



Cleveland Landmarks Commission

Thursday, February 11, 2021

****PLEASE MUTE YOUR MICROPHONE****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

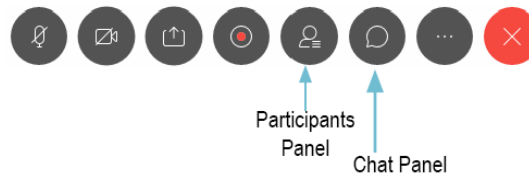
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



February 11, 2021

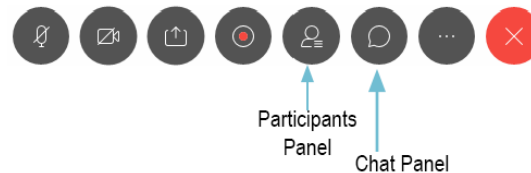
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A
PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



February 11, 2021

Cleveland Landmarks Commission

Call to Order & Roll Call



February 11, 2021

Cleveland Landmarks Commission

Public Hearing



February 11, 2021

February 11, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Public Hearing Action



February 11, 2021

February 11, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Certificates of Appropriateness



February 11, 2021



Case 21-003: Little Italy Historic District (Concept Plan 1-14-2021)

Barricelli Inn 2203 Cornell Road

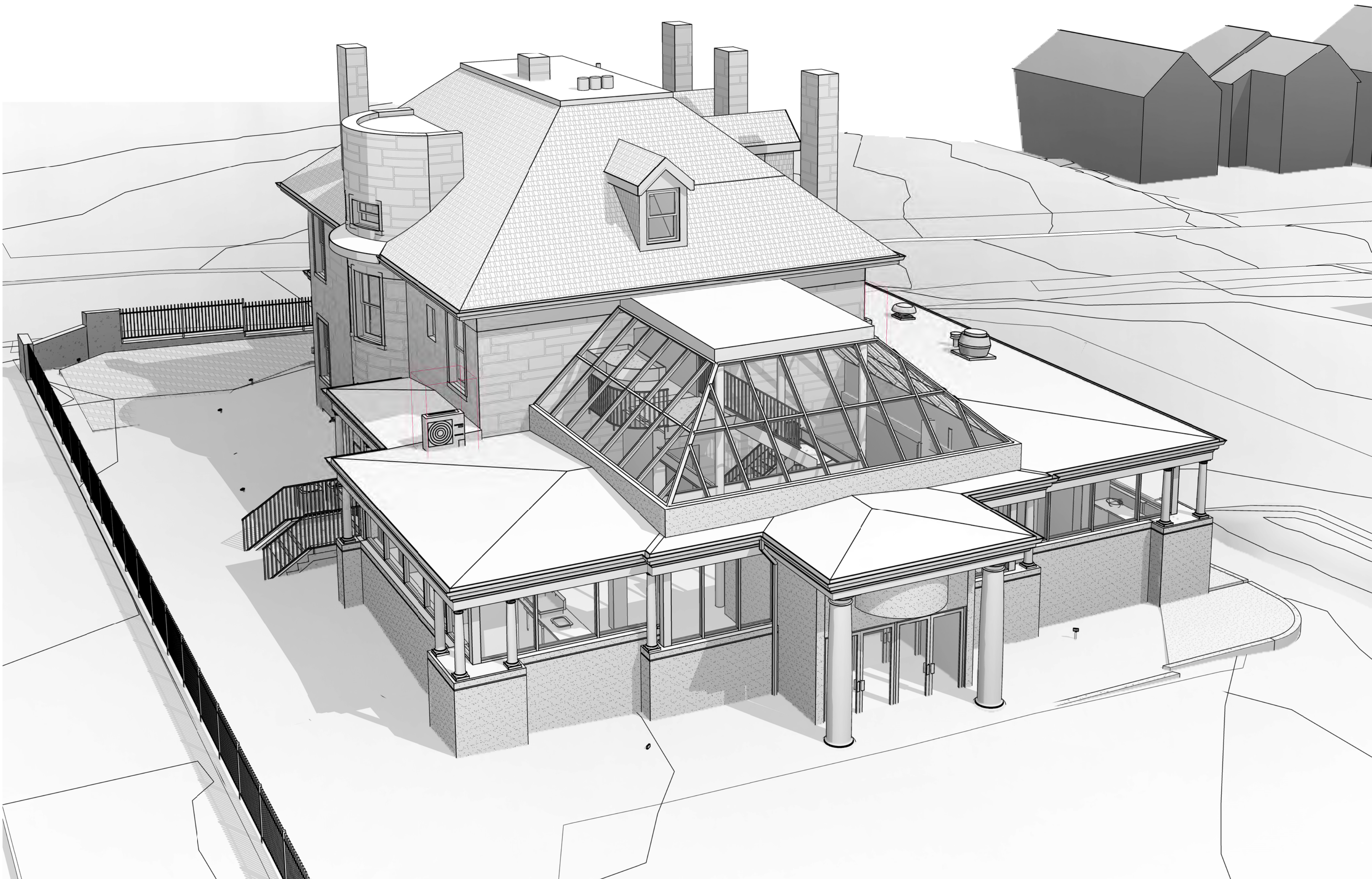
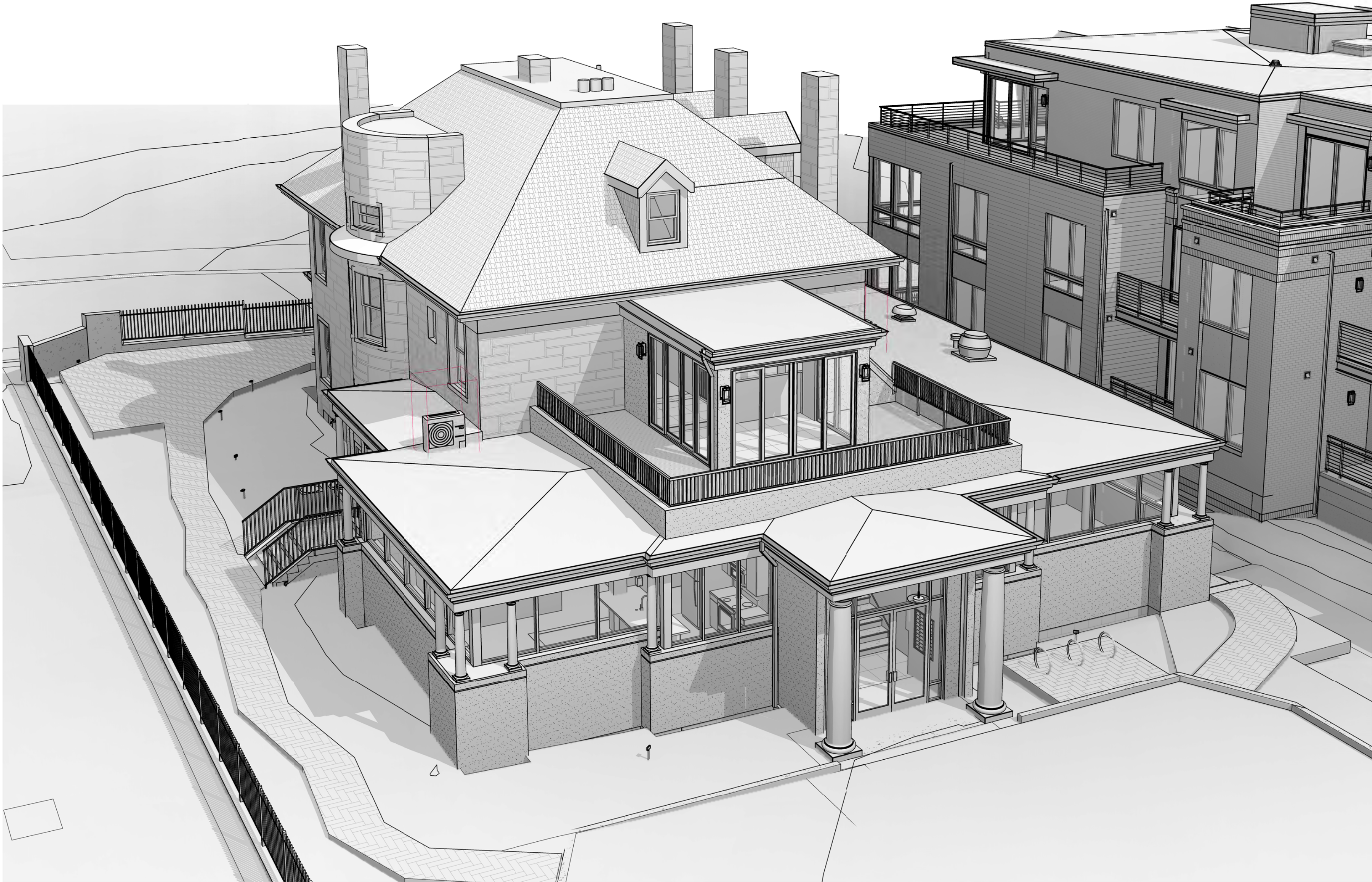
Renovation for Washington Inn Studios

Ward 6: Griffin

Project Representatives: Michael Panzica, Developer; Dominick Durante, Dom Vokic, Kristen Martinez, LDA Architects; Brad Nosan, PAG Commercial

A0.01

PROPOSED

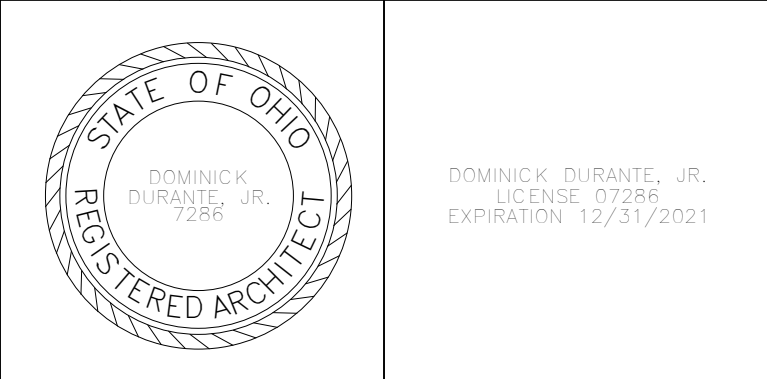


EXISTING

NEW CONSTRUCTION ON ADJOINING LOT (2193 CORNELL RD.) IS BEING COMPLETED UNDER A SEPARATE CONTRACT AND PERMIT. 2193 CORNELL IS UNDER THE SAME OWNERSHIP AS SUBJECT LOT AND IS SHOWN FOR REFERENCE ONLY.

PERSPECTIVE IMAGES ARE NOT TO SCALE.
SHOWN FOR REFERENCE ONLY.

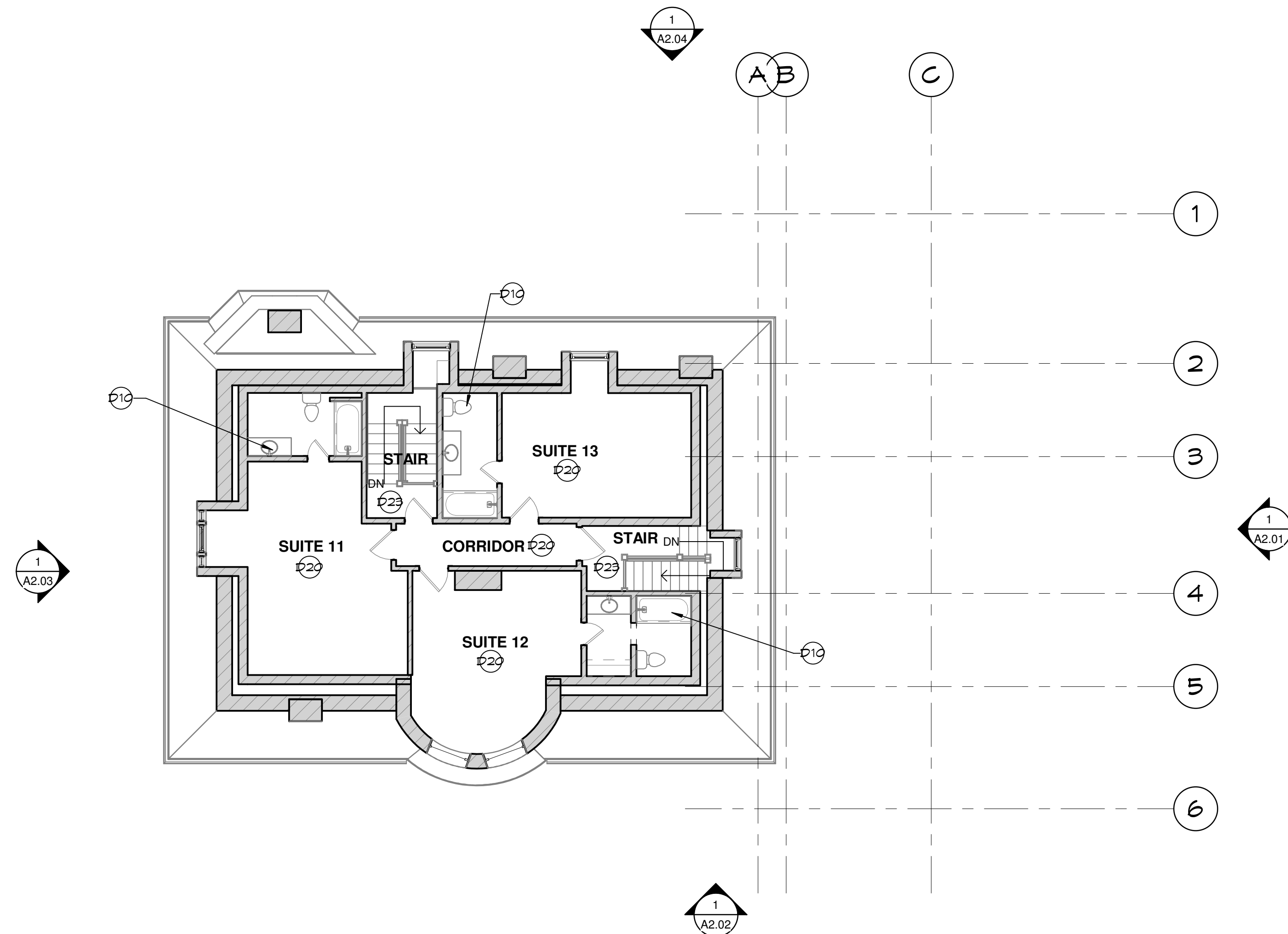
DATE	DESCRIPTION
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



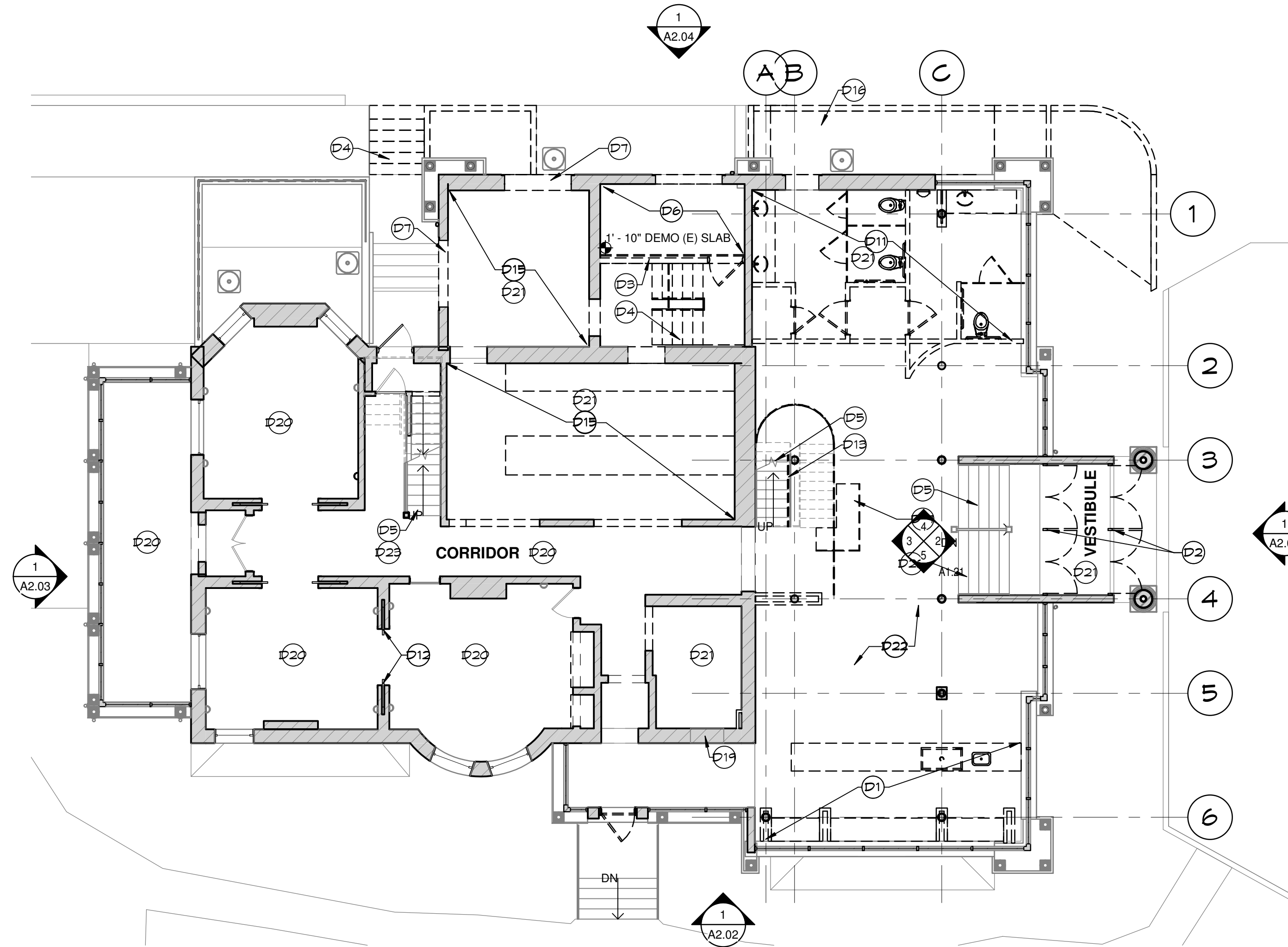
a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890
Copyright © 2019 LDA architects, Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of and are the instruments of service of LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.
Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23
EXTERIOR PERSPECTIVE
VIEWS

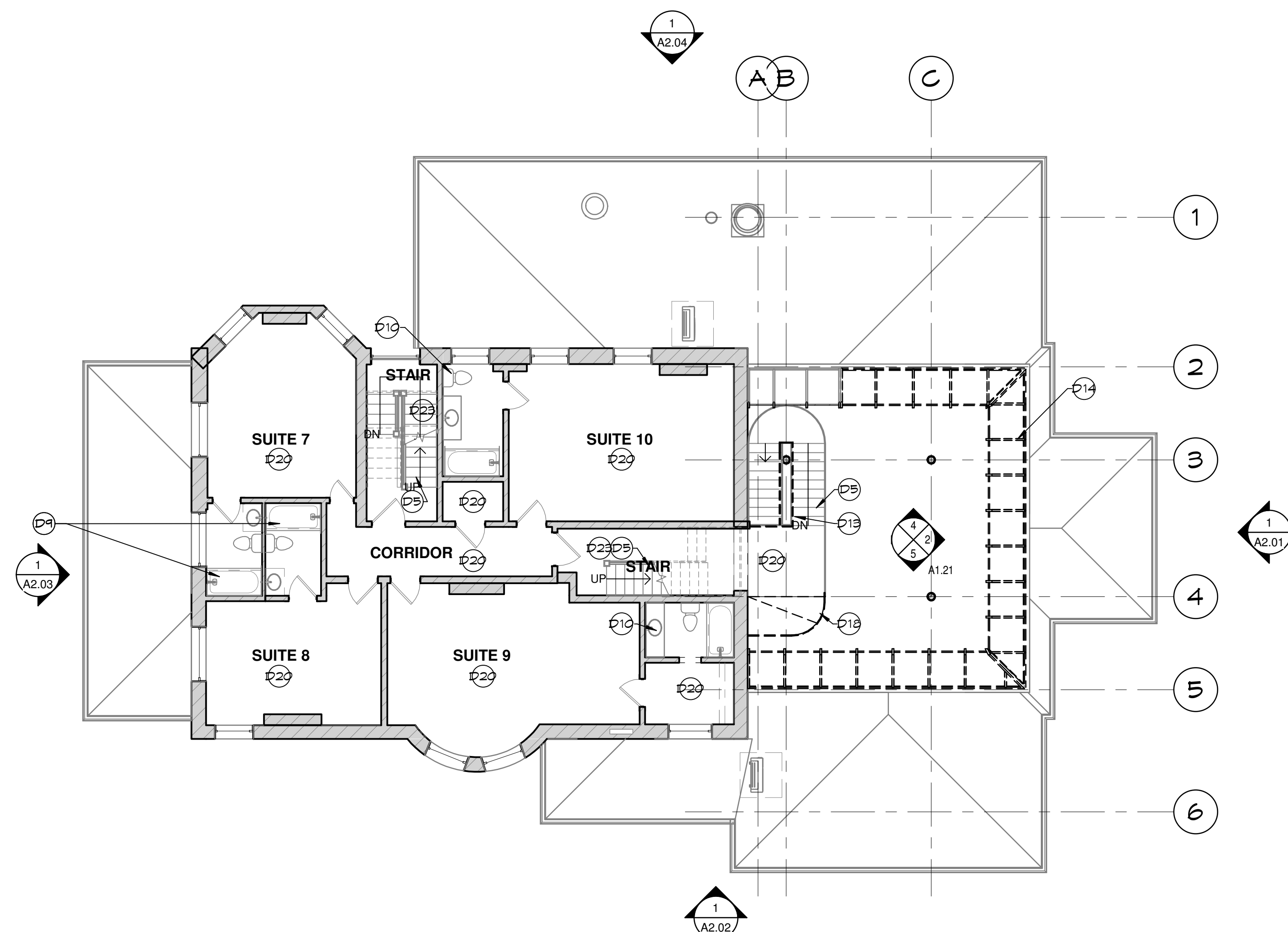
A0.07



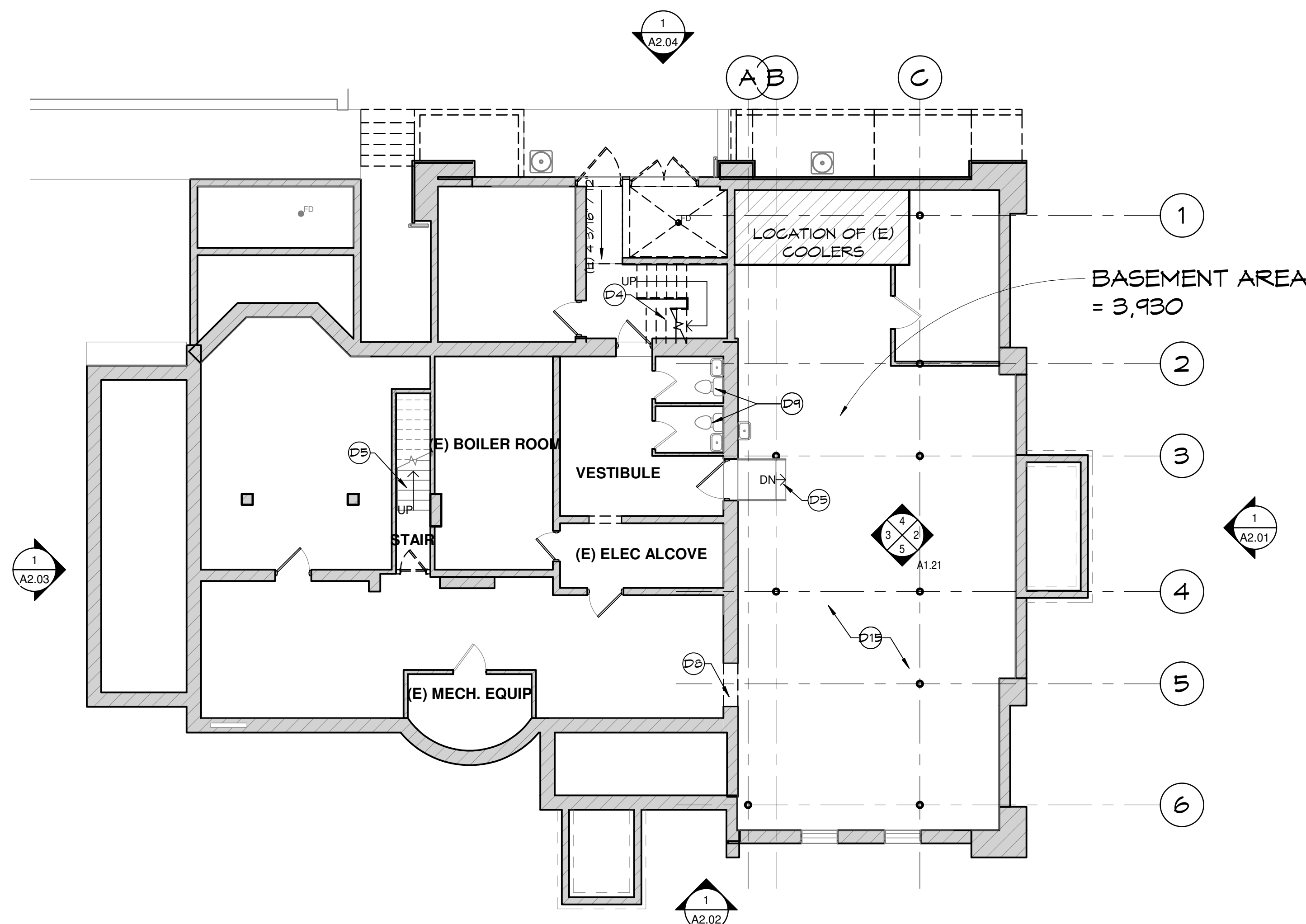
3 EXISTING THIRD FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



1 EXISTING FIRST FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



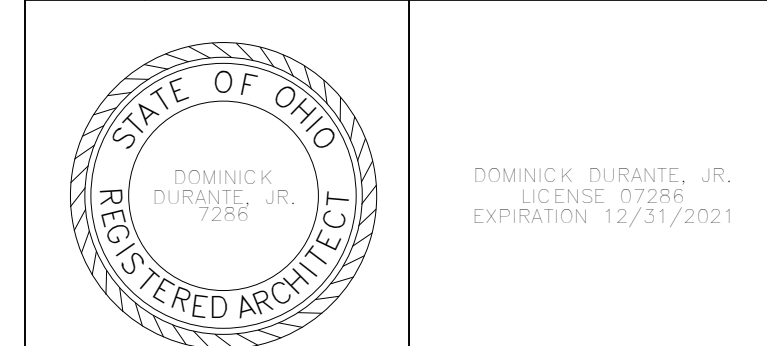
2 EXISTING SECOND FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



0 EXISTING BASEMENT PLAN
A1.02 SCALE: 1/8" = 1'-0"

- KEYED NOTES SPECIFIC TO THIS SHEET**
REFERENCED BY THE SYMBOL
- TYPICAL UNLESS NOTED OTHERWISE
- D1 DEMOLISH EXISTING BAR & EQUIPMENT.
 - D2 DEMOLISH STOREFRONT.
 - D3 PARTIAL DEMOLITION OF EXISTING MASONRY WALL FOR NEW FLOOR INFILL. REFER TO STRUCTURAL DRAWINGS.
 - D4 DEMOLISH STAIR.
 - D5 EXISTING STAIR TO REMAIN.
 - D6 DEMOLISH EXISTING INTER-STORY PLATFORM AND MECHANICAL EQUIPMENT.
 - D7 PREP MASONRY WALL FOR NEW WINDOW OPENING.
 - D8 PREP MASONRY WALL FOR NEW OPENING.
 - D9 EXISTING RESTROOMS TO REMAIN.
 - D10 EXISTING BATHROOM TO REMAIN.
 - D11 DEMOLISH RESTROOM.
 - D12 EXISTING POCKET DOORS TO REMAIN. FIX PANELS INSIDE WALL, COORDINATE WITH NEW DEMISING WALL.
 - D13 REMOVE EXISTING RAILING. PREP STAIR FOR NEW GUARDRAIL.
 - D14 PARTIAL DEMOLISH SKYLIGHT.
 - D15 REMOVE EXISTING COMMERCIAL KITCHEN EQUIPMENT, TYP.
 - D16 DEMOLISH EXISTING INTER-STORY PLATFORM.
 - D17 DEMOLISH HOSTESS STAND.
 - D18 PARTIAL DEMOLITION OF STAIR LANDING. COORDINATE WITH STRUCTURAL DRAWINGS.
 - D19 DEMOLISH EXISTING STAINLESS STEEL SILL AND JAMBS.
 - D20 REMOVE EXISTING CARPET.
 - D21 REMOVE EXISTING TILE.
 - D22 REMOVE EXISTING LAMINATE FLOOR.
 - D23 REMOVE EXISTING STAIR RUNNER.

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



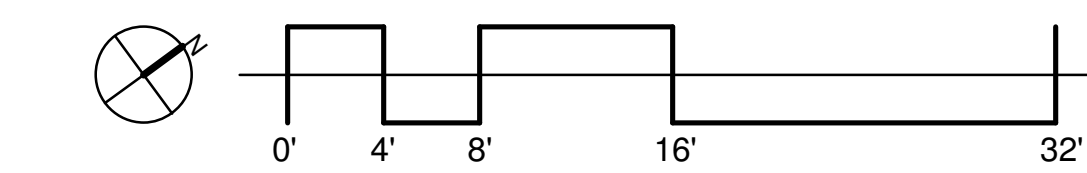
a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of and are the instruments of service of LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23
DEMOLITION FLOOR PLANS

REFER TO M.E.P. DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE OF WORK



KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

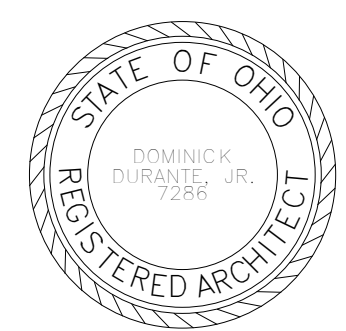
- 05.06 PROVIDE PREFINISHED BLACK ALUMINUM CANE RAIL (1-1/2" DIA.) WHERE VERTICAL CLEARANCE UNDER STAIRWAY IS LESS THAN 80". THE LEADING EDGE OF THE CANE RAIL SHALL BE LOCATED 21" MAXIMUM ABOVE THE FINISH FLOOR.
- 06.01 EXISTING STAIR AND RAILINGS TO REMAIN.
- 06.13 PROVIDE NEW BALUSTER AT MISSING LOCATION TO MATCH EXISTING.
- 08.01 NEW FIBERGLASS WINDOW, BASIS OF DESIGN: PELLA IMPERVIA SERIES.
- 08.02 ALUMINUM STOREFRONT, BASIS OF DESIGN: KAWNEER 451UT SYSTEM.
- 26.03 EXISTING UPLIGHT TO REMAIN.

