1836

ENSURING THE COMMUNITY IS INFORMED


COhatch

INFOUPDATES¹⁰TIMELINEFEEDBACK⁹⁷FAQS




Anticipated Completion Date

January 2021



Building Permits expected to be filed


July 2020



Design Review Presentation #2

2020-06-18


COhatch will be presenting to the local design review committee for the second time on June 18th, at 11:30 am. The Zoom information is below. Please see the plans and presentation here:
https://res.cloudinary.com/courbanize-production/image/upload/v1/timeline_event
Please see the login information for Zoom below in case you did not receive the invitation- it is also on our website: Topic: Design Review- Time: Jun 18 2020 11:30



Franklin Clinton Block Club meeting

2020-05-28


Join Zoom Meeting
<https://us02web.zoom.us/j/4361345908> Meeting ID: 436 134 5908 Call-in: (646) 558-8656 4361345908#



Construction Begins

August 2020


Anticipating the beginning of construction



Franklin Clinton Block Club

2020-06-25


Presentation to the Block Club



Ohio City Design Review

2020-06-04

Join Zoom Meeting
<https://us02web.zoom.us/j/816188369617>
pwd=OTd1aHdUeU1nTjVhOVlhRHl2dXZnQT09
Meeting ID: 816 1883 6961 Password: Ohio City
Call-in: (301) 715-8592 81618836961#
[COhatch - Design Review](#)



Design Phase

Spring 2020 - Current Phase

COhatch

INFOUPDATES¹⁰TIMELINEFEEDBACK⁹⁷FAQS

UPDATE #3

Franklin Clinton Block Club - meeting recap

Thank you to the Franklin Clinton Block Club for organizing a virtual meeting this evening!

If you missed the block club meeting, don't worry. We recorded the meeting so you can watch it and participate as you're able. There is also a quick recap of the block club discussion below.

[Here is a link to the meeting recording.](#)

[Here is a link to the presentation.](#)

The developers presented to the Franklin Clinton block club on Thursday, May 28th, at 7:00pm. There were 30 meeting attendees, including resident and business owners, COhatch development team, and Ohio City Incorporated staff.

Project details:

- Coworking space
- Fast-casual, family-friendly restaurant concept
- Game room shared by coworking concept and restaurant
- Event and meeting space available – could be used by community in the evenings
- Parking lot / outdoor gathering space
- Rooftop deck

Site improvements include:

- New street trees long Detroit Avenue
- Removal of curb cut on Detroit Avenue
- Bike racks
- Design for an active street front
- Operable storefront windows
- Parking lot improvements (resurfacing and new landscaping)

Discussion with the block club:

- The billboard will stay.
- This building historically has been integral to the LGBTQ community and community members would like to see this honored through the new use.
- The game room would be open to the neighborhood on evenings and weekends and would be accessible through the restaurant. Community members suggest this could be an amenity for youth in the neighborhood.
- This coworking concept is different than the coworking spaces that exist in the neighborhood already. This team looks at business density and residential density when looking to enter a market.
- Memberships for coworking range from \$59-2,000 per month.
- The community asked how this project will benefit residents of Lakeview Estates. COhatch supports social enterprises and provides scholarships for people who can't afford a membership. A comment from a resident suggested converting the parking lot to a basketball court in the evening.
- The restaurant concept will be a family-friendly, fast-casual business. The project developers do not have an agreement with an operator at this time.

UPDATE #8

Planning Commission Meeting

COhatch is scheduled to present to the **Cleveland Planning Commission (CPC)** tomorrow, **Friday, June 19th**. CPC meetings begin at 9am and will take place virtually. Ohio City Incorporated staff will be present to summarize all community feedback that has been shared on the project thus far. Any feedback that community members would like to share via email can be sent to:

- Michael Bosak, MBosak@city.cleveland.oh.us
- Shannan Leonard, SLeonard@city.cleveland.oh.us

Community members who are interested in watching the Cleveland Planning Commission meeting can tune in via **TV20** or the live feed on **Youtube**.

You can view the meeting agenda [here](#) as well as the [letter COhatch received from Cleveland Planning Commission](#). This project is going to Planning Commission for review because it is in the Pedestrian Retail Overlay district and they are requesting a Conditional Use Permit for:

A. Off-Street Parking or Loading Area
C. Non-Retail Office Use
E. Side Yard more than 4 Feet in Width and Located Within 40 Feet of a Pedestrian Retail Frontage

If you have questions about the Conditional Use Permit that COhatch is seeking from the CPC, please email Ashley Shaw at ashaw@ohiocity.org.

Posted on Jun 18, 2020

[Share this update](#)

UPDATE #7

COhatch Conceptional Presentation at Landmarks

COhatch will be doing a Conceptional Presentation at Landmarks on June 11th. Here is the information to join the virtual meeting:

<https://cityclevelandoh.webex.com/cityclevelandoh/j.php?MTID=md23687454453e27cfc0e0e374d327c3>

Cleveland Planning 2 changed the Webex meeting information.

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OPPORTUNITIES FOR THE COMMUNITY TO PARTICIPATE



Anne T

May 28, 2020

Based on the proposed site plan, would you prefer to see more parking or streetscape improvements that prioritize people walking and biking?

Streetscape improvements! This location is so close to the Lakefront Bike Trail; I think it would be awesome to make sure there's any easy connection for people walking and biking.

6 SUPPORTERS

[Share](#)



Amy M

May 28, 2020

How can we ensure this new development embeds naturally into the current culture of the surrounding area and continues to honor its history?

I would love to see discounted or free meeting spaces for community organizing groups to meet, particularly those serving BIPOC, LGBTQIA+ and historically oppressed demographics.

4 SUPPORTERS

[Share](#)



Eric Vaessen

May 28, 2020

How can we ensure this new development embeds naturally into the current culture of the surrounding area and continues to honor its history?

As a member of the local LGBT community, I would like to see an acknowledgement of that portion of the building's history worked into its construction. It was an important part of our community for many years and even a simple plaque would be meaningful.

2 SUPPORTERS

[Share](#)



Hannah Lindsay

Jul 21, 2020

What else could this project include that would be beneficial to the community?

Include options for people with less money to burn. Smaller portions on the menu, low cover charge for the games/patio, etc. Make it a place where people of all incomes can mix and mingle.

