



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

March 7, 2025

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Marka Fields, Interim Director



Cleveland City Planning Commission

P R E A M B L E

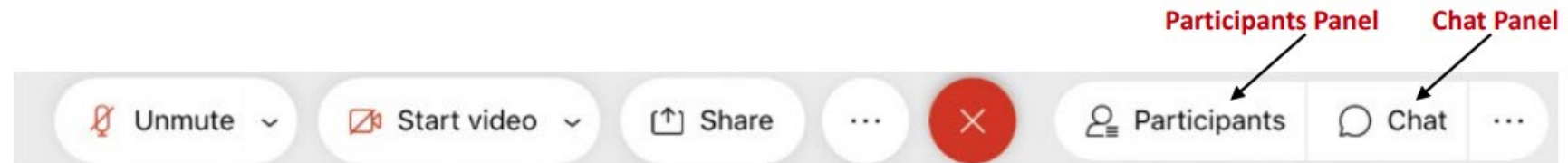
In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the codified ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

All boards and commissions under the purview of the city planning department conducts its meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.

CALL-IN USERS CAN UNMUTE BY USING *6



Mar 7, 2025

Cleveland City Planning Commission

P R E A M B L E

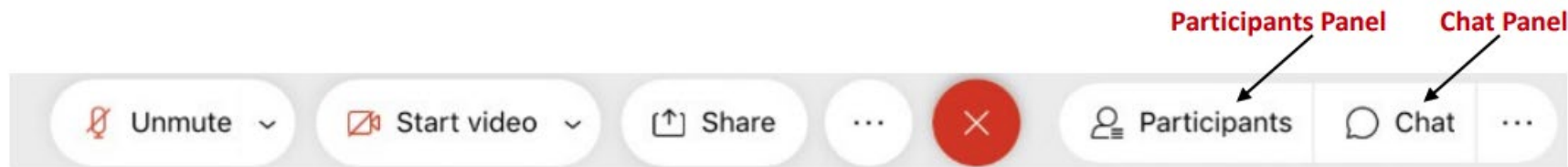
All meeting activity is being recorded via the Webex platform. these proceedings are also being live streamed via YouTube.

All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

**Communication with members of this body must follow proper channels for consideration.
Any comments received by the **Wednesday 12:00 pm** deadline are collected by city planning staff and Disseminated to the commission members prior to any scheduled meeting.**

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



Mar 7, 2025

Cleveland City Planning Commission

Meeting Rules and Procedures

- **The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.**
- **Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.**
- **Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.**
- **Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.**
- **Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.**
- **The Chair will then request a recommendation from staff, if applicable.**
- **The Commission will then begin deliberations and project review.**
- **Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.**

Lillian Kuri, Chair

Mar 7, 2025

August Fluker, Vice Chair

Charles Slife, Council Member

Dr. Denise McCray-Scott

Erika Anthony

Andrew Sargeant

Cleveland City Planning Commission

Call to Order and Roll Call



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Cleveland City Planning Commission

Nomination of Calley Mersmann as Director of City Planning



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Cleveland City Planning Commission

Lot Splits/Consolidations



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

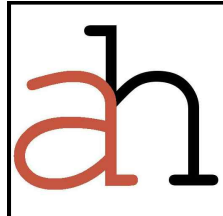
Lot Splits/Consolidations

P.P.N.s: 00719040 and 00719041 – splitting into two lots

Mar 7, 2025

Project Address: 3422 Seymour Ave, Cleveland, OH, 44113

Project Representative: Joe Wallace

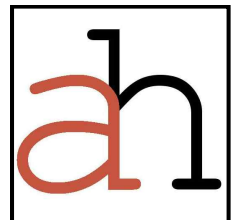


architect **Hakki**

PO Box 347184
Cleveland OH 44134
(216) 372-9047
www.arch-hakki.com

JWall Homes LLC

3422 Seymour Ave
Cleveland, Ohio

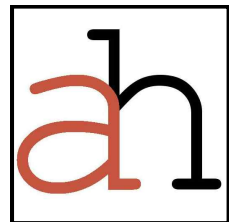


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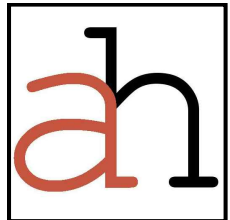


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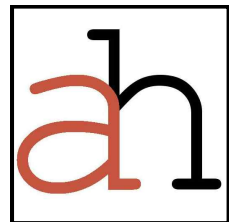


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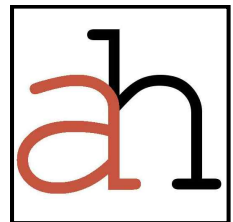
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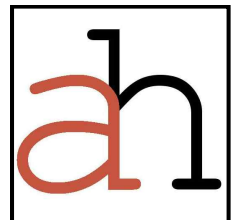


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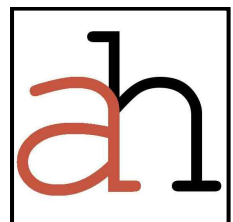


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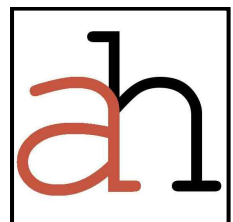


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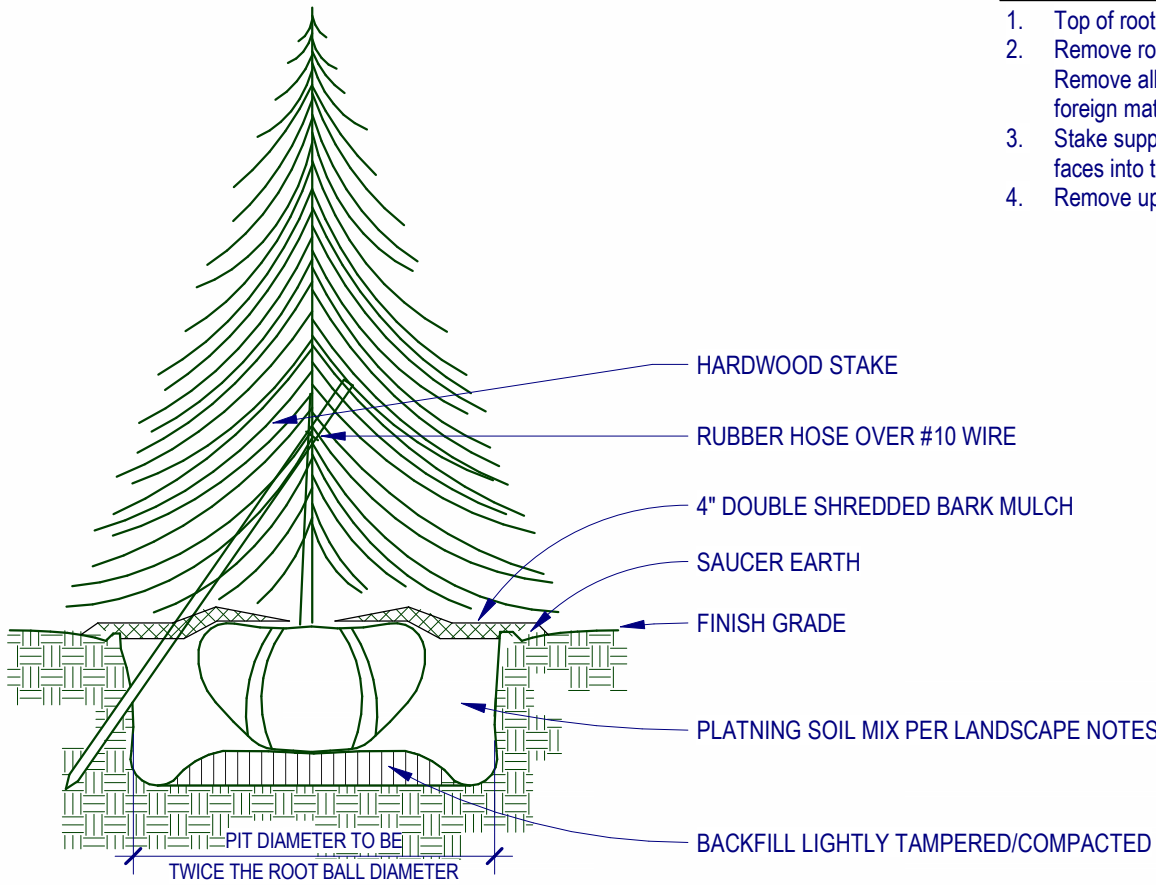
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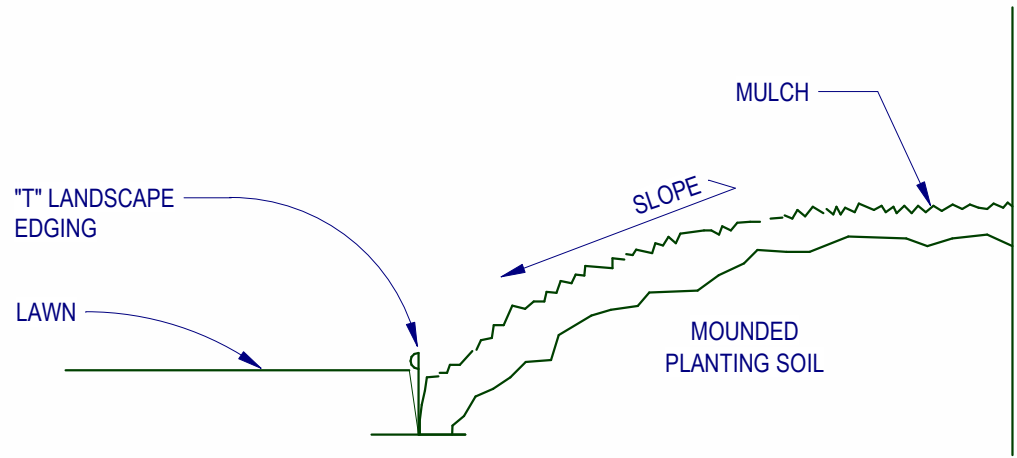
3422 Seymour Ave
Cleveland, Ohio

Evergreen Planting Detail

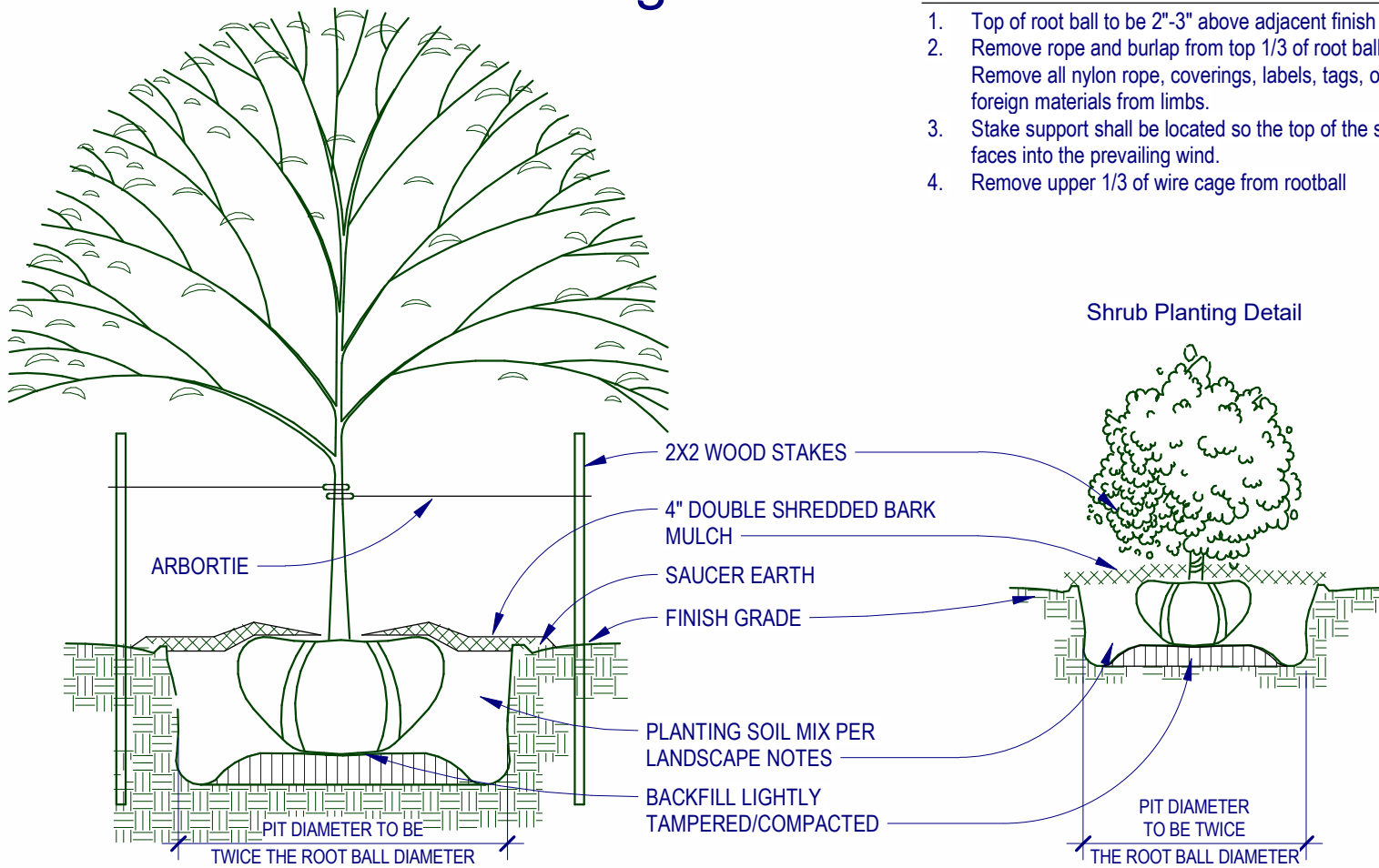


- NOTES
1. Top of root ball to be 2'-3" above adjacent finish grade.
 2. Remove rope and burlap from top 1/3 of root ball. Remove all nylon rope, coverings, labels, tags, or other foreign materials from limbs.
 3. Stake support shall be located so the top of the stake faces into the prevailing wind.
 4. Remove upper 1/3 of wire cage from rootball

Planting Bed Edging Detail

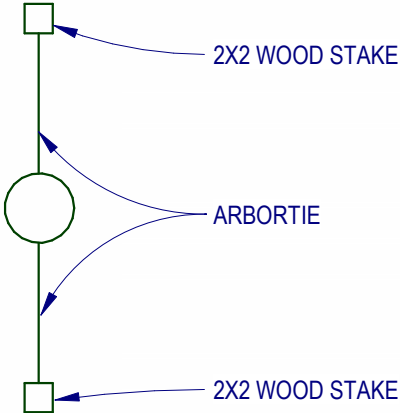


Ornamental Tree Planting Detail



- NOTES
1. Top of root ball to be 2'-3" above adjacent finish grade.
 2. Remove rope and burlap from top 1/3 of root ball. Remove all nylon rope, coverings, labels, tags, or other foreign materials from limbs.
 3. Stake support shall be located so the top of the stake faces into the prevailing wind.
 4. Remove upper 1/3 of wire cage from rootball

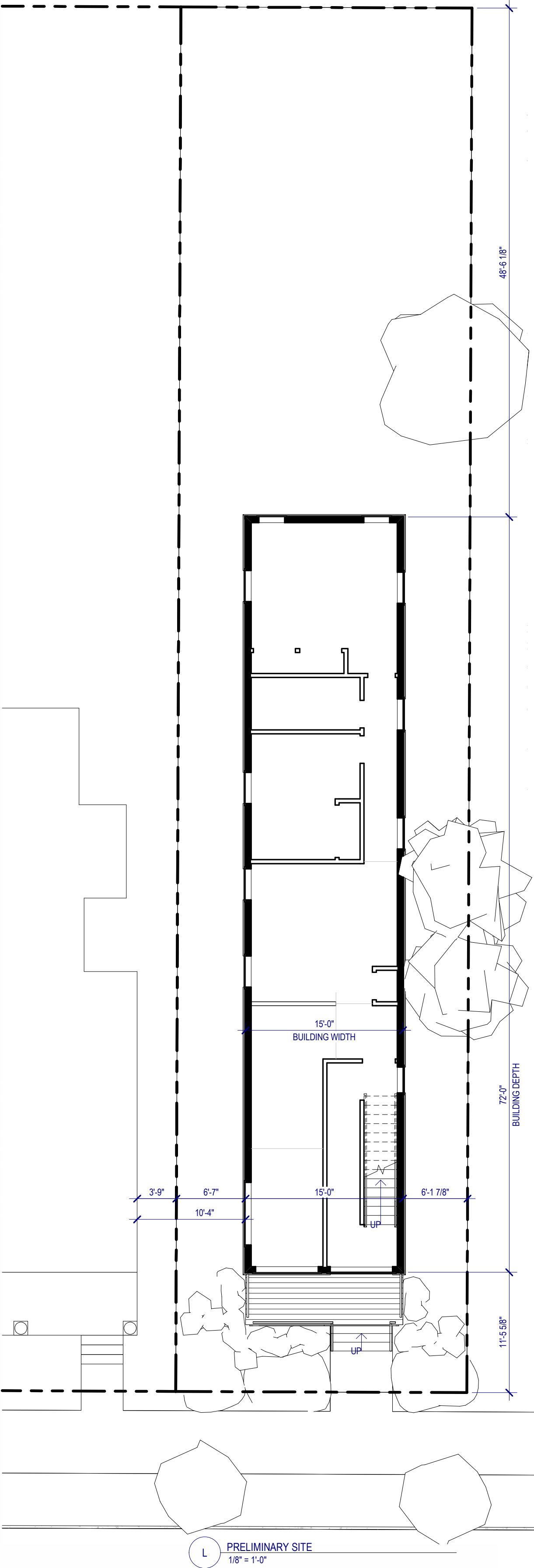
Tree Staking and Guying Detail



STAKING/GUYING PLAN SCHEMATIC

Landscaping Notes

1. No landscaping within 5 feet of overhead or underground utilities. Verify in field prior to purchase and installation.
2. OUPS required 48 hours prior to work.
3. All trees to be staked for a period of one year. At one year after installation, contractor to remove stakes and guys.
4. All shrubs to have bark mulch unless noted otherwise. All isolated tress to have bark mulch. Extents of bark mulch to match pit size.
5. Bark mulch to be double shredded hardwood bark.
6. All planting beds shall be mulched to minimum 4" thick over permeable weed barrier.
7. Any substitutions of sizes or varieties of plant material shall be subject to the written approval of the owner.
8. Quantity and size of plant material shall meet the American Association of Nurseryman standards.
9. Contractors shall warrant all plant material installed for a period of one year from the time of installation. Any plants that are unhealthy (>30% defoliation) or dead shall be replaced by the contractor at no additional cost to the owner.
10. The contractor is responsible for all clean up associated with the landscape construction process.
11. Planting soil backfill and beds to be 25% organic compost, 25% sand and 50% original topsoil from site.
12. Plant locations on plan are to serve as a guide. Slight relocation in field may occur to provide the most aesthetic looking arrangement. Owner to approve locations.



Lawn Seed Mix

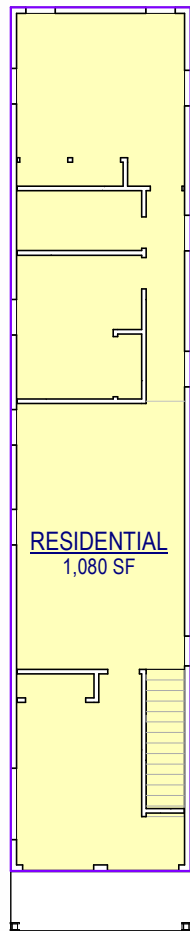
Percent	Common Name	Manufacturer and Brand Name	Ratio
10%	Kentucky Bluegrass	Scotts Turf Builder Kentucky Bluegrass Mix Grass Seed	(1.0# per 3,000 SF)
20%	Perennial Ryegrass	Scotts Turf Builder Perennial Ryegrass Mix Grass Seed	(2.0# per 3,000 SF)
30%	Tall Fescue	Pennington Kentucky 31 Tall Fescue Grass Seed	(3.0# per 3,000 SF)
40%	Fine Fescue	WaterSaver Grass Mixture with Turf-Type Tall Fescue	(4.0# per 3,000 SF)

Provide topsoil 4 to 6 inches in area to receive lawn seeding.

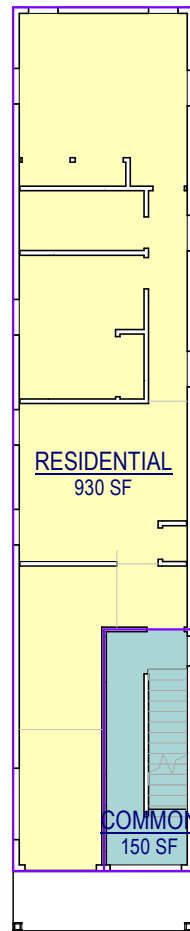
WALL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO DEMOLISHED
	NEW CONSTRUCTION

DIMENSION LEGEND	
	8'-0" FINISH / FACE OF GYP BD DIMENION
	8'-1 1/4" FACE OF STUD DIMENSION

AREA CALCULATIONS	
Name	Area
COMMON	150 SF
COMMON	150 SF
RESIDENTIAL	930 SF
RESIDENTIAL	930 SF
RESIDENTIAL	1,080 SF
RESIDENTIAL	3,240 SF



3 3RD FLOOR
1/16" = 1'-0"



2 2ND FLOOR
1/16" = 1'-0"



1 1ST FLOOR
1/16" = 1'-0"

INDEX OF DRAWINGS	
No.	Name
A000	COVER SHEET
A101	FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A301	SECTIONS

INDEX OF DRAWINGS	
No.	Name

COVER SHEET

Date: 03/05/25	
Status: PLANNING	
No.	Re: Date

jln: 23xxx

A000

3422 SEYMOUR AVE

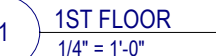
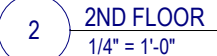
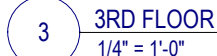
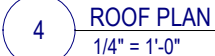
3422 SEYMOUR AVE
CLEVELAND, OHIO

JWall Homes LLC

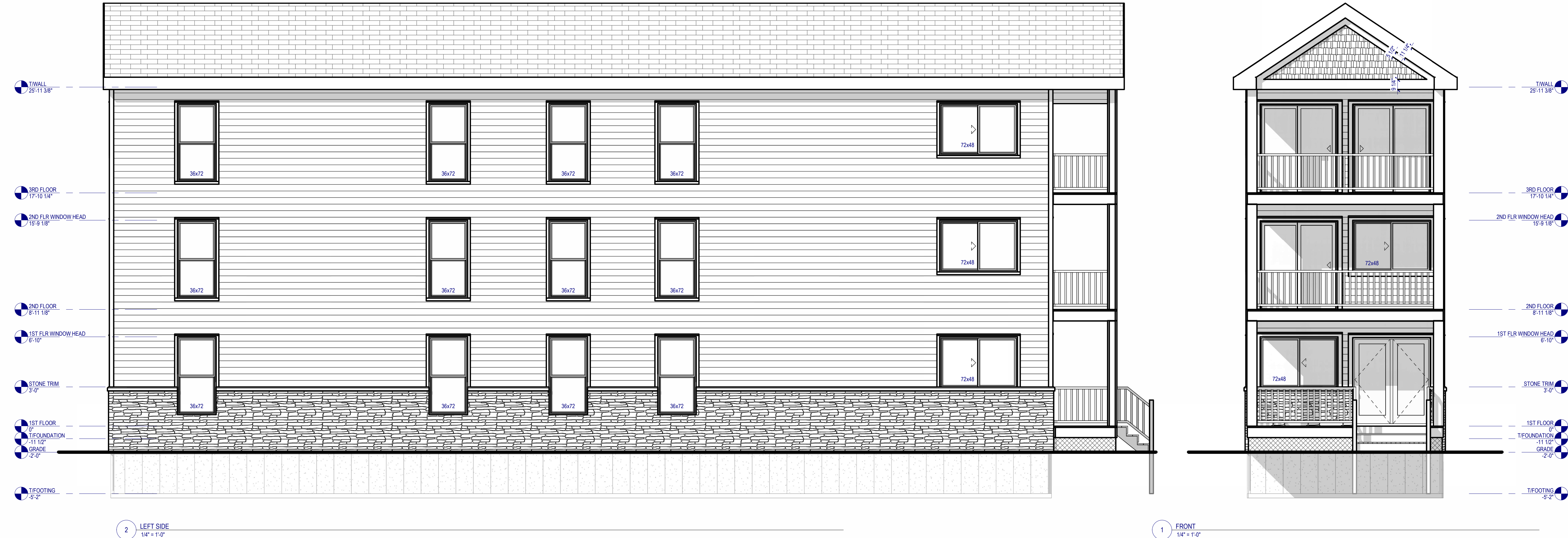
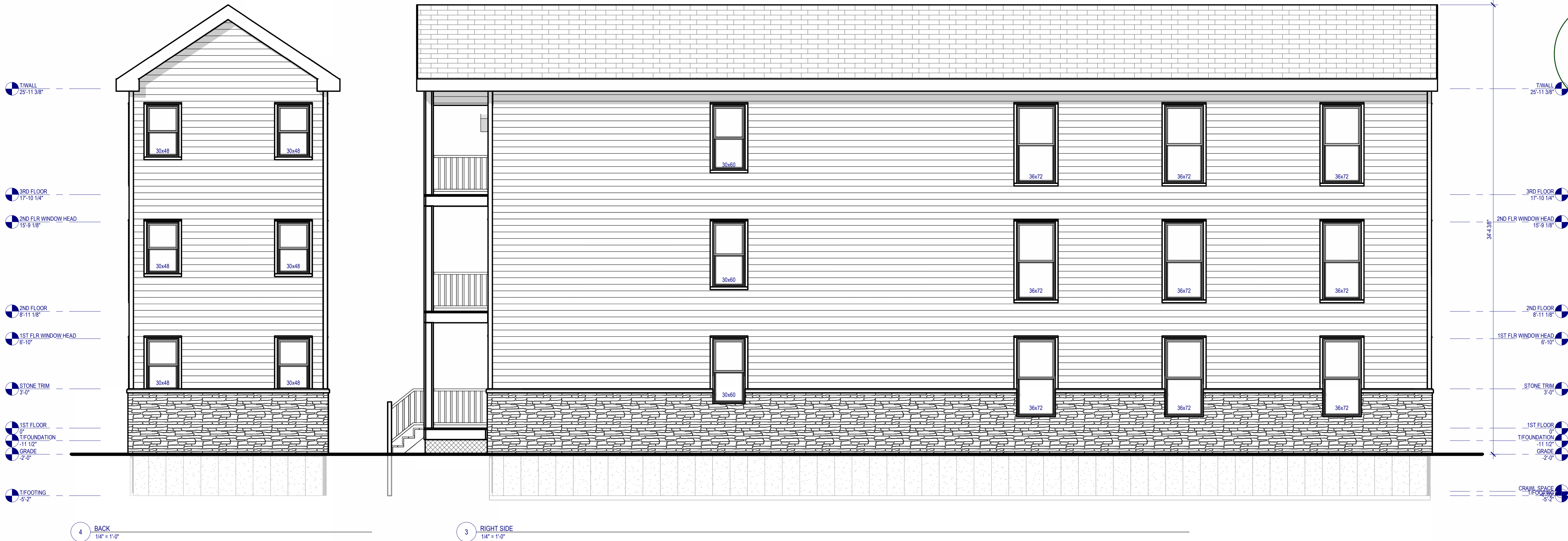
architect **Hakki**

P.O. Box 347184
Cleveland, OH 44134
phone 216.372.9047

NO. PERM. 08-210701, 15C PERM. 037580, 03A PERM. 18343684, Exp. 5/30/25



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3/5/2025 7:03:56 AM



architect Haki
P.O. Box 347184
Cleveland, OH 44134
phone 216.372.9047
MO: FRM 08 - 21571, SAT: FRM 10750, CMT: FRM 103164M, E: 00025

JWall Homes LLC

3422 SEYMOUR AVE
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CLEVELAND, OHIO

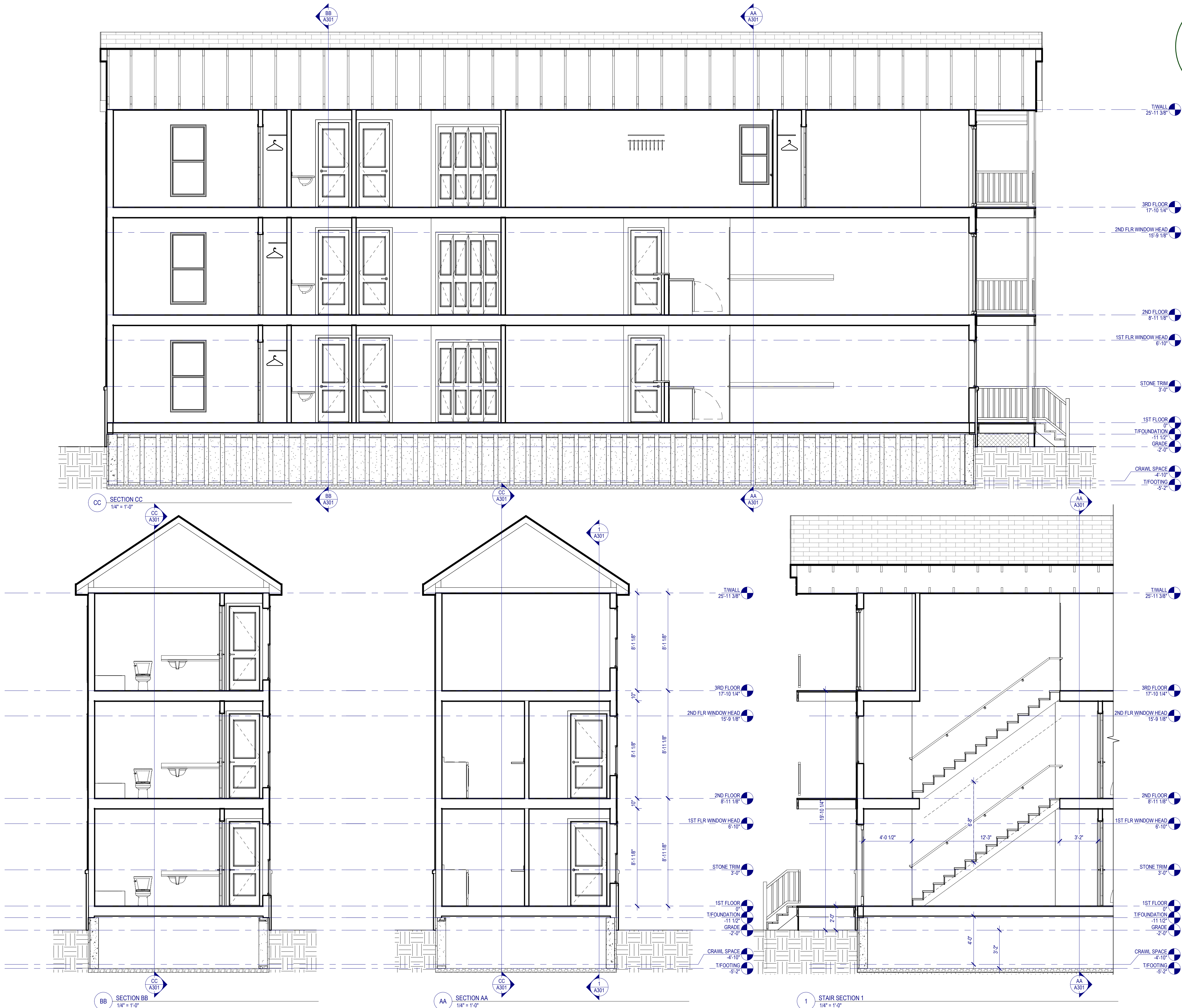
EXTERIOR ELEVATIONS

Date: 03/05/25
Status: PLANNING

No.	Re.	Date

J/H: 23xxx

A201



REFERENCE SURVEYS

- 1.) Fulton Centerline Plat for the City of Cleveland Department of Public Service—Division of Engineering & Construction — Plats & Surveys Section, Dated February 2011, Pages 5 through 9 of 195.
- 2.) Hiram Stone's Addition to the City of Cleveland, Volume 1, Page 41 of Cuyahoga County Map Records. (Rec.)
- 3.) 3312 Seymour Avenue Consolidation & Lot Split, Volume 305, Page 02 of Cuyahoga County Map Records. (Reitz)
- 4.) 3349 Wade Avenue Consolidation, Volume 297, Page 48 of Cuyahoga County Map Records. (Reitz)
- 5.) Lot Consolidation, Volume 279, Page 02 of Cuyahoga County Map Records. (Vondra)
- 6.) Lot Consolidation Plat for wxy/Coral Development, LTD, Volume 288, Page 19 of Cuyahoga County Map Records. (McSteen)
- 7.) Lot Split & Assembly Plat, Volume 280, Page 02 of Cuyahoga County Map Records. (Welsh)
- 8.) Plat of Partition, Volume 324, Page 45 of Cuyahoga County Map Records. (Bruckner)
- 9.) Tops — Lot Split & Consolidation Plat, Volume 342, Page 51 of Cuyahoga County Map Records. (Zwick)
- 10.) Plat of Consolidation, Volume 379, Page 52 of Cuyahoga County Map Records. (Plat)
- 11.) City of Cleveland Survey Records. (CSR)

OWNERSHIP

P.P.N. 007-19-042 Carman Davila February 17, 2011 AFN 201102170084	P.P.N. 007-19-040 Blue Collar Boy, LLC May 02, 2024 AFN 202405020016
P.P.N. 007-19-041 Blue Collar Boy, LLC May 02, 2024 AFN 202405020016	P.P.N. 007-19-039 Mario Hannah Kathryn Elizabeth Curry April 11, 2022 AFN 202204110709

LAND AREA

Parcel "C1"	0.0841 Acres	3,662 Sq.Ft.
Parcel "C2"	0.0841 Acres	3,662 Sq.Ft.

BASIS OF BEARINGS

The centerline of Fulton Road S.W. as North 01°12'48" West in the Fulton Centerline Plat for the City of Cleveland Department of Public Service, Dated February 2011, Page 9 of 195. Survey is on Cleveland Regional Geodetic Survey coordinates. (CGRS)

LEGEND

- = Monument Box Found
○ = Iron Pin Found
○ = Iron Pipe Found
● = 5/8"x30" Iron Pin Set
● = Spike Set on P/L
● = Drill Hole Set / Found
+ = Mag Nail Set / Found
℄ = Centerline
- Calc./C. Calculated
D. Deed
E. East
Meas./M. Measured
N. North
O.L. Original Lot
Obs./O. Observed
P.P.N. Permanent Parcel Number
R/W Right-of-Way
Rec./R. Record
S. South
S/L Sublot
Sq.Ft. Square Feet
V/Vol. Volume
W. West

Note: ● Denotes 5/8"x30" iron pins set and capped "Riverstone Company-PS8740"

PLAT OF LOT SPLIT OF P.P.N. 007-19-040 P.P.N. 007-19-041 CREATING PARCEL "C1" & "C2" CITY OF CLEVELAND, OHIO

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being all of Parcel "C" in the Plat of Consolidation of 3422-3424 Seymour Avenue S.W. and being part of the Original Brooklyn Township Lot No. 68, as shown by the plat recorded in Volume 379, Page 52 of Cuyahoga County Map Records.

OWNERS ACCEPTANCE

I, (We) the undersigned owner(s) of the land shown hereon, do hereby accept this Lot Split of the same.

Randall Eldridge — Owner
Blue Collar Boy LLC

NOTARY

State of _____ }
County of _____ }

Before me a Notary Public in and for said County and State, personally appeared the above named Owner(s) who acknowledged that he did sign the foregoing instrument and that it was his own free act and deed.

In witness whereof, I have hereunto set my hand and official seal at _____, this _____ day of _____, 2025.

Notary Public

My commission expires

CITY APPROVALS

This Lot Split and plat are accepted & approved by the Planning Director of the City of Cleveland, Ohio this _____ day of _____, 2025.

Marka Fields — Planning Director

This Lot Split and plat are accepted & approved by the Platting Commissioner of the City of Cleveland, Ohio this _____ day of _____, 2025.

Richard Switalski — Platting Commissioner

CERTIFICATION

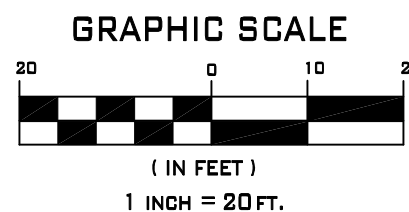
This plat was prepared from a field survey, analysis of recorded plats, recorded deeds, and city survey records. Bearings shown hereon are to an assumed meridian and are intended to indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge. I hereby certify I have surveyed the subject premises and prepared this drawing in Accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code.

Brian Siebenthal

P.S. No. 8740

January 23, 2025

Date



DRAWN BY

BDK, PG, BS

APPROVED

BS PS NO. 8740



LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2024-469, PAGE 1 OF 1

FULTON ROAD
S.W. 66
(FORMERLY RHODES
AVENUE)
(A PUBLIC RIGHT-OF-WAY)

Drill Hole in a
Stone Monument
Found & Used
for CL Seymour
(0.00' N, 0.11' W)

Manhole
Rim 680.29
Inv. 21" E. 670.69
Inv. 12" W. 670.66

N 88°48'27" E
219.89' Calc.-Meas. 219.92' Rec.

SEYMOUR AVENUE S.W. 60'
(FORMERLY SEYMOUR STREET)
(A PUBLIC RIGHT-OF-WAY)

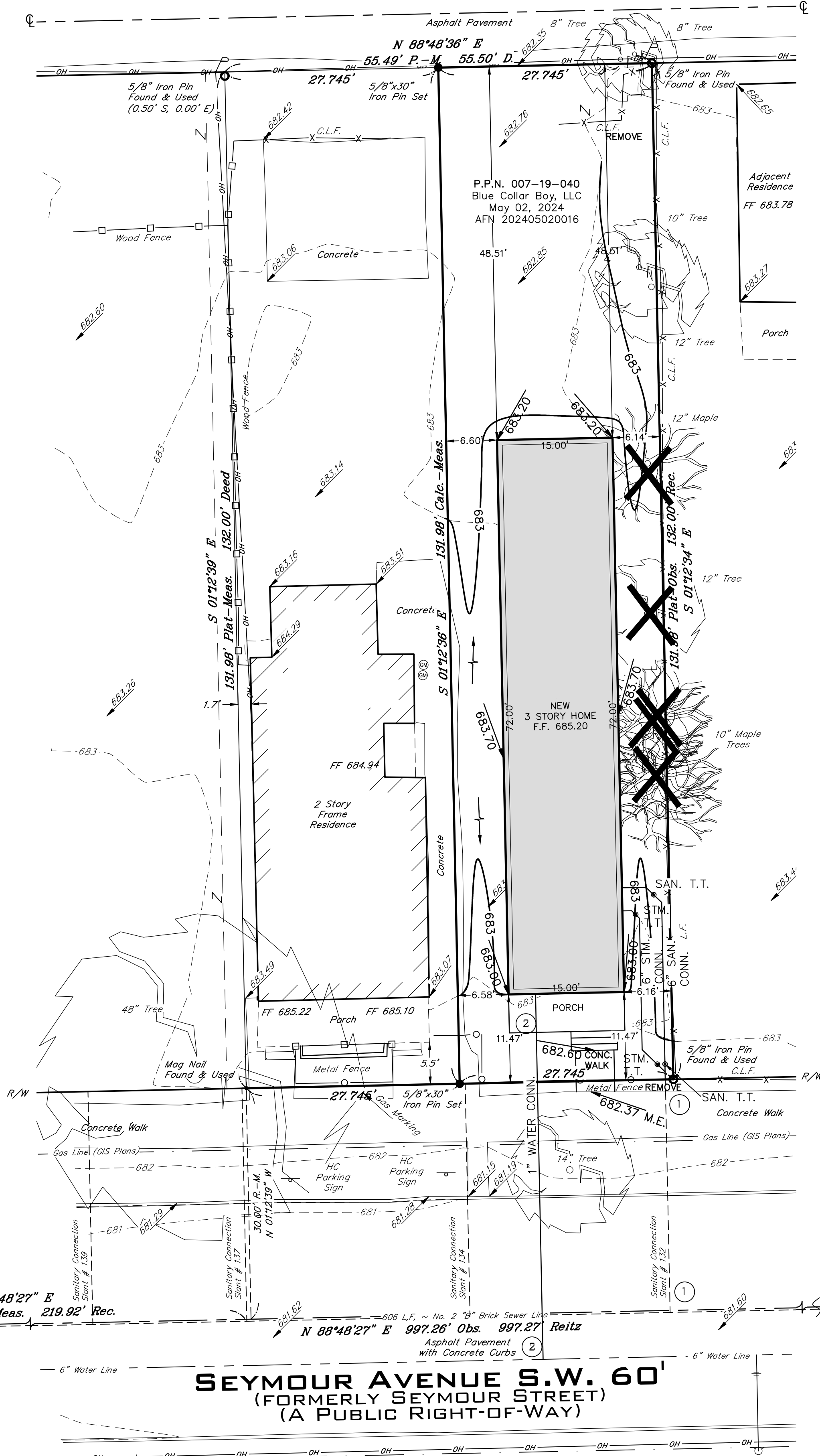
T.B.M. #1
Top Nut of Hydrant
Elevation - 684.44

WEST 32ND
STREET 60'
(FORMERLY HITCHCOCK
AVENUE)
(A PUBLIC RIGHT-OF-WAY)

Drill Hole in a
Stone Monument
Found & Used
(0.00' N, 0.02' W
CSR-Meas.)

Manhole No. 7
Rim 681.90
Inv. E-W. 669.60

MILL COURT S.W. 14'
(A PUBLIC RIGHT-OF-WAY)



SEWER REFERENCE

SEWER CONNECTION DATA:
CITY OF CLEVELAND WPC PLAN
SEYMOUR AVENUE
FILE - 367
CONNECTION BOOK 4, PAGE 168
SLANT #132 - 126 FEET WEST OF M.H. #7
SLANT #134 - 152 FEET WEST OF M.H. #7
SLANT #137 - 181 FEET WEST OF M.H. #7
SLANT #139 - 201 FEET WEST OF M.H. #7

LEGEND

M = Monument Box Found	PROPOSED = Spot Elevation Tag
O = Iron Pin or Pipe Found	Hydrant = Hydrant
● = 5/8" Iron Pin Set and Capped Riverstone Company Dudley PS6747	Water Valve = Water Valve
+ = P.K. Nail	Water Meter = Water Meter
⊕ = Gas Meter	Reducer = Reducer
△ = Gas Valve	Storm Manhole = Storm Manhole
U = Utility Pole	Sanitary Manhole = Sanitary Manhole
L = Light Pole	Curb Inlet = Curb Inlet
⊕ = Guy Anchor & Line	Catch Basin = Catch Basin
⊕ = Telephone Box	Property Line = Property Line
⊕ = Electric Box	Centerline = Centerline
⊕ = Cable Box	
⊕ = Bollard	
⊕ = Cleanout / Test Tee	
Ex. Parcel Line	
Original Sublot Line	
Original Lot Line	
Centerline	
Property Line	
Right-of-way Line	
Easement Line	
Railroad Tracks	
Electric Line	
Gas Line	
Sanitary/Combination Sewer	
Storm Sewer	
Waterline	
Fence Line (Wooden)	
Fence Line (Chain-Link)	
Guardrail	
Ac. Adj. Adjacent	L.C.A. Limited Common Area
A.F.N. Auditor's File Number	L.F. Lineal Feet
Asp. Asphalt	M.E. Match Existing
B.F. Basement Floor	M.H. Measured Manhole
BW. Bottom of Wall	Obs. Observed
Calc./C. Calculated	Pg. Page
CB. Catch Basin	P.N. Permanent Parcel Number
C.C.M.R. Cuyahoga County Map Records	Prop. Proposed
C.L.F. Chain-link Fence	Rec./R. Record
Clr. Clears	R/W. Right-of-way
C.O. Clean Out	San. Sanitary
Comb. Combination	S.F. Square Feet
Conc. Concrete	S/L. Sublot
Conn. Connection	Strm. Storm
D.H. Drill Hole	T.B.M. Temporary Bench Mark
D.I.W.M. Ductile Iron Water Main	TBR. To Be Removed
Elec. Electric	T/C. Top of Curb
Elev. Elevation	Tele. Telephone
Encr. Encroaches	T.F. Top Of Footer
Ex. Existing	T.T. Test Tee
F.F. Finished Floor	TW. Top of Wall
GUT. Gutter	Typ. Typical
Inv. Invert	Vol. Volume
	Wat. Water

SITE PLAN OF 3422 SEMOUR AVENUE

PERMANENT PARCEL NUMBER 007-19-040
STREET ADDRESS 3422 SEYMOUR AVENUE
IN ORIGINAL BROOKLYN TOWNSHIP
IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
PREPARED FOR JOE WALLACE
T.B.M. ELEVATION 684.44
T.B.M. LOCATION SOUTH SIDE OF SEYMOUR AVENUE
FIN. FIRST FLOOR EL. 685.20 FIN. BASEMENT FLOOR EL. -
TOP OF FOOTER EL. 680.03 FIN. GARAGE FLOOR EL. -
SAN. CONN. EL. FIELD VERIFY STM. CONN. EL. FIELD VERIFY

CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:

A. FIN. FLOOR ELEVATION & HOUSE DIMENSIONS

B. LOCATION & ELEVATIONS OF EXISTING UTILITY CONNECTIONS

SIDEWALKS TO BE 4" THICK CONCRETE EXCEPT AT DRIVE APRON WHICH IS TO BE 6" THICK CONCRETE.

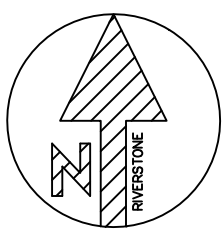
EXISTING SEWER CONNECTIONS CAN ONLY BE USED IF THEY ARE IN GOOD WORKING CONDITION. THE CITY SHALL DECIDE ON THE CONDITION OF EXISTING CONNECTIONS.

THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF W.P.C., BEFORE PERFORMING THE SEWER WORK.

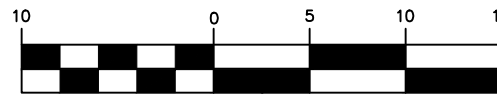
THE CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER WORK WITH CLEVELAND WATER DEPARTMENT PRIOR TO CONSTRUCTION. ANY EXISTING INACTIVE WATER CONNECTIONS ALONG PROPERTY FRONTAGE SHALL BE PLUGGED PER CWD STANDARDS. CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES.

① THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF WATER POLLUTION CONTROL, BEFORE PERFORMING THE SEWER WORK. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL LOCATE EXISTING SLANT 132 FOR RE-USE. CONTRACTOR SHALL EXPOSE SLANT AND IT SHALL BE INSPECTED BY WATER POLLUTION CONTROL FOR RE-USE. IF CONNECTION IS VIABLE CONTRACTOR SHALL NOTIFY ENGINEER OF LOCATION AND ELEVATION. IF WATER POLLUTION CONTROL DETERMINES THE SLANT IS NO LONGER VIABLE THE CONTRACTOR SHALL INSTALL A NEW 6" VCP SLANT PER WPC STANDARDS. CONTRACTOR TO COORDINATE WITH WATER POLLUTION CONTROL. SEWER WITHIN THE R/W, FROM TEST TEE TO THE MAIN SHALL BE 6" VCP @ A MINIMUM SLOPE OF 1.0%.

② WATER CONNECTION TO BE INSTALLED PER CWD STANDARDS. CONTRACTOR TO COORDINATE WITH CWD PRIOR TO CONSTRUCTION.



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

UTILITY PROVIDER SOURCE INFORMATION FROM PLANS PROVIDED BY THE CLIENT, THE TITLE COMPANY AND THE UTILITY PROVIDER AND ON GROUND UTILITY MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

DIMENSIONS SHOWN ON THIS PLAN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. BEARINGS ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.

DAVID A. PIETRANTONE P.E. NO. 61756

3-5-2025

DATE

REVISIONS:

-
-
-
-
-
-



RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2024-470, PAGE 1 OF 1

Cleveland City Planning Commission

Zoning Text Amendments



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Ord. No. 188–2025 (introduced by Council Members Conwell, Griffin, Santana, Kazy, and Jones – by departmental request) To enact new Section 347.21 of the Codified Ordinances of Cleveland, Ohio, 1976, relating to smoke shops.

Mar 7, 2025

Ord. No. 189–2025 (introduced by Council Members Conwell, Griffin, Santana, and Kazy – by departmental request) To supplement the Codified Ordinances of Cleveland, Ohio, 1976, by enacting new Section 350.121 relating to window sign coverage limitation and to amend Section 3104.02 of the codified ordinances, as amended by Ordinance No. 388–2024, passed April 1, 2024, relating to civil offenses.

Mar 7, 2025



Ord. No. 188 Smoke Shop Locations & Ord. No. 189 Window Signage Zoning Text Amendments

March 2025



CITY OF CLEVELAND

Mayor Justin M. Bibb

CITY PLANNING

Agenda

March 2025

01. Purpose of Legislation
02. Background Information
03. Proposed Smoke Shop Amendment
04. Proposed Window Signs Amendment



02. Purpose of Legislation

March 2025

- ☐ To regulate the location of Smoke Shops to protect the public, health, safety, and welfare of all Clevelanders
- ☐ To protect neighborhoods from negative externalities and secondary effects created by the concentration and clustering of such businesses
- ☐ To avoid and reduce over-saturation of these types of businesses.
- ☐ To promote public health, safety, and welfare by encouraging walkability, and prohibiting signage that is 100% opaque, full window coverage in all business, industrial, and overlay districts.





02. Background Information

March 2025

- Under Ord. No. 529-2024, City **establishes Section 347.191; and to amend Sections 343.01, 343.11 and 345.02**, pertaining to location *of State licensed Adult Use & Medical Marijuana Dispensaries, Cultivators, Processors* in alignment with State of Ohio.
- Ohioans 21 years and older are legally allowed to consume or possess cannabis on and after December 7, 2023.
- Issue 2 legalizes 2.5 ounces of adult-use cannabis in any form except adult-use extract; and 15 grams of adult use cannabis in the form of adult use extract. A customer can purchase 2.5 ounces per day from a licensed adult-use dispensary.
-
- Individuals may grow up to six plants for personal use, with a limit of 12 plants per residence, as of December 7, 2023.
- An individual is allowed to gift up to six plants of marijuana without remuneration, as well as 2.5 ounces of adult-use cannabis in any form except adult-use extract; and 15 grams of adult-use cannabis in the form of adult-use extract.
- There are no limitations on how individuals 21 years and older may consume marijuana (ex. Smoking, vaping, edibles, etc.) on and after December 7, 2023.





02. Background Information

March 2025

Current Regulations for monitoring, surveillance, security of facilities, and advertising are regulated in [Chapter 3796:6-3](#) of the ORC and further spelled out in [Chapter 3780](#) “Adult Use Cannabis Code”

Some of the requirements for facilities are highlighted below:

- Security systems (for the public and employees) and video surveillance
- Regulations on storage of product behind locked areas and in safes or vaults
- **Additional regulations on displaying product including amount(s) and how cannabis can/cannot be stored in cases for public viewing**
- **Hours are limited to 7am-9pm for all dispensaries**
- Inventory control and monitoring systems; record keeping requirements
- Labeling and product quality control measures (product testing for other drugs/additives i.e. fentanyl)
- **Strict advertising regulations:**
 - No product likeness to be displayed to public or directed towards children
 - No use of cartoon characters or pop icons
 - Not permitted to depart from registered name, using slang terms, and similar references for cannabis products, paraphernalia, and other mediums (in public ROW) or public property
 - Suggests or indicates location or product has been falsely endorsed by Division
 - Division must approve all depictions, representations, and branding



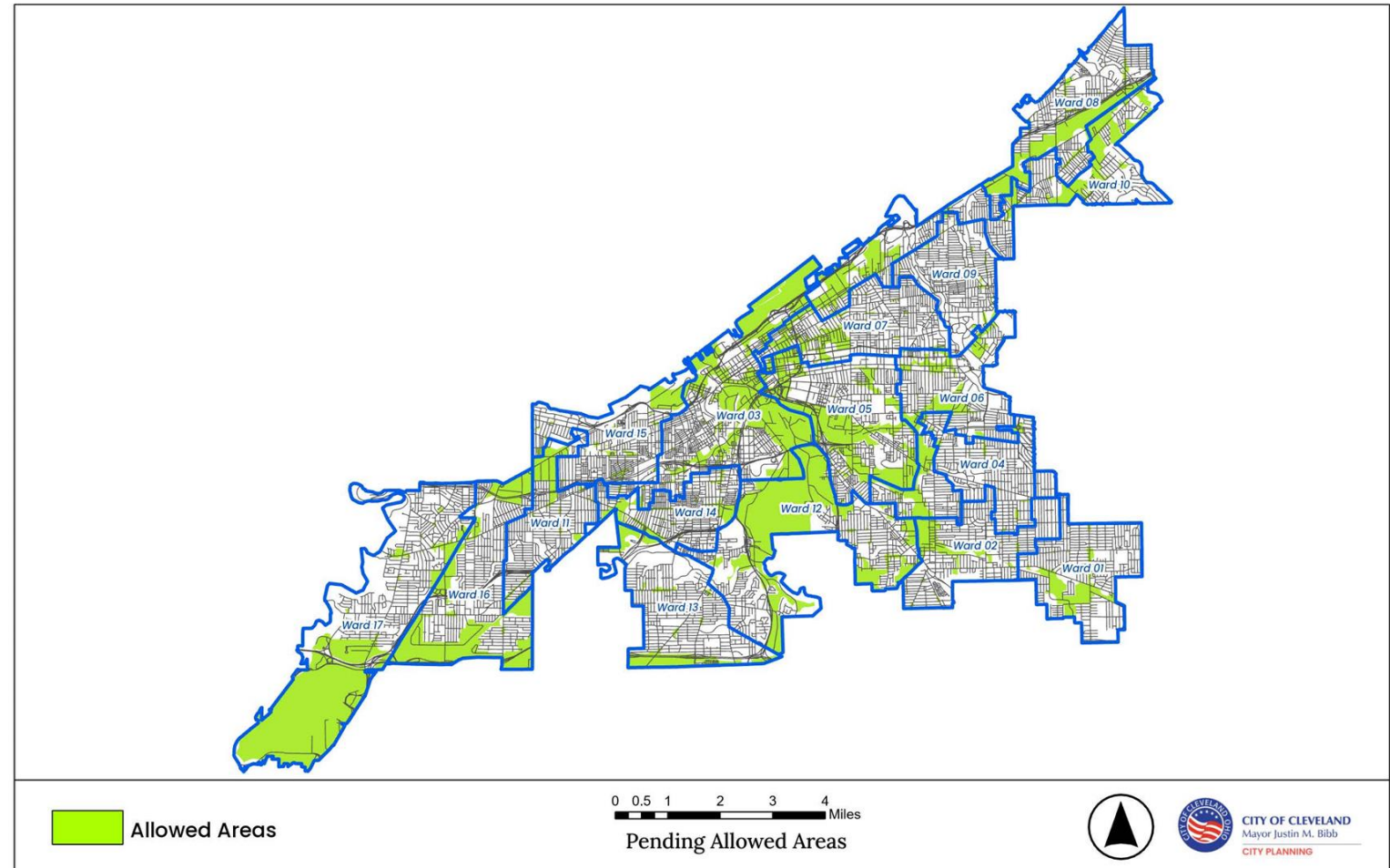


02. Background Information

Current State of Marijuana Law in Cleveland

March 2025

Current regulations permit retail dispensaries in **Local Retail Business Districts, 500 feet from churches, parks, schools, day cares, rec centers, and libraries.**





02. Background Information

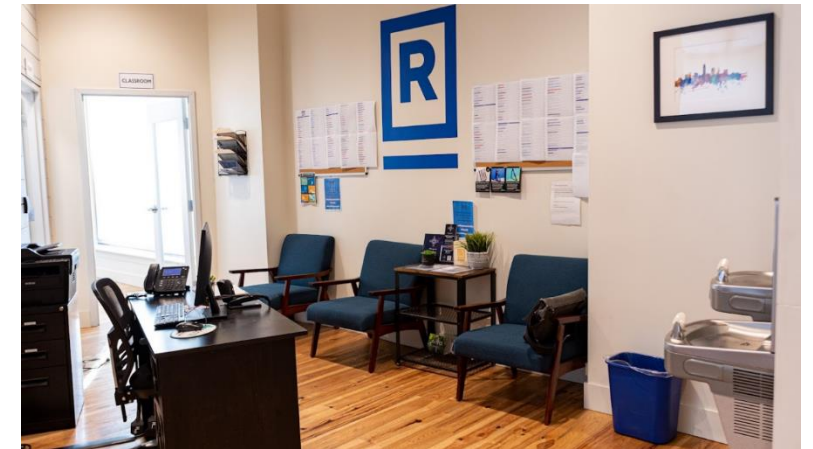
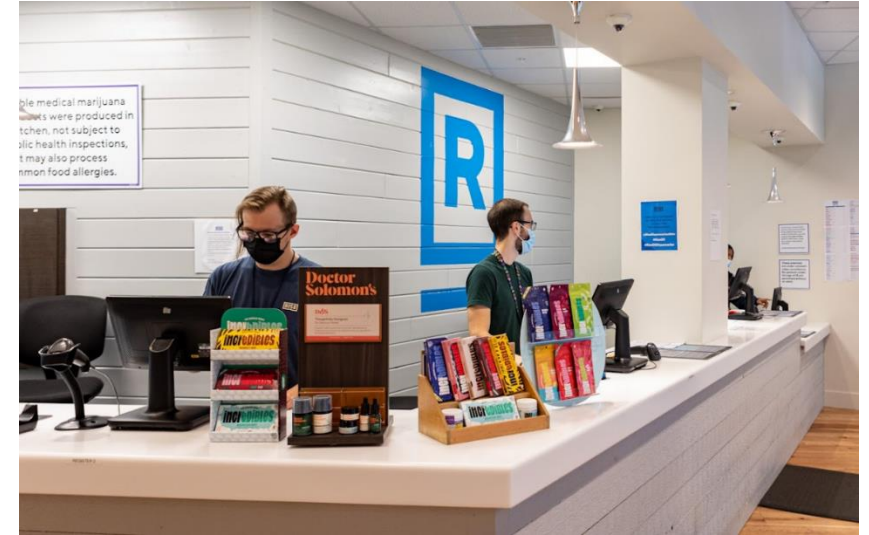
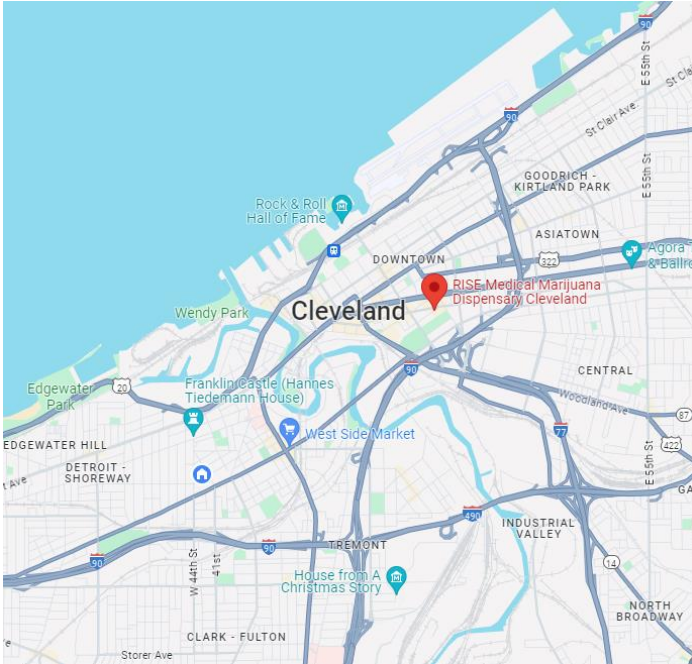
Currently State Licensed Facilities in Cleveland:

March 2025

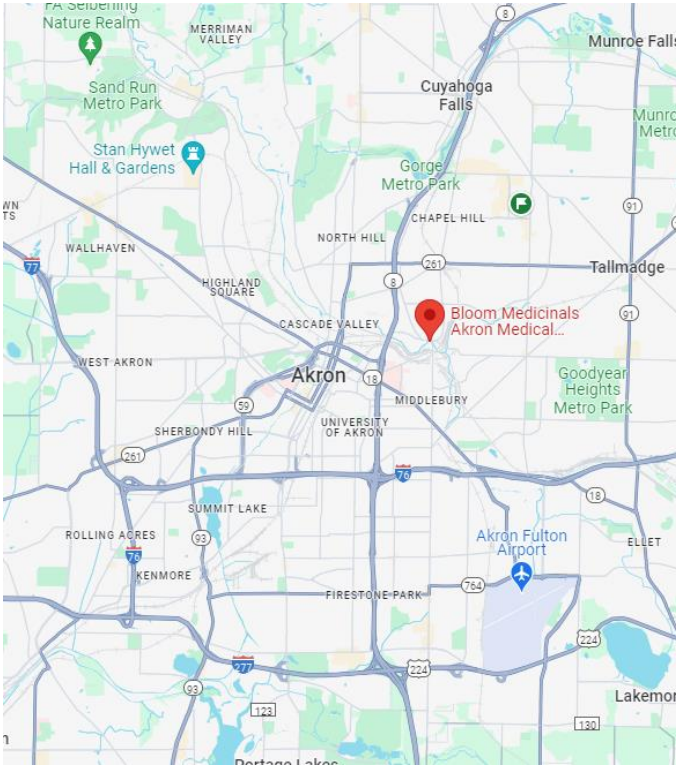
- ❖ 6400 Brookpark Rd (Cannavitz Ventures, LLC)
- ❖ 1222 Prospect Ave (Rise Cleveland)
- ❖ 4618 St. Clair Avenue (Shangri La Dispensary)
- ❖ 3865 Lakeside Ave. E. (The Botanist)
- ❖ 13429 Lakewood Ave. (Therapy Medical Cannabis)
- ❖ 1978 West 3rd. (The Land Dispensary)
- ❖ 5100 Pearl Rd (Rise – provisional)



Examples of State Licensed Marijuana Dispensaries Operating Today- RISE Medical Marijuana Dispensary Cleveland in Cleveland Ohio



Examples of State Licensed Marijuana Dispensaries Operating Today-Bloom Medicinals Akron Medical Marijuana Dispensary in Akron, Ohio





02. Background Information

March 2025

Part of four (4) ordinances regarding tobacco, nicotine, accessories, advertising, and public health

- **Ord No. 186:** Relates to illegal distribution of cigarettes, and other tobacco and nicotine products in Business Code – Chapter 607.
- **Ord. No. 187:** Relates to tobacco retail licensing – Chapter 235
- **Ord. No. 188:** Relates to location of smoke shops – Chapter 347
- **Ord. No. 189:** Relates to window signage coverage – Chapter 350





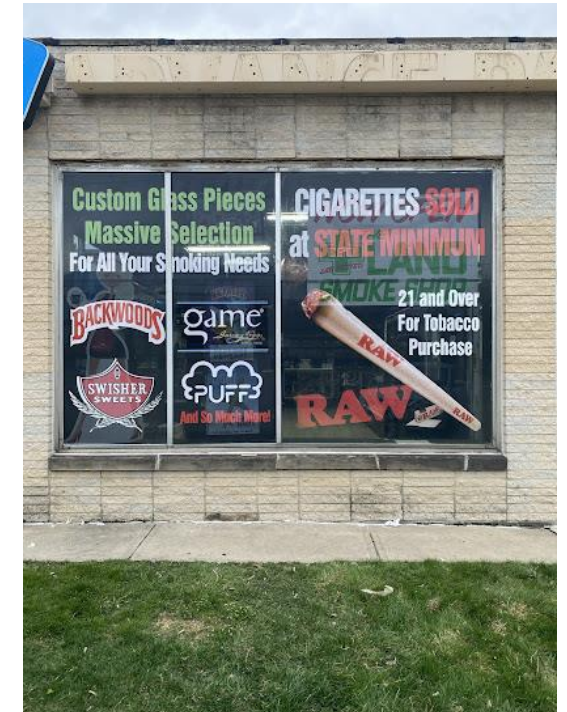
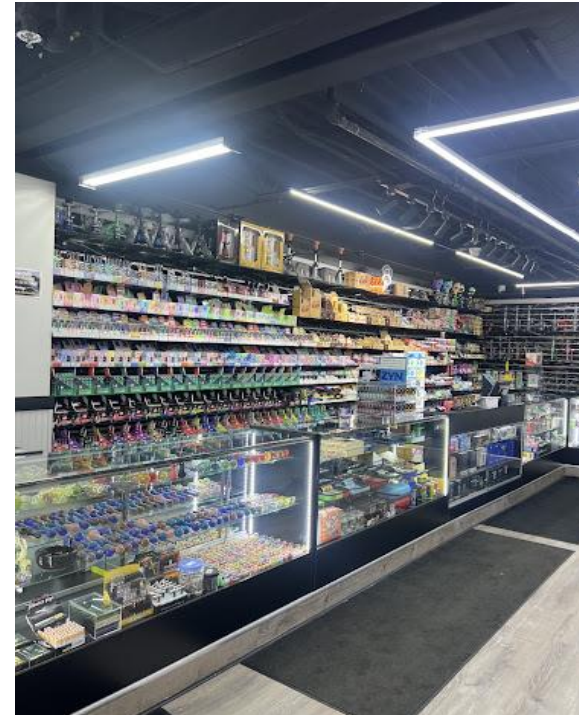
03. *Proposed Smoke* Shop Legislation

Existing & New Smoke Shops in Cleveland

March 2025

No current regulations

42 formal permit applications to establish use as smoke shops since January 1, 2025.

