



CITY OF CLEVELAND

Mayor Justin M. Bibb

# Cleveland City Planning Commission

April 4, 2025

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**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Lillian Kuri, Commission Chair

Calley Mersmann, Director

Evelyn Rueda, Administrator



# Cleveland City Planning Commission

## P R E A M B L E

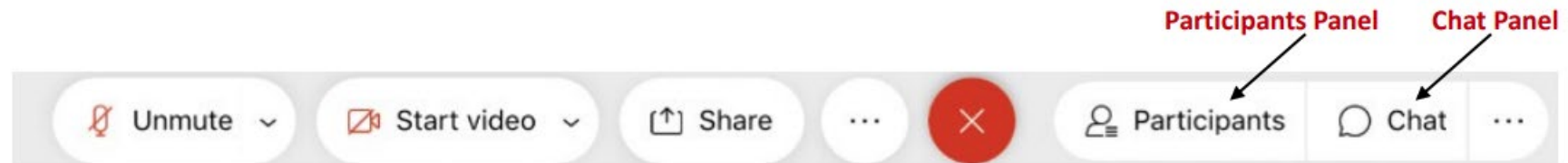
**In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the codified ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.**

**All boards and commissions under the purview of the city planning department conducts its meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.**

**In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.**

**We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.**

## CALL-IN USERS CAN UNMUTE BY USING \*6



Apr 4, 2025



# Cleveland City Planning Commission

## P R E A M B L E

All meeting activity is being recorded via the Webex platform. these proceedings are also being live streamed via YouTube.

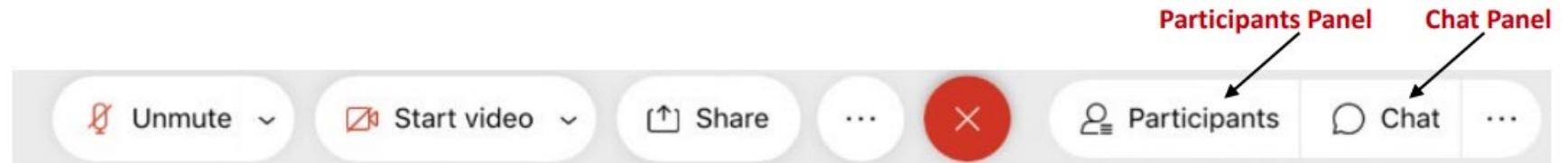
All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

Communication with members of this body must follow proper channels for consideration.

Any comments received by the **Wednesday 12:00 pm** deadline are collected by city planning staff and Disseminated to the commission members prior to any scheduled meeting.

Proper channels for public comment:

- Sending an e-mail to the [cityplanning@clevelandohio.gov](mailto:cityplanning@clevelandohio.gov) address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



Apr 4, 2025

# Cleveland City Planning Commission

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## Meeting Rules and Procedures

- **The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.**
- **Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.**
- **Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.**
- **Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.**
- **Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.**
- **The Chair will then request a recommendation from staff, if applicable.**
- **The Commission will then begin deliberations and project review.**
- **Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.**



**Lillian Kuri, Chair**

Apr 4, 2025

**August Fluker, Vice Chair**

**Charles Slife, Council Member**

**Dr. Denise McCray-Scott**

**Erika Anthony**

**Andrew Sargeant**

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# Cleveland City Planning Commission

## Call to Order and Roll Call

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



# Cleveland City Planning Commission

## Approval of Minutes from Previous Meeting

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



# Cleveland City Planning Commission

## Zoning Map Amendments

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



**Map Change 2670:** Changing the Use, Area, & Height Districts of parcels of land north and south of Lorain Avenue between Columbus Road and West 32nd Street. (MC 2670)

Apr 4, 2025

**Map Change 2670**  
**(Phase 1 of Lorain Strategic Rezoning)**  
**City Planning Commission Hearing**  
**April 4, 2025**



CITY OF CLEVELAND  
Mayor Justin M. Bibb

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CITY PLANNING COMMISSION

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## Proposal

Changing the Use, Area, & Height Districts of parcels of land north and south of Lorain Avenue between West 32nd Street and Columbus Road.  
(Map Change 2670)

## Purpose

To promote walkability and support a diversity of housing typologies which is in alignment with the Connecting Cleveland 2020 comprehensive citywide plan.

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# Council Support of MC 2670 (Phase 1)

Good morning,

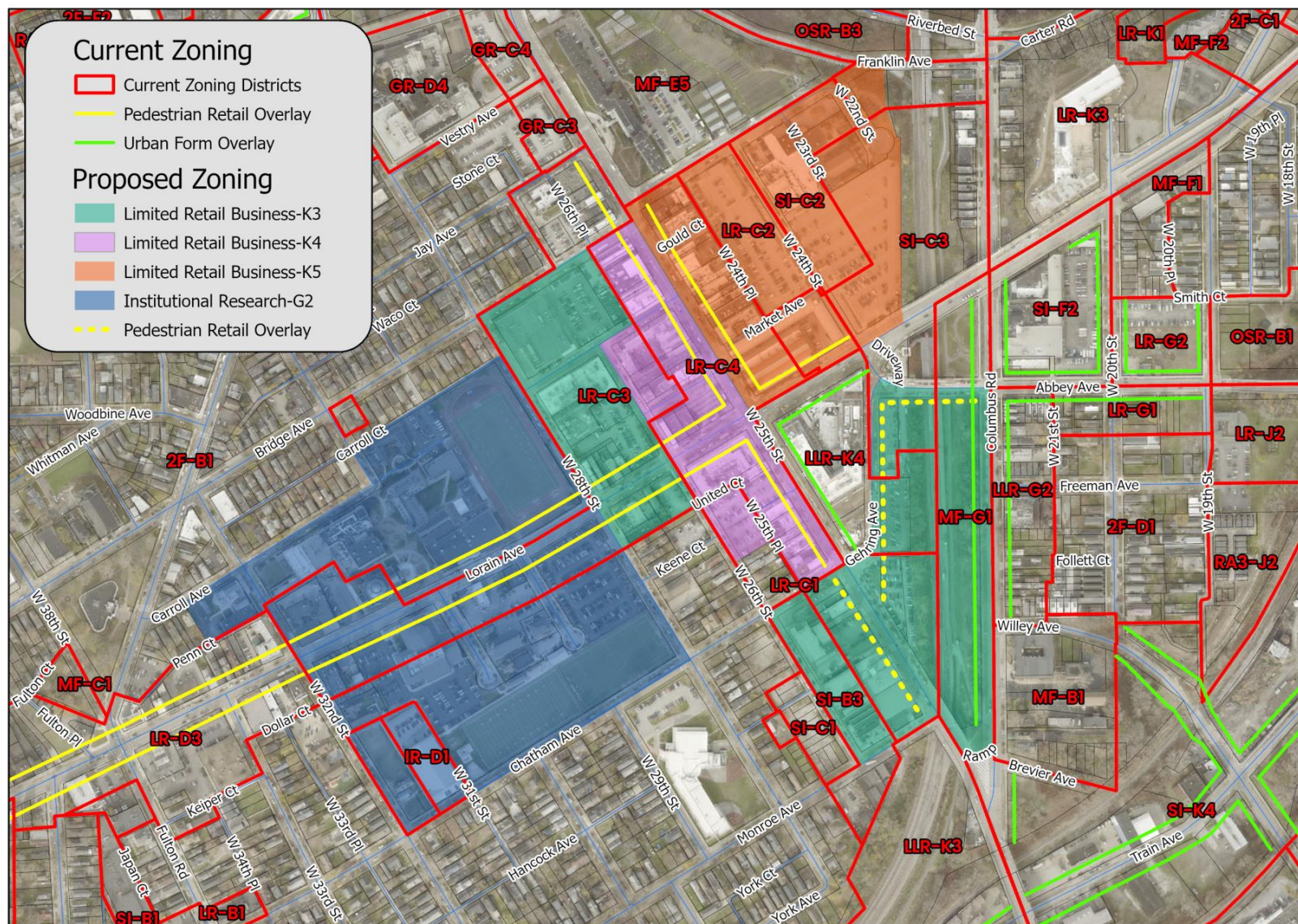
Please accept this email as my full support for this map change and rezoning. Let me know if you have any questions.

Best,

Kerry

**Kerry McCormack**  
Ward 3 Councilman  
Cleveland City Council

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## Map Change 2670

Changing the Use, Area, & Height districts of parcels of land  
north and south of Lorain Avenue between West 32nd Street and Columbus Road.

0 150 300  
Feet



## Current Zoning:

- Two-Family-B1
- Multi-Family-G1
- Local Retail-C1, C2, C3, C4
- Limited Retail-K4
- Institutional Research-D1
- Semi-Industry-B3, C2, C3
- Pedestrian Retail Overlay (PRO)



# Pedestrian Retail Overlay

The Pedestrian Retail Overlay (PRO) District is established to **maintain the economic viability of older neighborhood shopping districts** by preserving the pedestrian-oriented character of those districts and to protect public safety by **minimizing conflicts between vehicles and pedestrians** in neighborhood shopping districts.