[Share](#)



Matthew Franklin

Jun 30, 2020

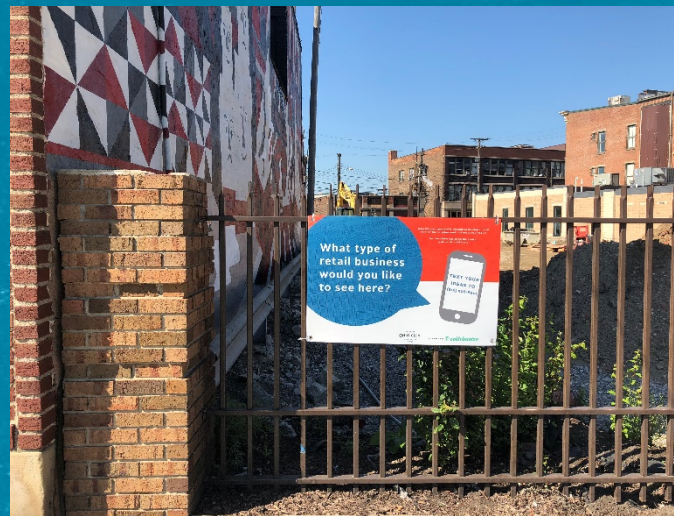
If a social gathering space were included in future development, what kinds of amenities would you like to see (fire pit, patio seating, games, etc.)

Gravel or turf area with games, outdoor bar, fire pit, music

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OPPORTUNITIES FOR THE COMMUNITY TO PARTICIPATE



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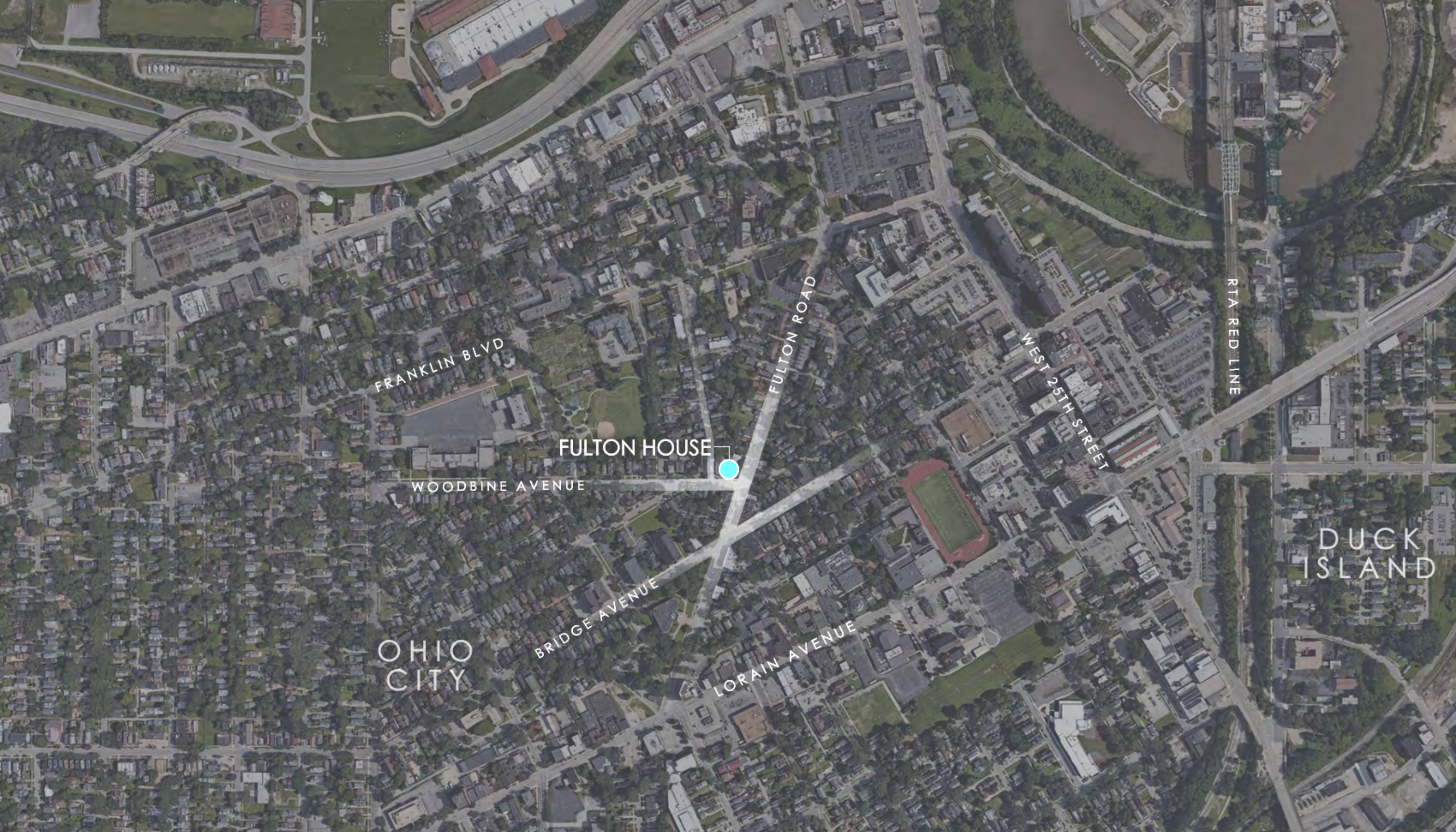
FULTON HOUSE

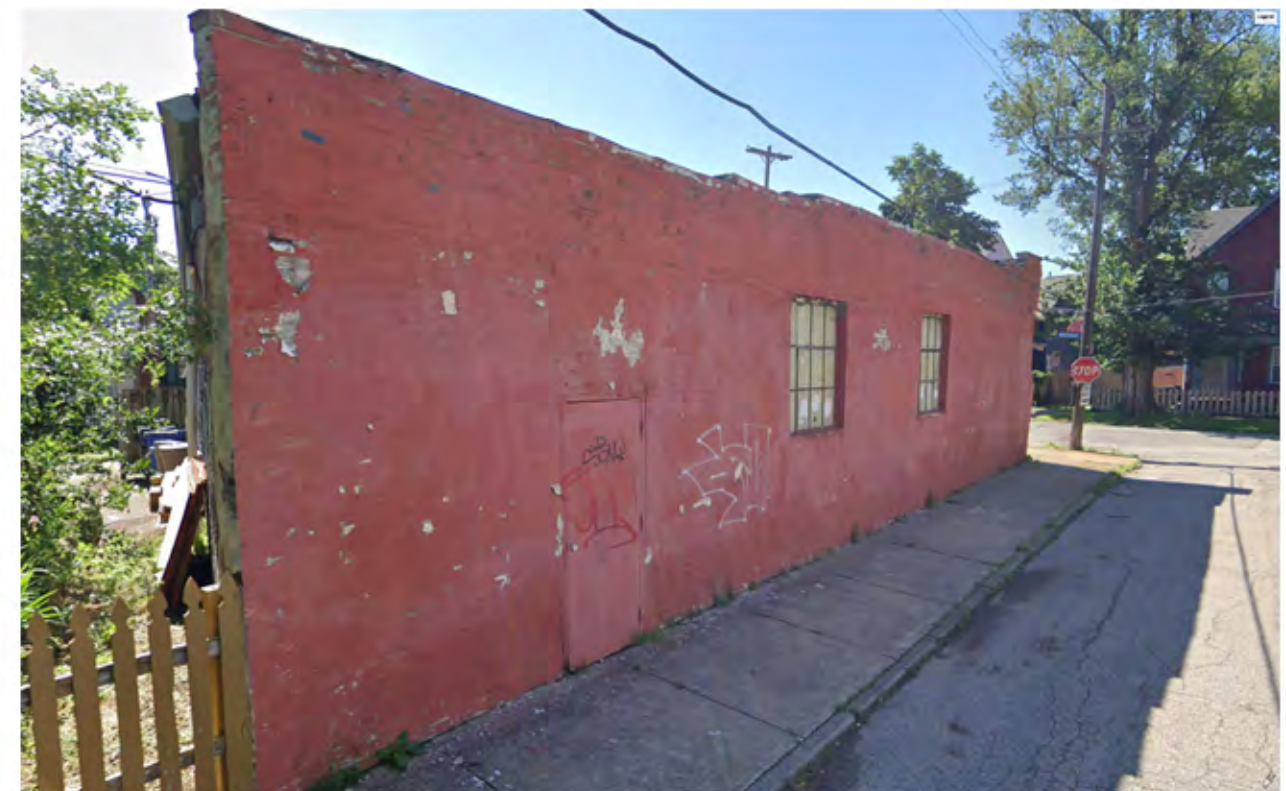
1828 Fulton Road - OHIO CITY
Schematic Review Package - January 21st, 2021