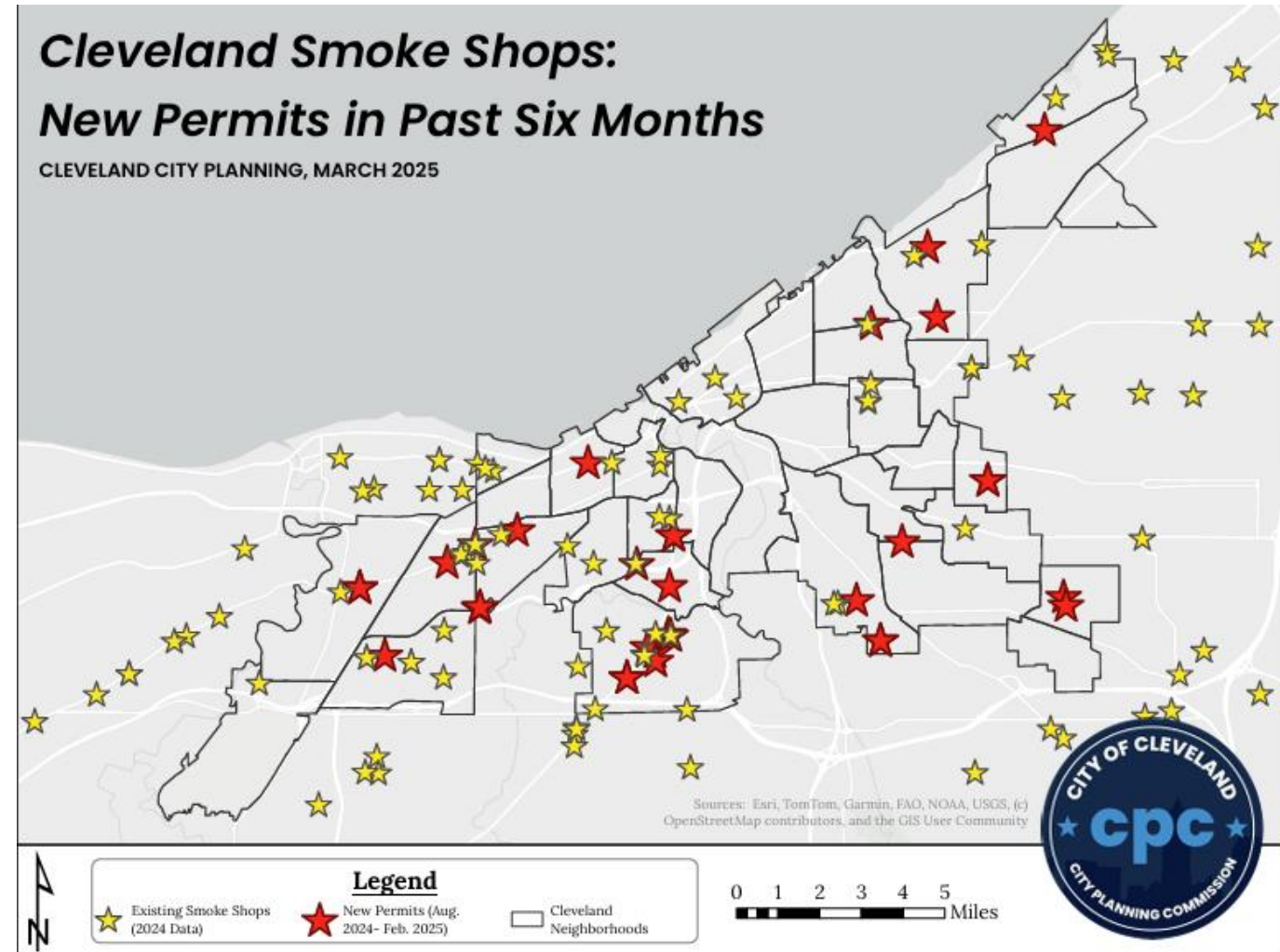




03. *Proposed Smoke Shop* Legislation (Ord. No. 188-2025)

March 2025

- **Smoke Shop** = Any retail establishment at which twenty percent (20%) or more of floor, shelf, and/or display area(s), individually or in the aggregate, is used for the sale of Smoke Shop Products such as: kratom, CBD, delta-8, and other cannabinoids;
- tobacco and nicotine products;
- electric smoking devices (vapes); and
- any accessories to the above (papers, water pipes, etc.).



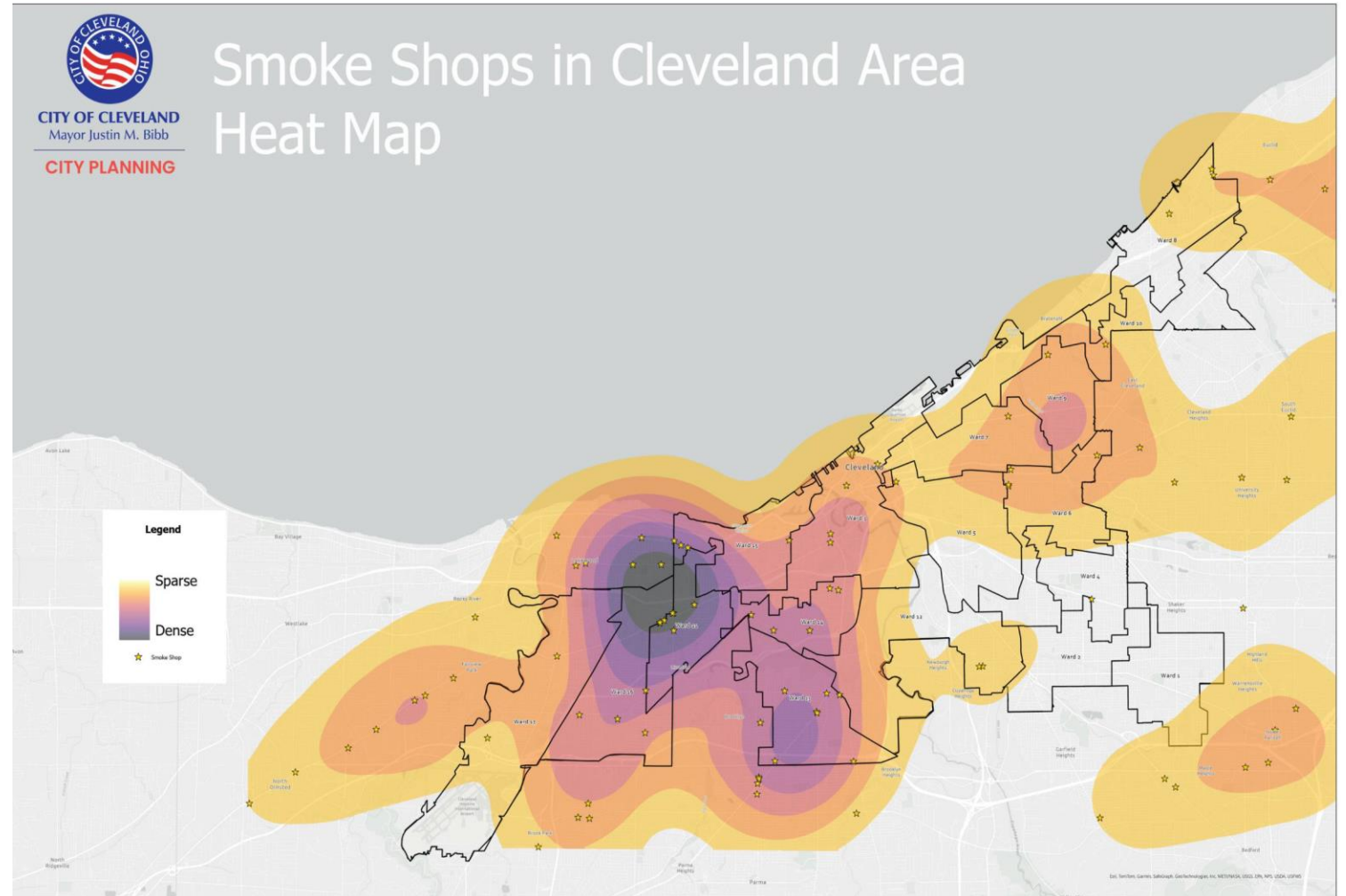
Excludes state-licensed marijuana facilities, which are regulated elsewhere.

Smoke Shops in Cleveland

Any new smoke shops have to be at least **2 miles from any existing smoke shops.**

No Smoke Shop shall be located or relocated **within 500 feet from a church, public library, public playground, public park, or school.**

The Director of City Planning shall **maintain a map** of existing Smoke Shop locations and other information necessary to determine compliance with the spacing regulations.





04. *Proposed Smoke Shop Legislation* – Ord. No. 189-2025

March 2025

- ❖ **Enacting § 350.121 to limit window sign coverage to a maximum of 25% of all window area.**
 - Each façade considered separately
 - All windows and glass portions of doors
 - Pertains to all temporary and all permanent signs
 - Transparent signs measured also



04. *Proposed Smoke Shop Legislation* – Ord. No. 189-2025



CITY OF CLEVELAND
Mayor Justin M. Bibb
CITY PLANNING

March 2025



04. *Proposed Smoke Shop Legislation* – Ord. No. 189-2025



CITY OF CLEVELAND
Mayor Justin M. Bibb
CITY PLANNING

March 2025





04. *Proposed Smoke Shop Legislation* – Ord. No. 189-2025



CITY OF CLEVELAND
Mayor Justin M. Bibb
CITY PLANNING

March 2025





CITY OF CLEVELAND
Mayor Justin M. Bibb

Questions?



Cleveland City Planning Commission

Conditional Uses



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Mar 7, 2025

Townhomes in a 2F District – West Tech Townhomes

Project Address: Tucks Track Dr & West Tech Way

Presenter: Xavier Bay, Zoning Planner

Ward 15 – Council Member Spencer | SPA: Cudell

West Tech Townhomes

City Planning Commission Hearing

March 07, 2025

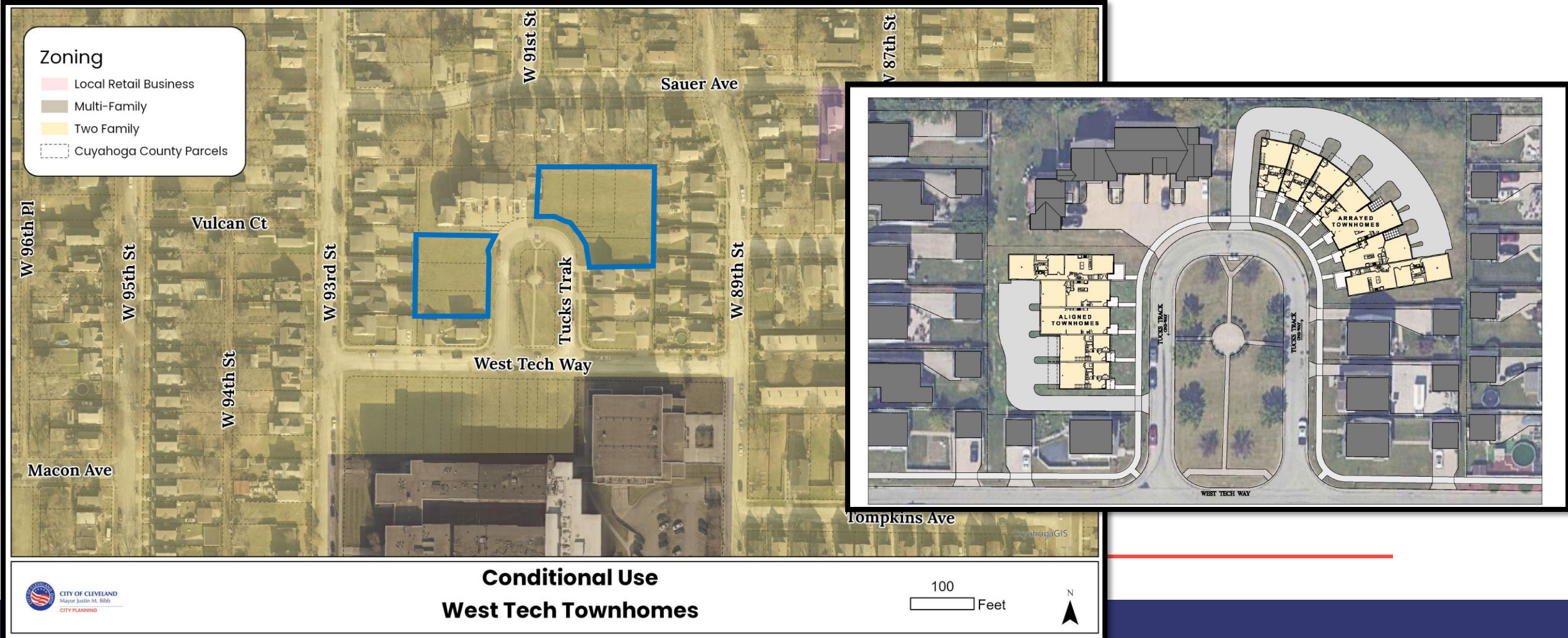


CITY OF CLEVELAND
Mayor Justin M. Bibb

CITY PLANNING COMMISSION

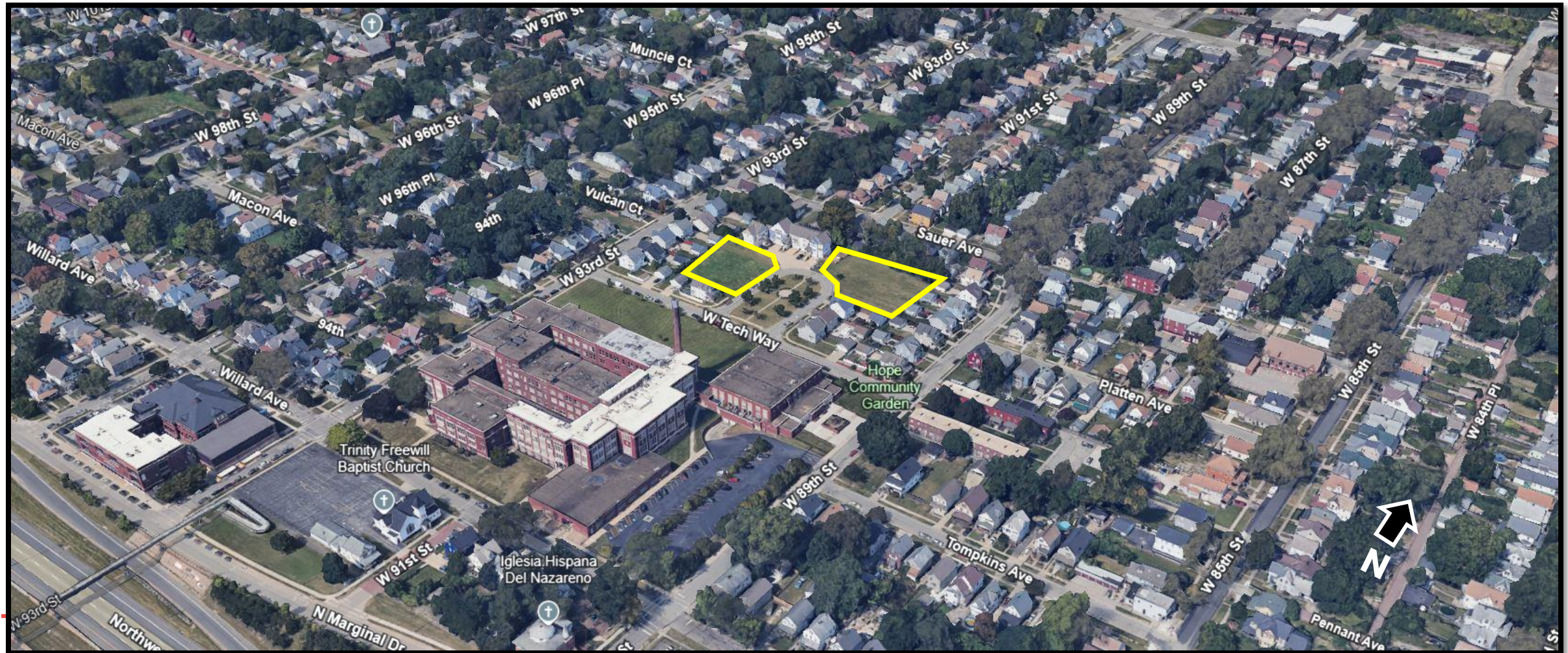
Conditional Use Townhouse in 2F

This project contains parcels located in a Two-Family Residential District fronting Turk's Track Dr.



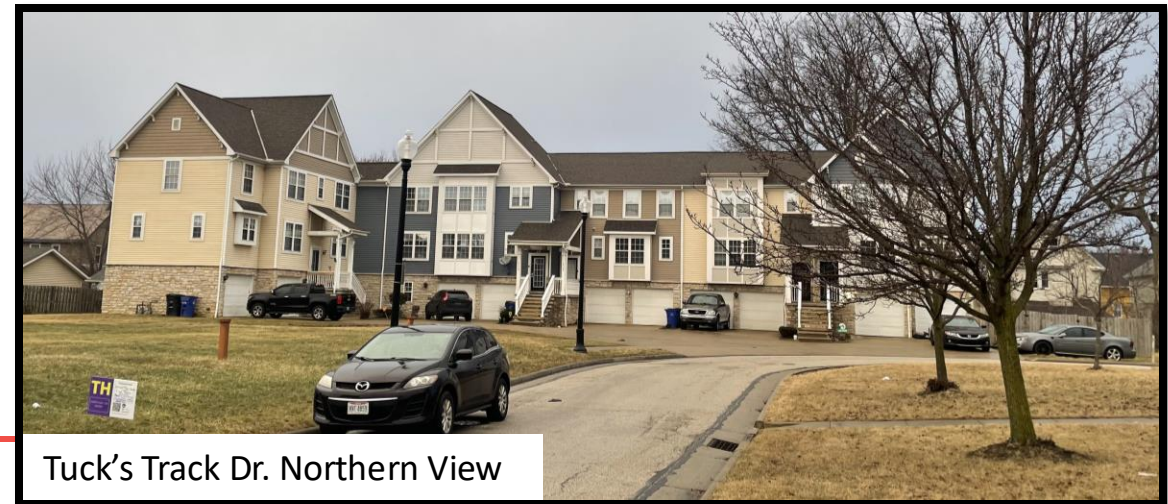
Conditional Use Townhouse in 2F

Per §337.031(h)(2): In any zoning district where a townhouse use is not permitted by right (ex. Single Family, Two (2) Family), *the City Planning Commission* shall determine, based on the application of division (e) of this section, if a townhouse use shall be permitted



Conditional Use Townhouse in 2F

(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



Conditional Use Townhouse in 2F

(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



Tuck's Track Dr. Southeastern View



W 98th St & West Tech Way Southeastern View

Conditional Use Townhouse in 2F

(e)(2) Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space



View of Front from North



View of Front from South



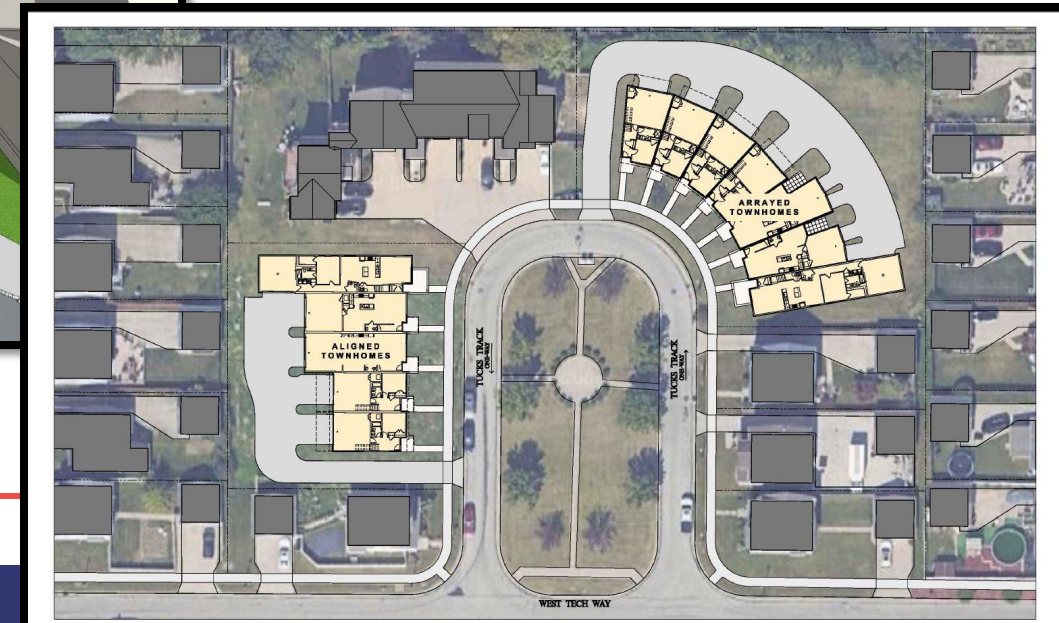
Aerial View with Arrayed Townhome Beyond



Aerial View with Aligned Townhome Beyond

Conditional Use Townhouse in 2F

(e)(2) Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space



Cleveland City Planning Commission

Far West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Mar 7, 2025

FW2024-13 – West Tech Townhome Development

Project Address: Tucks Track Dr & West Tech Way

Type: New Construction townhomes

Project Representative: John Wagner, City Architecture

Approval: Final

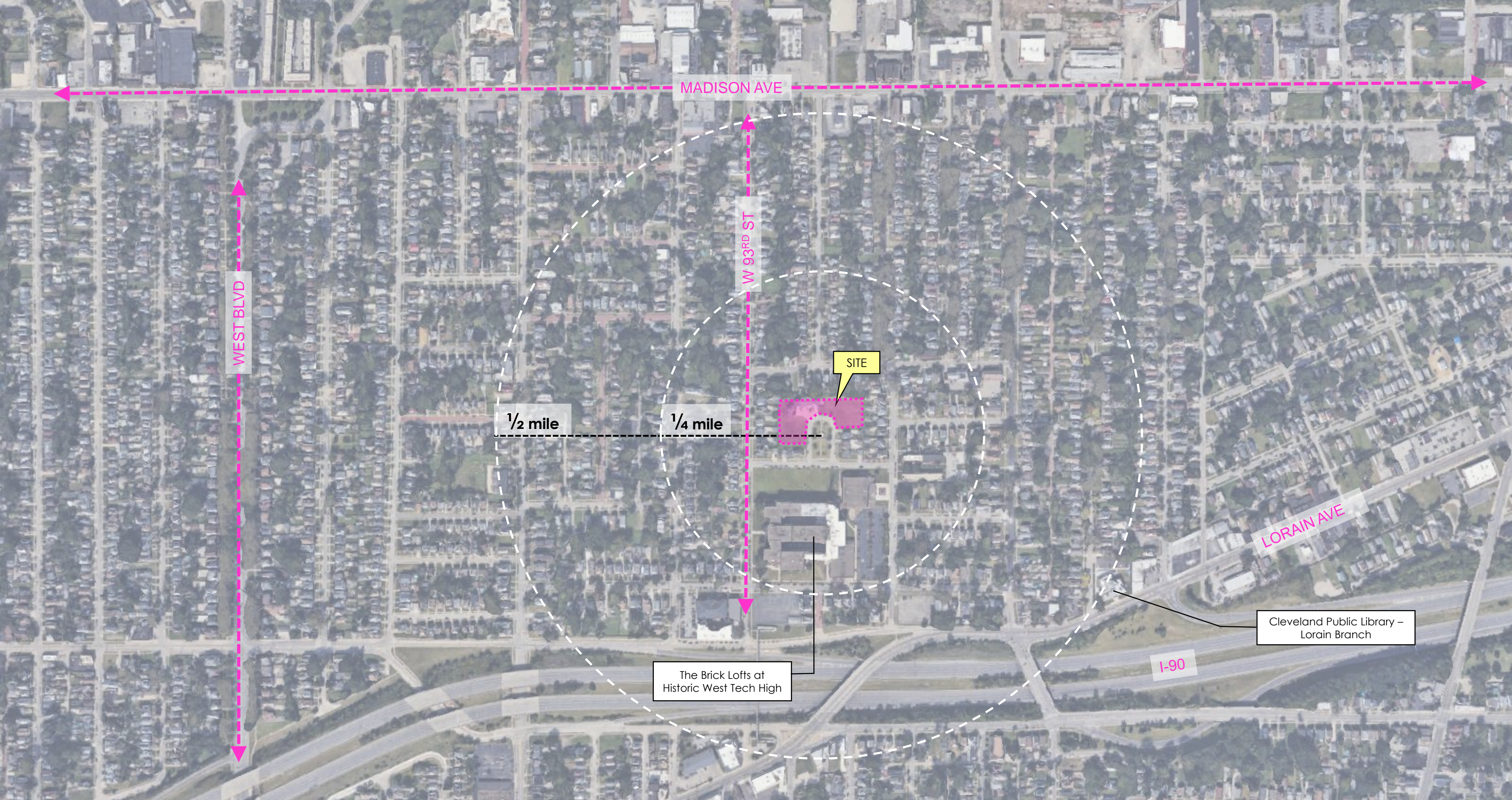
Ward 15 – Council Member Spencer | SPA: Cudell



+

WEST TECH RESIDENTIAL DEVELOPMENT

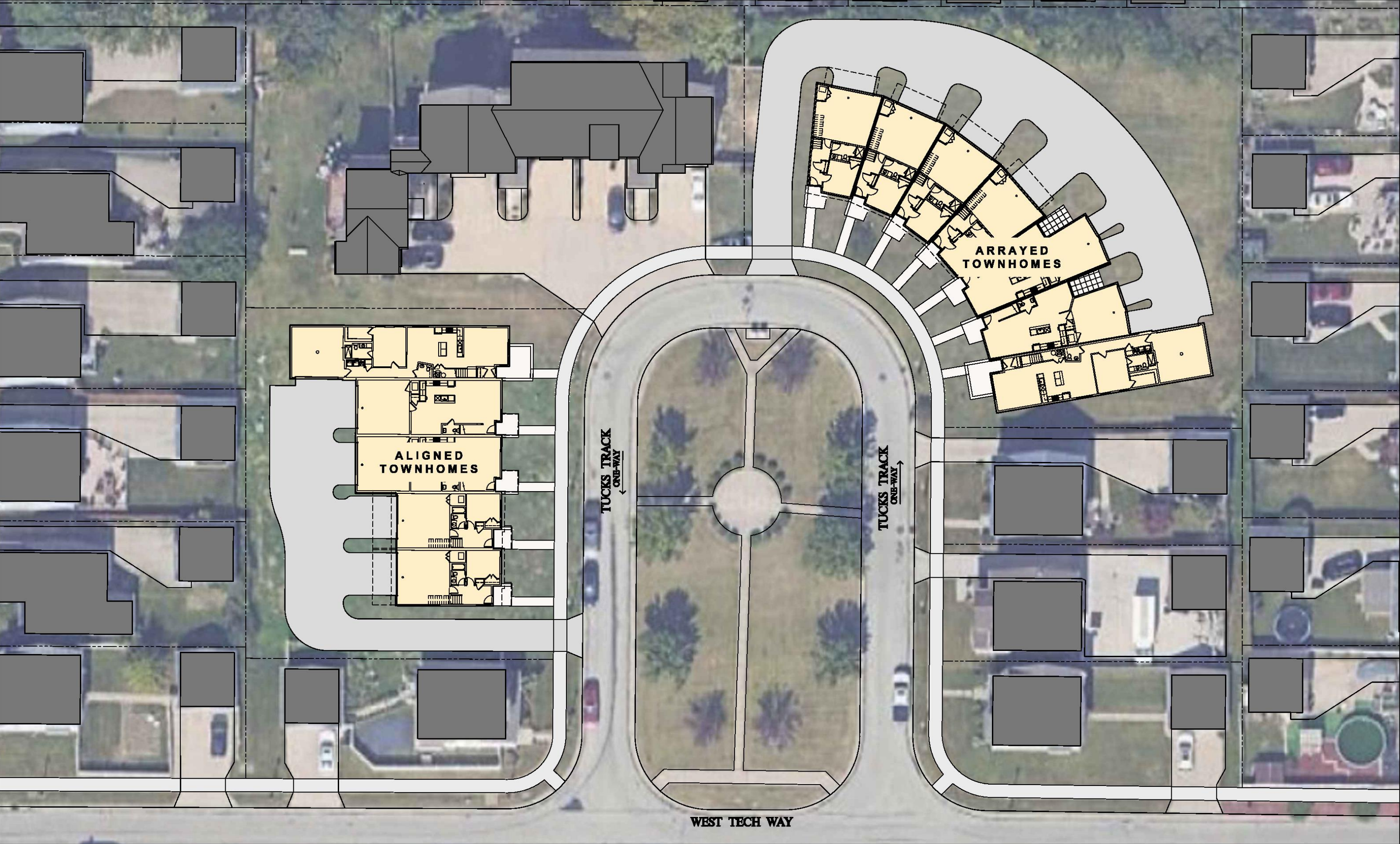
Centillionaires Development Group, LLC | Design Review & Planning Commission | 2024-12-18



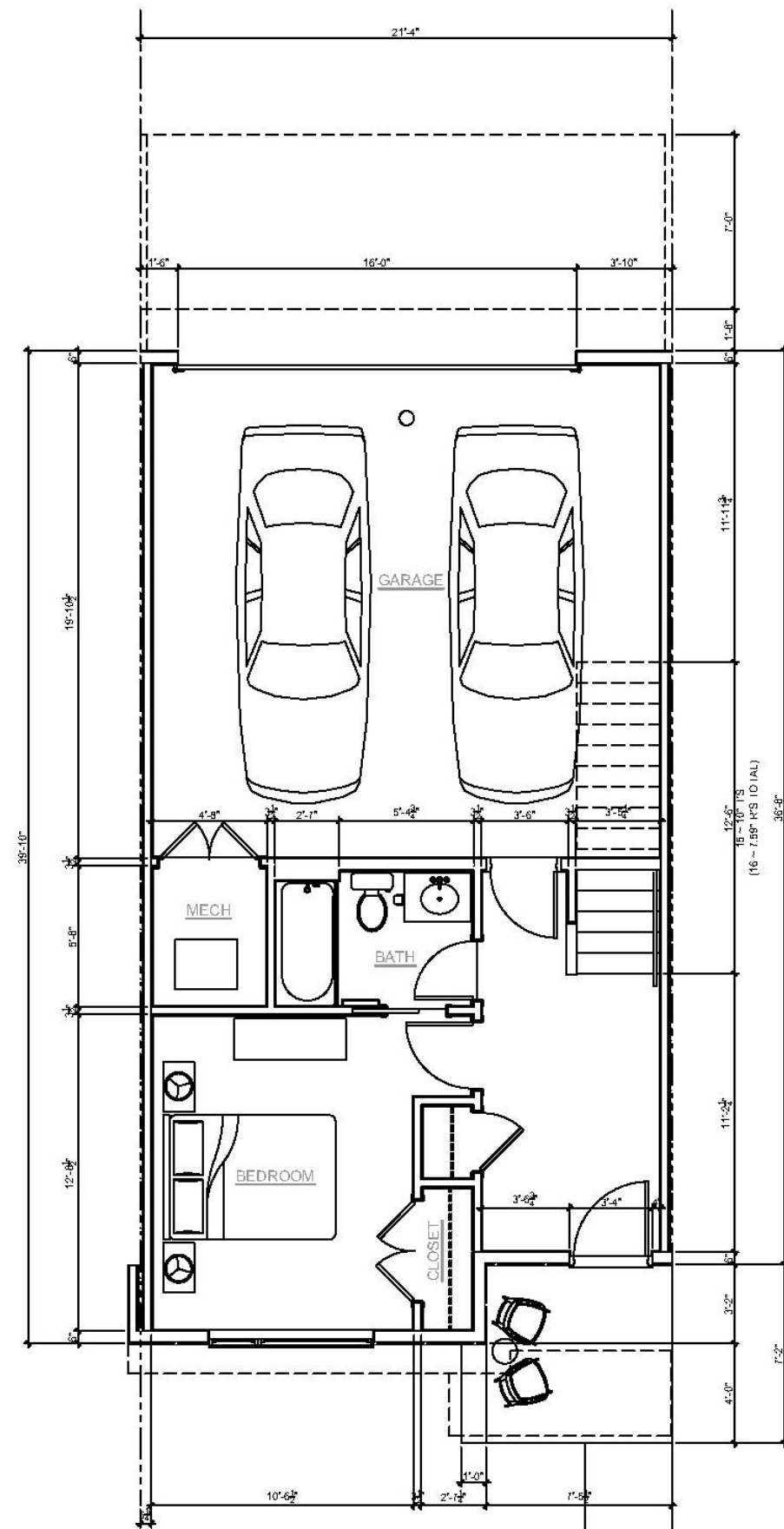
Context Map



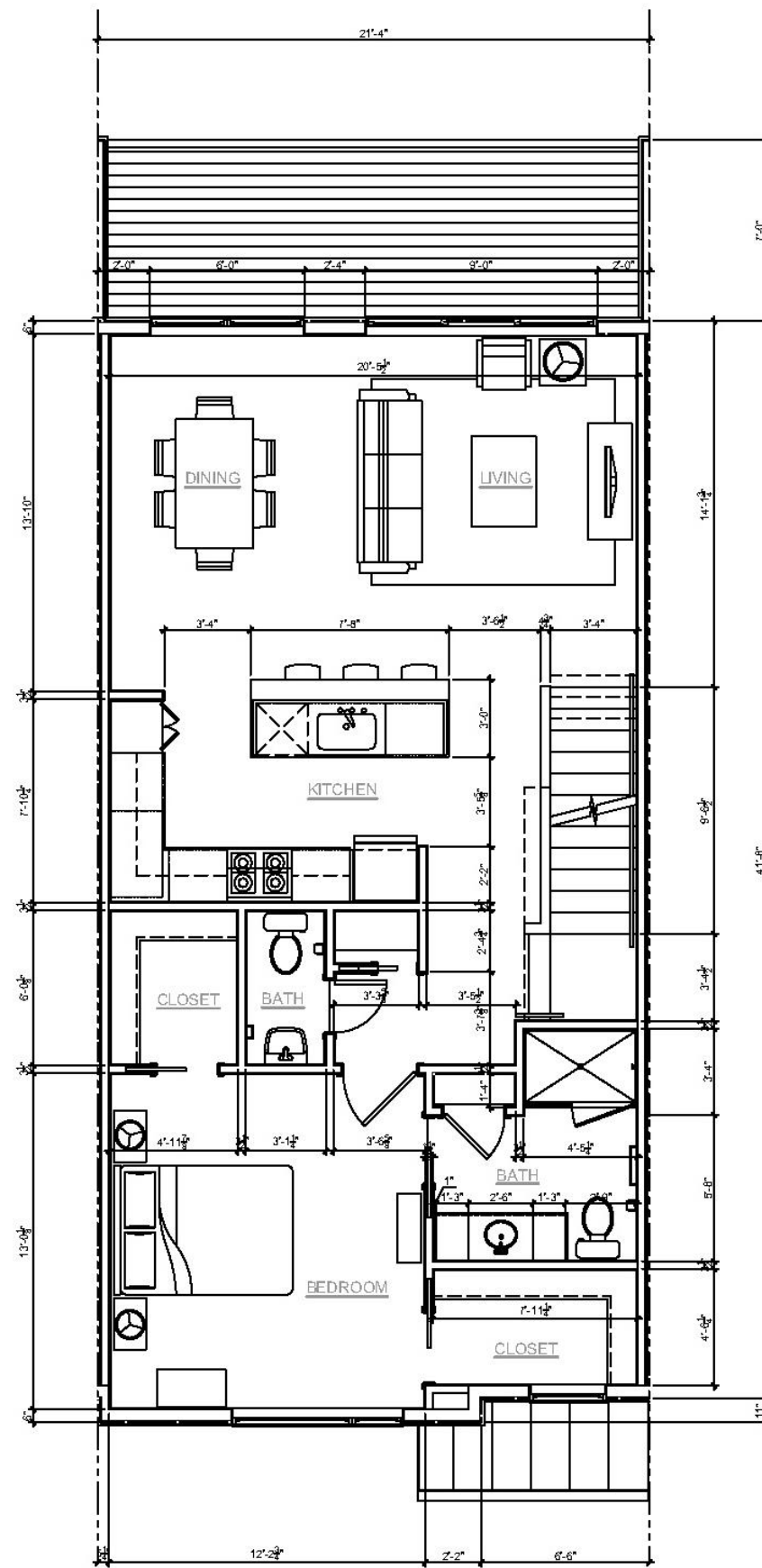
Street View Photos of Site Context



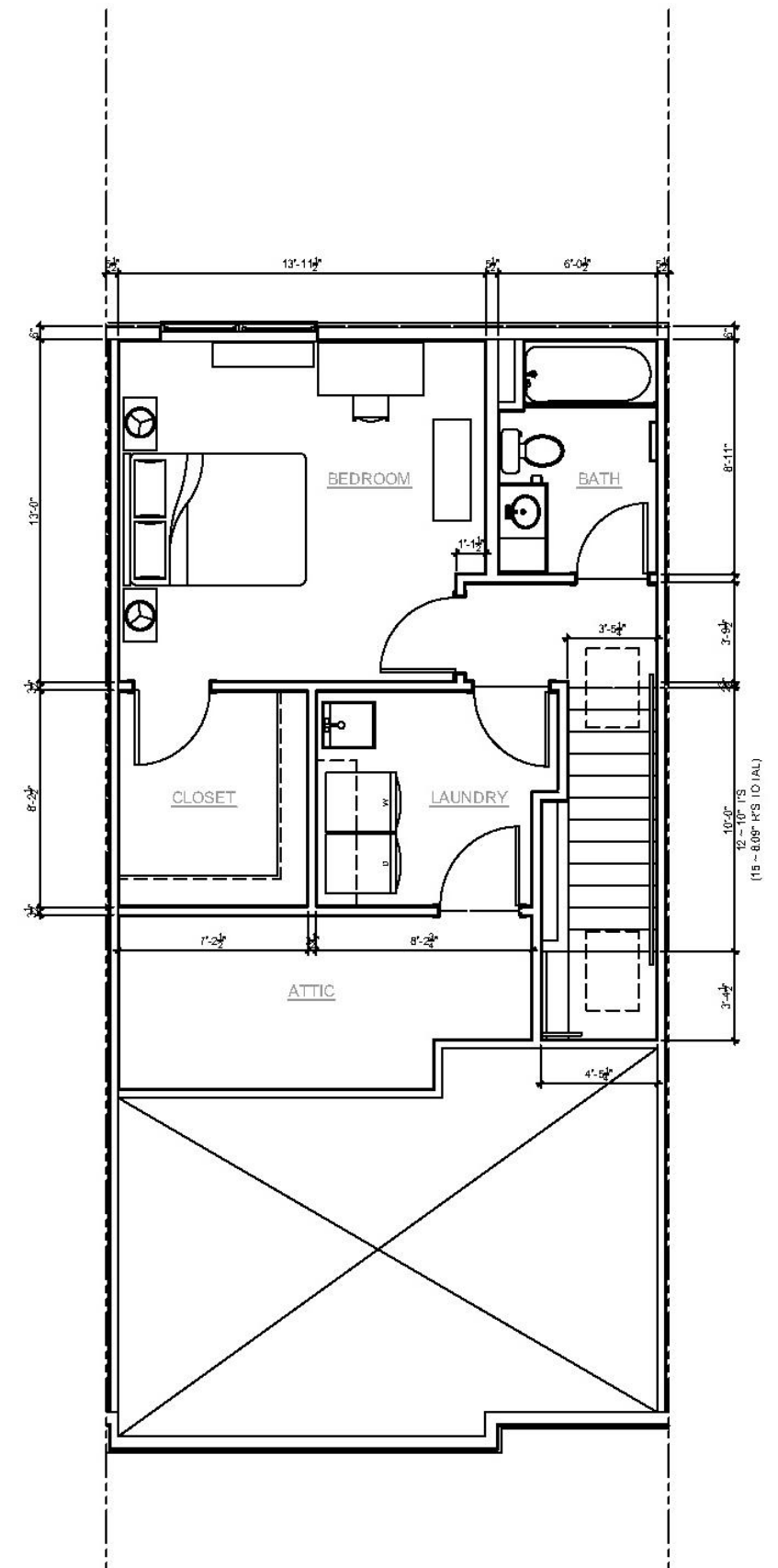
Proposed Site Development Plan



FIRST FLOOR
386 SF



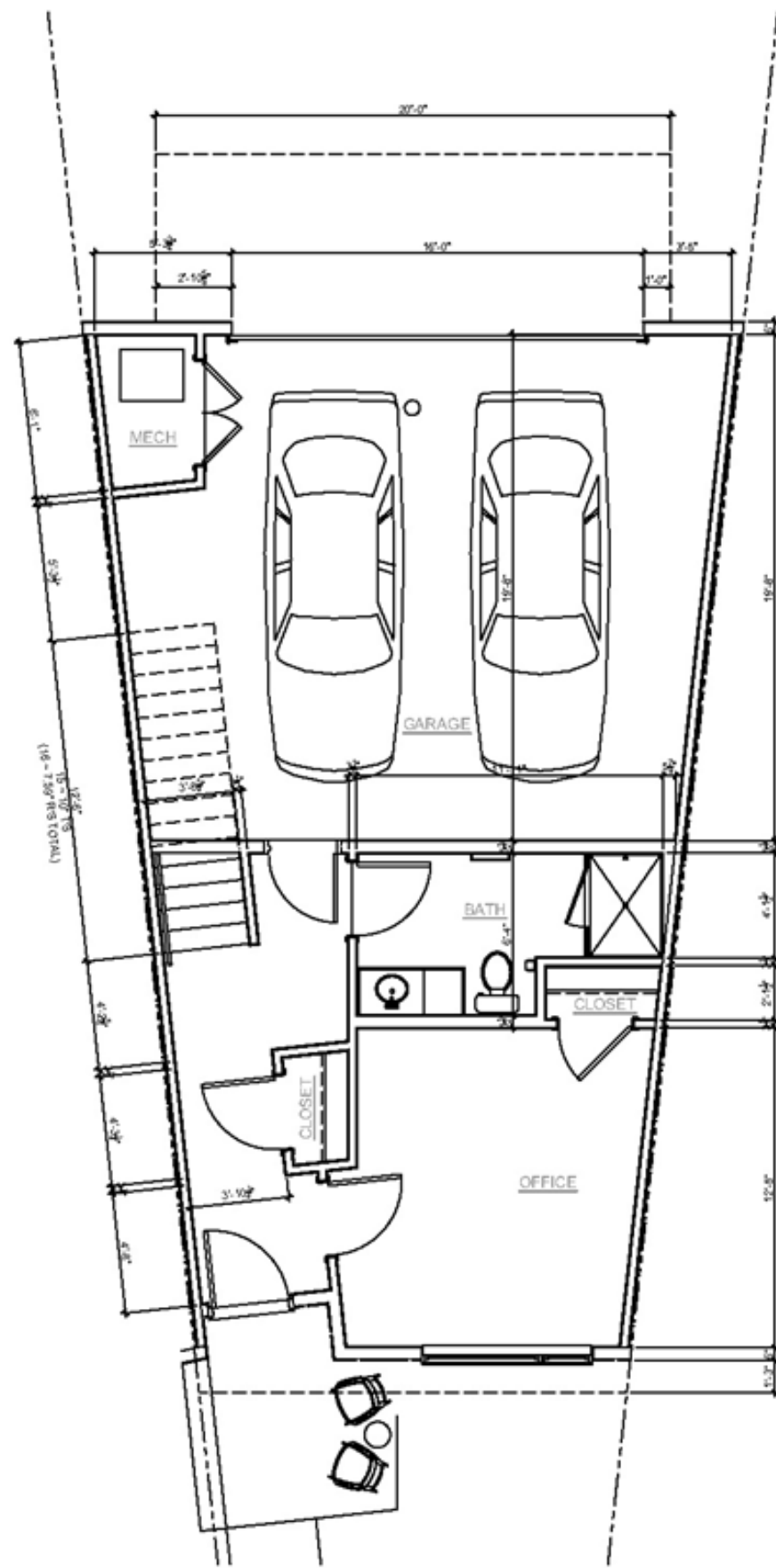
SECOND FLOOR
901 SF



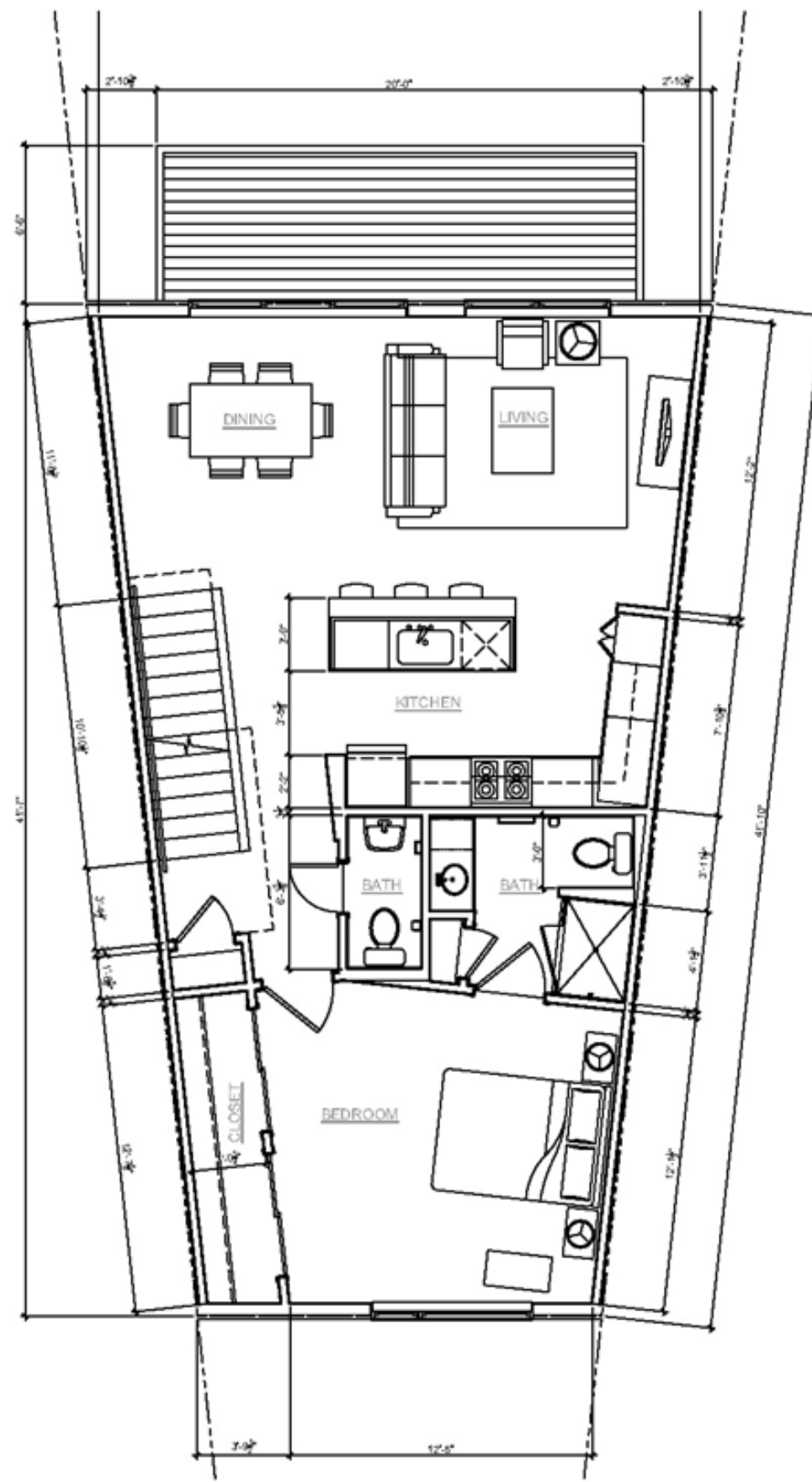
THIRD FLOOR
433 SF

UNIT 1A - 3 BEDROOM

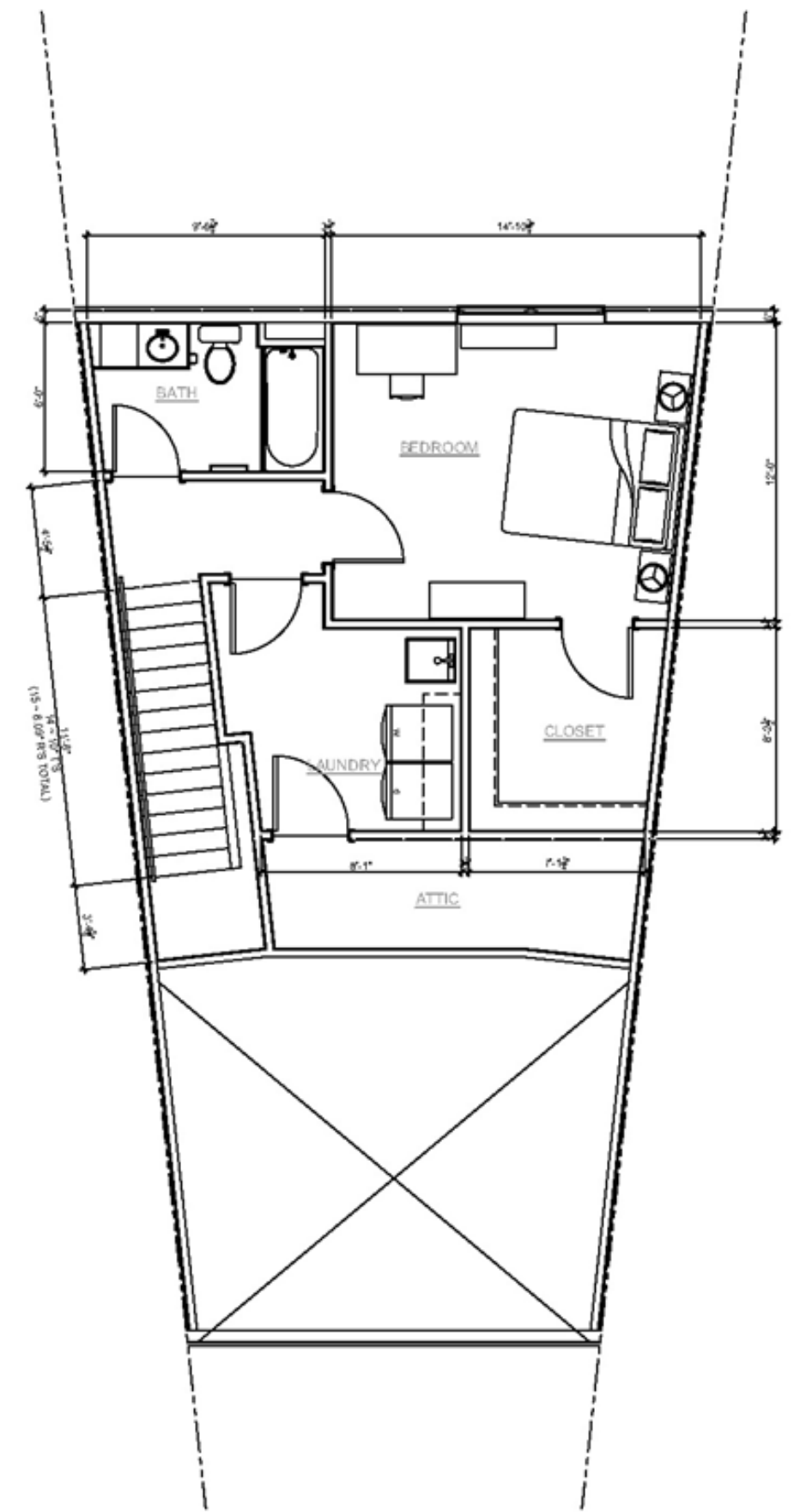
1,720 SF



FIRST FLOOR
370 SF



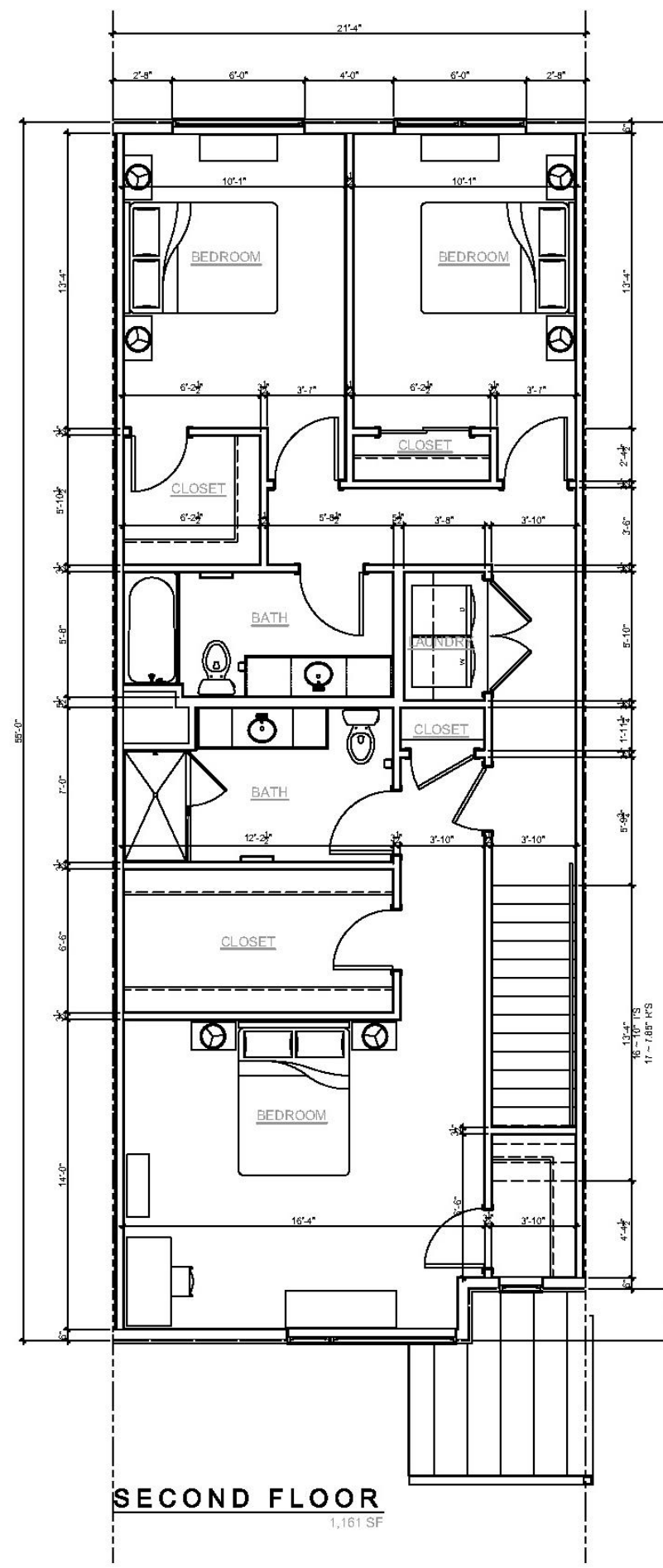
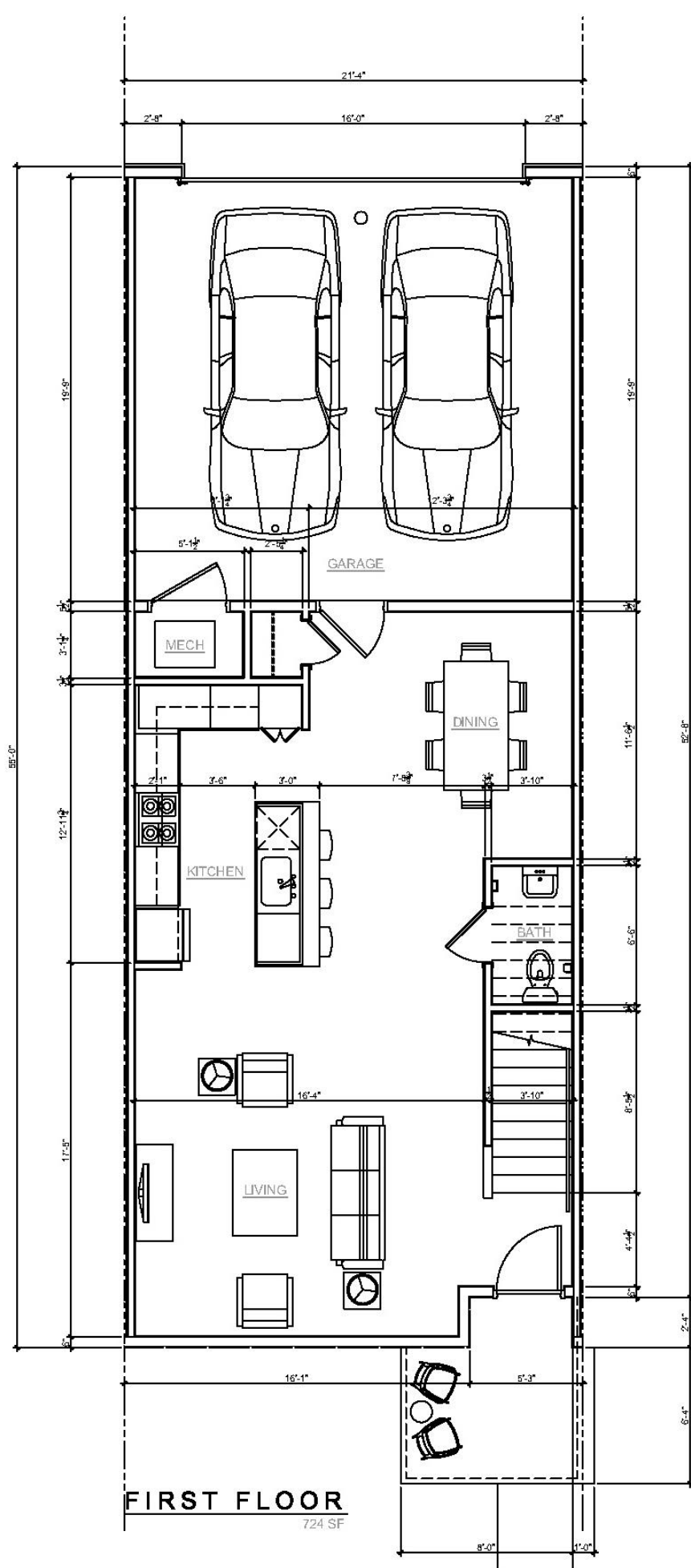
SECOND FLOOR
880 SF