DATE DESCRIPTION

9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit

GENERAL NOTES - FLOOR PLANS

1. ARCHITECTURAL ELEVATION 0'-0" OCCURS AT THE EXISTING FINISH FIRST FLOOR.
2. AT WOOD FRAME CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF DRYWALL AND CENTERLINE OF OPENINGS. AT CONCRETE OR MASONRY CONSTRUCTION, DIMENSIONS ARE TO FACE OF WALL AND EDGES OF OPENINGS, UNLESS OTHERWISE NOTED.
3. ALL CONTRACTORS TO ENSURE FIRE SEPARATION RATINGS AND FIRE STOPPING AS SPECIFIED BY CODE, WHERE EACH TRADE PENETRATES A TENANT SEPARATION WALL, THAT TRADE WILL BE RESPONSIBLE TO SEAL TIGHT OPENINGS WITH MATERIAL TO MATCH THE FIRE RESISTANCE RATING OF THE IN-PLACE CONSTRUCTION. ALL CONCEALED SPACES TO HAVE FIRE STOPPING AND/OR DRAFT STOPPING BETWEEN FLOORS AND/OR UNITS.
4. COORDINATE WITH CODE DATA SHEET FOR LOCATIONS OF RATED CONSTRUCTION.
5. PROVIDE BLOCKING BEHIND ALL NEW TOILETS, BATH TUBS, AND SHOWERS WALLS PER FAIR HOUSING ACT DESIGN MANUAL FOR ALL APARTMENT UNITS. HATCH IN BATHROOMS INDICATES WALL BLOCKING FOR FUTURE GRAB BARS. REFER TO DRAWINGS FOR LOCATION OF BLOCKING AT ACCESSIBLE UNITS.
6. REFER TO STRUCTURAL DRAWINGS FOR ALL SHEAR WALL LOCATIONS, DETAILS, AND REQUIREMENTS.
7. ALL SLEEPERS UNDER COMPOSITE DECKING TO BE EXTERIOR FIRE RETARDANT TREATED WOOD, FRX OR APPROVED EQUAL.



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects, Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of LDA architects, Inc. and are the instruments of service of LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

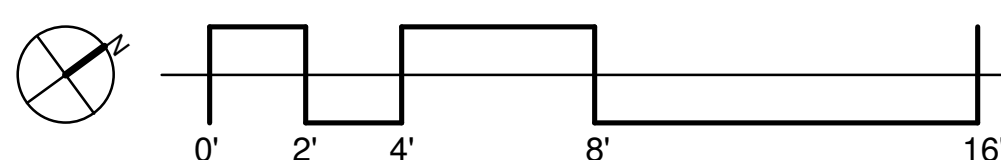
Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

FIRST FLOOR PLAN **A1.11**

1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

08.05 NEW SLIDING PATIO DOOR, BASIS OF DESIGN: PELLA ARCHITECT SERIES SCENESCAPE CONTEMPORARY PATIO DOORS, PROVIDE ACCESSIBLE THRESHOLD.

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit

GENERAL NOTES - FLOOR PLANS

1. ARCHITECTURAL ELEVATION O'-O" OCCURS AT THE EXISTING FINISH FIRST FLOOR.

2. AT WOOD FRAME CONSTRUCTION: DIMENSIONS ARE TO FINISH FACE OF DRYWALL AND CENTERLINE OF OPENINGS. AT CONCRETE OR MASONRY CONSTRUCTION: DIMENSIONS ARE TO FACE OF WALL AND EDGES OF OPENINGS. UNLESS OTHERWISE NOTED.

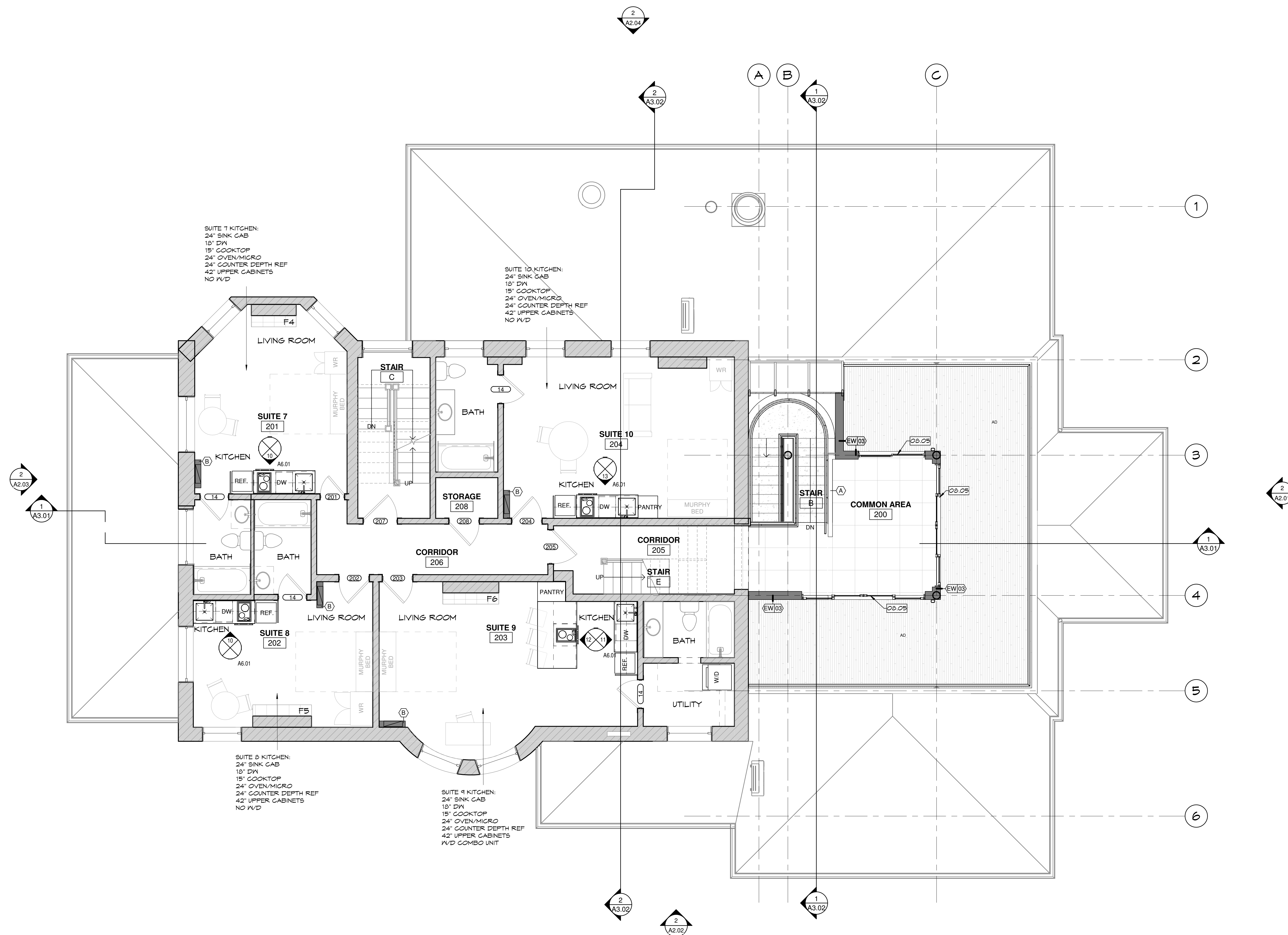
3. ALL CONTRACTORS TO ENSURE FIRE SEPARATION RATINGS AND FIRE STOPPING AS SPECIFIED BY CODE. WHERE EACH TRADE PENETRATES A TENANT SEPARATION WALL, THAT TRADE WILL BE RESPONSIBLE TO SEAL TIGHT OPENINGS WITH MATERIAL TO MATCH THE FIRE RESISTANCE RATING OF THE IN-PLACE CONSTRUCTION. ALL CONCEALED SPACES TO HAVE FIRE STOPPING AND/OR DRAFT STOPPING BETWEEN FLOORS AND/OR UNITS.

4. COORDINATE WITH CODE DATA SHEET FOR LOCATIONS OF RATED CONSTRUCTION.

5. PROVIDE BLOCKING BEHIND ALL NEW TOILETS, BATH TUBS, AND SHOWERS WALLS PER FAIR HOUSING ACT DESIGN MANUAL FOR ALL APARTMENT UNITS. HATCH IN BATHROOMS INDICATES WALL BLOCKING FOR FUTURE GRAB BARS. REFER TO DRAWINGS FOR LOCATION OF BLOCKING AT ACCESSIBLE UNITS.

6. REFER TO STRUCTURAL DRAWINGS FOR ALL SHEAR WALL LOCATIONS, DETAILS, AND REQUIREMENTS.

7. ALL SLEEPERS UNDER COMPOSITE DECKING TO BE EXTERIOR FIRE RETARDANT TREATED WOOD, FRX OR APPROVED EQUAL.



DOMINICK DURANTE, JR.
LICENSE 07286
EXPIRATION 12/31/2021



LDA architects

a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright thereof, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

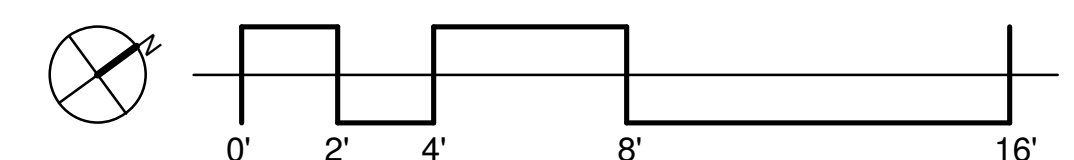
Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106


LDA Project No. 20.23

SECOND FLOOR PLAN A1.12

1 PROPOSED SECOND FLOOR PLAN
A1.12 SCALE: 1/4" = 1'-0"



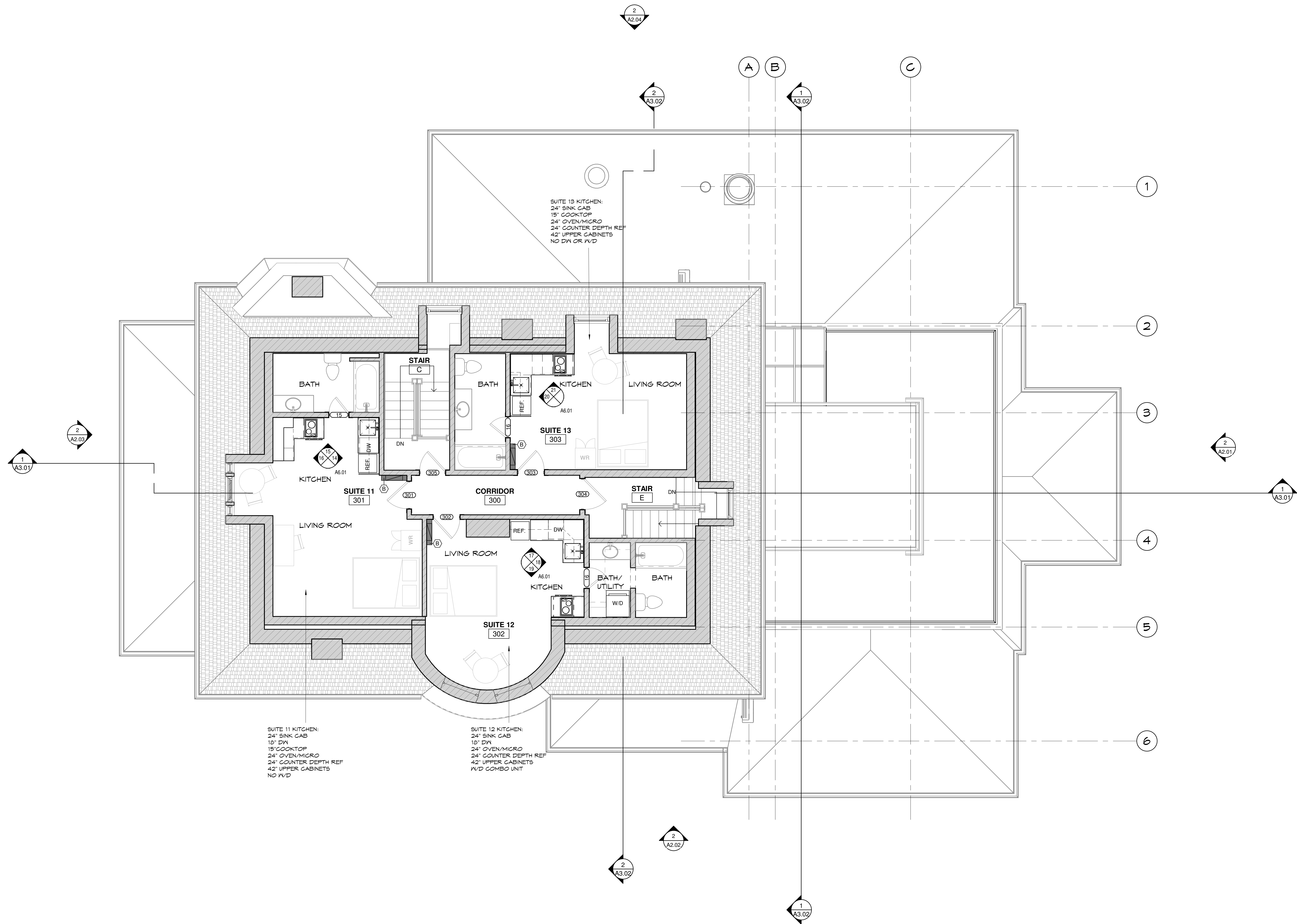
KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL 
TYPICAL UNLESS NOTED OTHERWISE

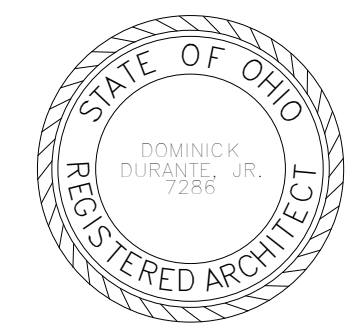
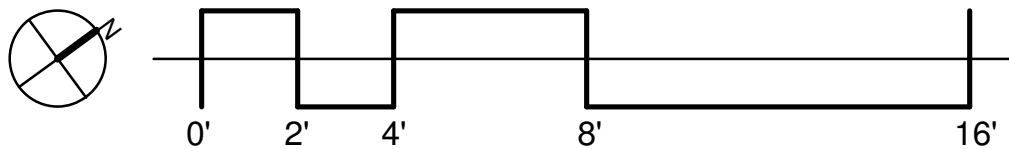
DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit

GENERAL NOTES - FLOOR PLANS

1. ARCHITECTURAL ELEVATION 0'-0" OCCURS AT THE EXISTING FINISH FIRST FLOOR.
2. AT WOOD FRAME CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF DRYWALL AND CENTERLINE OF OPENINGS. AT CONCRETE OR MASONRY CONSTRUCTION, DIMENSIONS ARE TO FACE OF WALL AND EDGES OF OPENINGS, UNLESS OTHERWISE NOTED.
3. ALL CONTRACTORS TO ENSURE FIRE SEPARATION RATINGS AND FIRE STOPPING AS SPECIFIED BY CODE, WHERE EACH TRADE PENETRATES A TENANT SEPARATION WALL, THAT TRADE WILL BE RESPONSIBLE TO SEAL TIGHT OPENINGS WITH MATERIAL TO MATCH THE FIRE RESISTANCE RATING OF THE IN-PLACE CONSTRUCTION. ALL CONCEALED SPACES TO HAVE FIRE STOPPING AND/OR DRAFT STOPPING BETWEEN FLOORS AND/OR UNITS.
4. COORDINATE WITH CODE DATA SHEET FOR LOCATIONS OF RATED CONSTRUCTION.
5. PROVIDE BLOCKING BEHIND ALL NEW TOILETS, BATH TUBS, AND SHOWERS WALLS PER FAIR HOUSING ACT DESIGN MANUAL FOR ALL APARTMENT UNITS. HATCH IN BATHROOMS INDICATES WALL BLOCKING FOR FUTURE GRAB BARS. REFER TO DRAWINGS FOR LOCATION OF BLOCKING AT ACCESSIBLE UNITS.
6. REFER TO STRUCTURAL DRAWINGS FOR ALL SHEAR WALL LOCATIONS, DETAILS, AND REQUIREMENTS.
7. ALL SLEEPERS UNDER COMPOSITE DECKING TO BE EXTERIOR FIRE RETARDANT TREATED WOOD, FRX OR APPROVED EQUAL.



1
A1.13
PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects, Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the
original and unpublished work of LDA architects, Inc. and are instruments of service of LDA architects, Inc.
(LDA) for use solely with respect to this project. These instruments remain the exclusive
property of LDA, who shall retain all common law, statutory and other reserved rights, including
the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part,
for any purpose of project without the written consent of LDA.

Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

THIRD FLOOR PLAN **A1.13**

GENERAL NOTES - ROOF

1. REFER TO ELEVATIONS FOR EXTERIOR FINISHES.

2. COORDINATE WITH CONSTRUCTION TYPES SHEET.

ROOF PLAN - LEGEND

AD AREA DRAIN LOCATION, REFER TO PLUMBING DRAWINGS

RD ROOF DRAIN LOCATION, REFER TO PLUMBING DRAWINGS

DS DOWNSPOUT, COLOR TO MATCH ADJACENT SIDING/BRICK

→ ROOF SLOPE DIRECTION (HIGH TO LOW)

BASE BID: GEN FLEX EZ TPO ROOF, BLACK, 45 MIL.

ALTERNATE: GEN FLEX EZ TPO ROOF, BLACK, 60 MIL.

KEYED NOTES SPECIFIC TO THIS SHEET

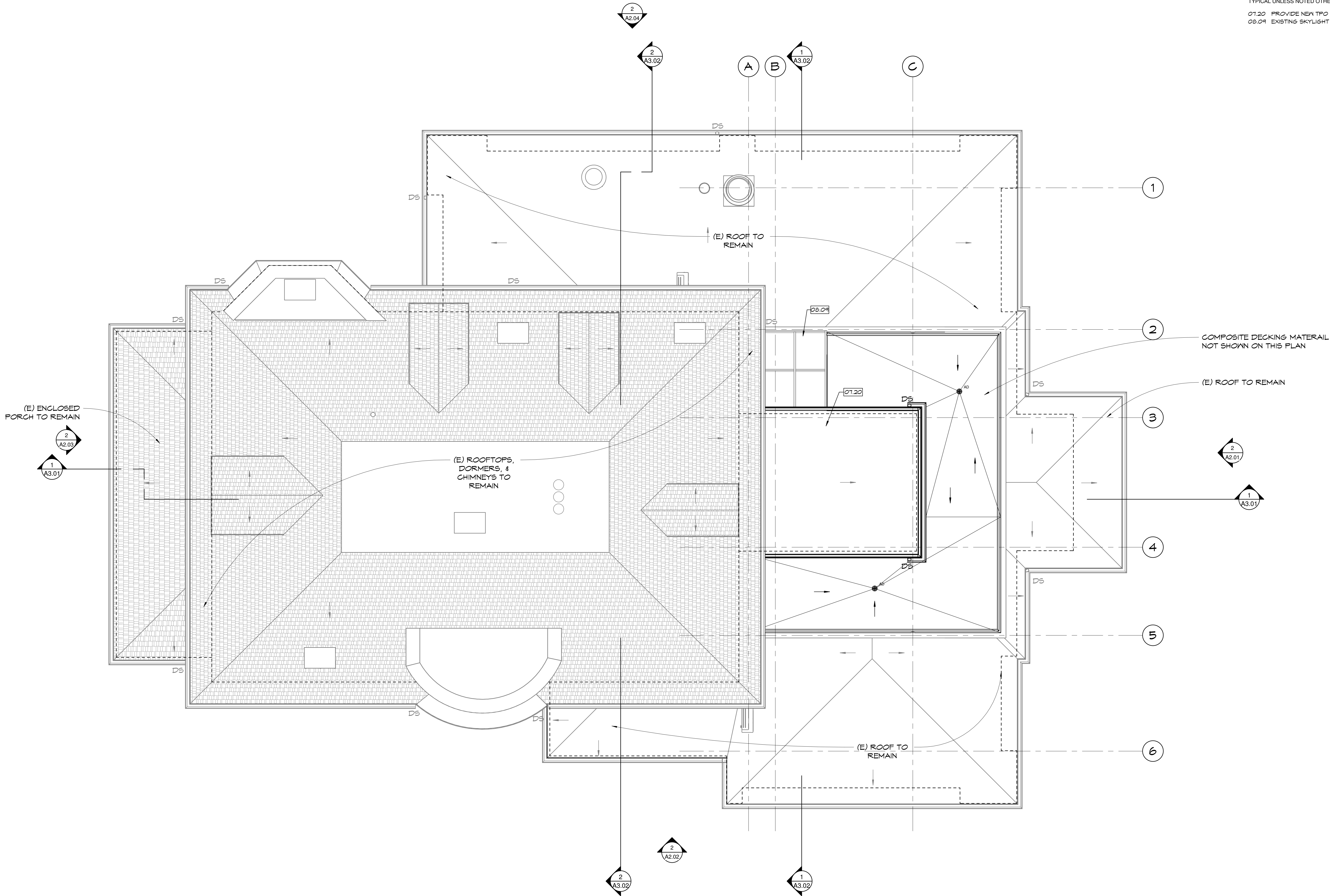
REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

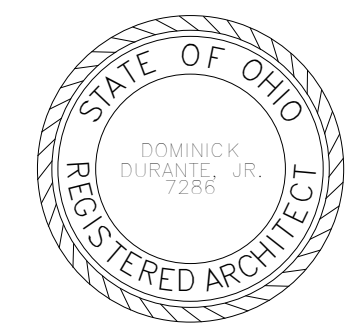
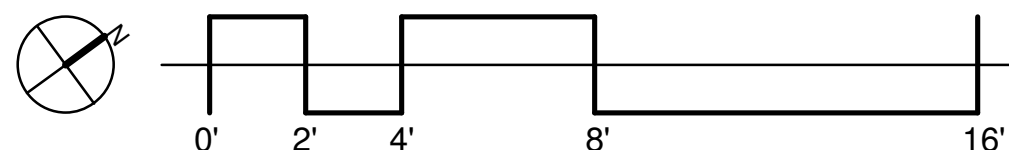
01.20 PROVIDE NEW TPO ROOF.

08.04 EXISTING SKYLIGHT TO REMAIN.

DATE	DESCRIPTION
9.9.2020	Schematic Design
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



1 ROOF PLAN
A1.14 SCALE: 1/4" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of and are the instruments of service of LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

ROOF PLAN

A1.14

EXTERIOR FINISH SCHEDULE						
KEY	#	MATERIAL	MANUFACTURER	STYLE	COLOR	NOTES
CON	1	CONCRETE	-	-	-	
MASN	1	EXISTING STONE	-	COURSED ASHLAR	-	EXISTING TO REMAIN
MASN	2	EXISTING STONE	-	SMOOTH	-	EXISTING TO REMAIN
MTL	1	PREFINISHED BRAKE METAL	-	-	TO MATCH FIBER CEMENT	AT COPING & TRIM PIECES
ROOF	1	EXISTING ASPHALT SHINGLE ROOF	-	-	-	EXISTING TO REMAIN
ROOF	2	EXISTING MEMBRANE ROOF	-	-	-	EXISTING TO REMAIN
ST	1	EXISTING STUCCO	-	-	-	EXISTING TO REMAIN
ST	2	STUCCO	-	MATCH ST-1	MATCH ST-1	AT NEW WINDOW OPENINGS & ROOF DECK
ST	3	STUCCO	-	-	ARCH. TO SELECT FROM MFG'S FULL RANGE	AT KNEE WALL
STF	1	ALUMINUM STOREFRONT	KAWNEER	451UT	ARCH. TO SELECT FROM MFG'S FULL RANGE	
WIN	1	WINDOW FRAME	PELLA	IMPERVIA SERIES	BROWN	

GENERAL NOTES - GLAZING

1. ALL GLAZING TO BE INSTALLED PER OBC SECTION 2406.

2. ALL SAFETY GLAZING TO BE IDENTIFIED PER OBC 2406.9 REQUIREMENTS.

3. ALL TEMPERED GLAZING TO MEET OR EXCEED ANSI Z 97.1 STANDARDS CATEGORY A OR CPSC 16 CFR 1201 STANDARD CATEGORY II.

LEGEND

① TEMPERED GLAZING

GENERAL NOTES - WINDOWS

1. BASIS OF DESIGN: PELLA IMPERVIA SERIES

2. WINDOW DIMENSIONS ARE R.O., TYP.

3. REFER TO LINTEL & HEADER SCHEDULE IN STRUCTURAL DRAWINGS.

4. REFER TO DOOR SCHEDULE FOR STOREFRONT INFORMATION, ARCHITECT TO SELECT STOREFRONT COLOR FROM MANUFACTURER'S FULL RANGE.

5. REFER TO FLOOR PLANS FOR DOOR SWING DIRECTION.

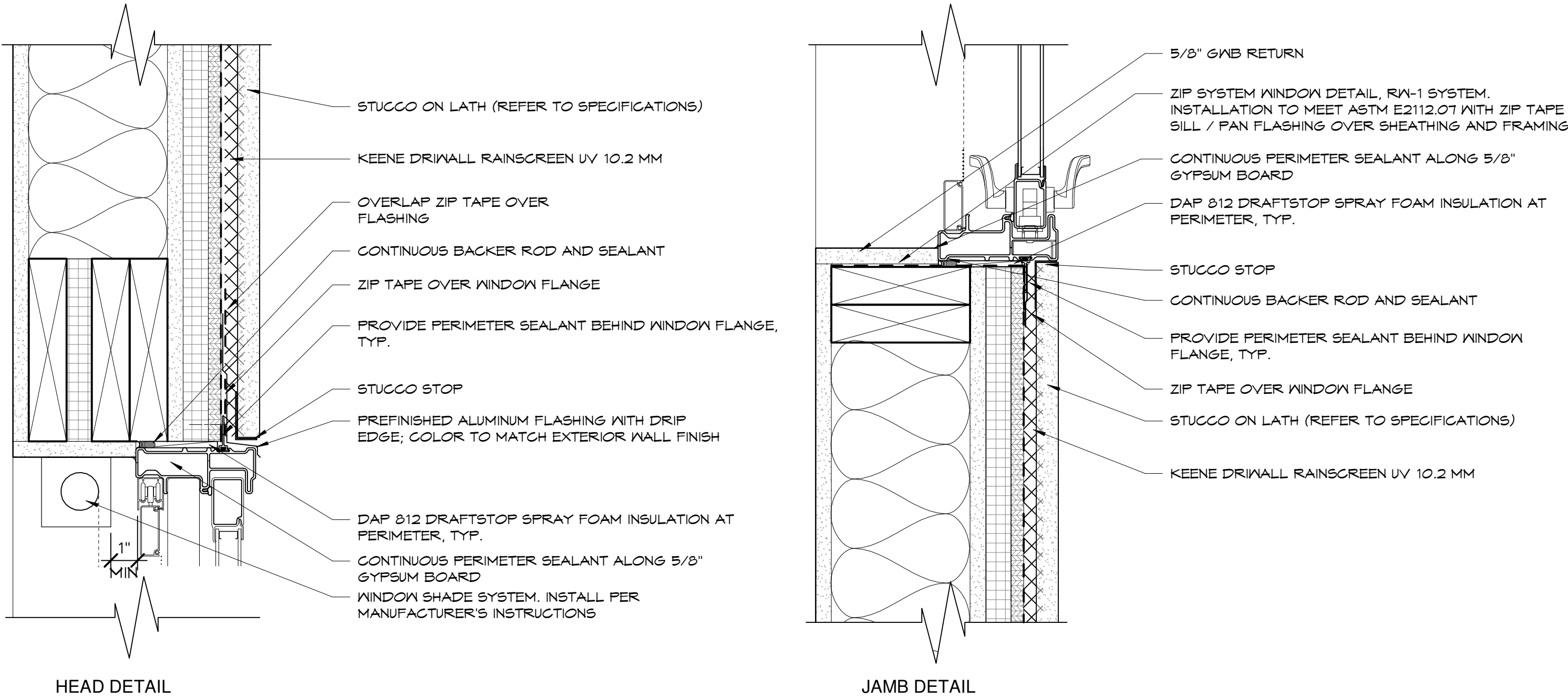
6. 3/4" MAX THRESHOLD AT PATIO DOORS, WHERE APARTMENT UNIT PATIO DOORS EXIT TO EXTERIOR SURFACE THAT IS PERVIOUS, INCLUDING BUT NOT LIMITED TO COMPOSITE DECKS, THE DECKING MUST BE MAINTAINED TO WITHIN 1/2" OF THE INTERIOR FLOOR LEVEL. WHERE APARTMENT UNIT PATIO DOORS EXIT TO EXTERIOR SURFACE THAT IS IMPERVIOUS, INCLUDING BUT NOT LIMITED TO CONCRETE PATIOS, THE CONCRETE PATIO MAY BE A MAXIMUM OF 4" STEP FROM THE INTERIOR FLOOR LEVEL.