LOCAL DEVELOPMENT PARTNERS, LLC

HH HORTON HARPER
ARCHITECTS





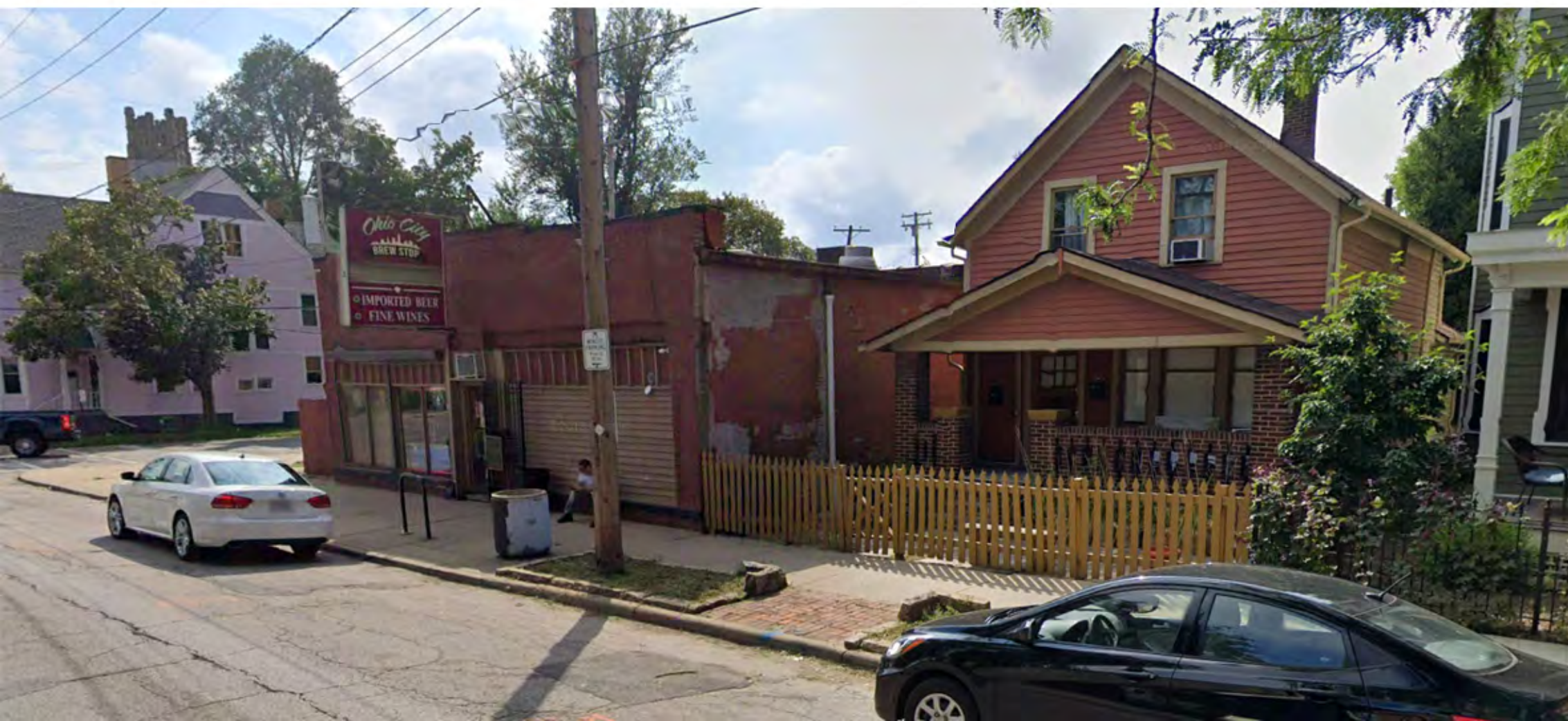
Existing Structure
1828 Fulton Road



1981



Existing Structure
Historic Imagery



Context Imagery
Surrounding Neighborhood



Context Imagery
Surrounding Neighborhood



Context Imagery
Surrounding Neighborhood



Context Imagery
Corner Structures of Significance



Context Imagery
Corner Buildings of Significance



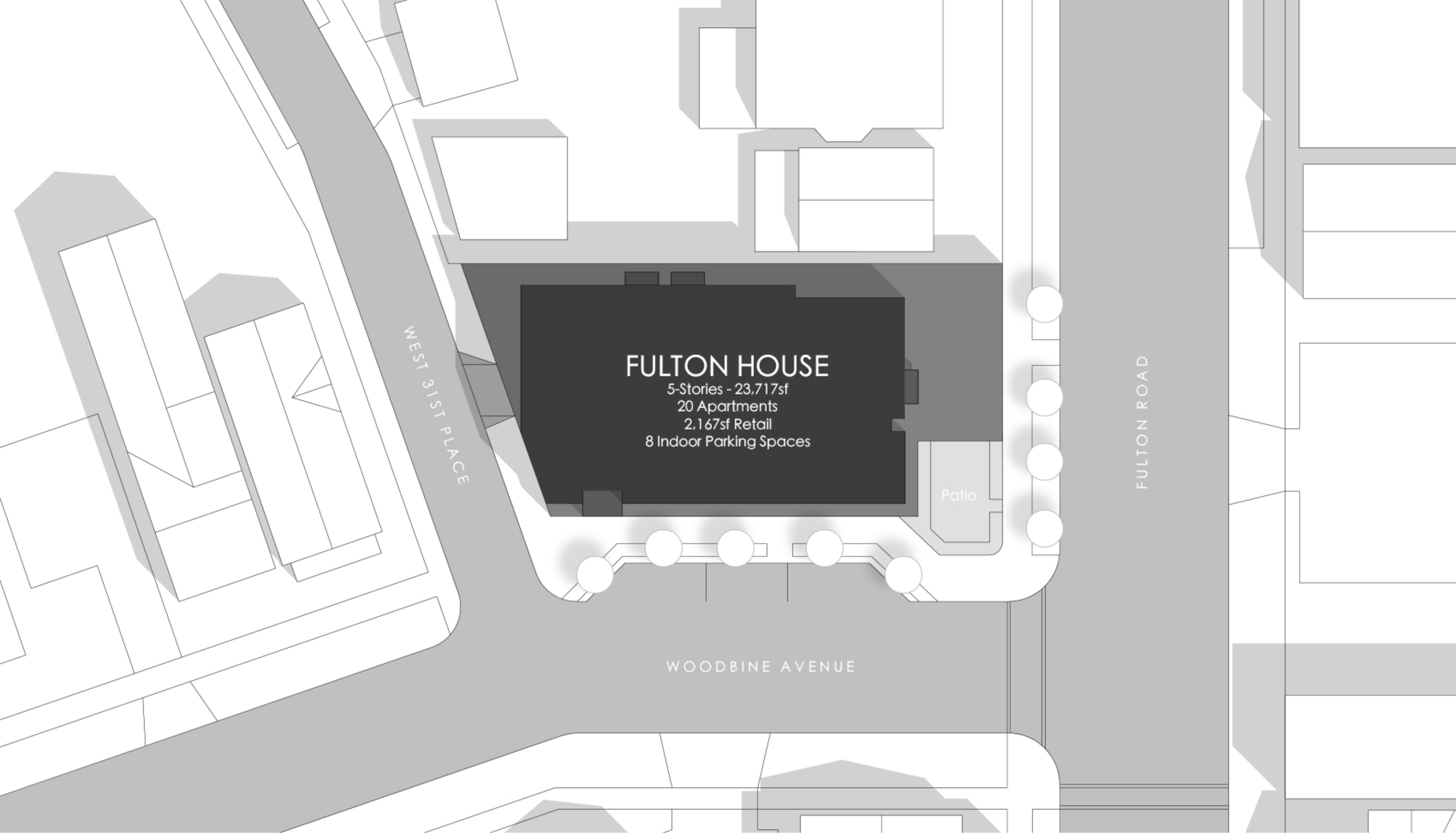
1828 Fulton Road
Existing 1-Story Masonry Structure
Retail and Warehouse
6,397sf