## CITY PLANNING COMMISSION



# Phase 1

## Phase 2



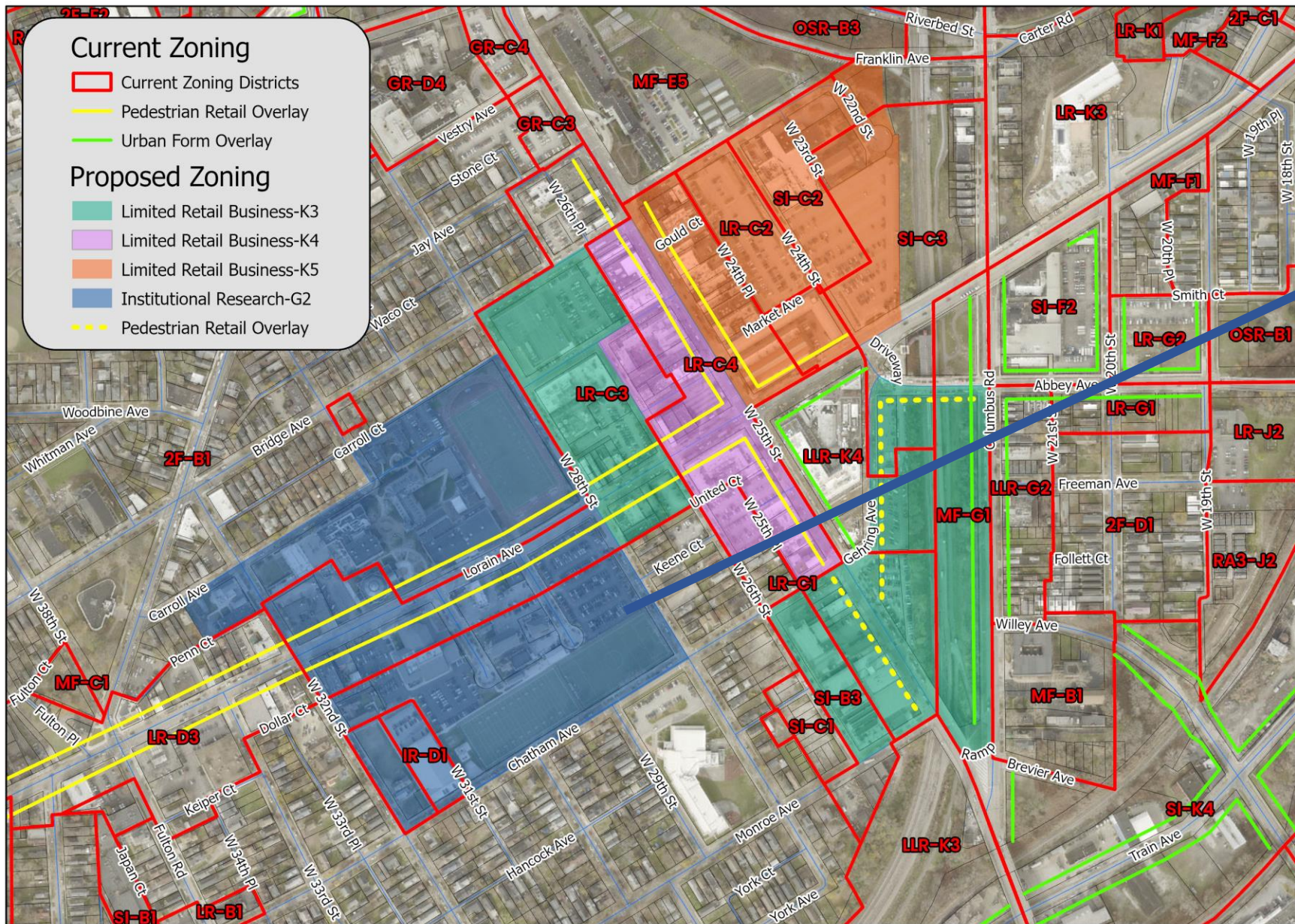
## Institutional Research-G2

### General Permitted Uses:

- Large-scale educational and medical developments
- Research facilities
- Professional offices
- Hotels & residential uses
- Mental health centers
- Assisted living residences

### Current Zoning:

- Two-Family-B1
- Local Retail-C3
- Institutional Research-D1
- Pedestrian Retail Overlay (PRO)



## Map Change 2670

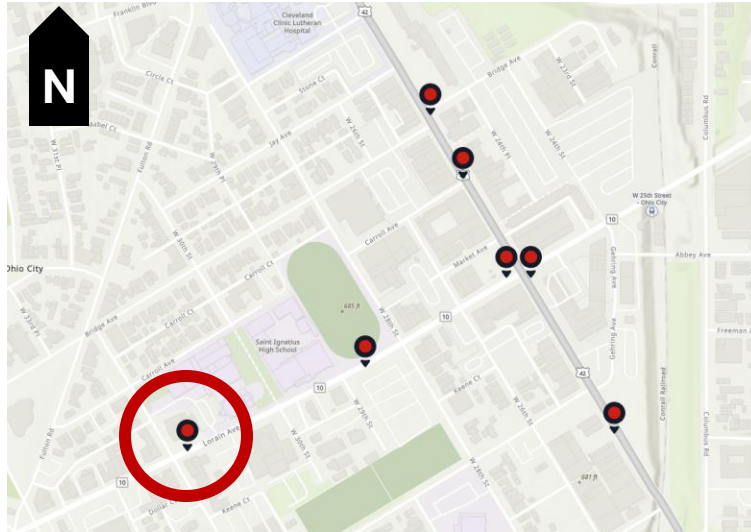
Changing the Use, Area, & Height districts of parcels of land  
north and south of Lorain Avenue between West 32nd Street and Columbus Road.

0 150 300  
Feet





# Current Context



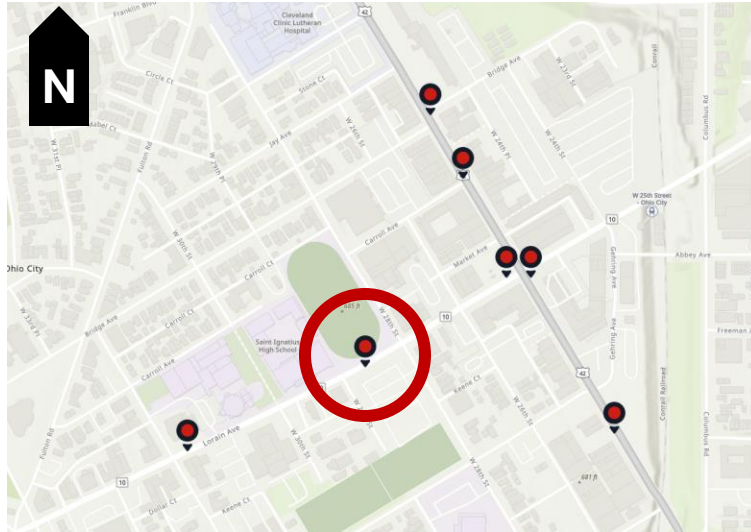
*Lorain Ave, looking east*



*Lorain Ave, looking east*



# Current Context



*Lorain Ave, looking east*



*Lorain Ave, looking west*



- Local Retail- C2, C3, C4
- Semi-Industry C2, C3
- Pedestrian Retail Overlay (PRO)





W 25<sup>th</sup> St

Lorain Ave

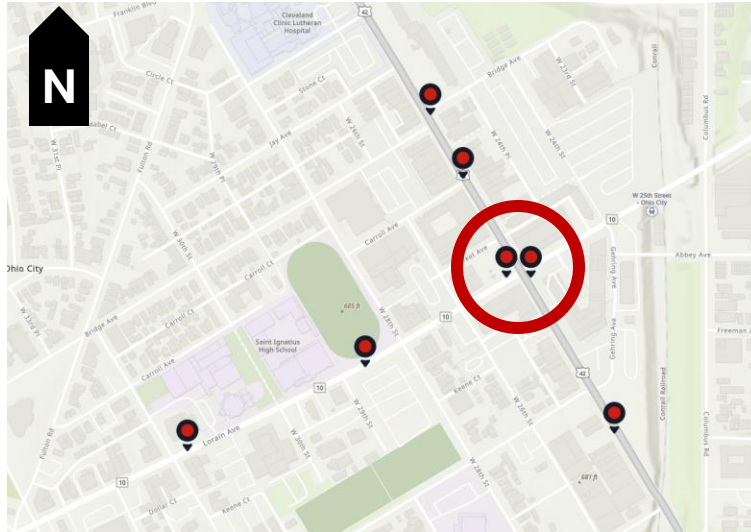
W 25<sup>th</sup> St & Lorain Ave Building Heights