7. PAINTED, INTERIOR WOOD SILLS TYP AT ALL NEW WINDOWS.

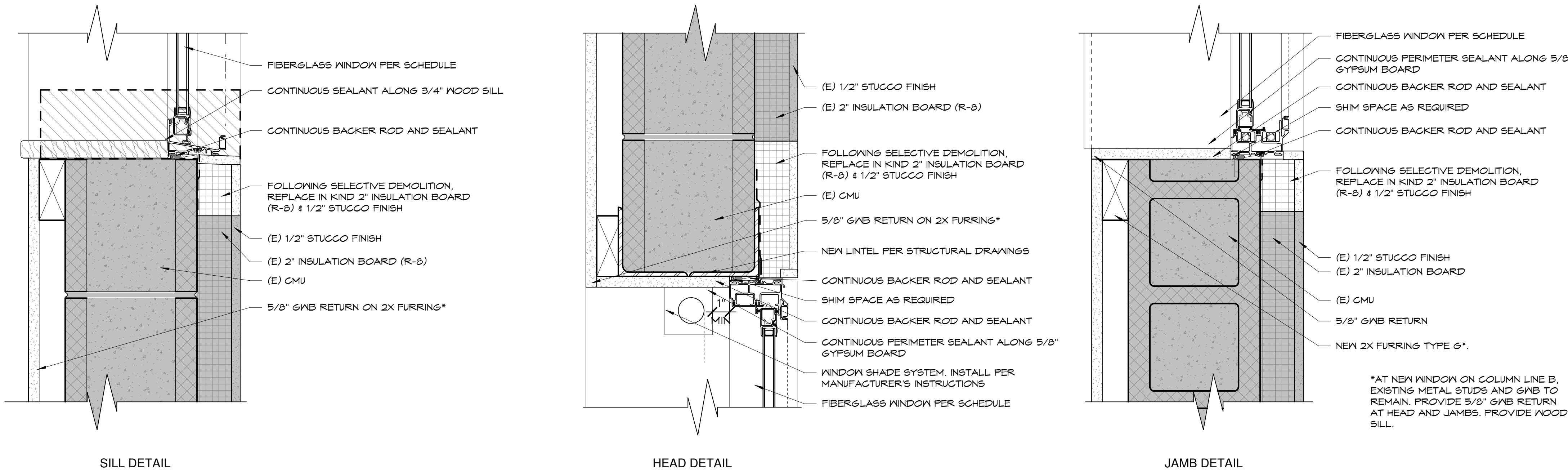
LEGEND

F - FIXED

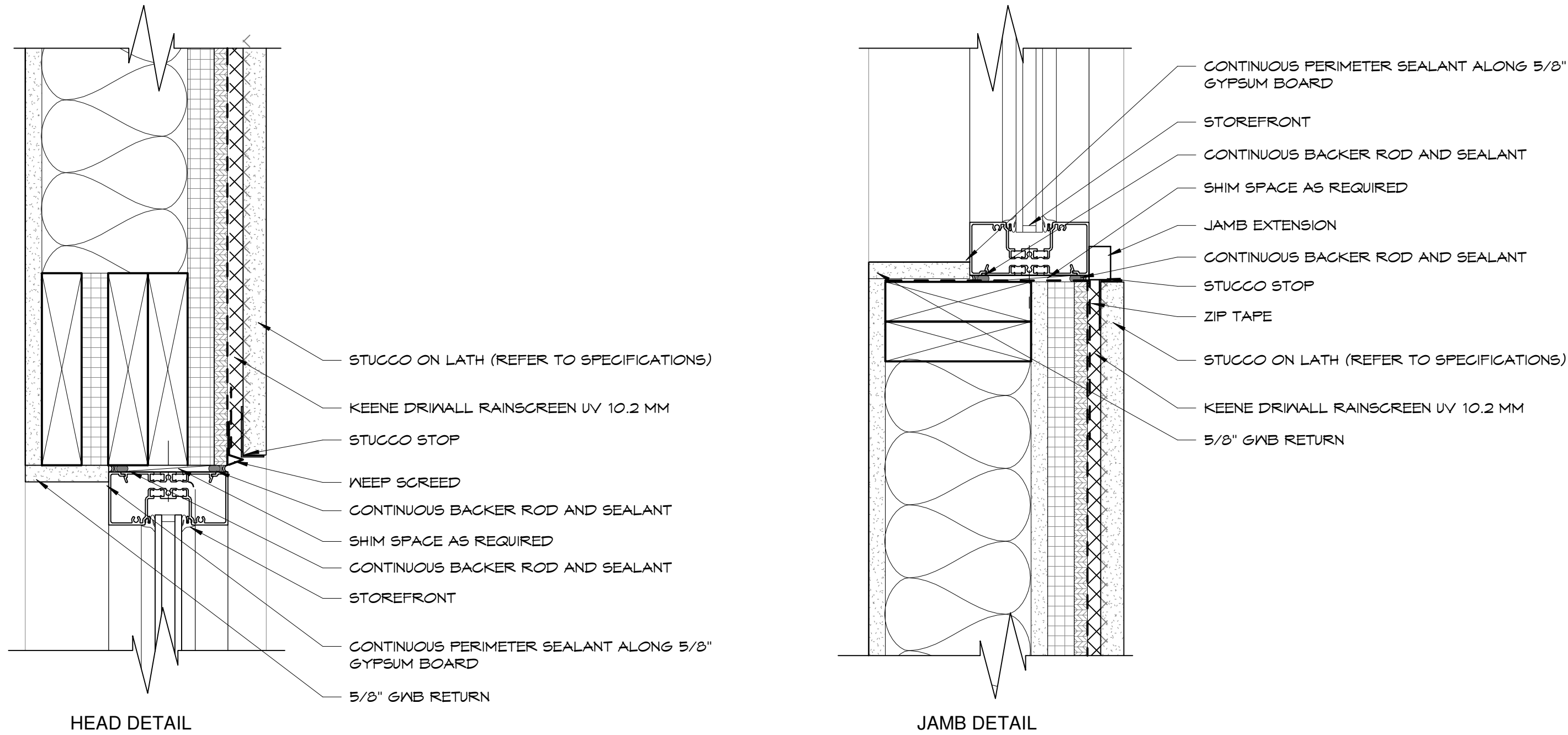
— - - - - OPERABLE



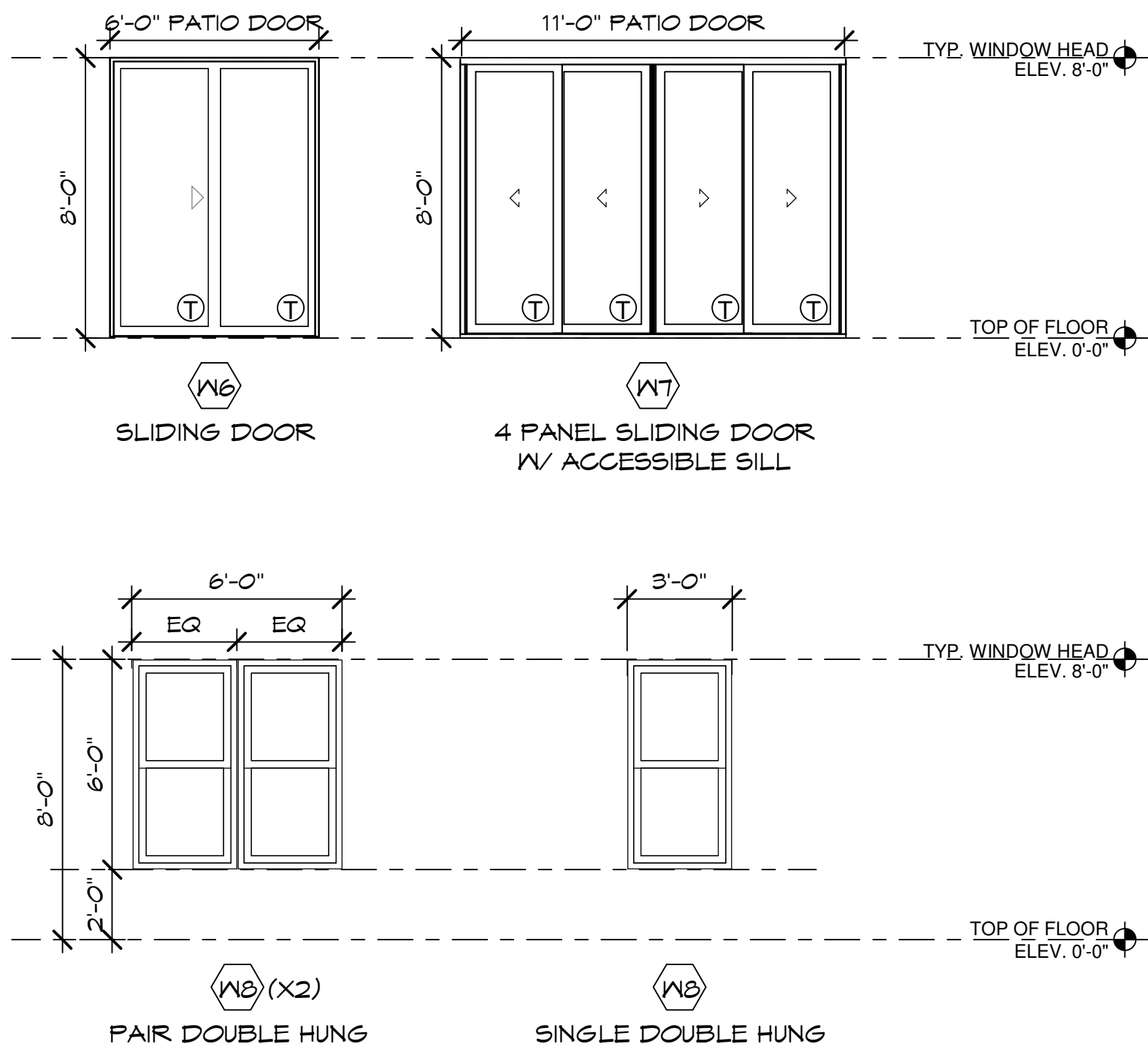
4 PATIO DOOR DETAILS (EXTERIOR WALL TYPE 03)
A2.00 SCALE: 3" = 1'-0"



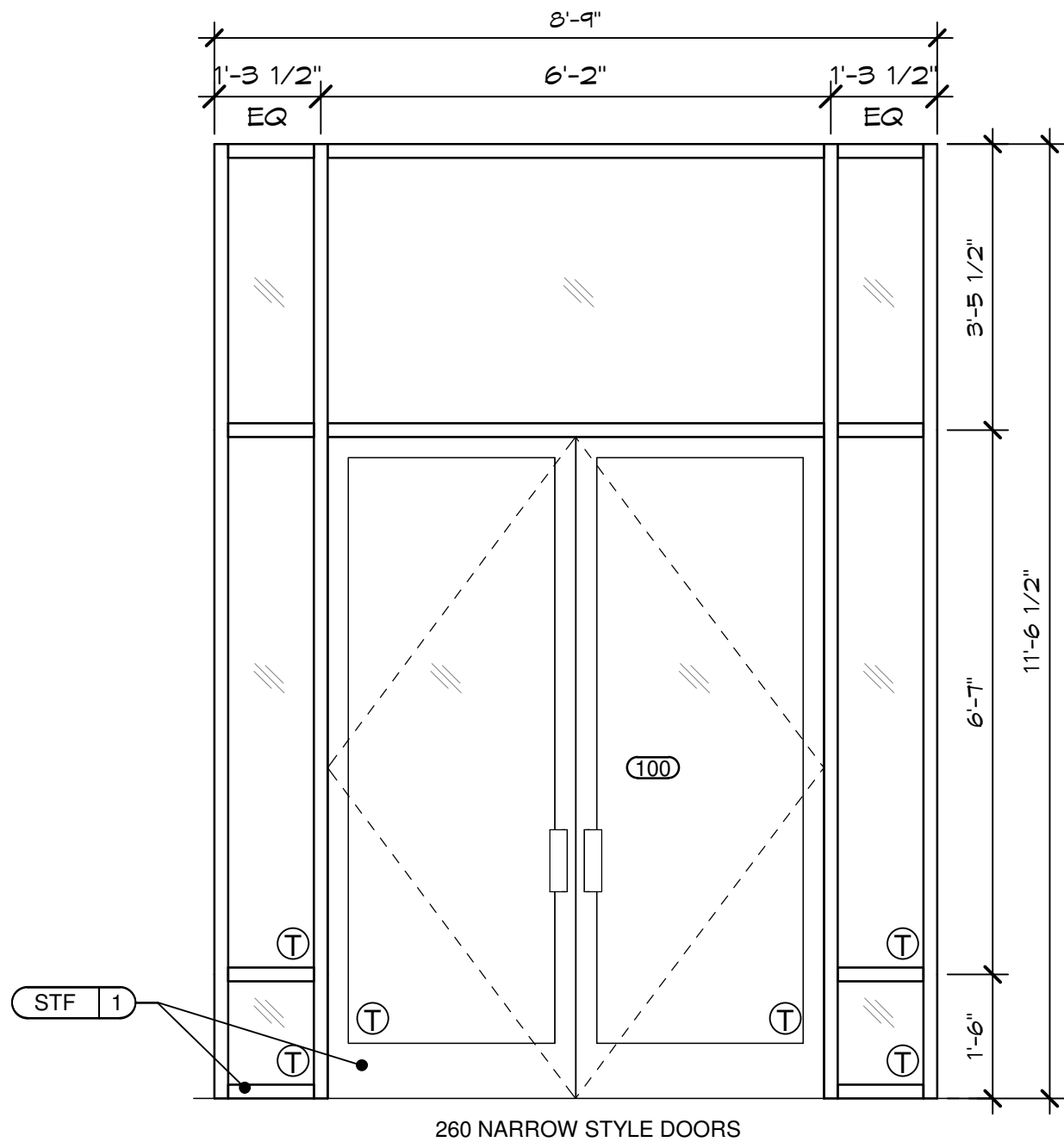
3 NEW WINDOW AT EXISTING STUCCO DETAILS (EXTERIOR WALL TYPE 02, SIM)
A2.00 SCALE: 3" = 1'-0"



2 STOREFRONT DETAILS (EXTERIOR WALL TYPE 03)
A2.00 SCALE: 3" = 1'-0"

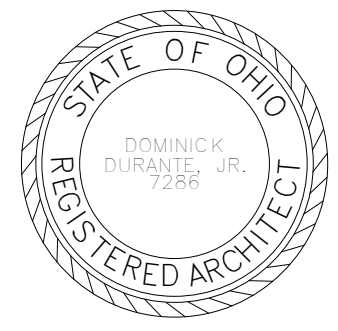


WINDOW TYPE SCHEDULE



1 ENTRY STOREFRONT
A2.00 SCALE: 1/2" = 1'-0"

DATE	DESCRIPTION
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



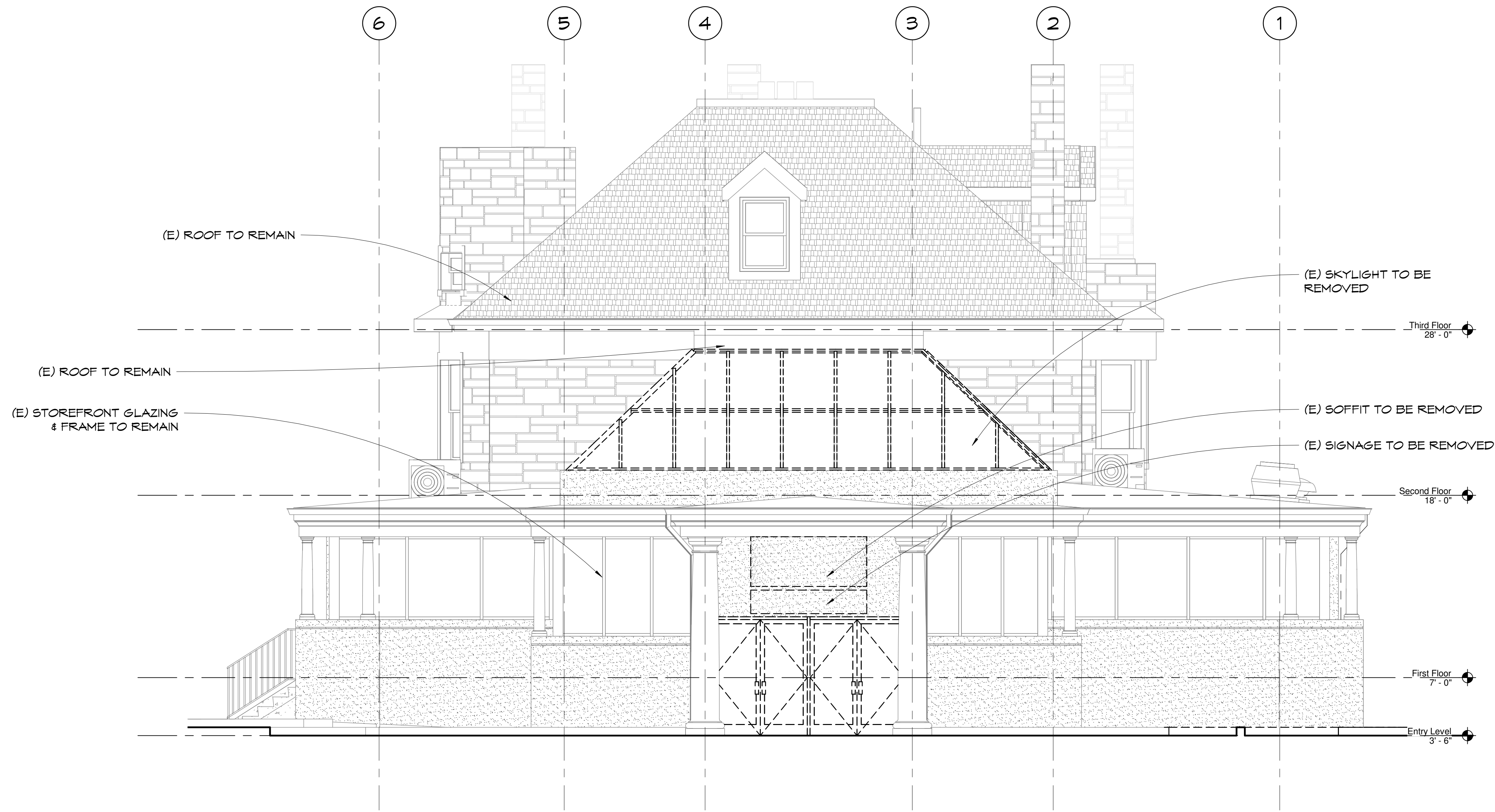
a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of art and are the instruments of service of LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

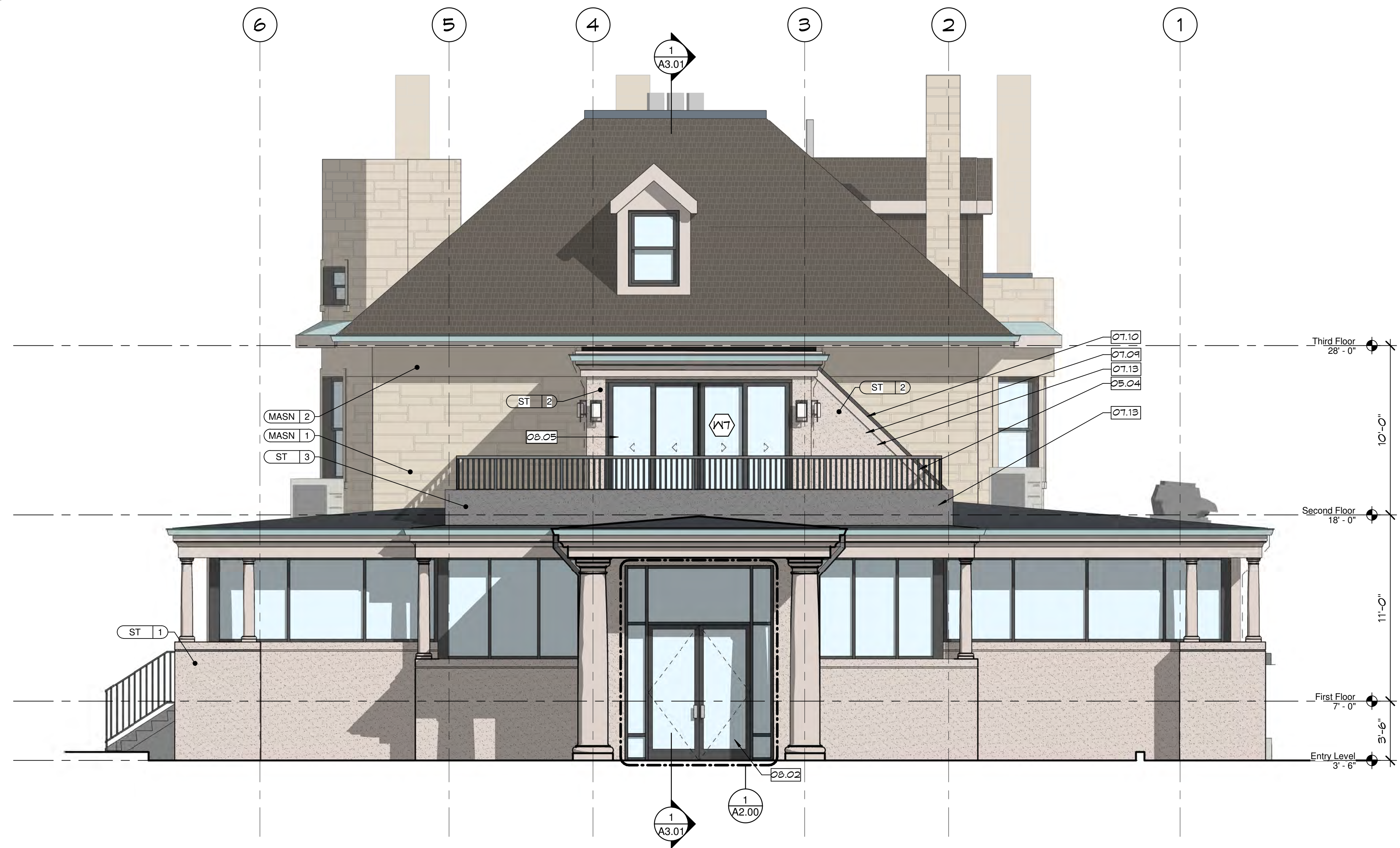
Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

EXTERIOR SCHEDULES **A2.00**



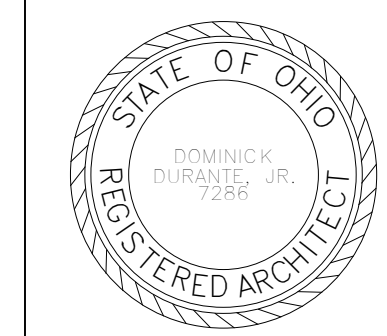
1 EXISTING NORTHEAST ELEVATION
A2.01 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTHEAST ELEVATION
A2.01 SCALE: 1/4" = 1'-0"

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL
TYPICAL UNLESS NOTED OTHERWISE
05.04 PROVIDE 42" GUARDRAIL, RAIL AND PICKET SPACINGS PER TYPICAL HANDRAIL DETAIL UNLESS OTHERWISE NOTED.
07.09 5/4 X 4 FIBER CEMENT TRIM BY JAMES HARDIE OR APPROVED EQUAL.
07.10 5/4 X 6 FIBER CEMENT TRIM BY JAMES HARDIE OR APPROVED EQUAL.
07.13 FIBER CEMENT PANEL.
08.02 ALUMINUM STOREFRONT, BASIS OF DESIGN: KAWNEER 451UT SYSTEM.
08.05 NEW SLIDING PATIO DOOR, BASIS OF DESIGN: PELLA ARCHITECT SERIES SCENESCAPE CONTEMPORARY PATIO DOORS. PROVIDE ACCESSIBLE THRESHOLD.

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects, Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, copyright and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23
NORTH-EAST EXTERIOR ELEVATIONS


A2.01



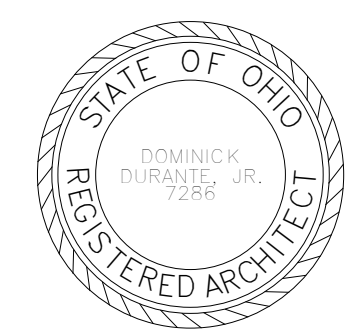
1 EXISTING SOUTHEAST ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTHEAST ELEVATION
A2.02 SCALE: 1/4" = 1'-0"

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL 
TYPICAL UNLESS NOTED OTHERWISE
05.04 PROVIDE 42" GUARDRAIL, RAIL AND PICKET SPACING PER TYPICAL HANDRAIL DETAIL UNLESS OTHERWISE NOTED.
05.05 NEW SLIDING PATIO DOOR, BASIS OF DESIGN: PELLA ARCHITECT SERIES SCENESCAPE CONTEMPORARY PATIO DOORS. PROVIDE ACCESSIBLE THRESHOLD.

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects, Inc. This drawing and subject matter thereon, as well as associated specifications, constitute the confidential and unpublished work of LDA architects, Inc. and are the instruments of service of LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, copyright and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23
SOUTH-EAST EXTERIOR
ELEVATIONS


A2.02



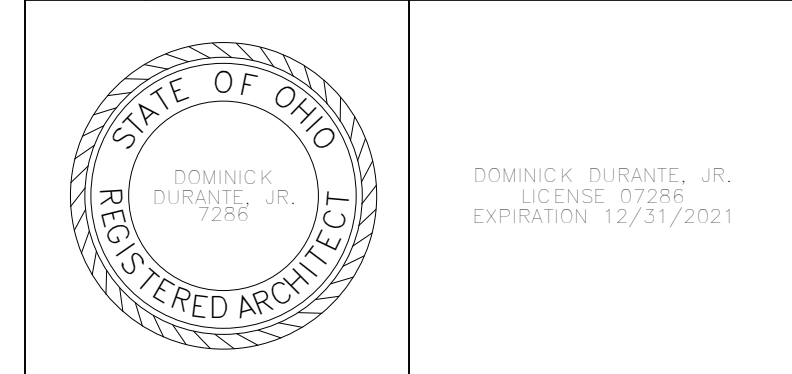
1 EXISTING SOUTHWEST ELEVATION
A2.03 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTHWEST ELEVATION
A2.03 SCALE: 1/4" = 1'-0"

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL 
TYPICAL UNLESS NOTED OTHERWISE
08.01 NEW FIBERGLASS WINDOW, BASIS OF
DESIGN: FELLA IMPERVIA SERIES.

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit

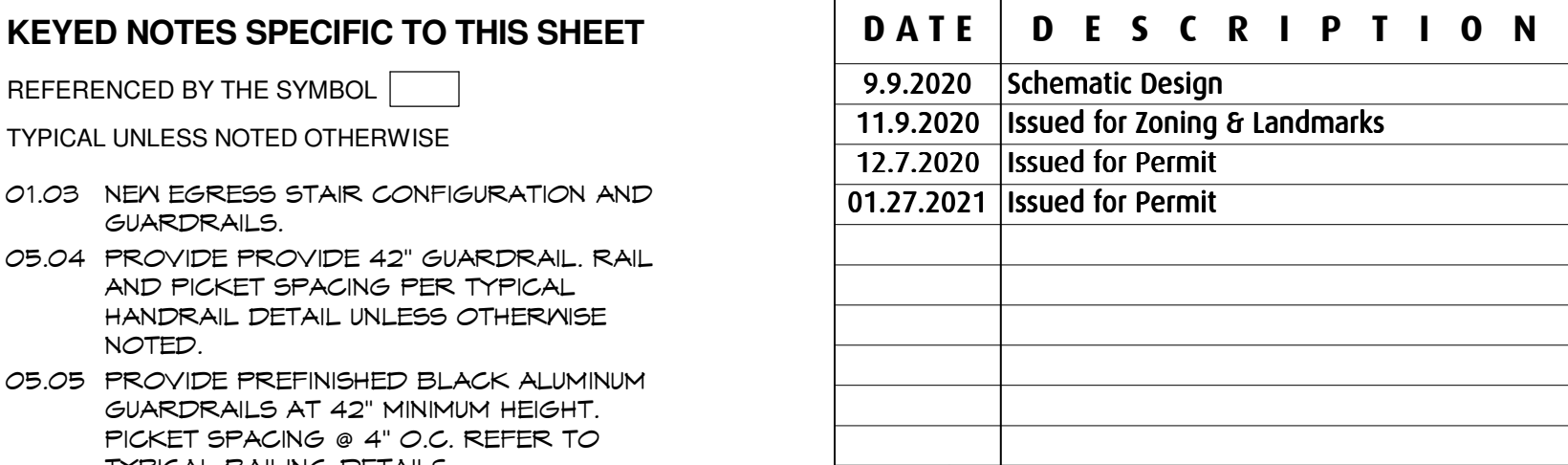


a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890
Copyright © 2019 LDA architects, Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the
original and unpublished work of and are the instruments of service of LDA architects, Inc.
(LDA). For use solely with respect to this project. These instruments remain the exclusive
property of LDA, who shall retain all common law, statutory and other reserved rights, including
the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part,
for any purpose of project without the written consent of LDA.

Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23
SOUTH-WEST EXTERIOR
ELEVATIONS

A2.03



D A T E	D E S C R I P T I O N
9.9.2020	Schematic Design
1.9.2020	Issued for Zoning & Landmarks
2.7.2020	Issued for Permit
1.27.2021	Issued for Permit

A2.04

LEGEND

INDICATES AIR/MOISTURE BARRIER. REFER TO NOTES.

(X)

REFER TO FLOOR TYPE & ROOF TYPE ASSEMBLY SCHEDULES

EW X

REFER TO EXTERIOR WALL TYPE LEGEND

EXISTING CONSTRUCTION SHOWN SHADED

GENERAL NOTES - WALL SECTIONS

1. COORDINATE WITH CONSTRUCTION TYPES SHEET.

2. INSTALL ZIP SHEATHING ONLY AT ROOF FRAMING. ZIP SHEATHING SHALL NOT BE INSTALLED OVER CONCRETE STRUCTURE.

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

06.01 EXISTING STAIR AND RAILINGS TO REMAIN.

07.06 EXISTING GUTTERS TO REMAIN, TYP.

07.06 EXISTING ROOF TO REMAIN.

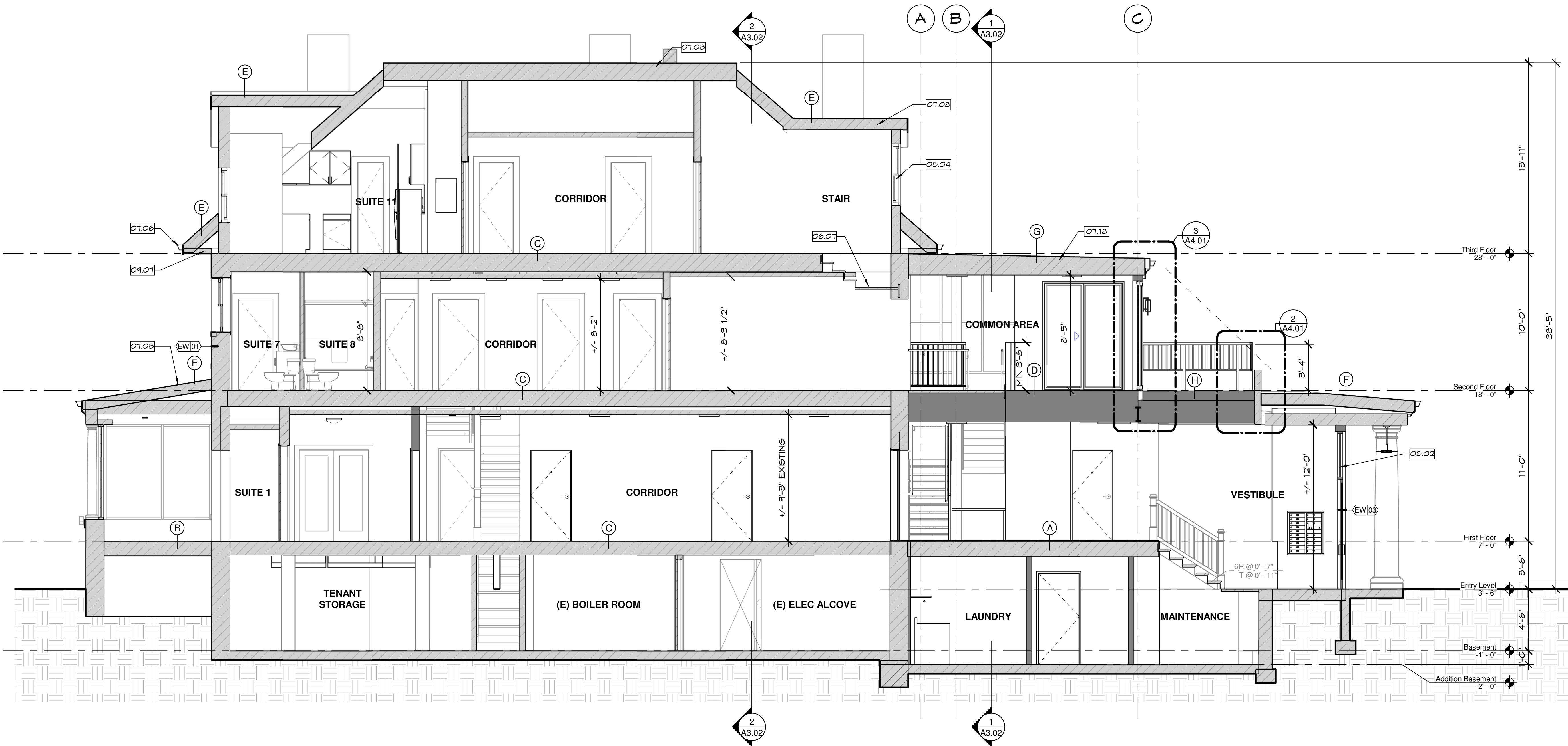
07.10 REMOVE AND REPLACE MEMBRANE ROOF.