THIRD FLOOR
479 SF

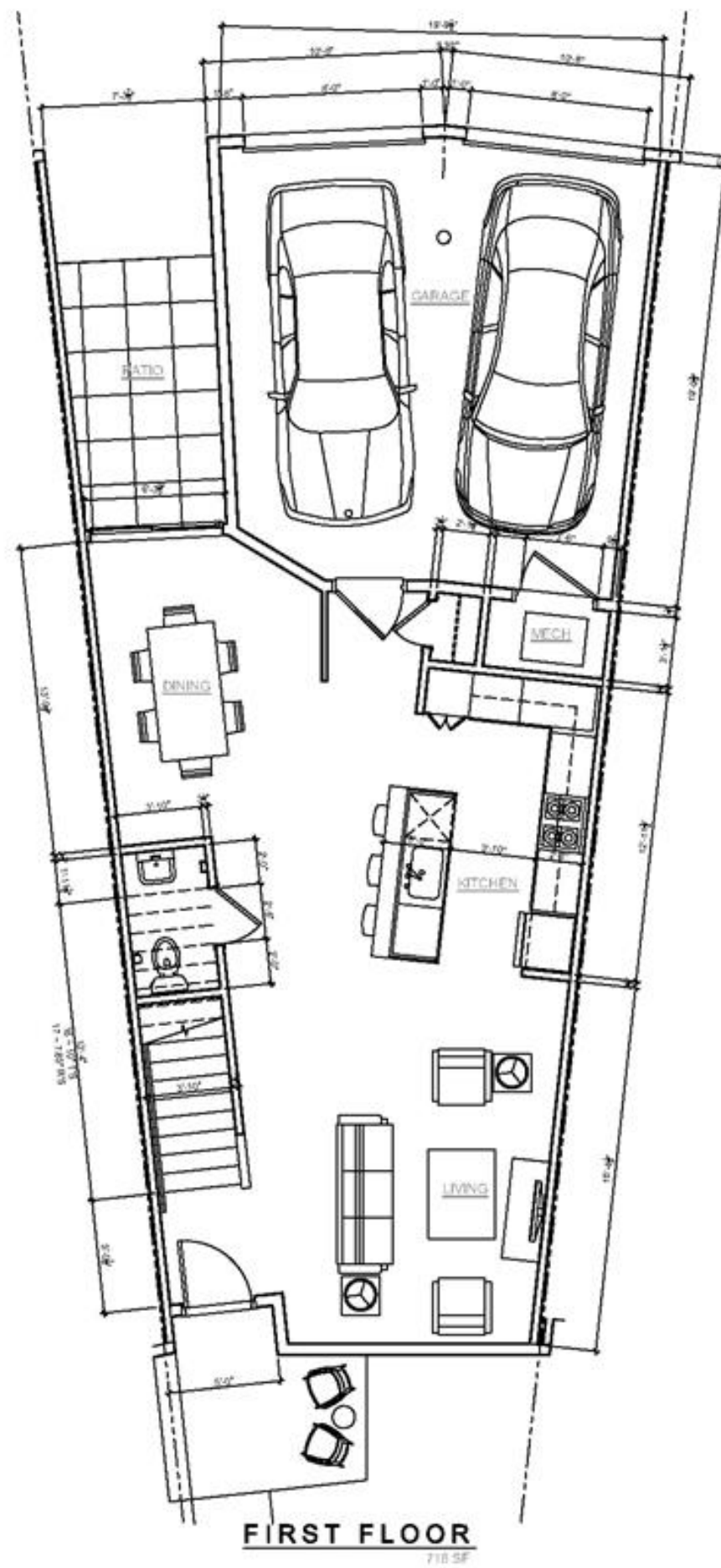
UNIT 1B - 2 BEDROOM

1,729 SF

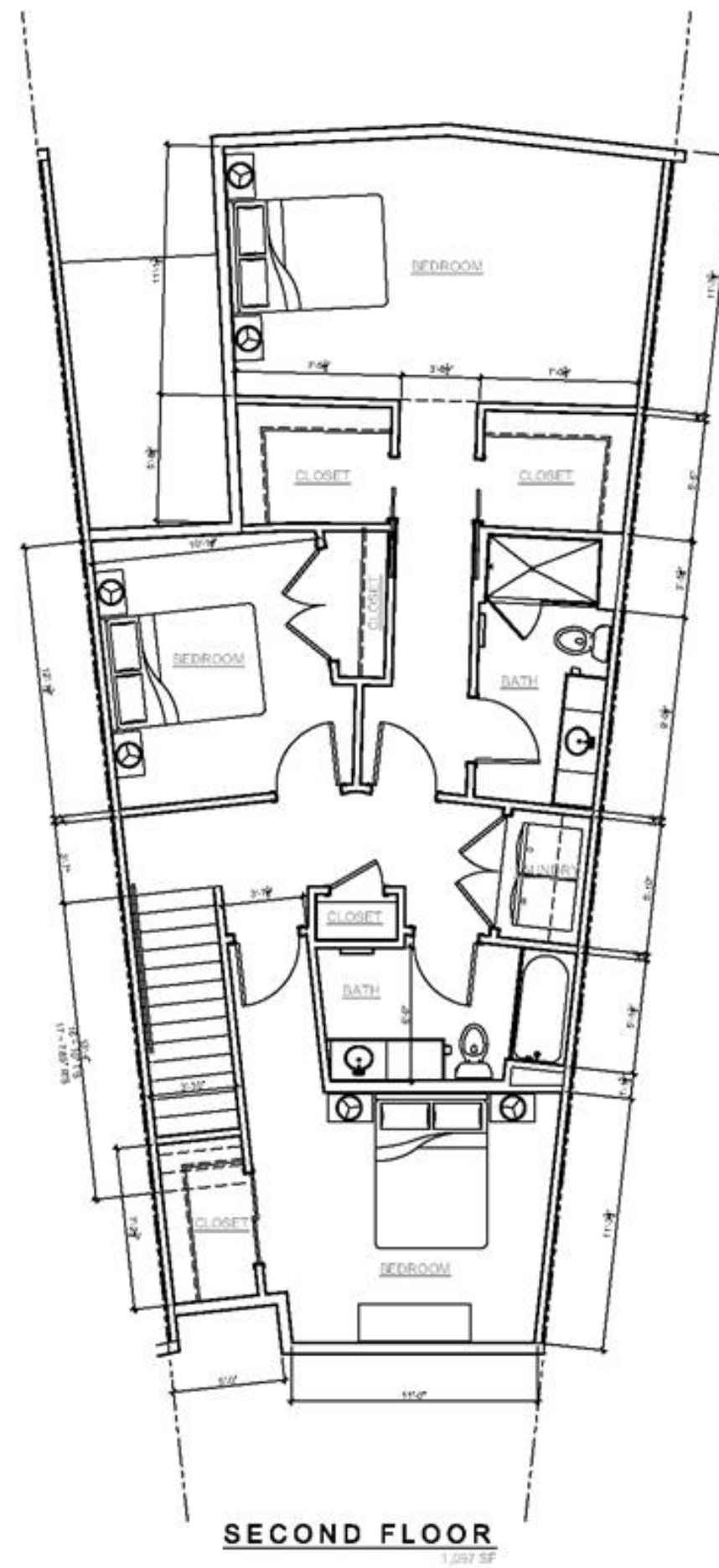


UNIT 2A - 3 BEDROOM

1,885 SF



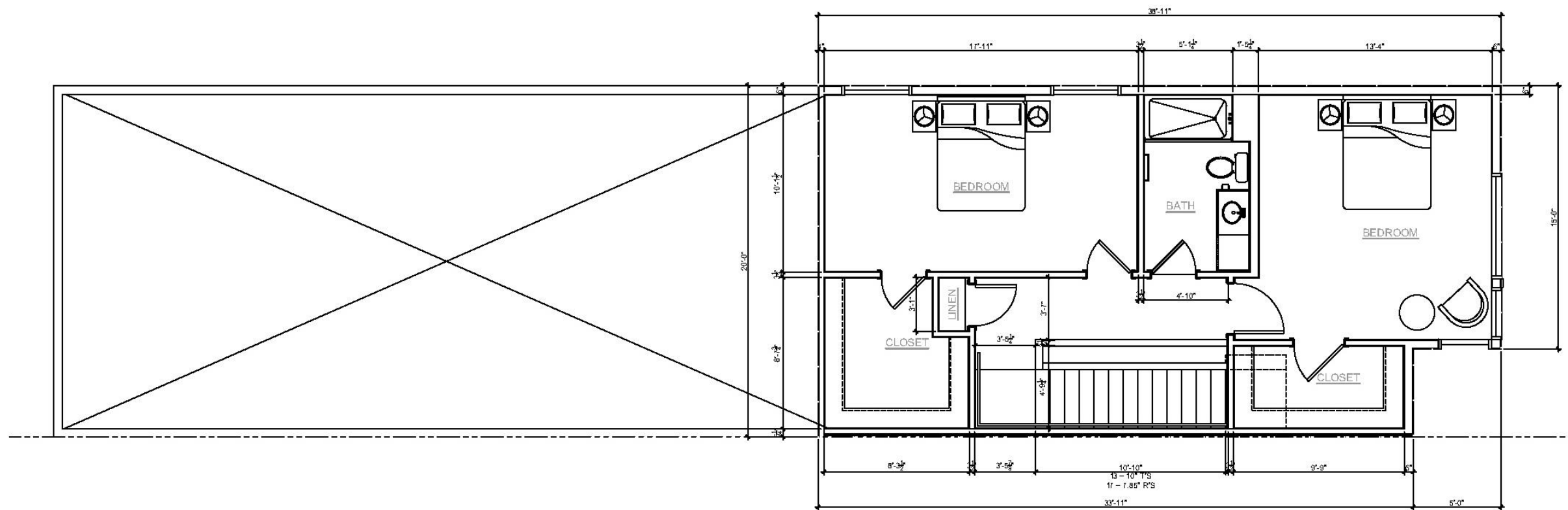
FIRST FLOOR
716 SF



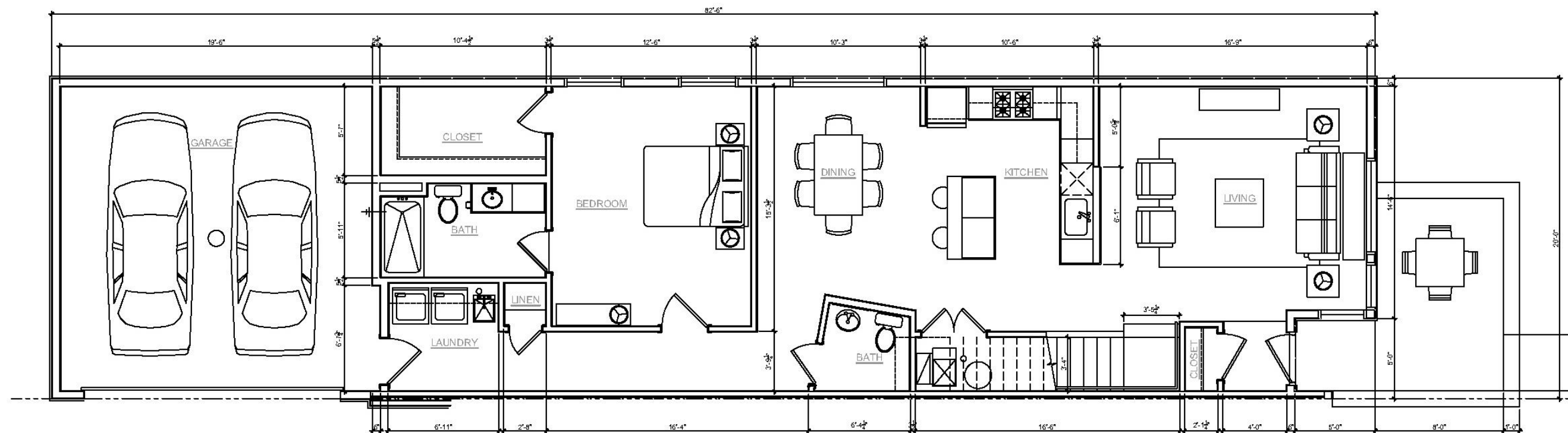
SECOND FLOOR
1,097 SF

UNIT 2B - 3 BEDROOM

1,813 SF

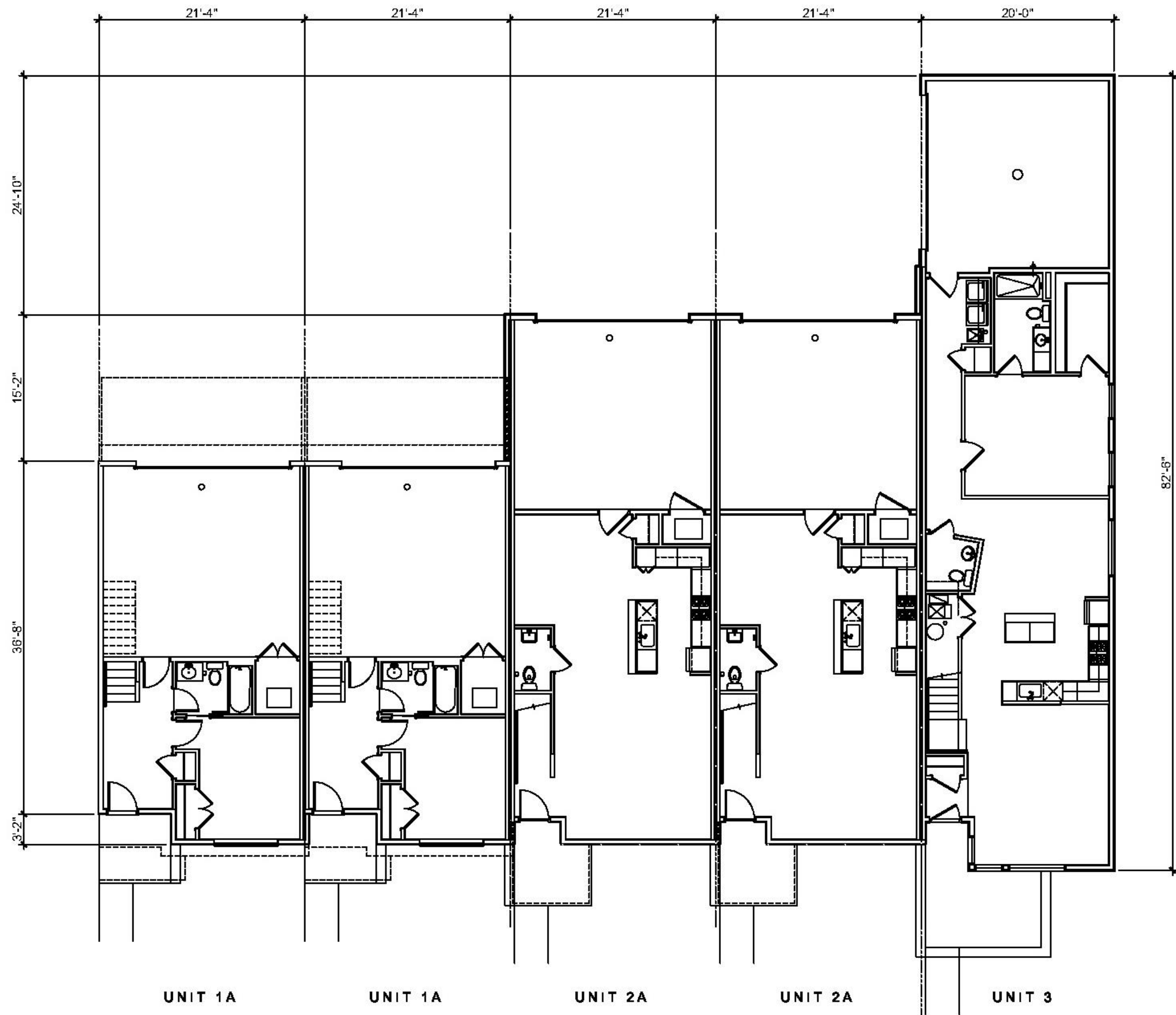


SECOND FLOOR
753 SF

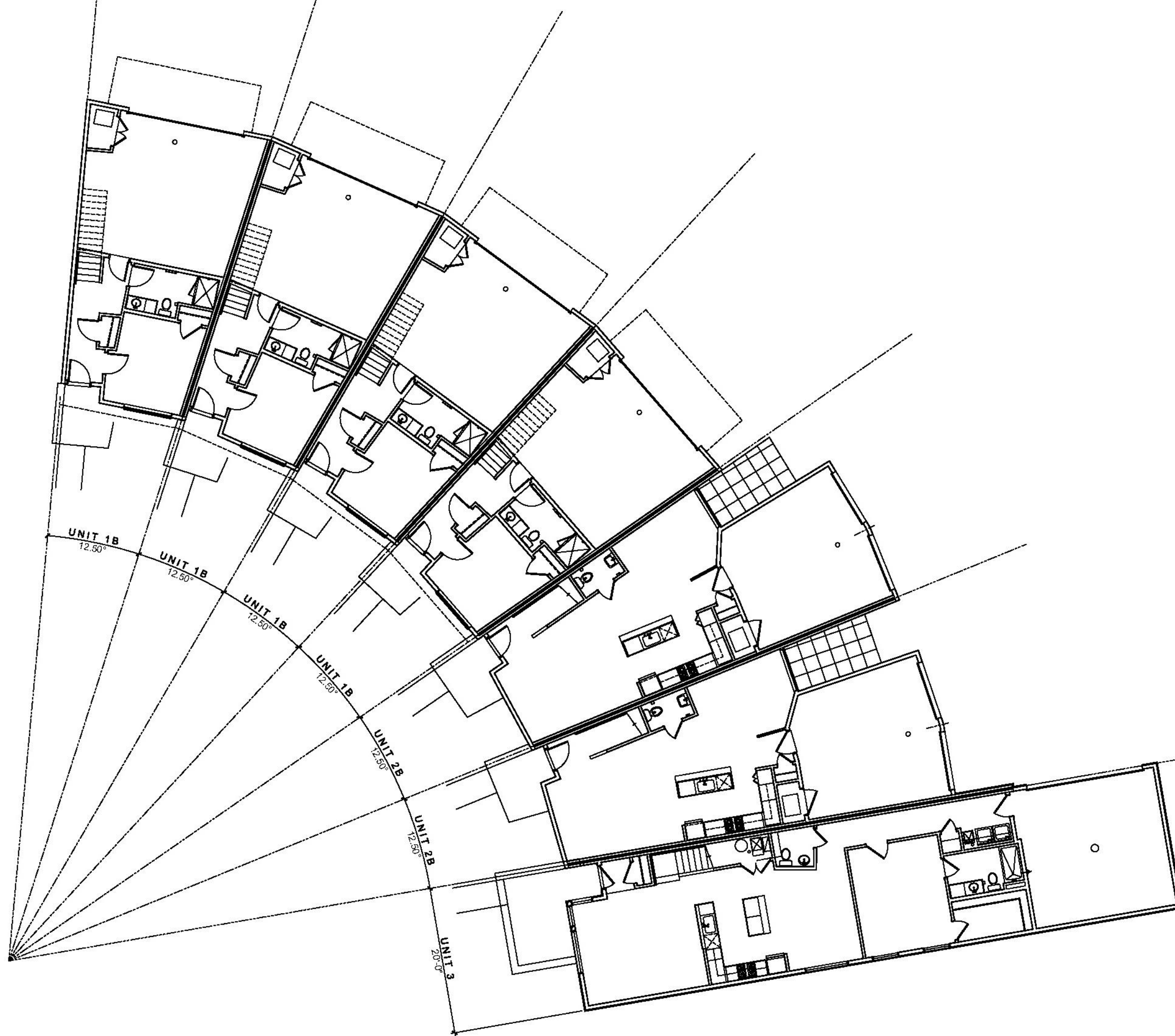


FIRST FLOOR
1,217 SF

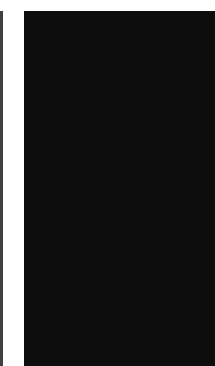
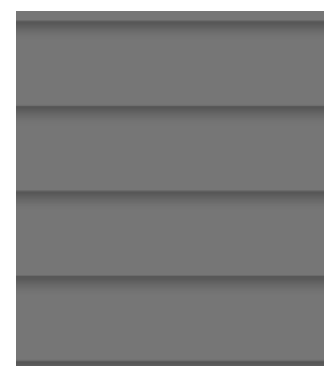
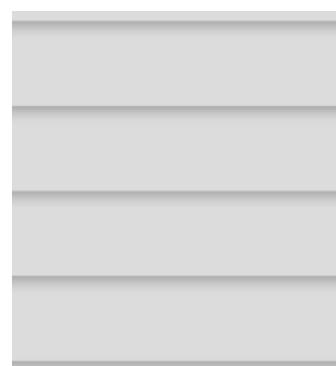
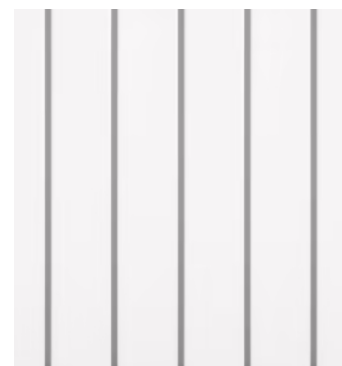
UNIT 3 - 3 BEDROOM 1,970 GSF



[ALIGNED TOWNHOME]
Building First Floor Plan



[ARRAYED TOWNHOME]
Building First Floor Plan



PRECAST:
North America Cast Stone:
Quarry Stone

FACE BRICK:
Glen-Gery:
Golden Dawn Wirecut

VERTICAL VINYL SIDING:
Certainteed: Perimeter Triple 3-1/3"
Colonial White & Charcoal Gray

HORIZONTAL LAP VINYL SIDING:
Certainteed: MainStreet 5" Clapboard
Colonial White & Charcoal Gray

FIBER CEMENT:
Hardie, Painted

WINDOWS
Vinyl

ASHPALT SHINGLES:
Certainteed: Landmark:
Georgetown Gray

Exterior Materials



[ALIGNED TOWNHOME] Front Elevation



[ARRAYED TOWNHOME] Front Elevation



View of Front from North



View of Front from South



Aerial View with Arrayed Townhome
Beyond



View of Rear from South





View of Front from West



View of Front from South



View of Rear from North



Aerial View with Aligned Townhome Beyond





Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



Far West Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 9:00 AM

Case Number: FW2024-13 Meeting Date: 12.18.24
Project Name: West Tech Townhomes Ward #: 15
Project Address: West Tech Way & Tucks Track Dr
Project Rep. : John Wagner, City Architecture
Existing Use: vacant Proposed Use: townhouses
Project Scope: 12 new townhouses on vacant land

Design Review Level Applied For: Final

Motion by Design Review Committee:

Approve (as presented) ☒ Approve (with stated conditions) ☐ Disapprove ☐ Table ☐

Conditions:

Committee Action:		(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)			
Andrews	(Alt.)	<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Blazek		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Hewitt		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Horton		<input type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Howard		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Orehek		<input type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Petrakis		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Provolt	(VC)	<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Starry		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Tinnirello		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.
Young	(C)	<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.

Applicant Signature & Date:

Virtual Meeting – No Signature Required

Mar 7, 2025

FW2024-01 – 54th and Bridge Single Family Homes

Project Address: 1843 West 54th St

Type: New Construction

Project Representative: Andrew Gotlieb, Keystone Homes

Approval: Conceptual

Ward 15 – Council Member Spencer | SPA: Detroit Shoreway

54TH & BRIDGE CT. TOWNHOMES

NEW TOWNHOME DEVELOPMENT

1843 W. 54TH ST.
(W 54TH ST. & BRIDGE COURT)
CLEVELAND, OH 44102

PLANNING SUBMISSION 02.06.2025

PROJECT INFORMATION

PROJECT ADDRESS: 1843 W. 54TH ST.
(W 54TH ST. & BRIDGE COURT)
CLEVELAND, OH 44102

PROJECT SUMMARY: NEW TOWNHOME DEVELOPMENT

BUILDING SUMMARY: NEW SIX-TOWNHOME RESIDENTIAL DEVELOPMENT

1ST FLOOR = 602 GSF
2ND FLOOR = 711 GSF
3RD FLOOR = 711 GSF
4TH FLOOR/ROOF DECK = 374 GSF

TOTAL AREA = 2,398 GSF

CONSTRUCTION TYPE: VB

SPRINKLER SYSTEM:

FIRE ALARM SYSTEM:

OCCUPANCY CLASSIFICATION:

OCCUPANTS:

ZONING INFORMATION

PARCEL NUMBER: 00233047

ADDRESS: 1843 WEST 54TH ST. (W. 54TH ST. & BRIDGE COURT)

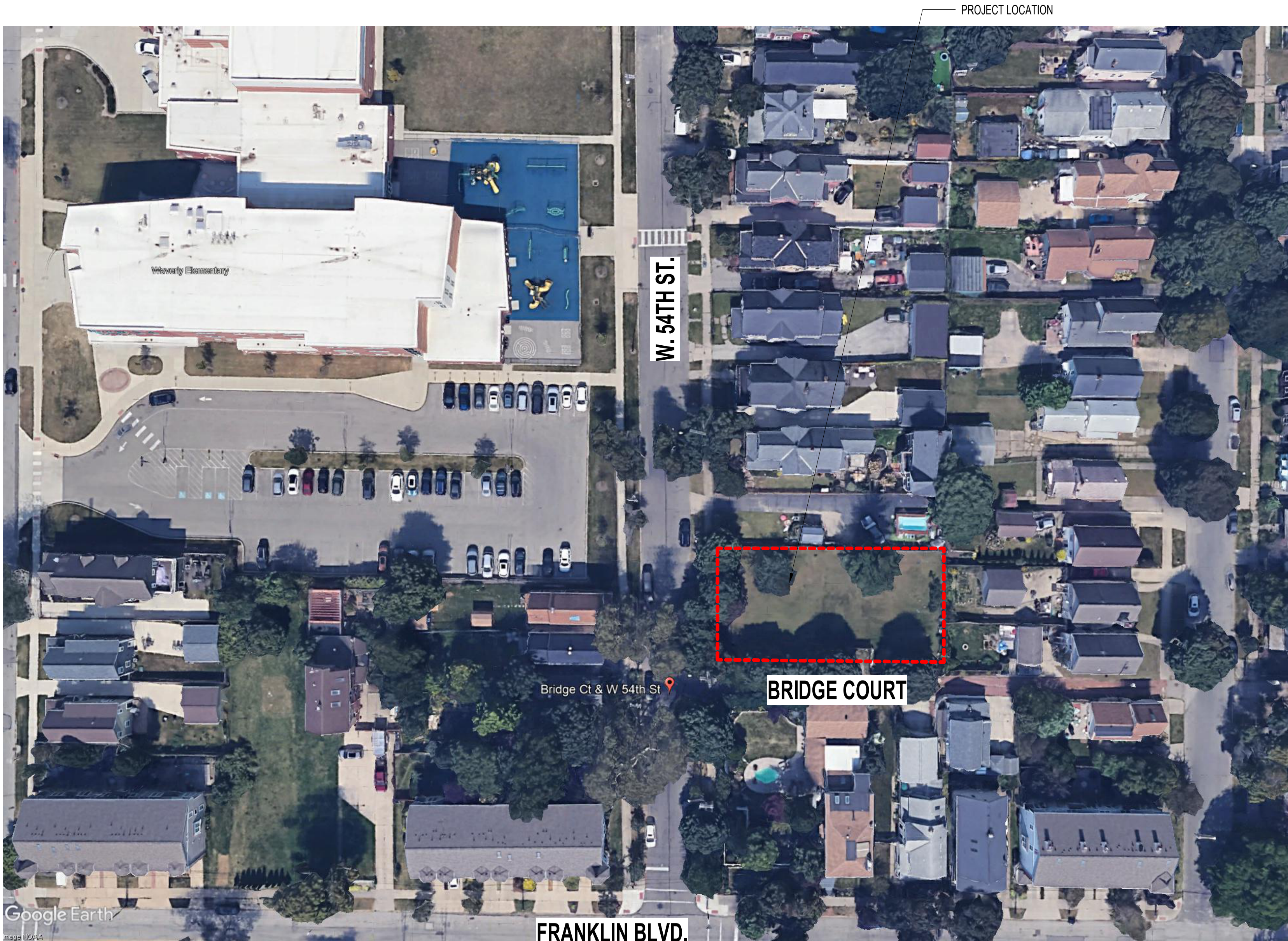
ZONING CLASSIFICATION: LR-C2 LOCAL RETAIL BUSINESS DISTRICT

USE DISTRICT: TWO-FAMILY

AREA DISTRICT: B

HEIGHT DISTRICT: 1 (MAX. HT. 35')

LOT AREA: 10,535 SF (0.24 ACRES)



MASTER DRAWING INDEX				
NO.	NAME	REV. NO.	CURRENT REV.	DATE
GENERAL				
G-1	TITLE SHEET	1	PLANNING SUBMISSION	02.06.2025
G-1.1	EXISTING CONDITIONS SURVEY			
G-100	SITE AERIAL VIEWS & PHOTOS	1	PLANNING SUBMISSION	02.06.2025
G-101	SITE PLAN - PROPOSED	1	PLANNING SUBMISSION	02.06.2025
G-102	SITE ELEVATIONS & 3D VIEWS	1	PLANNING SUBMISSION	02.06.2025
ARCHITECTURAL				
A-1	TOWNHOME FLOOR PLANS	1	PLANNING SUBMISSION	02.06.2025
A-2	TOWNHOME ROOF PLAN	1	PLANNING SUBMISSION	02.06.2025
A-3	EXTERIOR ELEVATIONS	1	PLANNING SUBMISSION	02.06.2025
A-4	EXTERIOR ELEVATIONS	1	PLANNING SUBMISSION	02.06.2025

GENERAL NOTES

VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING WORK. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.

PERFORM WORK SO AS TO AVOID DISRUPTION OF TENANT OPERATIONS. PROVIDE TEMPORARY DUST/DEBRIS CONTROL, AS REQUIRED. MAINTAIN ACCESS TO ALL MEANS OF EGRESS AND EXITS.

ALL SUB-CONTRACTORS (I.E. FIRE PROTECTION, HVAC FIRE ALARM, ELECTRICAL, ETC.) TO DESIGN AND INSTALL SYSTEM PER TENANT / OWNER REQUIREMENTS AND IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.

PROVIDE ANY BRACING, SHORING, AND TEMPORARY SUPPORTS AS REQUIRED.

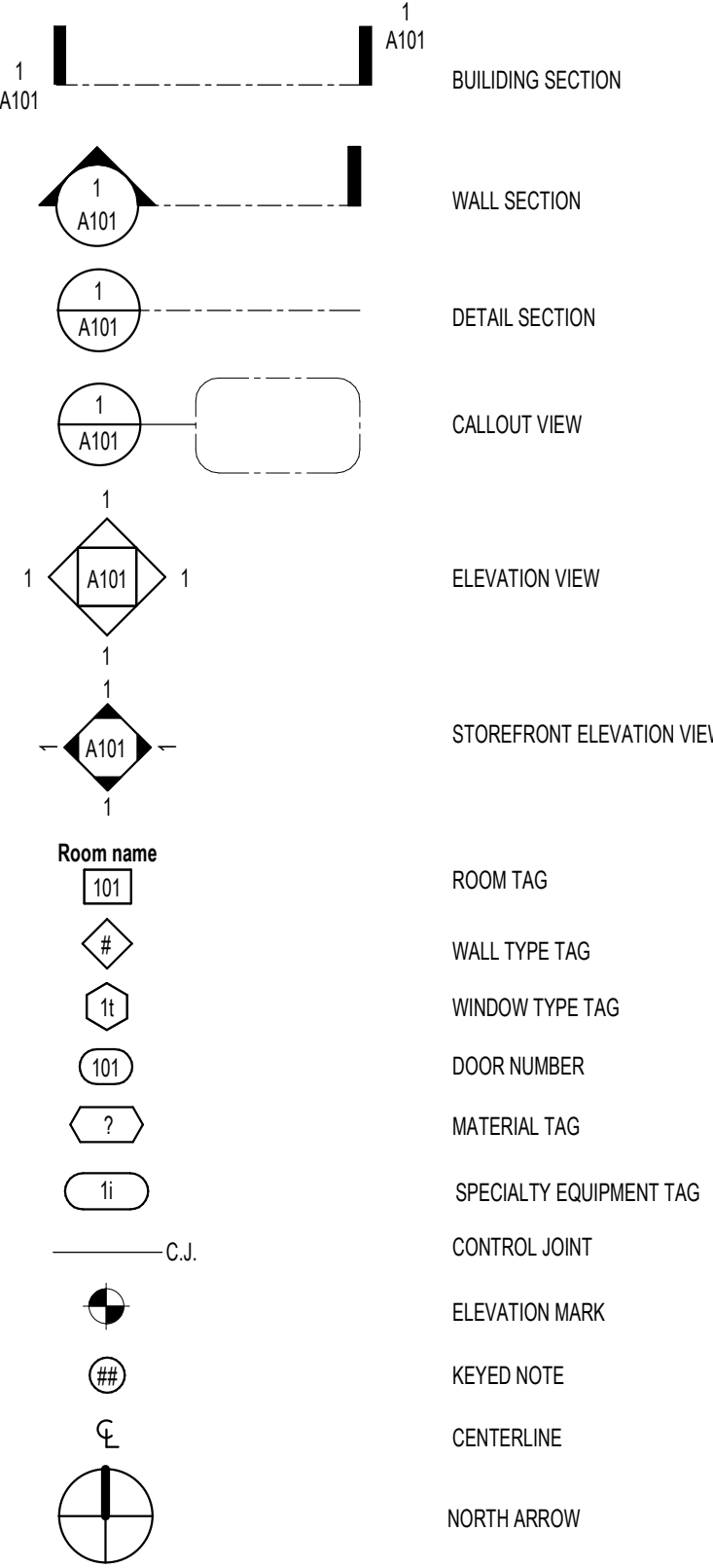
ALL FLOOR, WALL, CEILING, AND MISC. FIRE RESISTIVE ASSEMBLIES AND CONSTRUCTION SHALL BE OF THE FIRE RATING CALLED FOR ON THE DRAWINGS AND / OR AS REQUIRED BY CODE. FIRE RATED ASSEMBLIES AND CONSTRUCTION INCLUDING ALL FIRE STOPPING, FIRE RATED DOORS AND MISC. FIRE RESISTIVE REQUIREMENTS SHALL BE LEFT UNCONCEALED AS REQUIRED FOR INSPECTION BY THE BUILDING OFFICIAL.

ALL ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED.

SEAL ALL PENETRATIONS THROUGH BUILDING ENVELOPE.

SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE OWNER'S REPRESENTATIVE BEFORE COMMENCEMENT OF CONSTRUCTION. BIDS SHALL OTHERWISE BE BASED ON THE MOST COSTLY INTERPRETATION BY THE OWNERS REPRESENTATIVE AND ARCHITECT. WARRANTY FOR ANY SUBSTITUTIONS OR ALTERNATES SHALL MATCH THAT SHOWN FOR ORIGINAL SPECIFICATION.

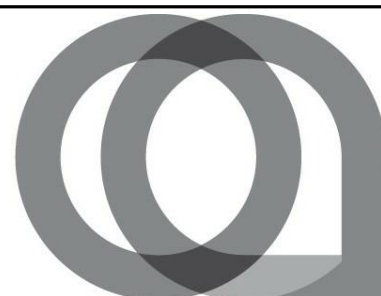
SYMBOL LEGEND



ABBREVIATIONS

#	POUND OR NUMBER	HR	HOUR
&	AND	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
@	AT	IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
ACT	ACOUSTIC CEILING TILE	ILO	IN LIEU OF
AD	AREA DRAIN	INSUL	INSULATED OR INSULATION
AFF	ABOVE FINISHED FLOOR	INT	INTERIOR
ALUM	ALUMINUM	LO	LOW
AND	AND/OR	MAX	MAXIMUM
BSMT	BASEMENT	MO	MASONRY OPENING
BYND	BEYOND	MECH	MECHANICAL
BOT	BOTTOM	MEMBR	MEMBRANE
CIP	CAST IN PLACE	MIN	MINIMUM
CHNL	CHANNEL	MRCWB	MOISTURE-RESISTANT GYPSUM WALL BOARD
CJL	CONTROL JOINT	MTL	METAL
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NO	NUMBER
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
COL	COLUMN	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
COMPR	COMPRESSIBLE	OFIO	OWNER FURNISHED, OWNER INSTALLED
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OH	OPPOSITE HAND
CPT	CARPET	OZ	OUNCE
CT	CERAMIC TILE	PCC	PRE-CAST CONCRETE
CTYD	COURTYARD	PLUMB	PLUMBING
DBL	DOUBLE	PLYD	PLYWOOD
DEMO	DEMOLISH OR DEMOLITION	PT	PRESSURE TREATED, PAINT OR PAINTED
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
DIM	DIMENSION	RBR	RUBBER
DIMS	DIMENSIONS	RCP	REFLECTED CEILING PLAN
DN	DOWN	RD	ROOF DRAIN
DR	DOOR	REQD	REQUIRED
DWG	DRAWING	RO	ROUGH OPENING
EA	EACH	RM	ROOM
EJ	EXPANSION JOINT	SM	SIMILAR
EL	ELEVATION	SPEC	SPECIFIED OR SPECIFICATION
ELEC	ELECTRICAL	SPK	SPRINKLER OR SPEAKER
ELEV	ELEVATOR OR ELEVATION	STSL	STAINLESS STEEL
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	STC	SOUND TRANSMISSION COEFFICIENT
EQ	EQUAL	STL	STEEL
EXIST	EXISTING	STRUCT	STRUCTURE OR STRUCTURAL
EXP JT	EXPANSION JOINT	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	TELE	TELEPHONE
FD	FLOOR DRAIN OR FIRE DEPARTMENT	TLT	TOILET
FEC	FIRE EXTINGUISHER CABINET	TO	TOP OF
FIXT	FIXTURE	TOC	TOP OF CONCRETE
FLR	FLOOR	TOS	TOP OF STEEL
FM	FILLED METAL	TPD	TOILET PAPER DISPENSER
FO	FACE OF	TID	TELEPHONE/DATA
FND	FOUNDATION	TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	UIS	UNDERSIDE
GWB	GYPSUM WALL BOARD	VIF	VERIFY IN FIELD
HC	HOLLOW CORE	VP	VISION PANEL
HI	HIGH	W/	WITH
HM	HOLLOW METAL	WD	WOOD
HP	HIGH POINT		

PROJECT TEAM:



ARCHITECT:
Oliver Architecture
7100 Euclid Avenue #200
Cleveland, OH 44103
216.245.2681
www.oliverarchitect.com

PRELIMINARY
NOT FOR CONSTRUCTION

54TH & BRIDGE CT. TOWNHOMES

NEW TOWNHOME DEVELOPMENT

1843 W. 54TH ST.
(W 54TH ST. & BRIDGE COURT)
CLEVELAND, OH 44102

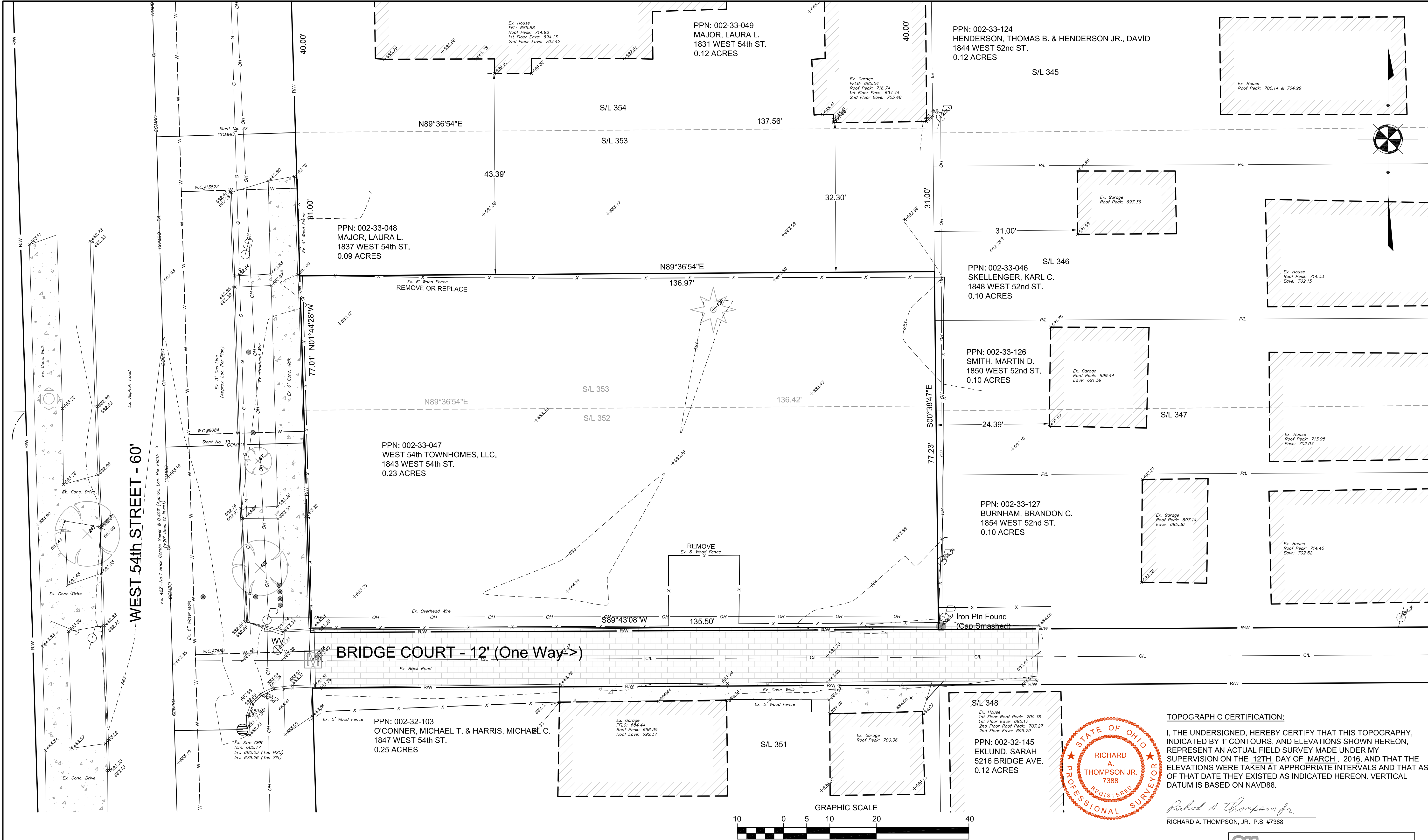
1 PLANNING SUBMISSION 02.06.2025

ISSUE DATE

TITLE SHEET

SCALE:
As indicated
DATE:
2/5/2025 4:58:22 PM

SHEET:
G-1



REV. No.	DATE	BY

STATE OF OHIO

REGISTERED PROFESSIONAL ENGINEER

KEVIN T. HOFFMAN

74831

DATE: 4/6/16

SCALE: HOR. 1"=10'

VERT. 1"=00'

FOLDER: DWG/Site Plan

FILENAME: Site Plan

TAB: C1

DRAWN: RMK

<div>SYMBOL LEGEND</div> <div><div><div>Ex. Clean Out</div><div>Ex. Catch Basin</div><div>Prop. Catch Basin</div><div>Ex. Yard Drain</div><div>Ex. Manhole</div><div>Ex. Storm Manhole</div><div>Prop. Storm Manhole</div></div><div><div>Ex. Sanitary Manhole</div><div>Prop. Sanitary Manhole</div><div>Prop. Curb Inlet</div><div>Ex. Gas Marker</div><div>Ex. Gas Meter</div><div>Ex. Gas Valve</div></div><div><div>Ex. Water Valve</div><div>Ex. Water Meter</div><div>Ex. Fire Hydrant</div><div>Prop. WL Valve</div><div>Well</div><div>Test Bore</div></div><div><div>Ex. Electrical Box</div><div>Ex. Guy Wire</div><div>Ex. Power Pole</div><div>Ex. Light Power Pole</div><div>Ex. Light Pole</div><div>Prop. Light Pole</div></div><div><div>Ex. Tree</div><div>Ex. Pine Tree</div><div>Ex. Bush</div><div>Ex. Mailbox</div><div>Ex. Sign</div><div>Ex. Telephone Box</div><div>Guard Post</div></div><div><div>Ex. Monument Box</div><div>Power Transformer</div><div>Sprinkler Control Box</div><div>Sprinkler Head</div><div>Traffic Signal Pole</div><div>Traffic Signal Box</div></div></div>

TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 12TH DAY OF MARCH, 2016, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson, Jr.
RICHARD A. THOMPSON, JR., P.S. #7388

811

O.U.P.S. REFERENCE
A-520-902-735, -751, -744
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:

THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

BRIDGE COURT
TOWNHOMES

WEST 54th STREET & BRIDGE COURT

CITY OF CLEVELAND - CUYAHOGA COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (Fax)
www.polaris-es.com



EXISTING CONDITIONS
SURVEY

CONTRACT No.

16050

SHEET OF

G-1.1

1

2

3

4

5



EXISTING SITE AERIAL VIEW FROM SOUTHEAST



EXISTING SITE AERIAL VIEW FROM SOUTHWEST



EXISTING RESIDENCES TO THE NORTH



EXISTING RESIDENCE DIRECTLY NORTH OF PROPERTY



EXISTING SCHOOL ACROSS W. 54TH ST.



INTERSECTION OF W. 5TH & BRIDGE CT.

PROJECT TEAM:



ARCHITECT:
Oliver Architecture
7100 Euclid Avenue #200
Cleveland, OH 44103
216.245.2661
www.oliverarchitect.com

PRELIMINARY
NOT FOR CONSTRUCTION

54TH & BRIDGE CT.
TOWNHOMES

NEW TOWNHOME DEVELOPMENT

1843 W. 54TH ST.
(W 54TH ST & BRIDGE COURT)
CLEVELAND, OH 44102

1 PLANNING
SUBMISSION

02.06.2025

ISSUE

DATE

SITE AERIAL VIEWS &
PHOTOS

SCALE

PRINT DATE:
2/5/2025 4:28:42 PM

SHEET

G-100



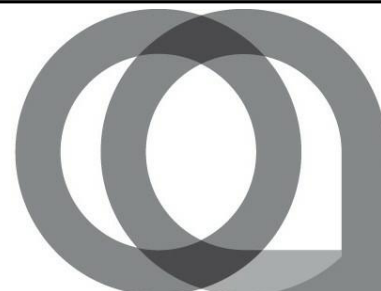
PROPOSED MASTER SITE PLAN
1" = 10'-0"



ZONING INFORMATION

PARCEL NUMBER: 00233047
ADDRESS: 1843 WEST 54TH ST. (W. 54TH ST. & BRIDGE COURT)
ZONING CLASSIFICATION: LR-C2 LOCAL RETAIL BUSINESS DISTRICT
USE DISTRICT: TWO-FAMILY
AREA DISTRICT: B
HEIGHT DISTRICT: 1 (MAX. HT. 35')
LOT AREA: 10,505 SF (0.24 ACRES)

PROJECT TEAM:



ARCHITECT:
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TOWNHOMES**

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**SITE PLAN -
PROPOSED**

SCALE:
As indicated
PRINT DATE:
2/5/2025 4:28:44 PM

SHEET:
G-101



D1 EXTERIOR ELEVATION - SITE WEST
1/8" = 1'-0"



B1 BRIDGE CT. (SOUTH) ELEVATION

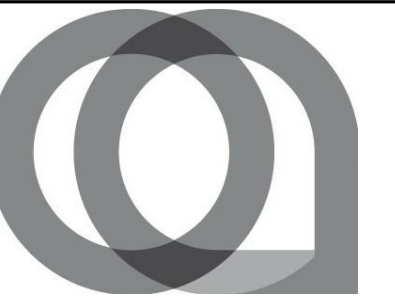


A1 VIEW FROM W. 54TH ST.



A4 VIEW FROM W. 54TH - LOOKING SOUTHEAST

PROJECT TEAM:



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SUBMISSION

02.06.2025

ISSUE

DATE

SITE ELEVATIONS & 3D VIEWS

SCALE:
1/8" = 1'-0"
PROJECT DATE:
2/5/2025 5:16:15 PM

SHEET:
G-102

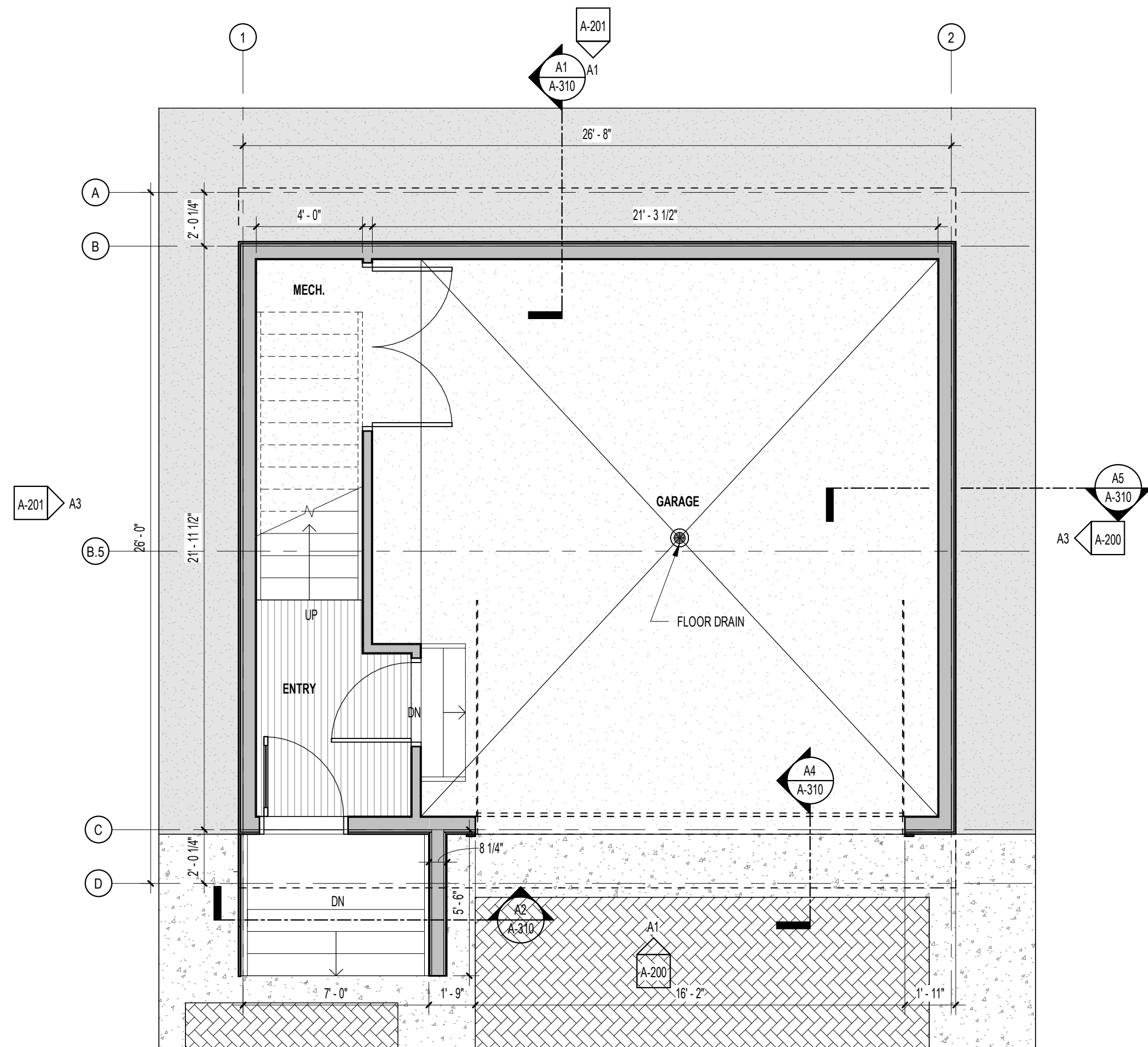
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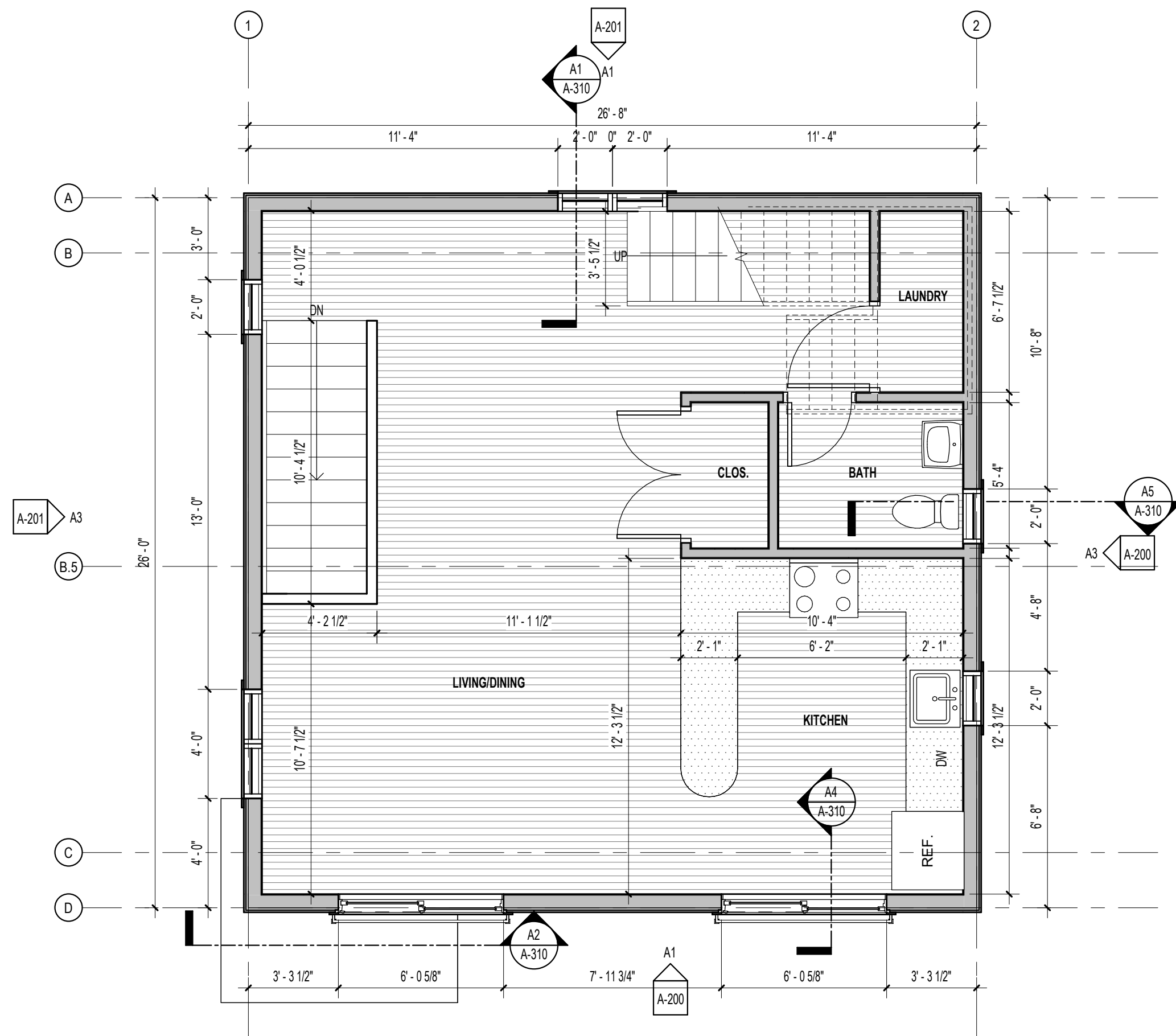
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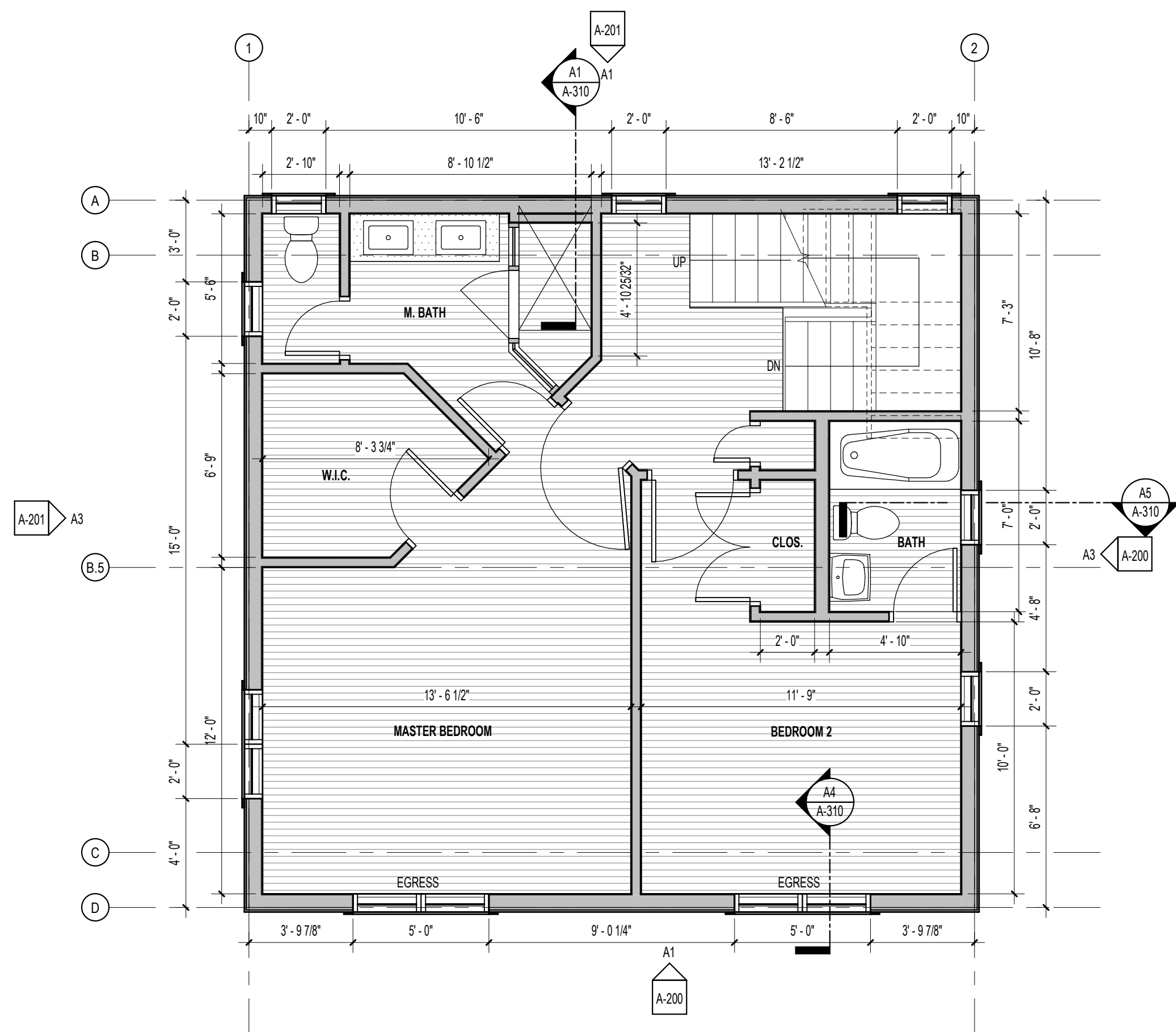
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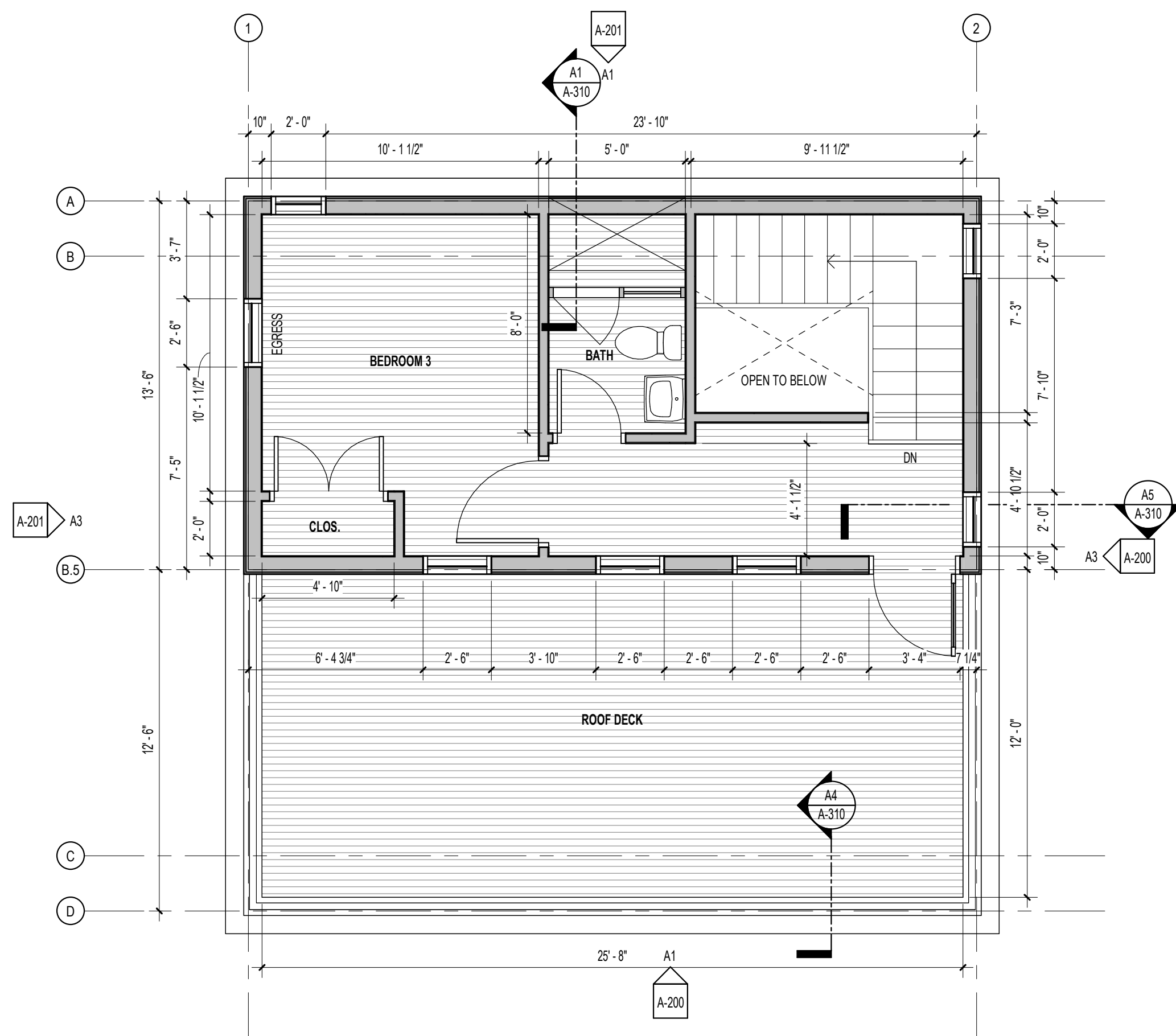
C1 PLAN - FIRST FLOOR
1/4" = 1'-0"



C3 PLAN - SECOND FLOOR
1/4" = 1'-0"



A1 PLAN - THIRD FLOOR
1/4" = 1'-0"

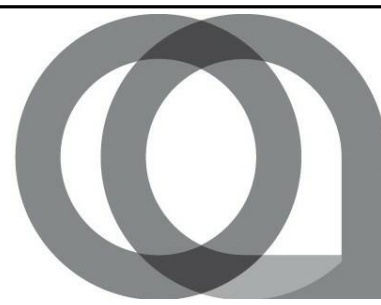


A3 PLAN - FOURTH FLOOR
1/4" = 1'-0"

PLAN LEGEND

- EXISTING CONSTRUCTION
- NEW WALLS
- MASONRY WALLS
- VAPOR BARRIER
- INSULATION
- DOOR
- INACTIVE LEAF OF DOUBLE DOOR
- OVERHEAD DOOR
- 6" DIAMETER METAL BOLLARD, CONCRETE FILLED
- CASEWORK
- EXISTING DOOR TO REMAIN
- DEMO WALLS
- EXISTING ELEMENT
- DEMO ELEMENT

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TOWNHOMES**

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02.06.2025

ISSUE

DATE

FLOOR PLANS

SCALE:
As indicated
PROJ DATE:
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SHEET

A-1

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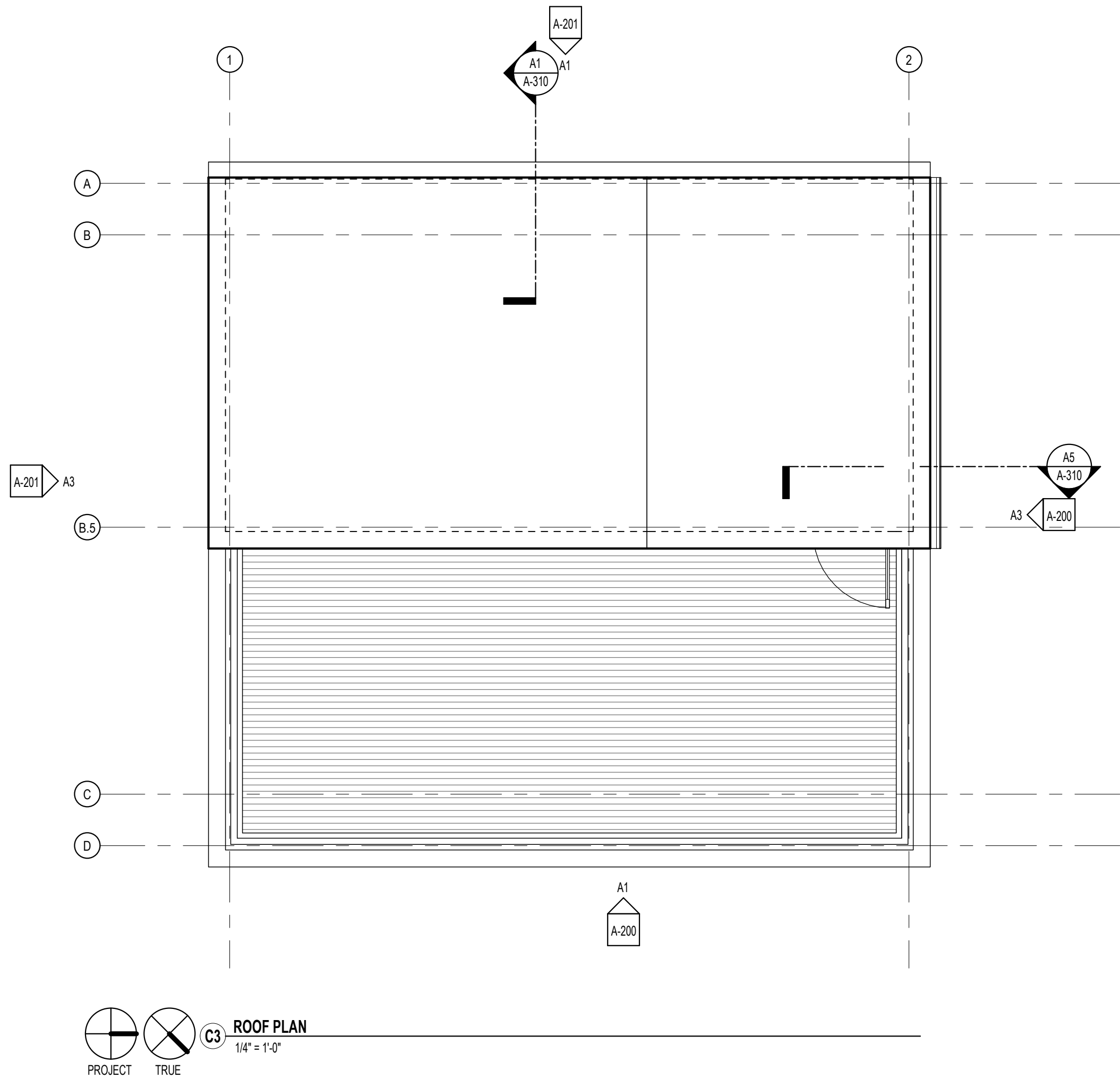
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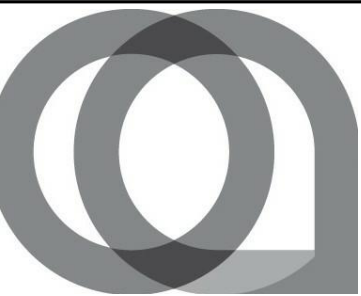
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B

A



PROJECT TEAM:



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02.06.2025

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DATE

ROOF PLAN

SCALE:

1/4" = 1'-0"

PRINT DATE:

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SHEET:

A-2

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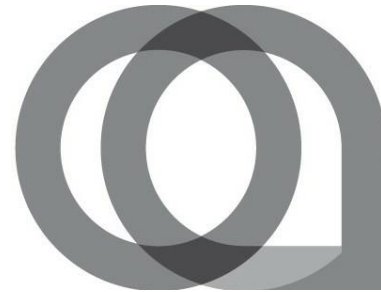
3

4

5

EXTERIOR MATERIAL SCHEDULE					
MARK	NAME	DESCRIPTION	SIZE	COLOR	COMMENTS
C-01	CONCRETE, CAST-IN-PLACE	CAST IN PLACE CONCRETE, SEALED	N/A	NATURAL	SMOOTH FINISH
CW-1	COMPOSITE WOOD PLANKS	COMPOSITE WOOD PLANKS	6" W X 36" L	DARK WOOD	PRE-FINISHED COMPOSITE WOOD STAIR RISERS/TREADS
EPDM-1	EPDM ROOFING - 20 YEAR	FULLY ADHERED EPDM ROOFING SYSTEM, 0.060" MEMBRANE THICKNESS		BLACK	
FCS-1	FIBER CEMENT SIDING - GREY	FIBER CEMENT SIDING	6" EXPOSURE	GREY	
FCS-2	FIBER CEMENT SIDING - WOOD	FIBER CEMENT SIDING	6" EXPOSURE	WOOD	
FCT-1	PAINT - WHITE	FIBER CEMENT TRIM, PTD.	3/4" THK.	WHITE	
GL-1	INSULATED GLAZING - CLEAR	INSULATED GLAZING, LOW-E COATING	1" THK.	CLEAR	
MTL-1	METAL - BRONZE FINISH	ALUMINUM-CLAD WOOD WINDOWS		DARK BRONZE	SELECT FROM MANUFACTURER COLORS

PROJECT TEAM:



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EXTERIOR ELEVATIONS

SCALE:

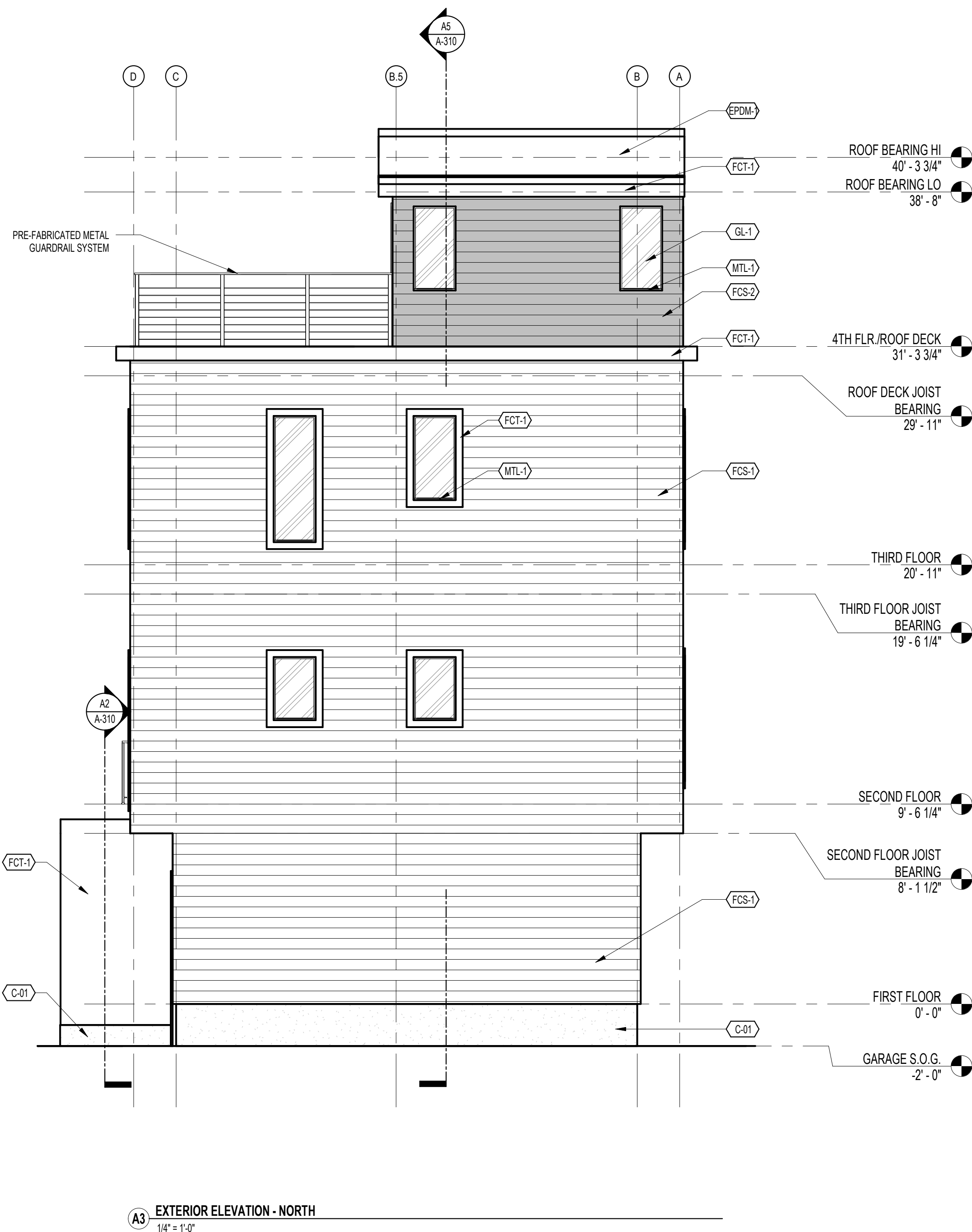
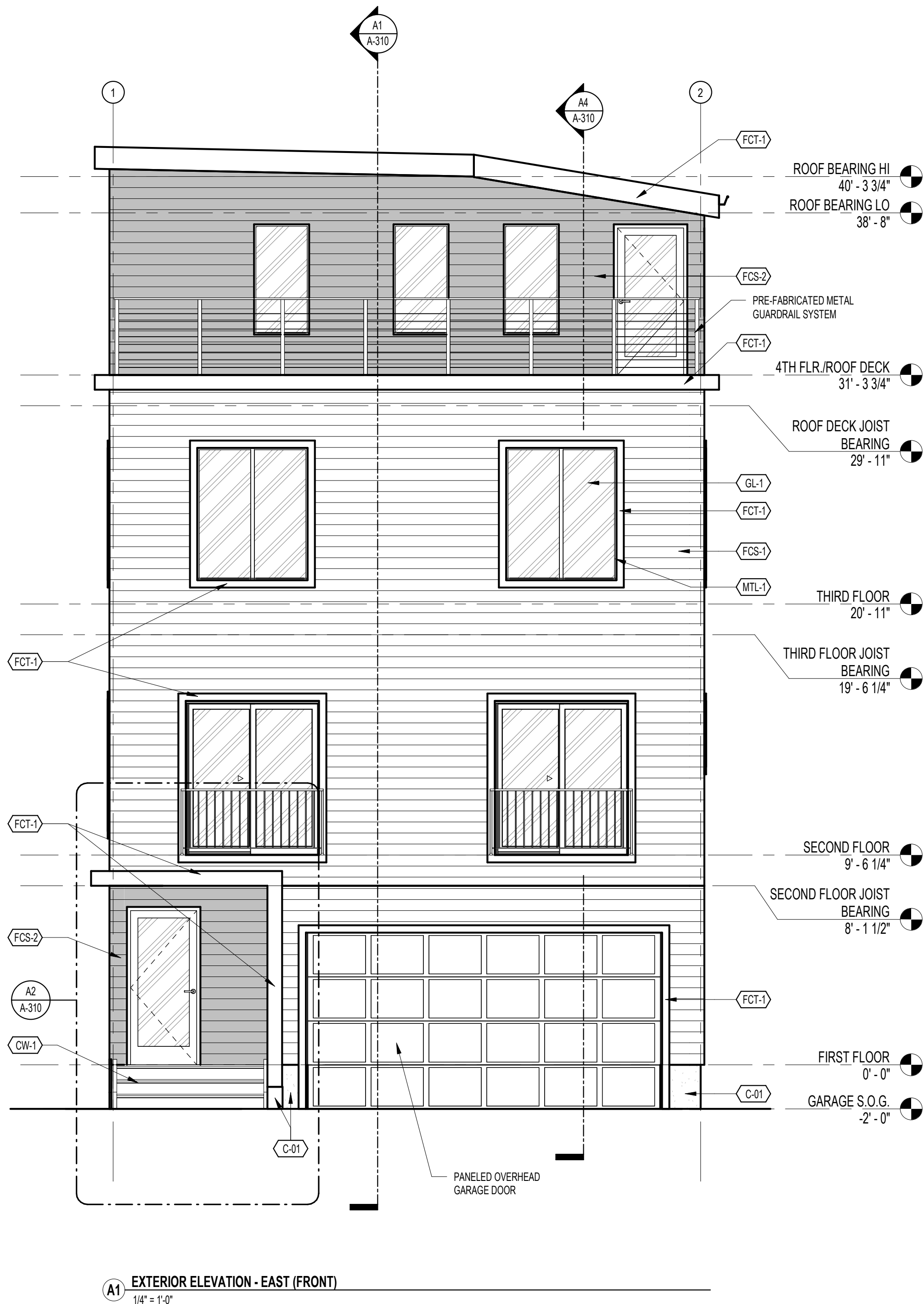
1/4" = 1'-0"