WEST 31ST PLACE

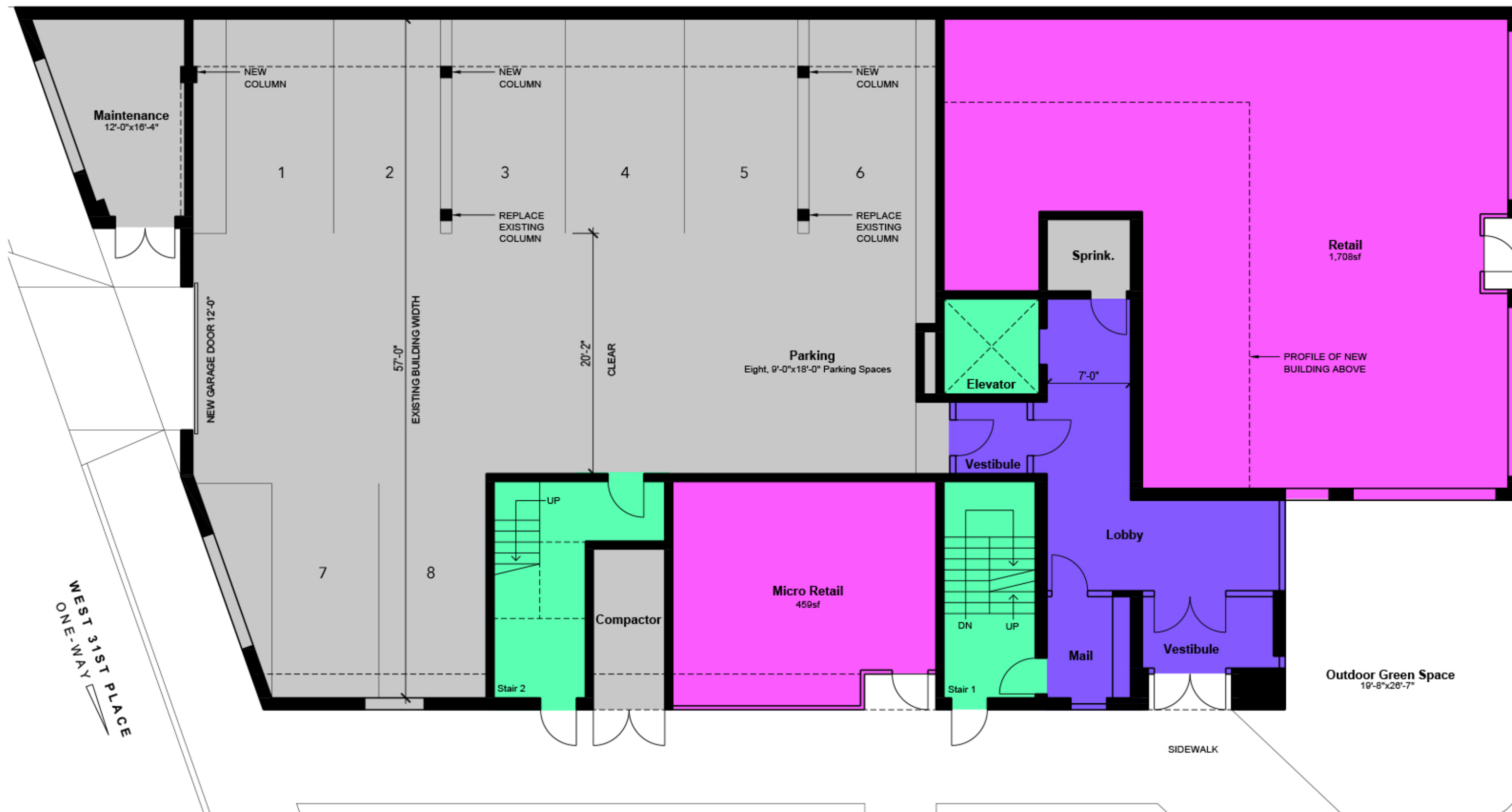
FULTON ROAD

WOODBINE AVENUE

Existing Site Plan
Scale: 1" = 20' NN



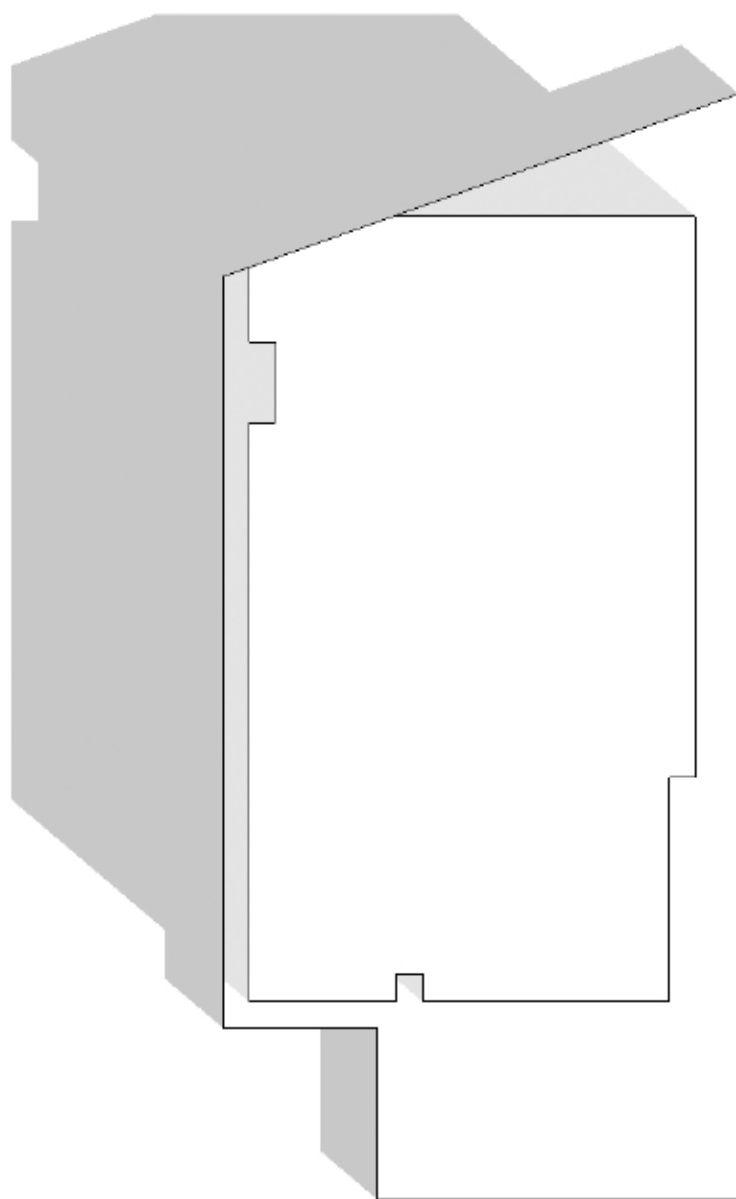
Proposed Site Plan