# Current Context



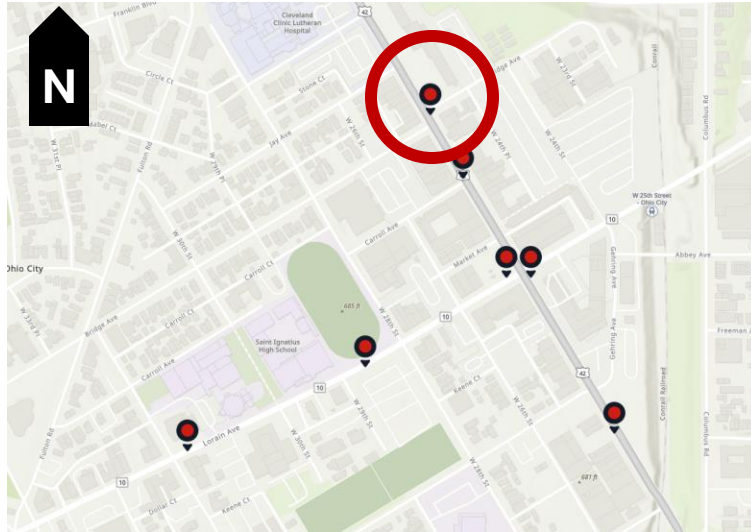
W. 25<sup>th</sup> St, looking west



W. 25<sup>th</sup> St, looking north



# Current Context



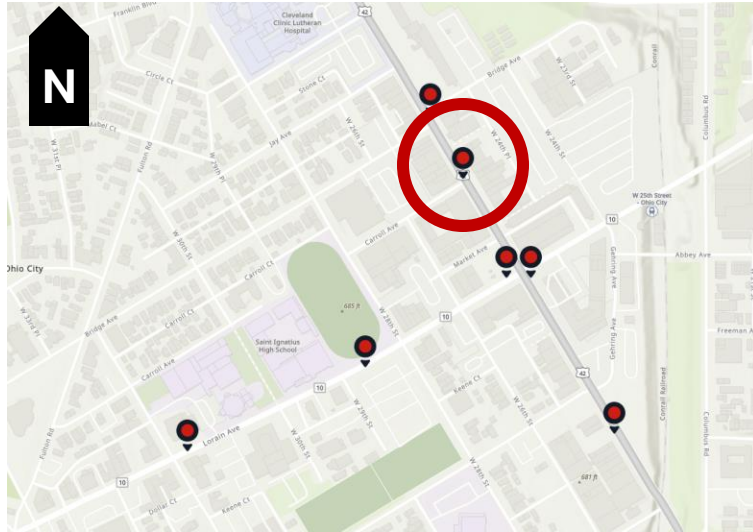
W. 25<sup>th</sup> St, looking south



W. 25<sup>th</sup> St, looking west  
down Bridge Ave

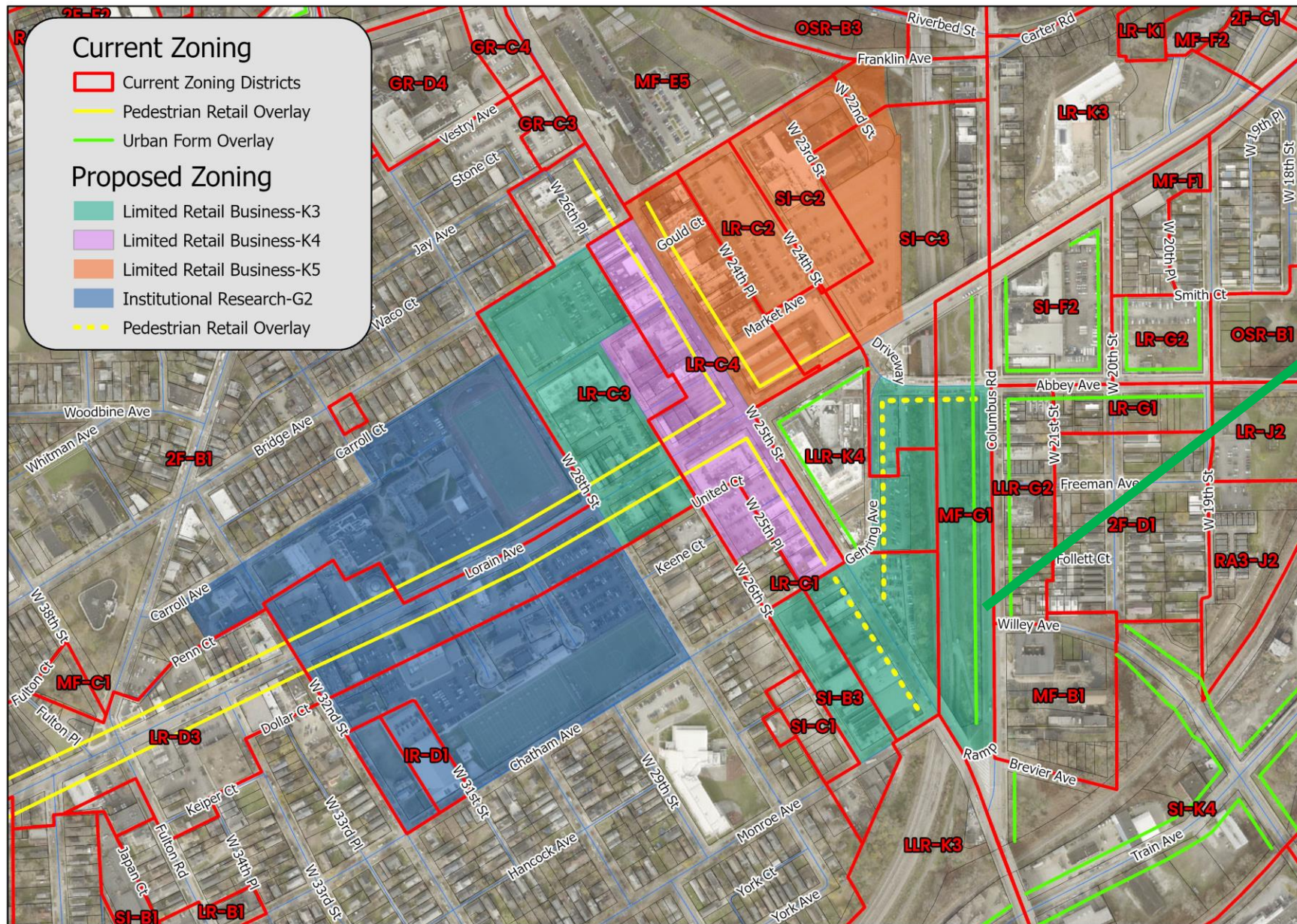


# Current Context



*W. 25<sup>th</sup> St, looking west  
down Carroll Ave*





## Limited Retail Business K3 & Pedestrian Retail Overlay

### General Permitted Uses:

- Hotels & residential uses
- Retail & food stores
- Restaurants
- Professional offices
- Banks

### Current Zoning:

- Multi-Family-G1
- Local Retail-C3
- Limited Retail-K4
- Semi-Industry-B3, C3
- Pedestrian Retail Overlay (PRO)



## Map Change 2670

Changing the Use, Area, & Height districts of parcels of land  
north and south of Lorain Avenue between West 32nd Street and Columbus Road.

0 150 300  
Feet







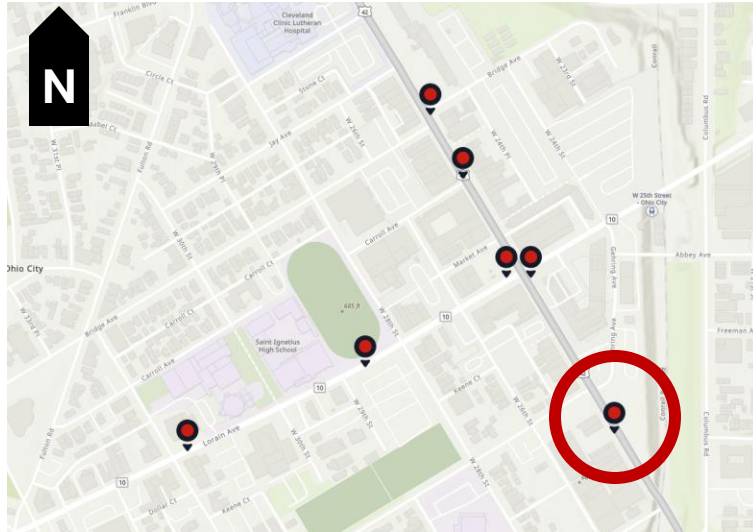
W 25th St

Gehring St

Abbey Ave



# Current Context



W. 25<sup>th</sup> St, looking east



W. 25<sup>th</sup> St, looking north



W. 25<sup>th</sup> St, looking south





Changing the Use, Area, & Height districts of parcels of land north and south of Lorain Avenue between West 32nd Street and Columbus Road.



**Map Change 2688:** Changing the Use, Area, & Height Districts of parcels of land south of Interstate 90 between West 117<sup>th</sup> Street and West 140<sup>th</sup> Street. (MC 2688)

Apr 4, 2025

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**Ward 16 – Councilmember Kazy**

**SPA: Jefferson**



# Map Change 2688

## City Planning Commission Hearing

### April 04, 2025



CITY OF CLEVELAND  
Mayor Justin M. Bibb

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CITY PLANNING COMMISSION

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## Proposal

Changing the Use, Area & Height districts of parcels of land south of West 26th Street between Chatham Avenue and Monroe Avenue.

(Map Change 2689)

## Purpose

To promote walkability and support a diversity of housing typologies which is in alignment with the Connecting Cleveland 2020 comprehensive citywide plan.

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CITY OF CLEVELAND  
Office of the Council

[www.clevelandcitycouncil.org](http://www.clevelandcitycouncil.org)

**Brian Kazy** COUNCIL MEMBER, WARD 16

COMMITTEES: Utilities - Chair • Finance, Diversity, Equity & Inclusion • Municipal Services & Properties  
Transportation & Mobility

April 2, 2025

City of Cleveland Planning Commission  
601 Lakeside Ave., Room 501  
Cleveland, Ohio 44114

RE: Map Change 2688

Dear Cleveland Planning Commission,

I am writing to express the zoning changes proposed in Map Change 2688 being heard by the on April 4, 2025. These changes include changing the Use, Area, & Height Districts of parcels of land south of Interstate 90 between West 117th Street and West 140th Street.

These changes protect the current land uses in the area, uses that adhere to the needs and desires of the community. These changes will allow the neighborhood to grow in a positive and productive way in the future.

Sincerely,

Councilman Brian Kazy  
Cleveland City Council

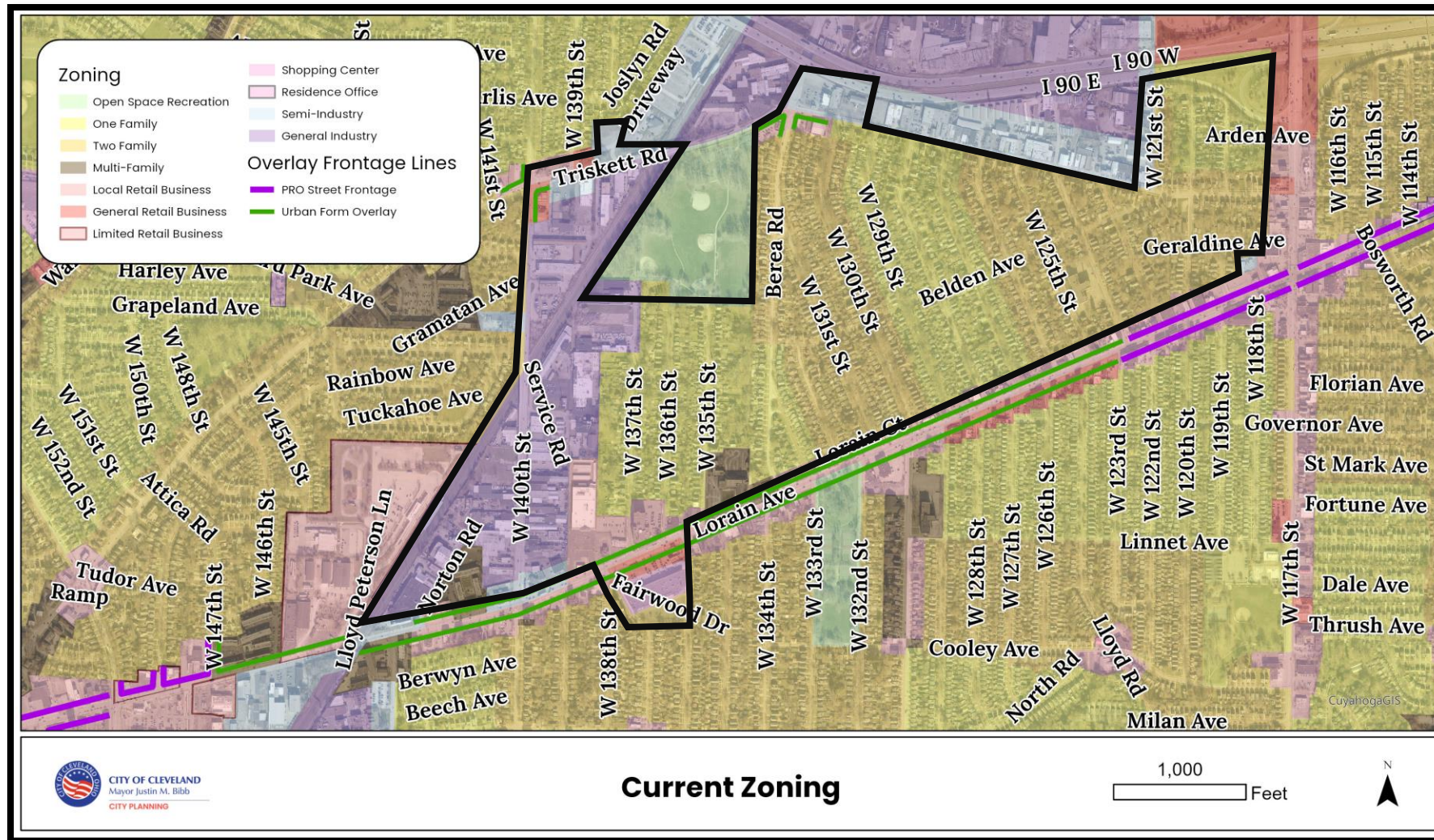
**CITY** of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION