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A-3



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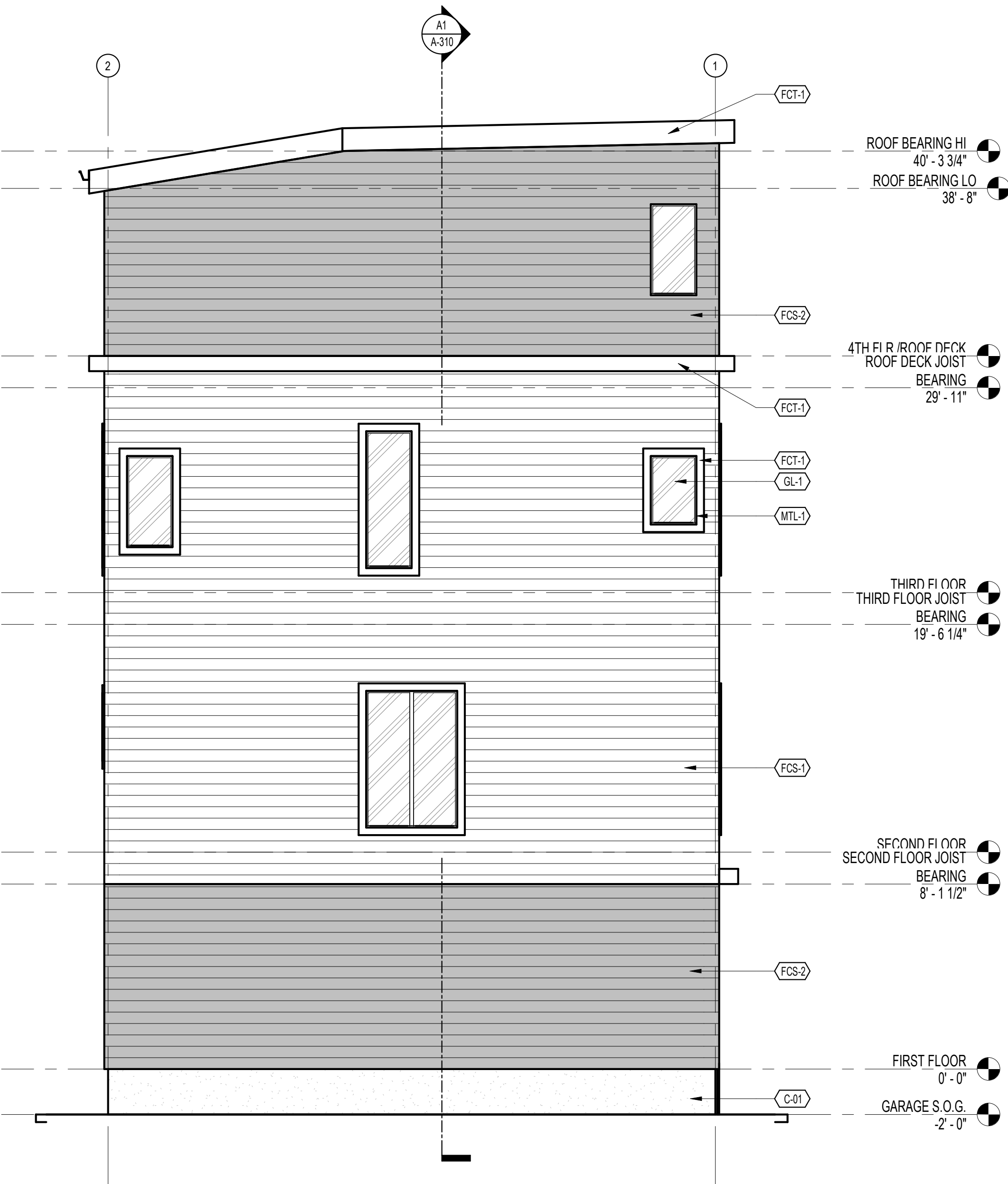
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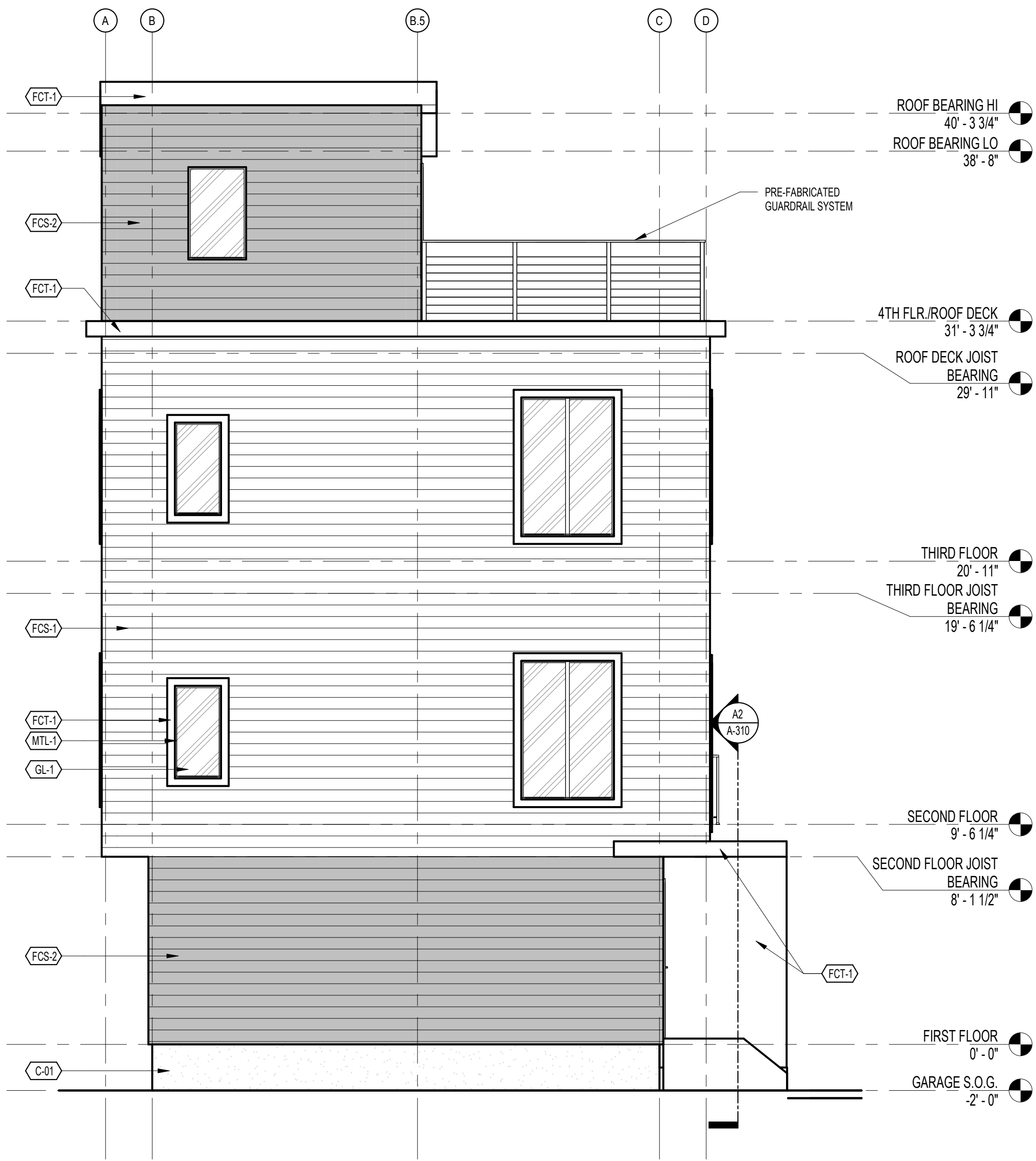
4

5

EXTERIOR MATERIAL SCHEDULE					
MARK	NAME	DESCRIPTION	SIZE	COLOR	COMMENTS
C-01	CONCRETE, CAST-IN-PLACE	CAST IN PLACE CONCRETE, SEALED	N/A	NATURAL	SMOOTH FINISH
CW-1	COMPOSITE WOOD PLANKS	COMPOSITE WOOD PLANKS	6" W X 36" L	DARK WOOD	PRE-FINISHED COMPOSITE WOOD STAIR RISERS/STAIRS
EPDM-1	EPDM ROOFING - 20 YEAR	FULLY ADHERED EPDM ROOFING SYSTEM, 0.060" MEMBRANE THICKNESS		BLACK	
FCS-1	FIBER CEMENT SIDING - GREY	FIBER CEMENT SIDING	6" EXPOSURE	GREY	
FCS-2	FIBER CEMENT SIDING - WOOD	FIBER CEMENT SIDING	6" EXPOSURE	WOOD	
FCT-1	PAINT - WHITE	FIBER CEMENT TRIM, PTD	3/4" THK.	WHITE	
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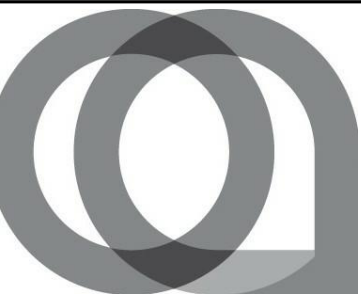


A1 EXTERIOR ELEVATION - WEST (BACK)
1/4" = 1'-0"



A3 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

PROJECT TEAM:



ARCHITECT:
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54TH & BRIDGE CT. TOWNHOMES

NEW TOWNHOME DEVELOPMENT

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(W 54TH ST. & BRIDGE COURT)
CLEVELAND, OH 44102

1 PLANNING SUBMISSION 02.06.2025

ISSUE DATE

EXTERIOR ELEVATIONS

SCALE:
1/4" = 1'-0"
PRINT DATE:
8/26/2024 3:41:56 PM

SHEET:
A-4

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



Far West Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 9:00 AM

Case Number: FW2024-01 Meeting Date: 03.05.25
Project Name: 54th & Bridge Homes Ward #: 15
Project Address: West 54th St & Bridge Ct
Project Rep. : Andrew Gotlieb, Keystone Homes
Existing Use: Vacant Proposed Use: Single family homes
Project Scope: Expansion of health facility with new rooms

Design Review Level Applied For: Conceptual

Motion by Design Review Committee:

Approve (as presented) ☐ Approve (with stated conditions) ☒ Disapprove ☐ Table ☐

Conditions:

Add a pedestrian walkway or pavers to the existing concrete drive for circulation on the site.

Hardie Siding should be varied in color. Warmer colors preferred to complement wood siding.

Turn the penthouse on Unit 4 to match the Unit.

Detailed landscaping plan when returning for schematic approval.

Committee Action:		(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)							
Andrews	(Alt.)	<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.	Petratis -NP	<input type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Blazek		<input type="checkbox"/> Yea	<input checked="" type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.	Provolt	(VC)	<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Hewitt - NP		<input type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.	Starry		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Horton		<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.	Tinnirello		<input type="checkbox"/> Yea	<input checked="" type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Howard		<input type="checkbox"/> Yea	<input checked="" type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.	Young	(C)	<input checked="" type="checkbox"/> Yea	<input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Orehek - NP		<input type="checkbox"/> Yea	<input type="checkbox"/> Nay	<input type="checkbox"/> Abst.	<input type="checkbox"/> Pres.				

Applicant Signature & Date:

Virtual Meeting – No Signature Required

Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Mar 7, 2025

NW2024-034 – 2915 West 14th Street Development

Project Address: 2915 West 14th Street

Type: New construction of SF home development

Project Representative: Graham Post, Jim Clarke; Sixmo Arch.

Approval: Schematic

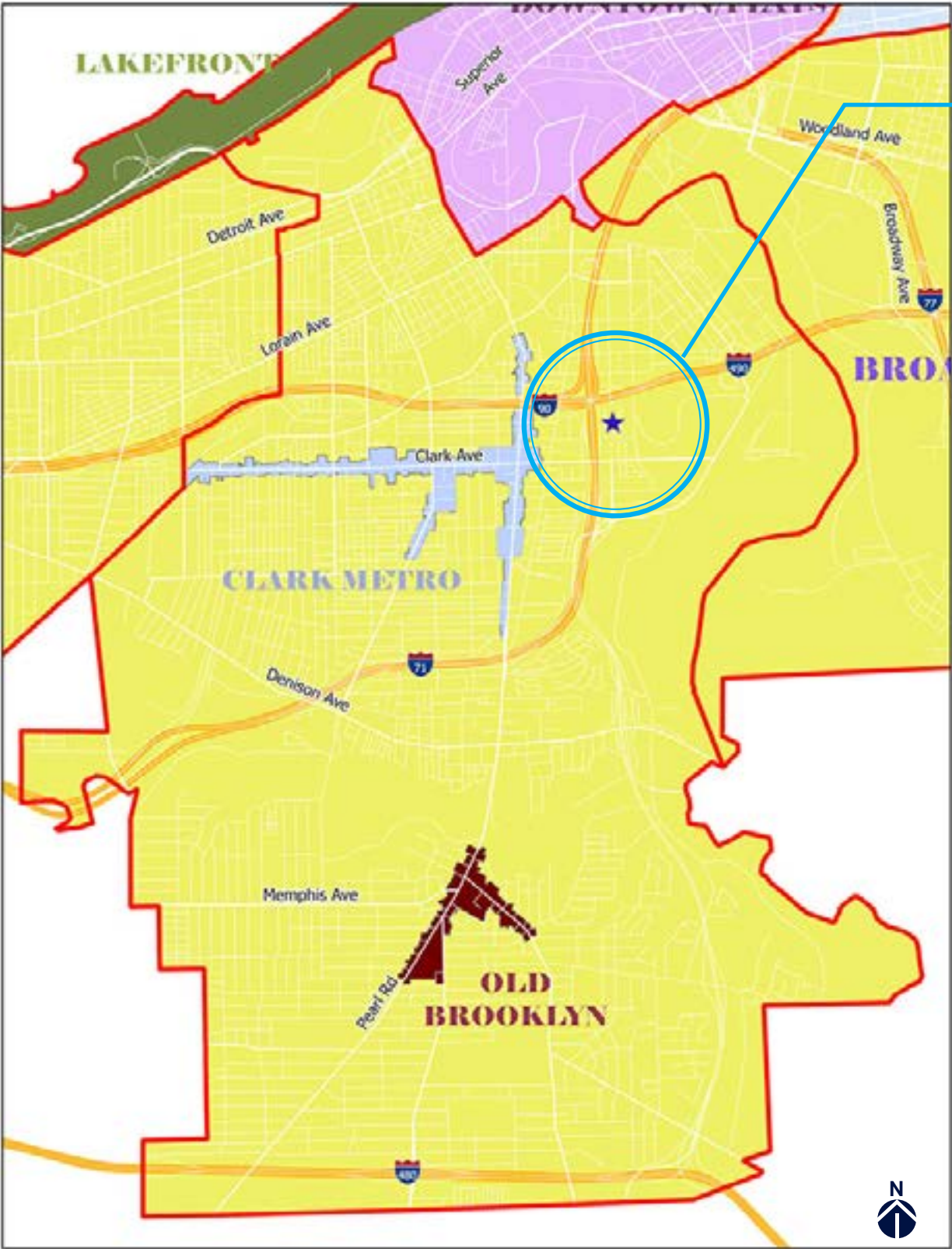
Ward 3 – Council Member McCormack | SPA: Tremont

CITY PLANNING | NEAR WEST

2915 W 14TH RESIDENTIAL

Cleveland, OH - FEBRUARY 18 2025

job no. SA40250124



SITE LOCATION

2915 W. 14th | Cleveland OH



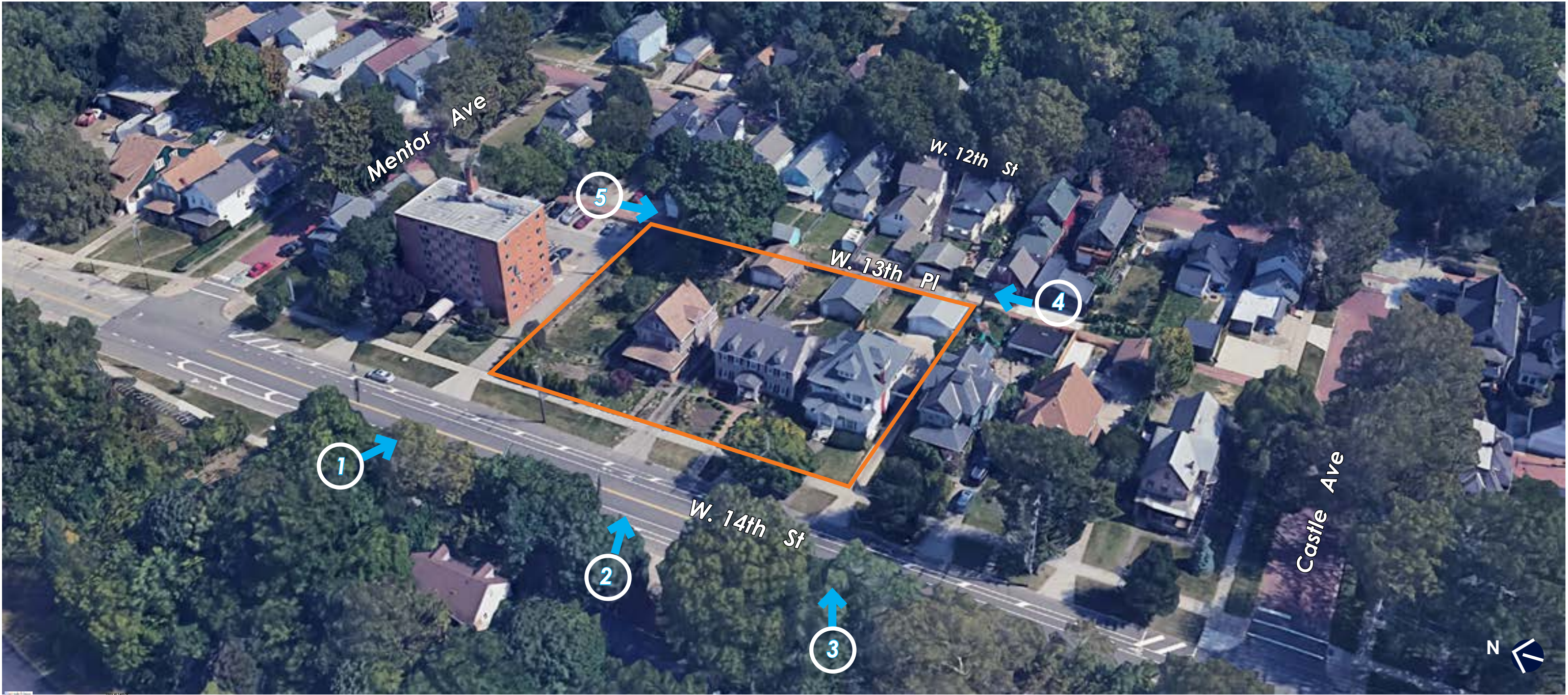
PROJECT DESCRIPTION: This 31,000 SF site at 2915 W. 14th Ave consists of 4 parcels zoned Multifamily. Parcels will be consolidated to include (6) single family homes each approximately 3,600SF, 3 stories with a basement and a roof deck. 3 existing homes to be demolished. Attached 2-car garages will be rear accessed from a centralized drive with one main curb cut entry access off 14th St.

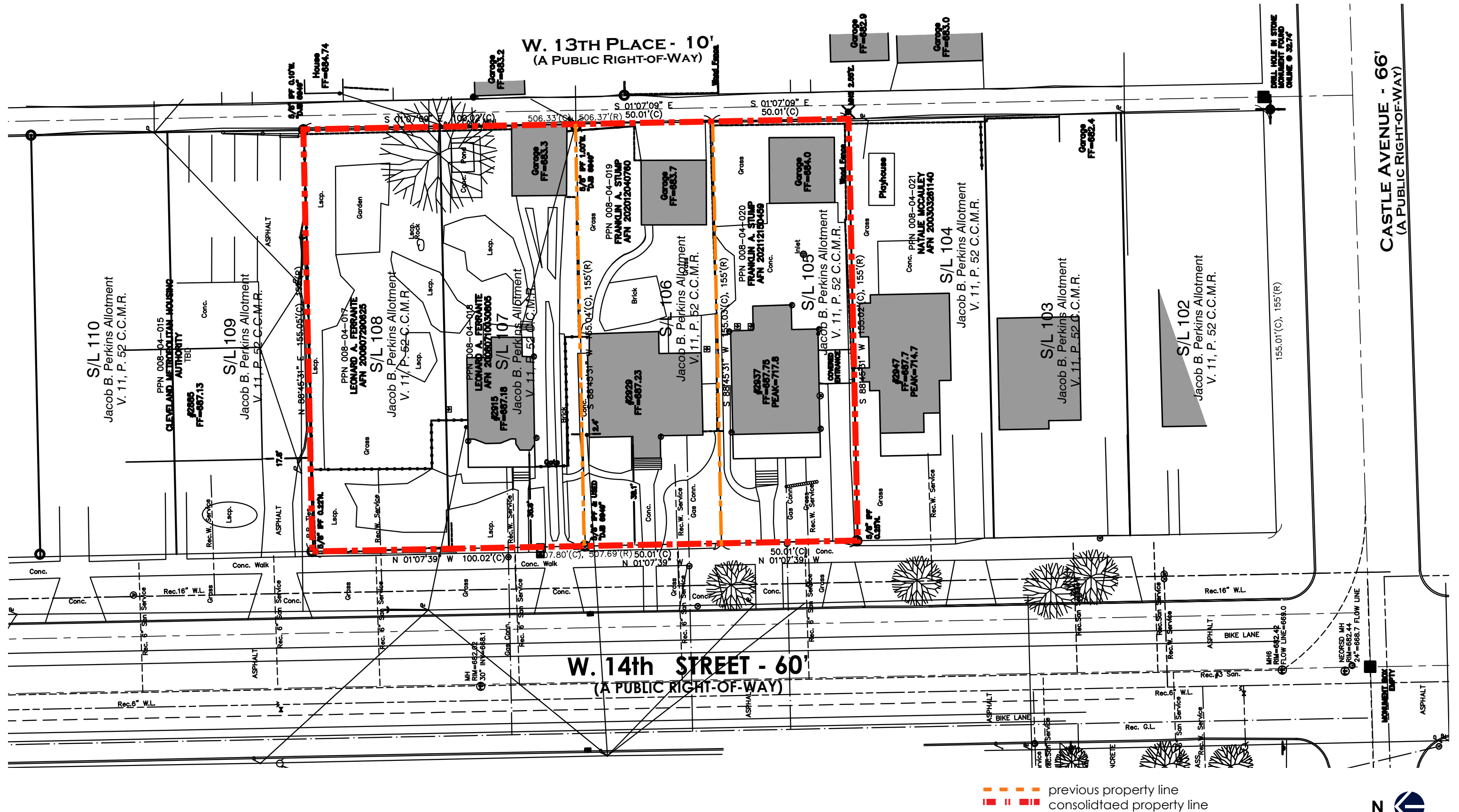


DISTRICT LEVEL

ZONING LEVEL

PARCEL LEVEL





ZONED: MF-D2

SETBACKS

HEIGHT 60' MAX ALLOWABLE

NO KNOWN VARIANCES REQ'D

6 SINGLE FAMILY HOMES (25' x 65')

GROSS SQUARE FOOTAGES - SF A

Total Living Space	3,575 sf
Total Surface Area of (2) SF A Homes	3,250 sf

GROSS SQUARE FOOTAGES - SF B

Total Living Space	3,677 sf
Total Surface Area of (2) SF B Homes	3,250 sf

GROSS SQUARE FOOTAGES - SF C

Total Living Space	3,600 sf
Total Surface Area of (2) SF C Homes	3,125 sf



SCALE: 1" = 40'-0"



60' Allowable height



60' Allowable height





BOARD AND BATTEN



GROOVE SIDING



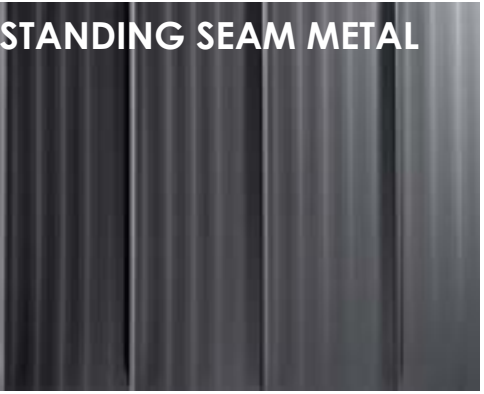
LAP SIDING



SHAKE SIDING



ASPHALT SHINGLES



STANDING SEAM METAL

SIDING

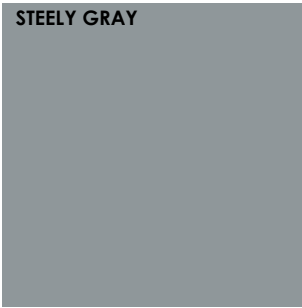
ROOFING



URBAN BRONZE



AMAZING GRAY



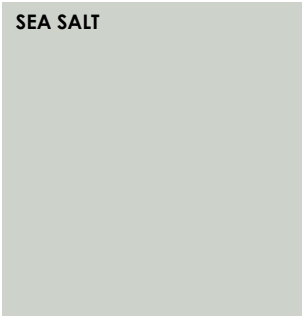
STEELY GRAY



LIGHT FRENCH GRAY



ALABASTER



SEA SALT

STUCCO- SMOOTH



METAL CANOPY



JULIET BALCONIES



ROOF PERGOLA



STONE



WHITE



GRAY BLEND



IRONSPOT

BRICK



CAST STONE



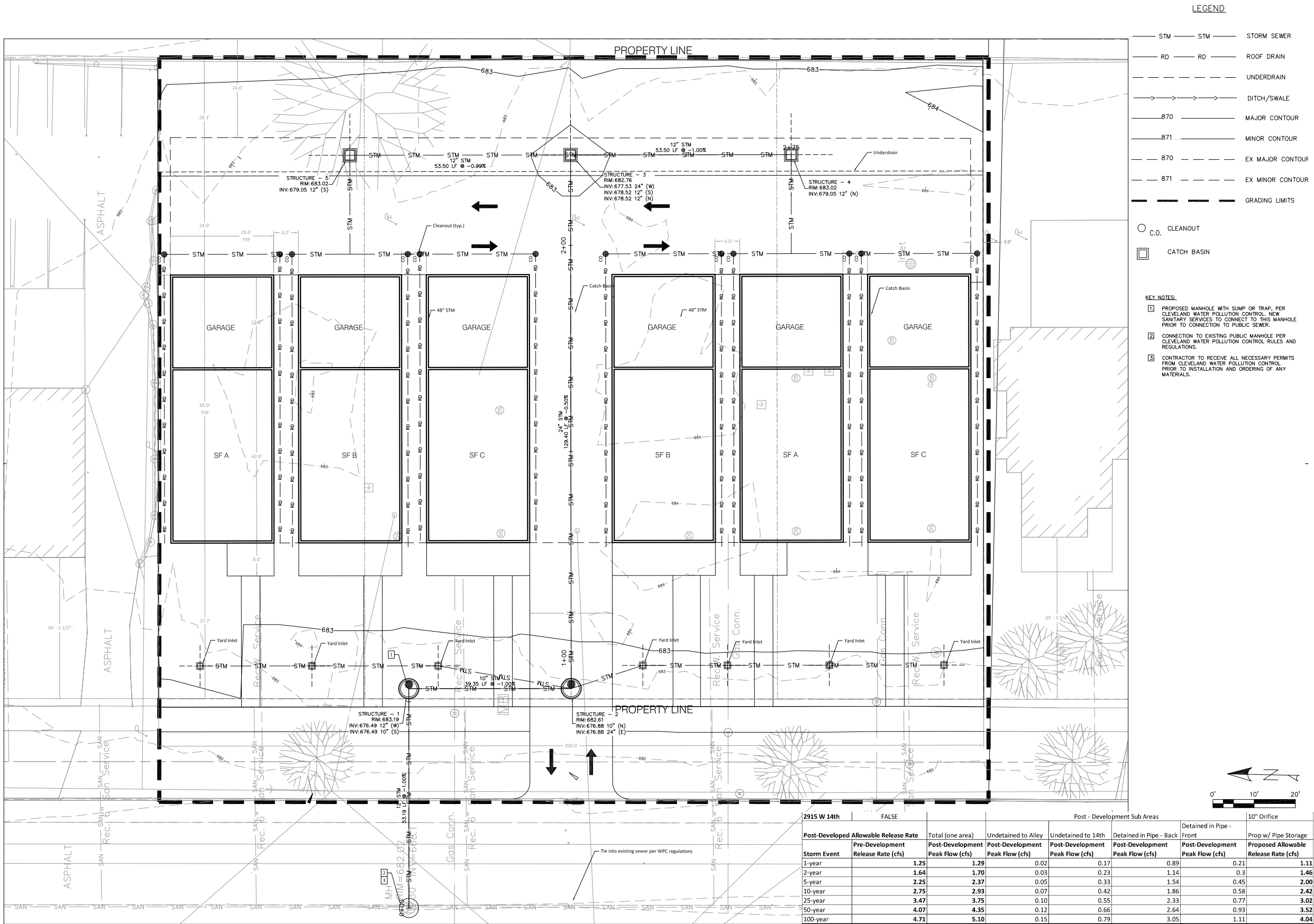
DOORS







STORMWATER AND GRADING PLAN





LANDSCAPE PLAN

1/16" = 1'-0"



Amelanchier laevis
Allegheny Serviceberry



Ostrya virginiana
American Hophornbeam



Buxus microphylla 'Winter Gem'
Winter Gem Boxwood



Hydrangea paniculata 'Little Lime'
Little Lime Hydrangea



Ilex glabra 'Shamrock'
Shamrock Inkberry Holly



Juniperus squamata 'Blue Star'
Blue Star Juniper



Itea virginica 'Little Henry'
Little Henry Sweetspire



Panicum virgatum
'Shenandoah'
Shenandoah Switchgrass



Phlox subulata 'Emerald Blue'
Emerald Blue Creeping Phlox



Juniperus scopulorum 'Blue Arrow'
Blue Arrow Juniper



Step stones

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	NOTES/ SPACING	QTY
TREES						
AM LA	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	6' HT.	B&B	SINGLE-STEM TREE FORM	5
OS VI	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	2' CAL.	B&B	FULL, MATCHING HEADS	3
SHRUBS						
BU MI	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD	24" HT.	NO. 3 CONT.	48" O.C.	14
HY PA	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24" HT.	NO. 5 CONT.	60" O.C.	4
IL GL	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	36" HT.	B&B	60" O.C.	7
IT VI	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	24" HT.	NO. 3 CONT.	36" O.C.	12
JU SC	JUNIPERUS SCOPULORUM 'BLUE ARROW'	BLUE ARROW JUNIPER	6' HT.	B&B		2
JU SQ	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	15" HT.	NO. 3 CONT.		6
PERENNIALS AND GRASSES						
PA VI	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	CLUMP	NO. 2 CONT.	30" O.C.	10
PH SU	PHLOX SUBULATA 'EMERALD BLUE'	EMERALD BLUE CREEPING PHLOX	8" SQUAT	CONT.	12" O.C.	76

LANDSCAPE NOTES

1. ALL WORK TO BE IN ACCORDANCE WITH THE ACCEPTED PRACTICES OF THE AMERICAN ASSOCIATION OF LANDSCAPE CONTRACTORS.
2. PRIOR TO INSTALLATION, INSPECT THE GENERAL SITE CONDITIONS AND VERIFY THE SUBGRADE, ELEVATIONS, UTILITY LOCATIONS, AND TOPSOIL. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED.
3. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO ONSET OF WORK AND COORDINATE ACCORDINGLY WITH APPROPRIATE UTILITIES DEPARTMENTS. DO NOT INSTALL TREES WITHIN 4' OF BURIED UTILITY LINES. RELOCATE PLANT MATERIAL SLIGHTLY IF NECESSARY. IN THE CASE OF A CONFLICT, NOTIFY LANDSCAPE ARCHITECT.
4. DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT AVAILABLE, CONTACT THE LANDSCAPE ARCHITECT FOR ACCEPTABLE ALTERNATIVE.
5. ALL PLANT MATERIAL MUST BE FROM NURSERY SOURCE WITH A HARDINESS ZONE SIMILAR TO THAT OF THE PROJECT SITE. PLANTS SHALL BE TRUE TO GENUS AND SPECIES AS INDICATED ON THE PLANS, COMPLYING WITH ANSI Z60.1 FOR THE TYPES AND FORM OF PLANS REQUIRED.
6. ALL PLANTING BEDS TO RECEIVE 6" DEPTH PLANTING MIX AFTER FINAL GRADE IS ESTABLISHED. ALL SEEDED AREAS TO RECEIVE CLEAN FINE GRADED TOPSOIL, FREE OF ALL ROCKS AND DELETERIOUS DEBRIS. SHRUB AND PERENNIAL PLANTING PITS SHALL RECEIVE PLANTING MIX PER DETAILS, THIS SHEET.
7. PROVIDE SHREDDED HARDWOOD MULCH 3" DEEP AT ALL PLANTING BEDS, TAKING CARE TO KEEP MULCH AWAY FROM CROWNS AND ROOT FLARES OF ALL PLANTS. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
8. CONTRACTOR TO APPLY STARTER FERTILIZER PER SPECIFICATIONS OR APPROVED SIMILAR FOR ALL LAWN AND PLANTING BEDS.
9. FINAL GRADES SHALL BE SMOOTH AND EVEN. PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE INTENDED DRAINAGE PATTERN OF THE FINAL GRADING PLAN. THIS MAY INCLUDE NOT PLACING PLANT MATERIALS IN SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN. GRADES SHALL SLOPE A MINIMUM OF 2% AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED.
10. PROVIDE 4" DEEP SPADE-CUT "Y" TRENCH ALONG BED EDGES UNLESS ADJACENT TO PAVEMENT.
11. ALL MATERIALS TESTING SHALL BE THE SOLE RESPONSIBILITY OF CONTRACTOR.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO PROPERLY WATER PLANT MATERIALS IMMEDIATELY UPON PLANTING.
13. PLANT LIST IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND PROVIDING PLANT MATERIAL AS SHOWN ON PLANS.
14. CONTRACTOR TO SEED ALL DISTURBED AREAS INCLUDING ADJACENT EXISTING LAWN AREAS THAT ARE IN DISREPAIR. DO NOT BEGIN UNTIL AREA HAS RECEIVED TOPSOIL AND IS AT FINISHED GRADE. SEEDING WORK SHALL RESULT IN A HEALTHY LAWN FREE OF WEEDS. GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED, OR APPROVED EQUAL, NOT LESS THAN 85 PERCENT GERMINATION, NOT LESS THAN 95 PERCENT PURE SEED, AND NOT MORE THAN 0.5 PERCENT WEED SEED. SEED SHALL BE PREMIUM QUALITY MIX WITH QUICK GERMINATION RATE OF:
 - 50% BLENDED BLUEGRASS
 - 25% CREEPING RED FESCUE
 - 25% PERENNIAL RYEOR APPROVED EQUAL. APPLY AT A RATE OF 5 LBS/1000 SF.

FIXTURE TYPE 'SA'



FIXTURE TYPE 'SE

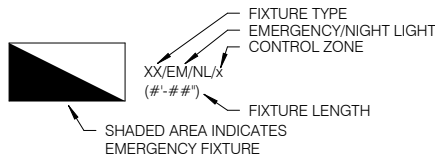


LIGHTING FIXTURE SCHEDULE											
TYPE	LOAD	VOLTAGE	LAMP(S)		LUMENS	COLOR TEMP	CRI	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	FINISH
			NO.	EIYE							
SA	0 VA	120 V	2	E12	700	2700 K	80	17 STORIES	W111165542	GOLD LANTERN STYLE EXTERIOR WALL SCONCE	COPPER
SB	0 VA	120 V	4	E12	1200	2700 K	80	MINKA LAVERY	TOWNHALL 2105-726	COAL AND SOFT BRASS SUSPENDED PENDANT	BLACK/BRASS
SC	0 VA	120 V	-	LED	1239	2700 K	80	LOUIS PAULSEN	5743909379	COPPER OUTDOOR WALL LAMP	COPPER
SD	0 VA	120 V	-	LED	1050	3000 K	90	WAC LIGHTING	FM-05RN 930 BK	BLACK 5" ROUND CEILING MOUNT	BLACK

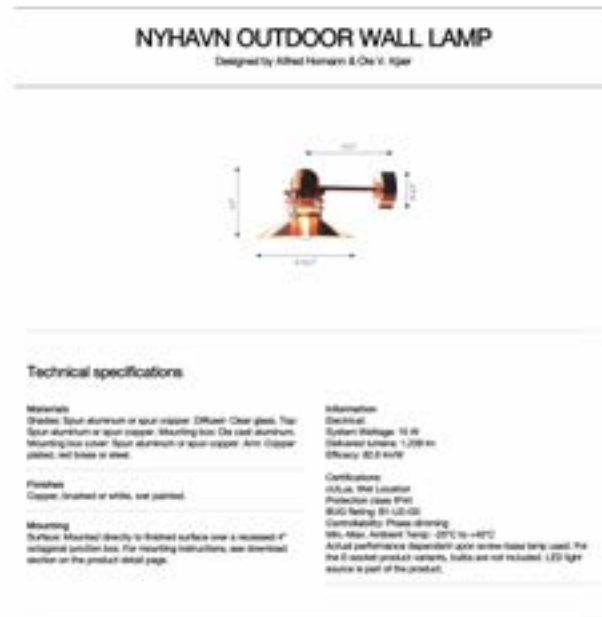
LIGHTING FIXTURE SCHEDULE NOTES

1. LUMINAIRE INDICATED IN SCHEDULE IS BASIS OF DESIGN. CONTRACTOR MAY SUBMIT ALTERNATE, EQUIVALENT OR BETTER, FIXTURES FOR REVIEW BY OWNER, ARCHITECT AND ENGINEER. FOR ANY LUMINAIRES SUBMITTED OTHER THAN BASIS OF DESIGN LUMINAIRES, A POINT-BY-POINT PHOTOMETRIC PLAN SHALL BE PROVIDED FOR THE PROPOSED LUMINAIRE AS PART OF THE SHOP DRAWING SUBMITTAL. POINT-BY-POINT CALCULATIONS SHALL FOLLOW IESNA RECOMMENDED PRACTICES AND INCLUDE LIGHT LOSS FACTOR (LLF) USED FOR ALL LUMINAIRE TYPES, SURFACE REFLECTANCES, AVERAGE FOOTCANDLE LEVEL, MINIMUM FOOTCANDLE LEVEL(S), AND MAXIMUM-TO-MINIMUM RATIO FOR ALL AREAS WHERE ALTERNATE PROPOSED LUMINAIRE IS TO BE INSTALLED (ONE CALCULATION FOR TYPICAL AREAS IS ACCEPTABLE).
2. ALL LUMINAIRES SHALL BE IN ACCORDANCE AND SHALL CONFORM TO THE CONTENTS OF THE LUMINAIRE SCHEDULE AND ALL PROVISIONS OF THE CONTRACT DOCUMENTS.
3. THE ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILINGS TYPES, LUMINAIRE COLORS, LENGTHS, TRIMS, FINISHES, MOUNTING HARDWARE, CONFIGURATIONS AND HEIGHTS OF SUSPENDED LUMINAIRES, ETC. WITH ARCHITECT PRIOR TO ANY ROUGH-INS AND PLACING FINAL PURCHASE ORDERS.
4. VERIFY FINAL LUMINAIRE LOCATIONS WITH OTHER CEILING MOUNTED EQUIPMENT SUCH AS DIFFUSERS, FIRE ALARM DEVICES, SPEAKERS, ETC. WITH ARCHITECTURAL RCP (REFLECTED CEILING PLANS).
5. VERIFY EXACT HEIGHT AND LOCATIONS OF ALL WALL MOUNTED AND PENDANT/CABLE MOUNTED LUMINAIRES WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN.
6. LUMINAIRES SHALL NOT BE SUPPORTED FROM SUSPENDED CEILING SUPPORTS UNLESS ADDITIONAL CEILING FRAMING AND SUPPORTS ARE ADDED BY THE CEILING CONTRACTOR ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, U.L. LISTINGS, AND ANY APPLICABLE STATE OR LOCAL CODES.
7. CONNECTIONS TO RECESSED LUMINAIRES SHALL BE MADE WITH MINIMUM 1/2" FLEXIBLE METAL CONDUIT (FMC) FROM FIXTURE TO OUTLET BOX. LENGTH OF FMC SHALL NOT EXCEED 6'.
8. AT THE CONCLUSION OF THE WORK, EACH LUMINAIRE MUST BE CLEANED PER MANUFACTURER'S INSTRUCTIONS, EQUIPPED WITH THE PROPER TYPE, NUMBER OF LAMPS, INCLUDING KELVIN TEMPERATURE AND WATTAGE, AND ALL IN GOOD OPERATING CONDITION.
9. FINAL COLOR SELECTION BY ARCHITECT/OWNER AT FIXTURE SUBMITTAL.
10. LENSED FIXTURES SHALL HAVE A MINIMUM OF 0.125" THICK ACRYLIC LENS UNLESS OTHERWISE NOTED.

LIGHTING FIXTURE LEGEND



FIXTURE TYPE 'SC'



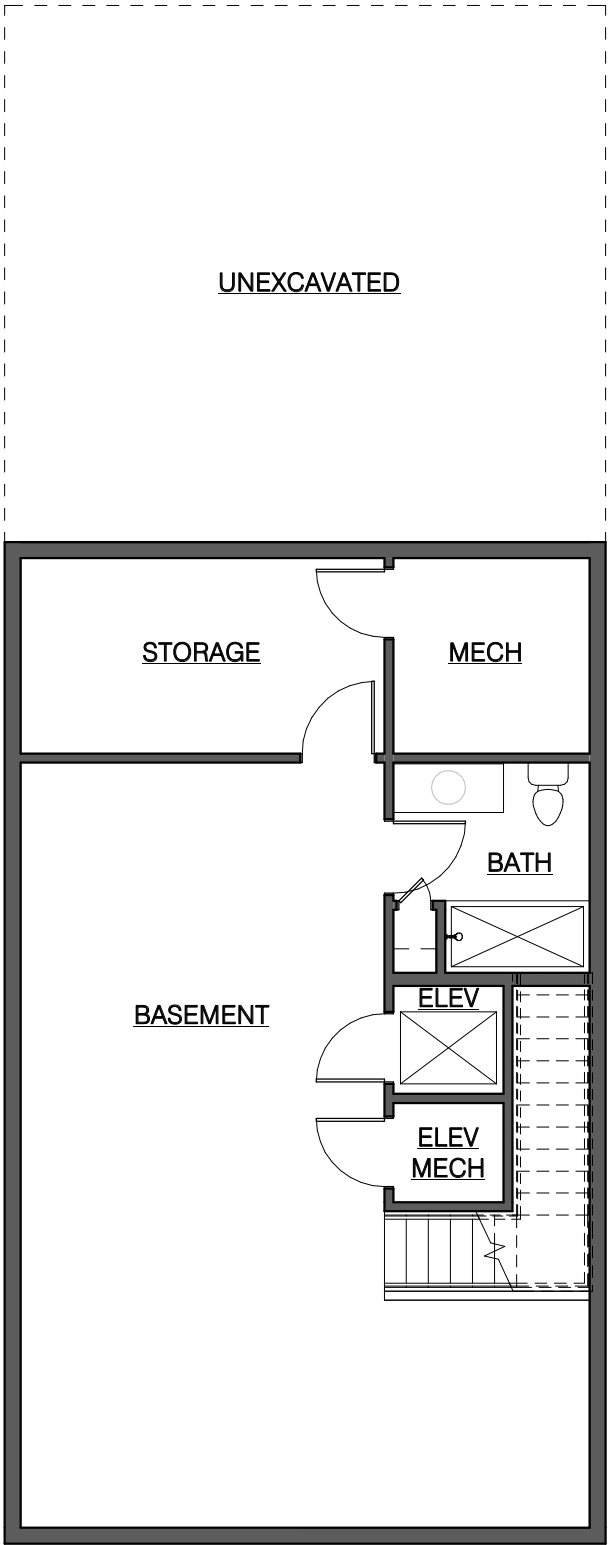
FIXTURE TYPE 'SD'



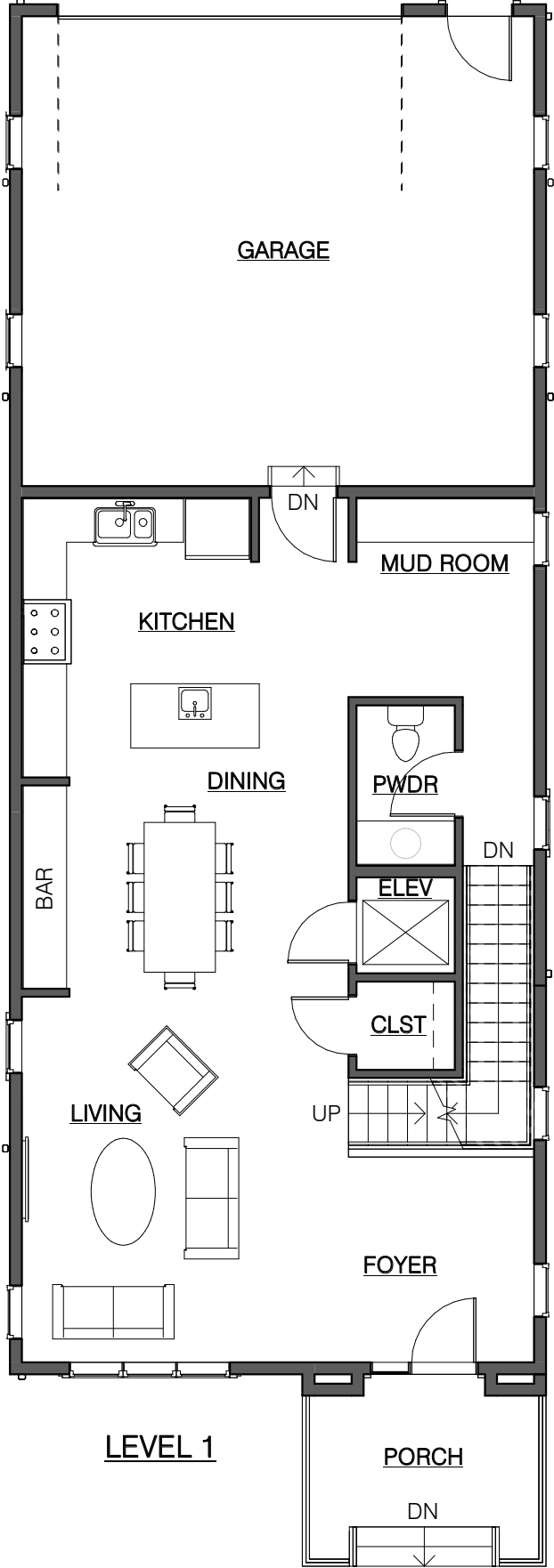
LIGHTING FIXTURE SCHEDULE											
TYPE	LOAD	VOLTAGE	LAMP(S)		LUMENS	COLOR TEMP	CRI	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	FINISH
			NO.	TYPE							
SA	0 VA	120 V	2	E12	700	2700 K	80	17 STORIES	W111165542	GOLD LANTERN STYLE EXTERIOR WALL SCONCE	COPPER
SB	0 VA	120 V	4	E12	1200	2700 K	80	MINKA LAVERY	TOWNHALL 2105-726	COAL AND SOFT BRASS SUSPENDED PENDANT	BLACK/BRASS
SC	0 VA	120 V	-	LED	1239	2700 K	80	LOUIS PAULSEN	5743909379	COPPER OUTDOOR WALL LAMP	COPPER
SD	0 VA	120 V	-	LED	1050	3000 K	90	WAC LIGHTING	FM-05RN 930 BK	BLACK 5" ROUND CEILING MOUNT	BLACK



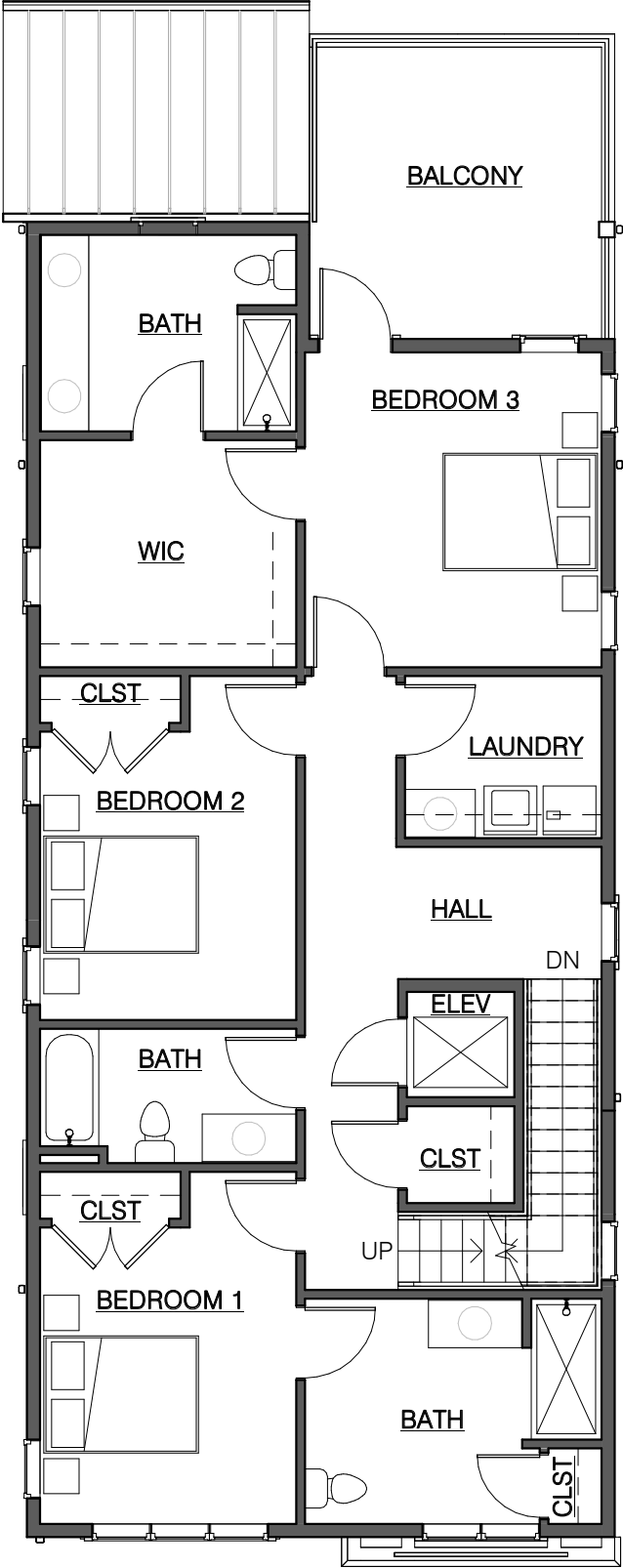
SF A
SINGLE FAMILY HOUSE
PLANS AND ELEVATIONS



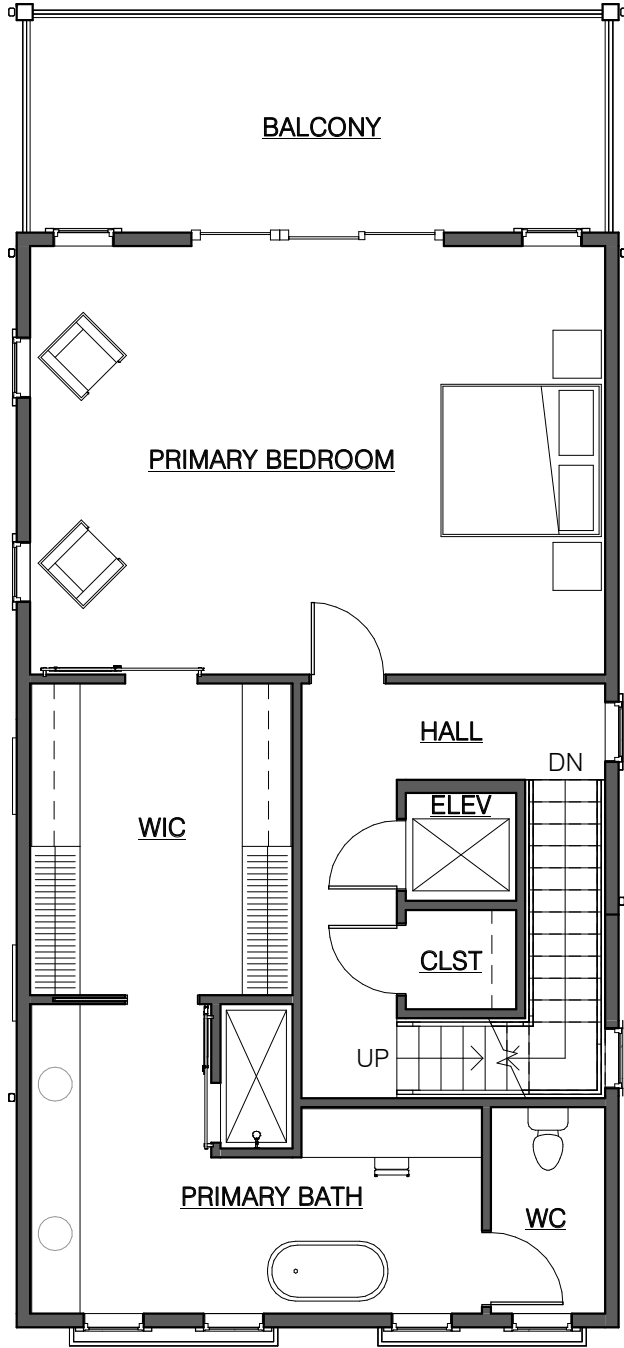
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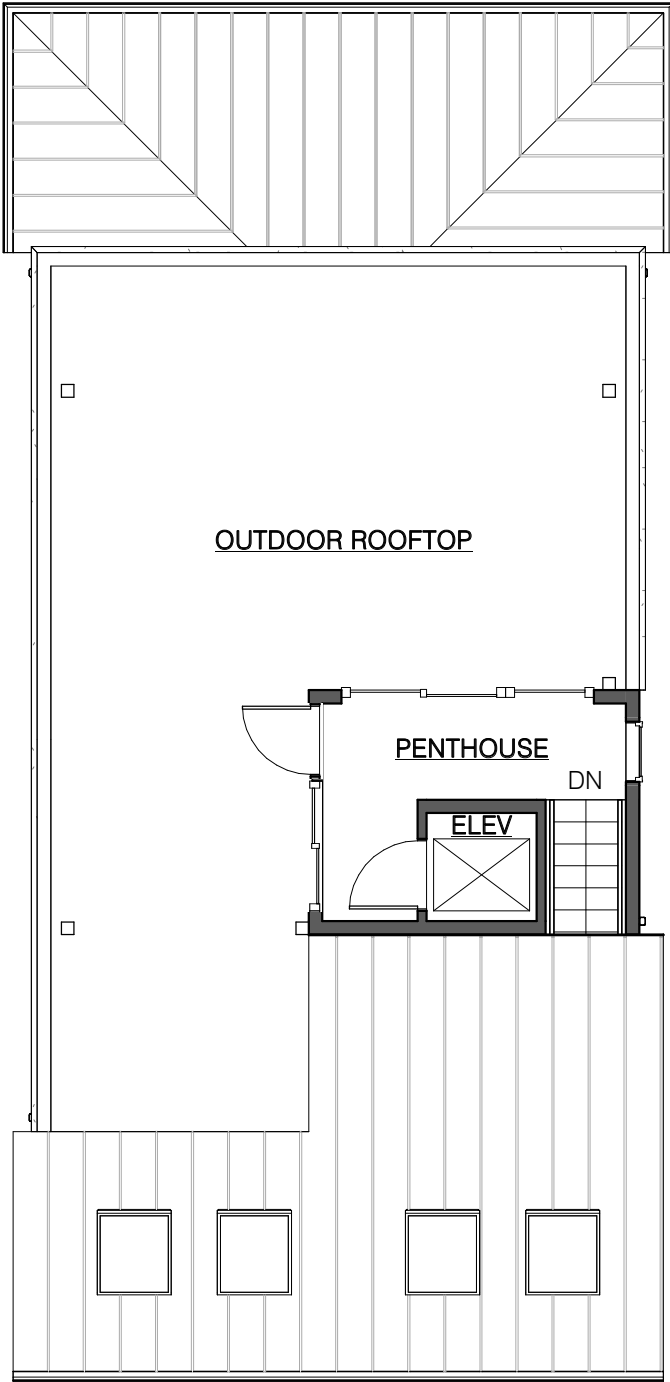
LEVEL 1



LEVEL 2



LEVEL 3



LEVEL 4 - ROOFTOP



FRONT

SIDE

NOTES

- A

 STUCCO
- C

 BRICK
- E

 METAL RAILING
- G

 LAP SIDING
- I

 BOARD AND BATTEN SIDING
- K

 PAINTED WOOD PORTICO
W/WALL SCNCE

B

 STONE

D

 METAL ROOF

F

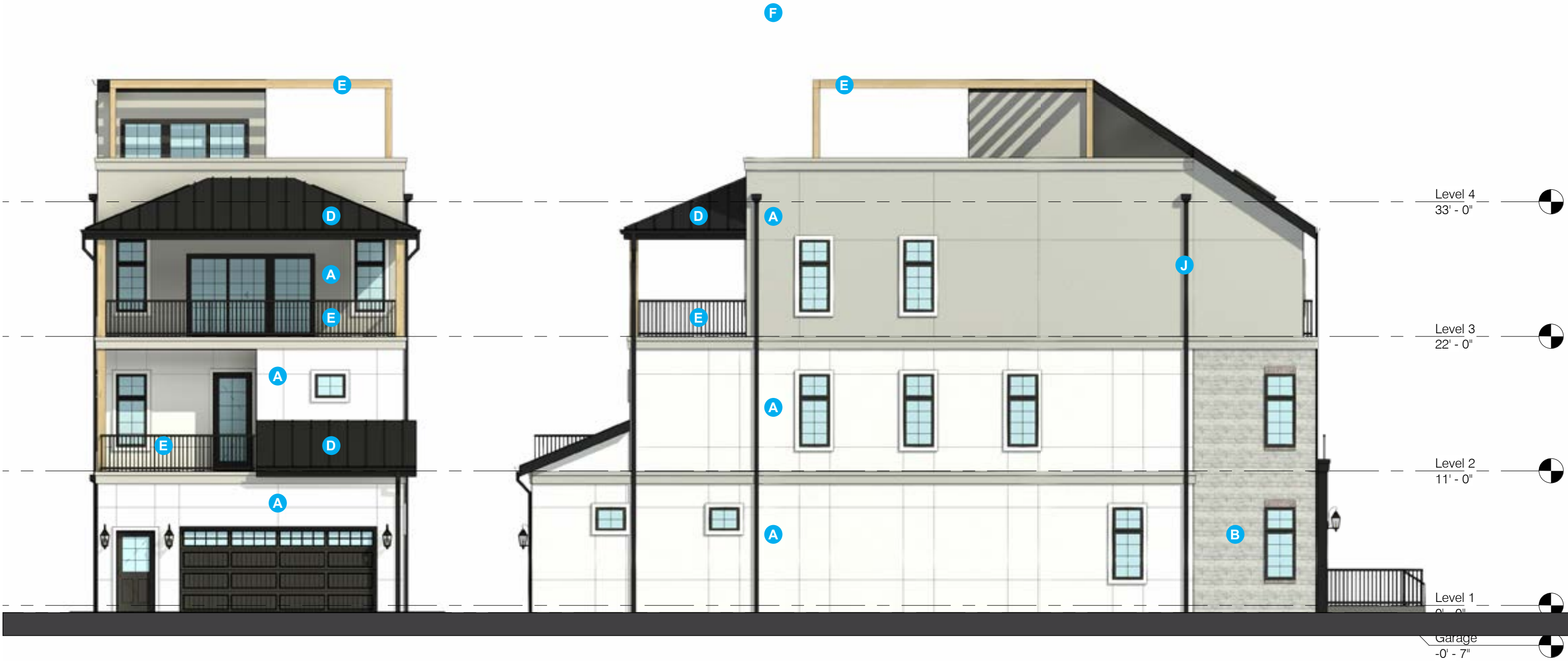
 TRELLIS

H

 SHAKER SIDING

J

 DOWNSPOUT



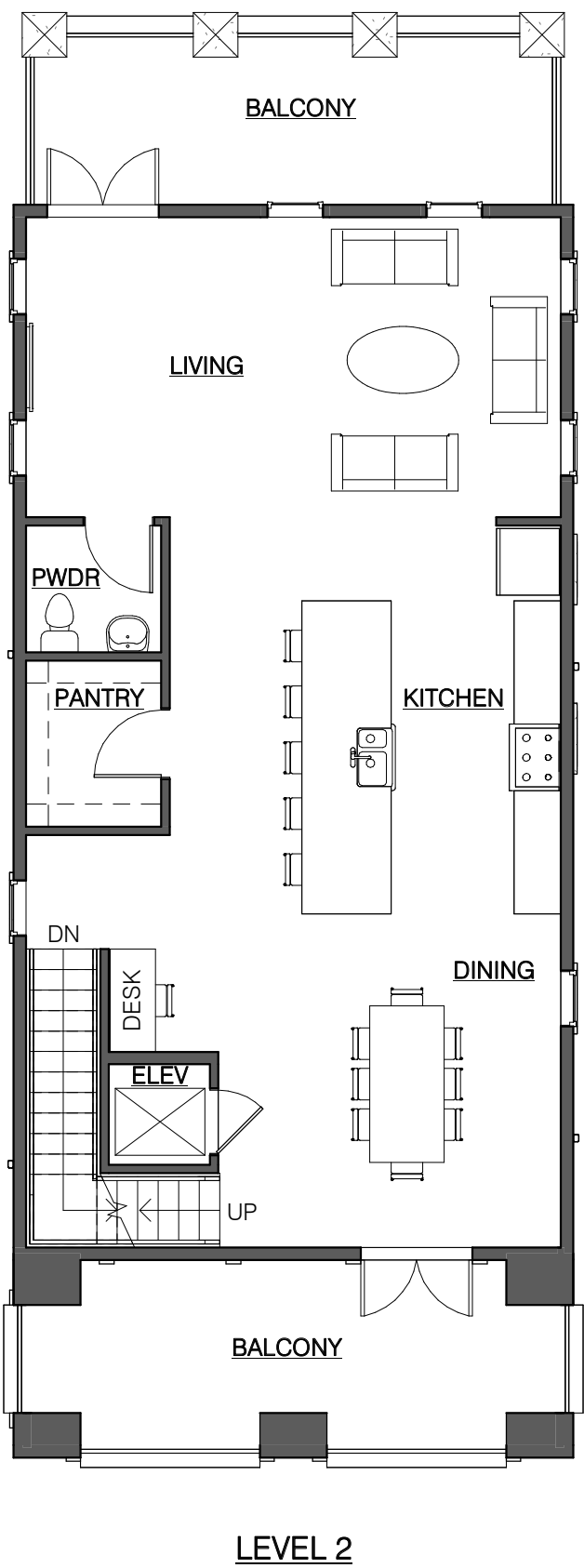
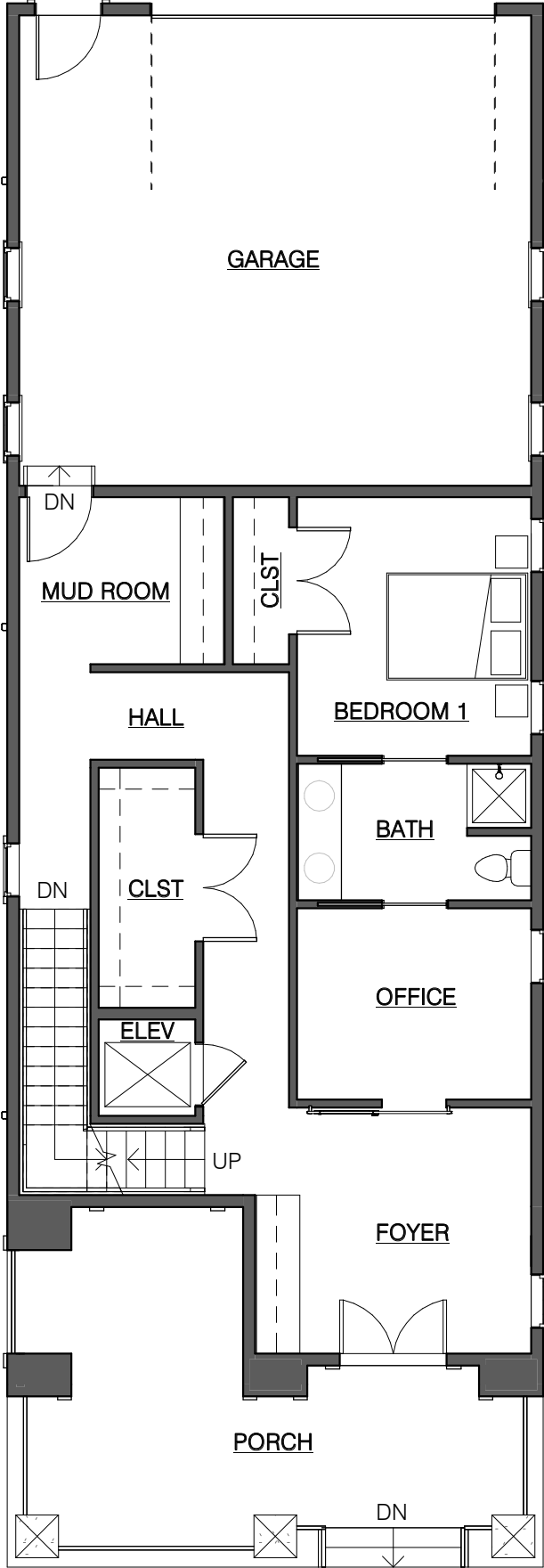
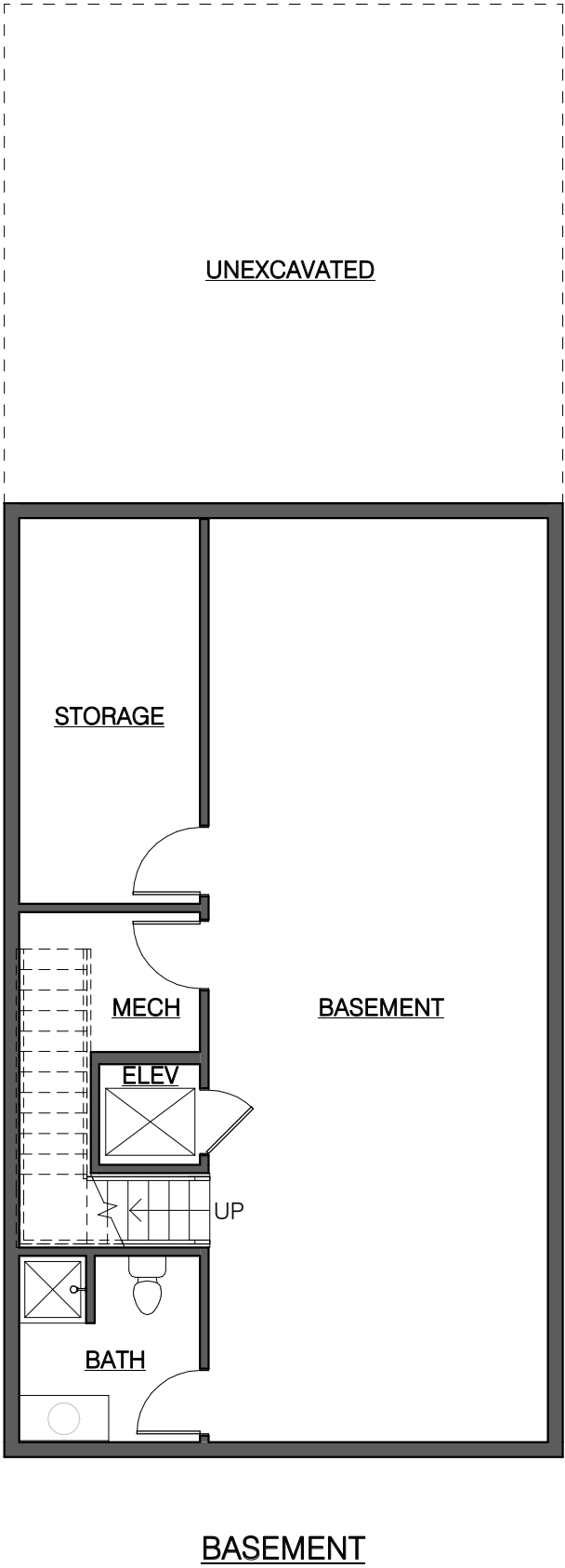
REAR