Scale: 1" = 20' NN



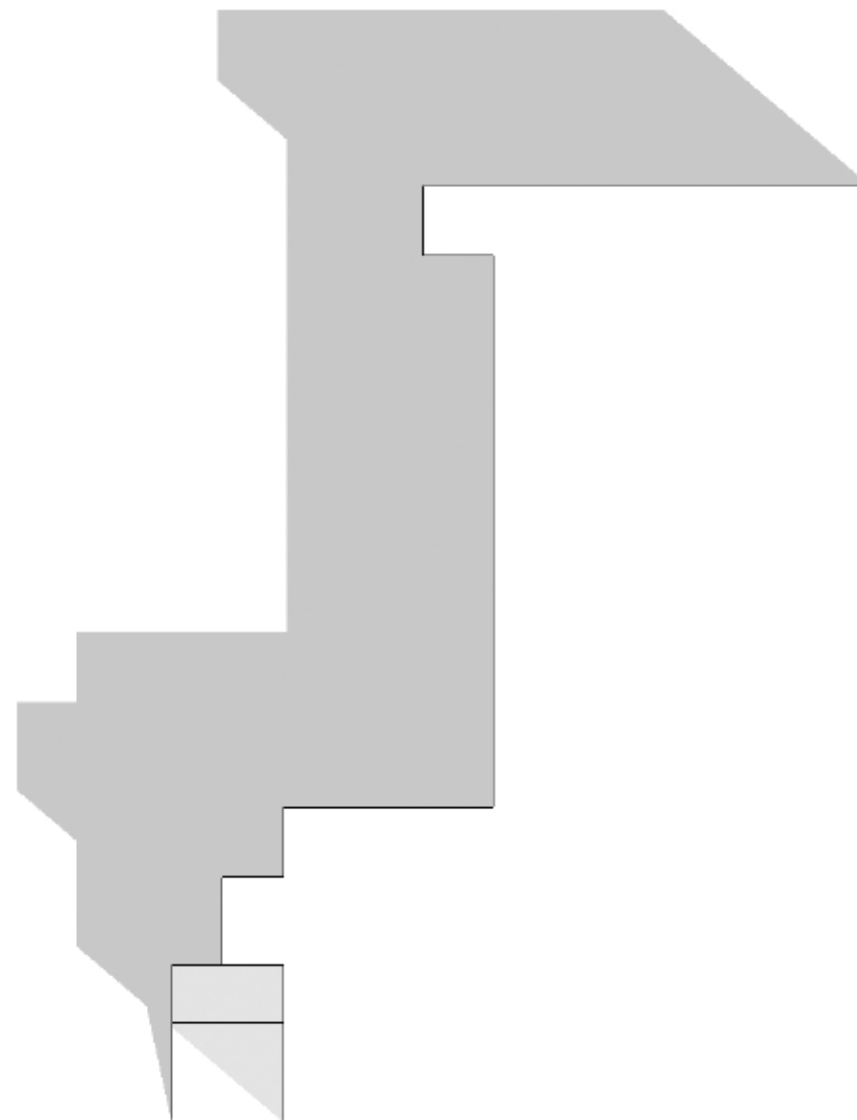
Ground Floor Plan
Scale: 1/8" = 1' NN



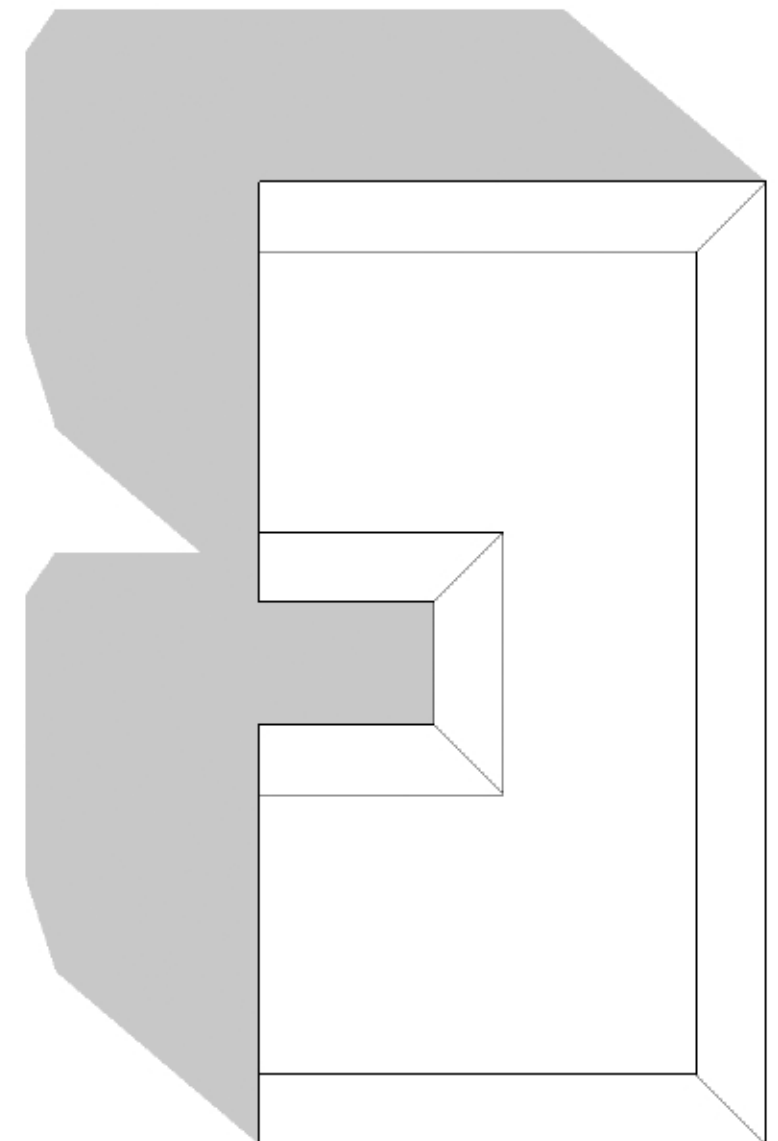
Typical Upper Level Apartment Plans
Scale: 1/8" = 1' NN