08.02 ALUMINUM STOREFRONT, BASIS OF DESIGN: KAMNEER 451UT SYSTEM.

08.04 EXISTING WINDOW TO REMAIN.

04.01 EXISTING SOFFIT TO REMAIN.

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



1

A3.01

LONGITUDINAL BUILDING SECTION

SCALE: 1/4" = 1'-0"

STATE OF OHIO
REGISTERED ARCHITECT

DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021

LDA architects

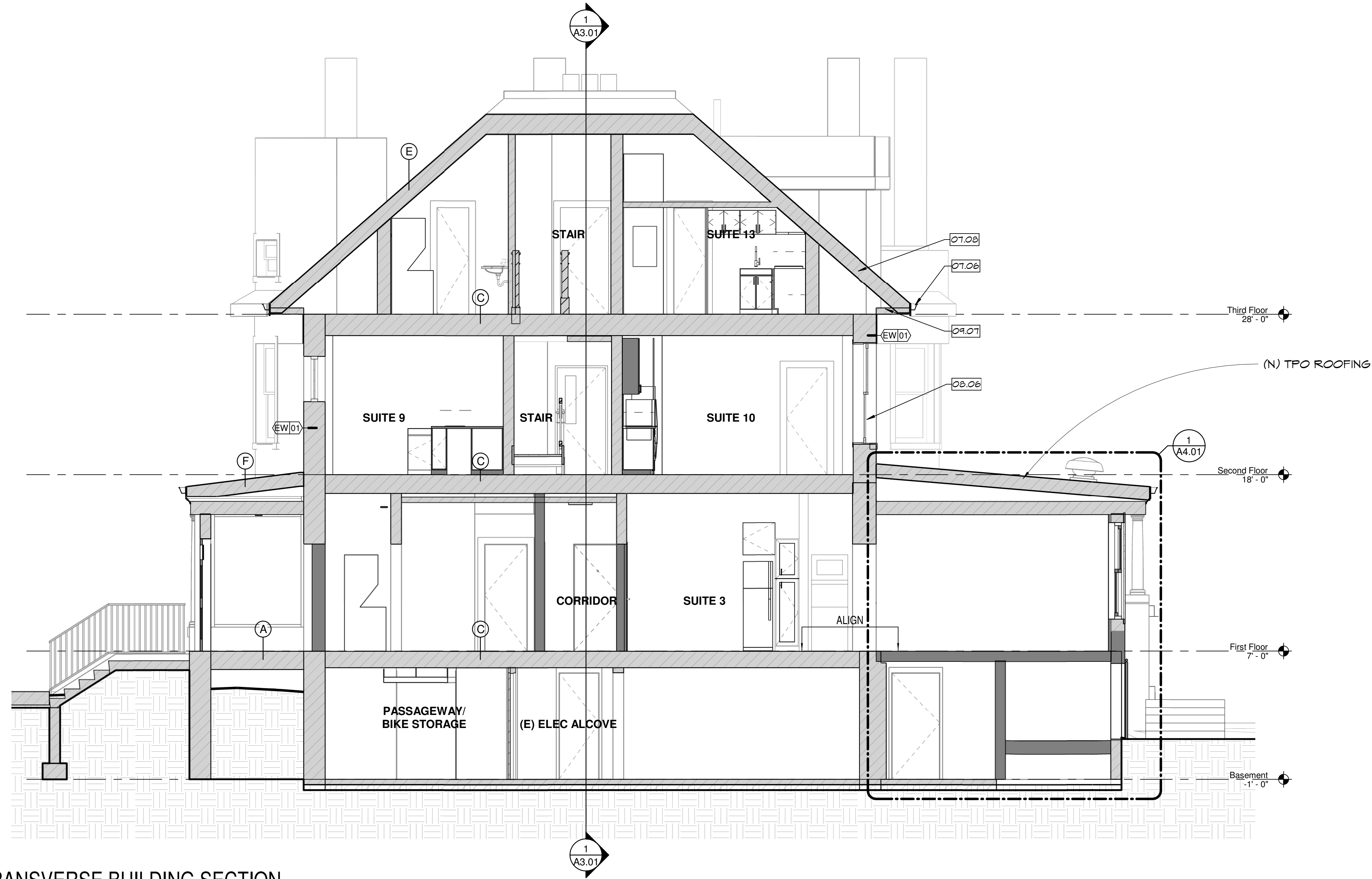
a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of and are the instruments of service of LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

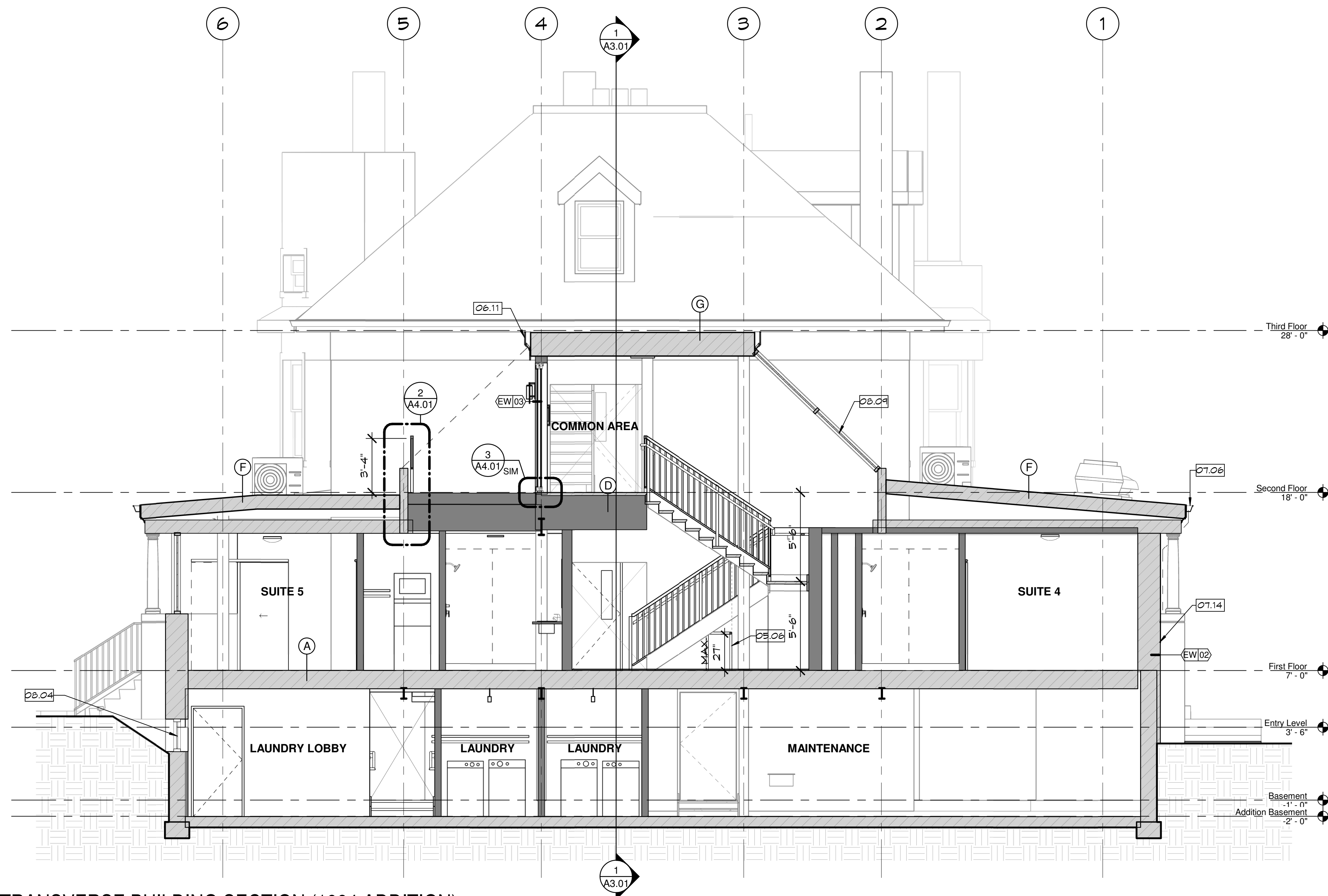
Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

BUILDING SECTIONS **A3.01**



2 TRANSVERSE BUILDING SECTION
A3.02 SCALE: 1/4" = 1'-0"



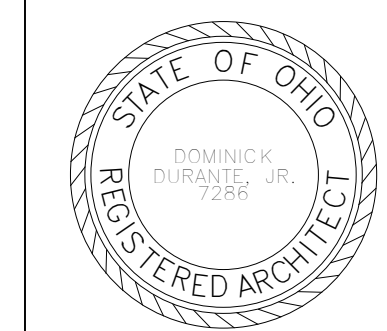
1 TRANSVERSE BUILDING SECTION (1984 ADDITION)
A3.02 SCALE: 1/4" = 1'-0"

LEGEND	
---	INDICATES AIR/MOISTURE BARRIER. REFER TO NOTES.
(X)	REFER TO FLOOR TYPE & ROOF TYPE ASSEMBLY SCHEDULES
EW X	REFER TO EXTERIOR WALL TYPE LEGEND
■	EXISTING CONSTRUCTION SHOWN SHADED

GENERAL NOTES - WALL SECTIONS	
1.	COORDINATE WITH CONSTRUCTION TYPES SHEET.
2.	INSTALL ZIP SHEATHING ONLY AT ROOF FRAMING. ZIP SHEATHING SHALL NOT BE INSTALLED OVER CONCRETE STRUCTURE.

KEYED NOTES SPECIFIC TO THIS SHEET	
REFERENCED BY THE SYMBOL	
TYPICAL UNLESS NOTED OTHERWISE	
05.06	PROVIDE PREFINISHED BLACK ALUMINUM CANE RAIL (1-1/2" DIA.) WHERE VERTICAL CLEARANCE UNDER STAIRWAY IS LESS THAN 80". THE LEADING EDGE OF THE CANE RAIL SHALL BE LOCATED 21" MAXIMUM ABOVE THE FINISH FLOOR.
06.11	NEW CORNICE TO MATCH EXISTING AT ADDITION.
07.06	EXISTING GUTTERS TO REMAIN, TYP.
07.08	EXISTING ROOF TO REMAIN.
07.14	NEW STUCCO TRIM AT EXTERIOR HEAD, JAMB, & SILL.
08.04	EXISTING WINDOW TO REMAIN.
08.06	NEW FIBERGLASS WINDOW, 25% ALLOWABLE UNPROTECTED OPENINGS. BASIS OF DESIGN: PELLA IMPERVIA SERIES.
08.09	EXISTING SKYLIGHT TO REMAIN.
09.07	EXISTING SOFFIT TO REMAIN.

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



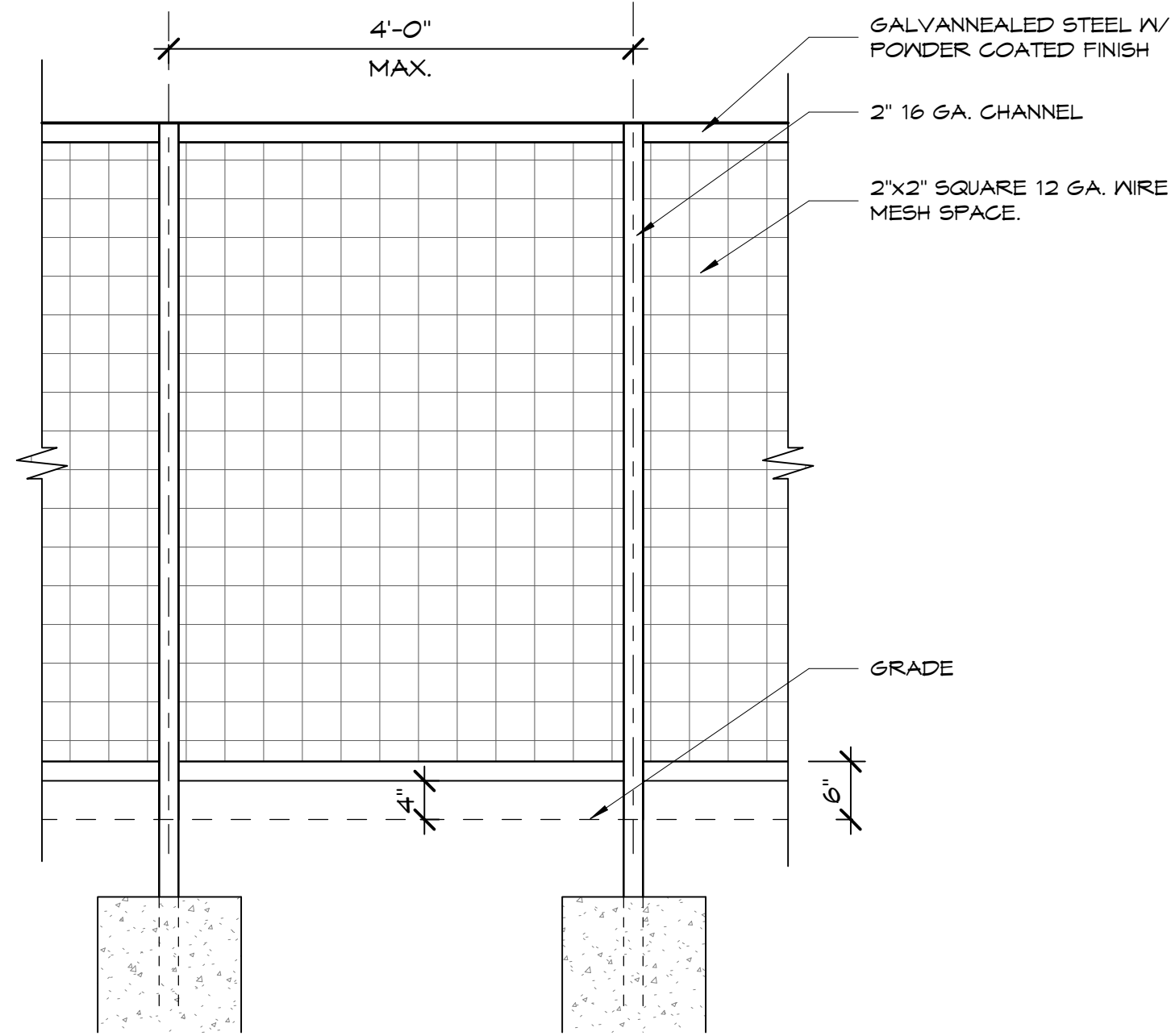
a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects, Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

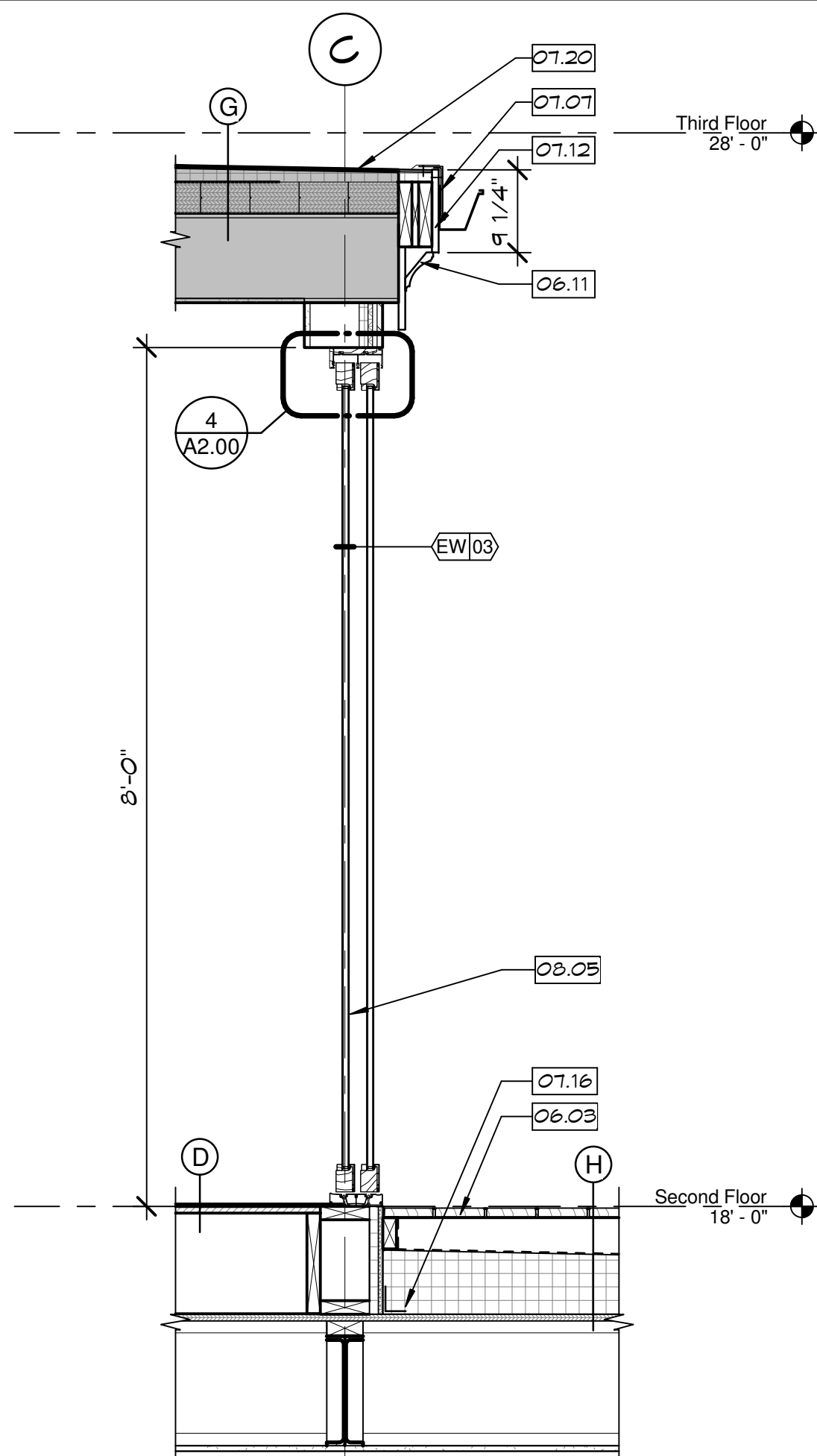
Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

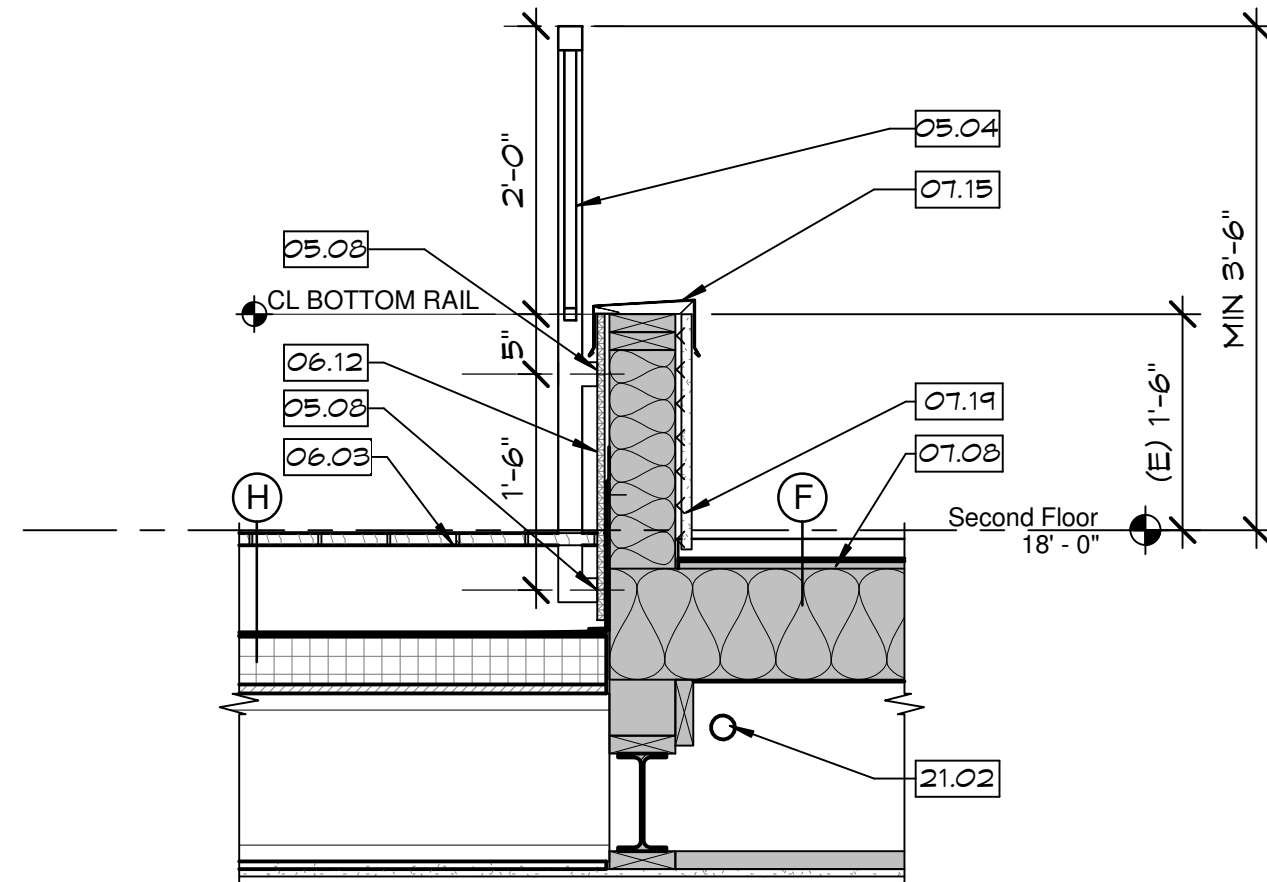
BUILDING SECTIONS A3.02



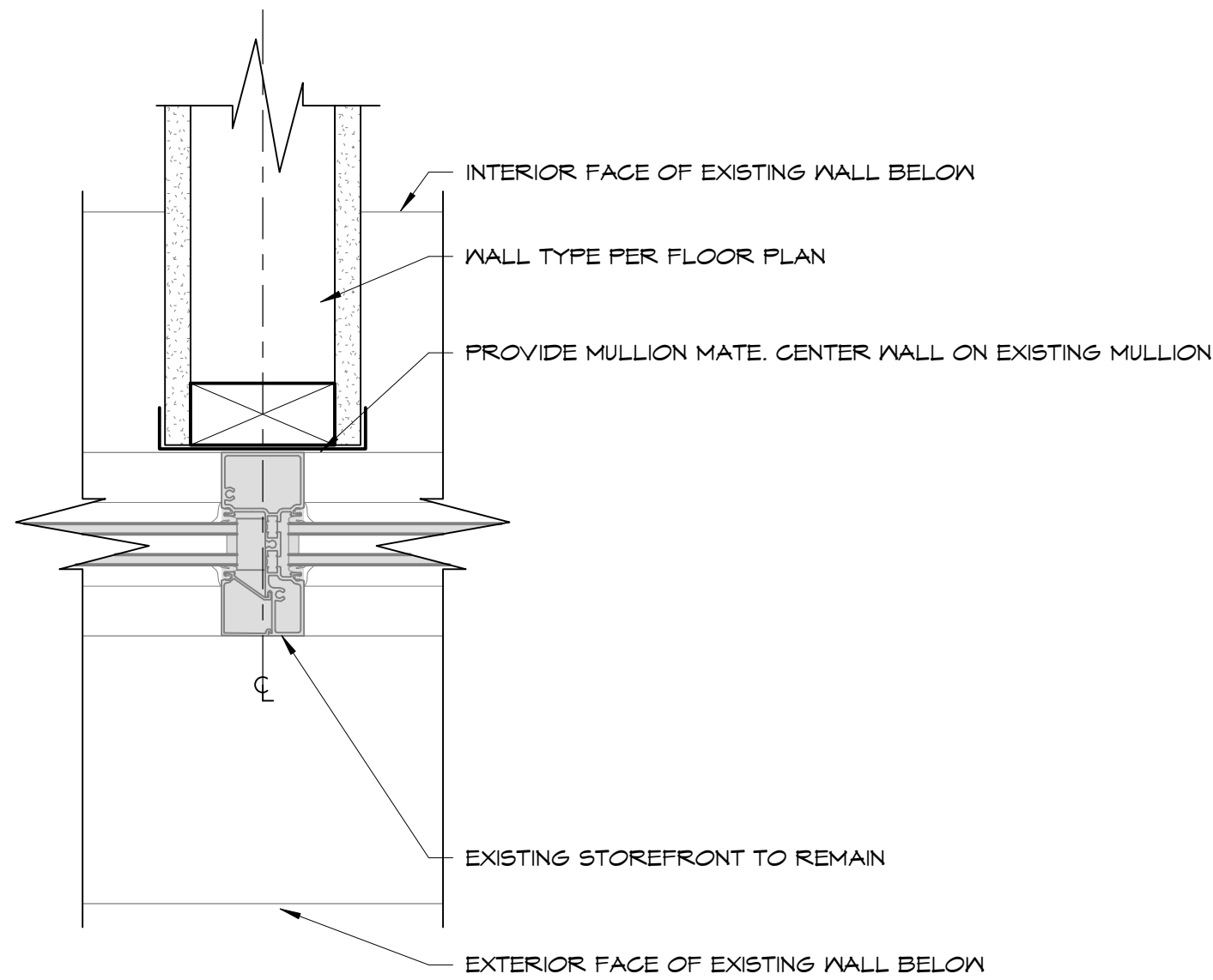
6 McNICHOLS ECO-MESH FENCE DETAIL
A4.01 SCALE: 3/4" = 1'-0"



3 PATIO DOOR AT ROOF DECK
A4.01 SCALE: 3/4" = 1'-0"



2 NEW GUARDRAIL AT ROOF DECK
A4.01 SCALE: 3/4" = 1'-0"



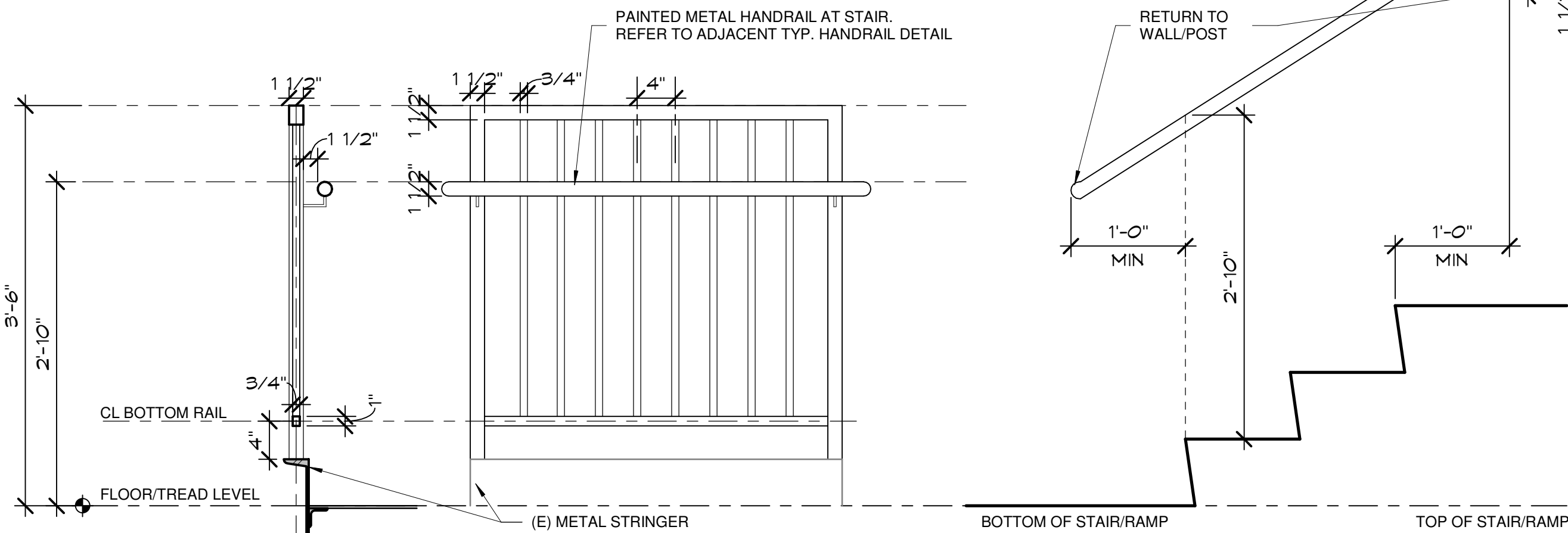
5 MULLION MATE DETAIL
A4.01 SCALE: 3" = 1'-0"

GUARDRAILS:

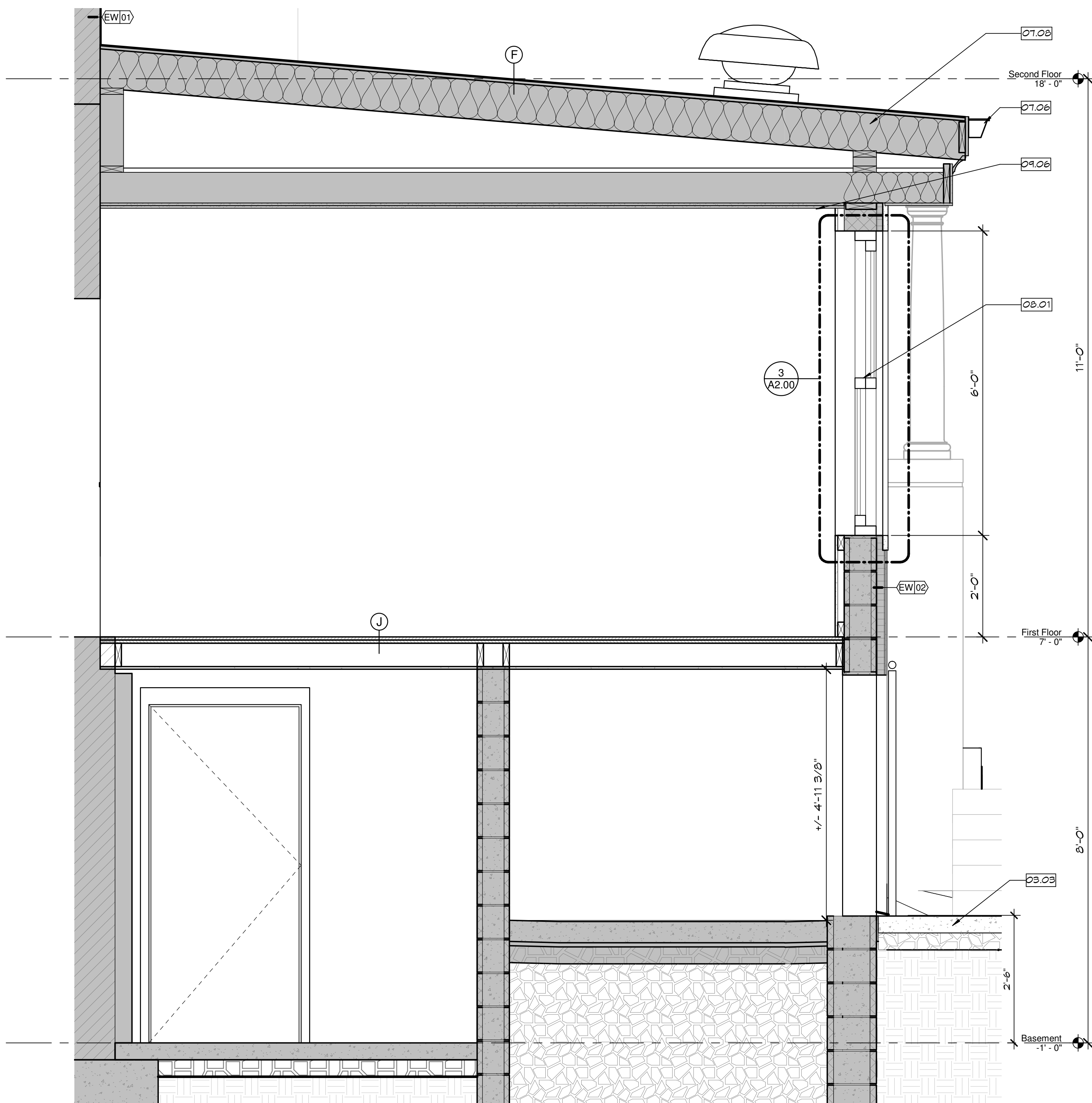
PER OBC 1607.8.1 Handrails and guards. Handrails and guards shall be designed to resist a linear load of 50 pounds per linear foot (plf) (0.73 kN/m) in accordance with Section 4.5.1 of ASCE 7.