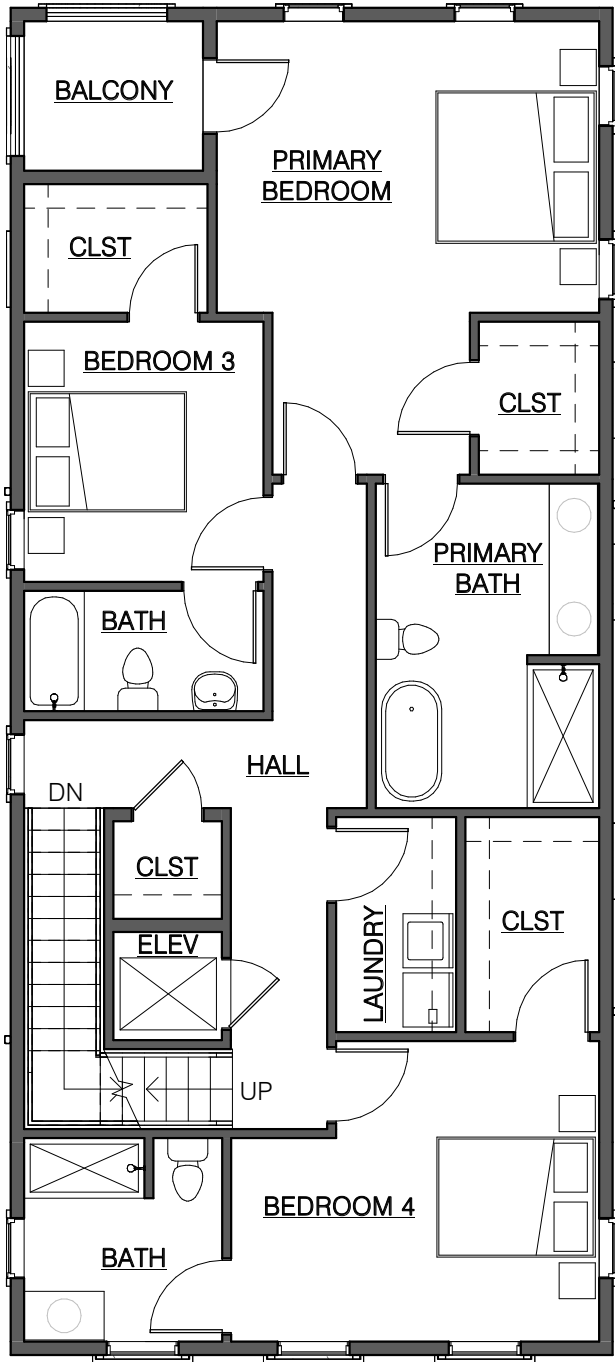
SIDE

NOTES

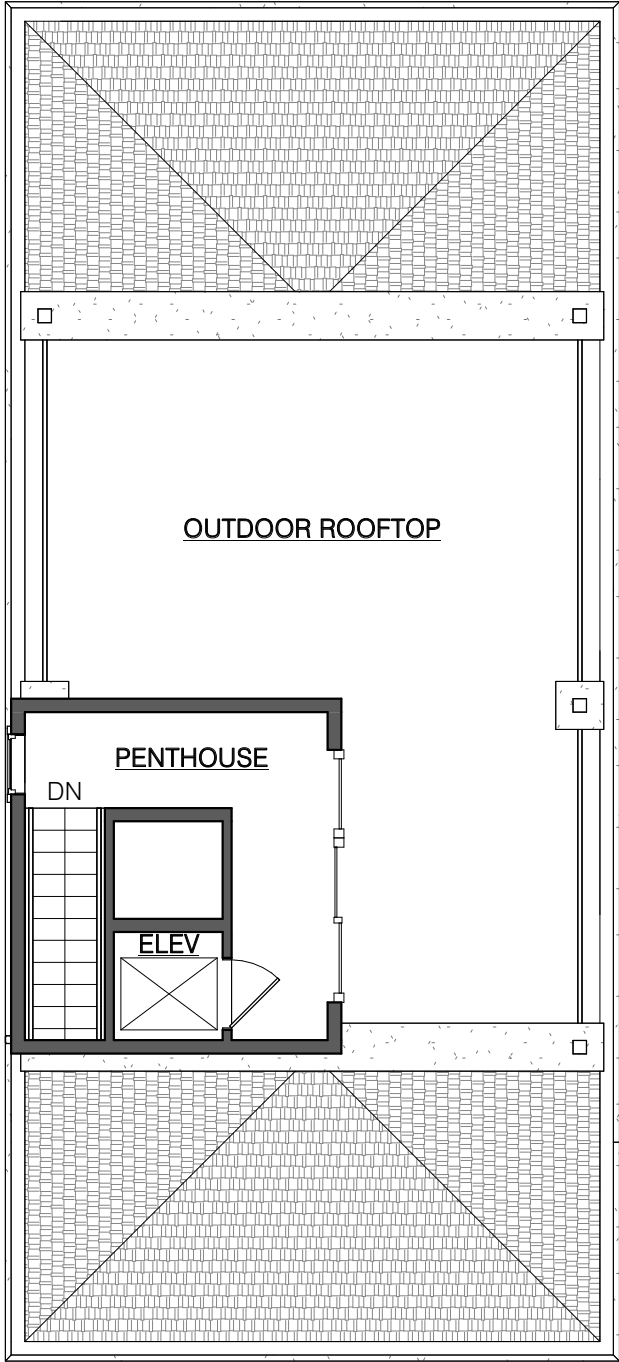
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|-----------------|---------------------|------------------------|------------------------|----------------------------------|
| A STUCCO | C BRICK | E METAL RAILING | G LAP SIDING | I BOARD AND BATTEN SIDING |
| B STONE | D METAL ROOF | F TRELLIS | H SHAKER SIDING | J DOWNSPOUT |

SF B
SINGLE FAMILY HOUSE
PLANS AND ELEVATIONS





LEVEL 3



LEVEL 4 - ROOFTOP



NOTES

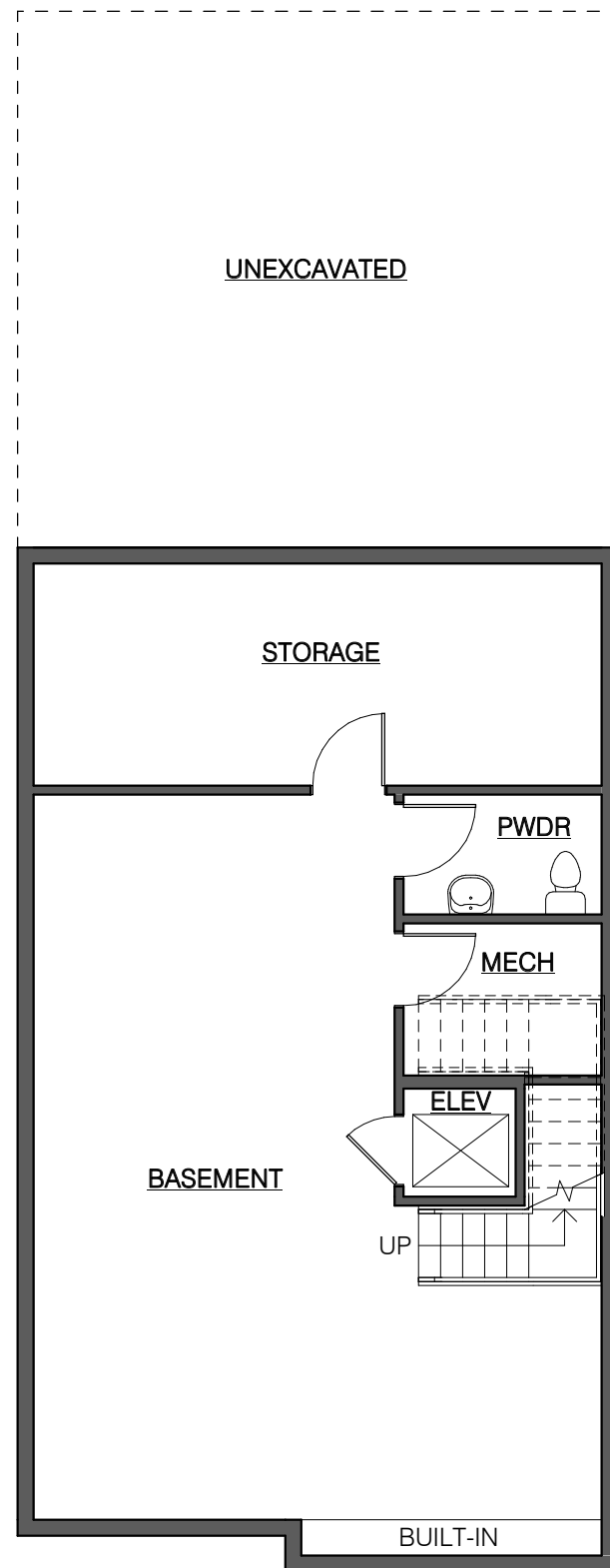
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| B STONE | D ASPHALT ROOF | F TRELLIS | H SHAKER SIDING | J DOWNSPOUT |



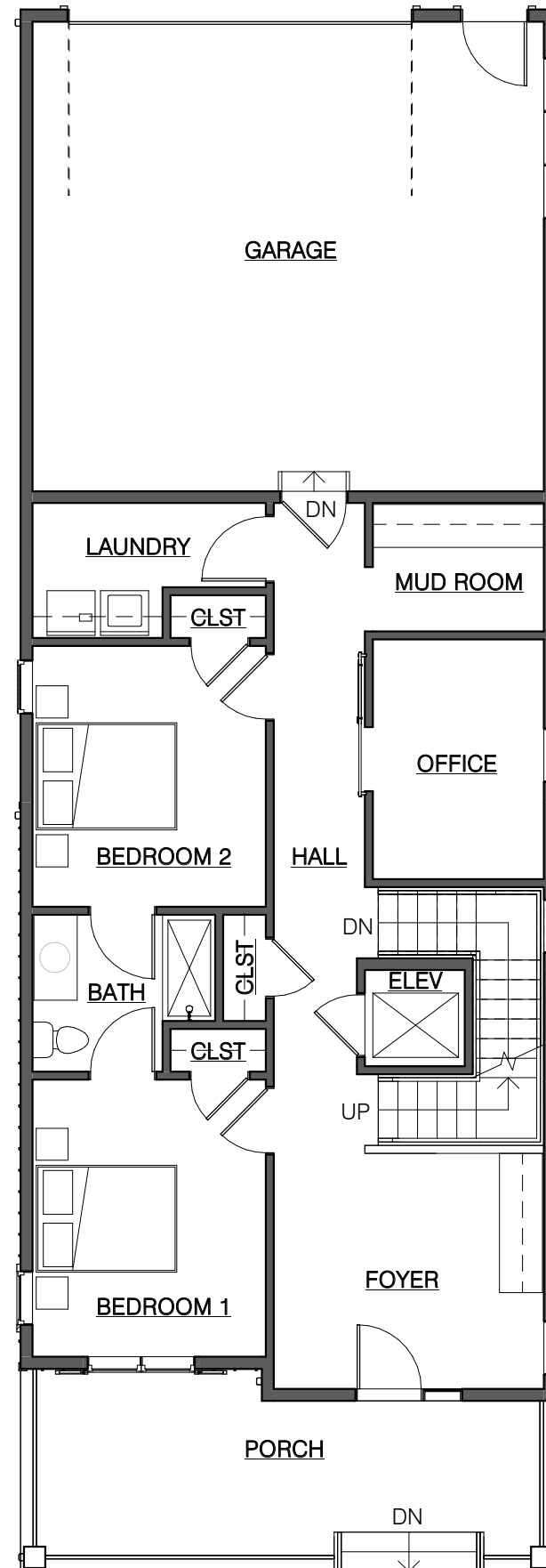
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| B STONE | D METAL ROOF | F TRELLIS | H SHAKER SIDING | J DOWNSPOUT |

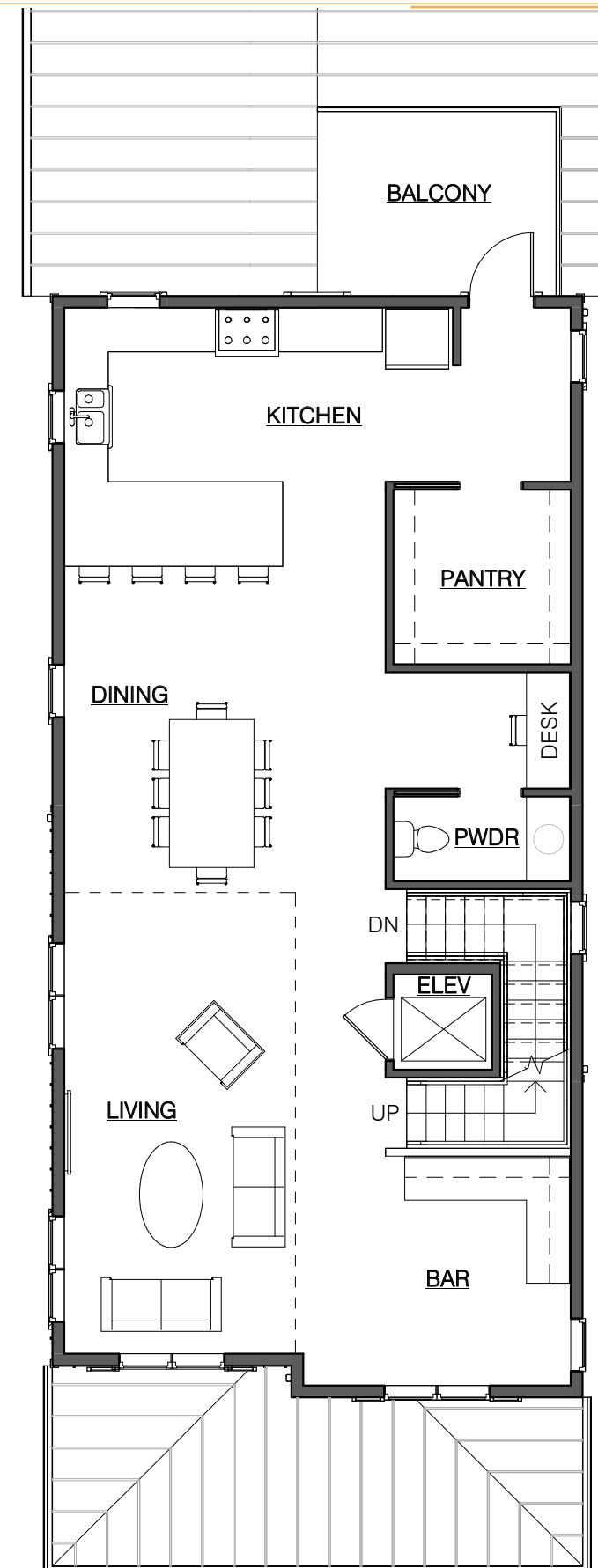
SF C
SINGLE FAMILY HOUSE
PLANS AND ELEVATIONS



BASEMENT

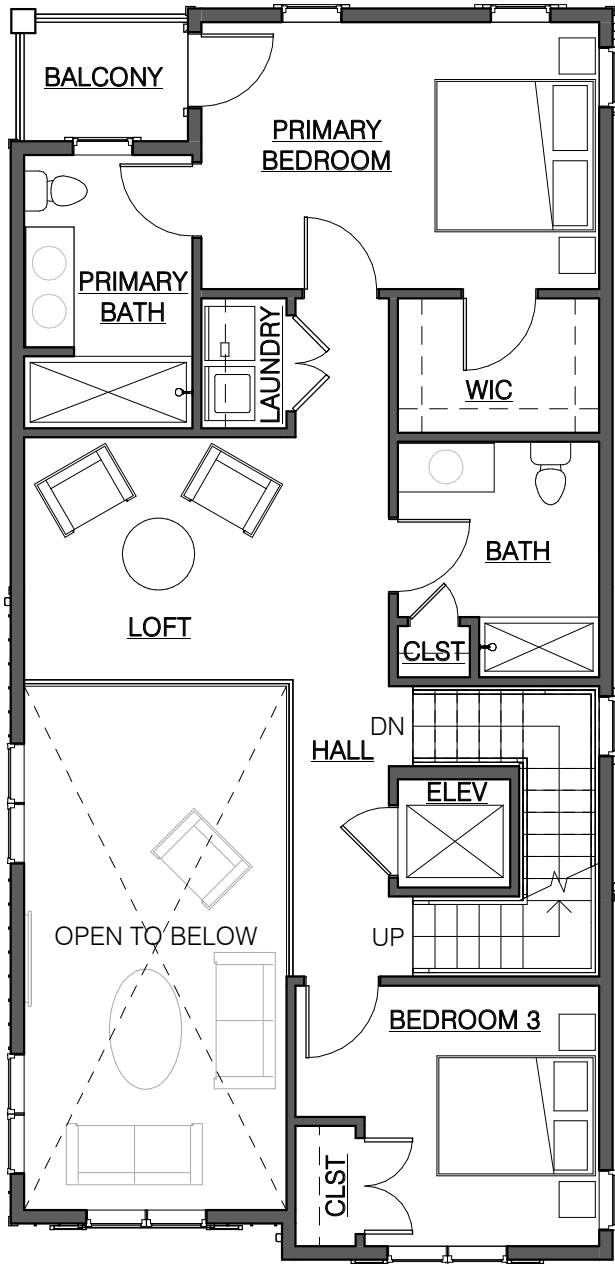


LEVEL 1

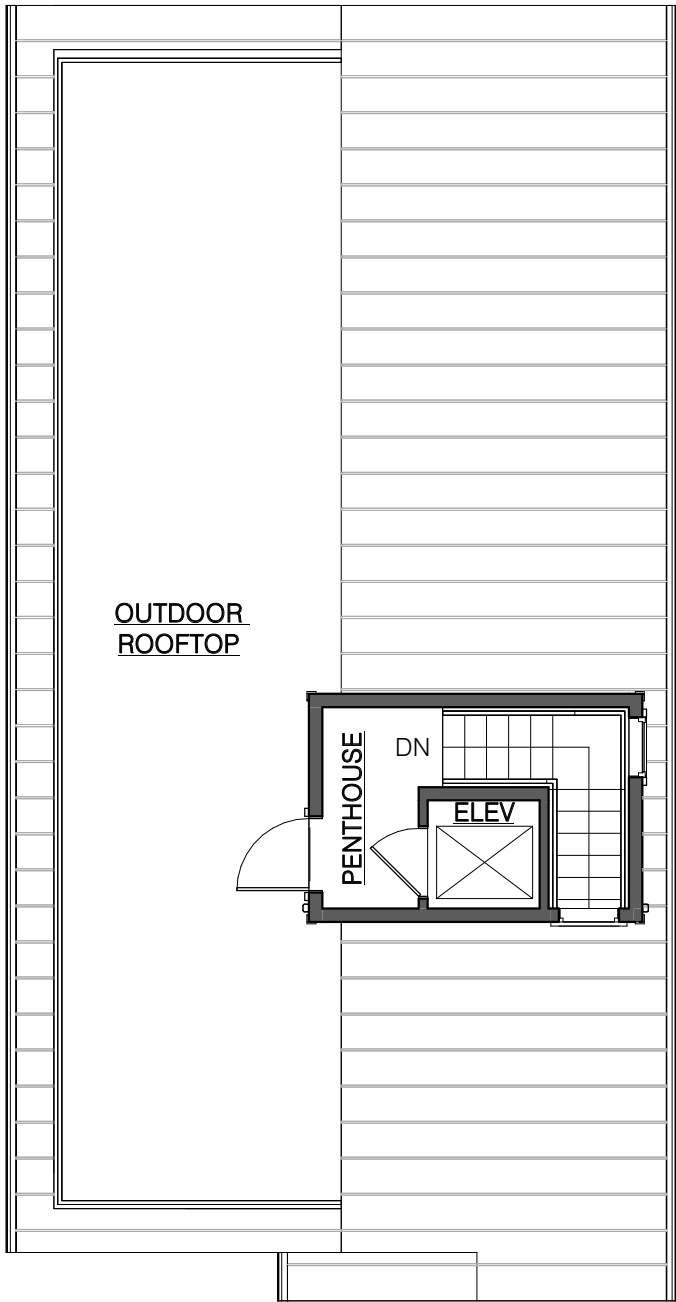


LEVEL 2

SCALE: 1/8" = 1' - 0"



LEVEL 3



LEVEL 4 - ROOFTOP



FRONT

SIDE

NOTES

- | | | | | |
|-----------------|---------------------|------------------------|------------------------|----------------------------------|
| A STUCCO | C BRICK | E METAL RAILING | G LAP SIDING | I BOARD AND BATTEN SIDING |
| B STONE | D METAL ROOF | F TRELLIS | H SHAKER SIDING | J DOWNSPOUT |



REAR

SIDE

NOTES

- A** STUCCO

B STONE
- C** BRICK

D METAL ROOF
- E** METAL RAILING

F TRELLIS
- G** LAP SIDING

H SHAKER SIDING
- I** BOARD AND BATTEN SIDING

J DOWNSPOUT

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



Near West Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 8:30 AM

Case Number: NW2024-034 **Meeting Date:** 2/26/25
Project Name: W 14th Residential **Ward #:** 3
Project Address: 2915 W 14th St
Project Rep. : Gram Post, Jim Clarke
Existing Use: 1 vacant, three homes for det **Proposed Use:** 6 unit development
Project Scope: New construction of 6-units in a MF

Design Review Level Applied For: Schematic

Motion by Design Review Committee:

Approve (as presented) ☐ Approve (with stated conditions) ☒ Disapprove ☐ Table ☐

Conditions:

Design considerations to the facade to bring variation to the street

Condition to upgrade landscaping in the rear

look into egress windows

Next step: CPC - Schematic

Committee Action:		(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)			
Contreras	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input checked="" type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Madera	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input checked="" type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Esposito	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Rakaukas	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Gallagher	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Sandoval	<input type="checkbox"/> Yea <input checked="" type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Gardin	<input type="checkbox"/> Yea <input checked="" type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Schmidt	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Hart	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input checked="" type="checkbox"/> Abst. <input type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		
Jurca (C)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.				

Applicant Signature & Date:

Virtual Meeting – No Signature Required

Cleveland City Planning Commission

Central Southeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Mar 7, 2025

CSE2025-010 – 4814 Finn Ave Demolition

Project Address: 4814 Finn Ave

Type: Demolition

Project Representative: Caylen Payne, Cuyahoga Land Bank

Approval: Final

Ward 5 – Council Member Starr

SPA: Broadway-Slavic Village

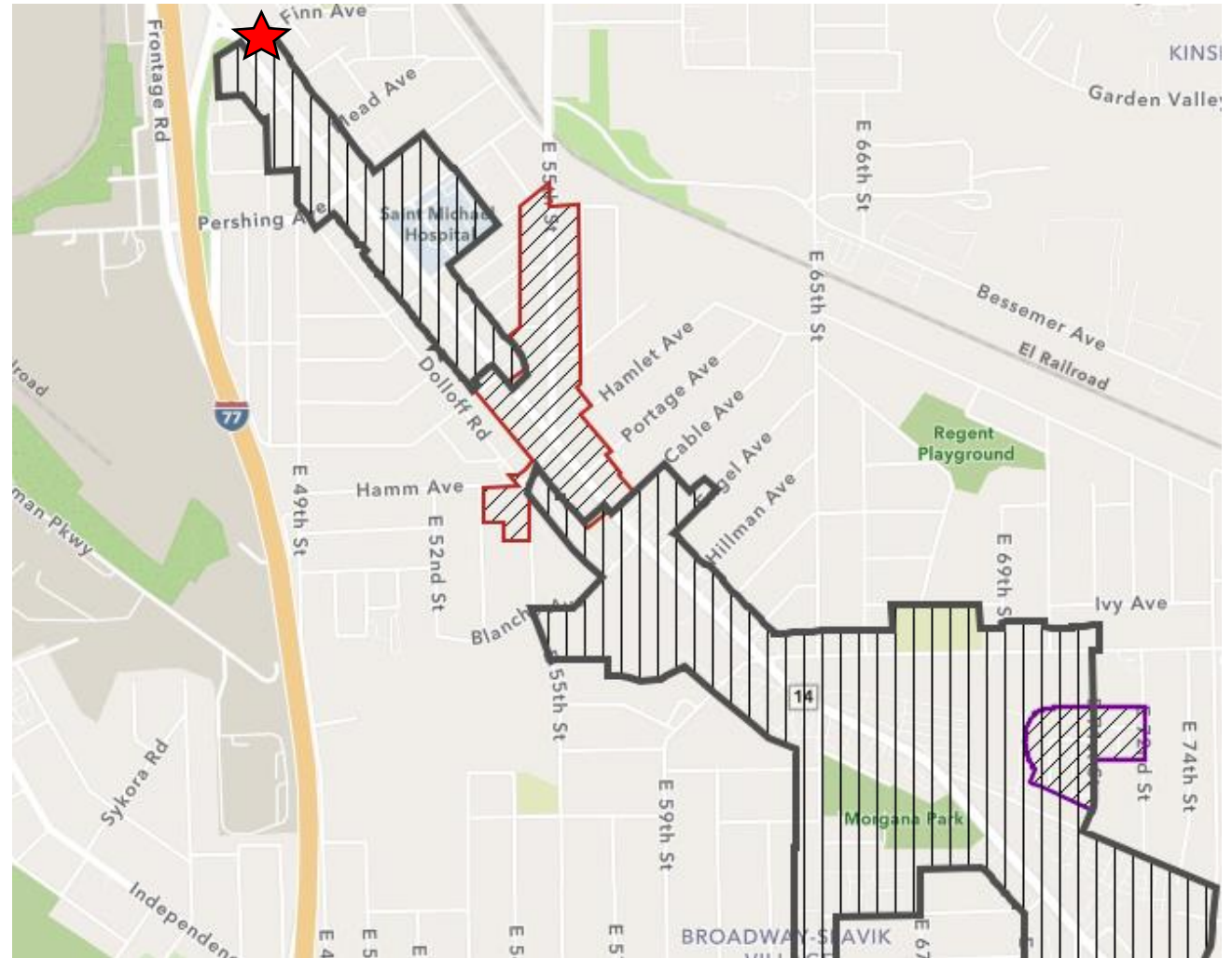


Proposed Demolition 4814 Finn Ave. 123-21-132

Central Southeast Design Review Committee
February 10, 2025

Site Location Map District Level

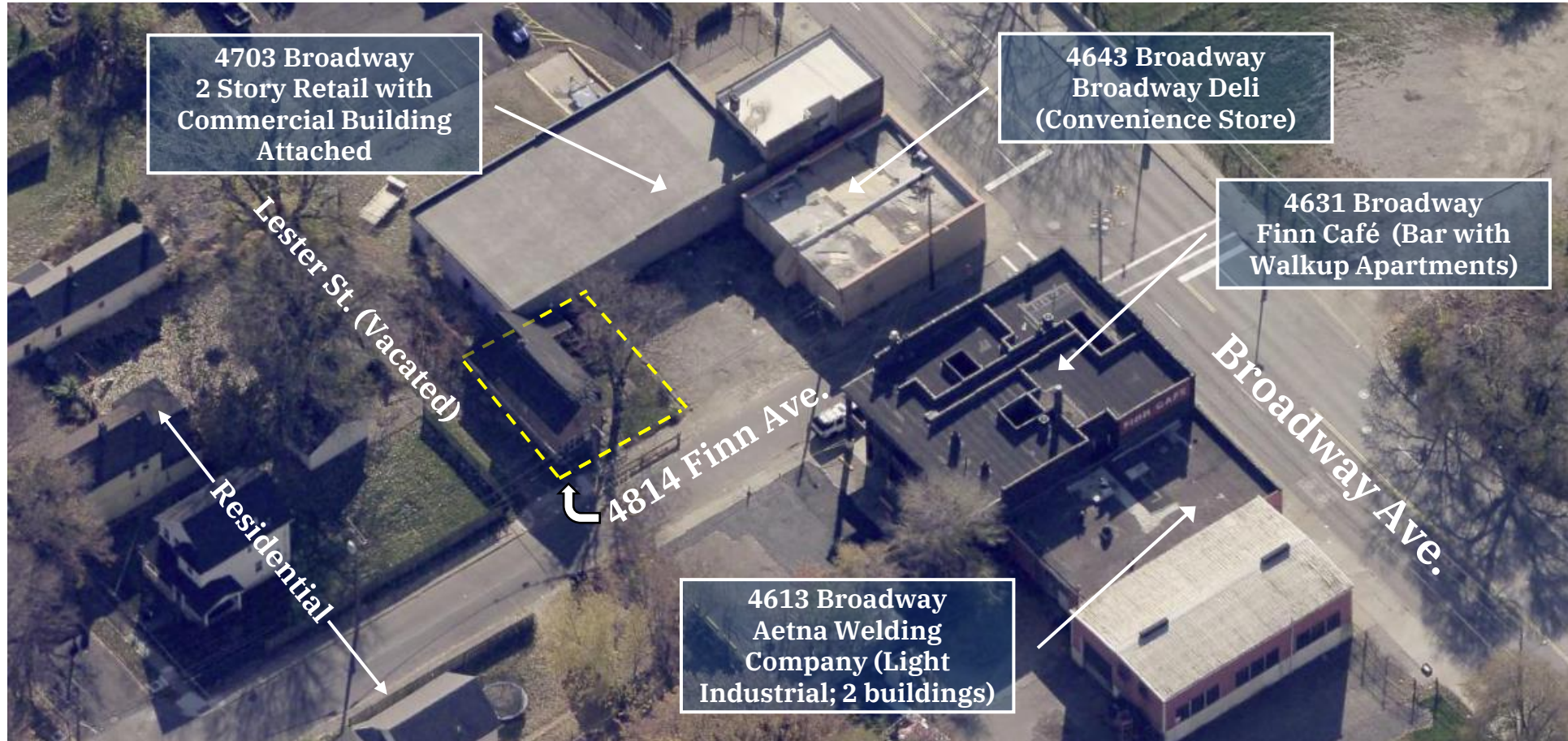
- 4814 Finn Ave.
- Located 160 Ft from Broadway and Finn Ave. at the Northern Boundary of the Central Southeast Design Review District
- Single Family Cape Cod - Built 1890
- 1154 Sq/Ft on a 40'X48' lot
- 2 Bedroom
- 1 Bath
- No Garage – Small Shed Present
- German Basement



Site Context Plan



Site Context Plan



Existing Conditions – Street Level



Existing Conditions – Street Level



Existing Conditions - Exterior



Existing Conditions - Ground Floor



Existing Conditions – Attic and Basement



Final Site Plan Proposal



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Central Southeast Design Review Case Detail Report

Project Information

Central Southeast CASE # CSE 2025-010

Project Name: 4814 Finn Ave Demolition
Address: 4814 Finn Ave
Contact: Caylen Payne
Company: Cuyahoga Land Bank
Owner/Rep:
Architect/Contractor:
Phone: 216.678.4278
Email: cpayne@cuyahogalandbank.org
General Description:
Notes:

ACTIONS/APPROVALS/DISAPPROVALS

Action (Not Final)	
Action Date:	February 18, 2025
Committee:	Staff
Action Type:	Initial Plan Submission
Notes:	
Action (Final)	
Action Date:	February 25, 2025
Committee:	Staff
Action Type:	Approved
Conditions::	1st Motion: Ferringer, Approve 2nd Motion: Mayes Hills: Yes Mayes: Weslian: Yes Ferringer: Shefton: Yes
Notes:	
City Planning Commission (Final)	
Action Date:	
Committee:	City Planning Commission
Action Type:	

Mar 7, 2025

CSE2025-011 – 2826 E. 79th St Demolition

Project Address: 2826 E. 79th St

Type: Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

Ward 5 – Council Member Starr

SPA: Kinsman



CITY OF CLEVELAND
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

2826 E. 79th St.



2826 E 79th St., 44104

PPN: 124-29-057

Property Information:

- Zoning: General commercial
- Land use: Store with walk-up apartments
- Acreage: 0.11
- Ward: 5
- SPA Neighborhood: Opportunity Corridor



Background Information

01 Owner

City of Cleveland

- Owner since 2018

03 Complaints & Board-ups

Both structures condemned since October 25, 2024

0 complaints since 2007

0 board-ups since 2007

02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An Asbestos Survey and Phase I Environmental Site Assessment has been completed

04 Vacancy & Background

The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity.



Site Location

Situated on the west side of E. 79th St.

South of Opportunity Corridor



Site Context

Adjacent Uses:

North: Vacant and commercial

South: Vacant and commercial

West: Commercial

East: Vacant and commercial

Across the street:

Vacant

Rear:

Commercial



Exterior Photos – Front and Rear Elevations - Front Structure



Exterior Photos – Front and Rear Elevations - Rear Structure



Exterior Photos - North and South Elevation



Exterior Photos - West and East Elevation



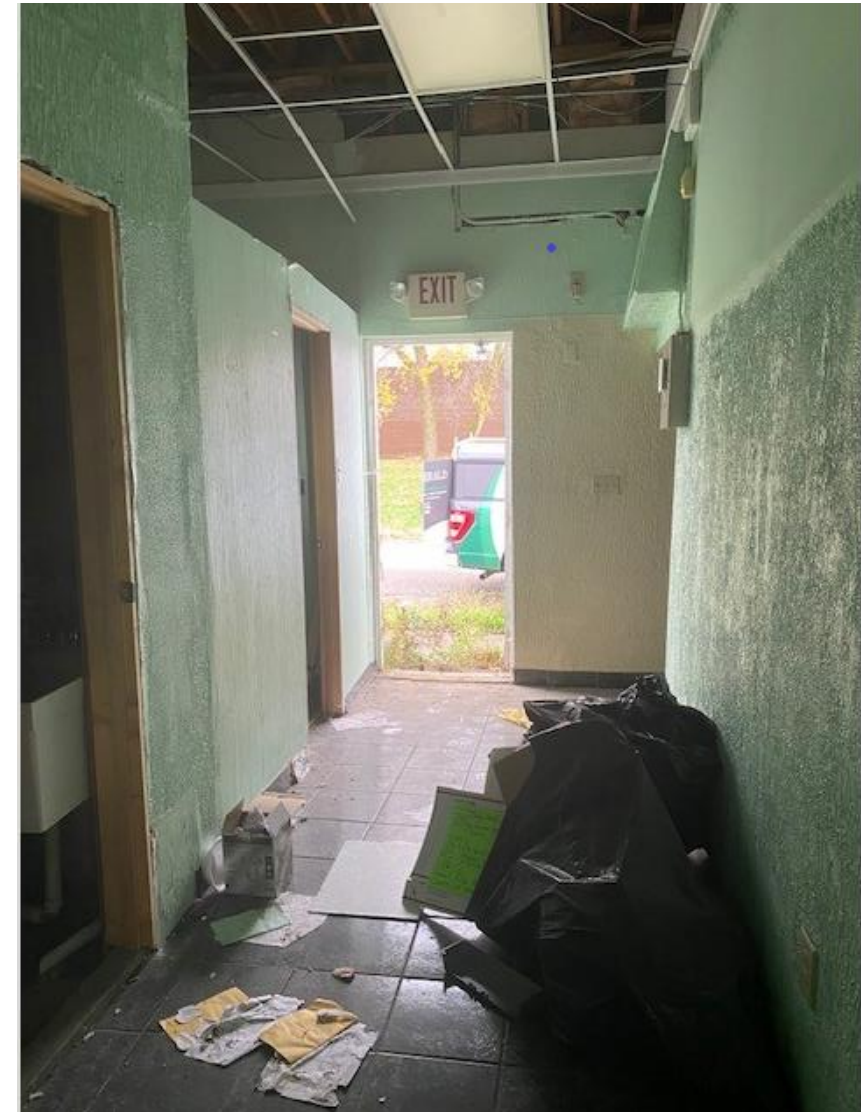
Interior Photos – Front Structure



Interior Photos – Front Structure



Interior Photos – Rear Structure



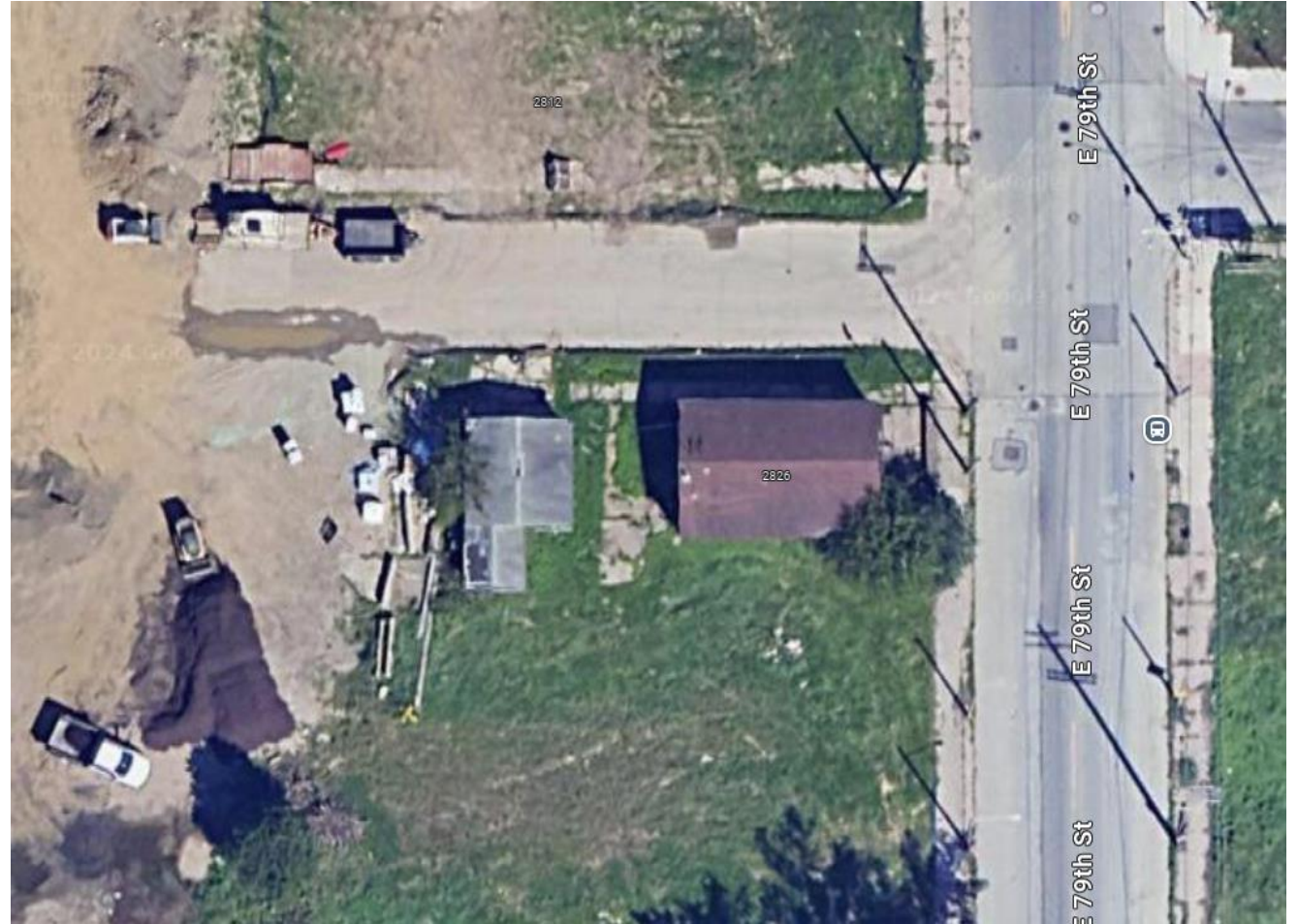
Site Plan & Finish

Demolish both structures

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Central Southeast Design Review Case Detail Report

Project Information

Central Southeast CASE # CSE 2025-011

Project Name: 2826 E. 79th St Demolition

Address: 2826 E. 79th St

Contact: Elizabeth Mackey

Company: City Of Cleveland, Demolition Bureau

Owner/Rep: City of Cleveland

Architect/Contractor:

Phone: 216.664.2959

Email: EMackey@clevelandohio.gov

General Description: Demolition is apart of Economic Development's larger vision plan for Opportunity Corridor.

Notes:

ACTIONS/APPROVALS/DISAPPROVALS

Action (Not Final)	
Action Date:	February 18, 2025
Committee:	Staff
Action Type:	Initial Plan Submission
Notes:	
Action (Final)	
Action Date:	February 25, 2025
Committee:	Staff
Action Type:	Approved
Conditions::	1st Motion: Mayes, Approve 2nd Motion: Weslian Hills: Yes Mayes: Weslian: Yes Ferringer: Yes Shefton: Yes
Notes:	
City Planning Commission (Final)	
Action Date:	
Committee:	City Planning Commission

Central Southeast Design Review

Mar 7, 2025

CSE2025-013 – 2806 E. 79th St Demolition

Project Address: 2806 E. 79th St

Type: Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

Ward 5 – Council Member Starr

SPA: Kinsman



CITY OF CLEVELAND
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

2806 E. 79th St.



2806 E. 79th St., 44104
PPN: 124-28-017

Property Information:

- Zoning: general commercial
- Land use: 1 unit warehouse < 75,000 SF
- Lot size: 40' frontage
- Acreage: 0.15
- Ward: 5
- SPA Neighborhood: Kinsman



Background Information

01 Owner

City of Cleveland

- Owner since 2018

03 Complaints & Board-ups

Condemned since December 13, 2021

2 complaints since 2004

2 board-ups since 2004

02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An Asbestos Survey and Phase I Environmental Site Assessment have been completed

04 Vacancy & Background

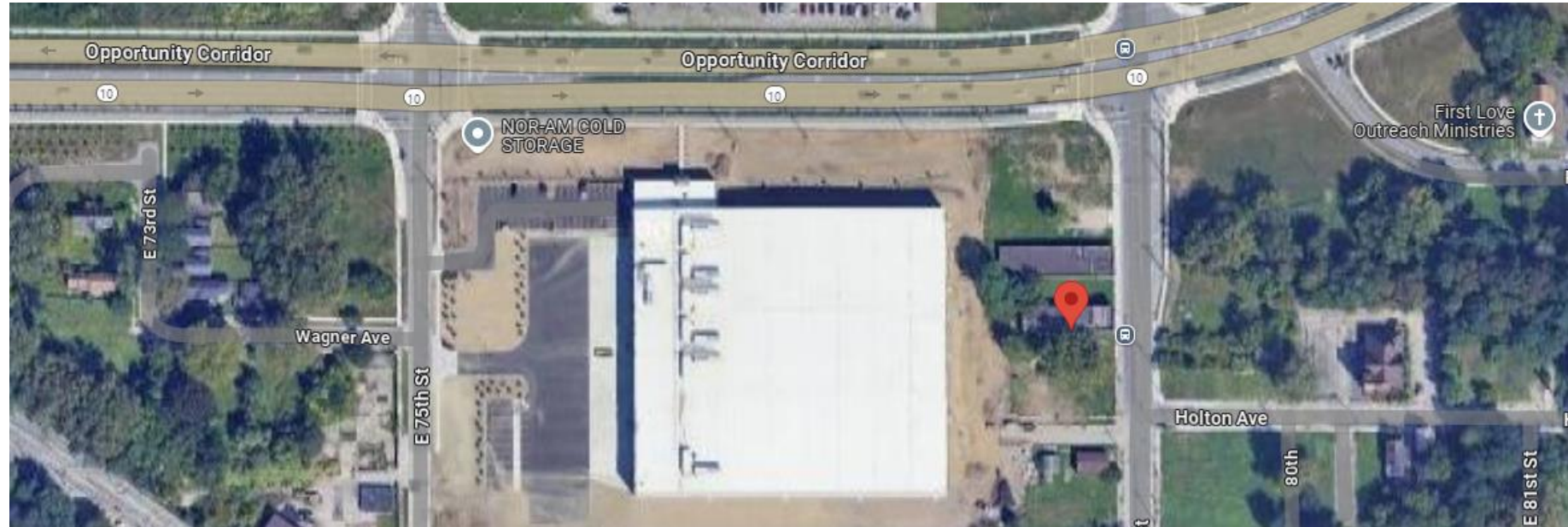
The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity.



Site Location

Situated on the south side of Opportunity Corridor

West of Holton Ave.



Site Context

Adjacent Uses:

North: Commercial and vacant land

South: Commercial and vacant land

West: Commercial

East: Commercial and residential



Across the street:

Vacant land

Rear:

Commercial



Exterior Photos – Front and Rear Elevations



Exterior Photos – Side Elevations



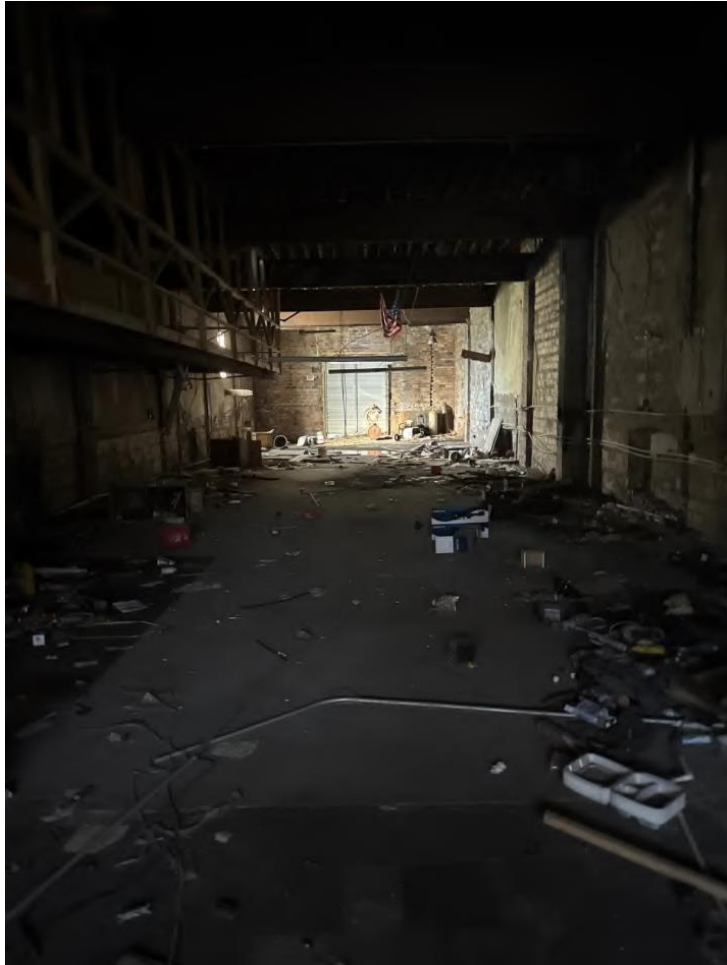
Exterior Photos – North and South Elevation



Exterior Photos – West and East Elevation



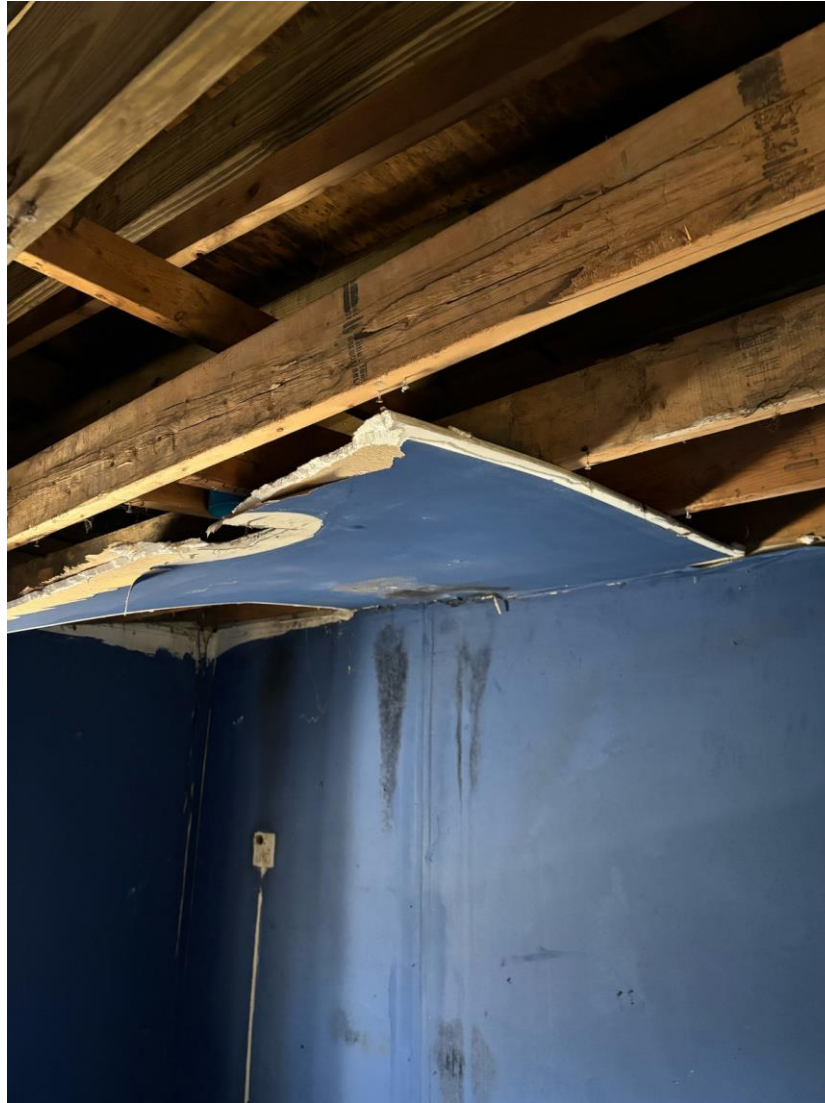
Interior Photos



Interior Photos



Interior Photos



Site Plan & Finish

Demolish the structure

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Central Southeast Design Review Case Detail Report

Project Information

Central Southeast CASE # CSE 2025-013

Project Name: 2806 E. 79th St Demolition

Address: 2806 E 79th St.

Contact: Elizabeth Mackey

Company: City Of Cleveland, Demolition Bureau

Owner/Rep: City of Cleveland

Architect/Contractor:

Phone: 216.664.2959

Email: EMackey@clevelandohio.gov

General Description: Demolition is a part of Economic Development's larger vision plan for Opportunity Corridor.

Notes:

ACTIONS/APPROVALS/DISAPPROVALS

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Action Type:	Approved
Conditions::	1st Motion: Shefton, Approve 2nd Motion: Mayes Hills: Yes Mayes: Weslian: Yes Ferringer: Yes Shefton
Notes:	
City Planning Commission (Final)	
Action Date:	
Committee:	City Planning Commission

Cleveland City Planning Commission

Euclid Corridor Buckeye Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Euclid Corridor Buckeye Design Review

Mar 7, 2025

EC2025-003 – 10523 Norman Ave. demolition

Project Address: 10523 Norman Avenue

Type: Residential Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

Ward 6 – Council Member Griffin | SPA: University



CITY OF CLEVELAND
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

10523 Norman Ave.

CITY of **CLEVELAND**
MAYOR JUSTIN M. BIBB



10523 Norman Ave., 44106
PPN: 121-20-034

Property Information:

- Zoning: Low Density Apartment
- Land use: 1 Family Platted Lot
- Lot size: 32' x 88'
- Acreage: 0.07
- Ward: 6
- SPA Neighborhood: University



Background Information

01 Owner

City of Cleveland

- Owner since 2019

03 Complaints & Board-ups

Condemned since June 22, 2023

3 formal complaints in Accela since 2008

3 board-ups since 2008

02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An asbestos survey has been completed

04 Vacancy & Background

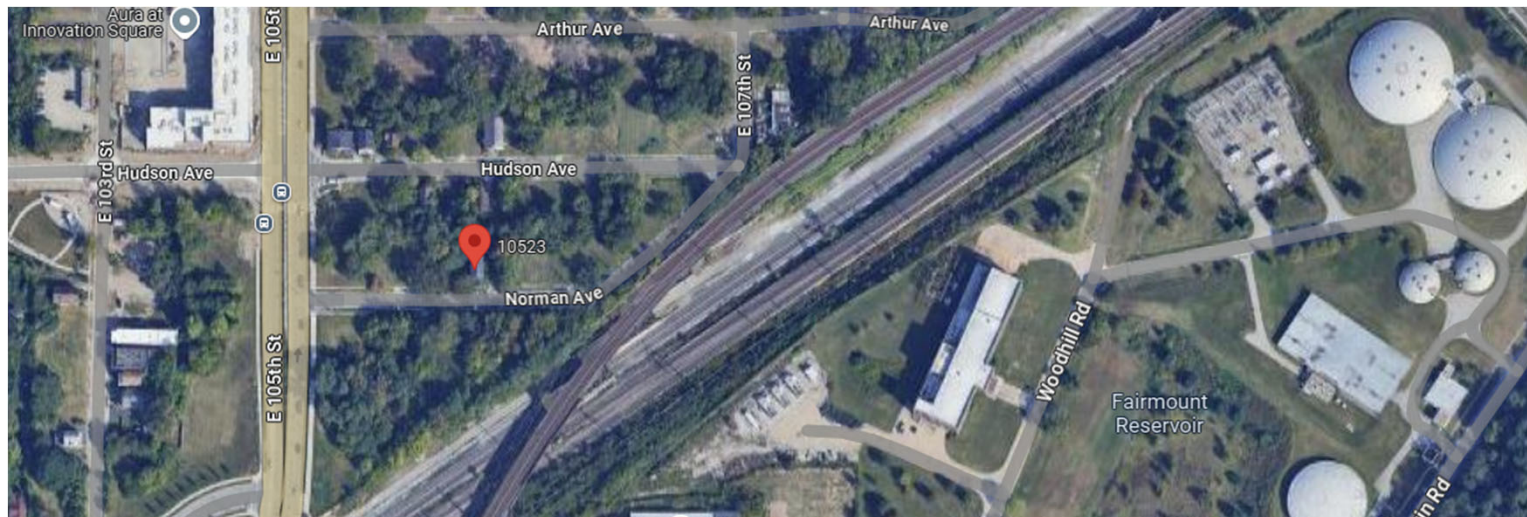
The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity



Site Location

Situated on the north side of Norman Ave.

East of E. 105th St.



Site Context

Adjacent Uses:

North: residential

South: vacant

West: vacant

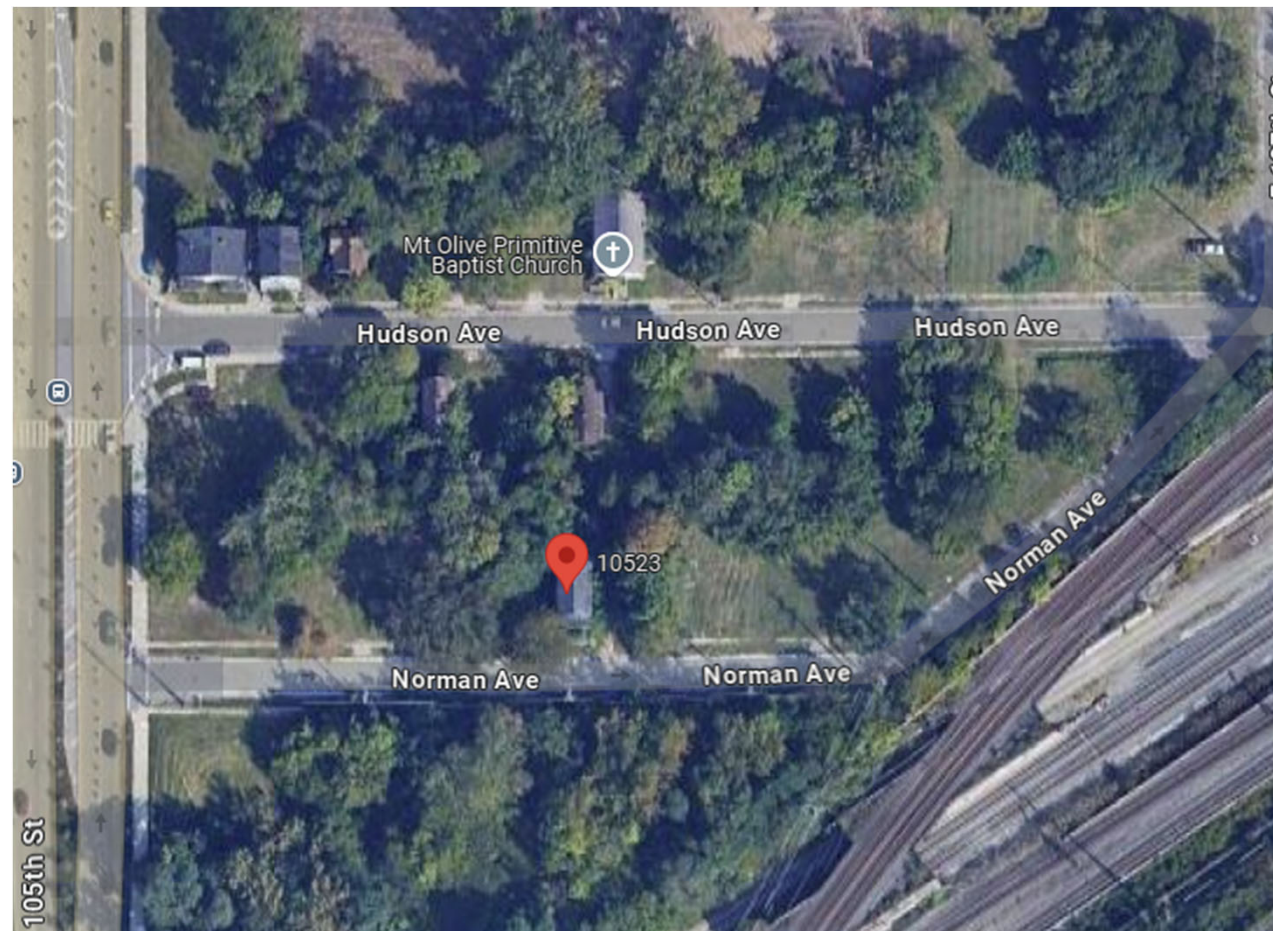
East: vacant

Across the street:

Vacant

Rear:

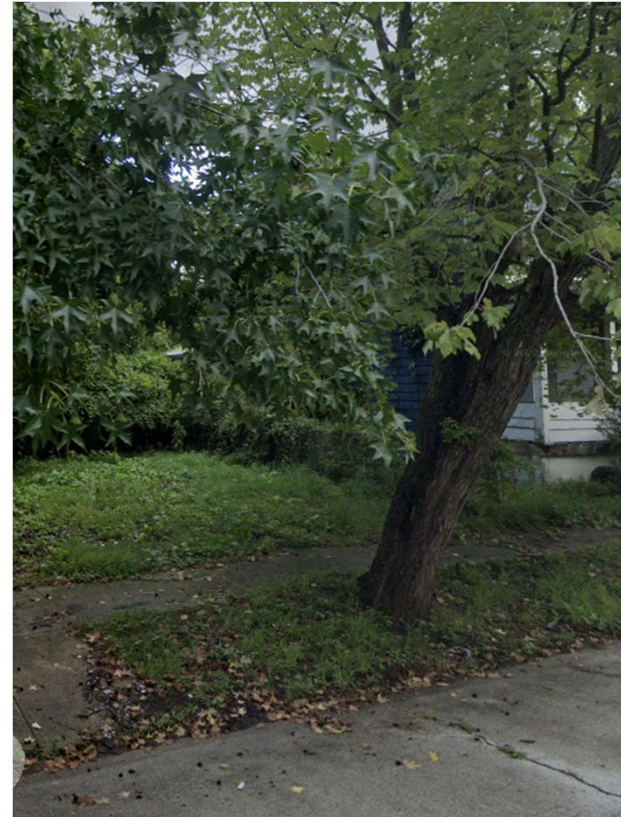
Residential



Exterior Photos – Front and Rear Elevation



Exterior Photos – Side Elevation



Exterior Photos – North and South Elevation



Exterior Photos – West and East Elevation



Interior Photos



Interior Photos



Interior Photos



Interior Photos



Interior Photos



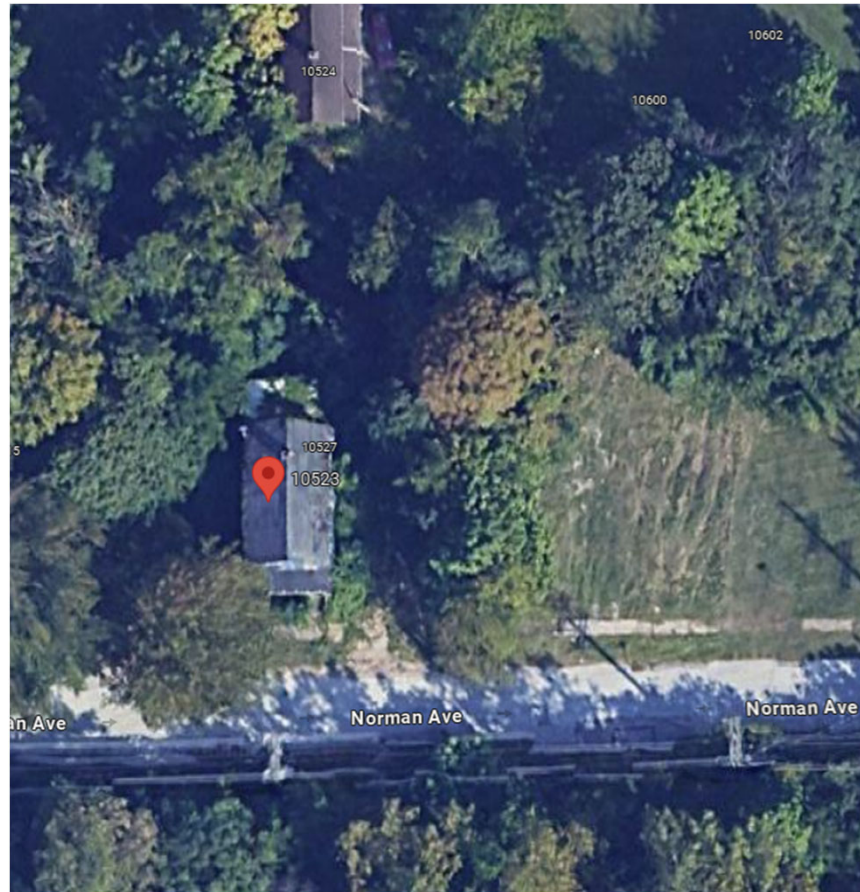
Site Plan & Finish

Demolish the structure

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb

Euclid Corridor Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: MidTown Cleveland Offices located at 5000 Euclid Ave.