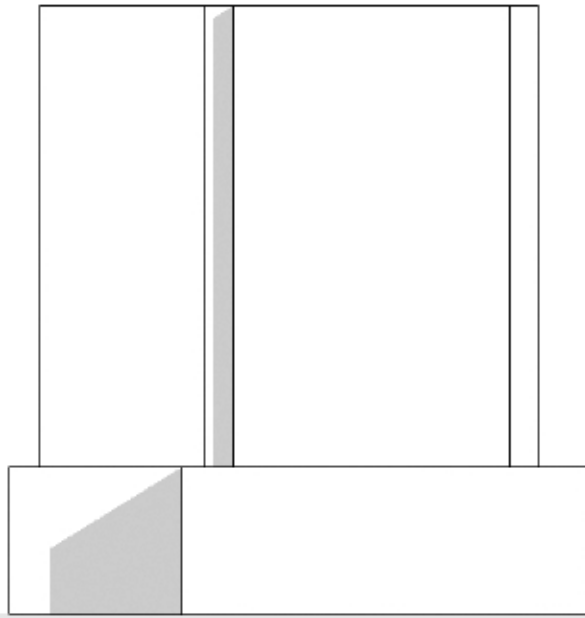
FULTON HOUSE



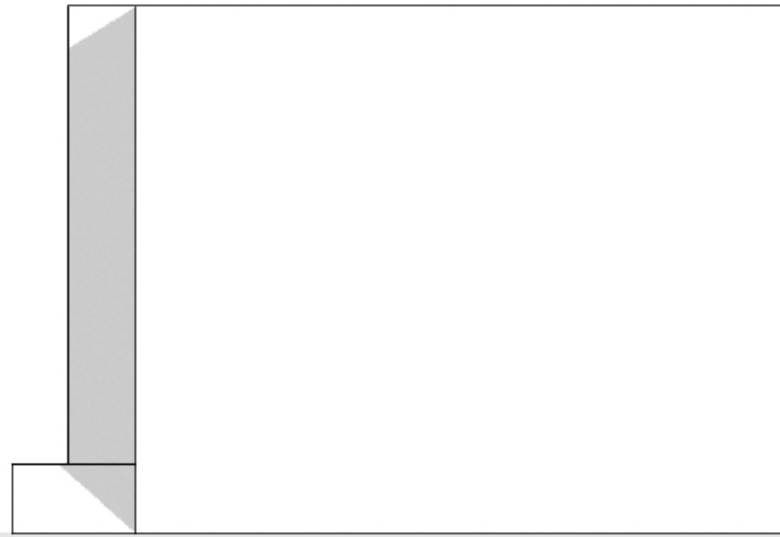
WEST SIDE COMMUNITY HOUSE



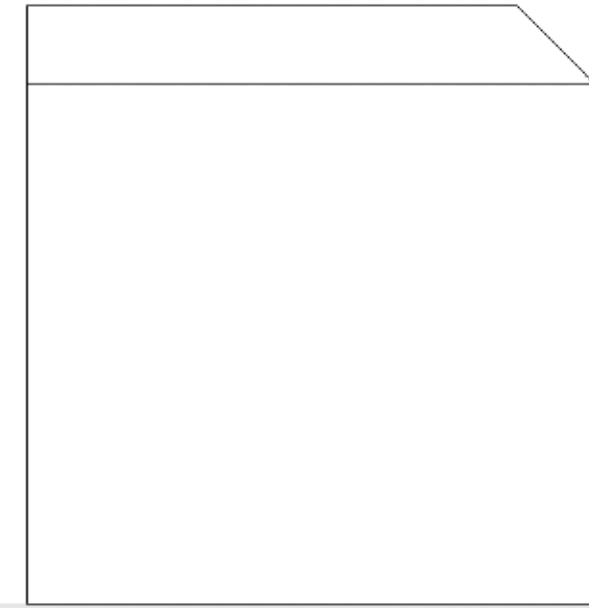
WEST VIRGINIA BUILDING



FULTON HOUSE - 60' TALL