# Council Support Letter Map Change 2688





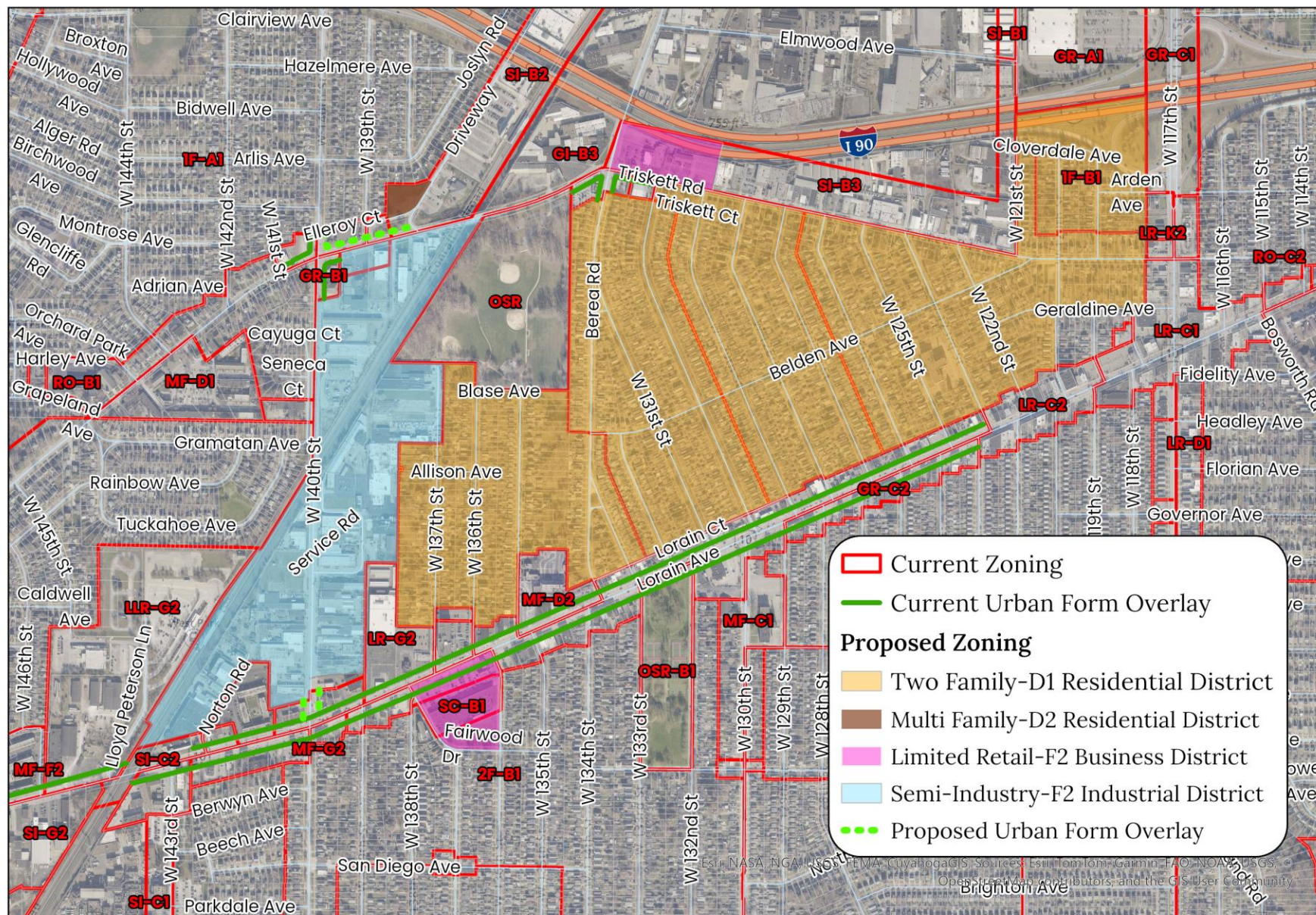
## Current Zoning:

- One Family-A1,B1
- Two Family-B1
- General Retail-C2
- Shopping Center-B1
- Semi-Industry-B2,B3
- General Industry-B3
- Urban Form Overlay (UFO)



## Proposed Zoning:

- Two Family-D1
- Multi-Family-D2
- Limited Retail-F2
- Semi-Industry-F2
- Urban Form Overlay (UFO)



### Map Change 2688

Changing Use, Area, and Height districts for parcels of land south of I-90 between West 117th Street and West 140th Street

500  
Feet



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Mayor Justin M. Bibb  
CITY PLANNING COMMISSION

Date: 3/12/2025

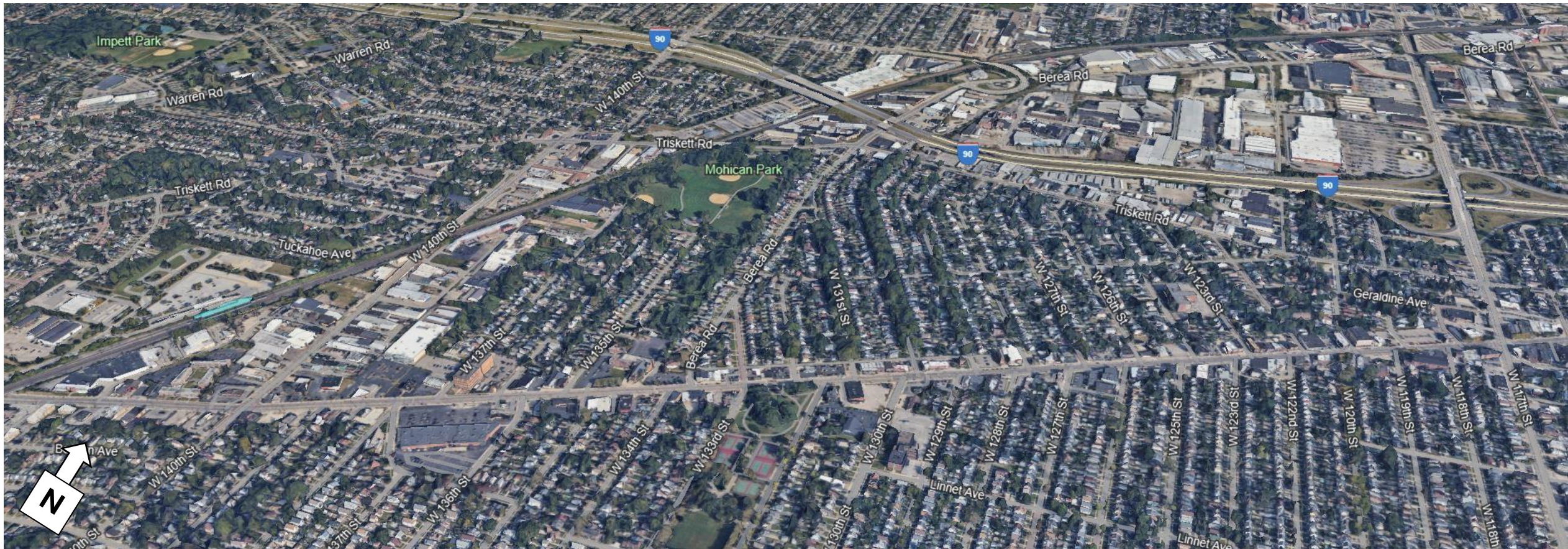


# Current Context

**CITY** of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION





# Proposed Zoning

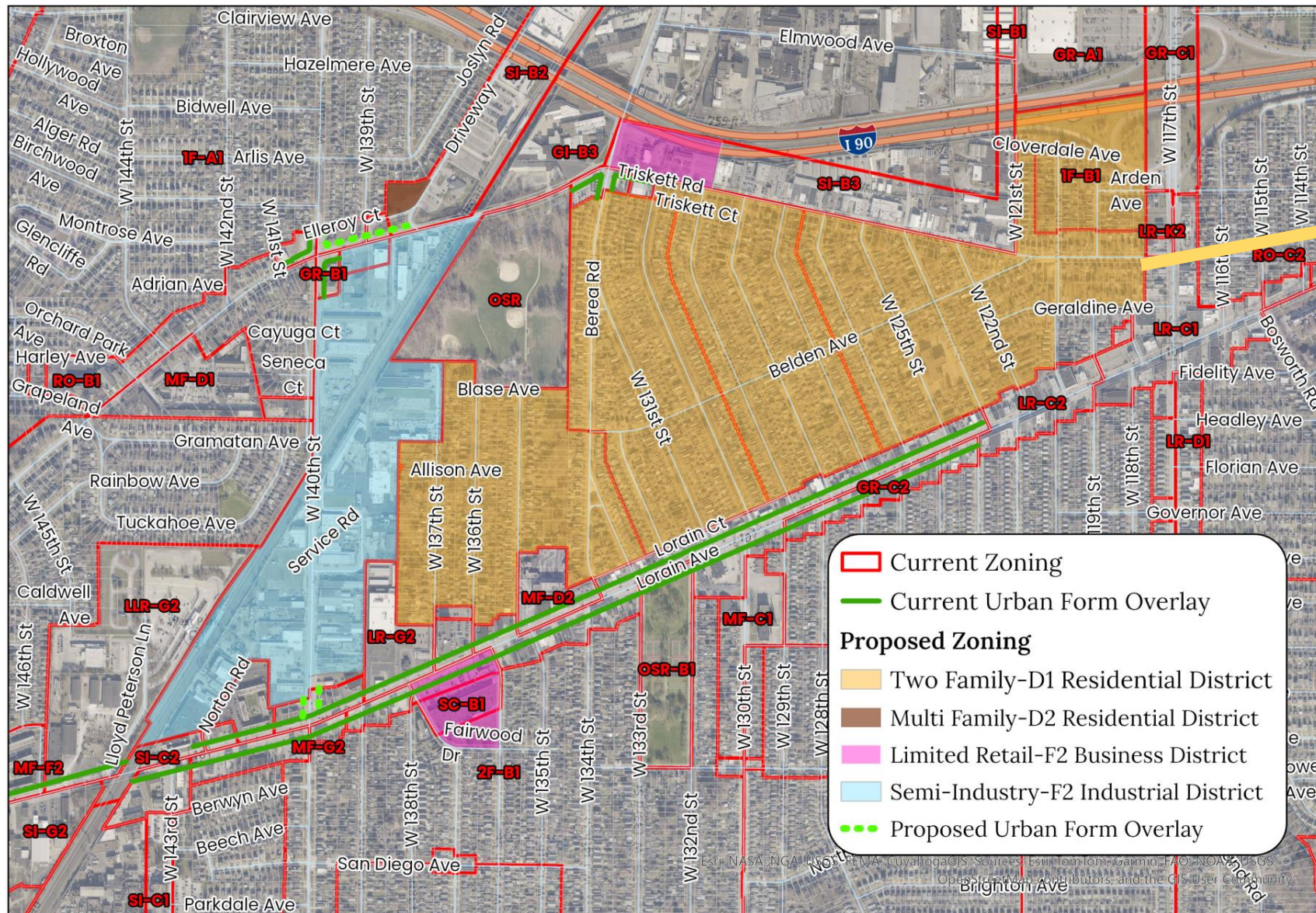
## Two Family-D1

### Two-Family Use District

- Two family houses
- Playgrounds, parks
- Agriculture (no sales)
- Places of worship
- Public libraries