Case Number: EC 2025-003

Meeting Date: 03/6/2025

Project Name: 10523 Norman demolition

Project Address: 10523 Norman Ave.

Contact Person: Beth Mackey

Architect/Contractor: _____

General Description: _____

Motion by Design Review Committee:

Approved

Approve:

Disapprove:

Abstain:

Non-Voting Members:

Insure that foundation is completely removed.

Motion for approval: Whitfield Second: Rothenberg

Votes in favor: Trotta, Brown, Herring, Holland, Pace, Wagner, Whitfield, Wilson

Non-voting present: Scott, Chatburn, Peppers

Euclid Corridor Buckeye Design Review

Mar 7, 2025

EC2025-004 – 10512 Hudson Ave. demolition

Project Address: 10512 Hudson Ave.

Type: Residential Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

Ward 6 – Council Member Griffin | SPA: University



CITY OF CLEVELAND
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

10512 Hudson Ave.



10512 Hudson Ave., 44106
PPN: 121-20-174

Property Information:

- Zoning: Low Density Apartments
- Land use: 1 Family Platted Lot
- Lot size: 28' x 82'
- Acreage: 0.05
- Ward: 6
- SPA Neighborhood: University



Background Information

01 Owner

City of Cleveland

- Owner since 2020

02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An asbestos survey has been completed

03 Complaints & Board-ups

Condemned since June 26, 2023

3 formal complaints in Accela since 2004

1 board-ups since 2004

04 Vacancy & Background

The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity



Site Location

Situated on south side of Hudson Ave.

Situated east of E. 105th St.



Site Context

Adjacent Uses:

North: vacant and residential

South: vacant

West: vacant

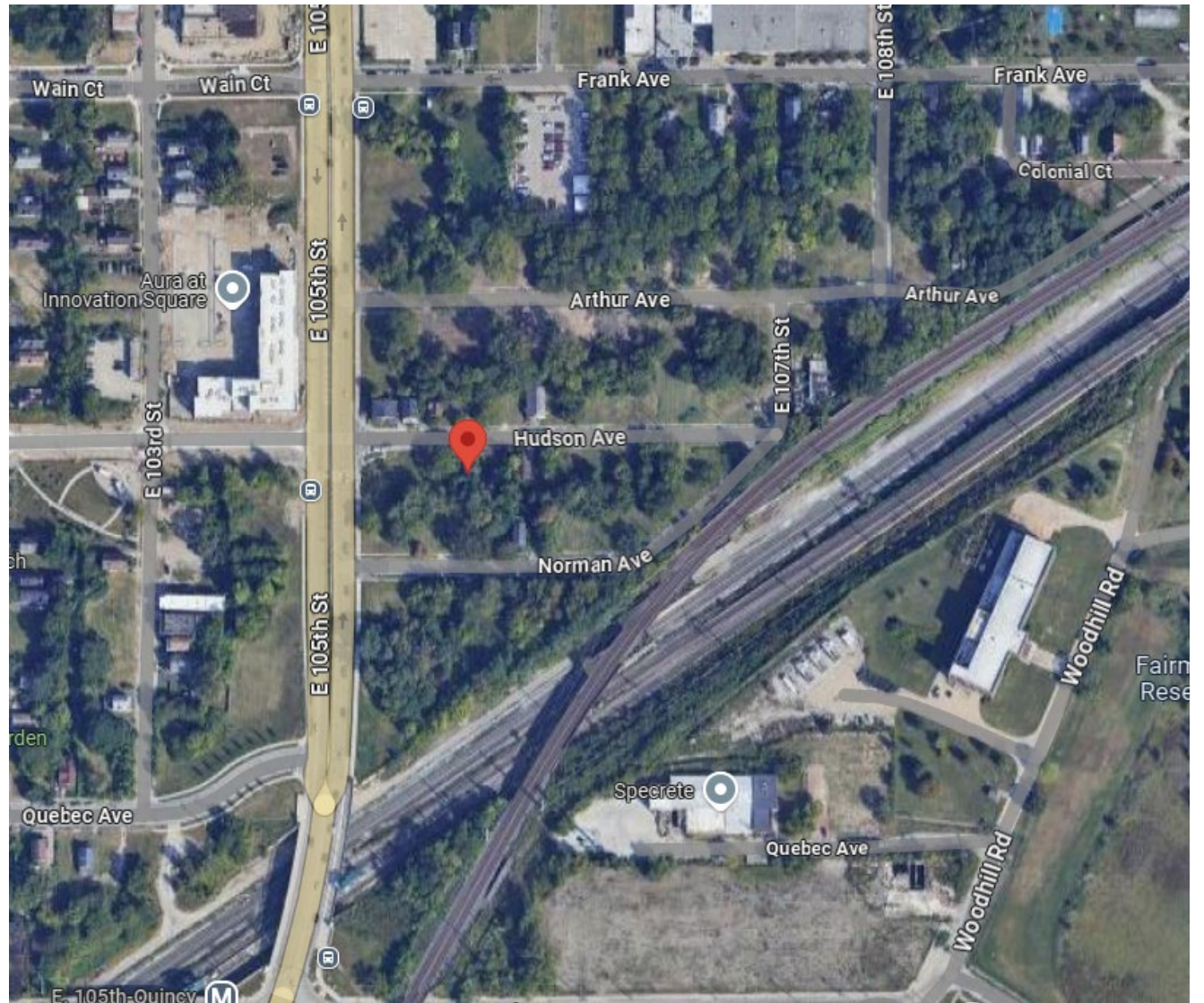
East: vacant and residential

Across the street:

Residential

Rear:

Vacant



Exterior Photos – Front and Rear Elevation



Exterior Photos – Side Elevation



Exterior Photos – North and South Elevation



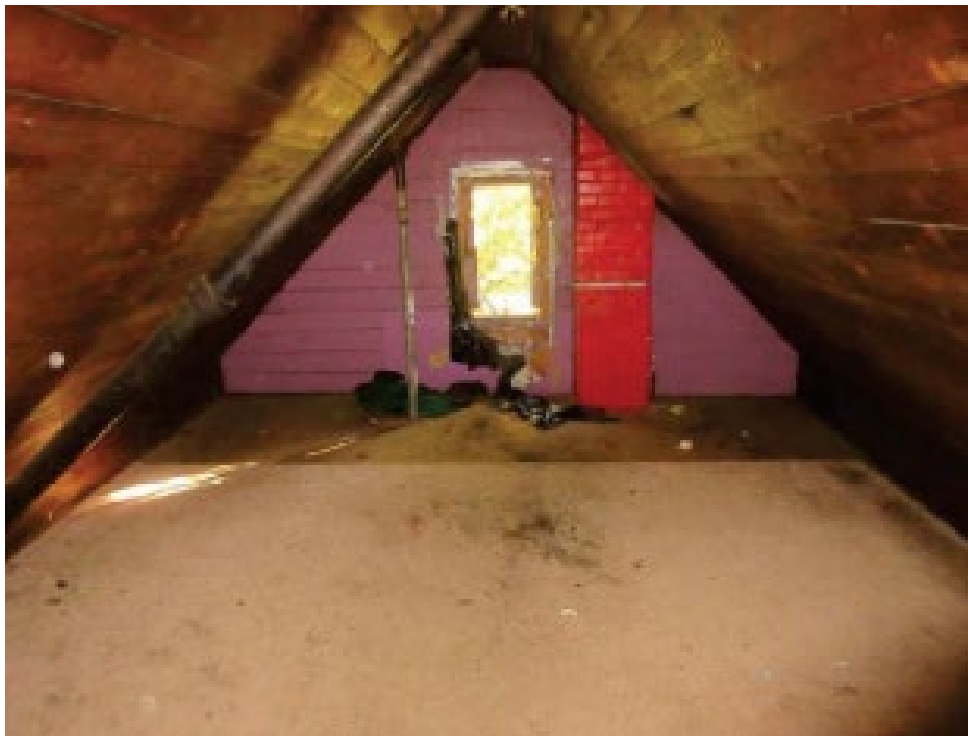
Exterior Photos – West and East Elevation



Interior Photos



Interior Photos



Interior Photos



Interior Photos



Interior Photos



Site Plan & Finish

Demolish the structure

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb

Euclid Corridor Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: MidTown Cleveland Offices located at 5000 Euclid Ave.

Case Number: EC 2025-004

Meeting Date: 03/6/2025

Project Name: 10512 Hudson demolition

Project Address: 10512 Hudson Ave.

Contact Person: Beth Mackey

Architect/Contractor: _____

General Description: _____

Motion by Design Review Committee:

Approved

Approve:

Disapprove:

Abstain:

Non-Voting Members:

Insure that foundation is completely removed.

Motion for approval: Brown Second: Whitfield

Votes in favor: Trotta, Brown, Herring, Holland, Pace, Rothenberg, Wagner, Whitfield, Wilson

Non-voting present: Scott, Chatburn, Peppers

Euclid Corridor Buckeye Design Review

Mar 7, 2025

EC2025-005 – 10524 Hudson Ave. demolition

Project Address: 10524 Hudson Ave.

Type: Residential Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

Ward 6 – Council Member Griffin | SPA: University



CITY OF CLEVELAND
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

10524 Hudson Ave.



10524 Hudson Ave., 44106
PPN: 121-20-171

Property Information:

- Zoning: Low Density Apartments
- Land Use: 1-Family Platted Lot
- Lot size: 27' x 82'
- Acreage: 0.05
- Ward: 6
- SPA Neighborhood: University



Background Information

01 Owner

City of Cleveland

- Owner since 2020

02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An asbestos survey has been completed.

03 Complaints & Board-ups

Condemned since March 15, 2024

0 formal complaints in Accela since 2008

0 board-ups since 2008

04 Vacancy & Background

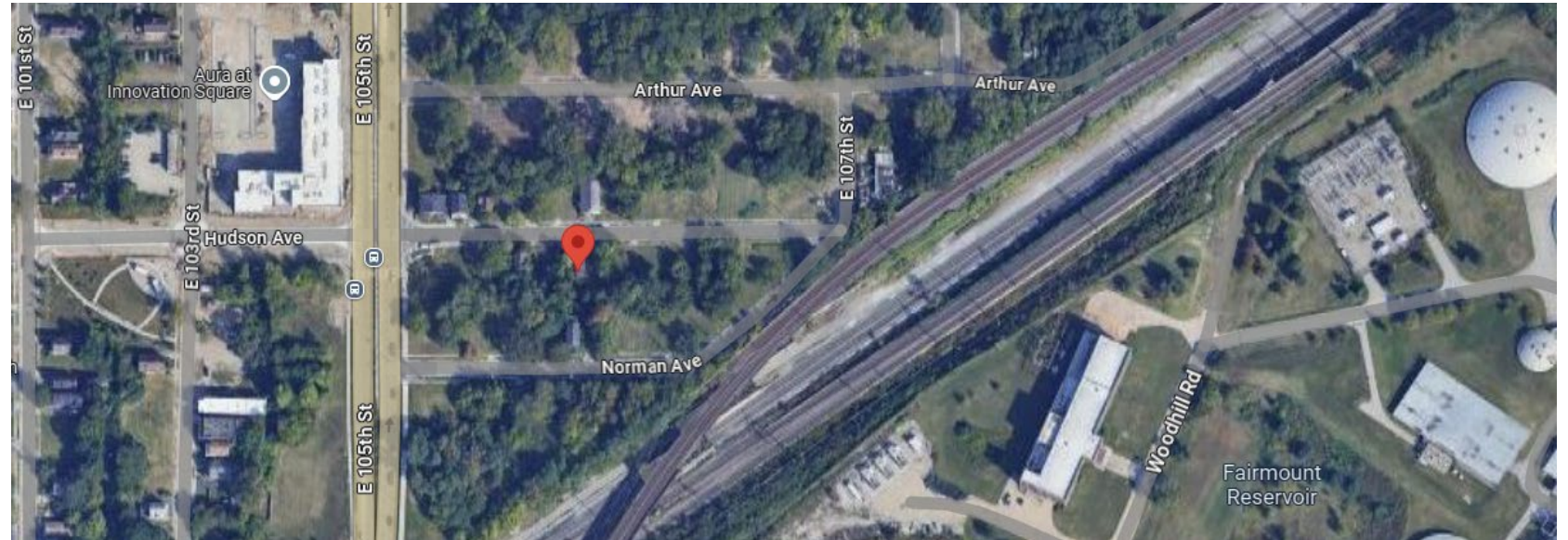
The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity.



Site Location

Situated on the south side of Hudson Ave.

East of E. 105th St.



Site Context

Adjacent Uses:

North: Commercial and vacant

South: Vacant

West: Vacant

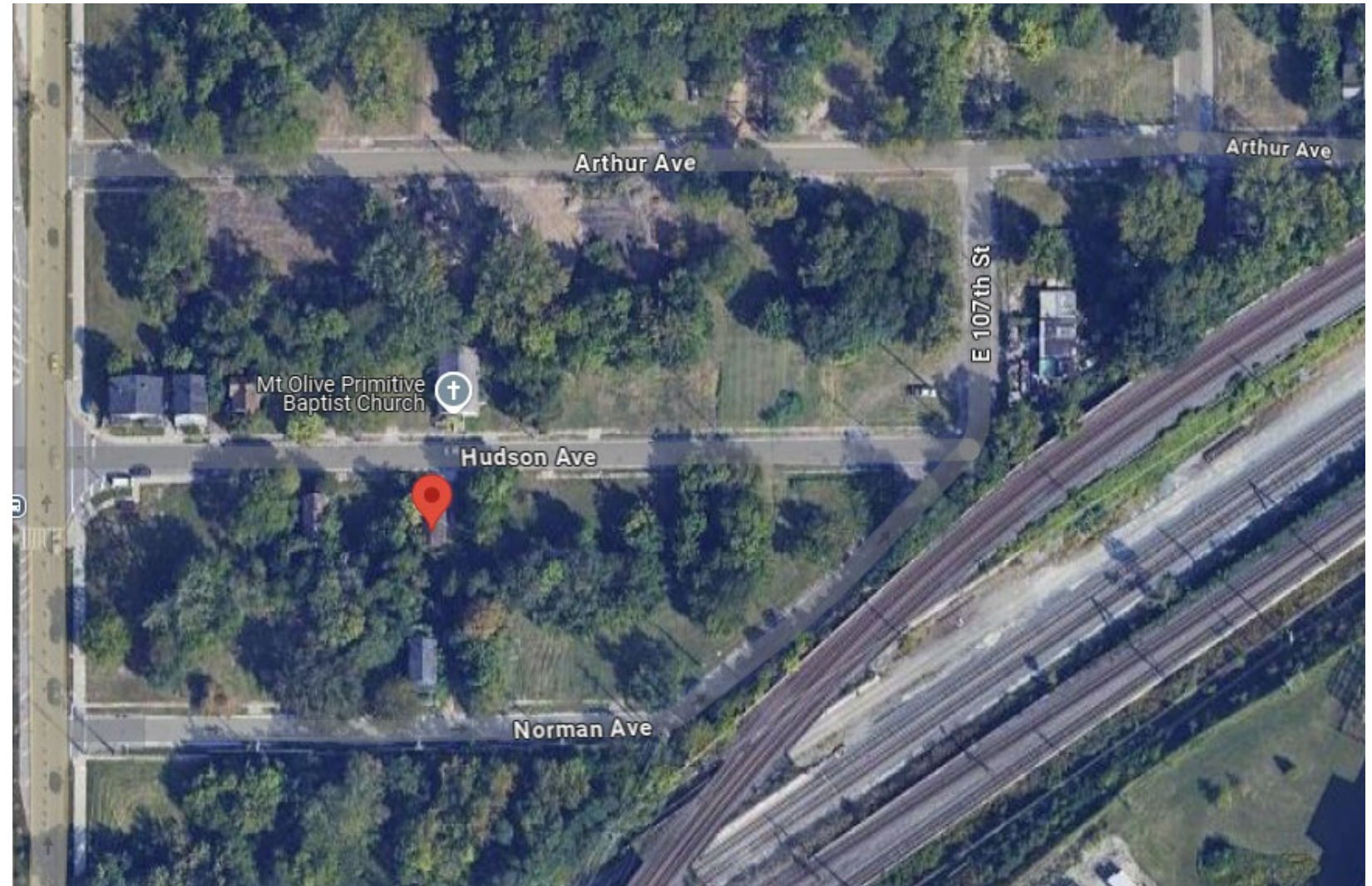
East: Vacant

Across the street:

Commercial

Rear:

Residential



Exterior Photos – North and South Elevation



Exterior Photos – West and East Elevation



Exterior Photos – Front and Rear Elevation



Exterior Photos – Side Elevation



Interior Photos



Interior Photos



Interior Photos



Interior Photos



Site Plan & Finish

Demolish the structure

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb

Euclid Corridor Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: MidTown Cleveland Offices located at 5000 Euclid Ave.

Case Number: EC 2025-005

Meeting Date: 03/6/2025

Project Name: 10524 Hudson demolition

Project Address: 10524 Hudson Ave.

Contact Person: Beth Mackey

Architect/Contractor: _____

General Description: _____

Motion by Design Review Committee:

Approved

Approve:

Disapprove:

Abstain:

Non-Voting Members:

Insure that foundation os completely removed.

Motion for approval: Wagner Second: Rothenberg

Votes in Favor: Trotta, Brown, Herring, Holland, Pace, Rothenberg, Wagner, Whitfield, Wilson

Non-voting present: Scott, Chatburn, Peppers

Euclid Corridor Buckeye Design Review

Mar 7, 2025

EC2025-006 – 10525 Hudson Ave. demolition

Project Address: 10525 Hudson Ave.

Type: Residential Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

Ward 6 – Council Member Griffin | SPA: University



CITY OF CLEVELAND
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

10525 Hudson Ave.



10525 Hudson Ave., 44106
PPN: 121-20-154

Property Information:

- Zoning: Low Density Apartments
 - Land use: Not assigned
 - Acreage: 0.09
 - Ward: 6
- SPA Neighborhood: University



Background Information

01 Owner

City of Cleveland
Owner since 2020

02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An asbestos survey has been completed

03 Complaints & Board-ups

Condemned since March 14, 2024

1 formal complaints in Accela since 2008

1 board-ups since 2008

04 Vacancy & Background

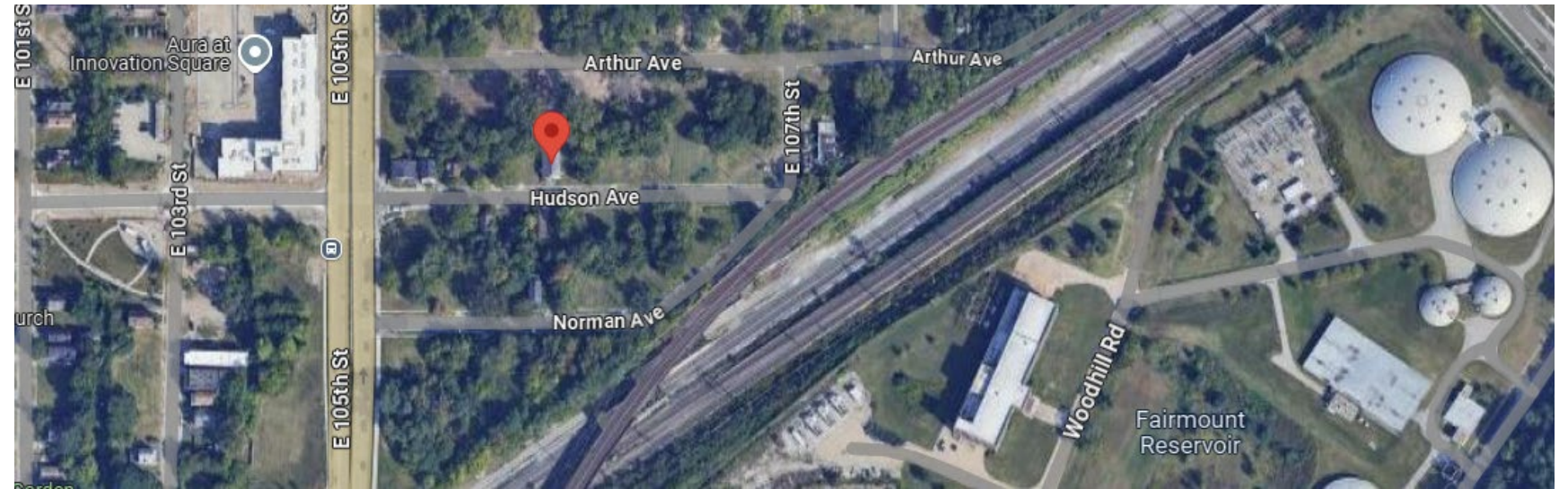
The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity



Site Location

Situated on the north side of Hudson Ave.

Situated east of E. 105th St.



Site Context

Adjacent Uses:

North: vacant

South: residential

West: Residential

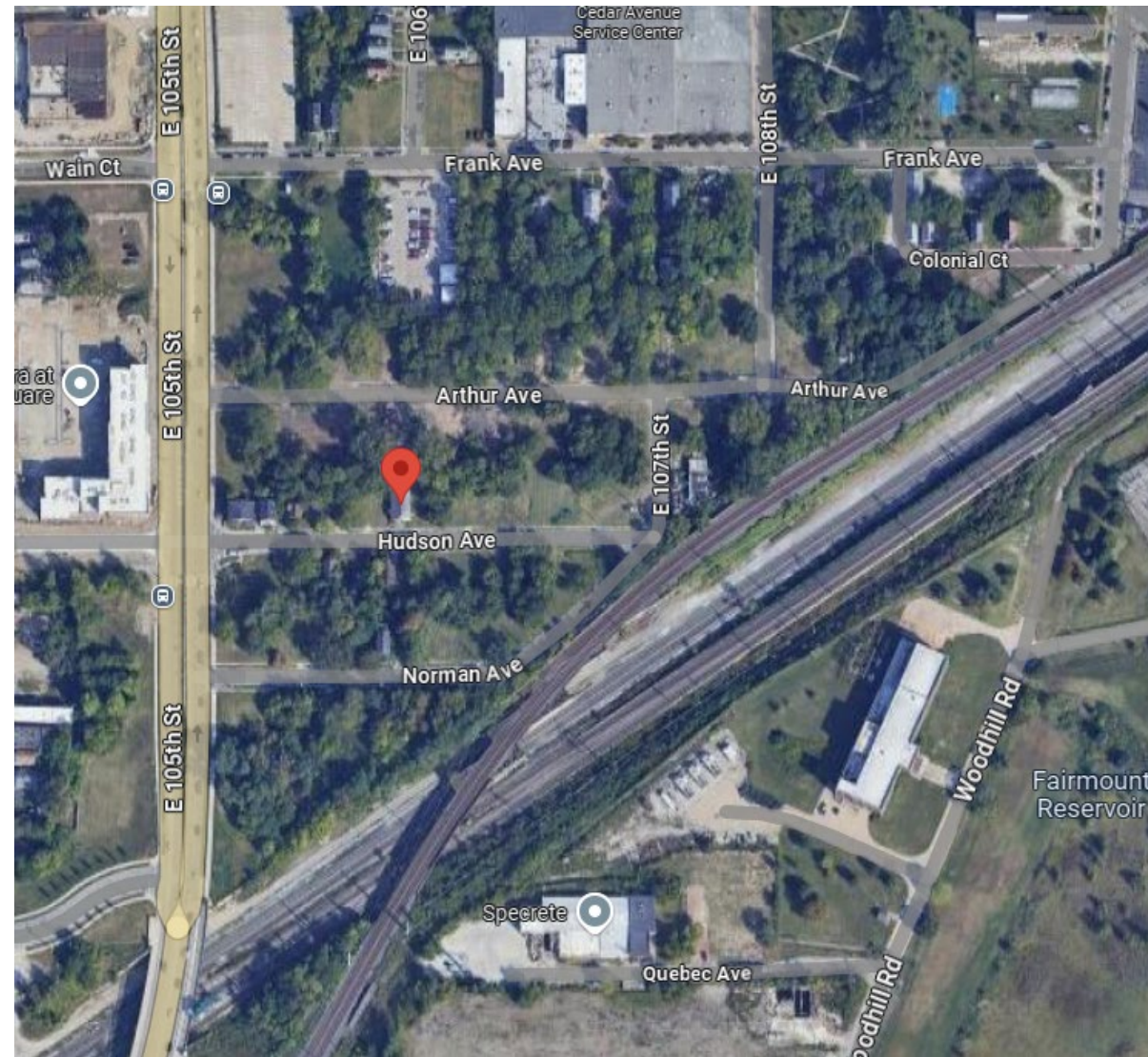
East: vacant

Across the street:

Residential

Rear:

Vacant



Exterior Photos – Front and Rear Elevation



Exterior Photos – Side Elevation



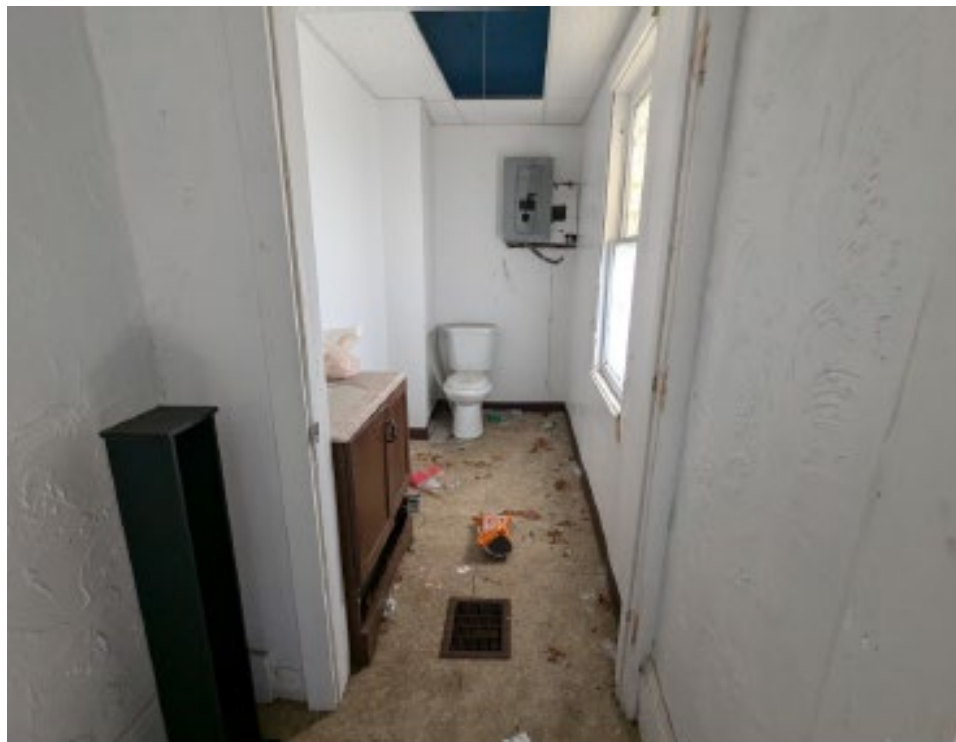
Exterior Photos – North and South Elevation



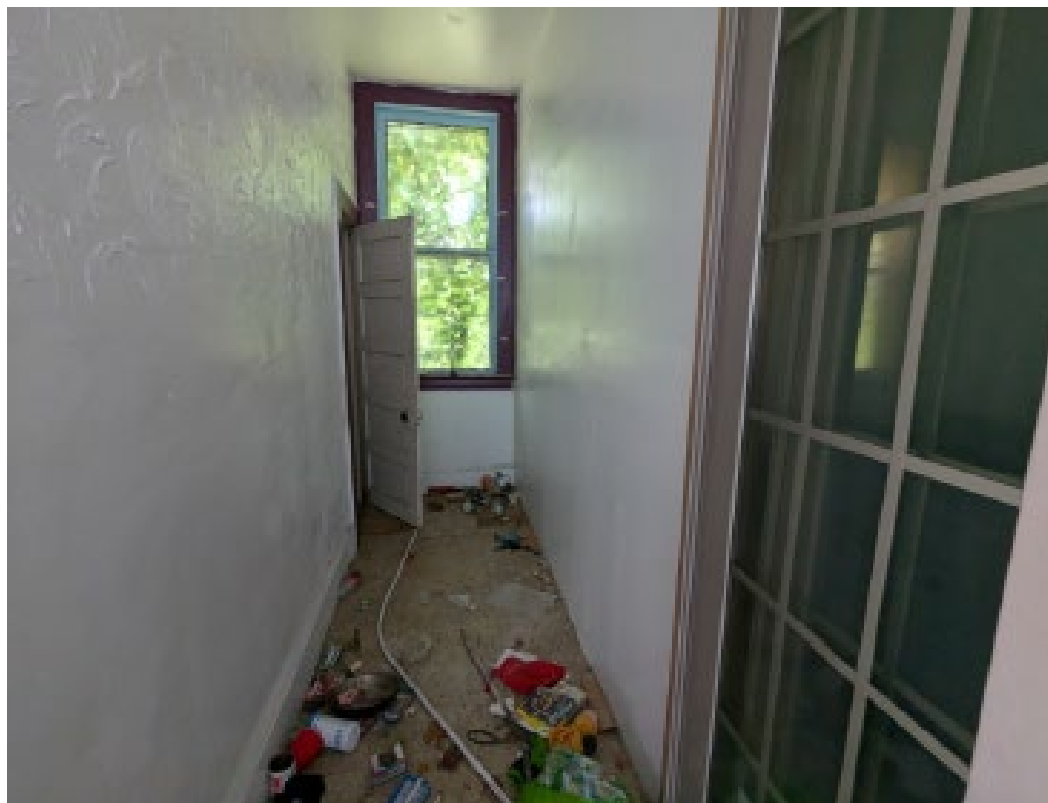
Exterior Photos – West and East Elevation



Interior Photos



Interior Photos



Interior Photos



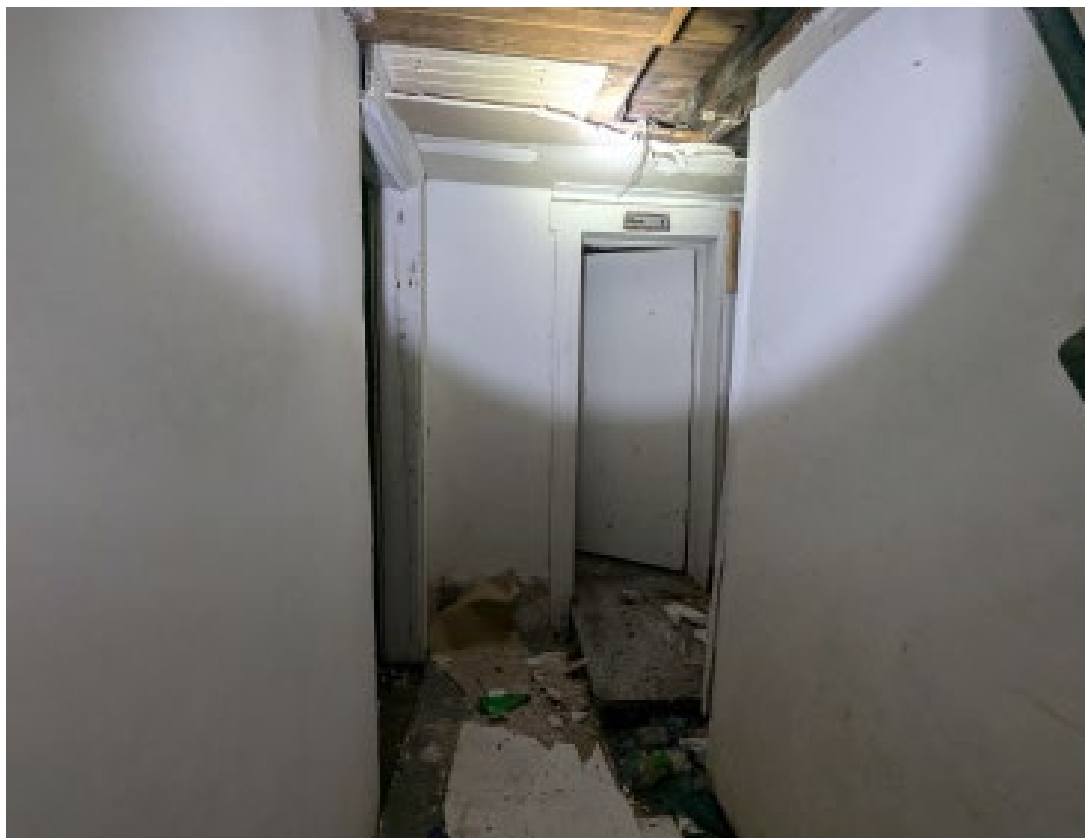
Interior Photos



Interior Photos



Interior Photos



Interior Photos



Interior Photos



Site Plan & Finish

Demolish the structure

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb

Euclid Corridor Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: MidTown Cleveland Offices located at 5000 Euclid Ave.

Case Number: EC 2025-006

Meeting Date: 03/6/2025

Project Name: 10525 Hudson demolition

Project Address: 10525 Hudson Ave.

Contact Person: Beth Mackey

Architect/Contractor: _____

General Description: _____

Motion by Design Review Committee:

Approved

Approve:

Disapprove:

Abstain:

Non-Voting Members:

Insure the foundation is completely removed.

Motion for approval: Brown Second: Whitfield

Votes in favor: Trotta, Brown Herring, Holland, Pace, Rothenberg, Wagner, Whitfield, Wilson

Non-voting present: Scott, Chatburn, Peppers

Euclid Corridor Buckeye Design Review

Mar 7, 2025

EC2025-002 – Warner & Swasey

Project Address: 5701 Carnegie Avenue

Type: Repurpose from vacant factory to Mixed Use

Project Representative: Nicholas Slaughterbeck, Moody Nolan

Approval: Schematic

Ward 5 – Council Member Starr | **SPA: Central**



Warner & Swasey

5701 Carnegie Ave

03.06.2025



Moody Nolan

PENNROSE

Bricks & Mortar | Heart & Soul

Euclid Corridor Design Review

1. Written Project Summary
2. Site Location
3. Site Context
4. Existing Conditions
5. Proposed Site Plan
6. Proposed Plantings & Furnishings
7. Demolition
8. Stormwater Management
9. First Floor Plan
10. Floor Plans – Floors 2-5
11. Exterior Elevations
12. Rendering

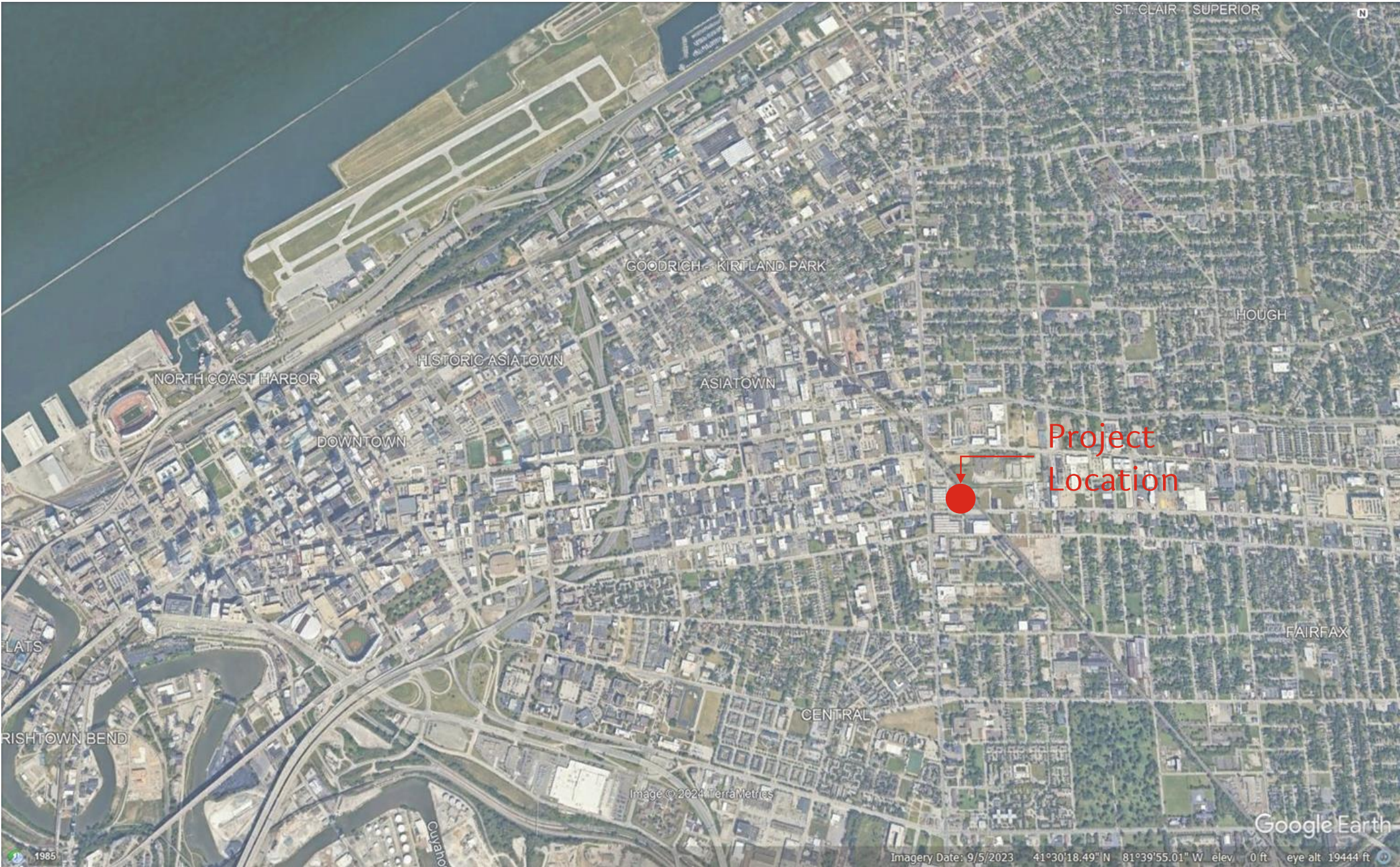
Written Project Statement

Warner & Swasey – 5701 Carnegie Ave

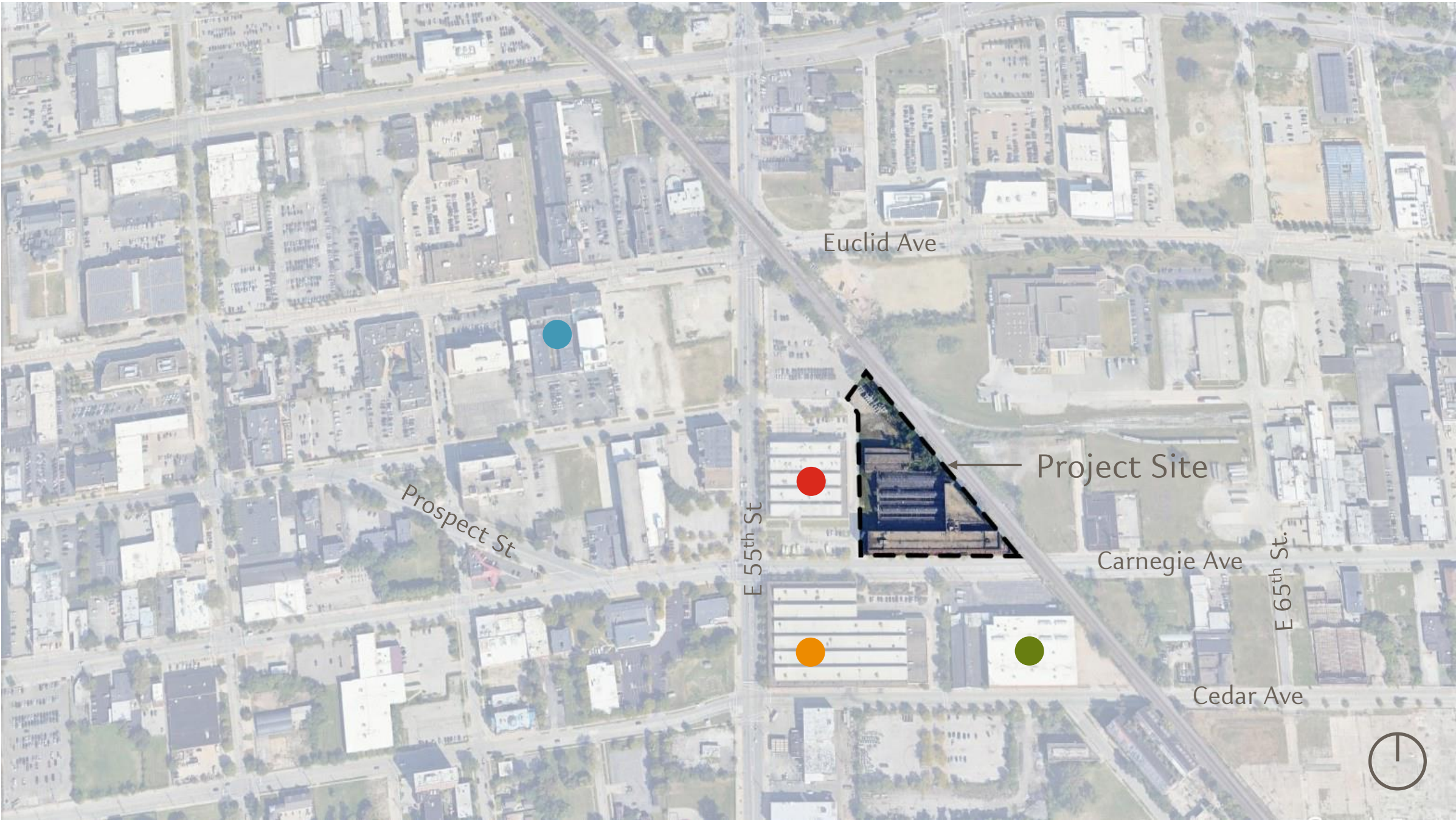
The Warner & Swasey building is a 5-story red brick building, L-shaped in plan, that wraps around a 1-story structure comprised of four shed roofs. Each floor plate is about 32,000SF. The buildings were constructed between 1905-1918. The site has been vacant since the manufacturing company left the facility in 1985.

The project will include approximately 112 residential units split into 2 condos; WSI is 56 units of Senior Housing on floors 2 and 3, WSII is 56 units of Family Housing on floors 4 and 5. The units will be housed within a completely renovated shell and structure. The site can accommodate approximately 74 surface parking spaces will be located in the former location of the shed structures. Total construction cost is around \$52M. The renovation will include exterior masonry restoration, window and roof replacement, MEP/T systems, new elevators and new interior upgrades. The project has been awarded 9% Low Income Housing Tax Credits for both WSI and WSII as well as Federal and State Historic Tax Credits.

Project Location



Project Location



- Cleveland Equipment Service Station
- City of Cleveland Building – Waste Management
- Self Storage Building
- Agora Theater

Context Photos



Equipment Service Station - West



City of Cleveland Building – Waste Management - Southwest

Context Photos



Self Storage Building - Southeast

Existing Condition Photos



View Looking West



View Looking East

Existing Condition Photos

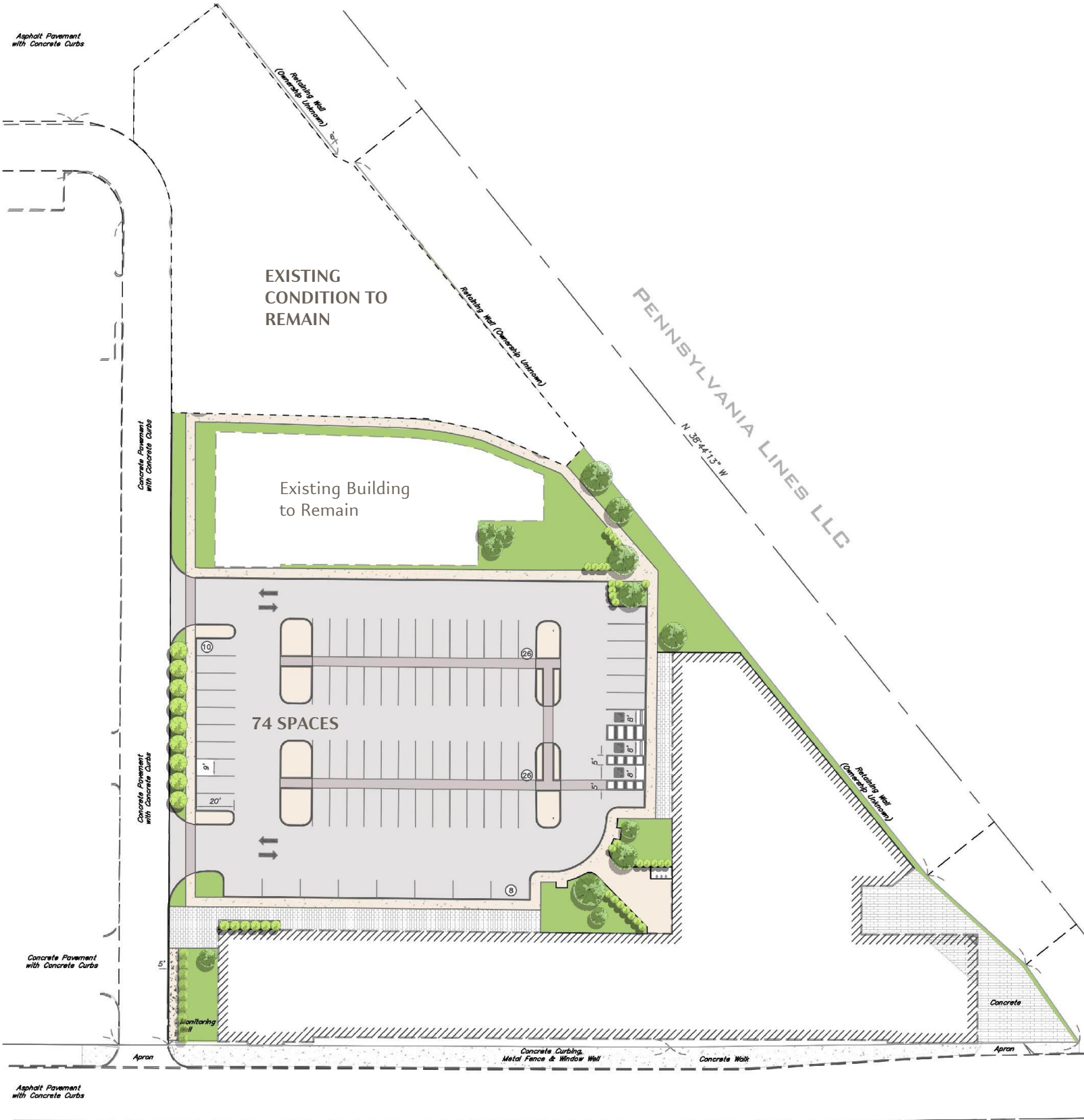


Existing Sawtooth Structure (To be Demolished)

Historic Image



Site Plan



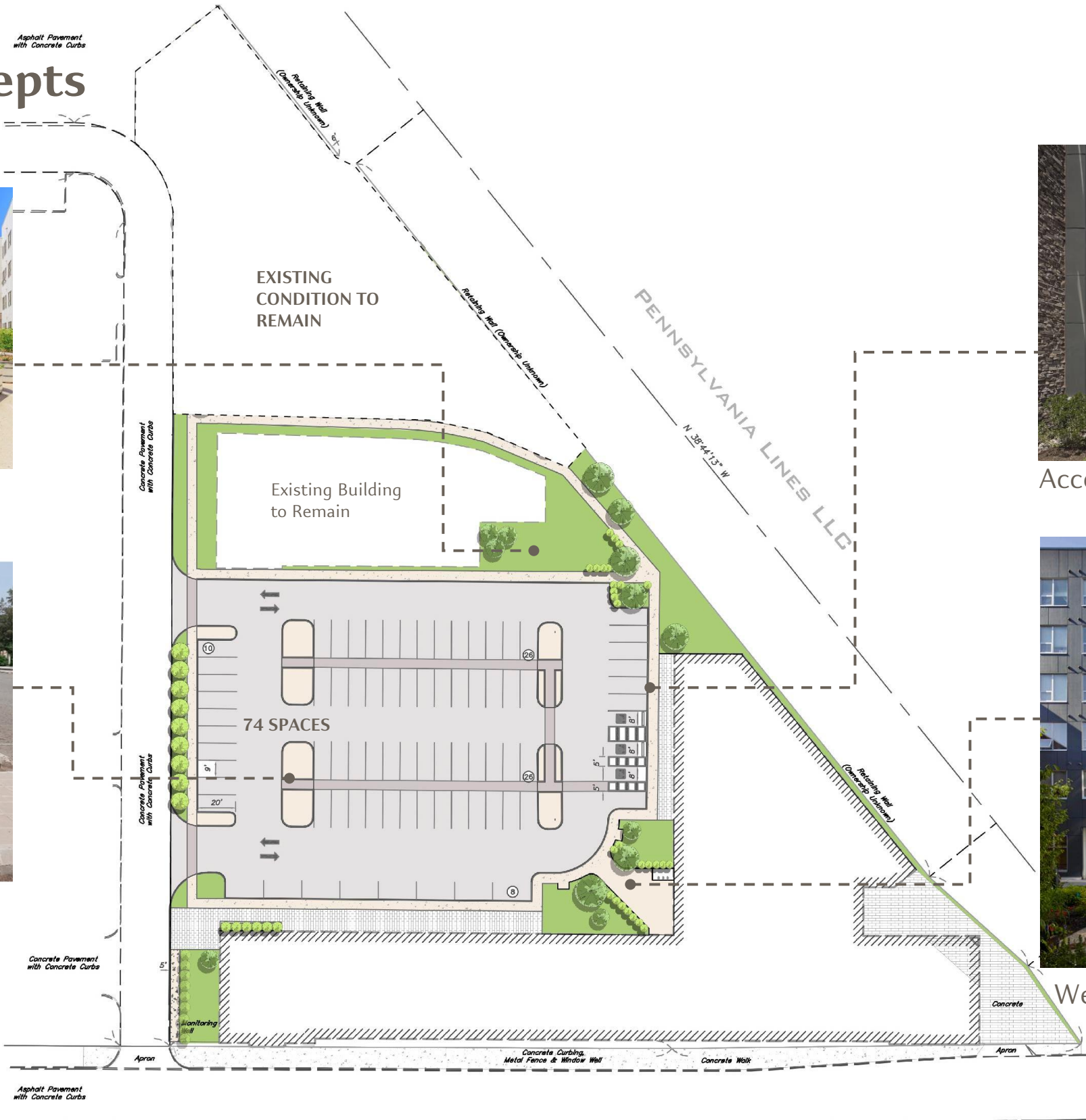
Site Amenity Concepts



Raised Planter Beds



Pedestrian Pathways through Parking Lot



Accessible Walkways



Welcoming Entry

Site Plantings & Furnishings



Autumn Brilliance
Serviceberry



American Hornbeam



Sargent Crabapple



American Hophornbeam



Swamp White Oak



Invincibelle Limetta
Hydrangea



Green Lustre Japanese
Holly



Little Henry Sweetspire



Grey Owl Juniper



Northern Bayberry



Metal Raised Planter

Color: British Green



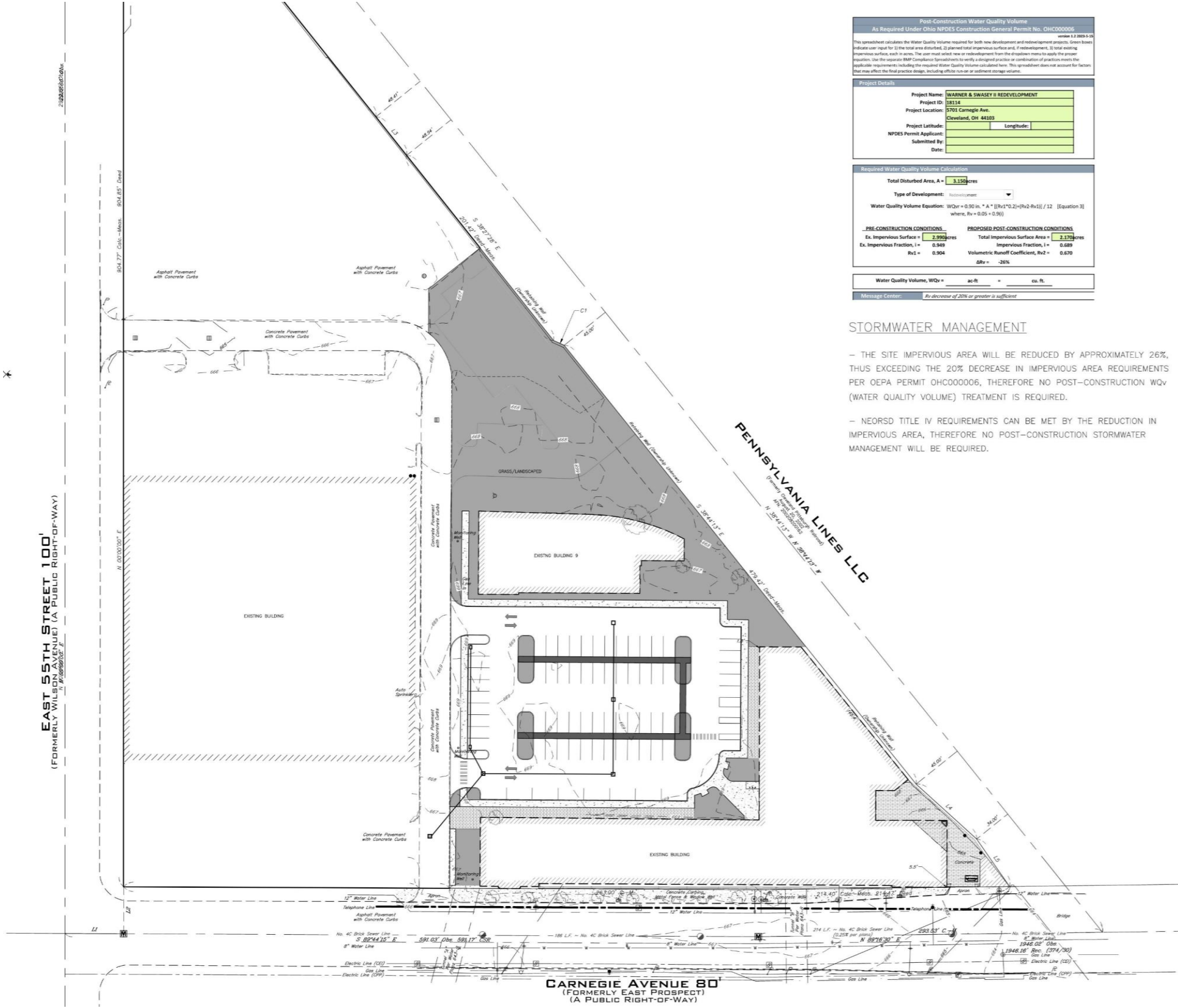
Keystone Ridge "Creekview" bench. Aluminum. Color: Sparkle Silver

Plant Schedule				
Key	Botanical / Common Name	Size	Cond.	Spacing
Trees				
AM	Amelanchier x g. 'Autumn Brilliance'/ Autumn Brilliance Serviceberry	2"	B&B	see plan
CAC	Carpinus caroliniana/ American Hornbeam	2 1/2"	B&B	see plan
MAL	Malus sargentii/ Sargent Crab	2 1/2"	B&B	see plan
NY	Nyssa sylvatica/ Black Gum	2"	B&B	see plan
OV	Ostrya virginiana/ American hophornbeam	2 1/2"	B&B	see plan
QB	Quercus bicolor/ Swamp White Oak	3"	B&B	see plan
Shrubs				
HYA	Hydrangea a. Invincibelle Limetta/ Invincibelle Limetta Hydrangea	18"	No. 3	3' O.C.
IC	Ilex crenata 'Green Lustre'/ Green Lustre Japanese Holly	36"	No. 5	4' O.C.
IT	Itea v. 'Little Henry'/ Little Henry Sweetspire	24"	No. 3	3' O.C.
JUN	jUniperus v. 'Grey Owl'/ Grey Owl Juniper	24"	No. 5	4' O.C.
MY	Myrica pensylvanica/ Northern Bayberry	36"	No. 5	5' O.C.

Demolition



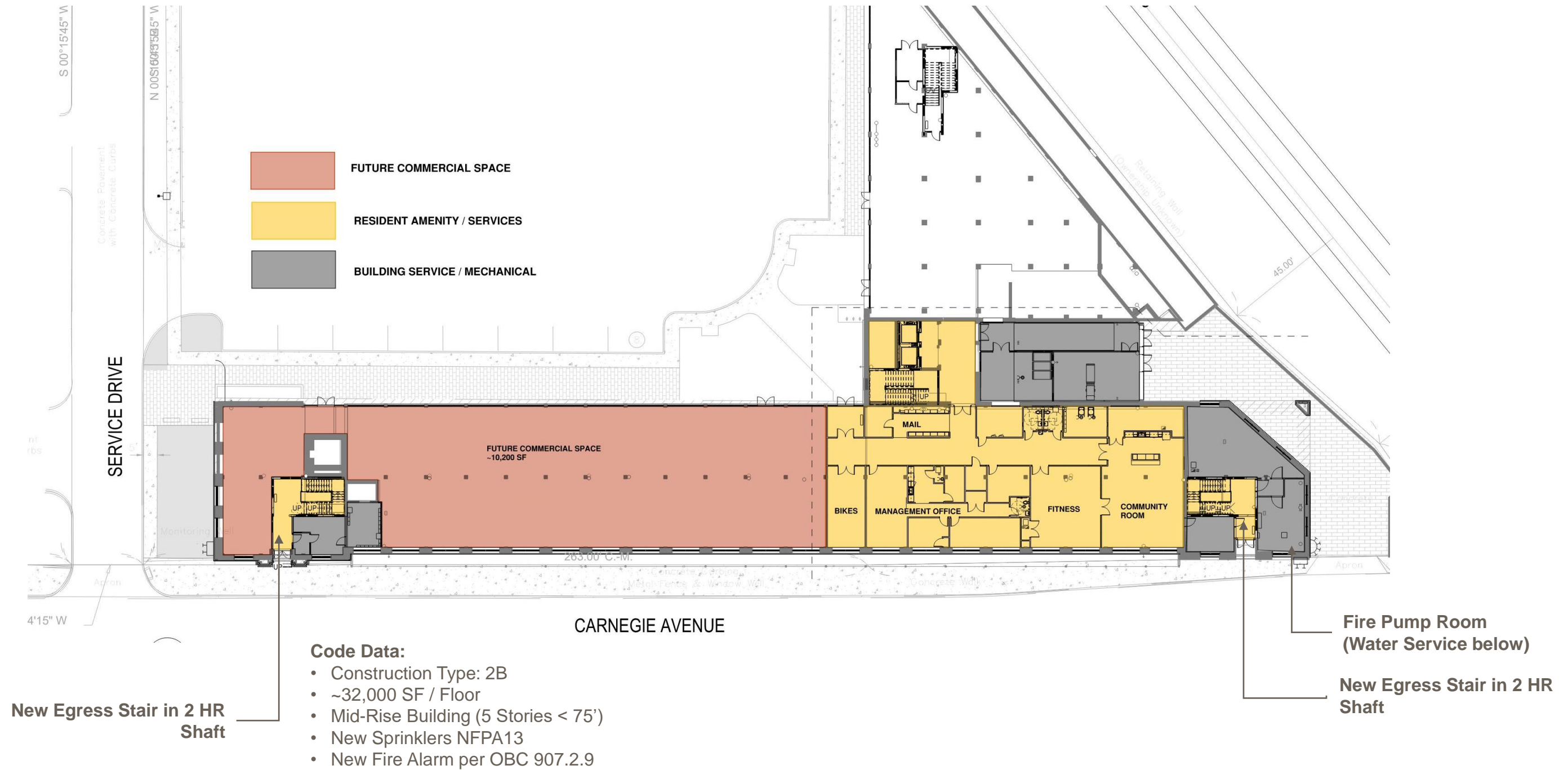
Stormwater Management



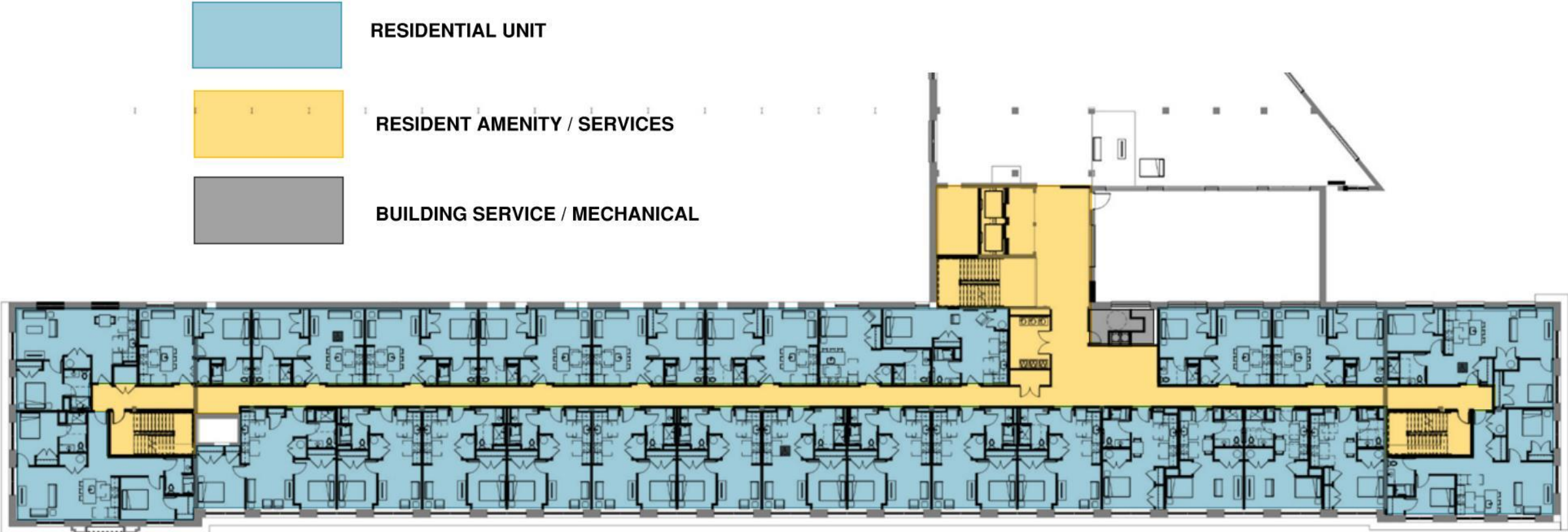
STORMWATER MANAGEMENT

- THE SITE IMPERVIOUS AREA WILL BE REDUCED BY APPROXIMATELY 26%, THUS EXCEEDING THE 20% DECREASE IN IMPERVIOUS AREA REQUIREMENTS PER OEPA PERMIT OHCD000006, THEREFORE NO POST-CONSTRUCTION WQV (WATER QUALITY VOLUME) TREATMENT IS REQUIRED.
- NEORS TITLE IV REQUIREMENTS CAN BE MET BY THE REDUCTION IN IMPERVIOUS AREA, THEREFORE NO POST-CONSTRUCTION STORMWATER MANAGEMENT WILL BE REQUIRED.