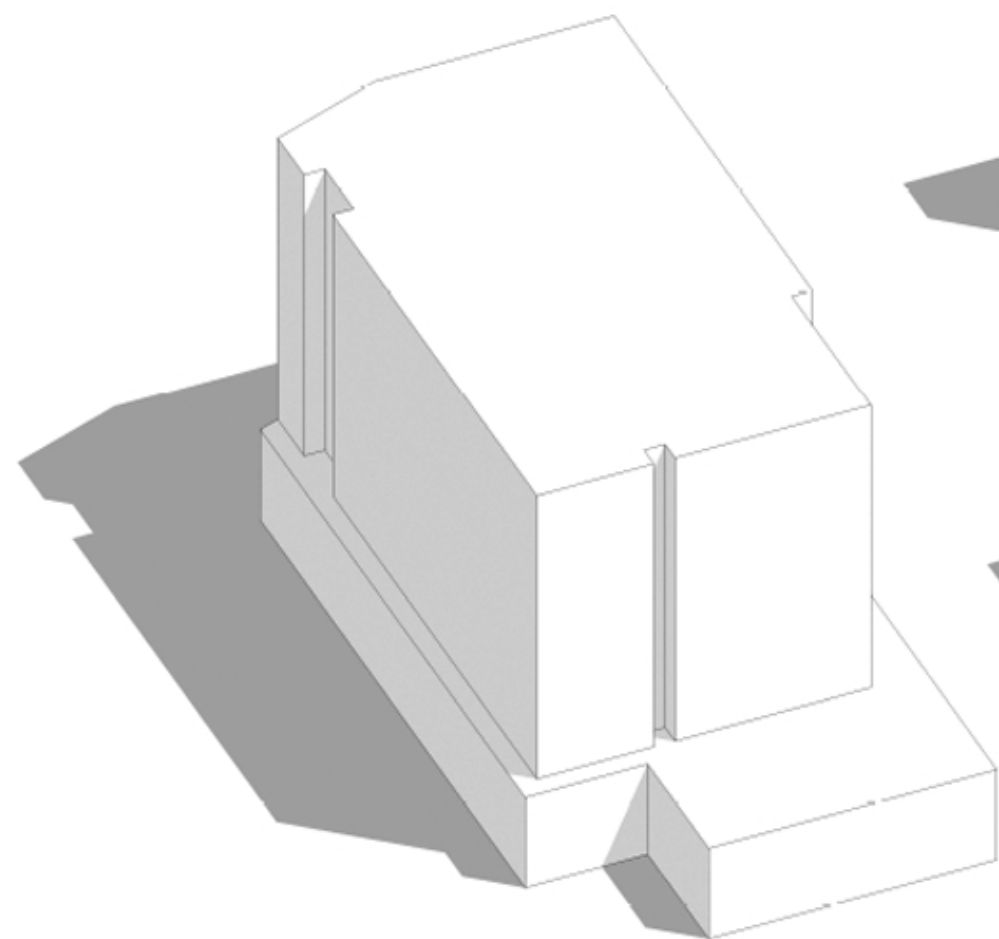


WEST SIDE COMMUNITY HOUSE - 54' TALL

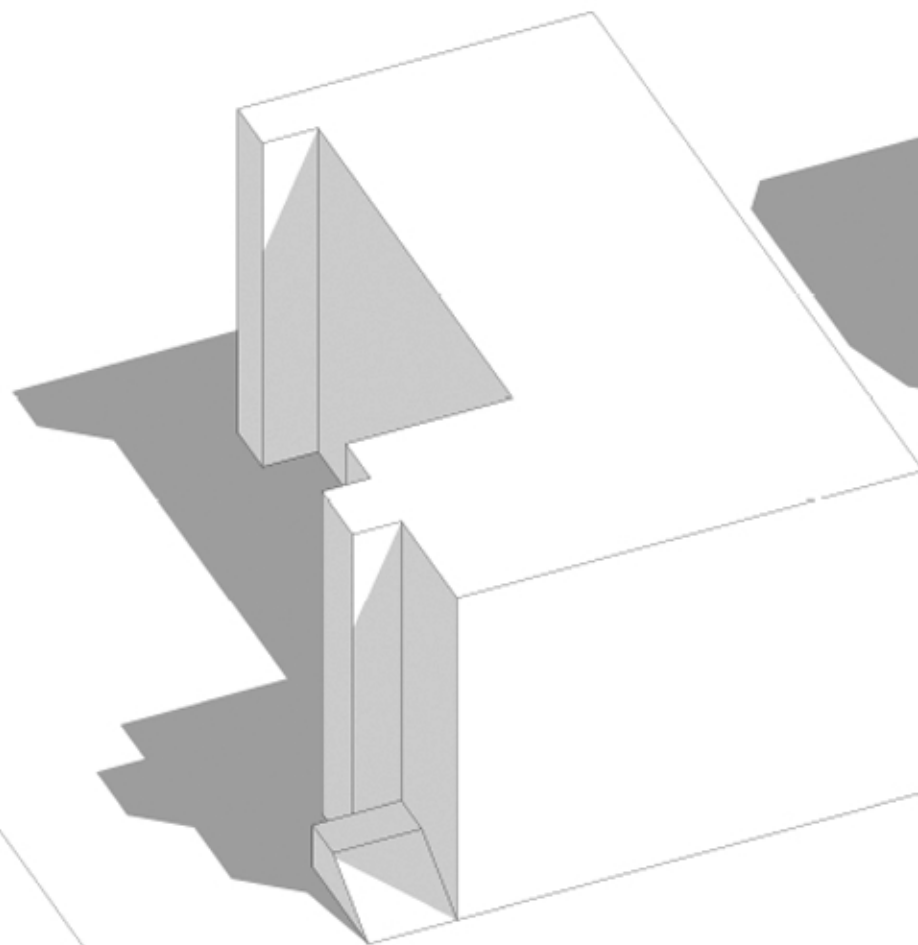


WEST VIRGINIA BUILDING - 62' TALL

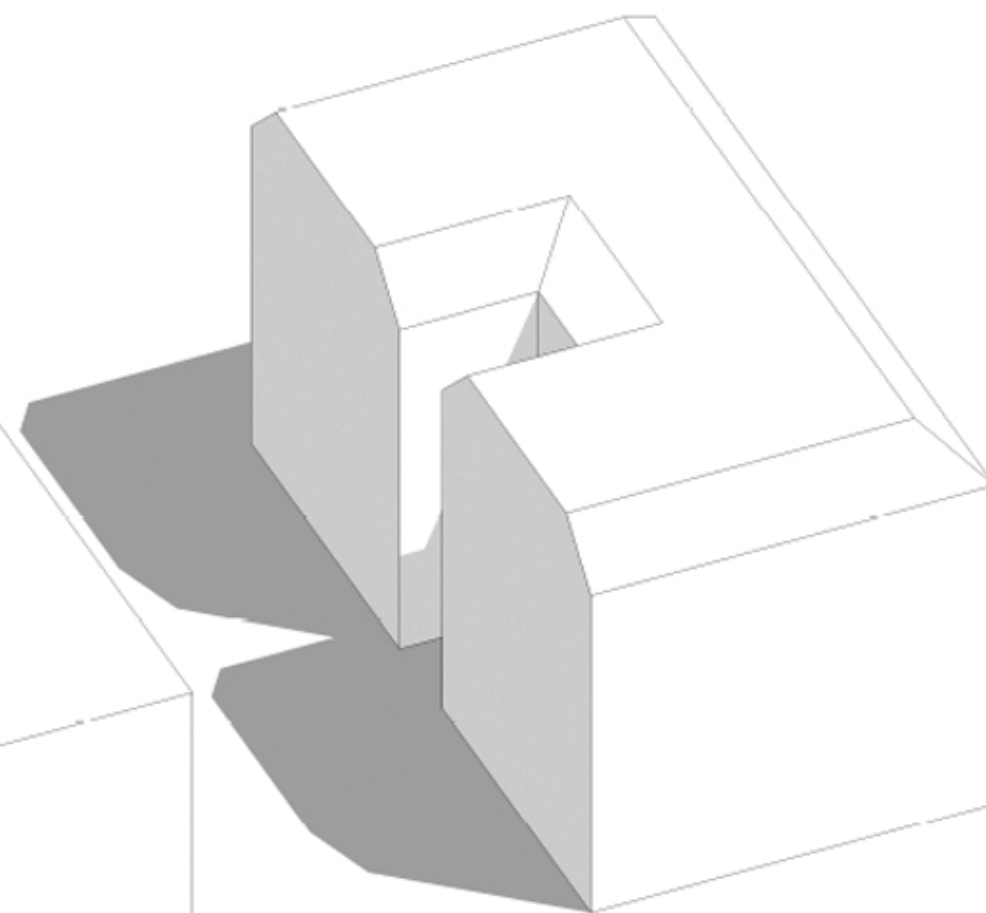
Related Neighborhood Building Elevations
NTS