### Current Zoning

- One Family-A1,B1
- Two Family-B1



## Map Change 2688

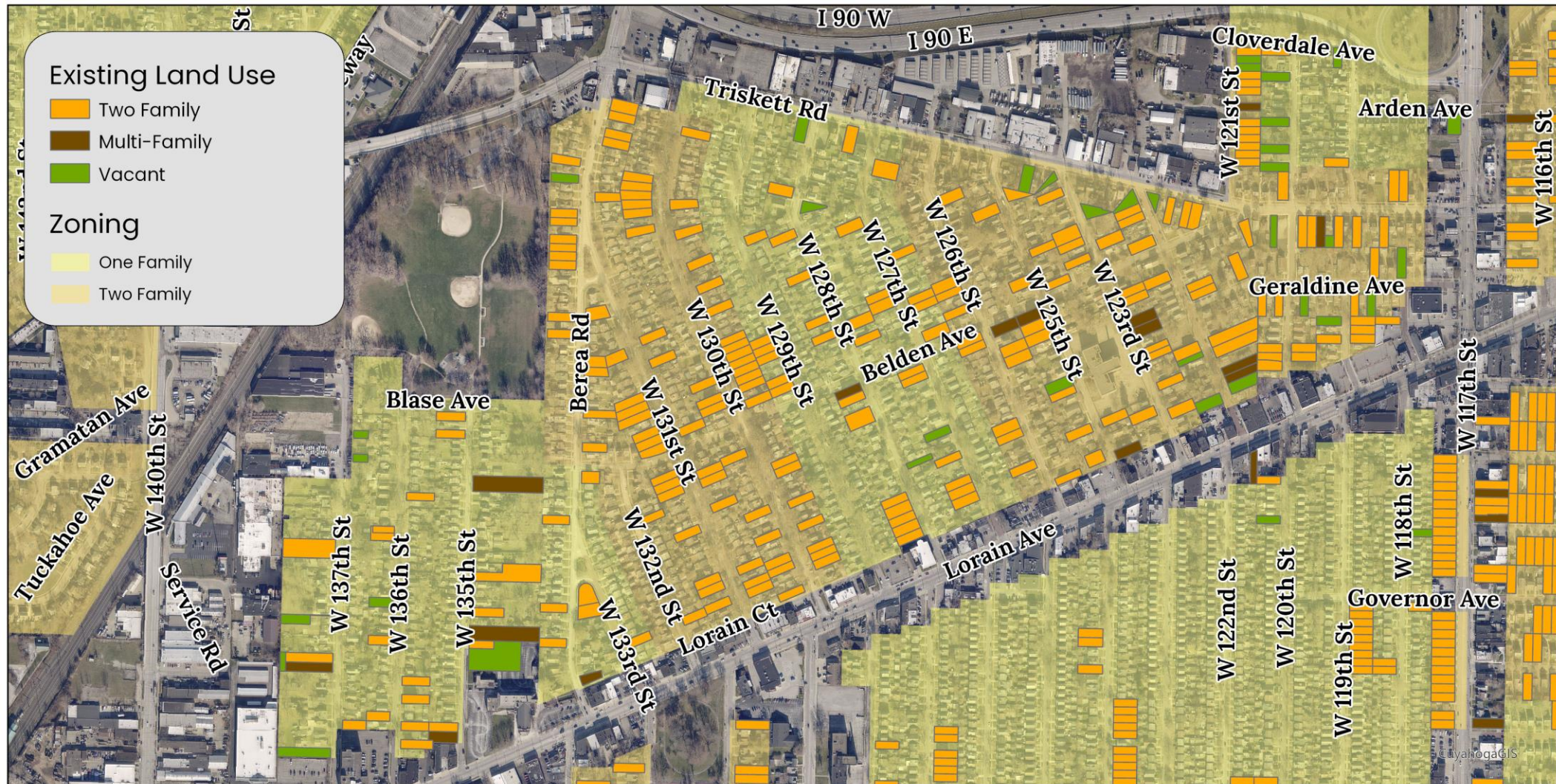
Changing Use, Area, and Height districts for parcels of land south of I-90 between West 117th Street and West 140th Street

500

Feet









# Context Photos

CITY of CLEVELAND

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION



West 137<sup>th</sup> St Northwestern View



West 136<sup>th</sup> St Northeastern View



West 127<sup>th</sup> St Southern View



Berea Rd Northwestern View



# Proposed Zoning

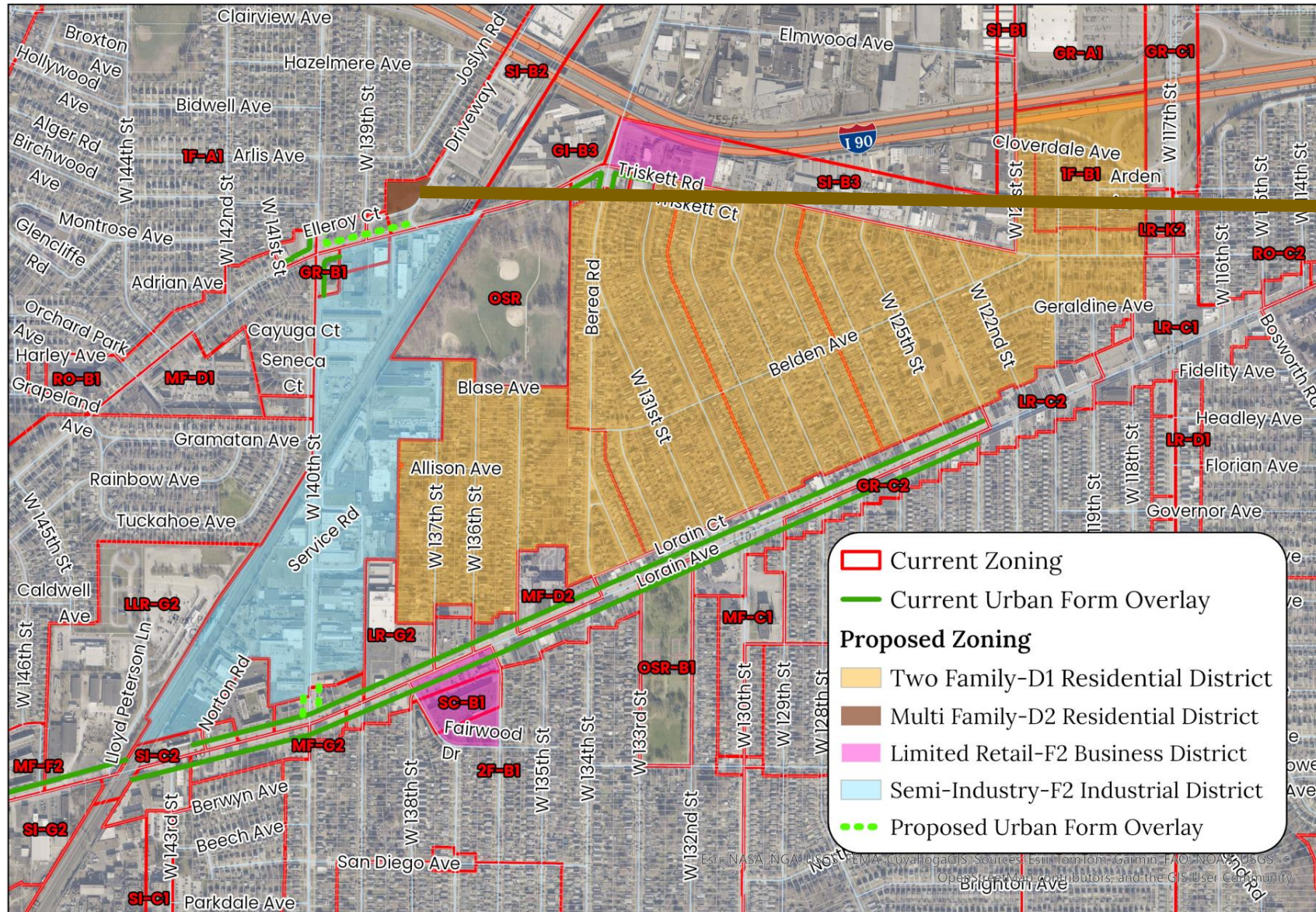
## Multi Family-D2

### Multi-Family Use District

- One-family houses, two-family houses, rooming houses, row houses, apartment houses
- Dormitories, fraternities and sororities

## Current Zoning

- Semi-Industry-B2



### Map Change 2688

Changing Use, Area, and Height districts for parcels of land south of I-90 between West 117th Street and West 140th Street