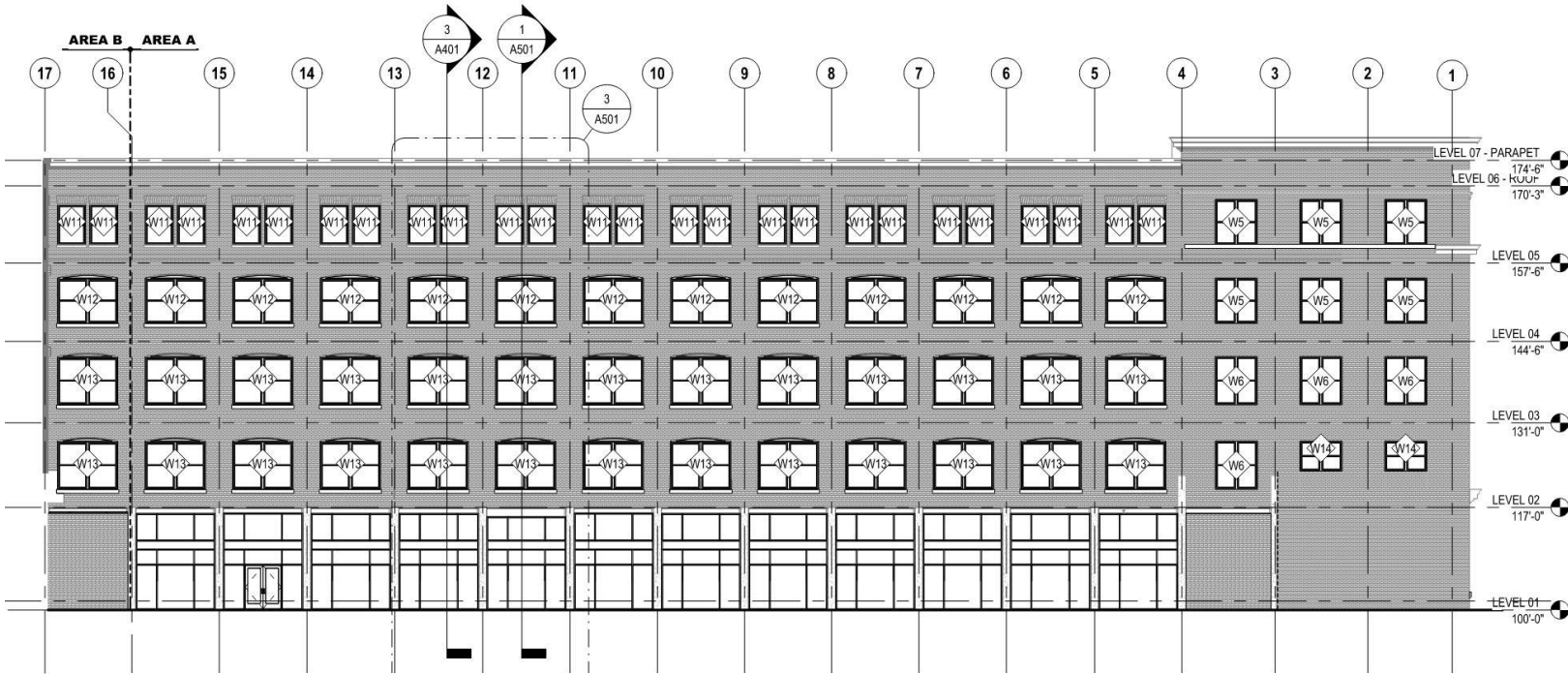
Building Entry



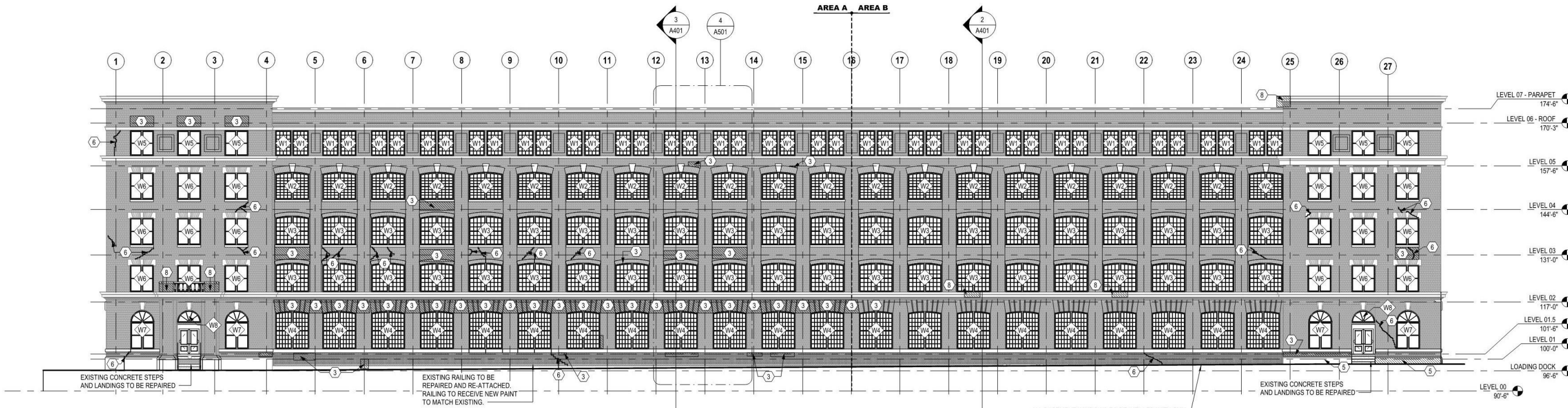
Typical Unit Level



Building Elevations



3 NORTH ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

Building Rendering





Moody Nolan

300 Spruce Street, Suite 300
Columbus, OH 43215

Atlanta, GA

Boston, MA

Chicago, IL

Cincinnati, OH

Cleveland, OH

Columbus, OH

Dallas, TX

Houston, TX

Nashville, TN

New York, NY

Philadelphia, PA

Washington, DC

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb

Euclid Corridor Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: MidTown Cleveland Offices located at 5000 Euclid Ave.

Case Number: EC 2025-002

Meeting Date: 03/6/2025

Project Name: Warner & Swasey

Project Address: 5701 Carnegie Ave.

Contact Person: Nicholas Slaughterbeck

Architect/Contractor: Moody Nolan

General Description: _____

Motion by Design Review Committee:

Schematic Design Approval

Approve:

Disapprove:

Abstain:

Non-Voting Members:

Return for final approval with details including:

- Surface treatments of parking lots
- Streetscapes along Carnegie - will trees be replaced/restored
- Provide restoration details for railings, color of windows, profile of retail storefront glazing etc.
- Motion for final approval: demolition of sheds, Bldg. 6 and gas building

Motion to Approve: Pace Second: Wagner

Votes in favor: Brown, Holland, Pace, Rothenberg, Wagner, Whitfield, Wilson

Non-voting present: Scott, Pepper, Yablonski, Chatburn

Mar 7, 2025

Shaker Square Vision Plan

Project Address: Shaker Blvd, Cleveland, OH, 44120

Type: Vision Plan

Project Representative: Allen Penniman & Cory Riordan, Cleveland

Neighborhood Progress

Approval: Final

Ward 4 – Council Member Gray

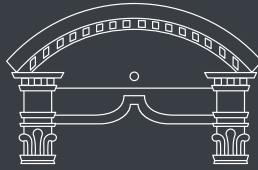
SPA: Buckeye-Shaker Square

SHAKER SQUARE VISION PLAN

**Greater Cuyahoga Valley
Historic Design Review Advisory Committee**

March 4, 2025





SH
SQ

SHAKER SQUARE

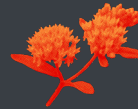


ENGAGE | EXPLORE
EXPERIENCE

EST.
1929



Coming to a theater near you...



A New Era For A Cleveland Classic

SHAKER SQUARE

VISION PLAN

**Thursday,
January 23rd, 2025**

**13116 Shaker Square,
Cleveland, OH, 44120**



ATLAS CINEMA

Featuring...
Local Music

5:30 DOORS
6:00 PRESENTATION
6:30 RECEPTION

Food from...
Zanzibar, Vegan Club, & Captain Tony's Pizza



We had a great turnout at the launch party!





Prelude to the Plan

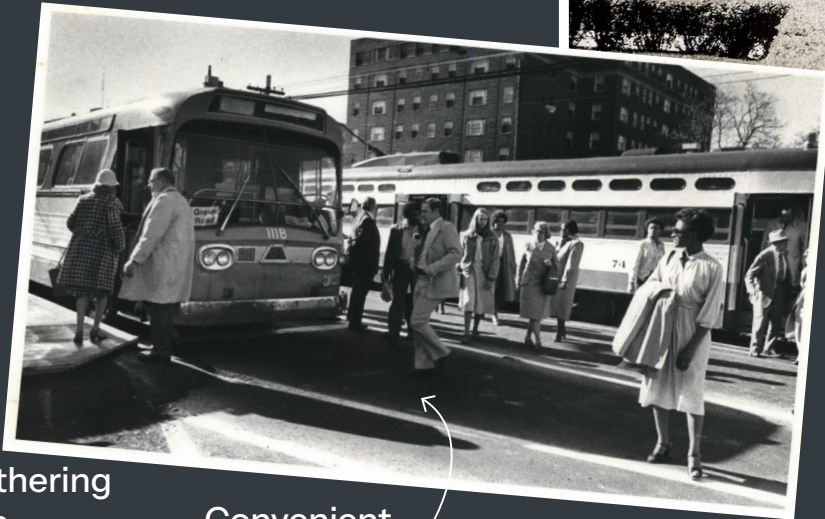
Authenticity: Always Our Best Asset



Mobile Vendor



Outdoor Gathering
Space



Convenient
Transit Access

Unified Brand
Expression

Competition, Retail Shifts, New Ownership



Weather Moving Forward Contests What Happened Now? Contact Us Tablo

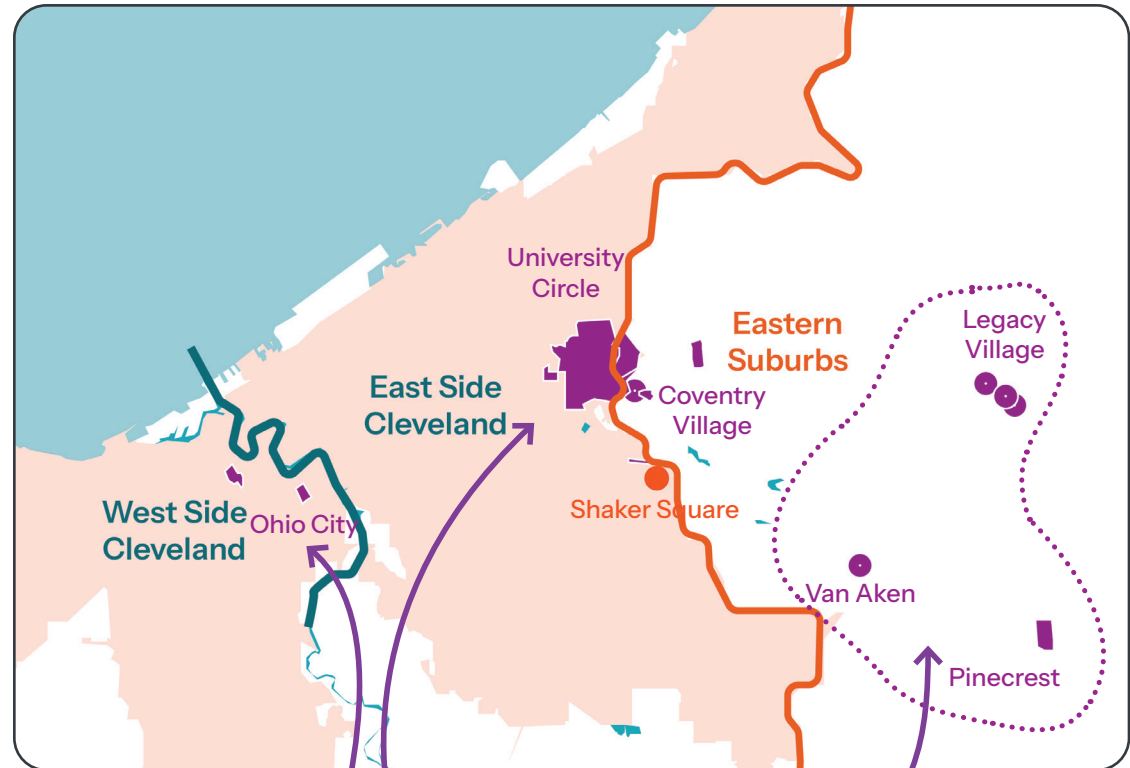
Historic Shaker Square is in foreclosure, a victim of the pandemic, management company says

News Weather Sports VERIFY wkyc+
← ADVERTISE WITH US CLEVELAND AKRON MISSION POSSIBLE A TURNING PO

BUSINESS

Shaker Square sold to local non-profits; improvements planned while group mulls future

Community development non-profit Cleveland Neighborhood Progress, with Burten Bell Carr Development, are the new owners of the historic east side retail center.



Smaller authentic main streets to the north and west of the river with local businesses and boutiques

Lots of competing suburban retail to the east

Building on the 2019 plan ideas and feedback

Progress is Already Underway



\$5 million in basic maintenance upgrades, from roofs to HVAC



New private security service and lighting projects enhance safety

New retail openings and reinvestment in anchors signal trust in the future

8





Vision Plan Process

Timeline



Feb Mar Apr May June July Aug Sept Oct Nov Dec Jan

Stroll the Square
May 2

Open House
Sept 19

Launch Party
Jan 23



North Union
Farmer's Market
April 6

Summer on
Shaker Sq
May 30

Parade
the Circle
June 8

Larchmere
Porchfest
June 29

Shaker Square
Merchant's Meeting
July 18

Van Aken
Block Party
July 13

Be Happy
Block Party
July 20

Shaker Square
Merchant's Meeting
Aug 15

Morelands
Festival
August 10

Ward 4
Community
Festival
July 20

Garlic
Festival
Aug 24

Morelands
Group Meeting
Sept 3

Shaker Square
Merchant's Meeting
Oct 17

Bike Your
Neighborhood
Sept 14

Summer on
the Square
Sept 12

Youth
Workshop
Oct 23

Greater
Cleveland
Urban Film
Festival
Sept 19-27

Ward 4
Community Meeting
Oct 24

Shaker Square
Merchant's Meeting
Nov 21

Pop-Ups

• Popped up at strategic locations

- Underrepresented areas
- Competitor retail districts

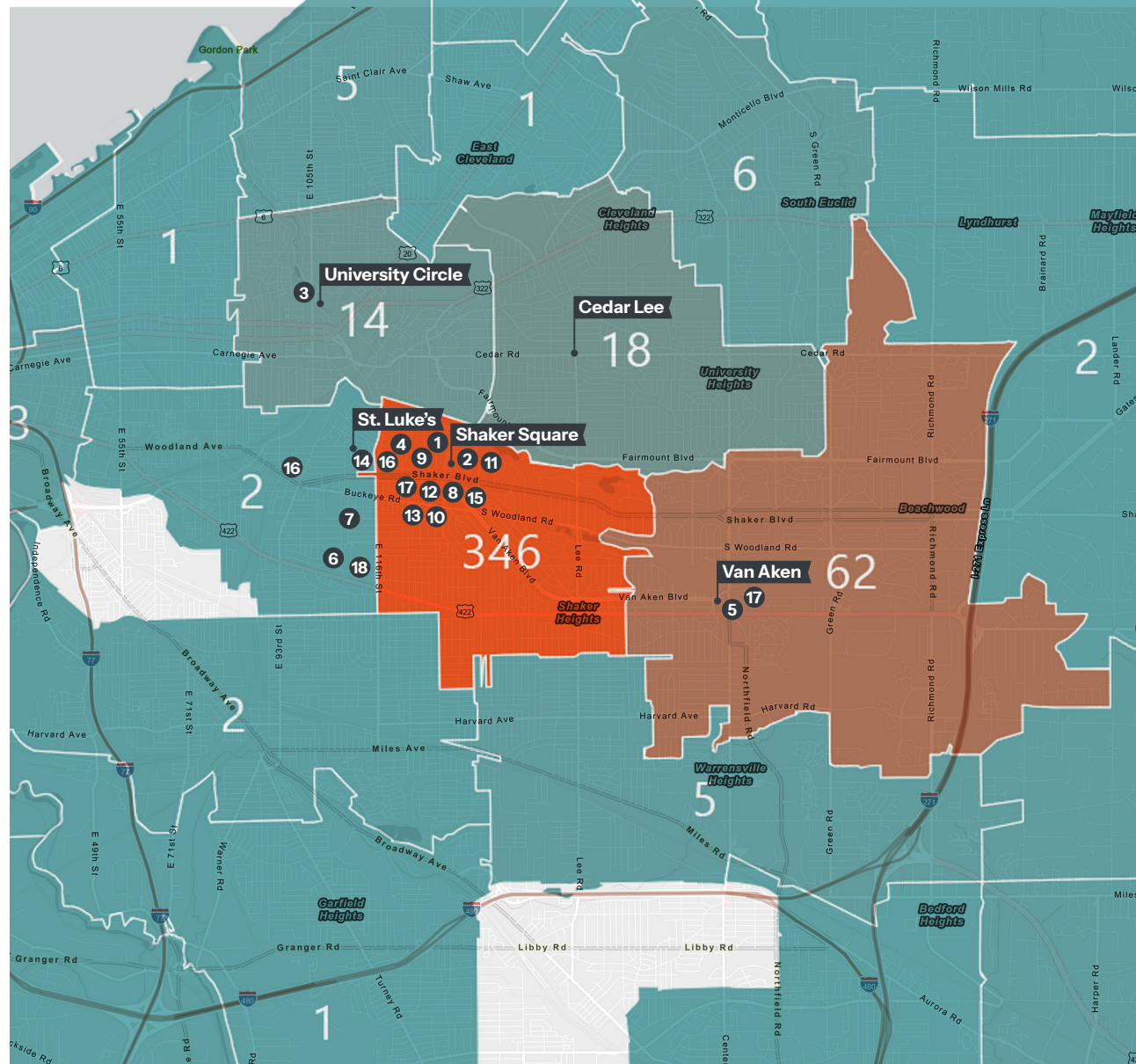


VAN AKEN DISTRICT POP-UP, JUL 13

Pop Up Events at The Square

- 1 North Union Farmers Market
- 2 Summer on the Square
- 3 Parade The Circle
- 4 Larchmere Porchfest
- 5 Block Party @ Van Aken District
- 6 Ward 4 Community Festival
- 7 BeHappy Block Party
- 8 Morelands Festival
- 9 Garlic Festival
- 10 Morelands Group Meeting
- 11 Summer on the Square
- 12 Bike Your Neighborhood
- 13 Morelands Group Meeting
- 14 Youth Workshop - Boys & Girls Club
- 15 Shaker Square Merchant Meeting / Tenant Virtual Meeting
- 16 Buckeye-Shaker-Larchmere Neighbor Up Night / Woodhill Station
- 17 North Union Farmers Market (Shaker Square or Van Aken District)
- 18 Ward 4 Community Meeting

No. of Survey Responses
by Zip Code



Targeted Outreach

- **Merchant Outreach**

- Attended 4 merchants meetings
- Merchant interviews
- Representation on Steering Committee

- **Youth Workshop**

- Boys & Girls Clubs of Cleveland
- Collected input on teen priorities, safety, etc

- **Steering Committee**

- Met monthly
- Comprised of:
 - Merchants
 - City officials
 - Neighborhood associations
 - RTA
 - Residents
 - Real estate professionals



STEERING COMMITTEE, MAR 7



MERCHANT MEETING, OCT 17



YOUTH WORKSHOP, OCT 23



The Vision Plan



A New Era for a Cleveland Classic



Inviting

Foster an authentic &
welcoming everyday
retail experience.



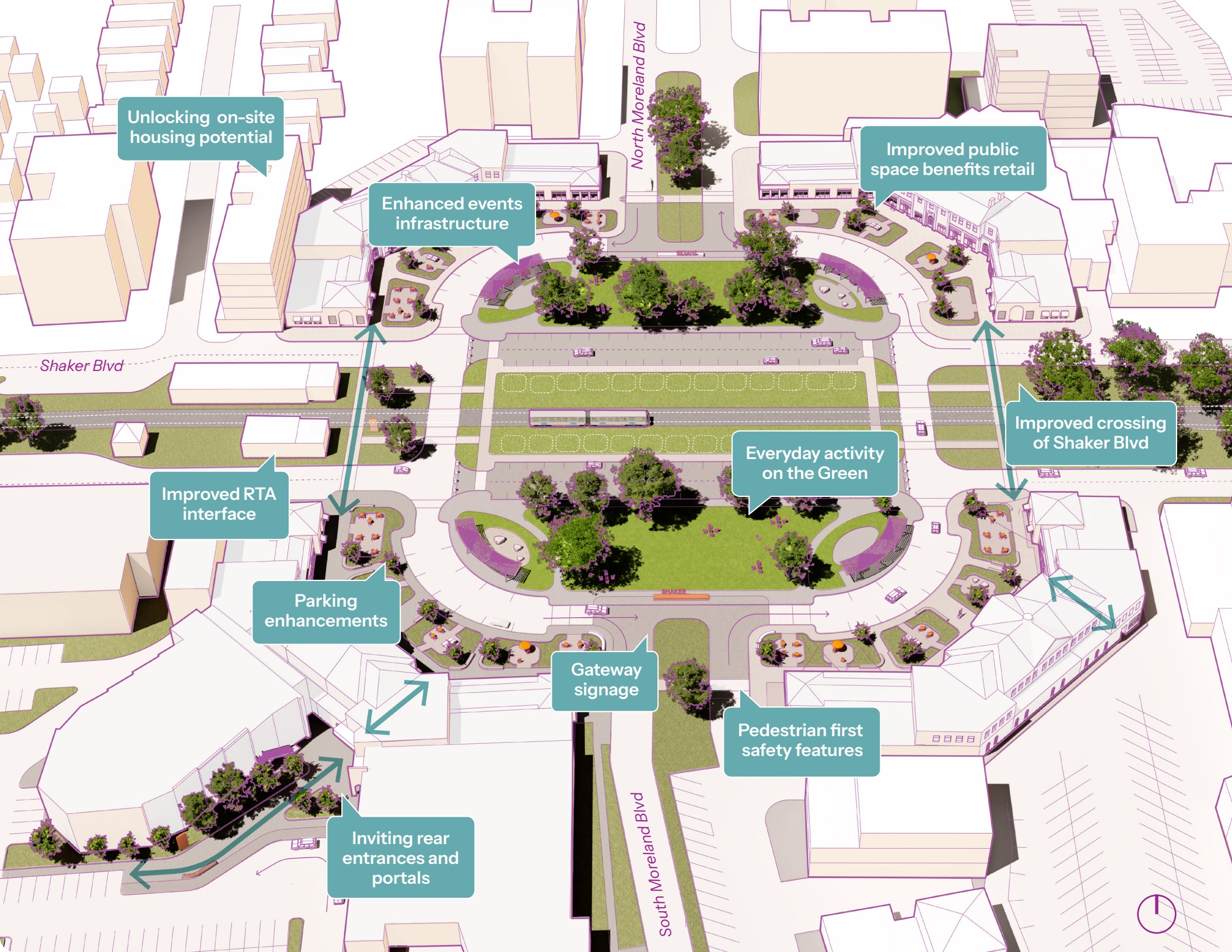
Inspiring

Make Shaker Square
a local & regional
destination.



Timeless

Respect Shaker Square's
history while stewarding
it for the future.



Unlocking on-site housing potential

Enhanced events infrastructure

Improved public space benefits retail

Improved crossing of Shaker Blvd

Everyday activity on the Green

Improved RTA interface

Parking enhancements

Gateway signage

Pedestrian first safety features

Inviting rear entrances and portals

Shaker Blvd

North Moreland Blvd

South Moreland Blvd



Inviting.

Foster an authentic and welcoming everyday retail experience in the square.



Shaker Square Community



An Inviting & Diverse Retail Mix

Inviting: Goal 1

Sustain a diverse mix of retailers.



Unmet demand home goods



and quick-service dining



Recommendations

Create a diverse tenant mix with boutiques, restaurants, and services at various price points to serve a broad customer base.

Build local and national awareness and excitement around retailers and brands through coordinated marketing.

Fill retail gaps in home and apparel and fast casual dining.

At the Ground Level

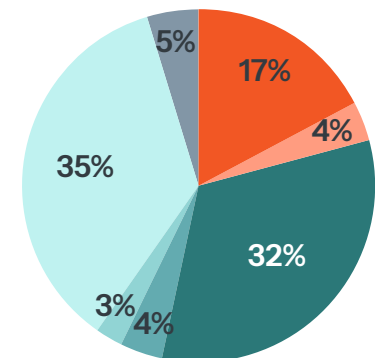
Inviting: Goal 2

Curate an engaging and memorable ground level user experience.



Existing Ground Floor Uses

- Full-Service Restaurant
- Limited-Service Restaurant
- Neighborhood Goods & Services
- Home & Apparel
- Ground Floor Office
- Other Use
- Vacant
- ★ Retail Anchor



Recommendations

Leverage the exceptional patio infrastructure to inspire an unparalleled outdoor dining experience.

Encourage connections and transparency between storefronts and patios.

Strategically locate and relocate any creative and non-profit uses to upper levels.

Redesign the promenade with well-defined pathways, inviting seating areas, and spaces for diverse activities.

Ground Floor Merchandising



The physical space of the ground floor today is suitable and can accommodate the types of uses needed and desired.

The Vision Plan provides a few key strategies to enable success.

At the Upper Level

Inviting: Goal 3

Curate a balanced mix of creative, production-focused, and service-oriented tenants on the second floor.



Flexible



Interactive



Productive

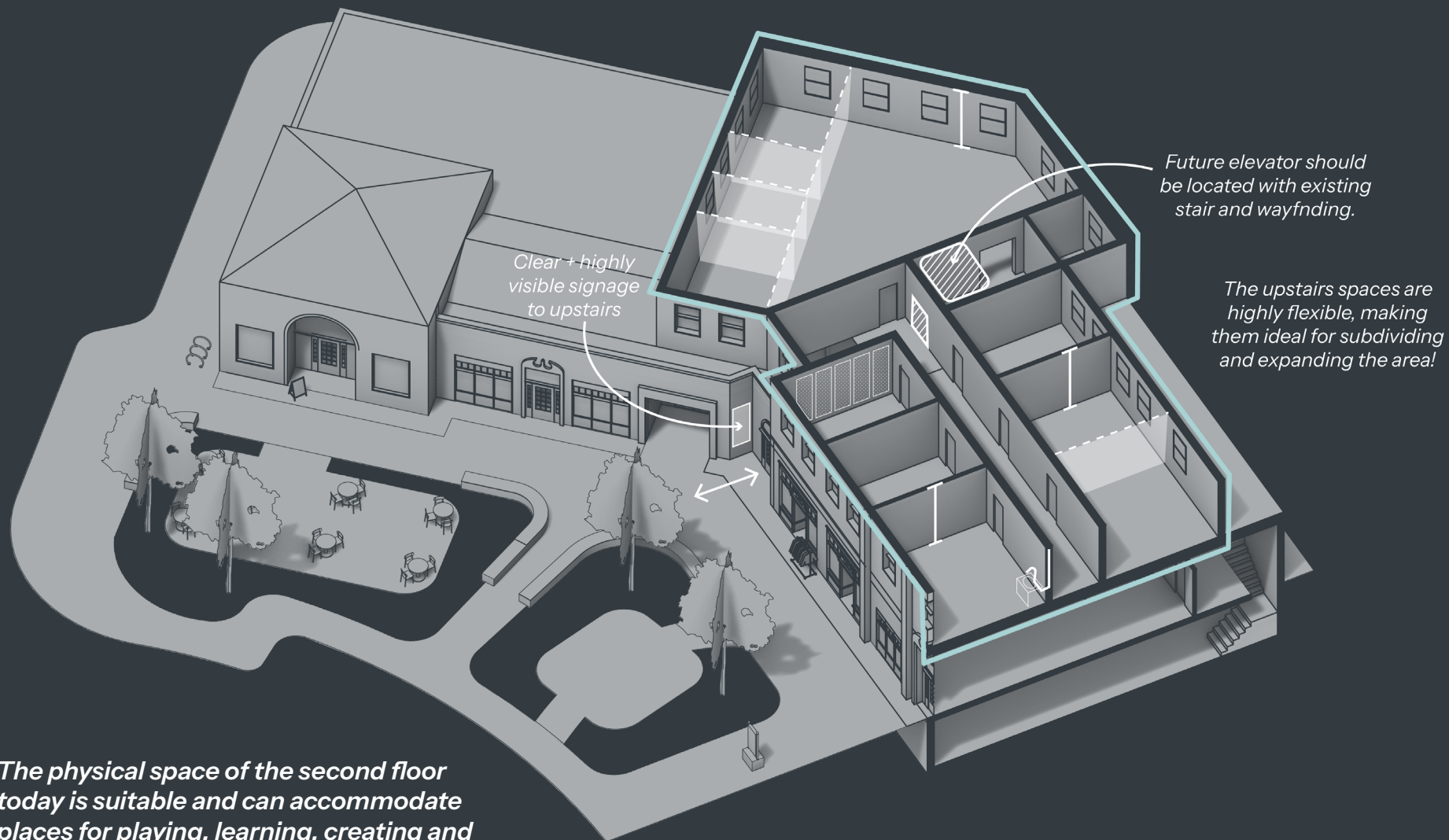


Recommendations

Fill upper floors with the following uses:

- Appointment-based and non-customer facing tenants should not occupy ground floor spaces
- Workshop spaces for artisans, artists, and other makers
- Service providers such as wellness, fitness, dentist, etc

Second Floor Merchandising



The “Third Space”

Inviting: Goal 4

Steward a welcoming, safe, and intuitive environment for all.



FORMER DEWEY'S COFFEE SHOP, 2017

“Indoor third spaces, somewhere to hang out and meet other community members”

— Survey Participant

“More third places: library, art gallery”

— Survey Participant

Recommendations

Provide products, services, and activities that appeal to youth.

Design spaces with flexible layouts and local art and community-focused programs to encourage gathering and interaction.

Encourage social interaction of visitors and create a vibrant, inviting atmosphere for all ages.

Continue enhancing the safety ambassador program to serve as welcoming guides.

Develop ongoing active programming to strengthen community ties and enhance safety.

The Spirit of the Community

Inviting: Goal 5

Support small business entrepreneurship and creative industries that reflect the spirit of the surrounding community.



LARCHMERE FIRE WORKS

"I think the more you offer, the more people will come for different unique things that bring them in"

— Survey Participant

Recommendations

Give priority to leasing space to Cleveland-based tenants—especially minority-owned, women-owned, and mission-driven businesses.

Encourage entrepreneurship and support local production by fostering retail opportunities through temporary or pop-up events.

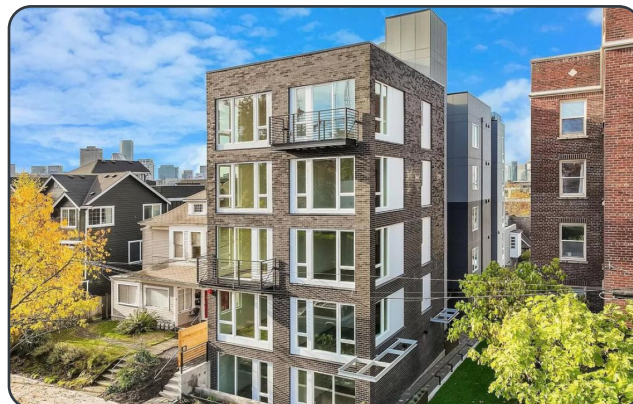
Facilitate connections with artists and makers through curated programming and strategic local partnerships.

Encourage creative professionals to host workshops, networking events, and educational sessions that foster collaboration and build community on the Square.

Housing

Inviting: Goal 6

Introduce well-designed and well-maintained market rate housing and address stability of existing multi-family housing.



Recommendations

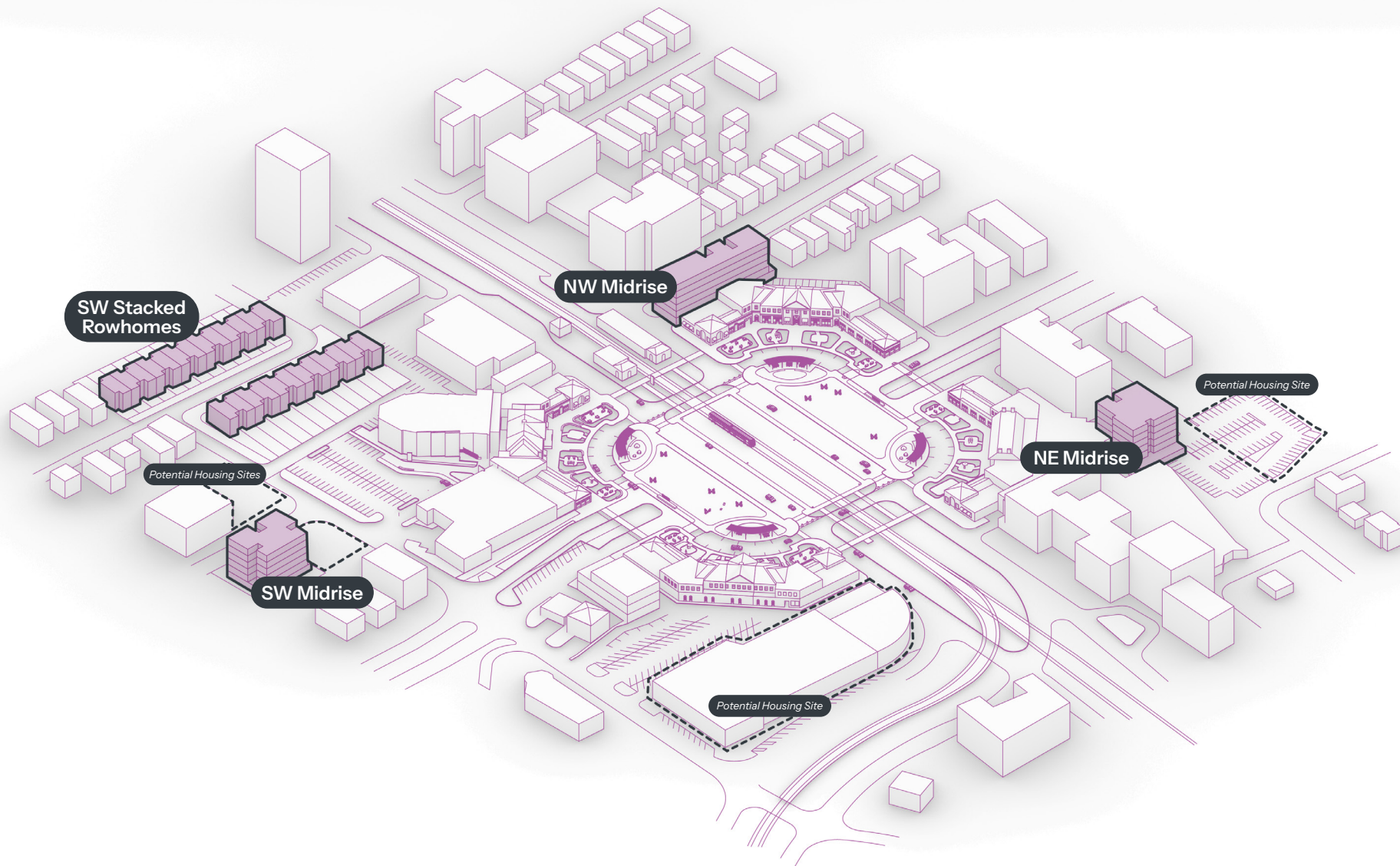
Plan for infill residential development on surface parking lots to generate retail foot traffic and eliminate gaps in an otherwise walkable urban fabric.

Design diverse housing types to accommodate families of various sizes and needs.

Leverage revenue from residential units to diversify risk exposure and competitively price retail rents to attract the local merchants.

Partner with the community to restore historic apartment buildings, creating affordable and middle-income housing.

Housing

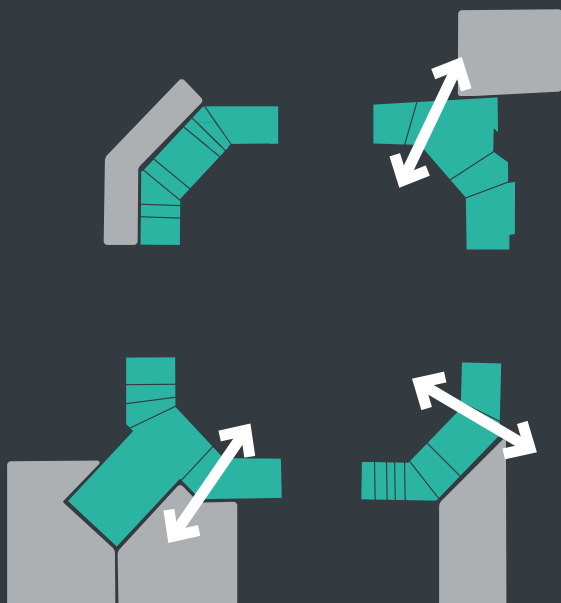




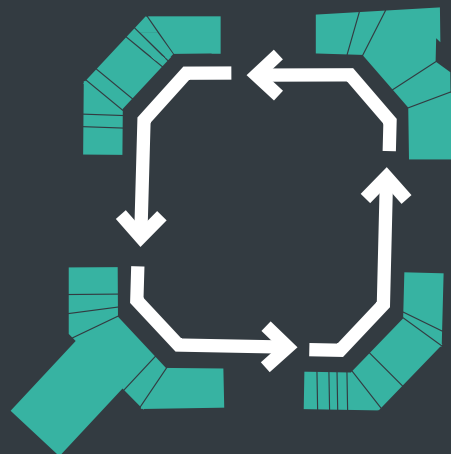
Inspiring.

Make Shaker Square a local
and regional destination.





The Arrival Sequence



The Promenade



The Green

The Arrival Sequence

“The Square has the opportunity to offer both necessities and entertainment.”

— Survey Participant

Inspiring: Goal 1

Improve accessibility and connectivity to the surrounding neighborhoods.



Recommendations

Work with the RTA to improve public transit connections and stop accessibility.

Connect to the square via protected bike lanes, clearly marked bike routes, and secure bike facilities.

Integrate bike-sharing stations to encourage cycling as a convenient, eco-friendly option.

Implement wayfinding signage at strategic locations to make Shaker Square easily accessible.

Design gateway and entry signage that is tied to the identity and brand and announces a sense of arrival.

The Arrival Sequence

SW portal entrance near Dave's Supermarket and Atlas Cinema



The Promenade

Inspiring: Goal 2

Create better connections between the green space and the promenade to improve accessibility and support foot traffic and retail activity.



Recommendations

Improve cross-quadrant connectivity.

Prioritize pedestrian-friendly enhancements, such as wider sidewalks, better lighting, and safe crossings to encourage foot traffic.

Improve the experience from the parking lots and through the portals.

Revamp the parking layout to improve efficiency and pedestrian safety.

The Promenade

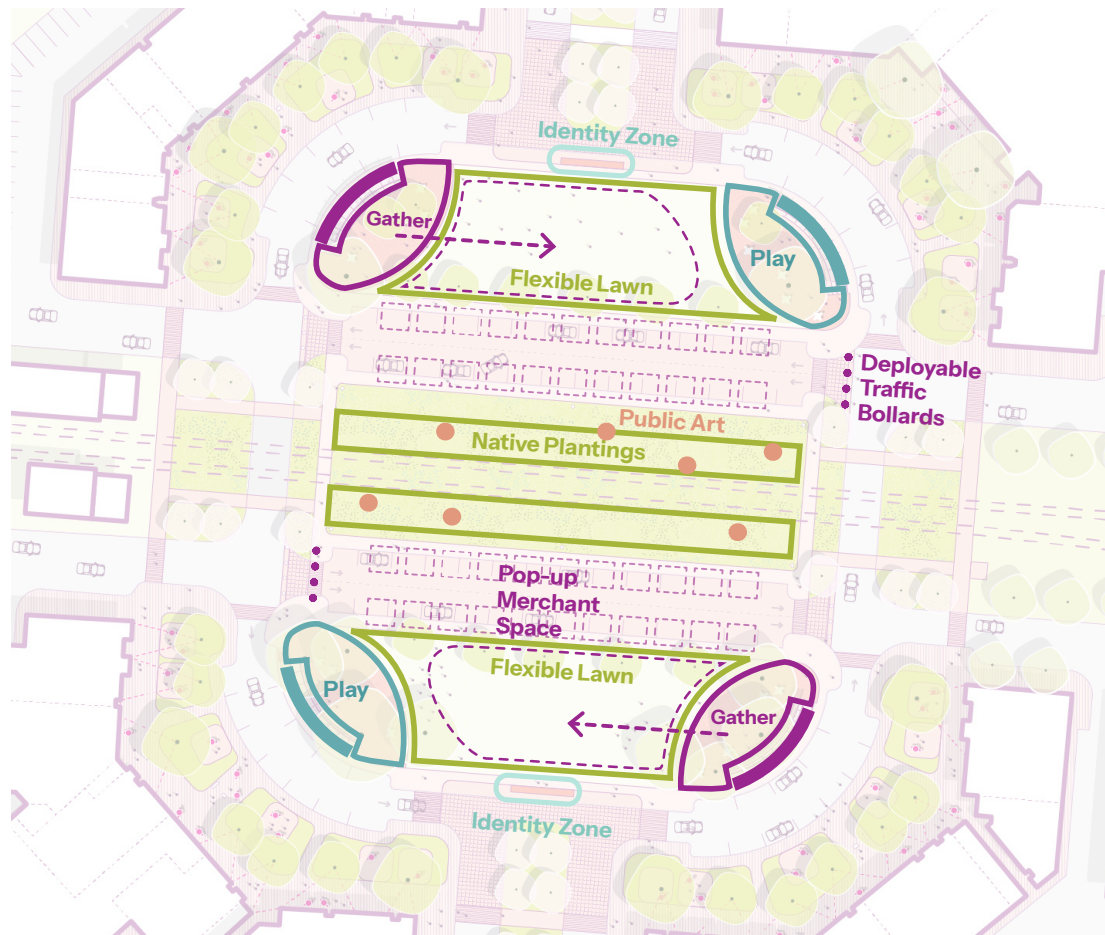
SE quad of the promenade, near
Breakfast Club



The Green

Inspiring: Goal 3

Redesign the central green to accommodate both everyday use and special events.



Recommendations

Design a versatile layout that supports a variety of events while maximizing the flexibility of the existing lawn.

Simplify the street closure process and allocate areas for pop-up retail opportunities.

Establish dedicated performance spaces with adaptable electricity and sound infrastructure.

Activate corner areas with gathering spaces and interactive play features to encourage daily use of the central green.

The Green

Gathering space on the SE corner of the green, across from Atlas Cinema



Events

Inspiring: Goal 4

Bring Shaker Square to life with activities and events that invite people from both nearby neighborhoods and across the city.



“LOVE the live music. People enjoy things like this during the coveted warm months in Cleveland.”

— Survey Participant

Recommendations

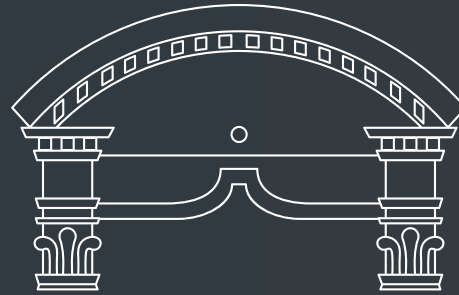
Foster partnerships with local schools, cultural organizations, museums, and community.

Commission local artists to create murals, sculptures, and interactive installations on the Square.

Hire an organizer to curate and manage events, festivals, markets, and art.

Promote events and cross-programming with nearby commercial corridors.

Create clear guidelines and provide resources to assist event organizers.



Timeless.

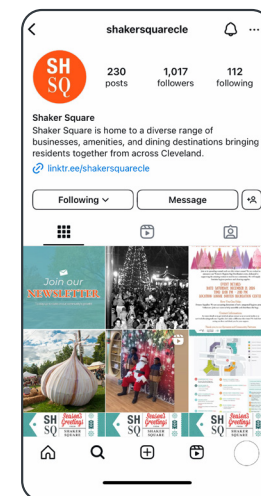
Respect Shaker Square's
history while stewarding it
for the future.



Storytelling

Timeless: Goal 1

Tell the story of Shaker Square.



Recommendations

Preserve and celebrate cultural heritage by highlighting Shaker Square's rich history and unique character.

Restore and maintain historic architecture.

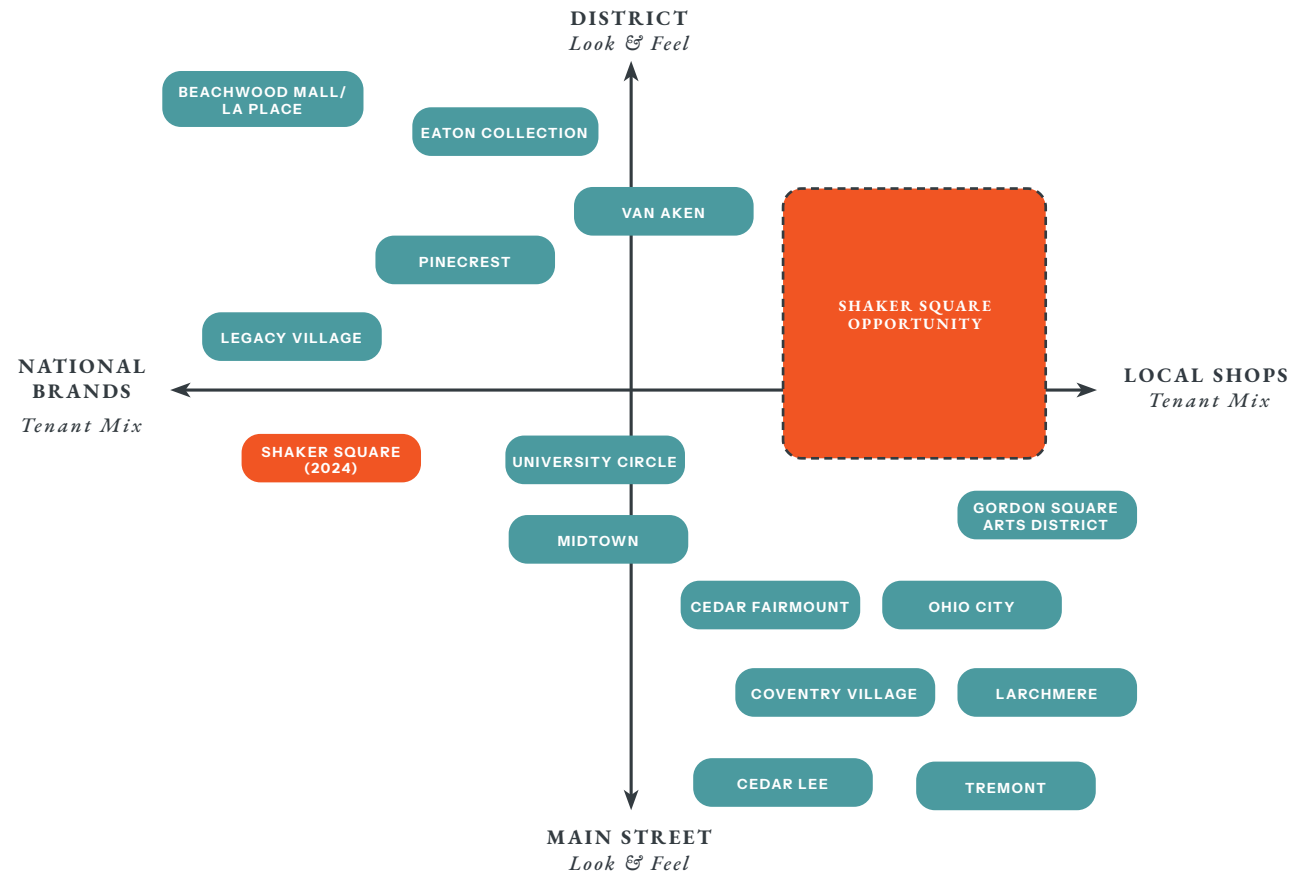
Leverage the green's capacity to flexibly host events and a greater variety of activities to meet community needs.

Incorporate elements like historical photos, markers, and displays to honor the past and connect it to the present.

Competitive Positioning

Timeless: Goal 2

Protect Shaker Square's authentic advantage.



Recommendations

Embrace the site's unique design, with its central green and access to rail transit to generate retail and market demand.

Target marketing efforts on promoting rail transit access to the Square.

Fill the gap in the marketplace by offering products and experiences that peer retailers cannot.

Leverage and promote the central green's potential for hosting programming and events.

Elements of Place

DESIGN

ARCHITECTURE

Authenticity
Historic Detail and Embellishment
Detail & Ornamentation
Materiality

STOREFRONTS

Memorable Accents
Engaging Signage
Transparency & Porosity
Lighting

WAYFINDING

Functionality
Artistic Expression
Memorability

MERCHANDISING & TENANTING

Use Offering
Variety
Uniqueness
Product Excellence
Service Quality

PUBLIC SPACE PROGRAMMING

Frequency & Variety
Generational Appeal
Multi-Cultural Appeal
Local Neighborhood Appeal

BRAND EXPRESSION

Connection to Wayfinding
Distinctiveness

EXPERIENCE

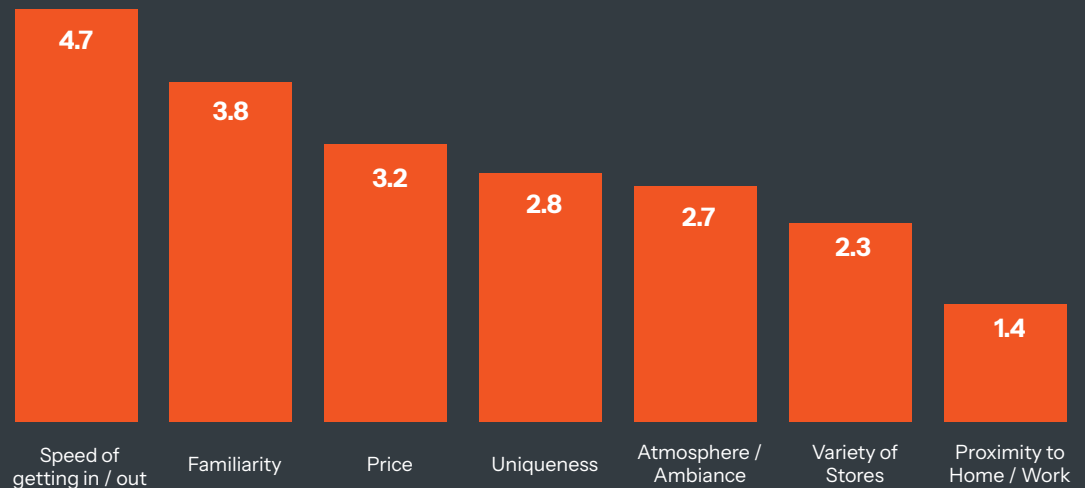
Physical

Emotional

Top Factors That Draw People To Shaker Square

Data from Shaker Square Retail Survey

Rated on a scale of 1 (least draw) to 7 (most draw)



Retention and Attraction

Timeless: Goal 3

Deploy strategic leasing techniques to attract and retain tenants that compliment the vision for Shaker Square.



Recommendations

Prioritize high-impact tenants.

Develop an exceptional marketing package.

Provide test fits for atypical spaces or those without pre-lease design resources.

Strengthen retail fundamentals.

Offer creative work spaces and studios at competitive rates.

Clean, Green and Safe

Timeless: Goal 4

Implement a comprehensive care and maintenance plan for Shaker Square.



“Maintaining the old buildings [is the biggest challenge]”

— Community Member

“Everything clean, tidy, well maintained, seasonal decorations.”

— Survey Participant

Recommendations

Continue enhancing the safety ambassador program to serve as welcoming guides.

Establish storefront and signage guidelines to ensure cohesive and attractive visual appeal.

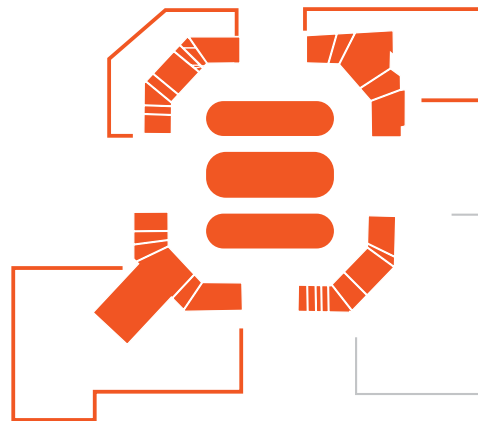
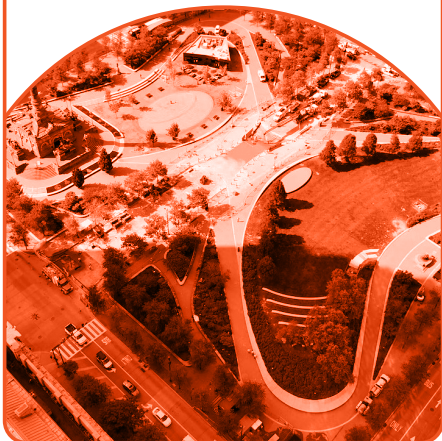
Explore establishing a Special Improvement District to enhance support for maintenance.

Implement seasonal beautification efforts.

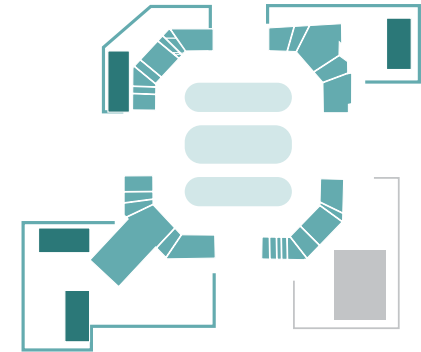
Partnering for Success

Timeless: Goal 5

Study partnership and funding opportunities to leverage outside capital for Shaker Square.



Vision-based Sale



Long Term-Partnership



Stabilization-based Sale

Recommendations

Generate tax revenue by establishing a Tax Increment Financing (TIF) district.

Attract philanthropic capital by establishing a parks conservancy for the central green.

Attract private capital by forming partnerships with developers to build infill residential.

Partnership Models

	Vision-Based Sale	Stabilization-Based Sale	Long-Term Partnership
BBC/CNP investment	low	medium	high
Sale price	low	high	n/a
Pool of buyers	few	many	many
Capability of buyers	several	few	several
Control of vision	buyer	CNP/BBC	shared
Public space programming	Private / profit motivated	Private / profit motivated	Non-profit
TIF District	yes	yes	yes
Parks Conservancy	no	no	yes
Marketing	Build buzz to aid sale	Build buzz to aid sale	Build buzz to attract customers





Conclusion

In Summary

Principles

Goals

Inviting

1. Sustain a diverse mix of retailers
2. Curate an engaging and memorable ground level user experience
3. Curate a mix of creative, productive, and services-providing tenants on the second floor
4. Foster cultural production and small business entrepreneurship that embraces the creative spirit of the surrounding community
5. Introduce well-designed and well-maintained market rate housing
6. Steward a welcoming, safe, and intuitive environment for all

Inspiring

1. Bring Shaker Square to life with activities and events that invite people from both nearby neighborhoods and across the city
2. Improve accessibility and connectivity to the surrounding neighborhoods
3. Redesign the central green to accommodate both everyday use and special events
4. Create a two sided retail experience with stronger connection between the green space and the promenade

Timeless

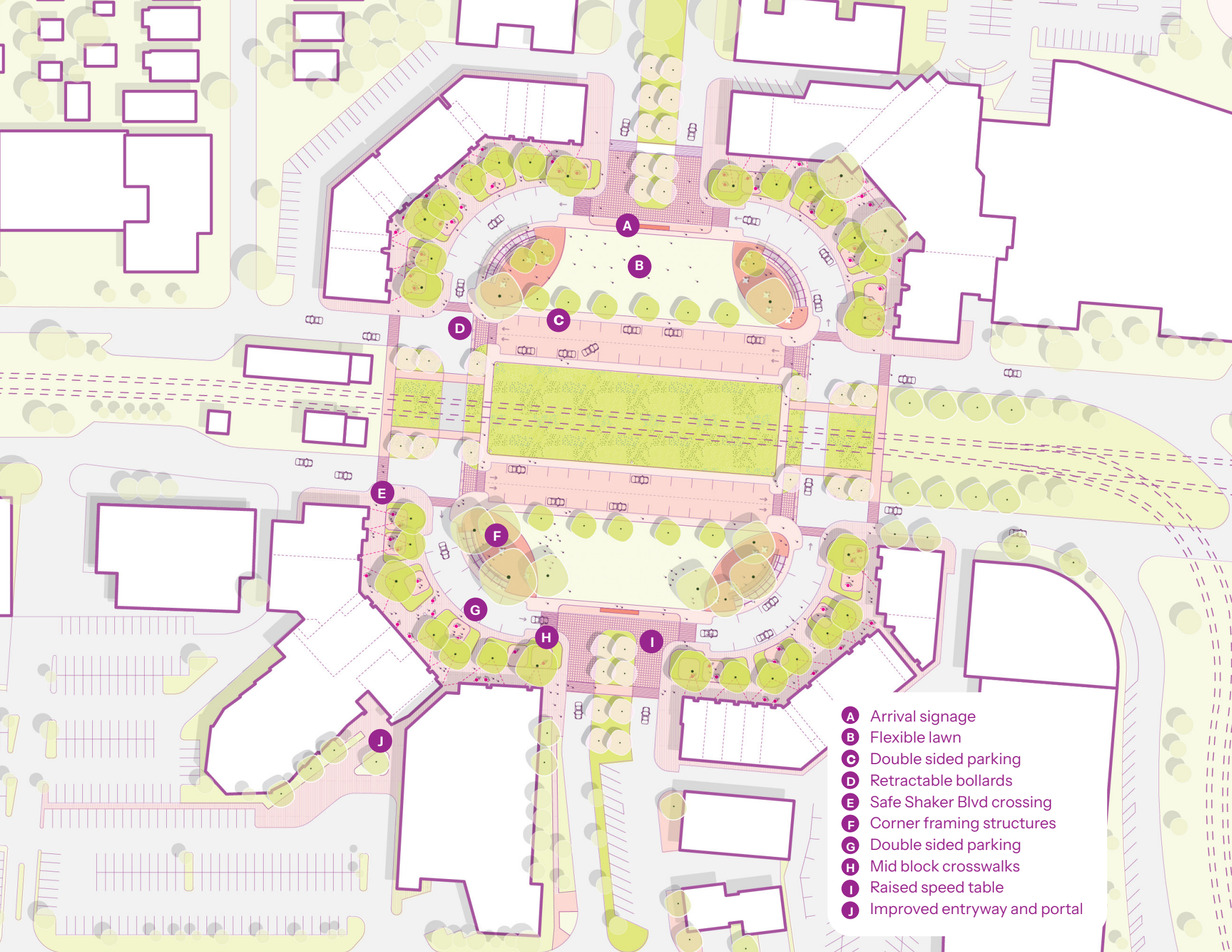
1. Tell the story of Shaker Square
2. Protect Shaker Square's authentic advantage
3. Deploy strategic leasing techniques to attract and retain tenants that compliment the CNP and BBC's vision for Shaker Square
4. Implement a comprehensive safety, care, and maintenance plan for Shaker Square
5. Study partnership and funding opportunities to leverage outside capital for Shaker Square

See Shaker Square Vision Plan for full detail of recommendations





Thank you!



- A** Arrival signage
- B** Flexible lawn
- C** Double sided parking
- D** Retractable bollards
- E** Safe Shaker Blvd crossing
- F** Corner framing structures
- G** Double sided parking
- H** Mid block crosswalks
- I** Raised speed table
- J** Improved entryway and portal

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



CITY OF CLEVELAND

Mayor Justin M. Bibb

Greater Cuyahoga Valley Historic Design Review Advisory Committee Certificate of Appropriateness Review

Date: 3/4/2025

Case Number: N/A

Building / Project Name: Shaker Square Vision Plan

Property Address:

Property Owner:

Historic Designation: ☒ Local Landmarks District ☐ Individually Designated Landmark

Historic District/Landmark Name: Shaker Square Historic District

Presenters: Allen Penniman; Cory Riordan

Specifications of work proposed:

Vision Plan for Shaker Square – process, plans, and future goals

Motion of Design Review Advisory Committee (recommendation to Landmarks Commission):

Presented for feedback only – no action at this time

X *Present*

Motion: N/A

Second: N/A

<input checked="" type="checkbox"/> Armwood	<input type="checkbox"/> Not Present <input type="checkbox"/> In-Favor <input type="checkbox"/> Opposed <input type="checkbox"/> Table <input type="checkbox"/> Abstain <input type="checkbox"/> Recuse
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<input type="checkbox"/> Dreyfuss-Wells (Chair)	<input checked="" type="checkbox"/> Not Present <input type="checkbox"/> In-Favor <input type="checkbox"/> Opposed <input type="checkbox"/> Table <input type="checkbox"/> Abstain <input type="checkbox"/> Recuse
<input checked="" type="checkbox"/> Gardin	<input type="checkbox"/> Not Present <input type="checkbox"/> In-Favor <input type="checkbox"/> Opposed <input type="checkbox"/> Table <input type="checkbox"/> Abstain <input type="checkbox"/> Recuse
<input checked="" type="checkbox"/> Hunt	<input type="checkbox"/> Not Present <input type="checkbox"/> In-Favor <input type="checkbox"/> Opposed <input type="checkbox"/> Table <input type="checkbox"/> Abstain <input type="checkbox"/> Recuse
<input checked="" type="checkbox"/> Maccora	<input type="checkbox"/> Not Present <input type="checkbox"/> In-Favor <input type="checkbox"/> Opposed <input type="checkbox"/> Table <input type="checkbox"/> Abstain <input type="checkbox"/> Recuse
<input checked="" type="checkbox"/> Rakauskas	<input type="checkbox"/> Not Present <input type="checkbox"/> In-Favor <input type="checkbox"/> Opposed <input type="checkbox"/> Table <input type="checkbox"/> Abstain <input type="checkbox"/> Recuse
<input type="checkbox"/> Rice (Vice)	<input checked="" type="checkbox"/> Not Present <input type="checkbox"/> In-Favor <input type="checkbox"/> Opposed <input type="checkbox"/> Table <input type="checkbox"/> Abstain <input type="checkbox"/> Recuse

Non-Voting In Attendance: Jessica Beam (City of Cleveland)

Notes/Comments: Installation of signage, site features, exterior changes to be reviewed as they move forward

Access across the square – addition of new sidewalks and traffic calming supported but opportunity for center pedestrian connection would increase pedestrian access of both sides of the square

Rush hour traffic around busy with current double lane – reduction to one lane and addition of parallel parking on both sides may cause further traffic issues around peak hours – a traffic study may be helpful

Support for the future new pedestrian engagement, traffic calming measures, programming (like the farmer's market), and new access points from parking to facilitate easy flow through the site and make it more welcoming for visitors, residents, and businesses

Required to present at Cleveland Landmarks Commission? ☒ Yes ☐ No **Date:** 3/13/2025

Cleveland City Planning Commission

Northeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Mar 7, 2025

NE2024-021 – NORA Housing project

Project Address: 5342-5360 Stanard Ave

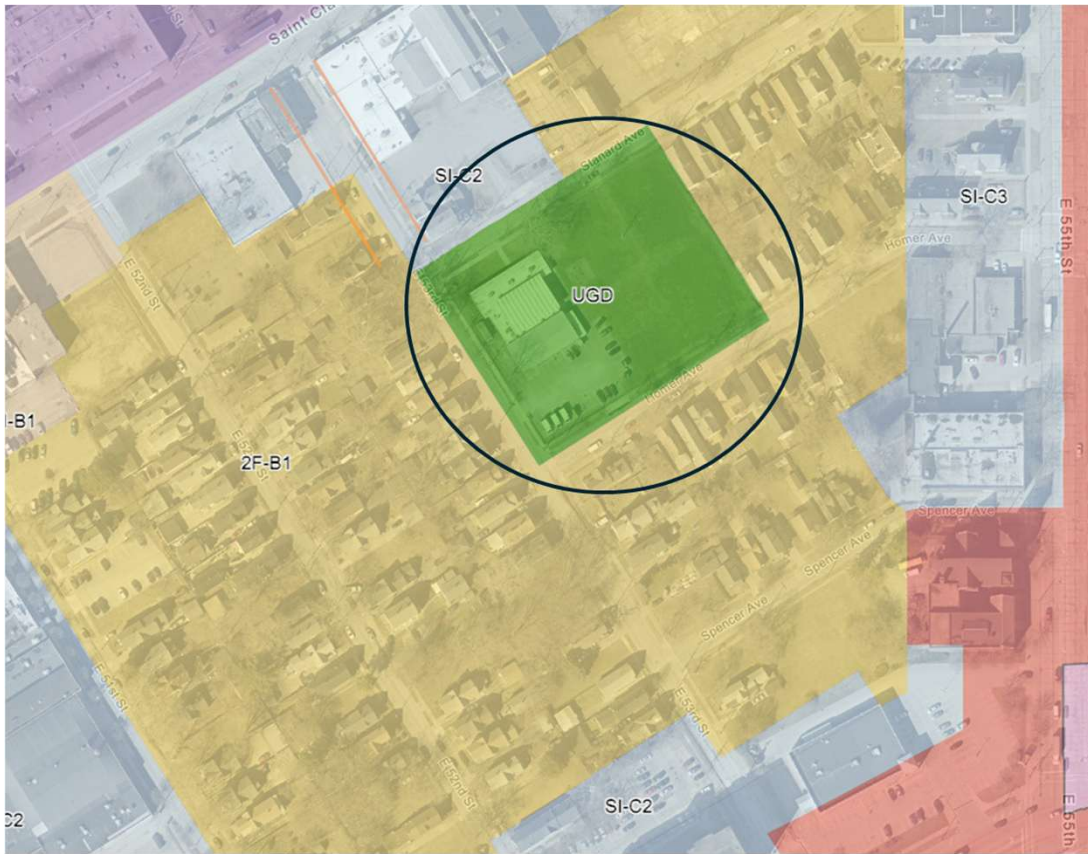
Type: Residential New Construction

Project Representative: Amy Kunkle, Design/Signature Building

Concepts, LLC and D.J. Keehan, Guardian Structural Technologies, LLC

Approval: Schematic

Ward 10 – Council Member Hairston | SPA: Goodrich



*CREATING
COMMUNITIES
BUILT ON
SUPPORT*

SITE CONTEXT PLAN STANARD AVE VIEW:



In Front of Property Facing West on Stanard Ave



In Front of Property Facing East on Stanard Ave

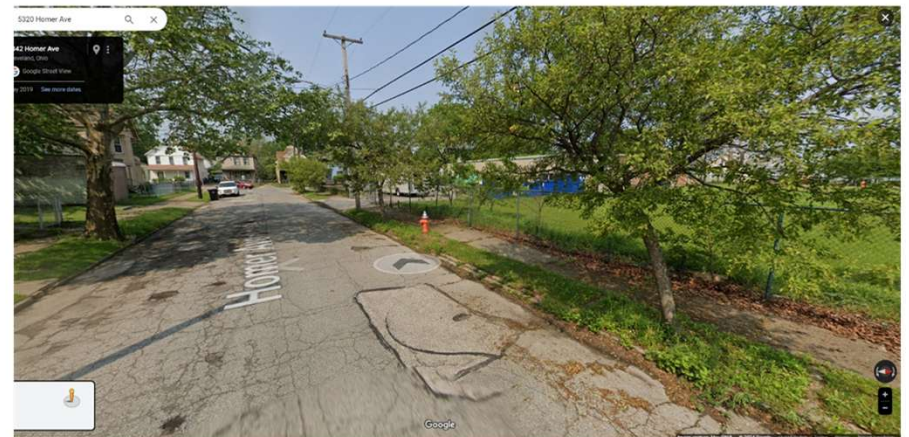


Across From Property Facing North on Stanard Ave

SITE CONTEXT PLAN HOMER AVE VIEW:



In Front of Property Facing East on Homer Ave



In Front of Property Facing West on Homer Ave

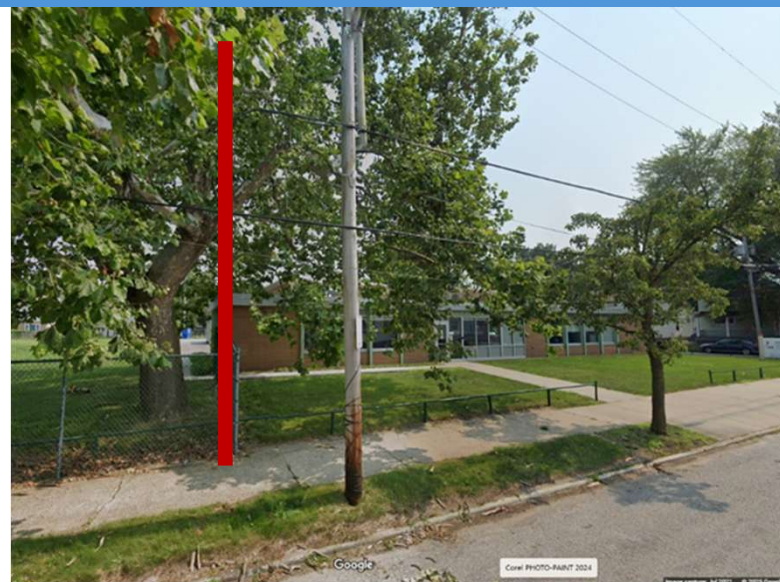
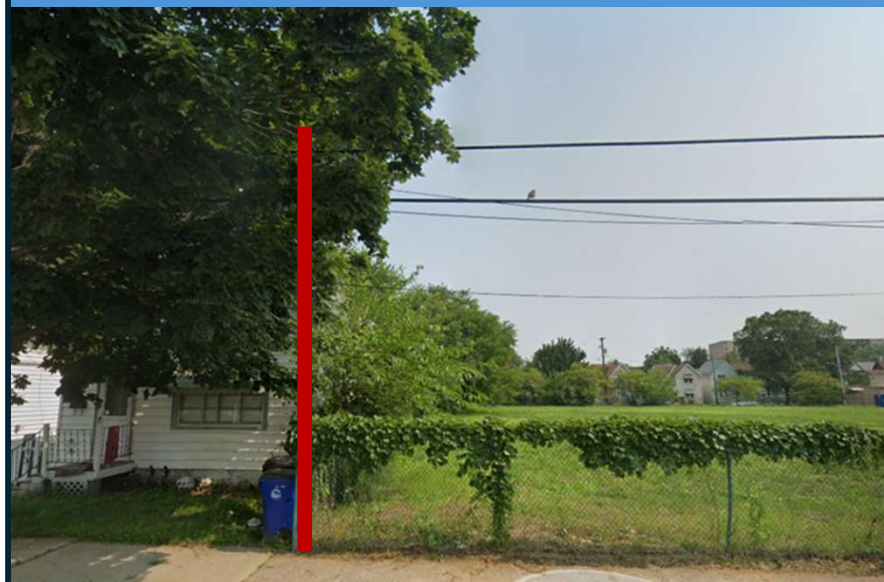


Across From Property to the South

Property Lines from Homer Ave.