1607.8.1.1 Concentrated load. Handrails and guards shall be designed to resist a concentrated load of 200 pounds (0.89 kN) in accordance with Section 4.5.1 of ASCE 7.

1607.8.1.2 Intermediate rails. Intermediate rails (all those except the handrail), balusters and panel fillers shall be designed to resist a concentrated load of 50 pounds (0.22 kN) in accordance with Section 4.5.1 of ASCE 7.



4 TYP. RAILING DETAILS
A4.01 SCALE: 1" = 1'-0"



1 INFILL AT DEMOLISHED STAIR
A4.01 SCALE: 3/4" = 1'-0"

LEGEND

- INDICATES AIR/MOISTURE BARRIER. REFER TO NOTES.
- (X) REFER TO FLOOR TYPE 4 ROOF TYPE ASSEMBLY SCHEDULES
- (EW X) REFER TO EXTERIOR WALL TYPE LEGEND
- EXISTING CONSTRUCTION SHOWN SHADED

GENERAL NOTES - WALL SECTIONS

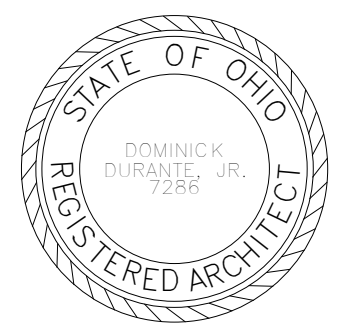
- COORDINATE WITH CONSTRUCTION TYPES SHEET.
- INSTALL ZIP SHEATHING ONLY AT ROOF FRAMING. ZIP SHEATHING SHALL NOT BE INSTALLED OVER CONCRETE STRUCTURE.

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL
TYPICAL UNLESS NOTED OTHERWISE

- 03.03 NEW CONCRETE WALKS SHALL BE 4" MIN. THICKNESS OVER 4" MIN. COMPACTED STONE BASE. PROVIDE HAND TOoled CONTROL JOINTS AT 5'-0" O.C. MAX. EQUALLY SPACED BETWEEN EXPANSION JOINTS AT 20'-0" O.C. REFER TO STRUCTURAL NOTES ON SHEET 50.01.
- 05.04 PROVIDE PROVIDE 42" GUARDRAIL RAIL AND PICKET SPACING PER TYPICAL HANDRAIL DETAIL UNLESS OTHERWISE NOTED.
- 05.05 FLANGE IV (4) #10 WOOD SCREWS. THREAD LENGTH = FLANGE THICKNESS +1".
- 06.03 TIMBER-TECH OVER PEDESTAL SYSTEM. INSTALL PEDESTALS OVER TPO MEMBRANE SLIP-SHEET EXTENDING BEYOND PER MFG'S RECOMMENDATIONS OVER TPO ROOFING MEMBRANE SYSTEM.
- 06.11 NEW CORNICE TO MATCH EXISTING AT ADDITION.
- 06.12 NEW 5/8" PLYWOOD.
- 07.06 EXISTING GUTTERS TO REMAIN, TYP.
- 07.07 NEW GUTTER TO MATCH EXISTING GUTTER FINISH.
- 07.08 EXISTING ROOF TO REMAIN.
- 07.12 5/4 X 10 FIBER CEMENT TRIM BY JAMES HARDIE OR APPROVED EQUAL.
- 07.15 COPING WITH DRIP EDGE. FINISH TO MATCH ADJACENT FIBER CEMENT TRIM.
- 07.16 ZIP SYSTEM LIQUID FLASH.
- 07.19 STUCCO ON LATH (REFER TO SPECIFICATIONS) ON KEENE DRIKALL. RANSCREEN UV 10.2 MM. PROVIDE WEEP SCREED.
- 07.20 PROVIDE NEW TPO ROOF.
- 08.01 NEW FIBERGLASS WINDOW. BASIS OF DESIGN: PELLA IMPERVA SERIES.
- 08.05 NEW SLIDING PATIO DOOR. BASIS OF DESIGN: PELLA ARCHITECT SERIES SCENESCAPE CONTEMPORARY PATIO DOORS. PROVIDE ACCESSIBLE THRESHOLD.
- 09.06 EXISTING DRYWALL. CEILING TO REMAIN.
- 21.02 EXISTING FIRE SUPPRESSION LINE MAY OCCUR. VERIFY IN FIELD.

DATE	DESCRIPTION
12.7.2020	Issued for Permit
01.27.2021	Issued for Permit



DOMINICK DURANTE, JR.
LICENSE 07284
EXPIRATION 12/31/2021



a: 5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
w: www.LDAarchitecture.com p: 216.932.1890

Copyright © 2019 LDA architects inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of and are the instruments of service of LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, copyright and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

WALL SECTIONS &
DETAILS

A4.01



Case 20-070: Warehouse Historic District (Approved 12-24-20)

Waring Block 500 West St. Clair Avenue

Storefront and Entrance Revisions for Acqua di Luca Restaurant

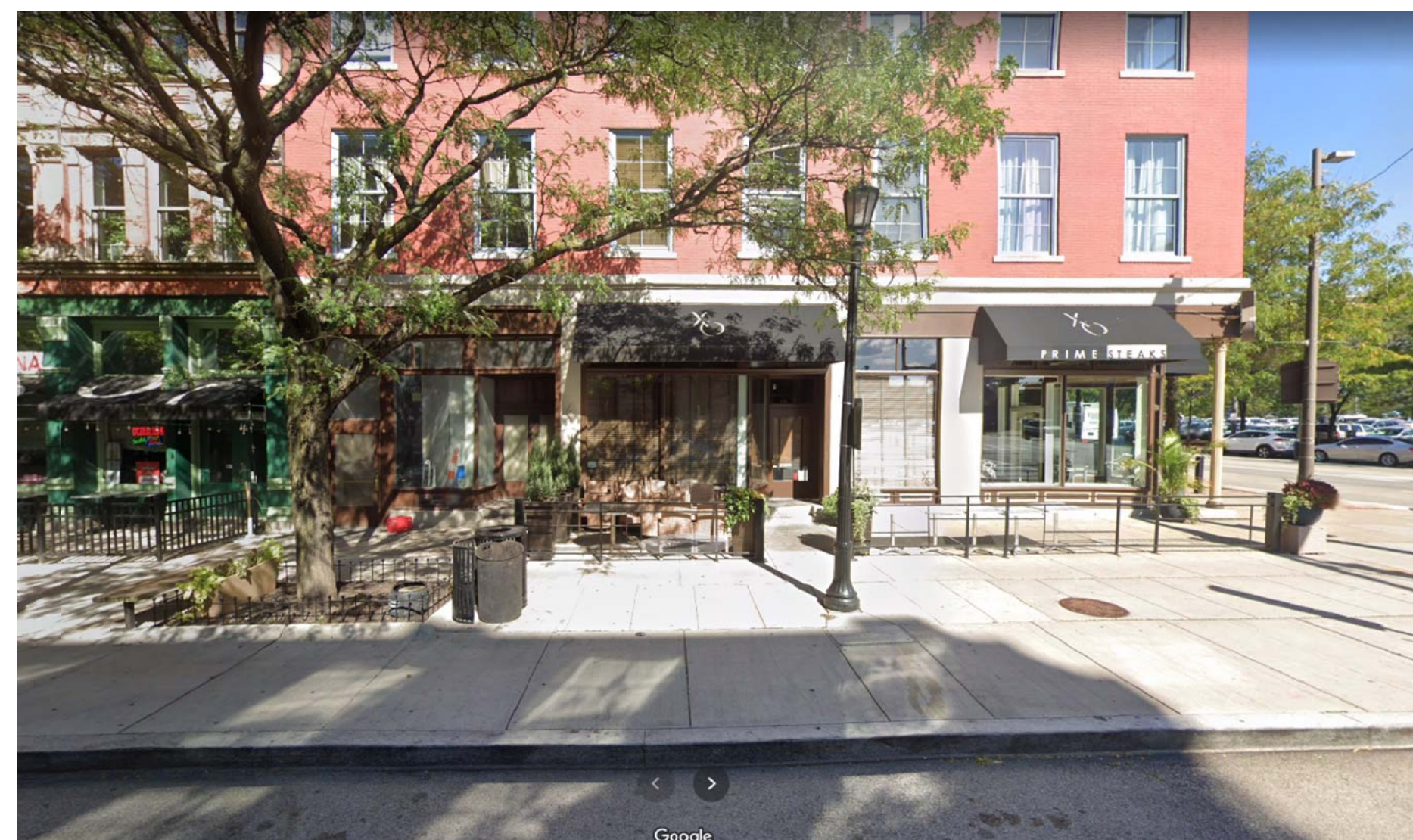
Ward 3: McCormack

Project Representative: Robert Bajko, HSB Architects; Manjola Sema, Luca; Jeff Walters, Panzica

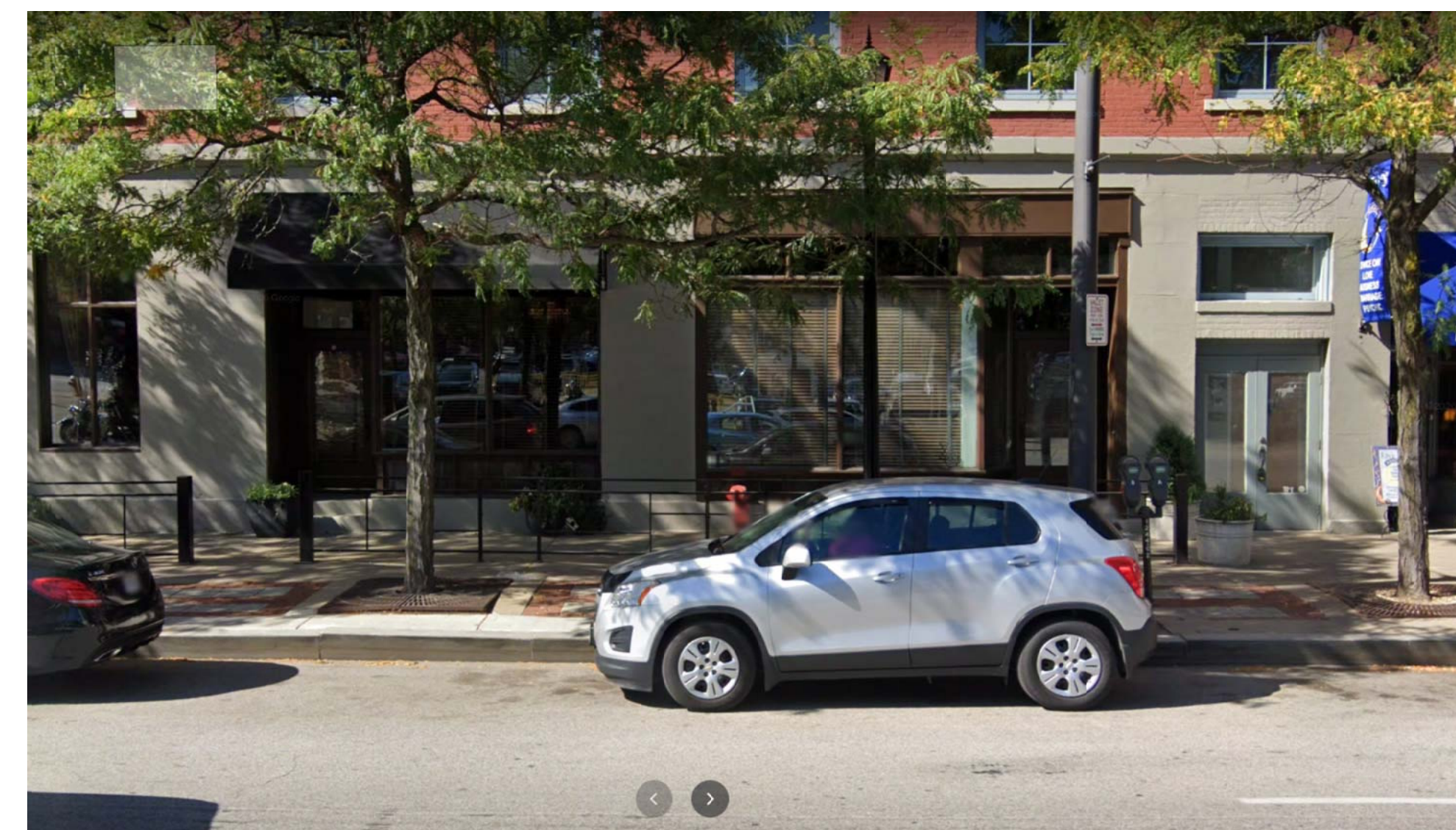
LUCA



Corner View



W. 6th Storefront



St. Clair Storefront



Existing W. 6th Storefront



New W. 6th Storefront



Existing St. Clair Storefront



New St. Clair Storefront



Existing St. Clair Storefront at New Entry



New St. Clair Storefront at New Entry

LUCA

500 St. Clair Ave.
Cleveland, OH 44113

Before & After Photos

Cleveland Landmarks Commission

Design Review



February 11, 2021

Historic Downtown Cleveland Design Review Committee

Acqua di Luca - 500 W. St. Clair Warehouse District

First meeting of two - 12/15/20

Committee: Benton, Parker, Zarnas, Long, O'Connell,
Staff: Starinsky

Applicant: Bob Bajko, Lola Sema, Jeff Walters, Terry Uhl

Proposal:

Canopy, operable storefront, new corner door, new entrance door.

Lola - third restaurant yet to be named. Bringing inside to a warehouse feel - wood beam and brick - and bring out the history. \$2 million investment. 100 new jobs.

- Outdoor patio and canopy with minimal pitch. Top glazing
- Light fixtures under canopy
- Move the main entrance to St. Clair to an existing storefront entrance
- Activate the corner door with new operable storefront - Nano wall system

Discussion:

- NZ - does not impinge on the building
- MB - glass - how to keep clean. Lola - plan to clean every two weeks
- AO - water on to the side walk a potential issue
- AO - light fixture - wind blowing them around
- AO - corner entrance - why? Prime seating
- RP - new main entrance seems tight
- RP - I like the design
- MB - in favor - sensitive - reversible
- AO - low profile - appropriate for this building
- DL - ok on precedent - others denied before can now come back with new proposal

Precedent

- Architectural detail - respect and compliment
- Clean simple horizontal lines
- Language - details of the architecture. Respond to specific style of each building

The Committee met consensus on approving the proposal conceptually despite not meeting the current guidelines. The applicant will meet with the Committee for a final review with refinements and further detail on 12/22. The Committee will refine the current guidelines on awnings and canopies and review and approve accordingly before the final review of this proposal.

Second meeting of two - 12/22/20

Committee: Benton, Zarnas, Parker, O'Connell, Long

Staff: Starinsky-HDCDRC, Petit-Cleveland Landmarks Commission

Applicant: Bob Bajko, Lola Sema, Jeff Walters, Terry Uhl

Proposal

Formal proposal of the canopy, operable storefront, new doors at corner and all other entries.

Canopy

- Canopy at corner no longer radiused - now a right angle
- Steel structure - primed and painted black
- Top glazed on top - transparent with a slight tint
- Café railing incorporated into the post
- Power for lighting accessed through one J-Box
- Lighting will be supported with bracing to guard against the wind
- Each post will include a footer

Nano Doors

- Simulated bulk head to match adjacent existing storefront configuration
- All aluminum system including door

Entry Doors

- 7'8" aluminum door at St Clair locations; size as existing at W 6th locations
- Painted black - not anodized
- Existing wood storefront will be painted black to match
- Remove existing concrete step for barrier free entrance - floor is lowered inside.
Remaining concrete repaired and finished

See drawings for further detail.

Discussion

- Discussion on the finish on the canopy structure - concern to make the finish as durable as possible given that it is steel. Consider galvanizing for long term maintenance.
- Following clarifying questions, the following motion was made.

Motion: Zarnas approved as presented.

Second: Parker

Vote: Unanimous

Additional Meeting - 1/20/2021

Committee: Benton, Parker, Zarnas, Long, O'Connell,
Staff: Starinsky

Applicant: Bob Bajko, Lola Sema, Jeff Walters, Terry Uhl

Proposal

Change the configuration of the entries from recessed doorways to either a doorway that is flush with the façade or replaced with storefront.

- Doors and transom above the door to be aluminum as previously approved
- Where the doorway will not be used, it will be replaced with wood storefront to match existing including molding profiles, dimensions, and bulkheads with glass
- One doorway along W. 6th will remain recessed with steps with a new aluminum door

See drawings for further detail

Discussion

- Discussion on keep the glass in the bulkhead - it was agreed to keep the glass. Further agreed to meet on site to discuss keeping existing glass or replace with all new glass or a combination
- On the norther most doorway on W. 6th, there was discussion on the pattern of the bulkhead glass on the new section of glass that will replace the doorway. It was agreed to keep the existing section would remain and the new section would use a pattern as typical to the rest of the storefronts.
- Discussion on the columns directly behind the storefront glass in some areas - agreed to simply paint black to match storefront.

With the agreed upon revisions in the above discussion, the following motion was made.

Zarnas: Moved to approve the proposal as presented with the decision on the use of the bulkhead glass to determined by staff.

Benton: Seconded

Vote: Unanimous



Case 21-007: Fourth District Federal Reserve Bank of Cleveland
1455 East 6th Street

Security Upgrades

Ward 3: McCormack

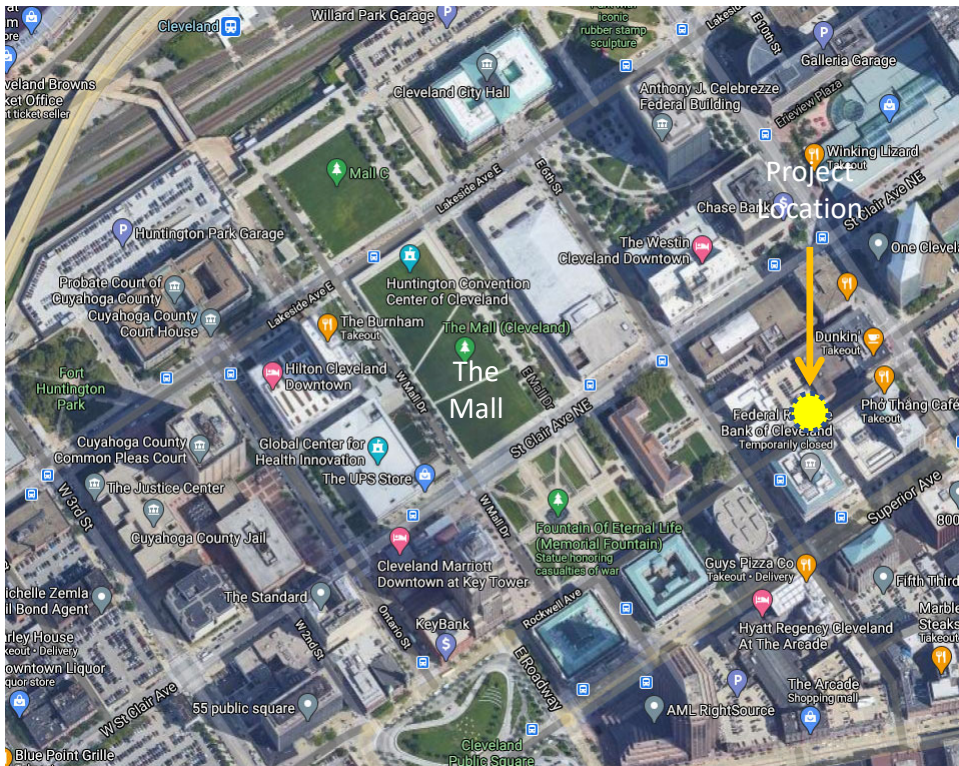
Project Representatives: Thomas Veider, Architect, Federal Reserve Bank

CLE_LEU Rockwell Security Renovation

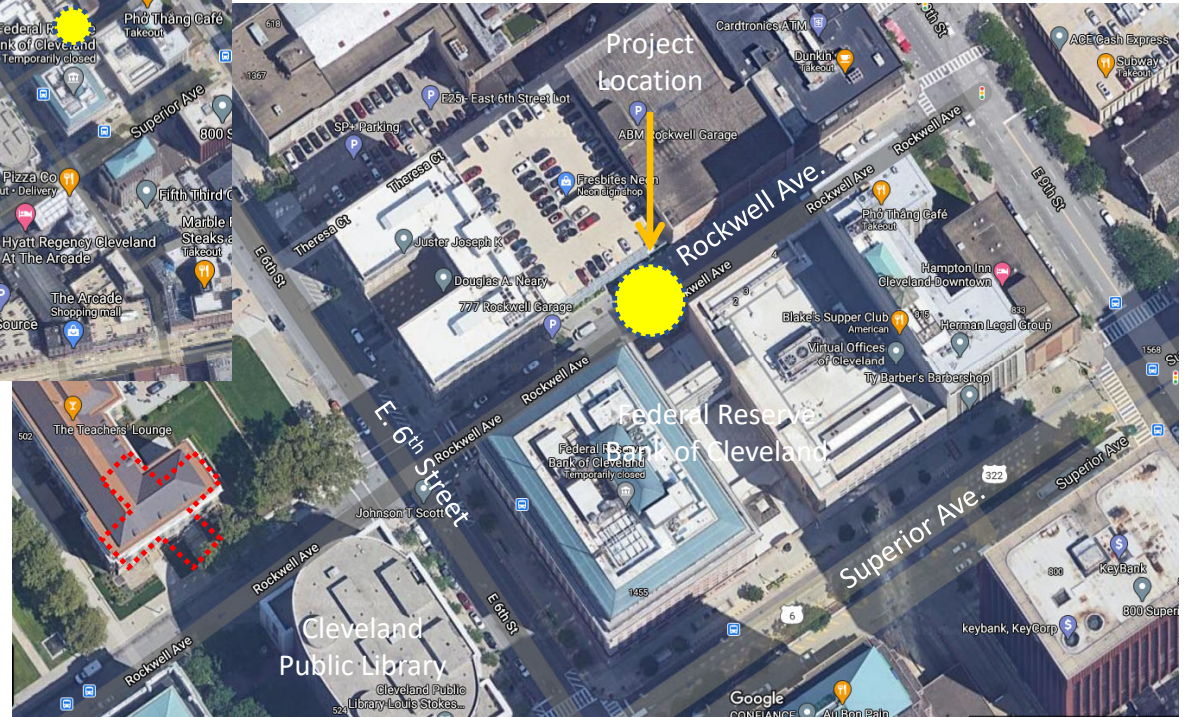


City of Cleveland Landmarks Commission Presentation

CLE_LEU Rockwell Security Renovation – Site Maps

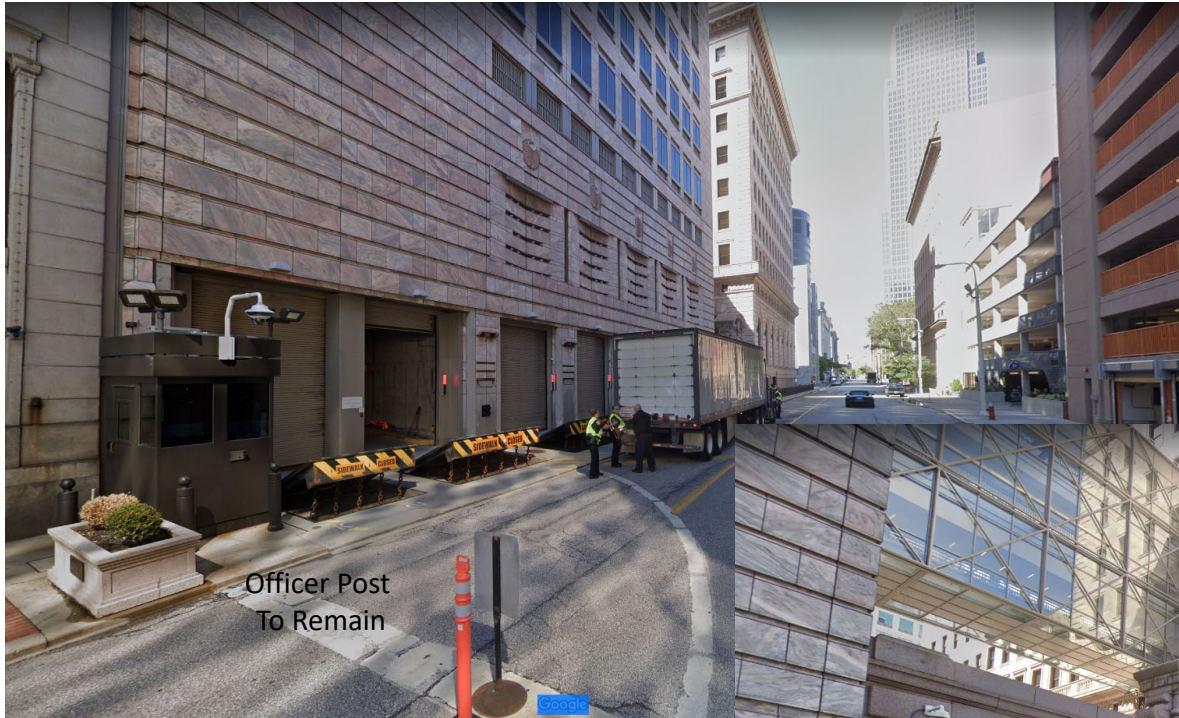


District Map - NTS

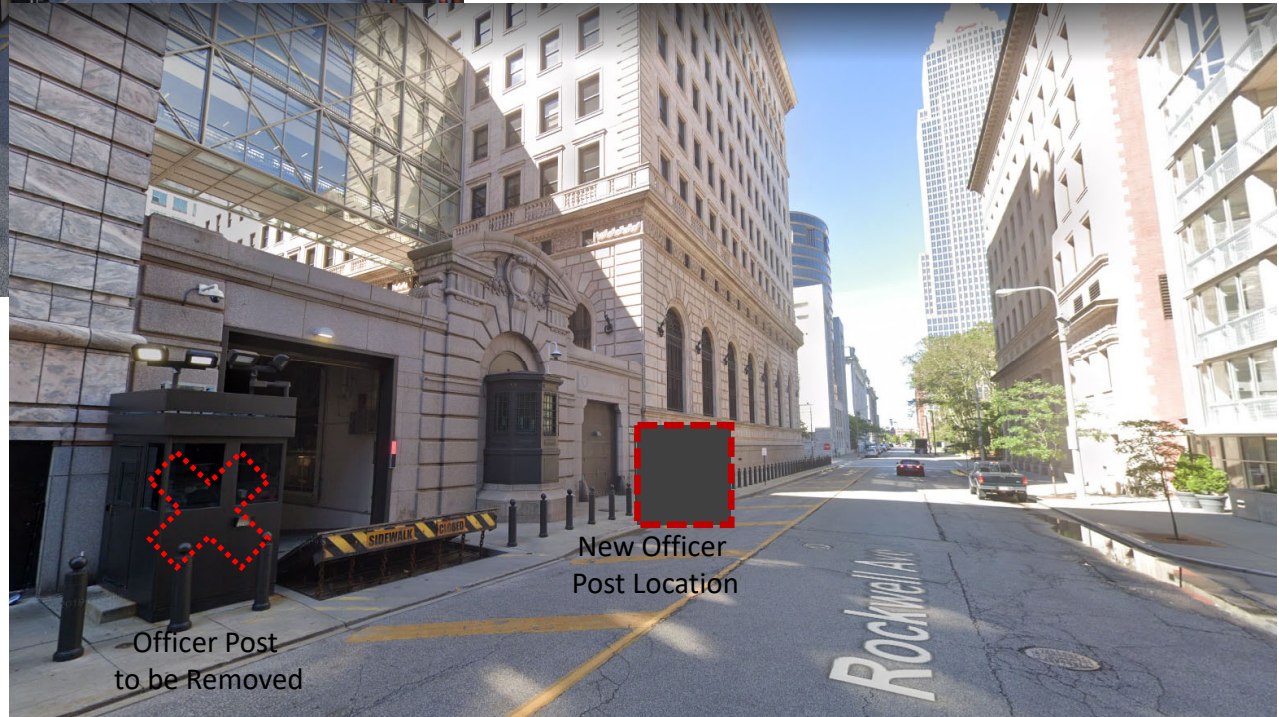


Context Map - NTS

CLE_LEU Rockwell Security Renovation – Rockwell Avenue Views

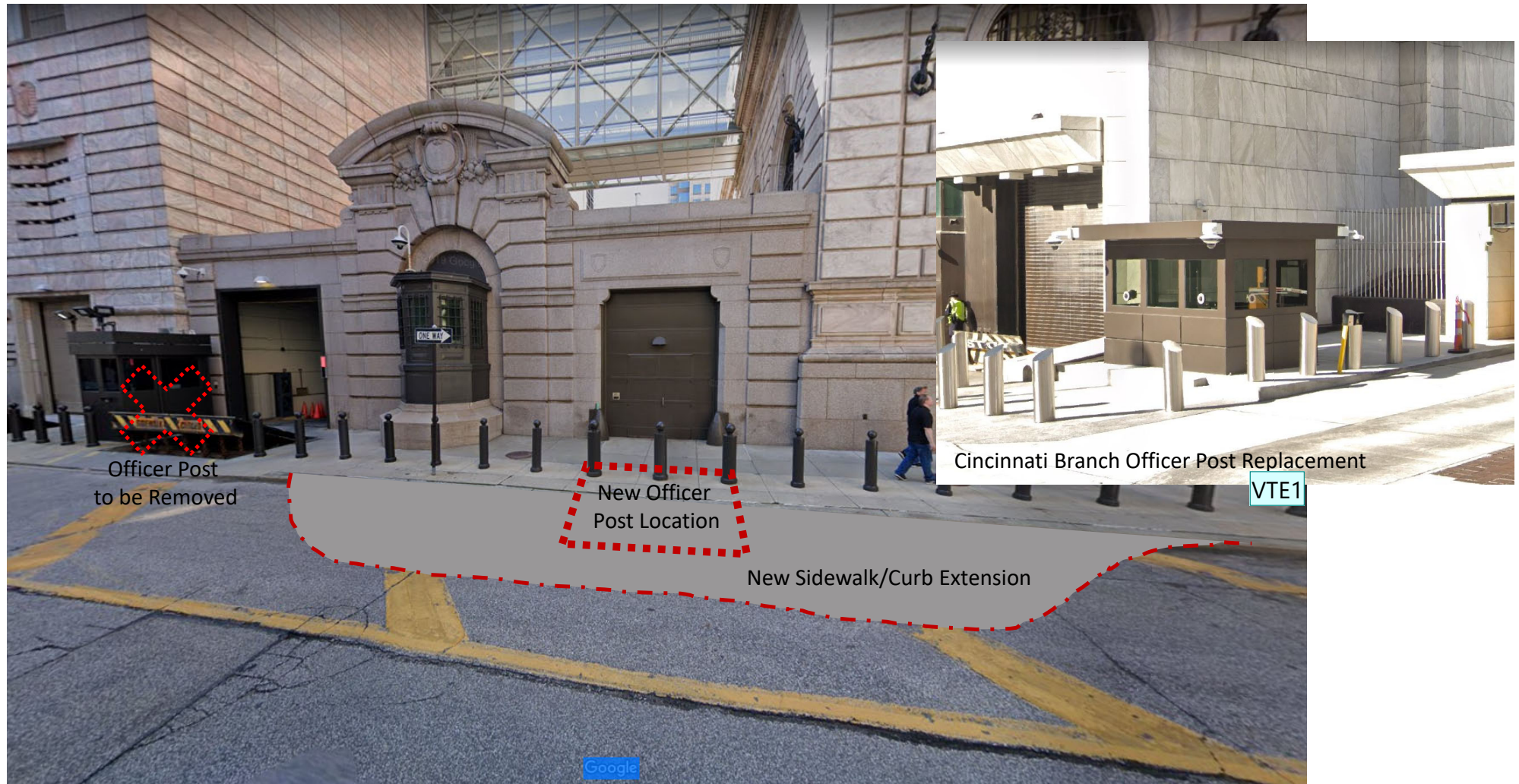


Rockwell Avenue – East Security Post



Rockwell Avenue – Existing West Security Post to be replaced with proposed larger post