500

Feet



CITY of CLEVELAND  
Mayor Justin M. Bibb  
CITY PLANNING COMMISSION

Date: 3/12/2025



# Context Photos

CITY of CLEVELAND

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION



Triskett Rd & RTA Rapid  
Southwestern View



Triskett Rd & RTA Rapid  
Northeastern View



# Proposed Zoning

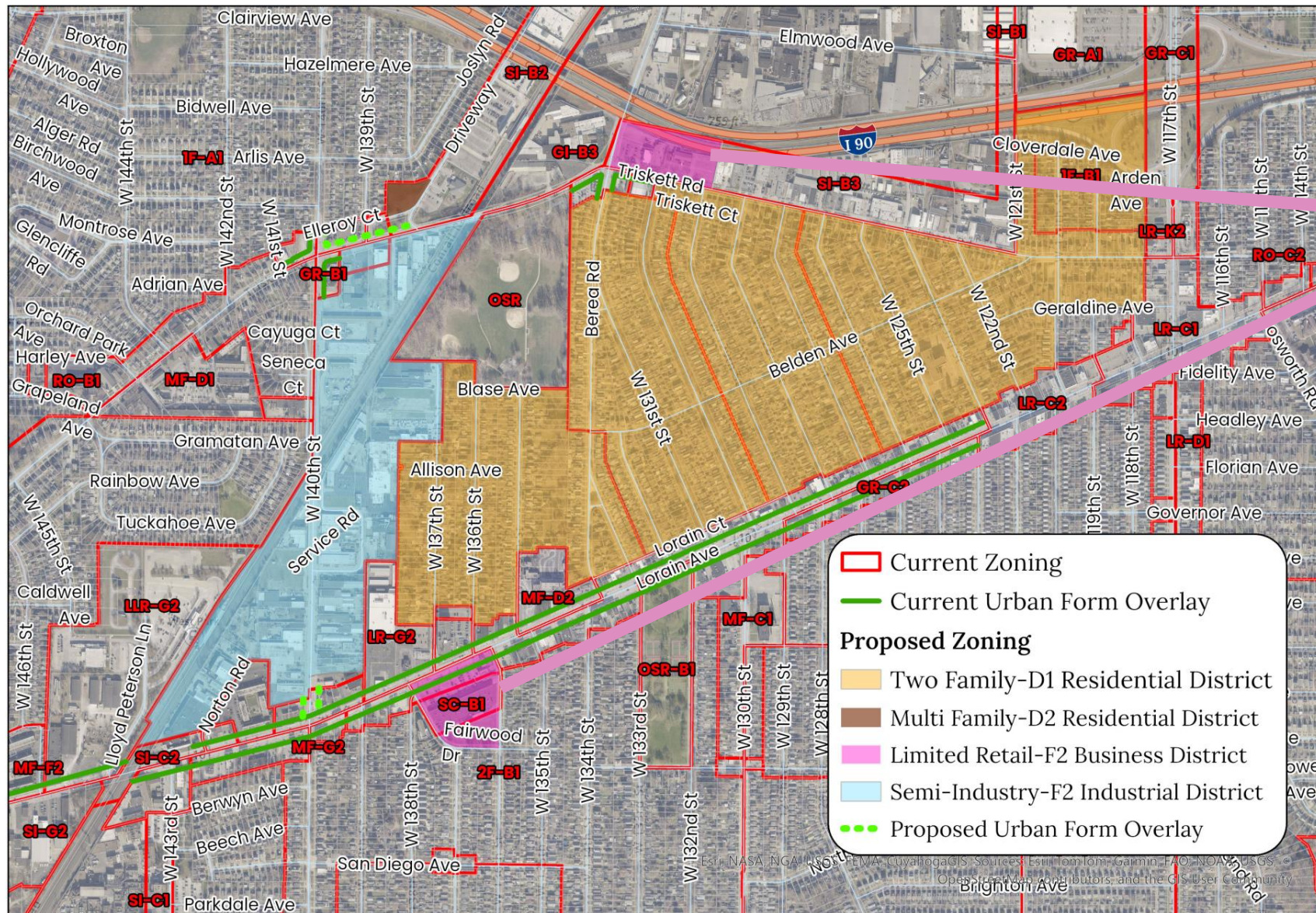
## Limited Retail-F2

### Limited Retail Business Use District:

- Residential uses
- Food stores, variety stores, shoe stores, drugstores, eating places
- Banks and professional offices
- Other retail business uses that serve general needs.

### Current Zoning

- Two Family-B1
- General Retail-C2
- Shopping Center-B1
- Semi-Industry-B3
- Urban Form Overlay (UFO)



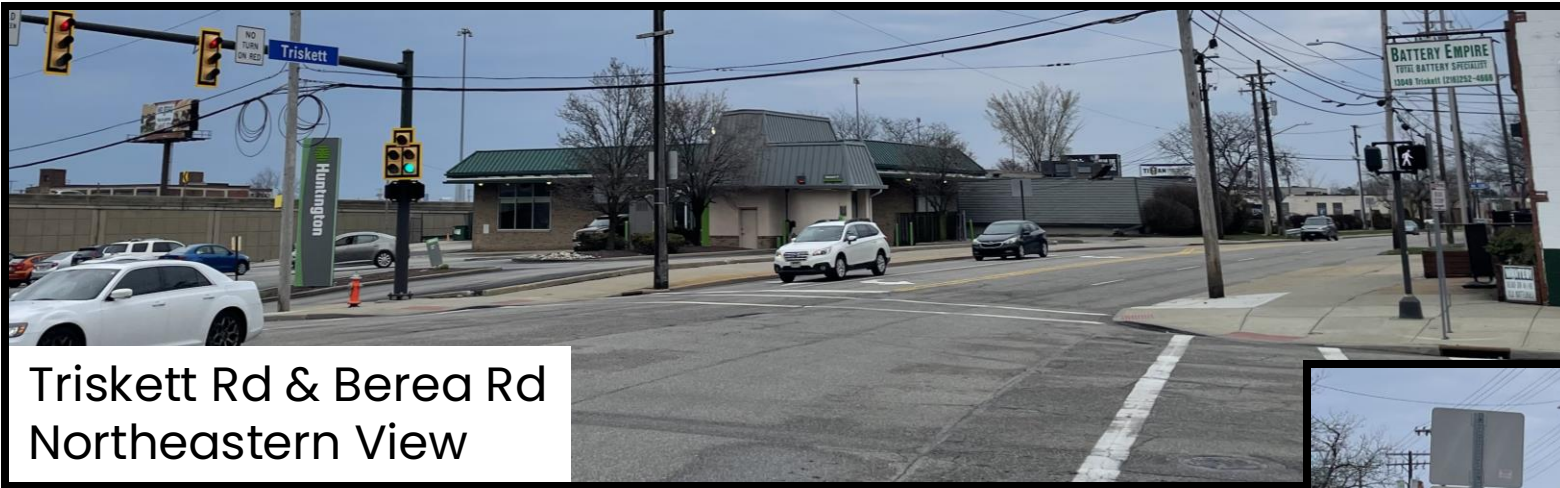


# Context Photos

CITY of CLEVELAND

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION



Triskett Rd & Berea Rd  
Northeastern View



Triskett Rd Southeastern View



Lorain Ave Southwestern View



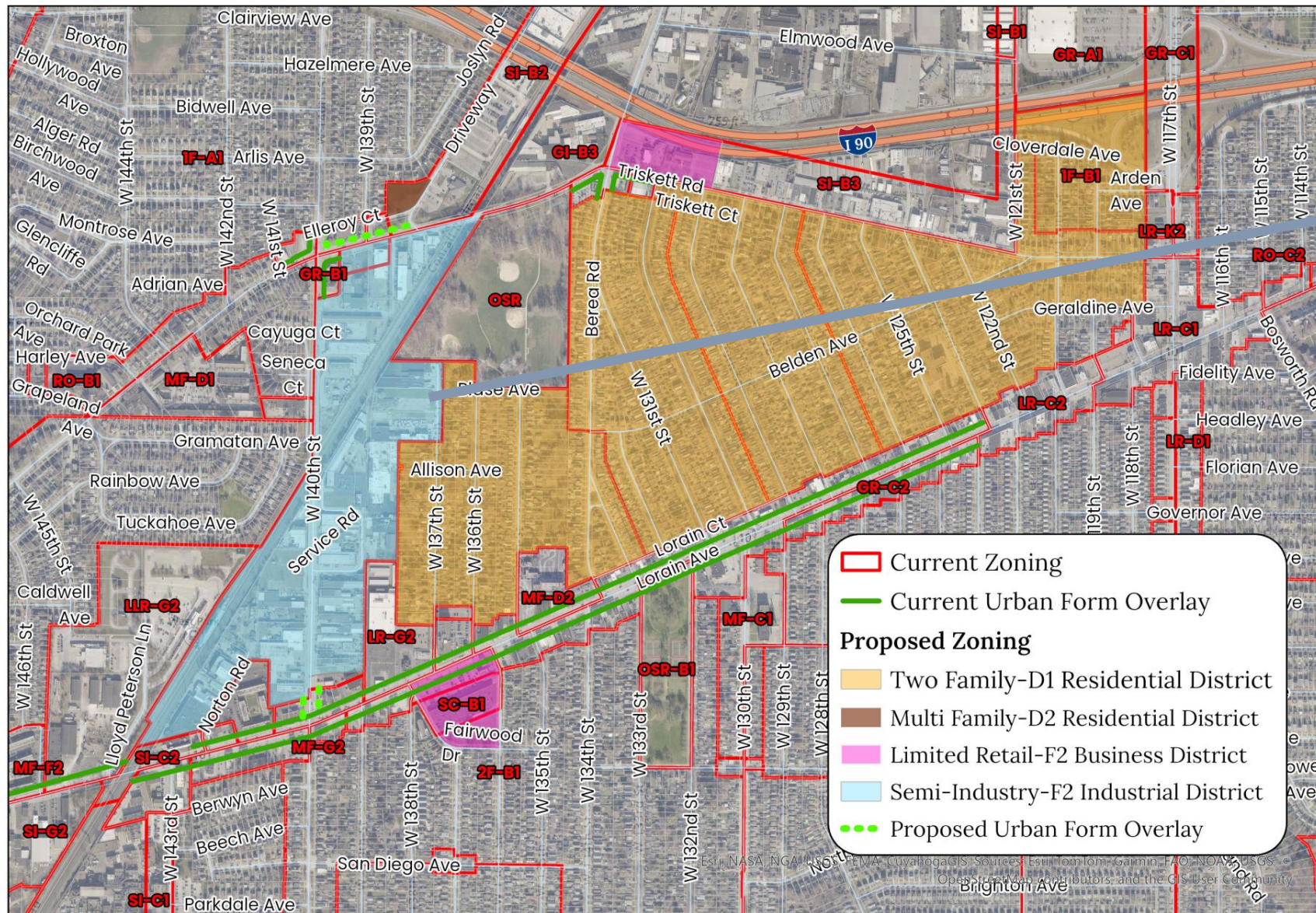
# Proposed Zoning Semi-Industry-F2

## Semi-Industry Use District:

- Warehouses
- Auto repair garages
- Cold storage plants
- Trucking terminals
- Breweries
- Other light manufacturing uses