FULTON HOUSE - 60' TALL



WEST SIDE COMMUNITY HOUSE - 54' TALL



WEST VIRGINIA BUILDING - 62' TALL



View 1
Looking Northwest from Fulton Road



View 2
Looking North from Fulton Road



View 3
Looking South from Fulton Road



View 4
Looking North from Woodbine Avenue



View 5
Looking Northeast from Woodbine Avenue



View 6
Looking South on West 31st Place



View 7
Apartment Lobby and Cafe/Retail Patio



View 8
Cafe/Retail Patio from Fulton Road



Thermory Spruce, Vivid Light Silvered - Horizontal & Vertical Orientations

New & Existing Brick Painted Black (paint color TBD)



Prefinished Aluminum Panel (signage and trim)



Cast Stone



Black Anodized Aluminum Railings



Black Windows & Storefront

Material Palette

TOP OF PARAPET
+60'-0"

ROOF
+57'-0"

FTH FLOOR
+46'-0"

4TH FLOOR
+35'-6"

3RD FLOOR
+25'-0"

2ND FLOOR
+14'-6"

GRADE
0'-0"



East Elevation (Fulton Road)
Scale: 1/8" = 12"



South Elevation (Woodbine Avenue)
Scale: 1/8" = 12"



West Elevation (West 31st Place)
Scale: 1/8" = 12"

⊕ TOP OF PARAPET
+60'-0"

⊕ ROOF
+57'-0"

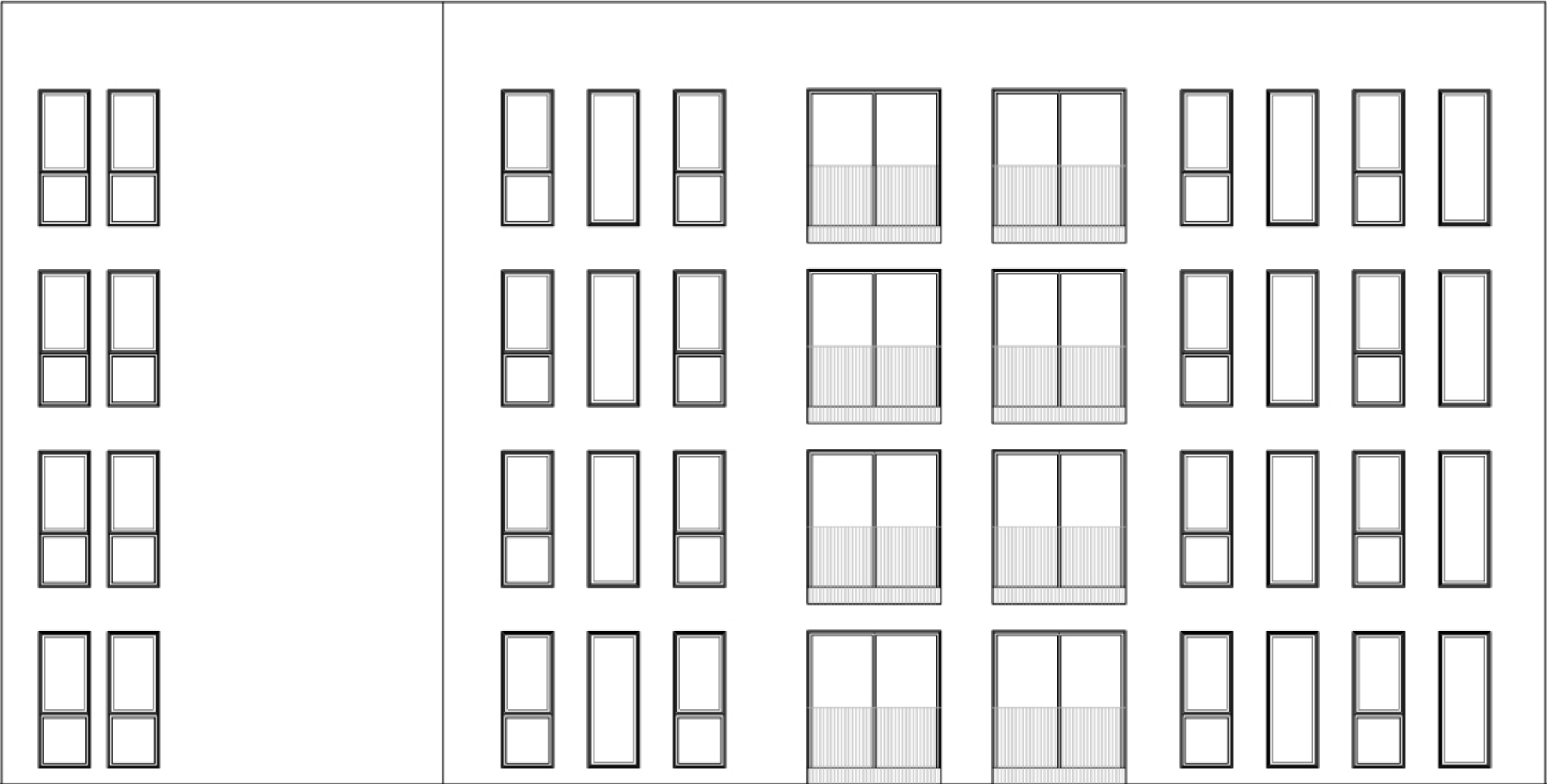
⊕ FTH FLOOR
+46'-0"

⊕ 4TH FLOOR
+35'-6"

⊕ 3RD FLOOR
+25'-0"

⊕ 2ND FLOOR
+14'-6"

⊕ GRADE
0'-0"



North Elevation
Scale: 1/8" = 12"

Cleveland Landmarks Commission

Landmark Nomination



February 25, 2021

February 25, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Section 106 Environmental Review



February 25, 2021

February 25, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Meeting Minute Approvals



February 25, 2021

Meeting Minutes Approval

February 25, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Administrative Reports



February 25, 2021

Cleveland Landmarks Commission

Adjournment



February 25, 2021

Cleveland Landmarks Commission



February 25, 2021