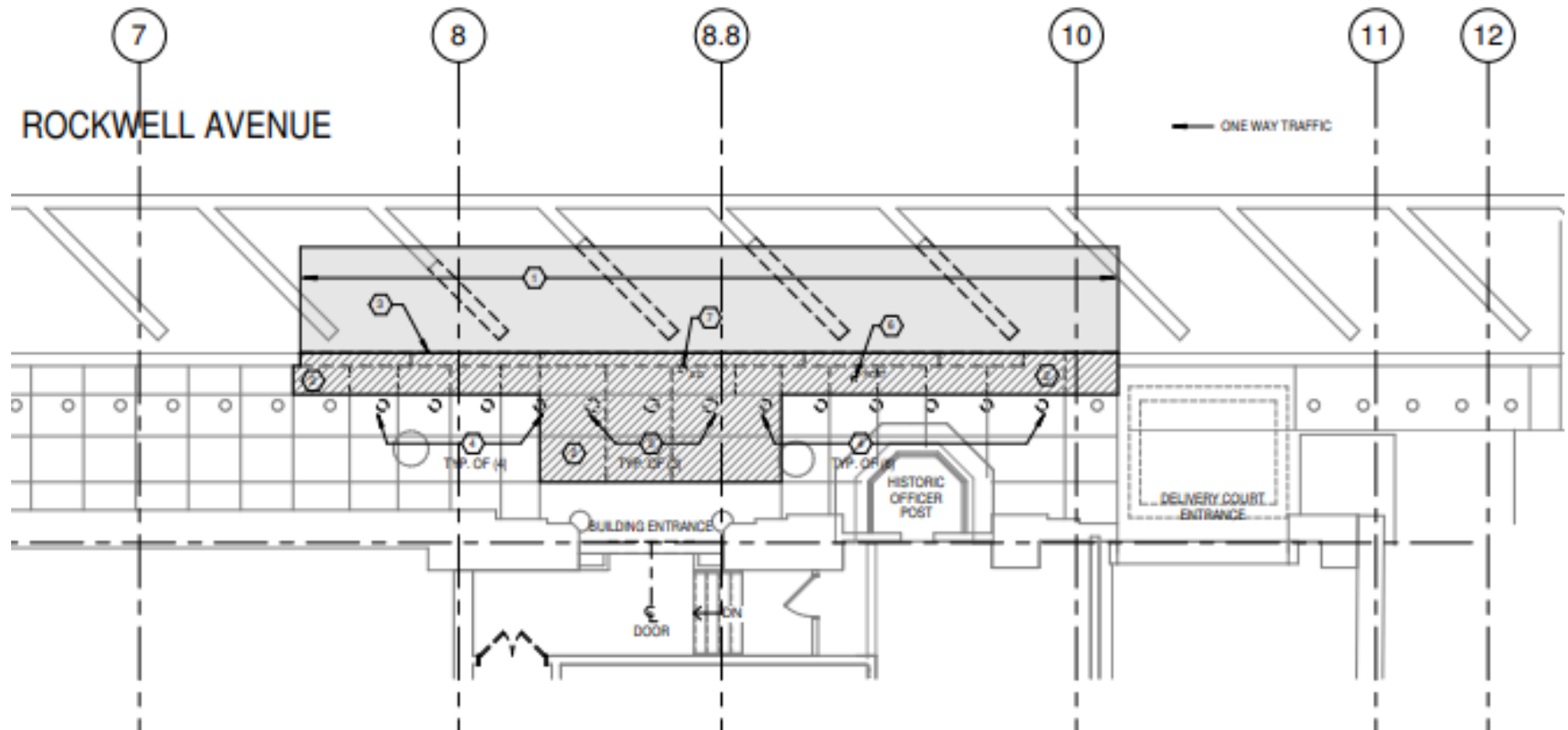
CLE_LEU Rockwell Security Renovation – Project Site Location



Rockwell Avenue Project Location

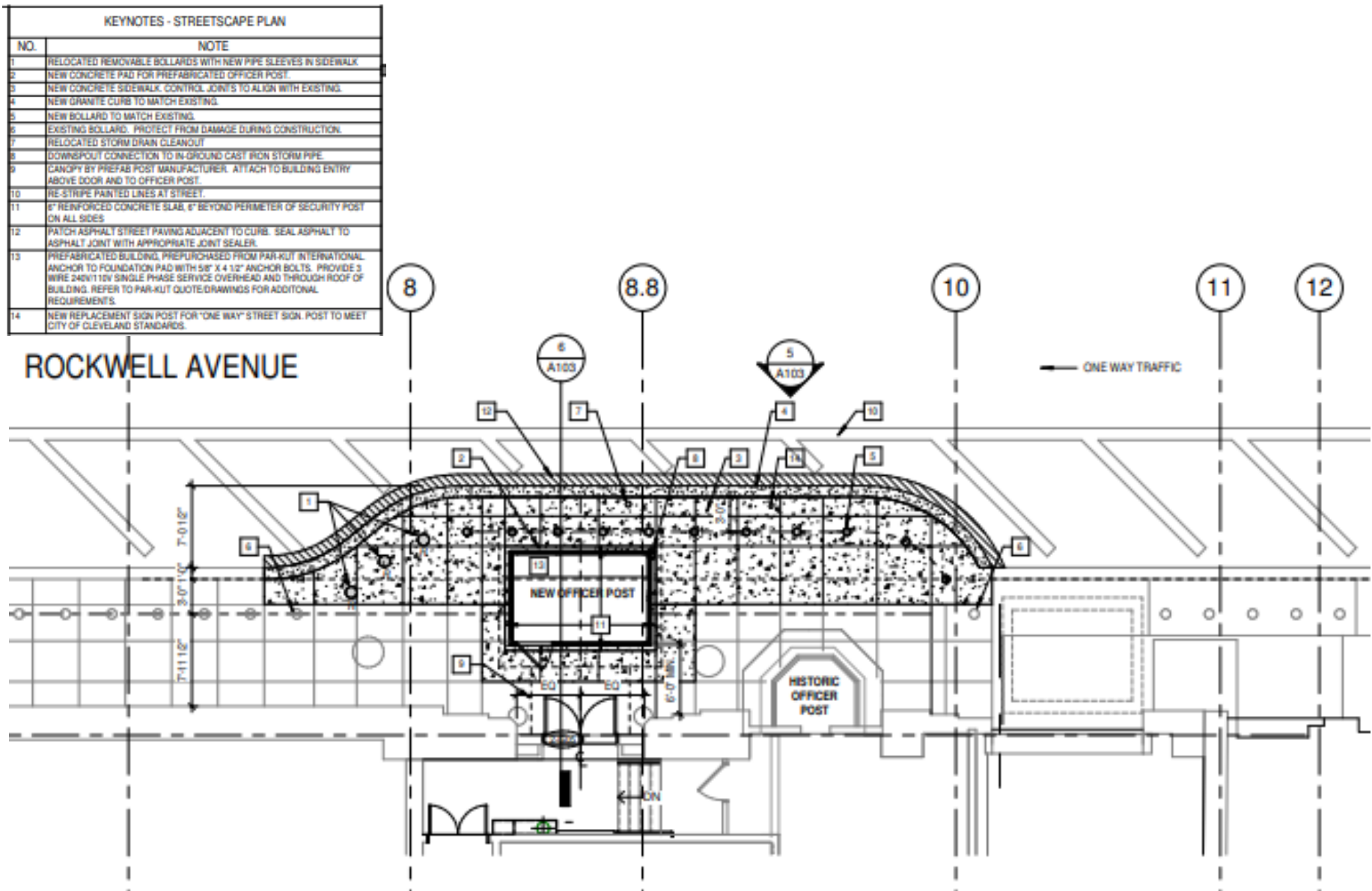
CLE_LEU Rockwell Security Renovation – Streetscape Demolition Plan

KEYNOTES - DEMOLITION STREETScape	
NO.	NOTE
1	REMOVE PORTION OF ASPHALT PAVEMENT FOR NEW SIDEWALK.
2	REMOVE PORTION OF SIDEWALK FOR REPLACEMENT. ALIGN LIMITS OF DEMOLITION WITH EXISTING CONTROL JOINTS.
3	REMOVE GRANITE CURB FOR REUSE.
4	SALVAGE BOLLARD COVER FOR REUSE AND REMOVE BOLLARD. NOTE EXISTING BOLLARD FOUNDATION IS SET 5' INTO GROUND.
5	SALVAGE REMOVABLE BOLLARD COVER AND STEEL BOLLARD FOR REUSE. REMOVE BOLLARD SLEEVE AND FOUNDATION. NOTE EXISTING BOLLARD FOUNDATION IS SET 5' INTO GROUND.
6	REMOVE SIGN POST AND FOUNDATION. SALVAGE "ONE WAY" SIGN FOR REUSE.
7	EXISTING STORM CLEANOUT TO BE RELOCATED. REFER TO NEW WORK PLAN.



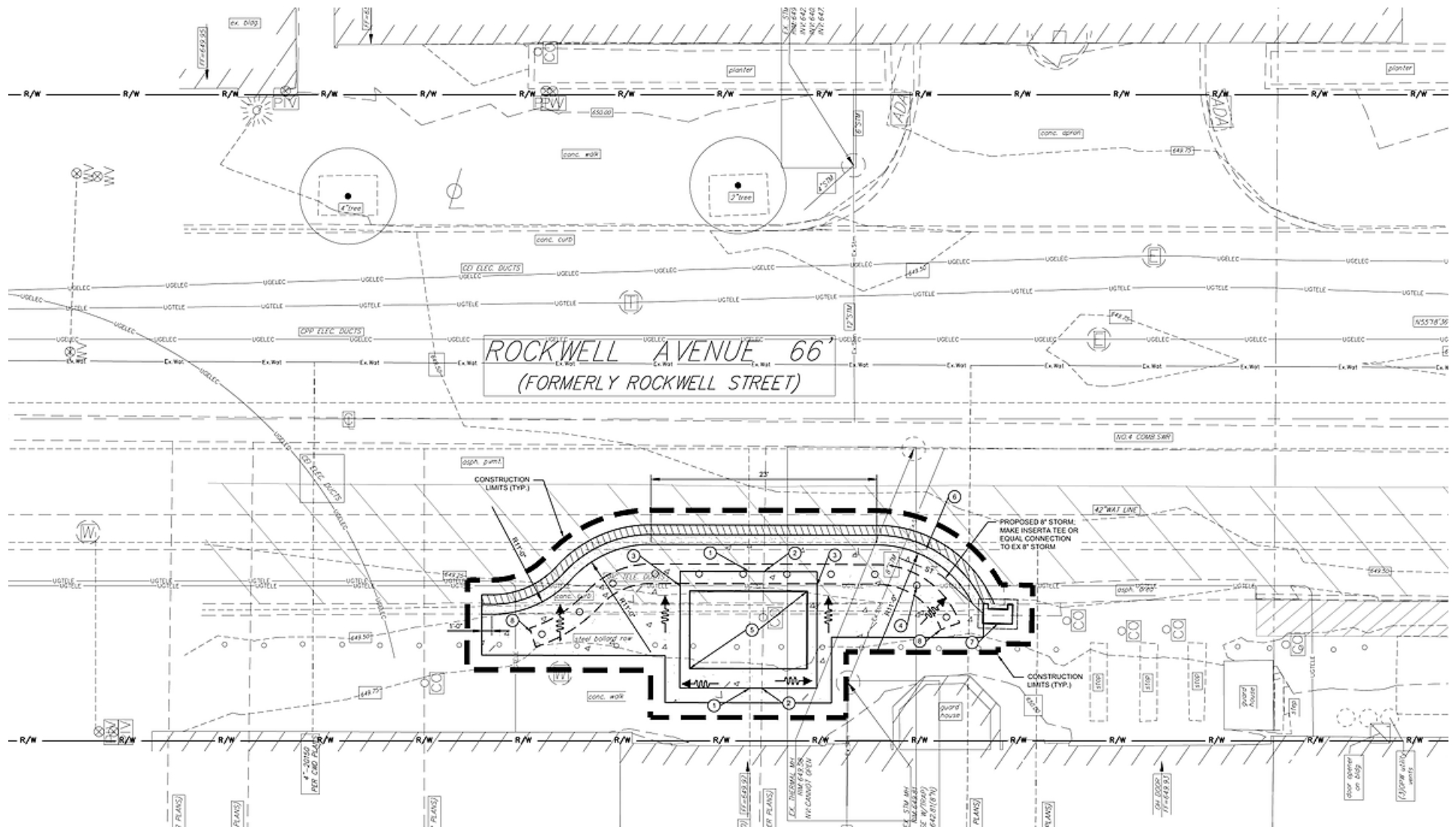
Partial First Floor Plan- NTS

CLE_LEU Rockwell Security Renovation – Streetscape New Work Plan



Streetscape Plan: New Work-NTS

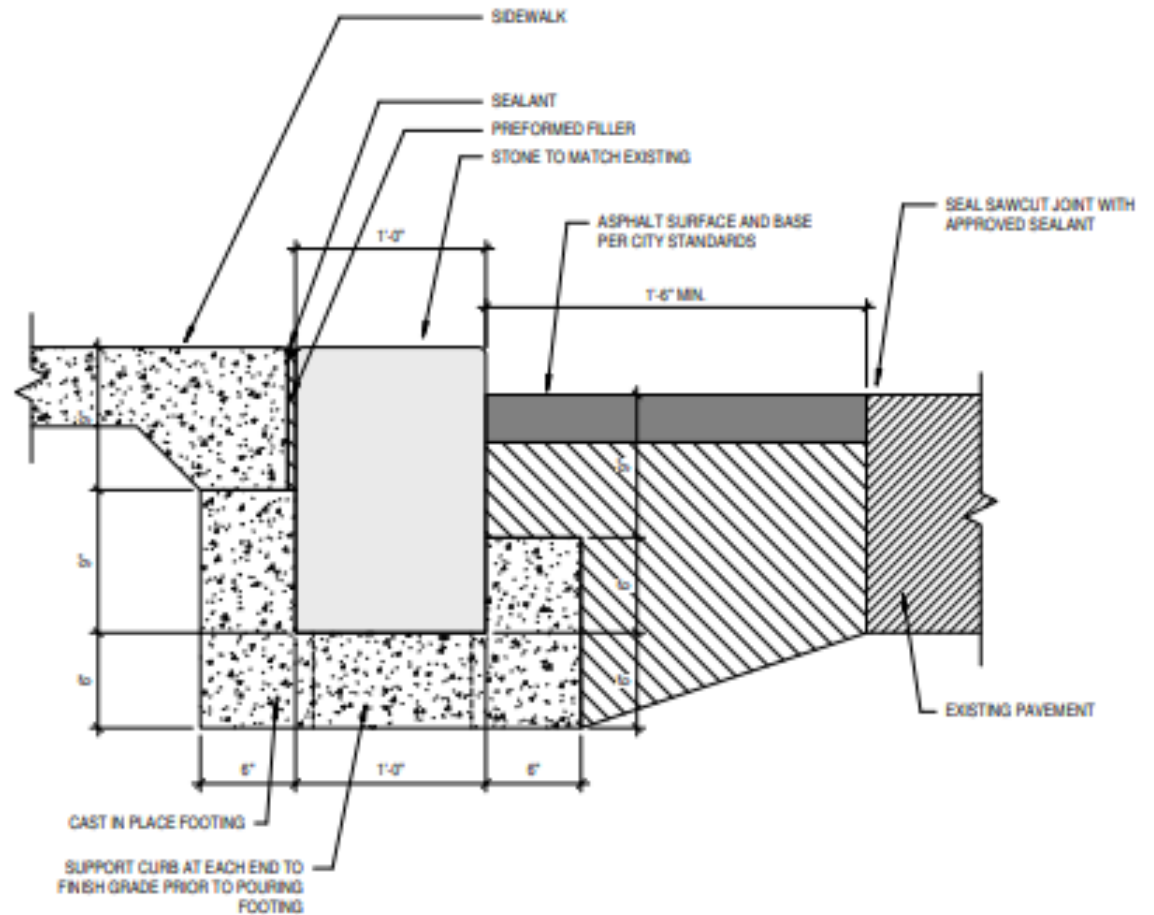
CLE_LEU Rockwell Security Renovation – Civil Utility / Grading Plan