## Current Zoning

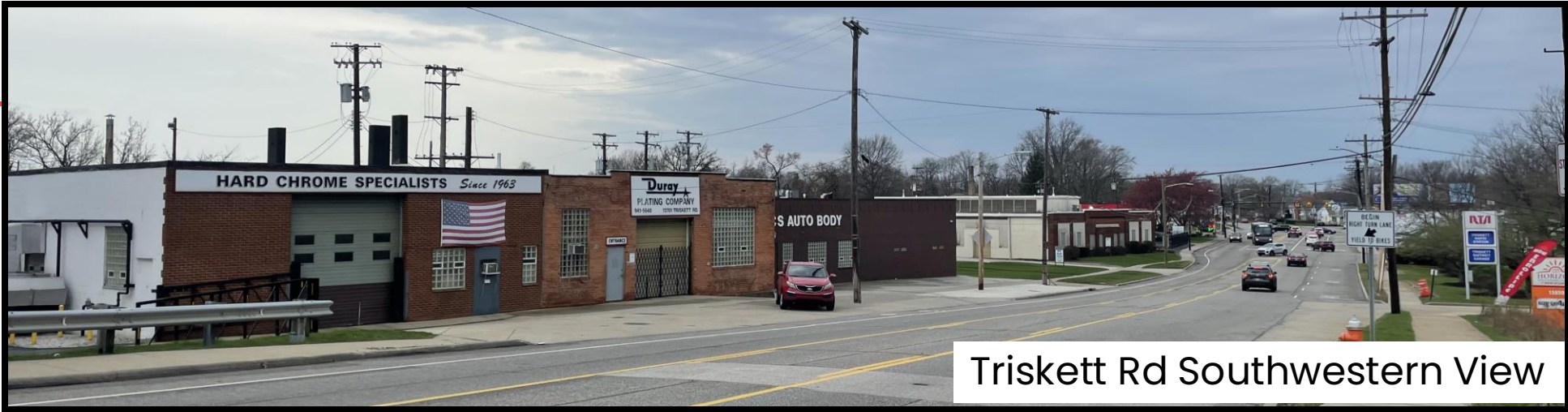
- General Industry-B3



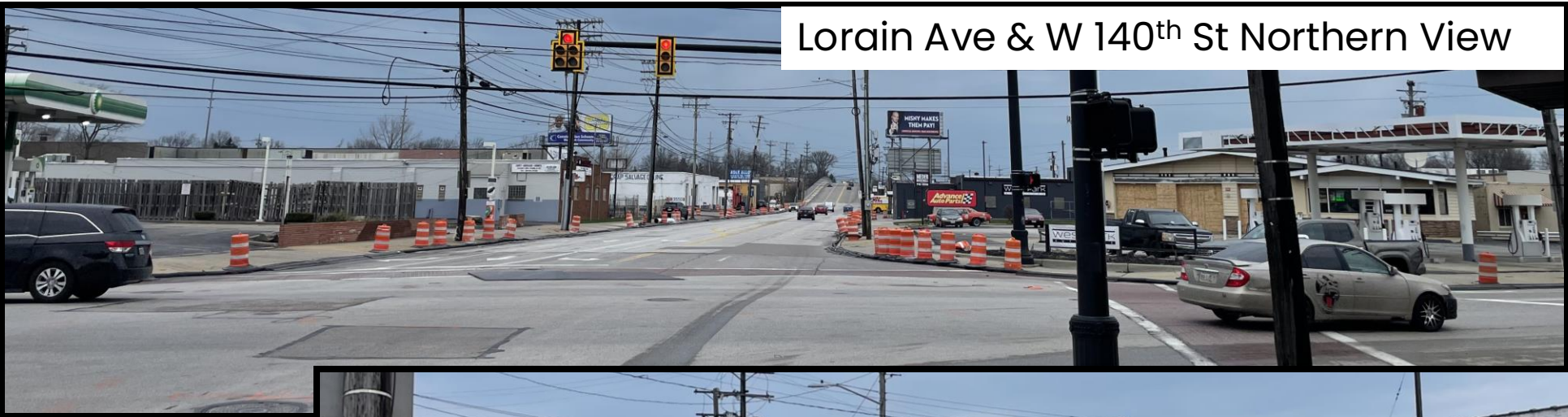


# Context Photos

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Triskett Rd Southwestern View



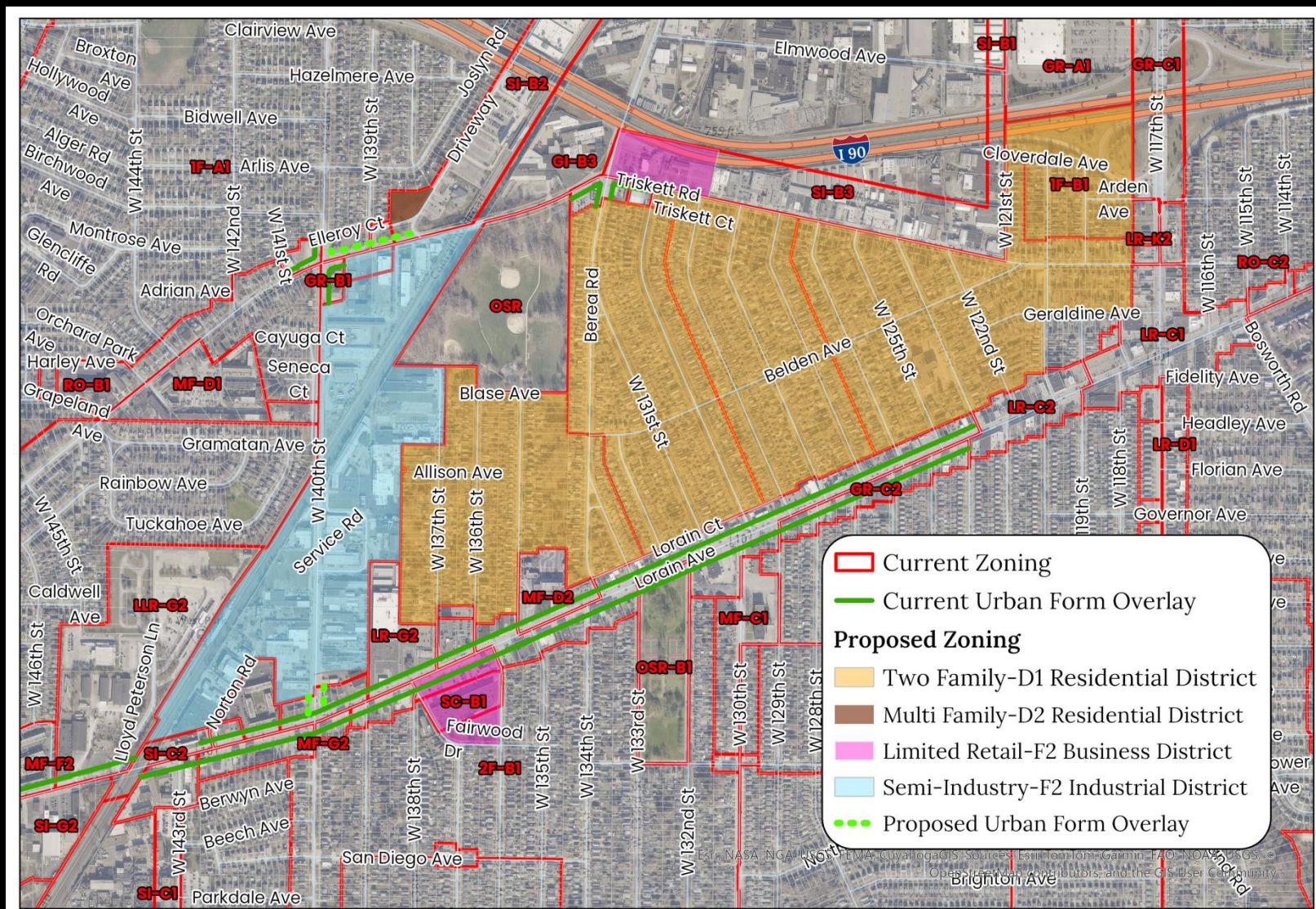
Lorain Ave & W 140<sup>th</sup> St Northern View



W 140<sup>th</sup> St Northeastern View



# Map Change 2688





**Map Change 2679:** Changing the Use, Area, & Height Districts of parcels of land north and south of Lorain Avenue between Rocky River Drive and Valley Parkway. (MC 2679)

Apr 4, 2025



# Map Change 2679

## City Planning Commission Hearing

April 04, 2025



CITY OF CLEVELAND  
Mayor Justin M. Bibb



## Proposal

Changing the Use, Area & Height Districts of parcels of land north and south of Lorain Avenue between Rocky River Drive and Valley Parkway. (MC 2679)

## Purpose

- To consolidate a variety of zoning districts (Local Retail, Multi-family & Single Family) into one comprehensive district
    - To ensure future development meets the community's needs
  - To align institutional investments with proper zoning that complements the residential and mixed-use character of the neighborhood
-