Property Lines from Stanard Ave.



Site Plan – Tree Planting :

Previous



Site Plan Legend

	EXISTING TREE
	SUNSET MAPLE TREE ACER RUBRUM INSTALLATION HEIGHT: 5 FT. MATURITY HEIGHT: 50 FT. CALIPER MEASUREMENT @ 1'-0" ABOVE GRADE: 3"
	WHITE SPRUCE TREE PICEA GLAUCA INSTALLATION HEIGHT: 5 FT. MATURITY HEIGHT: 60 FT. CALIPER MEASUREMENT @ 1'-0" ABOVE GRADE: 4"
	NORTHSTAR BOXWOOD SHRUB INSTALLATION HEIGHT: 2 FT. MATURITY HEIGHT: 3 FT.
	GRASS
	ASPHALT PAVING
	CONCRETE
	GRAVEL
	TOPO LINE MINOR
	TOPO LINE MAJOR
	FIRE AREA PER OBC 602
	BUILDING ON SITE
	NEIGHBORING BUILDING
	PROPERTY LINE
	BUILDABLE AREA
	FENCE

Objectives:

- Create a community that encourages interaction (support through understanding)
- Provide open outdoor space for community
 - Safe Play Area for Kids
 - Community Green Space
- Fire Equipment access throughout the site
- Walkable Community
- Efficient use of space
- Access from both Stanard and Homer
- Planting of deciduous and evergreen trees

Site Plan – Tree Planting :

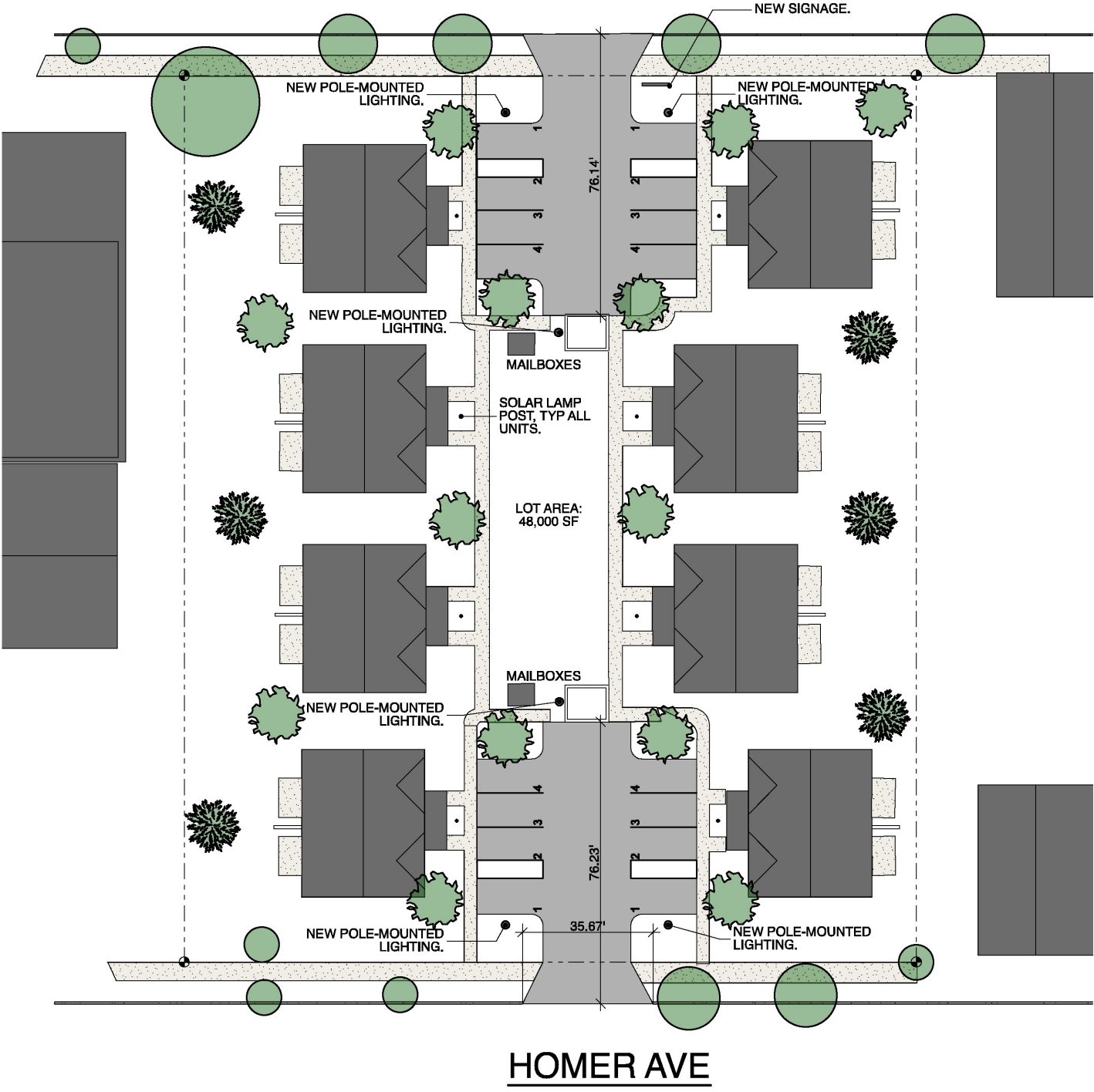


Site Plan Legend	
	EXISTING TREE
	MAPLE TREE ACER CAMPESTRE BI COLOR NADLER INSTALLATION HEIGHT: 12-14 FT. MATURITY HEIGHT: 26-50 FT. CALIPER MEASUREMENT @ 1'-0" ABOVE GRADE: 2"
	HEDGE MAPLE TREE KINDRED SPIRIT OAK INSTALLATION HEIGHT: 12-14 FT. MATURITY HEIGHT: 26-50 FT. CALIPER MEASUREMENT @ 1'-0" ABOVE GRADE: 2"
	NORTHSTAR BOXWOOD SHRUB INSTALLATION HEIGHT: 2 FT. MATURITY HEIGHT: 3 FT.
	GRASS
	ASPHALT PAVING
	CONCRETE
	GRAVEL
	TOPO LINE MINOR
	TOPO LINE MAJOR
	FIRE AREA PER OBC 602
	BUILDING ON SITE
	NEIGHBORING BUILDING
	PROPERTY LINE
	BUILDABLE AREA
	FENCE

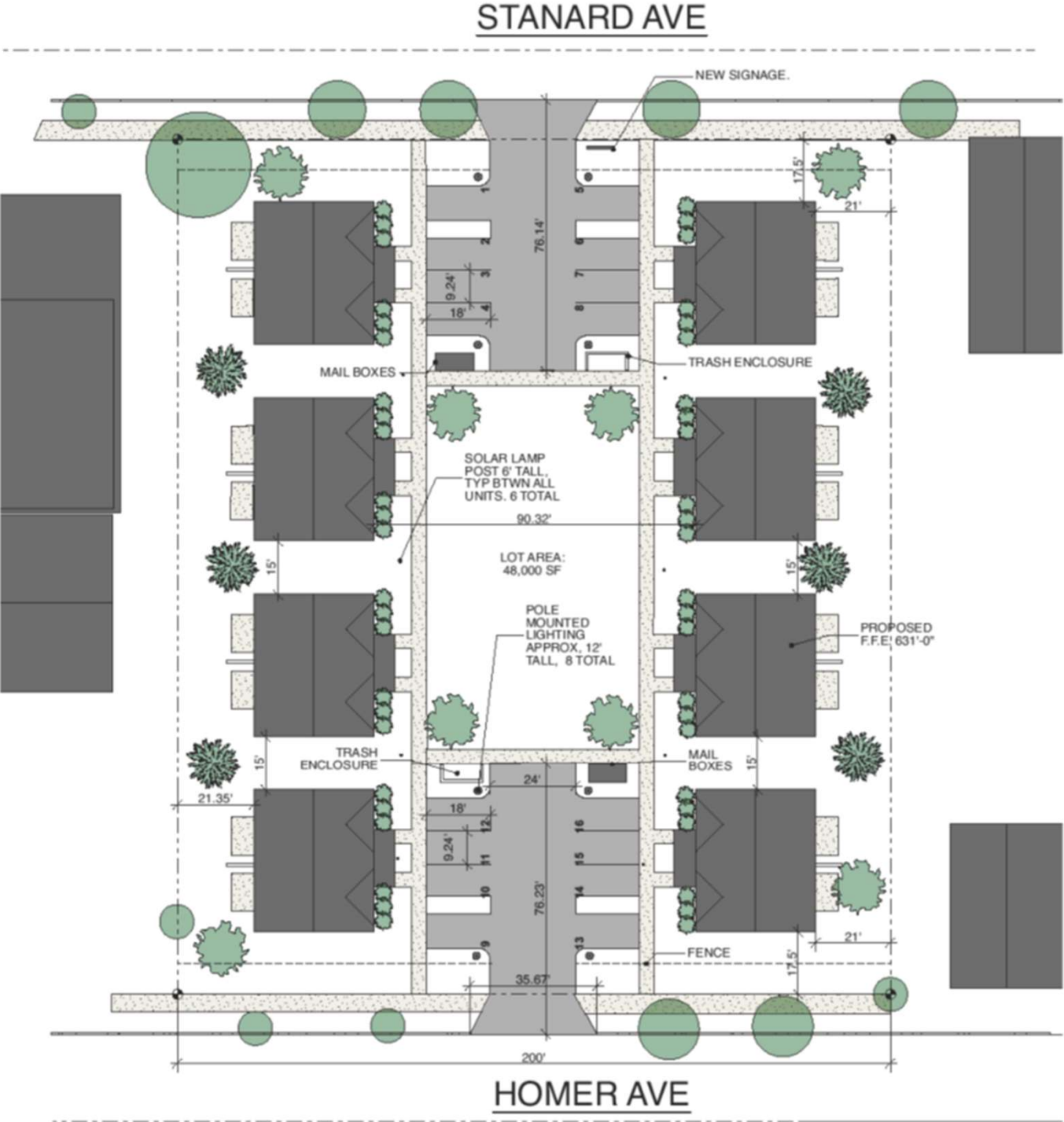
Objectives:

- Create a community that encourages interaction (support through understanding)
- Provide open outdoor space for community
 - Safe Play Area for Kids
 - Community Green Space
- Fire Equipment access throughout the site
- Walkable Community
- Efficient use of space
- Access from both Stanard and Homer
- Planting of deciduous and evergreen trees

Proposed Site Plan : **Previous** STANARD AVE



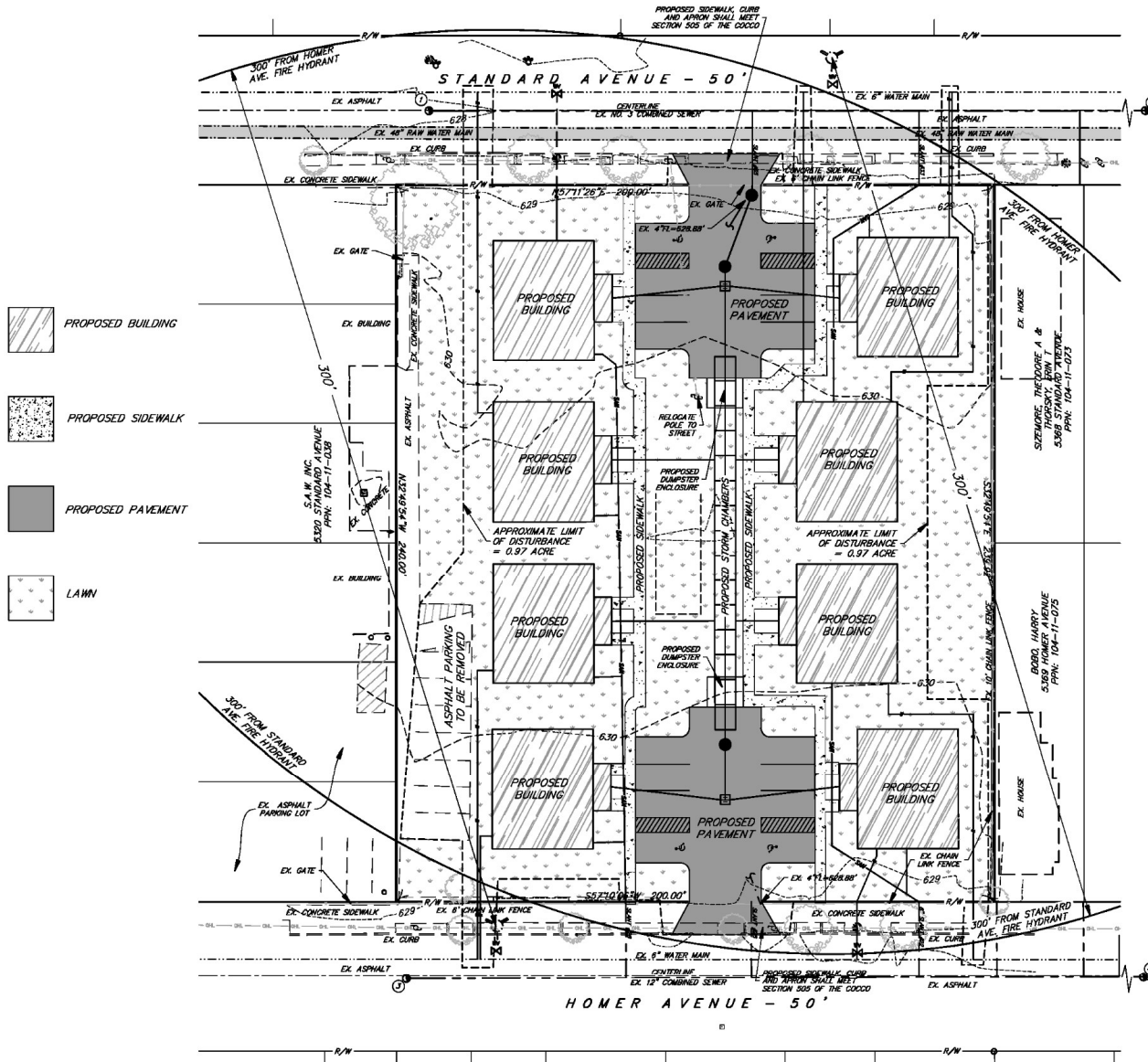
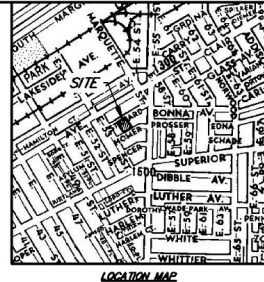
Proposed Site Plan :



Civil Site Plan : Previous

PRELIMINARY CONCEPT PLAN

5342-5360 Standard Avenue
Sited in the City of Cleveland
County of Cuyahoga and State of Ohio
PPN: 104-11-074



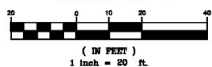
TOPOGRAPHIC LEGEND		
Hydrant	Light Pole	Gas Line Marker
Water Valve	Flood Light	Gas Valve
Water Shutoff	Guy Wire	Gas Meter
Water Meter Pit	Traffic Signal	Gas Shutoff
Wall	Utility Pole	Gas Test Station
Water Manhole	Signal Pole	Roof Drain
Irrigation Control Valve	Signal Box	Storm Manhole
Irrigation Control Box	Sign	Inlet Basin
Soil Test Point	Bollard	Catch Basin
Bench Mark	Sanitary Manhole	Yard Drain
Air Conditioning Unit	Septic Lid	Cleanout
Overhead Lines	Underground Gas	Underground Cable
Underground Gas	Underground Electric	Underground Telephone
Underground Electric	Underground Fiber	

EXISTING SANITARY STRUCTURES

- EXISTING SANITARY MANHOLE
R/W=628.14'
12°(E)=618.44'
NO. 10=614.71'
- EXISTING SANITARY MANHOLE
R/W=627.28'
24°(W)=613.76'
24°(E)=613.70'
- EXISTING SANITARY MANHOLE
R/W=628.14'
12°(E)=618.66'
- EXISTING SANITARY MANHOLE
R/W=627.37'
12°(E)=613.70'



GRAPHIC SCALE



The "Basis of Bearings" for this survey is Grid North of the NAD83 (2011), Ohio State Plane, North Zone as established by GPS Observation.

Civil Site Plan :

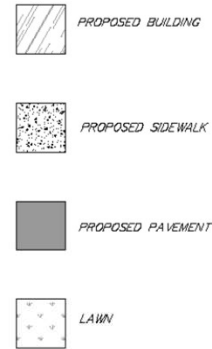
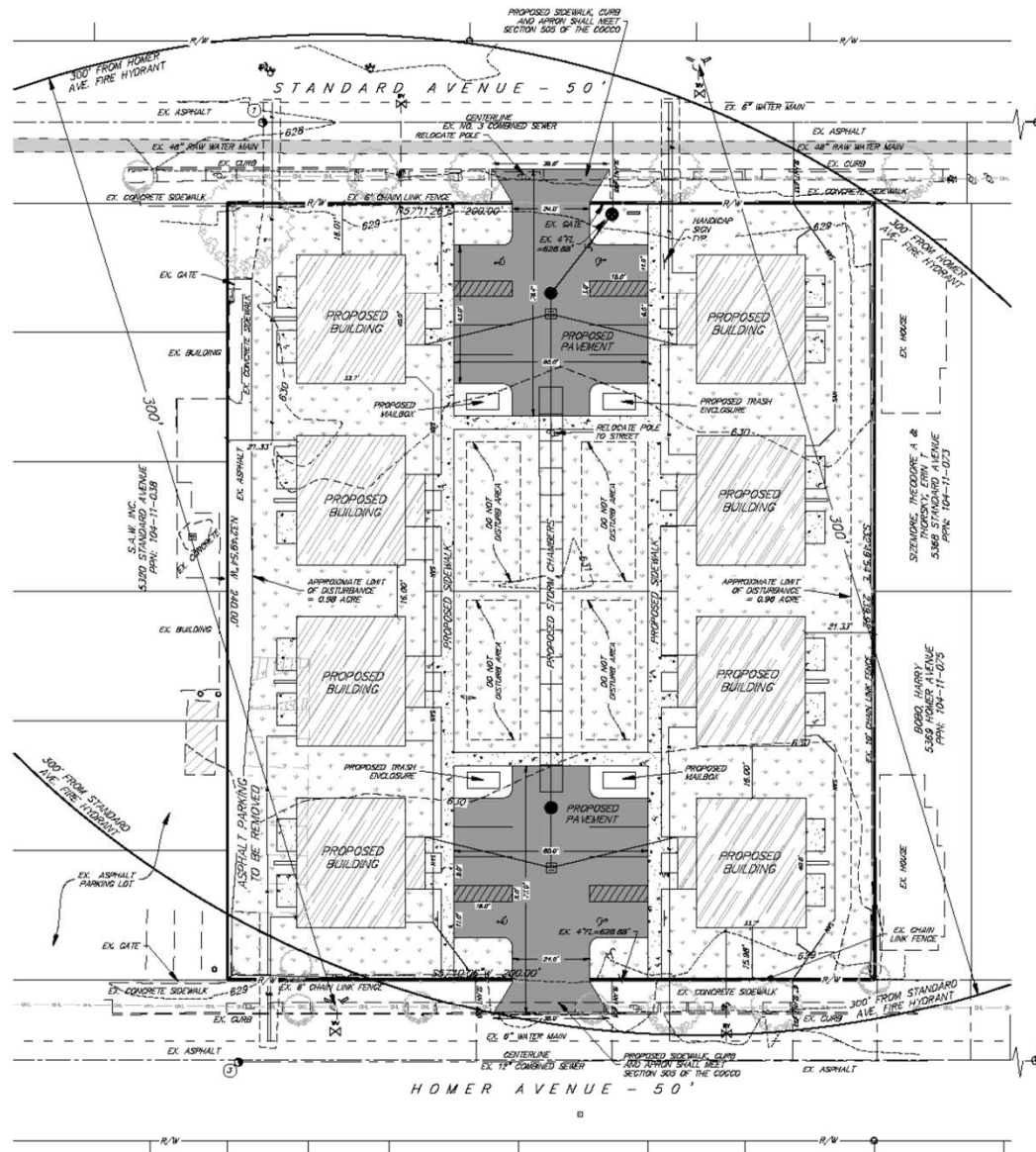
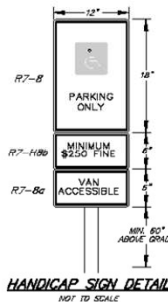


Figure 3B-22. International Symbol of Accessibility Parking Space Marking

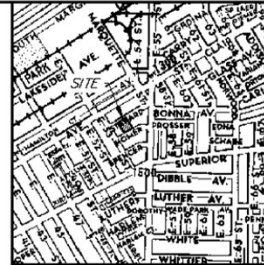


Handicap Pavement Marking



PRELIMINARY CONCEPT PLAN

5342-5360 Standard Avenue
Sited in the City of Cleveland
County of Cuyahoga and State of Ohio
PPN: 104-11-074



TOPOGRAPHIC LEGEND

- | | | | |
|--------------------------|------------------|------------------|--------------------|
| Hydrant | Light Pole | Gas Line Marker | Telephone Manhole |
| Water Valve | Flood Light | Gas Valve | Telephone Pedestal |
| Water Shutoff | Guy Wire | Gas Meter | Transformer |
| Water Meter Pit | Traffic Signal | Gas Shutoff | Cable Pedestal |
| Well | Utility Pole | Gas Test Station | Electric Meter |
| Water Manhole | Signal Pole | Roof Drain | Electric Pull Box |
| Irrigation Control Valve | Signal Box | Storm Manhole | Electric Manhole |
| Irrigation Control Box | Sign | Inlet Basin | Mail Box |
| Soil Test Point | Ballard | Catch Basin | Deciduous Tree |
| Bench Mark | Sanitary Manhole | Yard Drain | Coniferous Tree |
| Air Conditioning Unit | Septic Lid | Cleanout | Bush |
-
- | | |
|----------------------|-----------------------|
| Overhead Lines | Underground Cable |
| Underground Gas | Underground Telephone |
| Underground Electric | Underground Fiber |

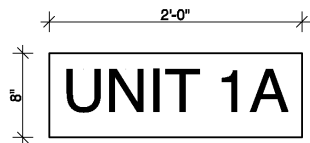
EXISTING SANITARY STRUCTURES

- EXISTING SANITARY MANHOLE
RM-628.14'
12" ID - 8'6" dia.
NAD83-628.14'
- EXISTING SANITARY MANHOLE
RM-627.28'
24" ID - 8'13" dia.
NAD83-627.28'
- EXISTING SANITARY MANHOLE
RM-628.71'
12" ID - 8'13" dia.
NAD83-628.71'
- EXISTING SANITARY MANHOLE
RM-627.31'
12" ID - 8'13" dia.
NAD83-627.31'

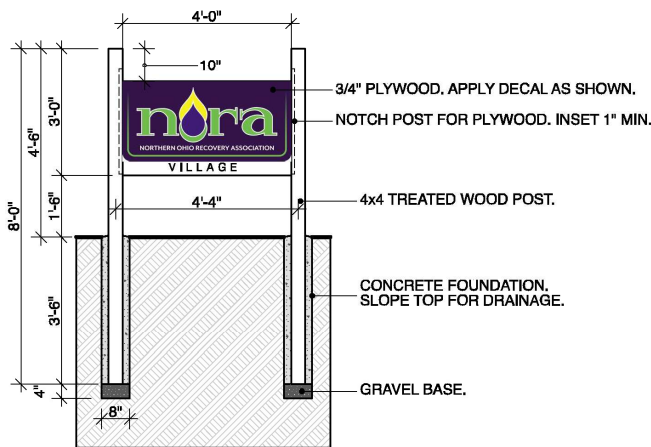


The "Basis of Bearings" for this survey is Grid North of the NAD83 (2011), Ohio State Plane, North Zone as established by GPS Observation.

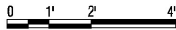
Proposed Signage and Lighting Plan :



B5
G03 Typical Unit Sign Detail
SCALE: 1 1/2" = 1'-0"



D5
G03 Entry Signage Detail
SCALE: 1/2" = 1'-0"



Signage and Numbering

PK081

LED Light Pole Kit with Single LED Area Light,
Selectable Wattage 100/150/185 & Color Temperature,
10-25 Foot Pole Height Options

Job: _____

Job Site: _____

Notes: _____

State: _____

Client Name: _____

Approvals: _____

Date: _____

Commercial-grade LED Light Pole Assembly Includes:
Square steel light pole, Single LED light complete with mounting bracket and hardware, set of anchor bolts and a base cover.

Light Pole:
Pole Shaft: 4 inch square 11 gauge (10 ft., 15 ft. and 20 ft.) and 7 gauge (25 ft.) commercial grade steel with minimum yield strength of 55,000 psi
Pole Height: Optional heights are 10 ft., 15 ft., 20ft. and 25 ft. Custom heights are also available
Anchor Bolts: A set of 4 galvanized steel anchor bolts is provided. Each anchor bolt includes 2 nuts and 2 washers.
Bolt Circle: 8-1/2" (Bolt Circle range: 8"-11").
Handhole: Handhole is located 18" above the base plate.
A 3" X 5" steel handhole cover is included.
Color: Dark Bronze
Base Cover: ABS Plastic base cover with rivets.

LED Fixture:
Material: Aluminum construction with integrated fins to maximize heat dissipation.
Color: Dark Bronze.
Preset Power: 150 Watts
Voltage: 120-277 Volt standard.
Preset Color Temperature: 5000K
Light Distribution: Type 3 standard.
Type 4 and Type 5 options as special order.
Photocell: Photocell is optional.
Dimming: 0-10V Dimming Capable.
Dimming control not provided (field install).
ETL Listing: ETL Listed for Wet Locations.
DLC Listing: DLC Premium.
IP Rating: IP65
EPA Rating: 0.55
Warranty: 5 Years.
Weight: 10 lbs

POWER (W)	LOW	MID	HIGH
	100	150	185
AMPS	0.87 @ 120V/0.38 @ 277V	1.31 @ 120V/0.57 @ 277V	1.62 @ 120V/0.70 @ 277V
COLOR TEMPERATURE (K)	3000 4000 5000	3000 4000 5000	3000 4000 5000
LUMENS	14,500 16,000 15,000	21,750 24,000 22,500	26,825 29,600 27,750
LUMENS/WATT	145 160 150	145 160 150	145 160 150

Disclaimer: All dimensions and specifications are subject to change without any notice. Light Pole Foundation should be designed by an engineer familiar with local soil and wind conditions as well as local code where the light pole will be installed.

Copyright© 2023 Energy Light, Inc. All Rights Reserved | 1881 Rose Road, Lake Zurich, IL 60047

Pole Height	Anchor Bolt
10 ft.	3/4"x17"x3"
15 ft.	3/4"x17"x3"
20 ft.	3/4"x17"x3"
25 ft.	3/4"x30"x3"



House Lamp
Tops on 6-foot
Pole

Parking Lot Light Pole

Fencing and Materials:



Rear Patio Fence



Trash Enclosure



Band Board



Property Fence



Board & Baton Siding



MailBox

Previous

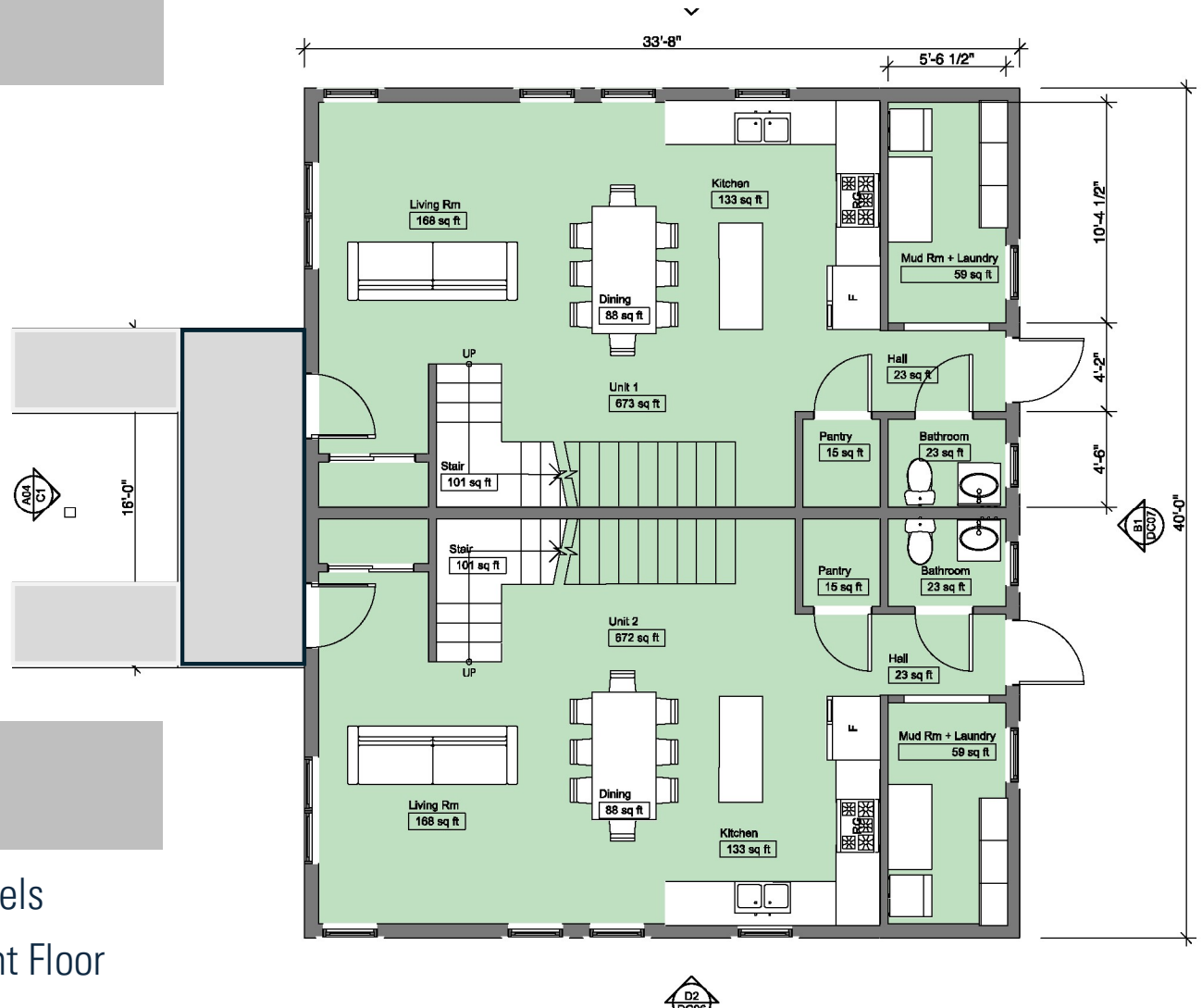
Duplex First Floor

Each unit has a total of 1,240 Sq. Ft.

- First Floor 620 Sq. Ft.
- Half Bathroom
- Open Floor Plan
- Laundry Room & Mechanical Room
- Pantry and Front Door Coat Closet
- Large Kitchen And Dining Area
- Natural light thru view windows

General Construction

- High Thermal Resistance w/Shield Panels
- High Efficiency HVAC system w/Radiant Floor
- Maintenance Free Exterior



Previous

Duplex Second Floor

- Second Floor 620 Sq. Ft.
- 2 Full Bathrooms
- Vaulted Ceilings in Bedrooms
- Larger Bedrooms
- Hall Closet
- Natural light thru view windows



Previous



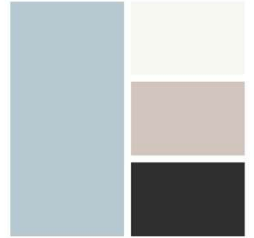
ABOUT THIS PAIRING

Coastal colors include a wide range of possibilities – turquoise, pink or a lush island-inspired green. Pair with other serene colors or go more neutral with a sea-worthy navy blue.



TruDefinition® Duration® Designer

Pacific Wave



Sleepy Hollow

Color Palette

Building Exterior Modifications

Modern Front Elevation

- Flat roof over entry
- Single hung windows with muttons
- Increased front gable pitch to 9/12
- Board and Batten siding with horizontal siding accent
- Partition separating front doors
- Glass paneled front door
- Separate walks to each unit
- Larger front patio
- Shrubbery in front of building

Front Elevation



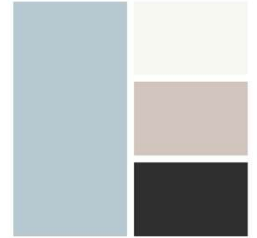
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TruDefinition® Duration® Designer

Pacific Wave



Sleepy Hollow

Color Palette

Building Exterior Modifications

Modern Front Elevation

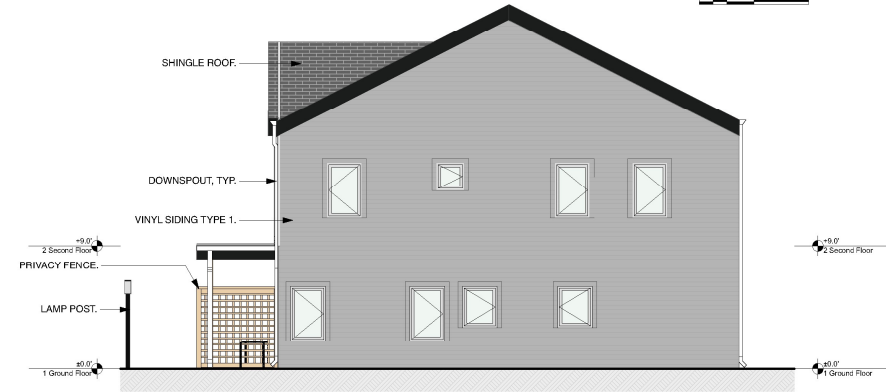
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- Board and Batten siding with horizontal siding accent
- Partition separating front doors
- Glass paneled front door
- Separate walks to each unit
- Larger front patio
- Shrubbery in front of building

Elevations: Previous



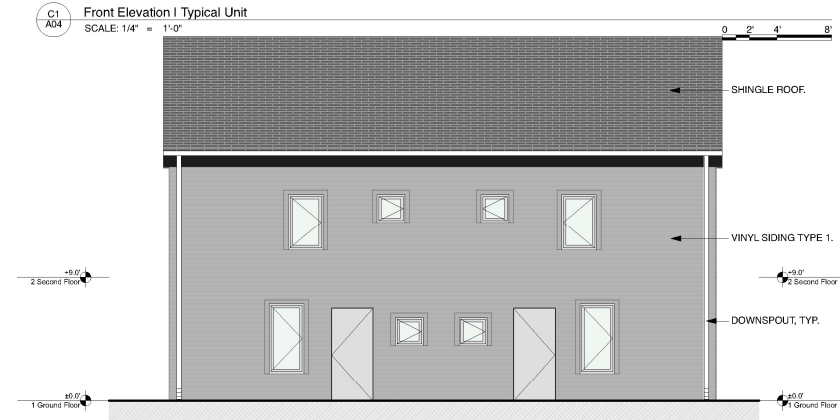
A1
A04 Front Elevation I 4 Units

SCALE: 1/8" = 1'-0"



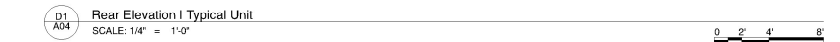
C4
A04 Side Elevation 2 I Typical Unit

SCALE: 1/4" = 1'-0"



D4
A04 Side Elevation 1 I Typical Unit

SCALE: 1/4" = 1'-0"



D1
A04 Rear Elevation I Typical Unit

SCALE: 1/4" = 1'-0"

A04

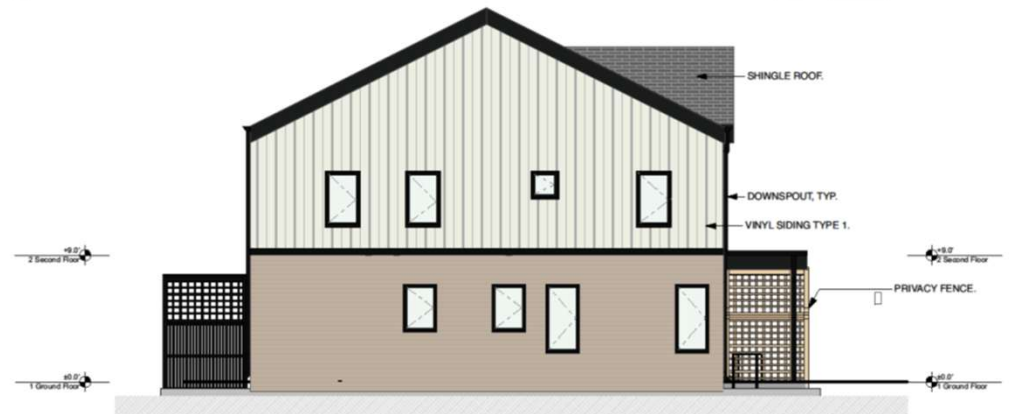
EXTERIOR ELEVATIONS

NORA DUPLEX for Northern Ohio Recovery Association

Amy Kunkle Creative LLC
Amy Kunkle, Architect
amykunkledesign@gmail.com
(330) 268-1254



Elevations:



A04

EXTERIOR ELEVATIONS

NORA DUPLEX for **Northern Ohio Recovery Association**

Amy Kunkle Creative LLC
Amy Kunkle, Architect
amykunkledesign@gmail.com
(330) 268-1254





THANK YOU

NORA

Anita Bradley – Director

abradley@norainc.org

216-533-0550

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025



City of Cleveland

Justin M. Bibb, Mayor

City Planning Commission

Marka Fields, Interim Director



601 Lakeside Avenue, Room 501, Cleveland, OH. 44114
T: (216) 664-2210 F: (216) 664-3281 | www.planning.city.cleveland.oh.us

Northeast Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 8:00 AM

Case Number: NE 2024-021

Meeting Date: 03/04/2025

Project Name: NORA Housing project

Ward #:

Project Address: 5342-5360 STANARD AVE

Project Rep.: Amy Kunkle Design/Signature Building Concepts, LLC and D.J. Keehan, Guardian Structural Technologies, LLC

Existing Use: Vacant Land

Proposed Use: Recovery Housing

Project Scope:

8 DUPLEX BUILDINGS: 16 TOTAL RESIDENTIAL UNITS

Design Review Level Applied For: Final

Motion by Design Review Committee:

Approve (as presented) ☐ Approve (with stated conditions) ☒ Disapprove ☐ Table ☐

Conditions: Schematic Approval (with stated conditions):

- Photometric study will help you figure out the light distributions.
- Consider differentiating the colors on the palette so it won't be a uniform building.
- Lighting plan needed.
- Detailed landscape plan needed.

Committee Action:

(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)

Brown	<input type="checkbox"/> Yea <input checked="" type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Bandy-Zalatoris (VC)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Farina	<input type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Lukacsy-Love	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Nieswander (C)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Veider, <u>2</u>	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
White	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay	<input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.			

Applicant Signature & Date:

Virtual Meeting – No Signature Required

Cleveland City Planning Commission

Mandatory Referrals



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Ord. No. 246–2025 (introduced by Council Members Jones, Bishop, Hairston, and Griffin – by Mar 7, 2025
departmental request) Authorizing the Directors of Parks and Recreation and Community Development to enter into a property exchange agreement with the Board of Education of the Cleveland Municipal School District for the transfer of various properties between the parties to facilitate the efficient use of real estate for public purposes including construction of the new JFK High School Athletic Stadium at property near the new JFK High School and City-owned JFK Recreation Center; authorizing the Mayor and Commissioner of Purchases and Supplies to acquire and convey the properties; and authorizing one or more agreements between the Cleveland Municipal School District and the Director of Parks and Recreation relating to the construction and shared use of the new stadium, for a term of fifteen years and renewing automatically from year to year thereafter until terminated by either party.

Cleveland City Planning Commission

**Real Estate Legislation
March 7, 2025**



CITY OF CLEVELAND
Mayor Justin M. Bibb



Ord. No. 246-2025

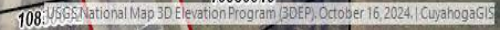
The exchange of City-owned properties and CMSD-owned properties

Legislative Purpose

Authorize the Directors of Parks and Recreation and Community Development to enter into one or more agreements with the Cleveland Municipal School District (CMSD) for the exchange of City-owned properties and CMSD-owned properties for future community/economic development purposes and various school purposes

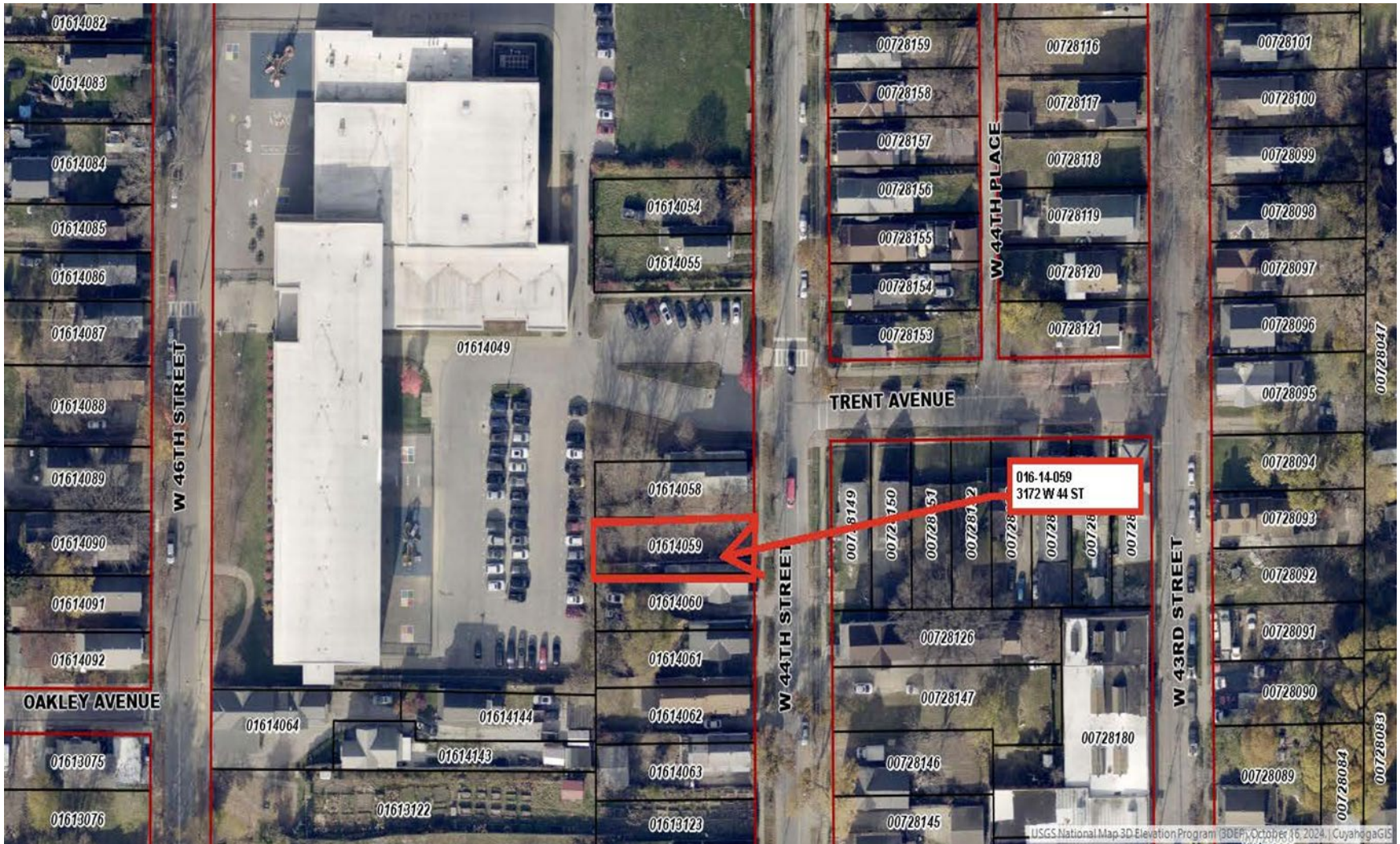


108-29-050 & 108-30-062 City-owned parcels to CMSD For FDR Academy Location Map



Ord. No. 246-2025

016-14-059 Land Bank Parcel To Be Transferred to CMSD for Newcomers
Academy
Location Map

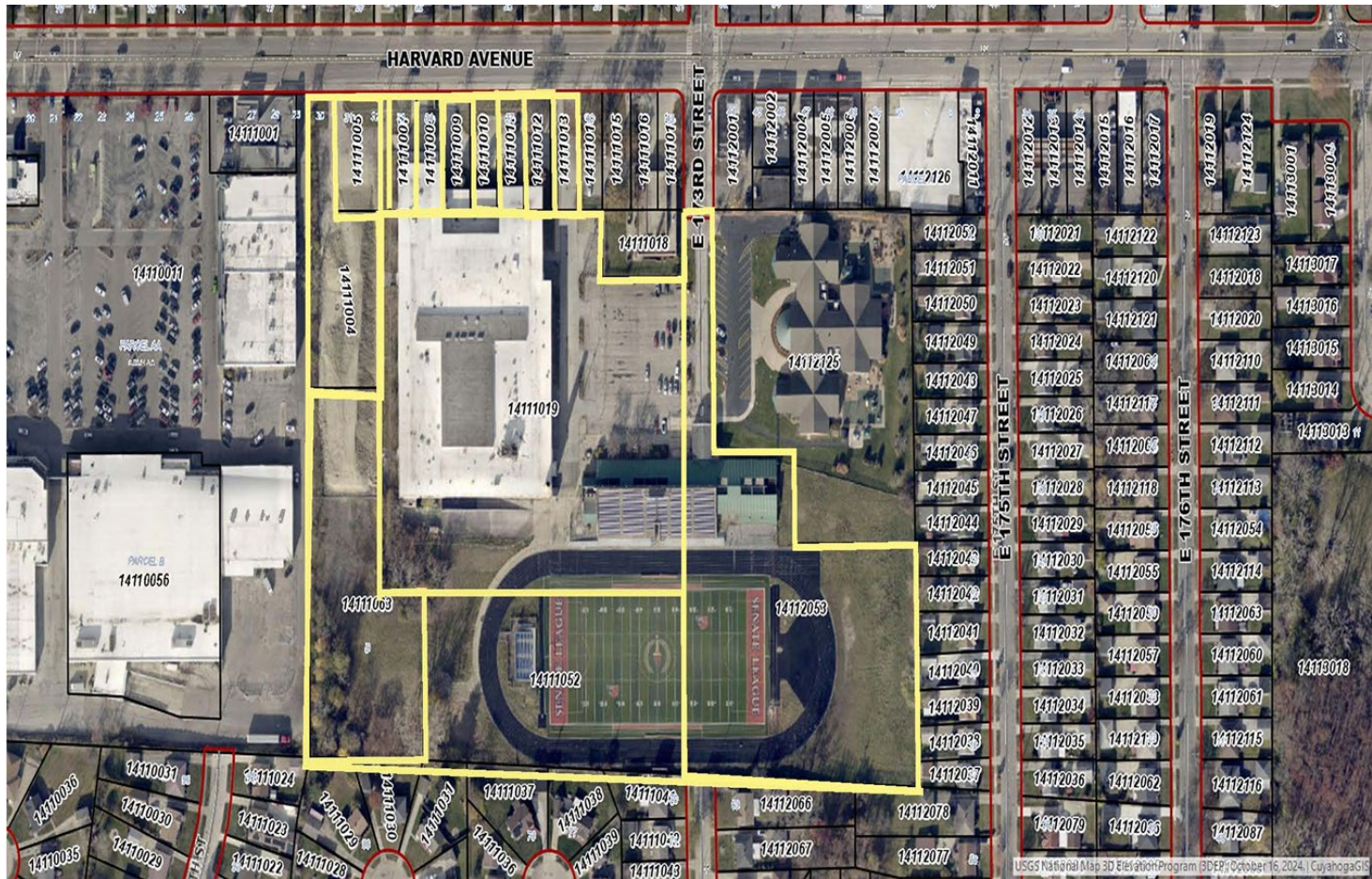


Ord. No. 246-2025

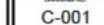
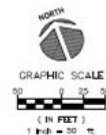
Cleveland Municipal School District to City of Cleveland

PPN 141-11-004 through 141-11-013, 141-11-019, 141-11-052, 141-12-053 and
141-11-063

Location Map



Location Map



Ord. No. 246-2025

The Exchange of City-owned Properties and CMSD-Owned Properties

- City will invest \$2.1 million in bond funds for the construction of Stadium, which will be constructed by CMSD, pursuant to a Construction and Shared Use Agreement with CMSD for the Stadium.
- City will transfer three land bank parcels, including 777 Parkwood Drive (PPN 108-30-062), 773 Parkwood Drive (PPN 108-29-050) and 3172 W. 44th Street (016-14-059) to CMSD for to be used by CMSD for various school purposes in exchange for CMSD's transfer of the old JFK High School site located at 17100 Harvard Avenue to the City for future community/economic development opportunities.
- The property exchanges between City and CMSD are authorized by Ohio Revised Code Section § 3313.40. The exchange of real estate as outlined herein will be mutually beneficial to the respective parties.



Ord. No. 251-2025 (introduced by Council Members McCormack, Bishop, and Griffin – by departmental request) Authorizing the Director of the Mayor’s Office of Capital Projects to sell City-owned air-rights interest no longer needed for the City’s public use located at the right-of-way of Scranton Road aka Eagle Avenue, to GPP Medical Facility LLC for the purpose of constructing a building and; Enter into an agreement for the construction, operation, maintenance, inspection, and repair of the overhead structure within the air-rights parcel above the Scranton Road right-of-way.

Cleveland City Planning Commission

**Real Estate Legislation
March 7, 2025**



CITY OF CLEVELAND
Mayor Justin M. Bibb



Ord. No. 251-2025
Sale of Air Rights over Scranton Road

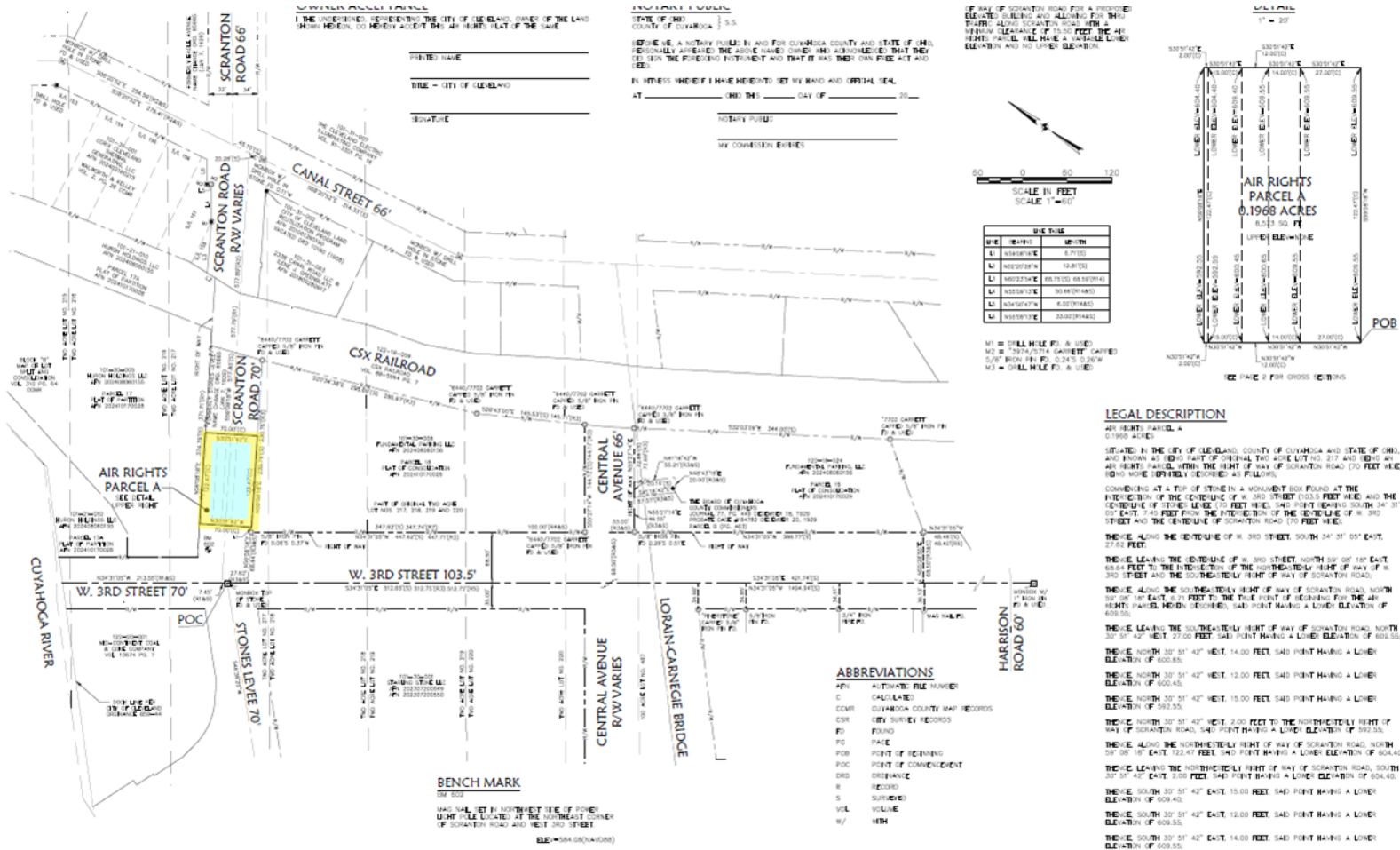
Legislative Purpose

Authorize Director of Mayor's Office of Capital Projects to sell air rights above Scranton Road to GPP Medical Facility LLC for construction of Cleveland Clinic Global Peak Performance Center and to enter into Agreement for overhead structure maintenance, inspection and repair.



Ord. No. 251-2025

Sale of Air Rights over Scranton Road



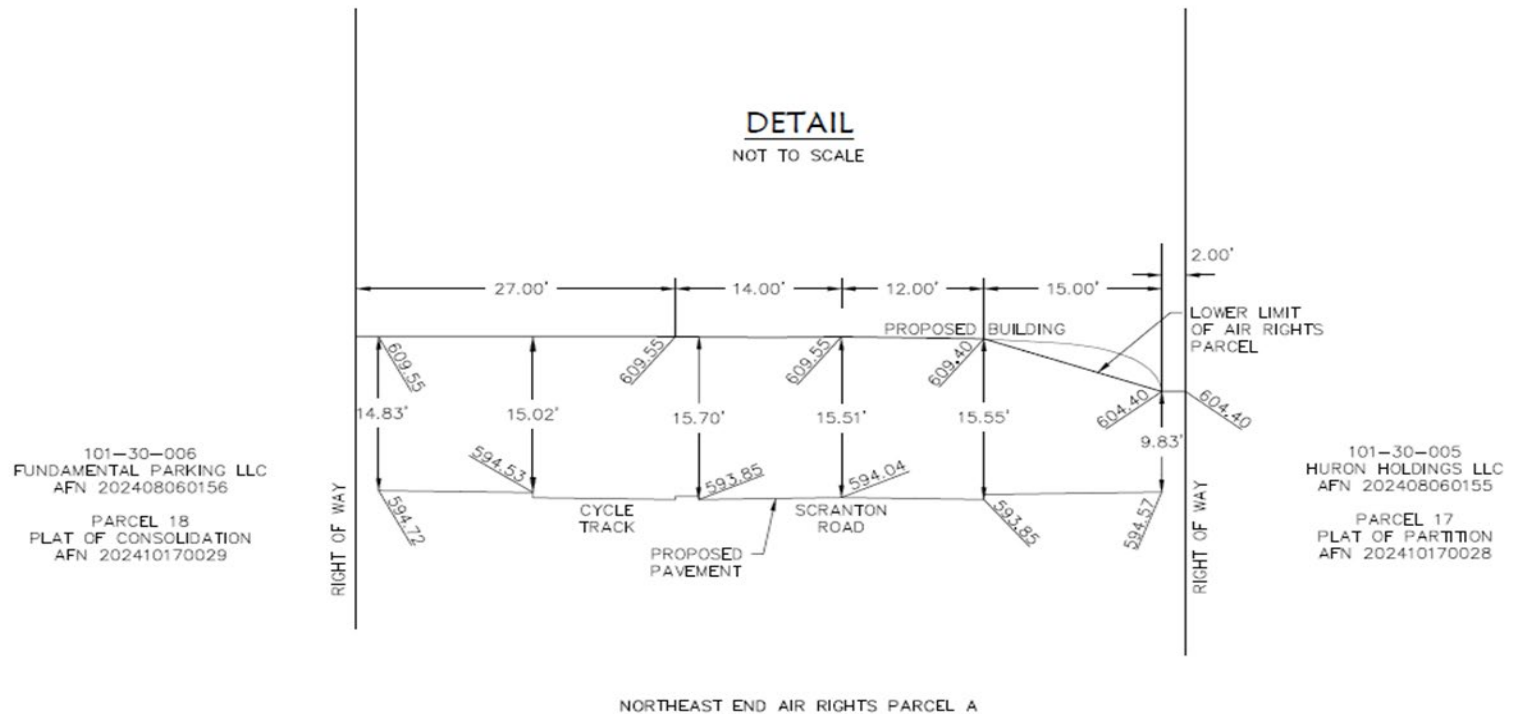
KS ASSOCIATES, Inc.
 2900 Burns Road, Suite 100
 Cleveland, Ohio 44114
 P 440.366.4730
 F 440.366.4730
 www.ksassoc.com

KS ASSOCIATES

AIR RIGHTS PLAT
 FILED: 08/08/2025
 CITY OF CLEVELAND, COUNTY OF CUYAHOGA
 STATE OF OHIO

Ord. No. 251-2025

Sale of Air Rights over Scranton Road



Ord. No. 251-2025

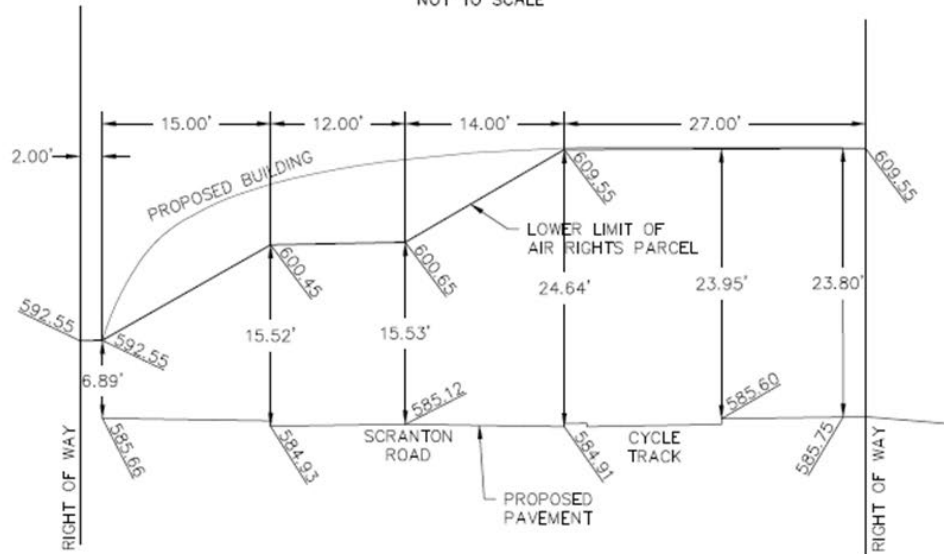
Sale of Air Rights over Scranton Road

DETAIL

NOT TO SCALE

101-30-005
HURON HOLDINGS LLC
AFN 202408060155

PARCEL 17
PLAT OF PARTITION
AFN 202410170028



101-30-006
FUNDAMENTAL PARKING LLC
AFN 202408060156

PARCEL 18
PLAT OF CONSOLIDATION
AFN 202410170029

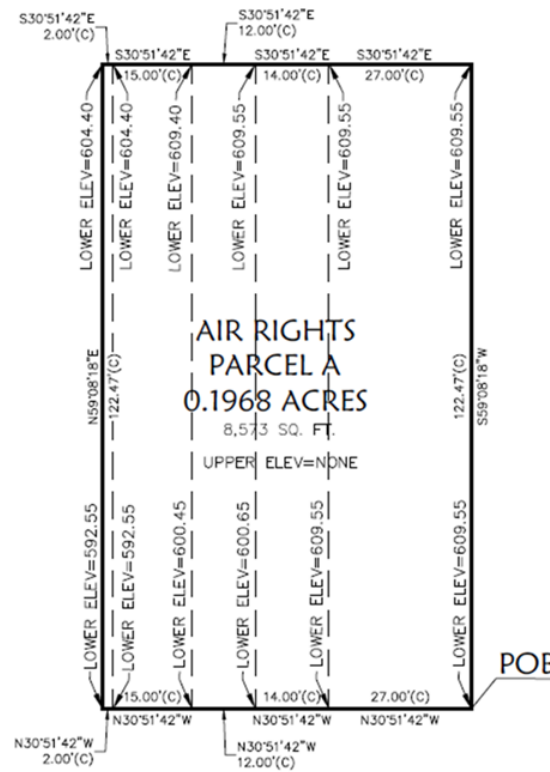
SOUTHWEST END AIR RIGHTS PARCEL A

Ord. No. 251-2025

Sale of Air Rights over Scranton Road

DETAIL

1" = 20'



SEE PAGE 2 FOR CROSS SECTIONS

Ord. No. 251-2025

Sale of Air Rights over Scranton Road



Ord. No. 251-2025

Sale of Air Rights over Scranton Road



Ord. No. 251-2025
Sale of Air Rights over Scranton Road

- Cleveland Clinic Foundation, Cleveland Cavaliers and Bedrock Real Estate are jointly developing the Cleveland Clinic Global Peak Performance Center, a medical and sports training facility.
- A portion of the new building will be constructed approximately 15 feet above the Scranton Road right of way and Bedrock wishes to purchase the air rights parcel.
- City will enter into an agreement with Bedrock for the construction, use, operation, maintenance, inspection and repair of the portion of the building above City right of way.



Cleveland City Planning Commission

Administrative Approvals



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Ord. No. 233-2025 (introduced by Council Members Bishop and Griffin – by departmental request) Determining the method of making the public improvements for the grinding of pavement for the local resurfacing of city streets and authorizing the Director of Public Works to enter into one or more public improvement requirement contracts for the making of the improvement, for a period up to one year, with two one-year options to renew, exercisable by the Director of Public Works.

Mar 7, 2025

Ord. No. 240–2025 (introduced by Council Members McCormack and Griffin – by departmental request) To repeal Ordinance No. 828–2024, passed September 23, 2024, relating to the purchase of up to thirteen passenger–boarding bridges at Cleveland Hopkins International Airport; and determining the method of making the public improvement of purchasing, installing, disposing, designing and constructing of up to thirteen passenger boarding bridges and appurtenances; and authorizing the Director of Port Control to enter into one or more public improvement contracts for the making of the improvement.

Mar 7, 2025

Ord. No. 242-2025 (introduced by Council Members McCormack, Hairston, and Griffin – by departmental request) Approving the addition of certain property located at 2164-2214 West 25th Street to the Northeast Ohio Advanced Energy District; accepting and approving a petition and plan from a property owner in the District identifying a special energy improvement project; declaring it necessary to conduct the special energy improvement project; providing for the assessment of the cost of such special energy improvement project; authorizing the Director of Economic Development to enter into a Cooperative Agreement and a Special Assessment Agreement to implement the project; and declaring an emergency.

Mar 7, 2025

Ord. No. 250-2025 (introduced by Council Member Griffin) To exempt certain property parcels from Strong Market Area tax abatement policies under Ordinance No. 482-2022, passed May 25, 2022, relating to establishing the entire City of Cleveland as a Community Reinvestment Area.

Mar 7, 2025

Res. No. 298-2025 (introduced by Council Members Starr, Bishop, and Hairston – by departmental request) Declaring the intent to vacate a portion of East 70th Street.

Mar 7, 2025

Res. No. 299-2025 (introduced by Council Members Starr, Bishop, and Hairston – by departmental request) Declaring the intent to vacate a portion of East 71st Place.

Mar 7, 2025

Res. No. 300-2025 (introduced by Council Members Starr, Bishop, and Hairston – by departmental request) Declaring the intent to vacate a portion of East 73rd Street.

Mar 7, 2025

Res. No. 301-2025 (introduced by Council Members McCormack, Bishop, and Hairston – by departmental request) Declaring the intent to vacate a portion of Hancock Avenue.

Mar 7, 2025

Cleveland City Planning Commission

Director's Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025

Cleveland City Planning Commission

Adjournment



CITY OF CLEVELAND
Mayor Justin M. Bibb

Mar 7, 2025