Accent Carpet

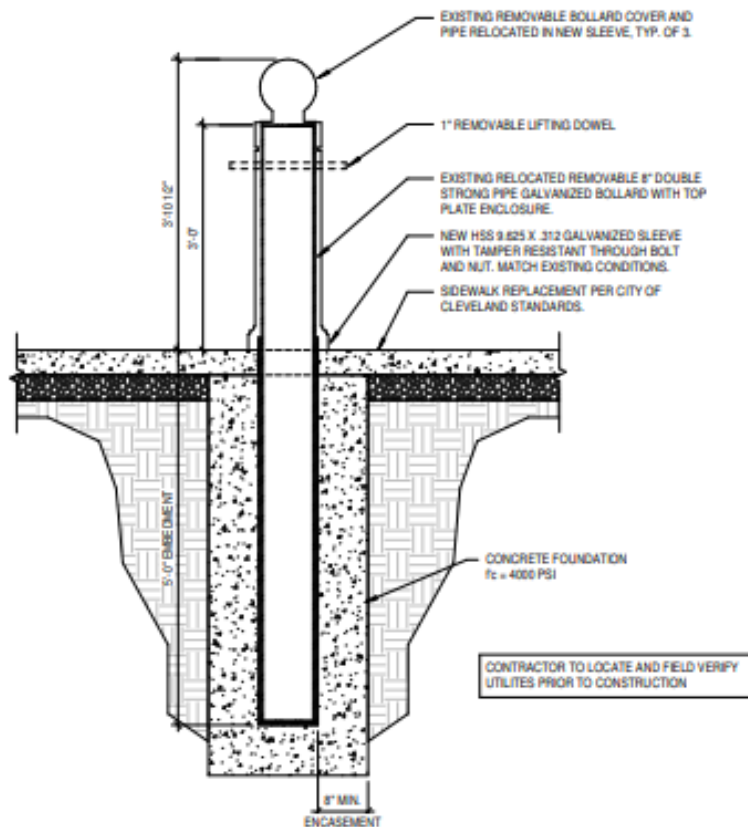
Civil Utility/ Grading Plan-NTS

CLE_LEU Rockwell Security Renovation – Curb Detail

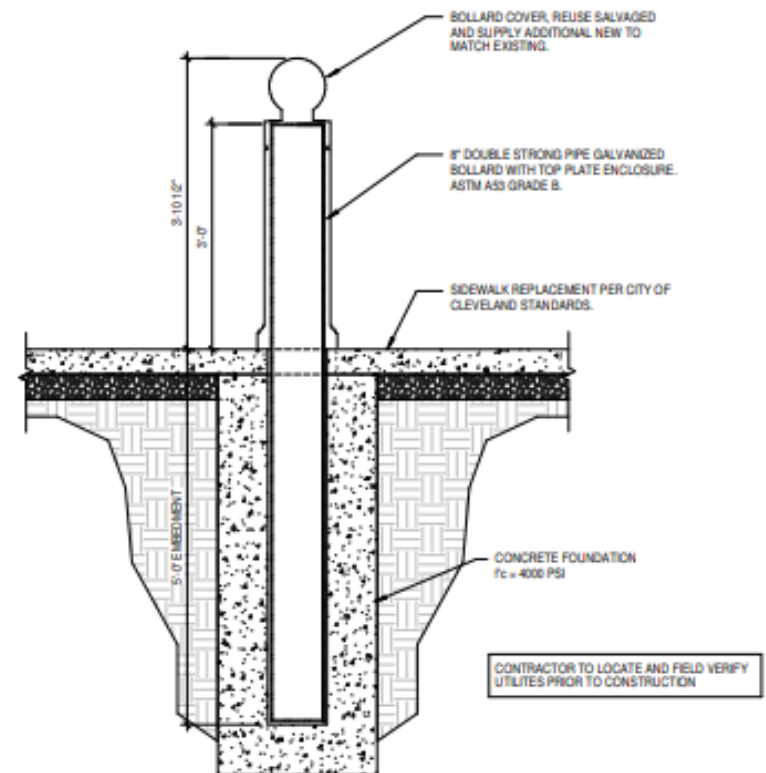


Granite Curb Detail - NTS

CLE_LEU Rockwell Security Renovation – Bollard Details

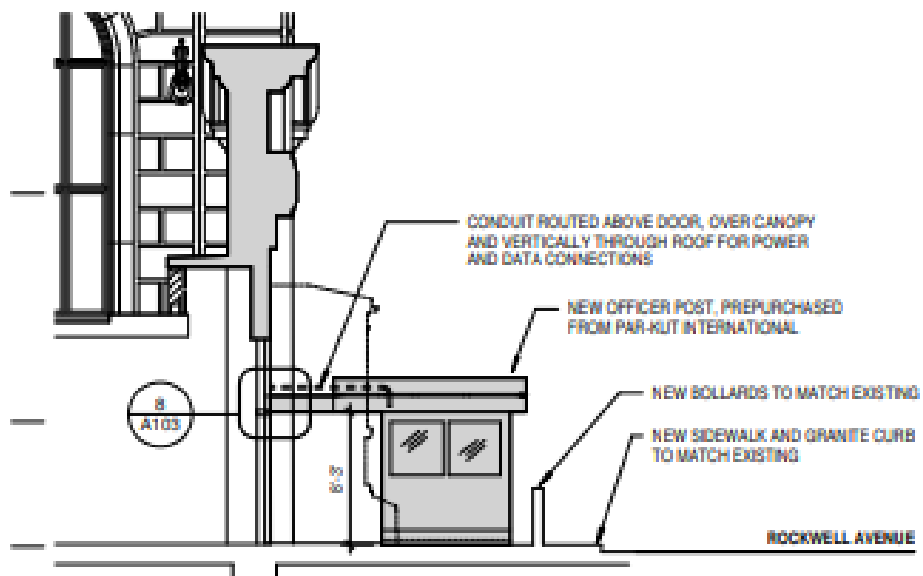


Removable Bollard Detail- NTS



Typical Bollard Detail - NTS

CLE_LEU Rockwell Security Renovation – Exterior Elevations & Section

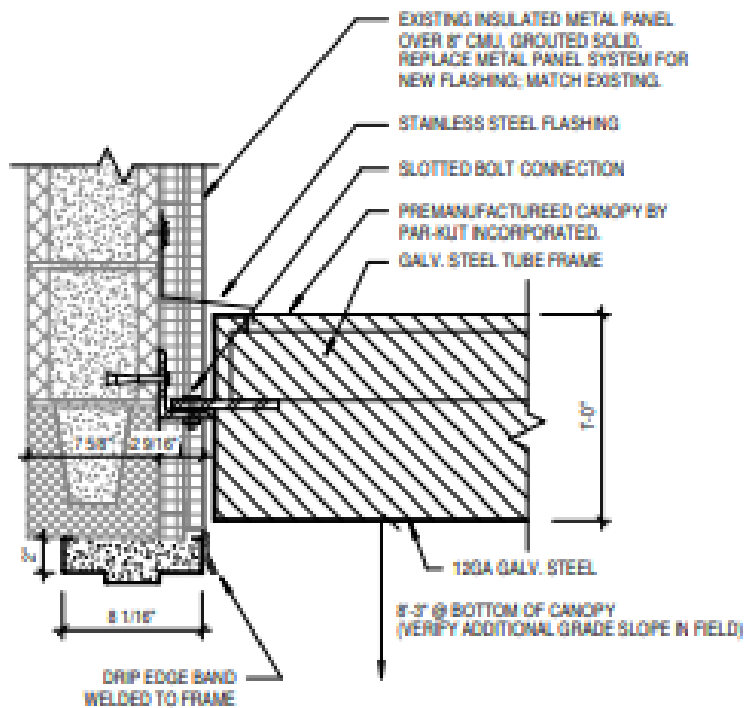


Rockwell Avenue Partial Section-NTS

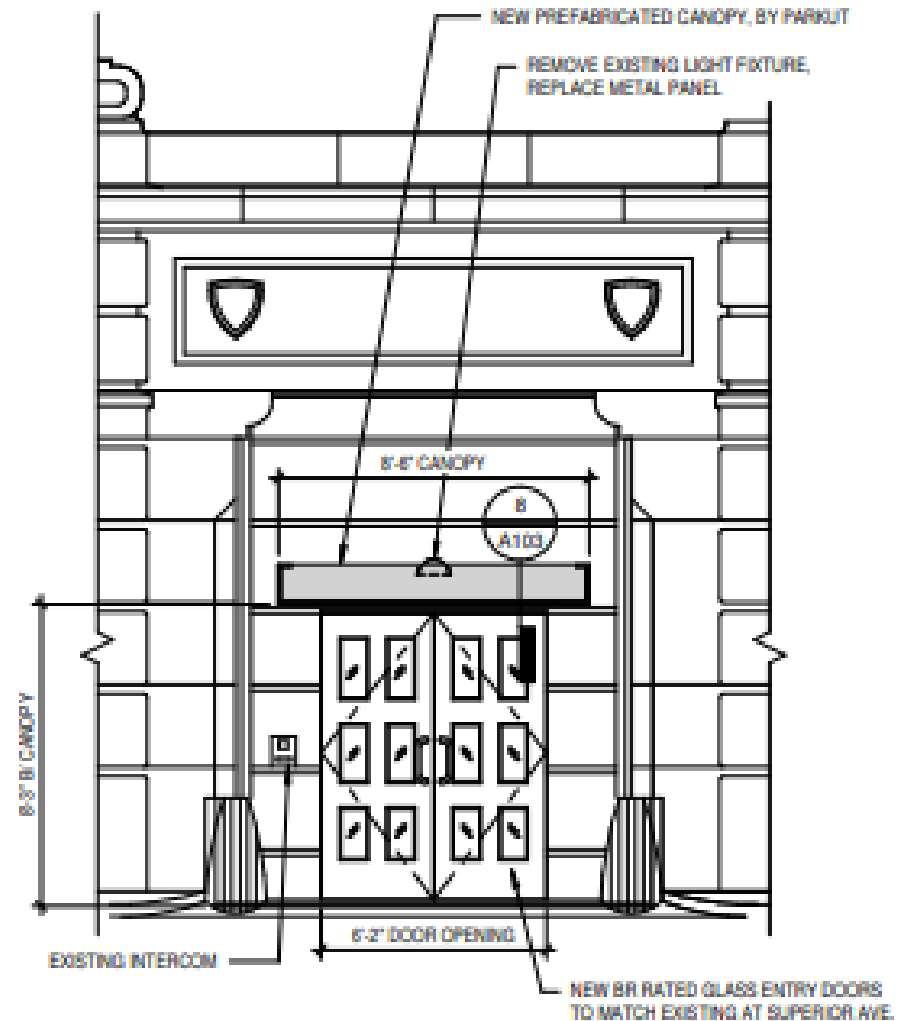


Rockwell Avenue Partial Elevation-NTS

CLE_LEU Rockwell Security Renovation – Exterior Elevation & Detail

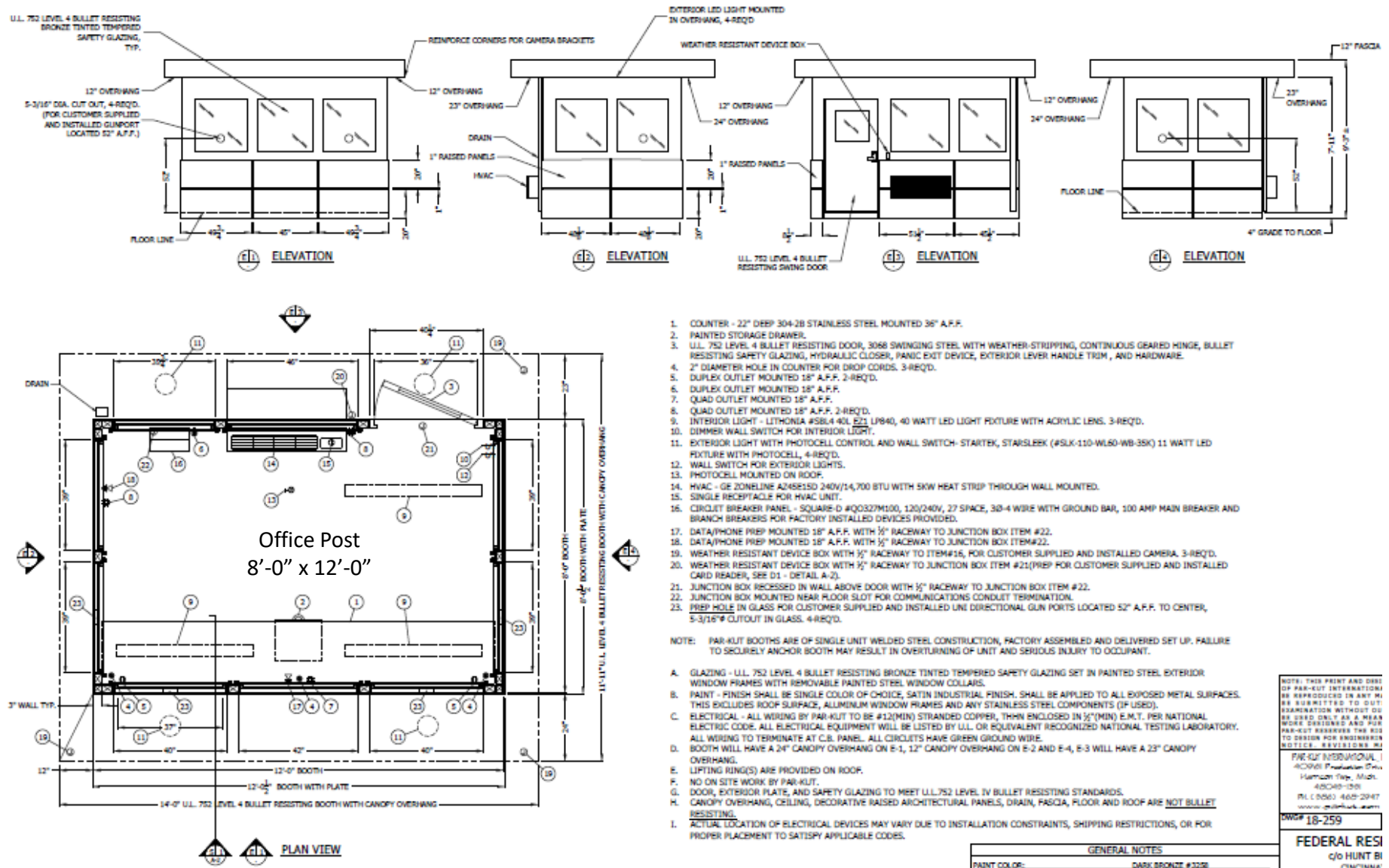


Canopy Detail at Entry Door - NTS



New Entry Door & Canopy Section/Elevation - NTS

CLE_LEU Rockwell Security Renovation – Officer Post CIN



3 Officer Post Cincinnati Branch Shop Drawing

CLE_LEU Rockwell Security Renovation – Rendered Views



New Security Booth at Rockwell Avenue – View from Northeast

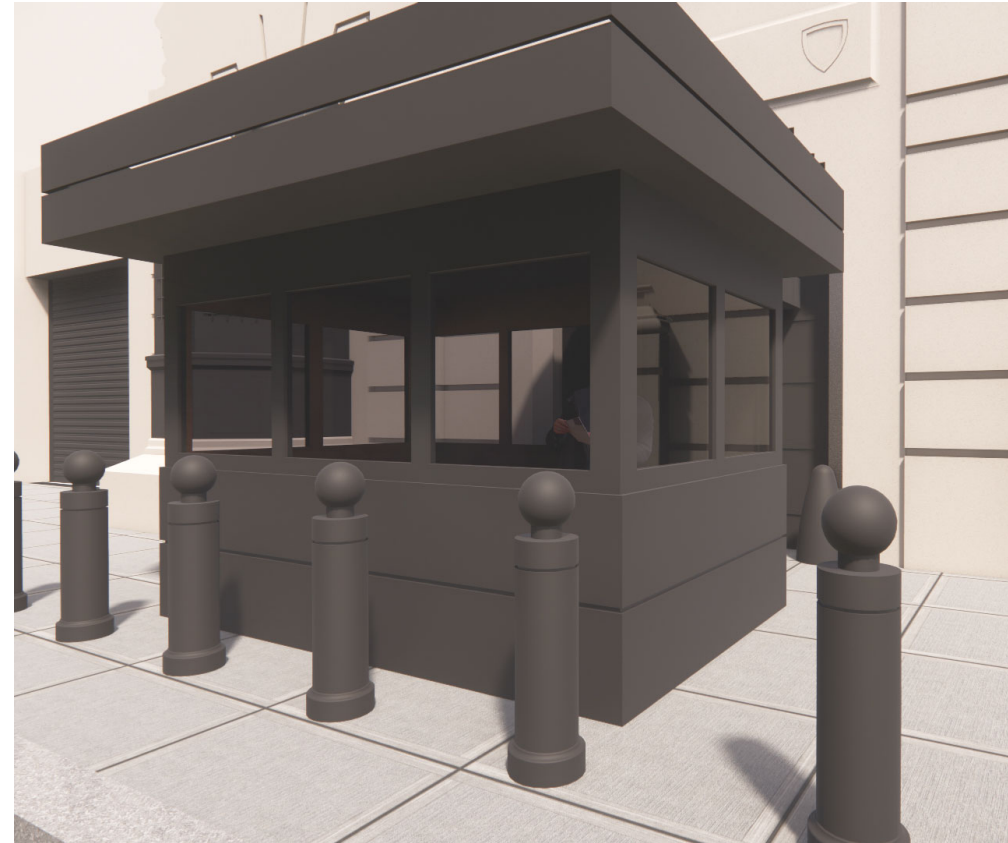


New Security Booth at Rockwell Avenue – View from Northwest

CLE_LEU Rockwell Security Renovation – Revised Booth Base



View showing horizontal panels at base of booth



Detail view showing horizontal panels at base of booth

CLE_LEU Rockwell Security Renovation – Thank You & Questions



CLE_LEU Rockwell Security Renovation – Project Summary

The Federal Reserve Bank of Cleveland is in process of upgrading the security infrastructure of its District facilities.

These improvements include replacement of the single officer post at the delivery entry with a 3-officer post.

The Cincinnati branch has been upgraded with the larger post last year; the work outlined in this presentation will match that level of security at the Cleveland Branch next to the service entry fronting on Rockwell Avenue.

The Bank had studied another option to accommodate a new post without making changes to the street curb but that would have required the demolition of the historic watchmen's tower. It was decided that it was better to retain the historic integrity of the landmark Main Building and request an encroachment further into Rockwell Avenue to make room for the larger security post.

The requested encroachment was approved by Cleveland City Council and City Planning in December of 2020.

The scope of work will include the following:

- Removal of existing single-officer post at the western delivery door; removal and salvage of existing bollards and granite curbs as required for new work for reuse in new construction.
- New concrete sidewalk to match existing in color and pattern; installation of salvaged granite curbs and new to match. The new sidewalk extension will encroach north into the stripped-off lane on Rockwell Ave. by 7'-0" from the existing curb. We are not extending the curb to the full lane in order to avoid a water main just north of our work area. Keeping the extension to a minimum will also retain flexibility to vehicular traffic now and in the future.
- New 3-officer post (8'-0" x 12'-0") in new extended walk area. The post shall match the dark bronze material and parapet detail of the existing East post to remain. The base of this pre-manufactured booth will be modified to include horizontal banding similar to the existing bronze metal infill at the entry door. This addresses the comments from Design Review as stated on 02-04-2021. Security lighting and devices shall be new and provided by security consultants to Law Enforcement. The intent is that they match booth material as well.
- New and salvaged bollards to be installed around perimeter of new post area with location from curb and spacing to match existing.
- Existing anodized bronze entry infill to remain with new secure anodized bronze metal entry doors with bullet resistant lites. A new bronze canopy connector shall be installed between the new entry doors and officer post.
- Any existing utilities shall be relocated as required and reconnected per city code and requirements. New booth and canopy connector shall be drained to a corner downspout connected to a near by storm line. We are working with Osborn Engineering to finalize this scope to be included in the set for permit review.

City of Cleveland Landmark Commission Presentation

Cleveland Landmarks Commission

Design Review



February 11, 2021



CITY OF CLEVELAND
Mayor Frank G. Jackson

Design Review Advisory Committee
Meeting Motion and Report Form

Meeting Location:

Case Number: _____

Meeting Date: _____

Project Name: _____

Project Address: _____

Contact Person: _____

Architect/Contractor: _____

General Description: _____

Motion by Design Review Committee:

Approve:

Disapprove:

Abstain:

Non-Voting Members:

Motion/Conditions:

Certificates of Appropriateness

February 11, 2021



Case 21-008: Ohio City Historic District
4005 Woodbine Avenue
Renovation and Addition
Ward 3: McCormack
Project Representative: Alan Fodor, Architect

4005 WOODBINE AVE.

OHIO CITY DESIGN REVIEW

FEBRUARY 4TH 2021





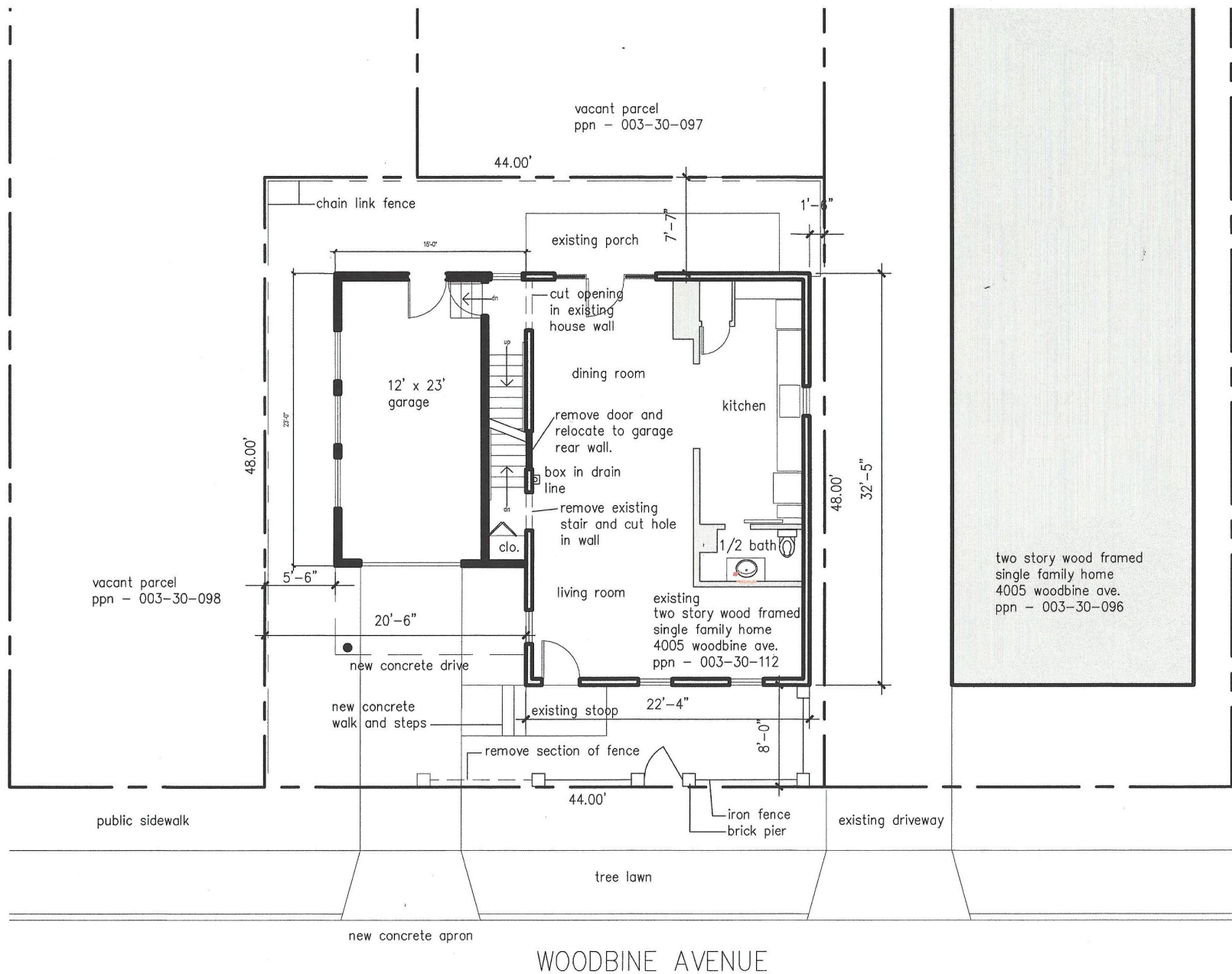
NORTH ELEVATION

4005 WOODBINE AVENUE



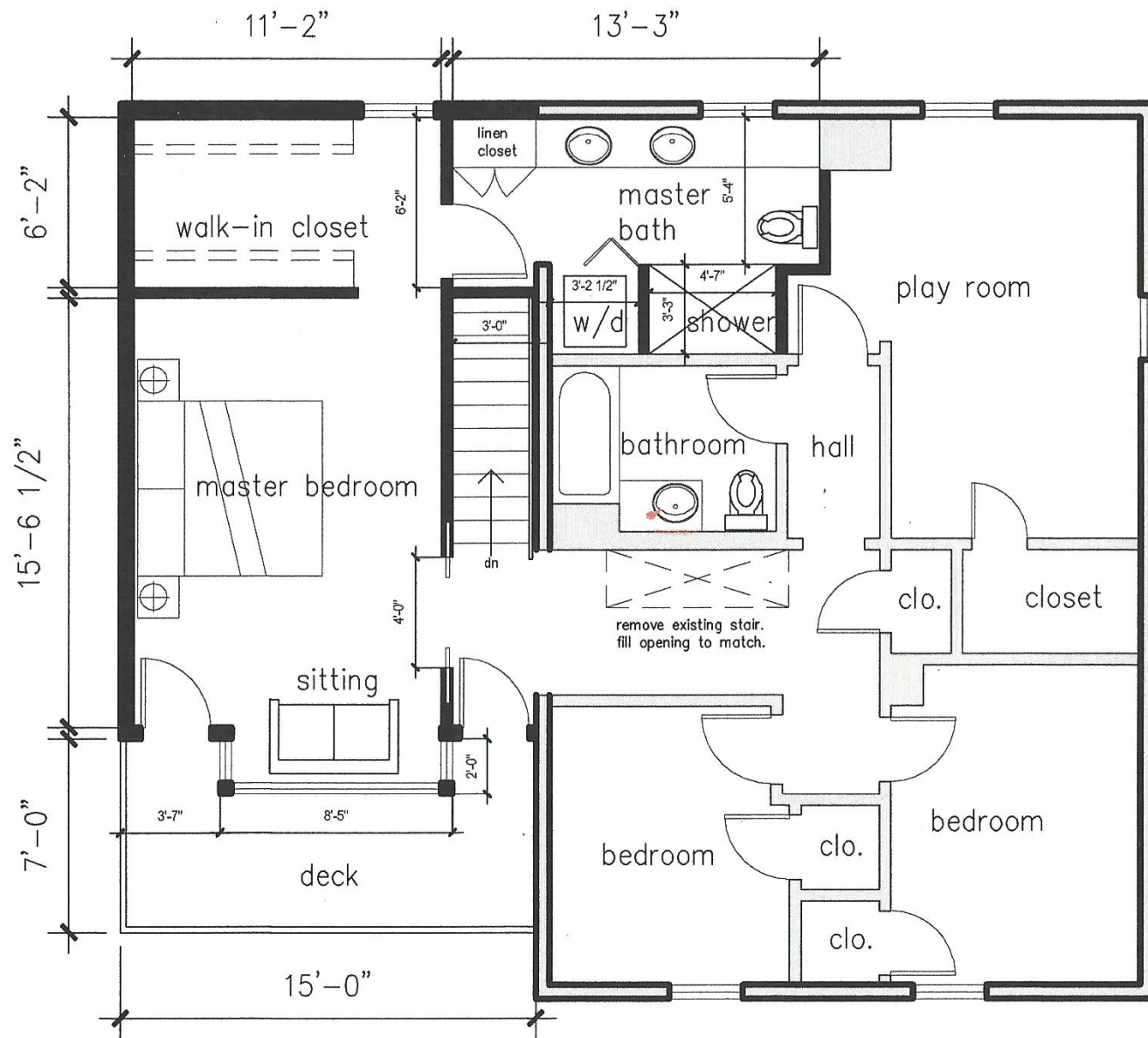
EAST ELEVATION

4005 WOODBINE AVENUE



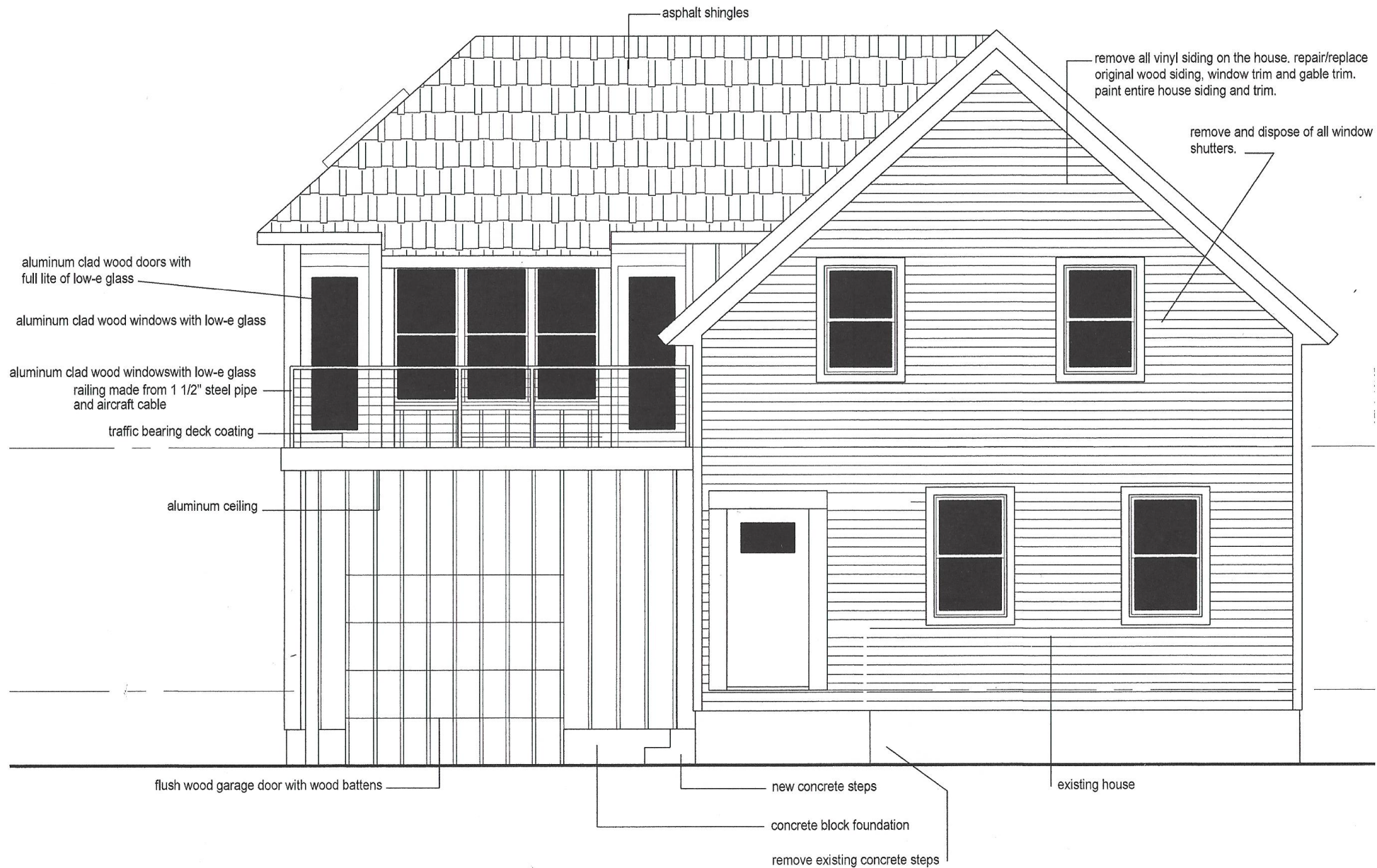
SITE PLAN / FIRST FLOOR PLAN

4005 WOODBINE AVENUE



SECOND FLOOR PLAN

4005 WOODBINE AVENUE



NORTH ELEVATION

4005 WOODBINE AVENUE

FLUSHMOUNT GARAGE DOOR



FLUSHMOUNT GARAGE DOOR



Closed

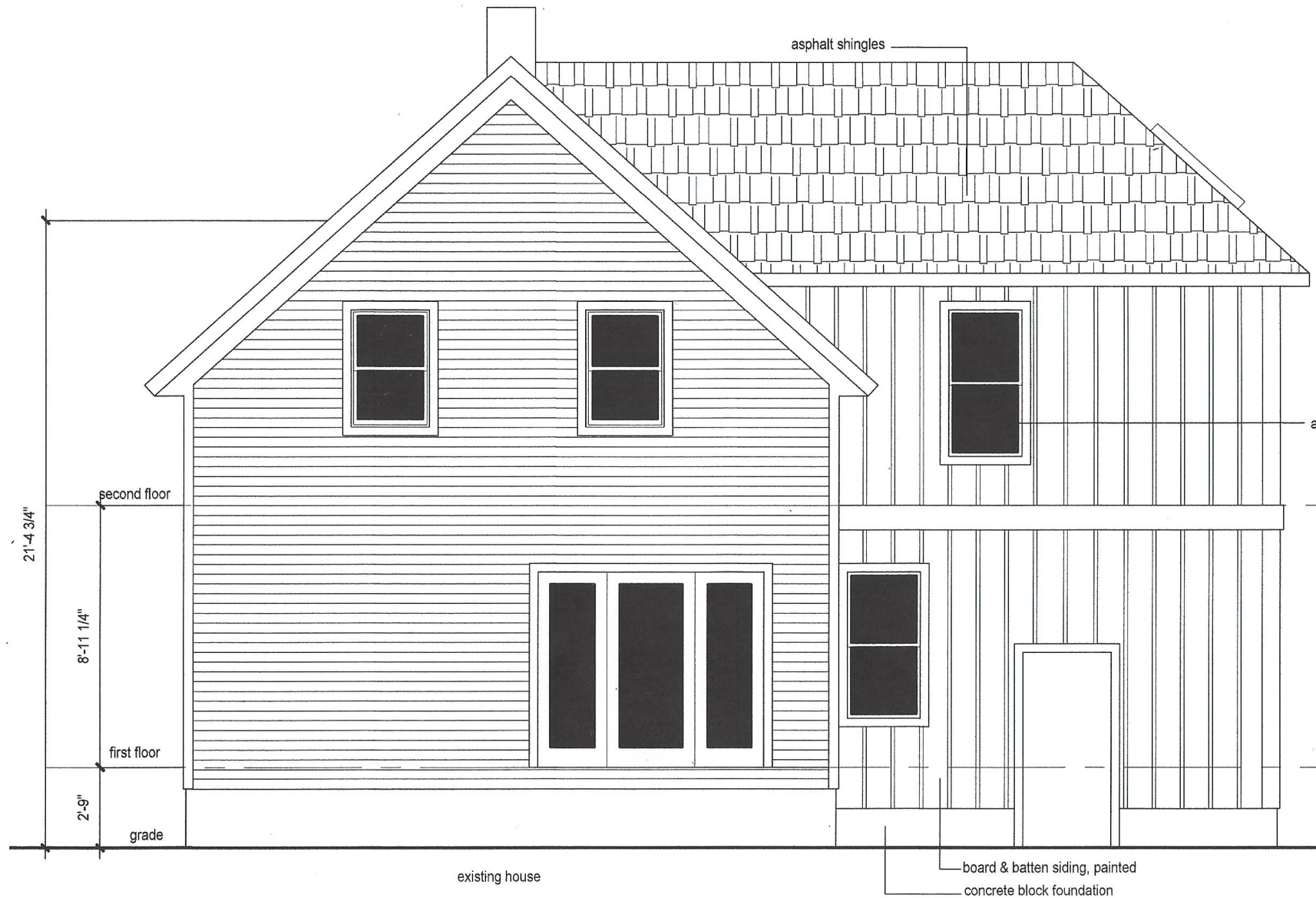
Opening

Open



EAST ELEVATION

4005 WOODBINE AVENUE



SOUTH ELEVATION

4005 WOODBINE AVENUE

EXTERIOR COLORS

DOWNING SLATE

SHERWIN-WILLIAMS 2819

- Original house main color
- Addition Trim



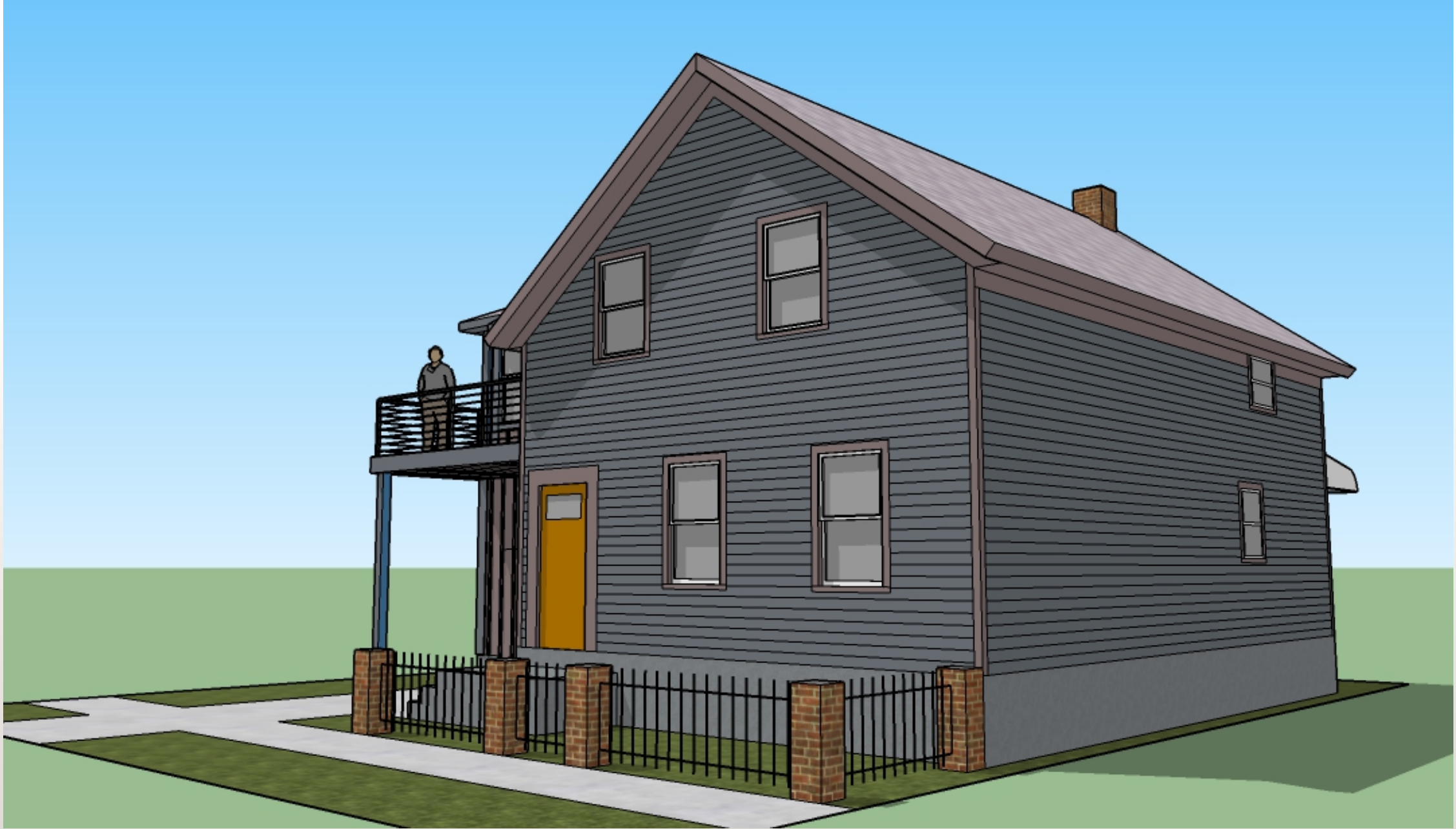
RENWICK HEATHER

SHERWIN-WILLIAMS 2818

- Addition main color
- Original house trim



4005 WOODBINE AVENUE



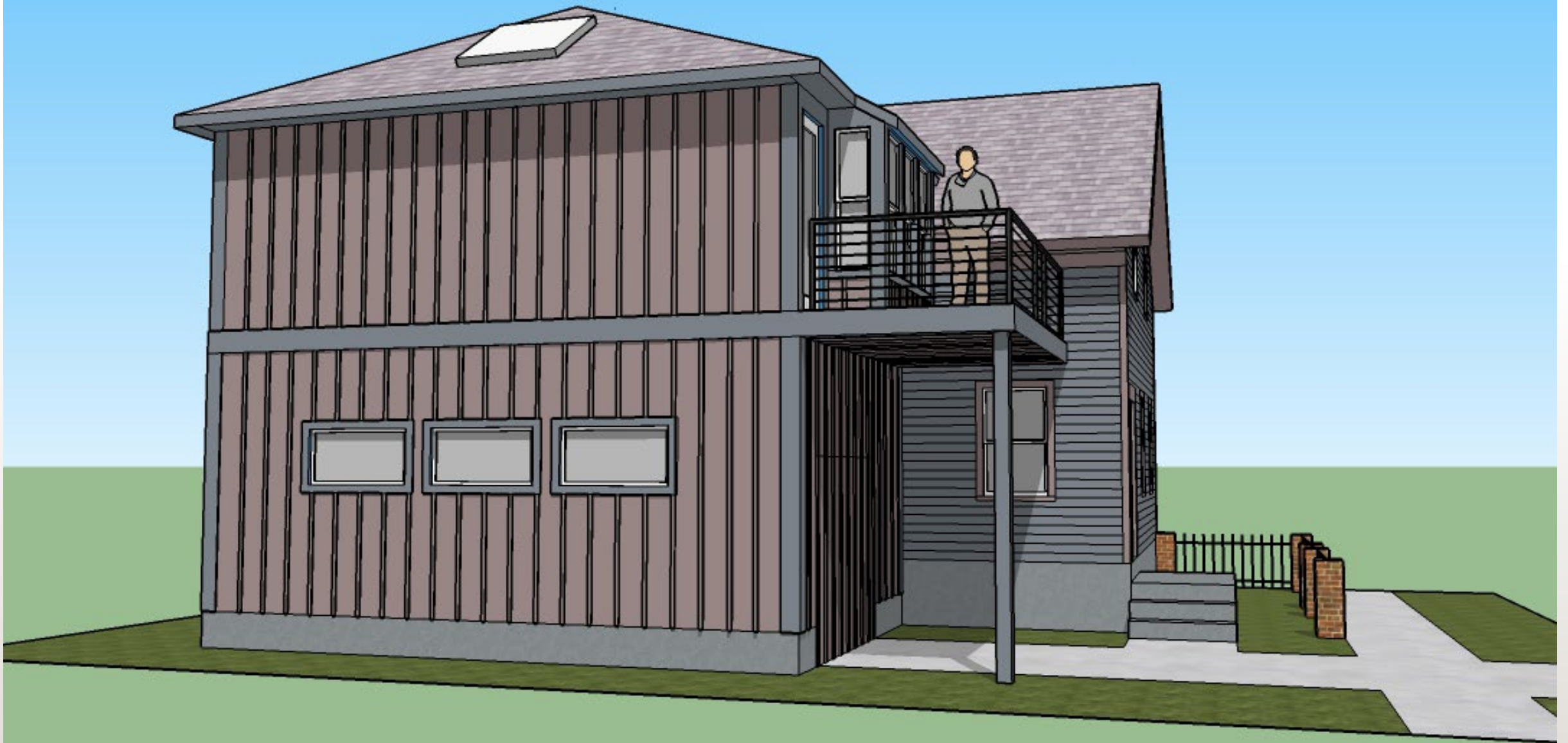
4005 WOODBINE AVENUE



4005 WOODBINE AVENUE



4005 WOODBINE AVENUE



4005 WOODBINE AVENUE



Case 21-009: Ohio City Historic District

1527 West 28th Street

Renovation and Addition

Ward 3: McCormack

Project Representatives: Antonia Marinucci, Architect; Paul Vogelsang, Owner; Thomas Meyer, Frank Scalish, Scalish Construction



Front (west)



Front (west)



Side (south)



Rear (east)

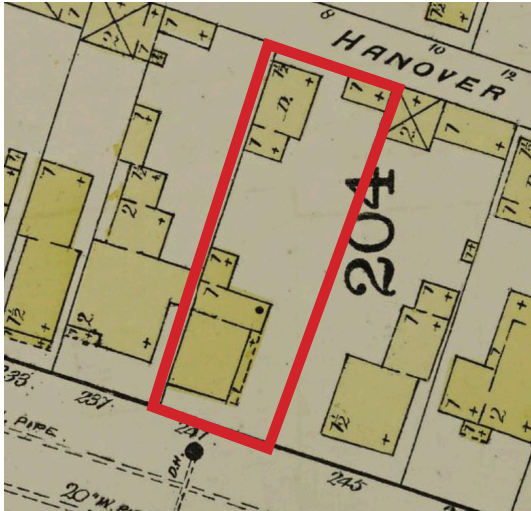


Rear (east)

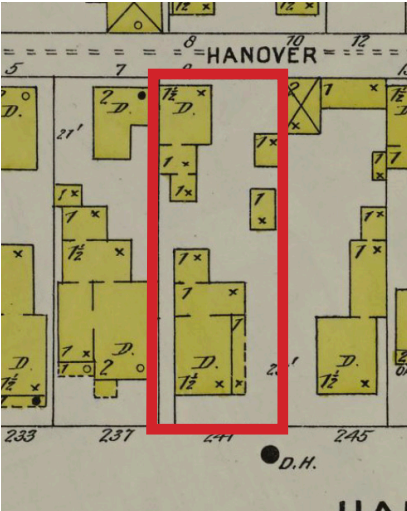


Rear (east)

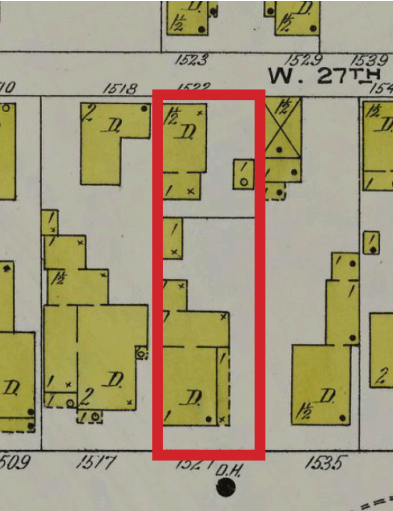
1527 W. 28th Street Existing conditions



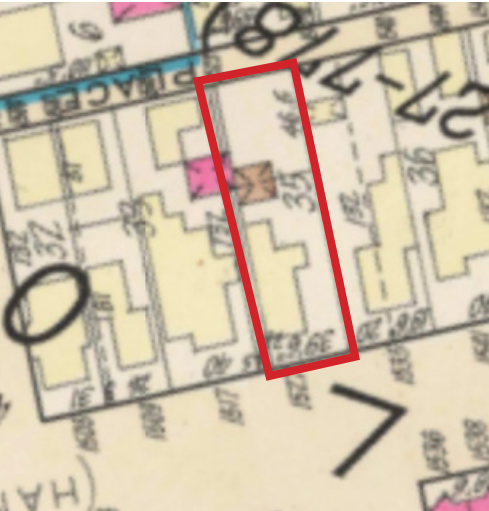
1886



1896



1912



1927-31

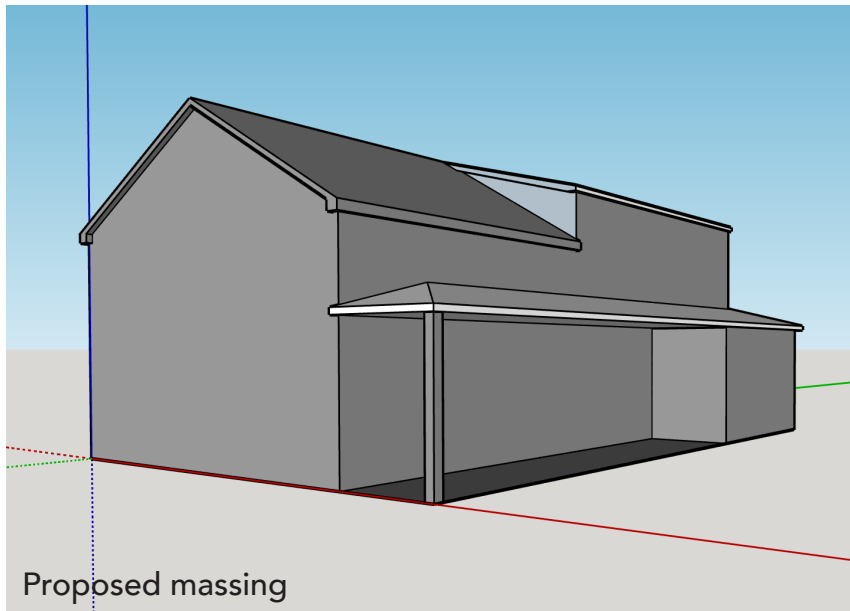
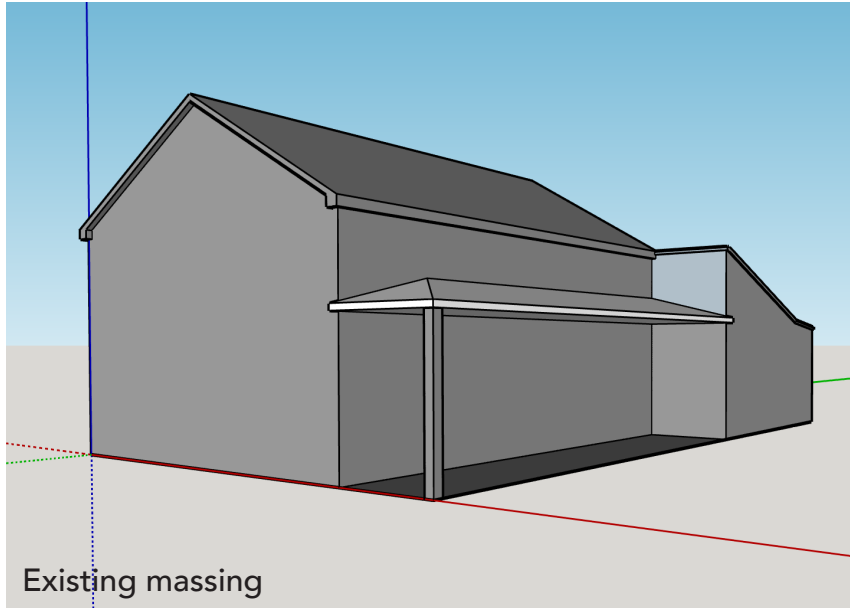


Today's site plan

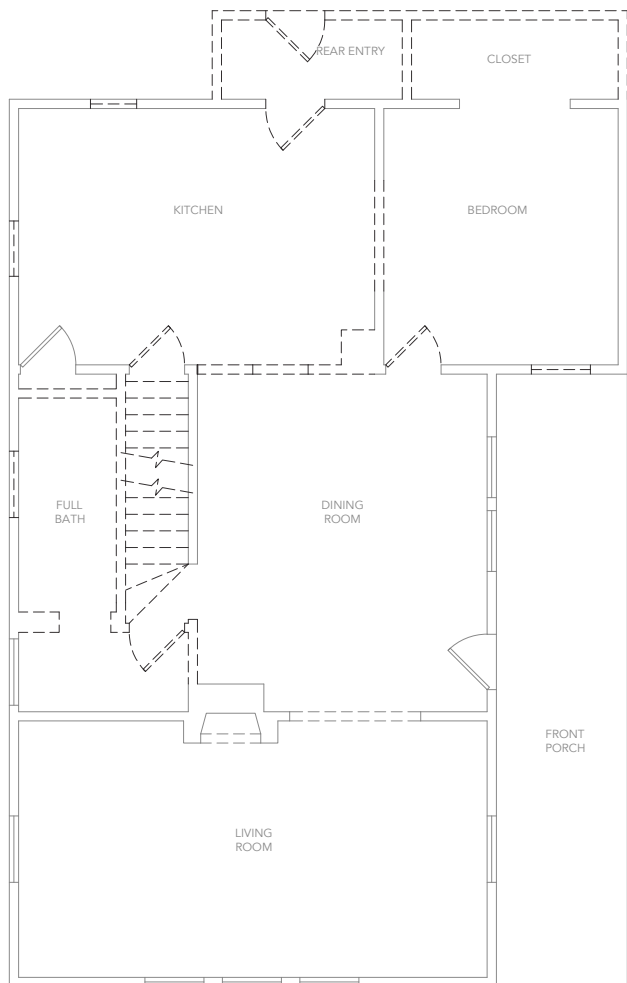


Proposed site plan

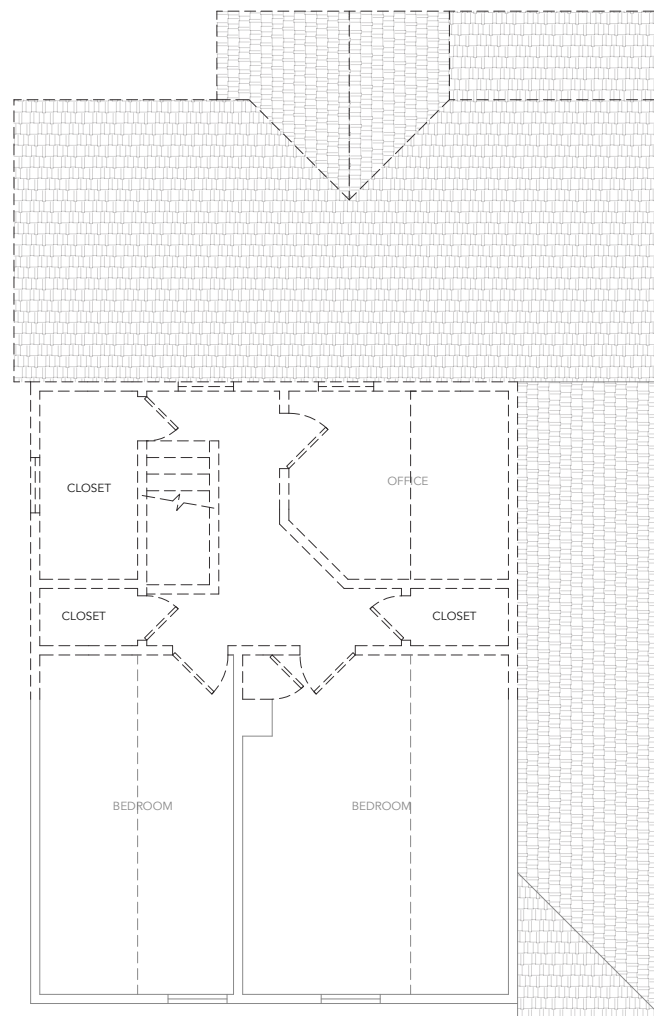
1527 W. 28th Street Historic context



1527 W. 28th Street Massing study



1 EXISTING FIRST FLOOR
 $\frac{1}{4}" = 1'-0"$



2 EXISTING SECOND FLOOR
 $\frac{1}{4}" = 1'-0"$

ISSUED FOR: DATE:
 DRAFT 01-29-2020

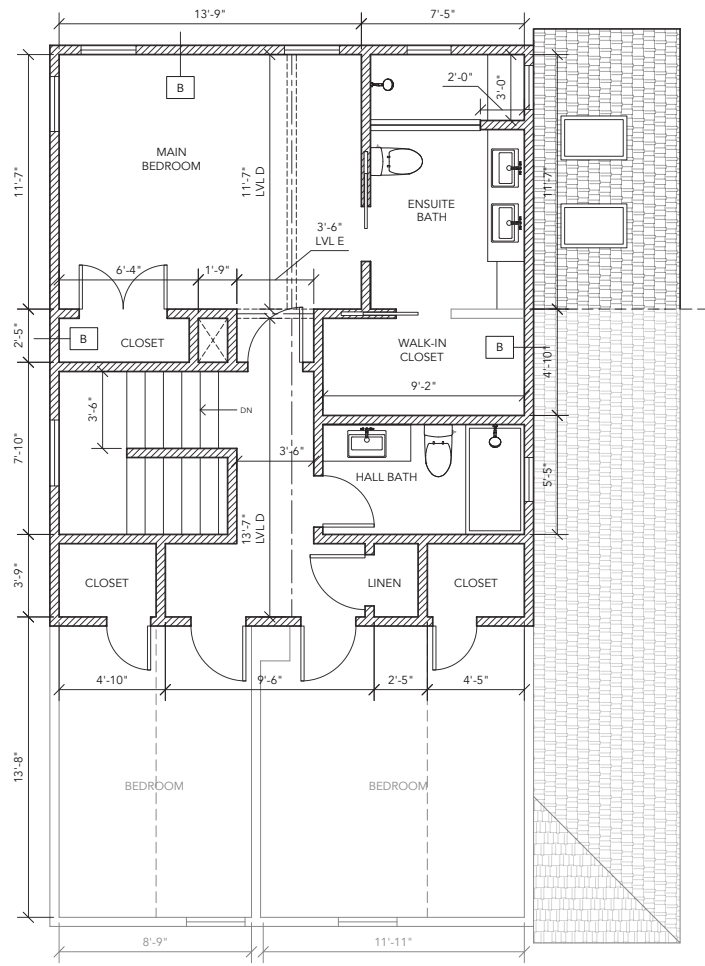
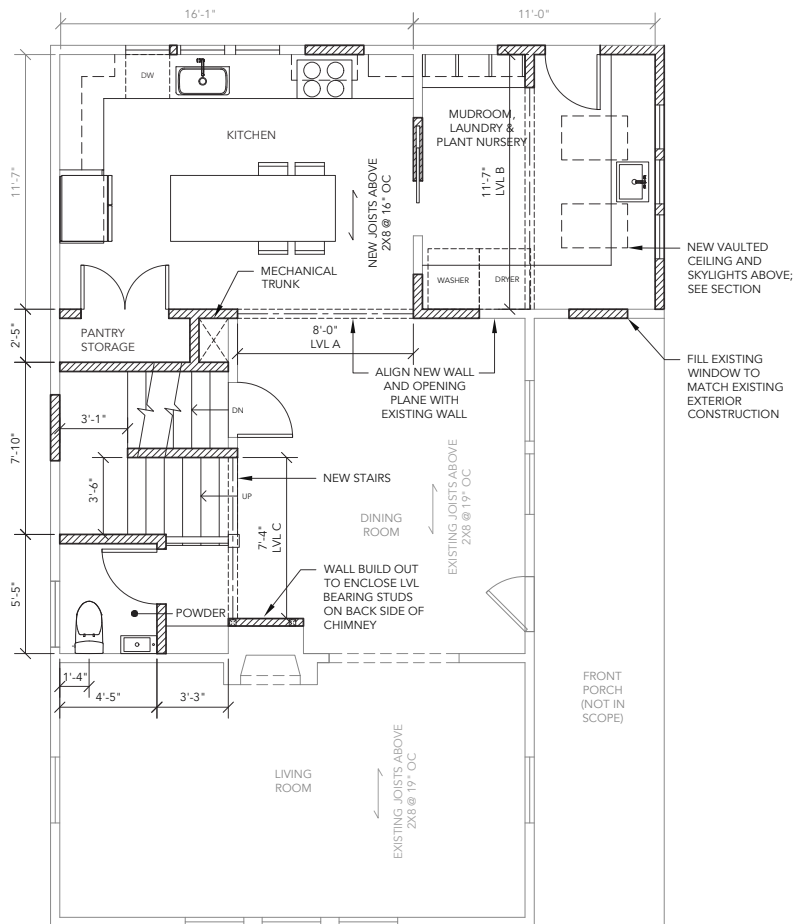
CLIENT/OWNER:
 C. PAUL VOGELSANG &
 CATHERINE HOOVER

PROJECT ADDRESS:
 1527 W. 28TH STREET
 CLEVELAND, OHIO 44113

ARCHITECT:
 ANTONIA A. MARINUCCI,
 RA ARCHITETTA, LLC

the architetta

EXISTING FLOOR PLANS



1 PROPOSED FIRST FLOOR
1/4" = 1'-0"

2 PROPOSED SECOND FLOOR
1/4" = 1'-0"

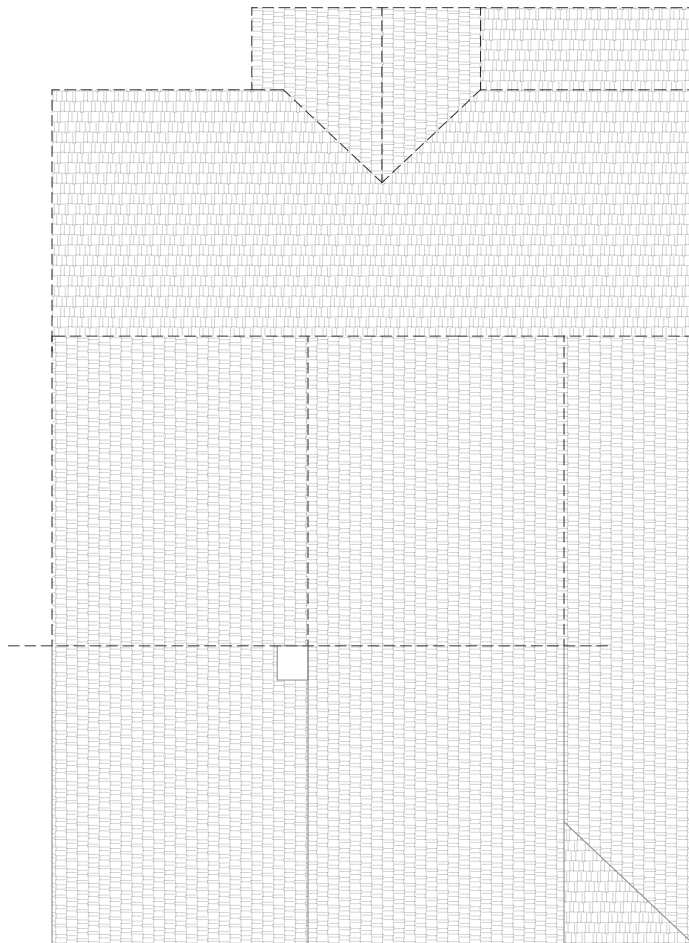
CLIENT/OWNER:
C. PAUL VOGELSANG &
CATHERINE HOOVER

PROJECT ADDRESS:
1527 W. 28TH STREET
CLEVELAND, OHIO 44113

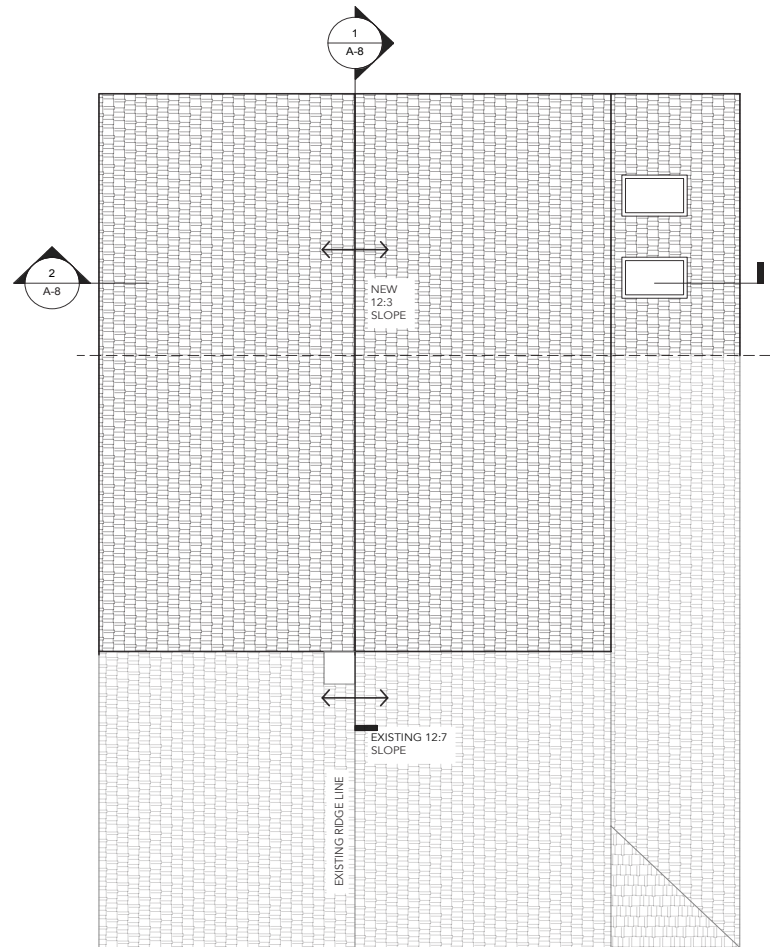
ARCHITECT:
ANTONIA A. MARINUCCI,
RA ARCHITETTA, LLC

the architetta

PROPOSED FLOOR PLANS



1 EXISTING ROOF
 $\frac{1}{4}" = 1'-0"$



2 PROPOSED ROOF
 $\frac{1}{4}" = 1'-0"$

CLIENT/OWNER:
 C. PAUL VOGELSANG &
 CATHERINE HOOVER

PROJECT ADDRESS:
 1527 W. 28TH STREET
 CLEVELAND, OHIO 44113

ARCHITECT:
 ANTONIA A. MARINUCCI,
 RA ARCHITETTA, LLC

the architetta

EXISTING & PROPOSED
 ROOF PLANS



1 EXISTING WEST ELEVATION
 $\frac{1}{4}" = 1'-0"$



2 EXISTING SOUTH ELEVATION
 $\frac{1}{4}" = 1'-0"$



3 PROPOSED WEST ELEVATION
 $\frac{1}{4}" = 1'-0"$



4 PROPOSED SOUTH ELEVATION
 $\frac{1}{4}" = 1'-0"$

ISSUED FOR: DATE:
 DRAFT 01-29-2020

CLIENT/OWNER:
 C. PAUL VOGELSANG &
 CATHERINE HOOVER

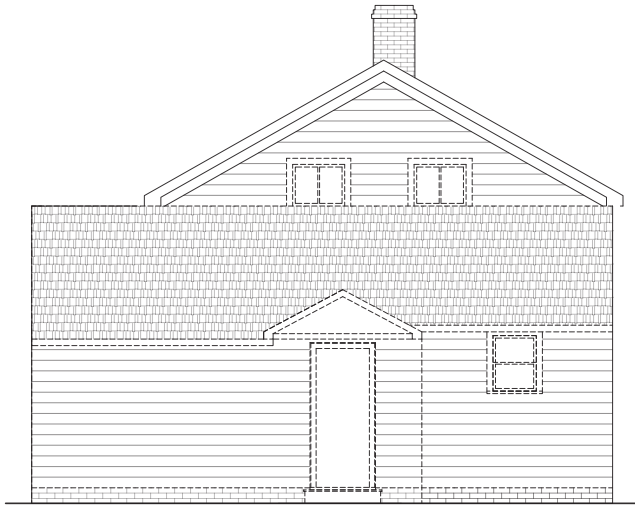
PROJECT ADDRESS:
 1527 W. 28TH STREET
 CLEVELAND, OHIO 44113

ARCHITECT:
 ANTONIA A. MARINUCCI,
 RA ARCHITETTA, LLC

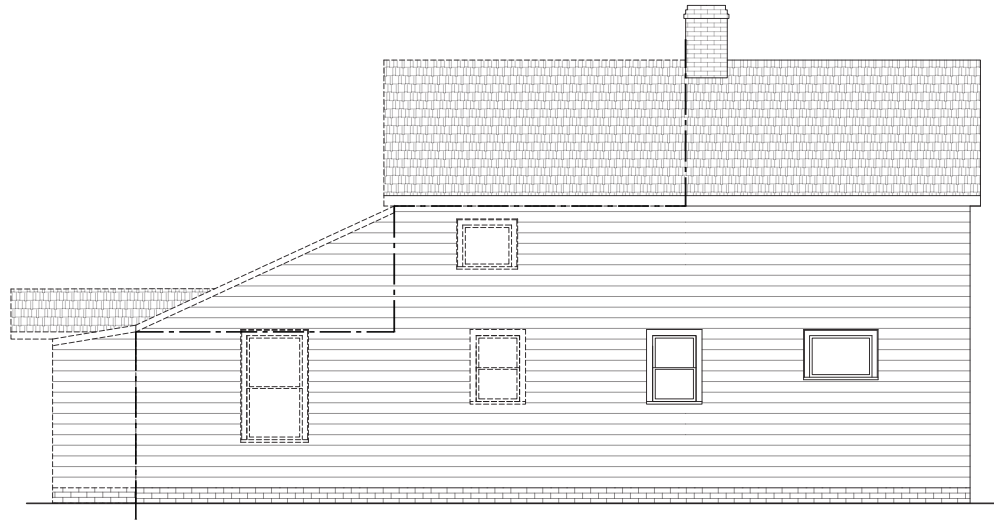
the architetta

WEST & SOUTH ELEVATIONS

A-6



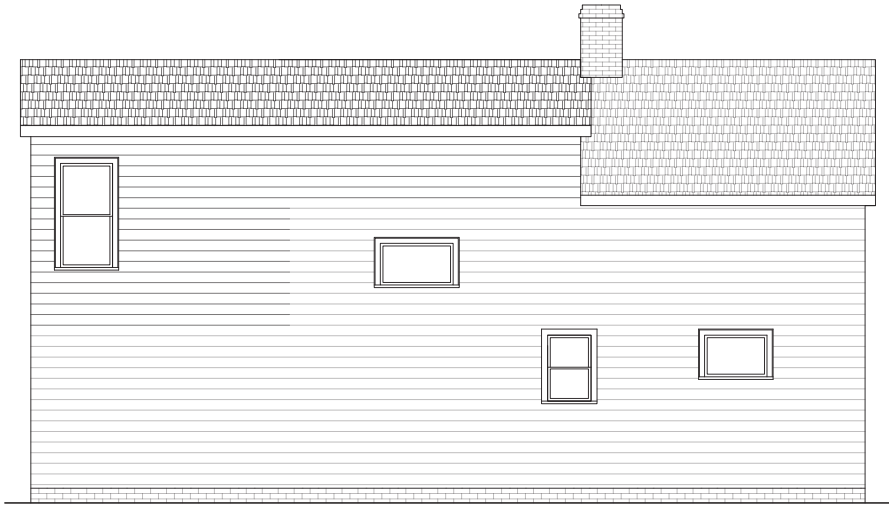
1 EXISTING EAST ELEVATION
 $\frac{1}{4}" = 1'-0"$



2 EXISTING NORTH ELEVATION
 $\frac{1}{4}" = 1'-0"$



3 PROPOSED EAST ELEVATION
 $\frac{1}{4}" = 1'-0"$



4 PROPOSED NORTH ELEVATION
 $\frac{1}{4}" = 1'-0"$

ISSUED FOR: DATE:
 DRAFT 01-29-2020

CLIENT/OWNER:
 C. PAUL VOGELSANG &
 CATHERINE HOOVER

PROJECT ADDRESS:
 1527 W. 28TH STREET
 CLEVELAND, OHIO 44113

ARCHITECT:
 ANTONIA A. MARINUCCI,
 RA ARCHITETTA, LLC

the architetta
 EAST & NORTH ELEVATIONS

A-7



Roof to match existing

SW 7728
Green Sprout

Interior / Exterior

Location Number: 298-C4

Cladding paint to match existing



White aluminum-clad wood windows to match existing



1527 W. 28th Street Finishes

Cleveland Landmarks Commission

Concept Plan



February 11, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Landmark Nomination



February 11, 2021

February 11, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Design Review Committee Appointment



February 11, 2021

Design Review Committee Appointment

February 11, 2021



Franklin-West Clinton Historic District

Catondra L. Noye

Ward 15: Spencer

Cleveland Landmarks Commission

Section 106 Environmental Review



February 11, 2021

February 11, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Meeting Minute Approvals



February 11, 2021

Meeting Minutes Approval

February 11, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Administrative Reports



February 11, 2021

Cleveland Landmarks Commission

Adjournment



February 11, 2021

Cleveland Landmarks Commission



February 11, 2021