## Current Zoning

One Family-A1

Multifamily-C1

Local Retail-C1,C4

### One-Family Use District:

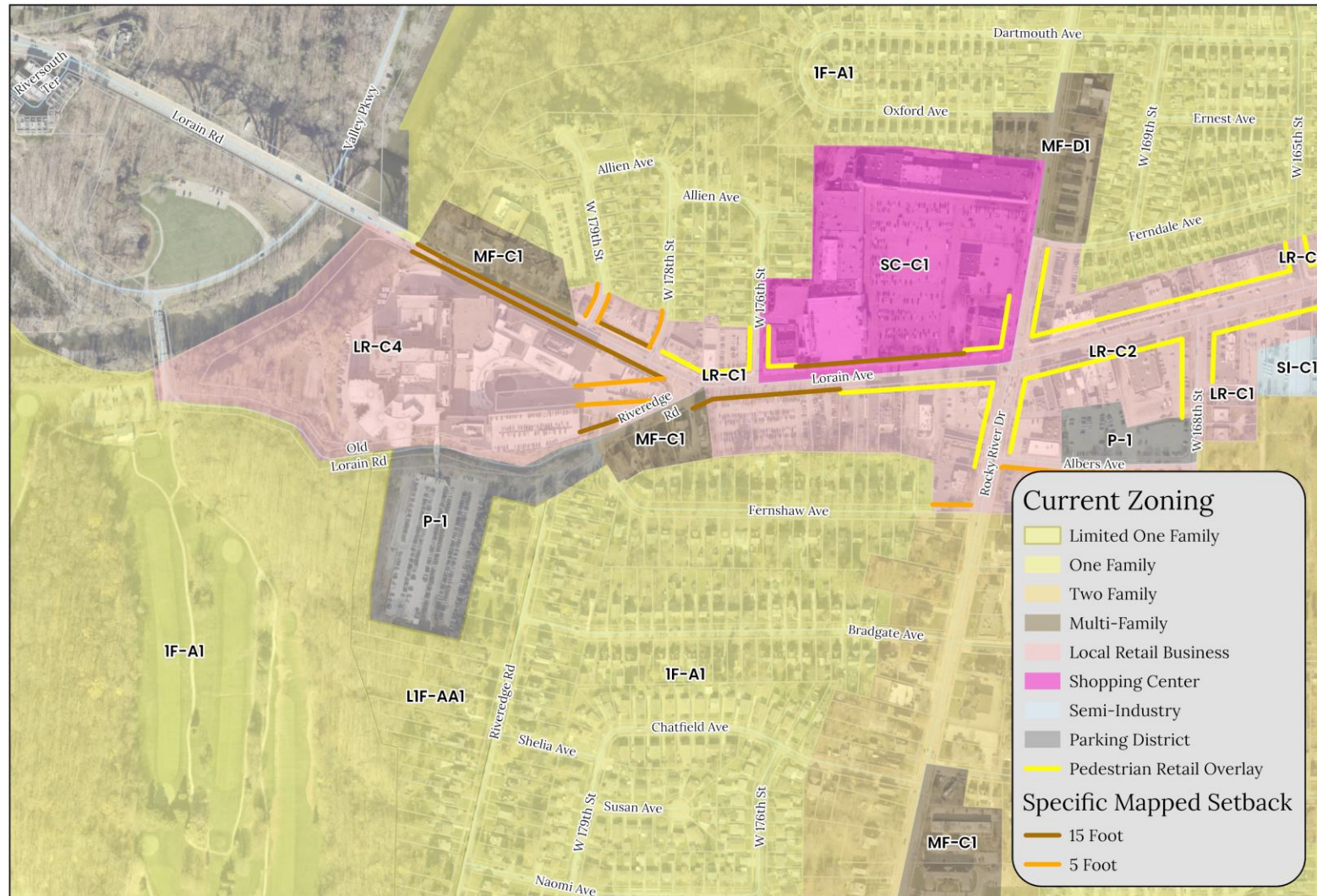
- Single family houses
- Playgrounds, parks
- Agriculture (no sales)
- Places of worship
- Public libraries

### Multi-Family Use District:

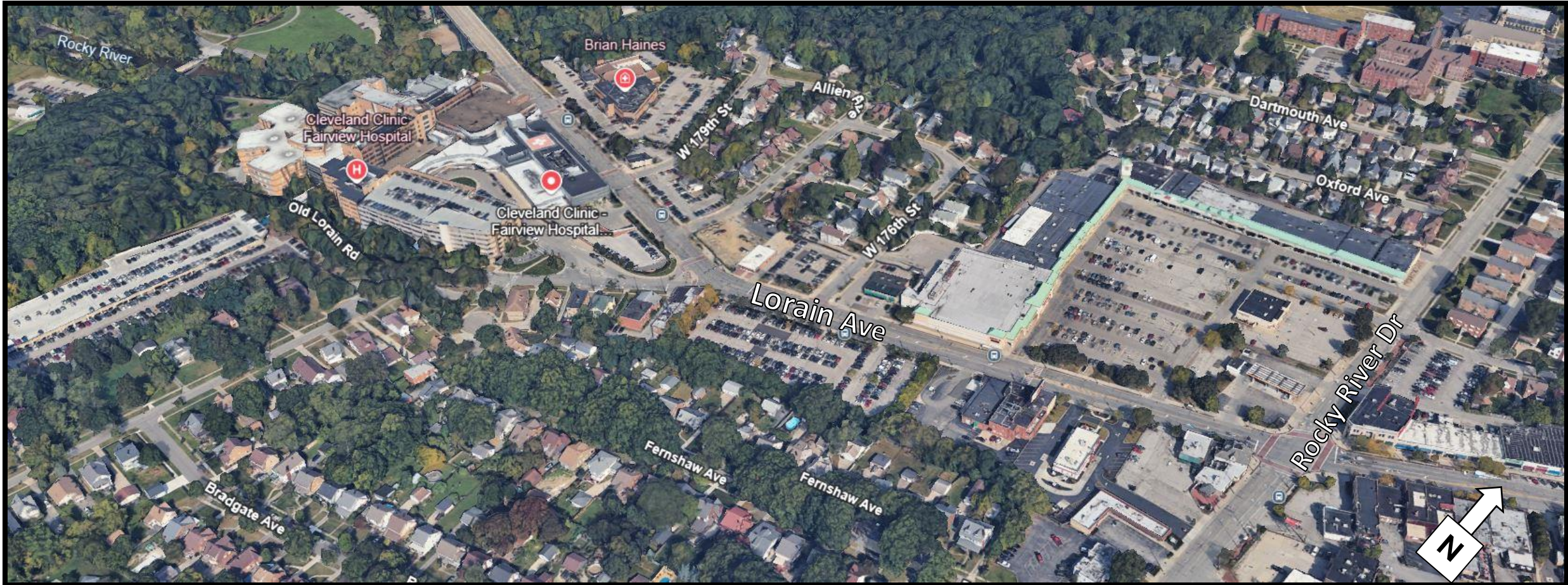
- One-family houses, two-family houses, rooming houses, row houses, apartment houses
- Dormitories, fraternities and sororities

### Local Retail Business Use District:

- Residential uses,
- Food stores, variety stores, shoe stores, drugstores, eating places, professional offices
- Other retail business uses that serve neighborhood needs.









## Institutional Research-D3

- Multi-family residential buildings
- Educational and medical developments, research facilities, professional offices
- Museums, libraries, places of worship
- Parks, playgrounds and playfields



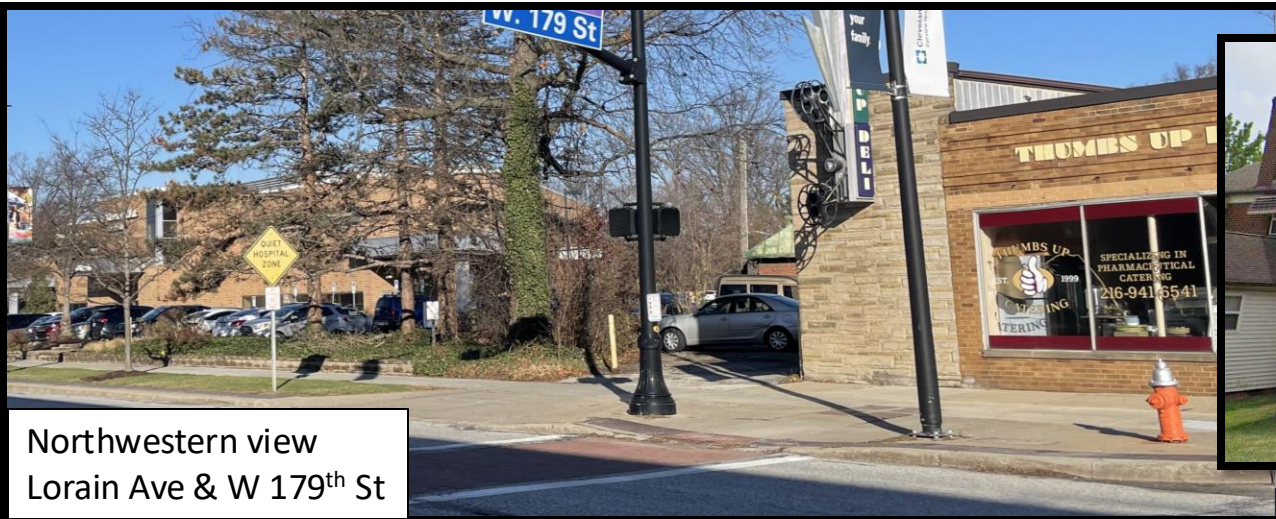
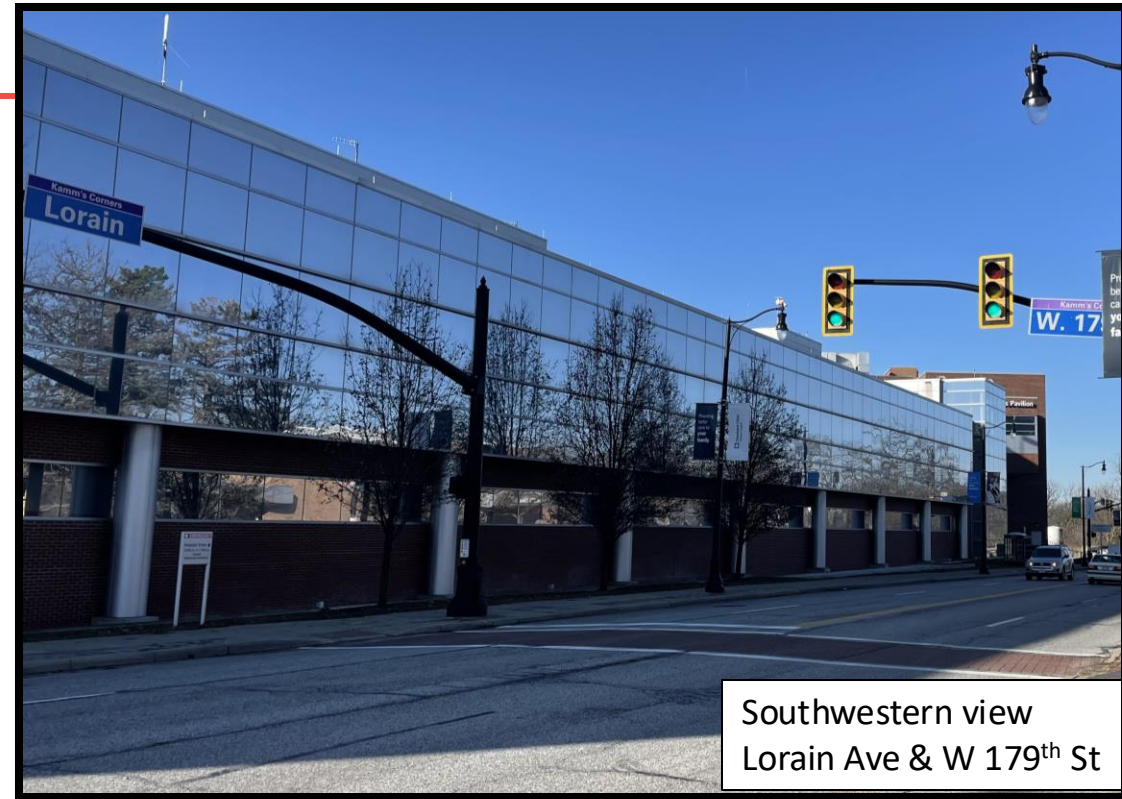
Changing the Use, Area, & Height districts of parcels of land north and south of Lorain Avenue west of Rocky River Drive.

300  
Feet





# Map Change 2679





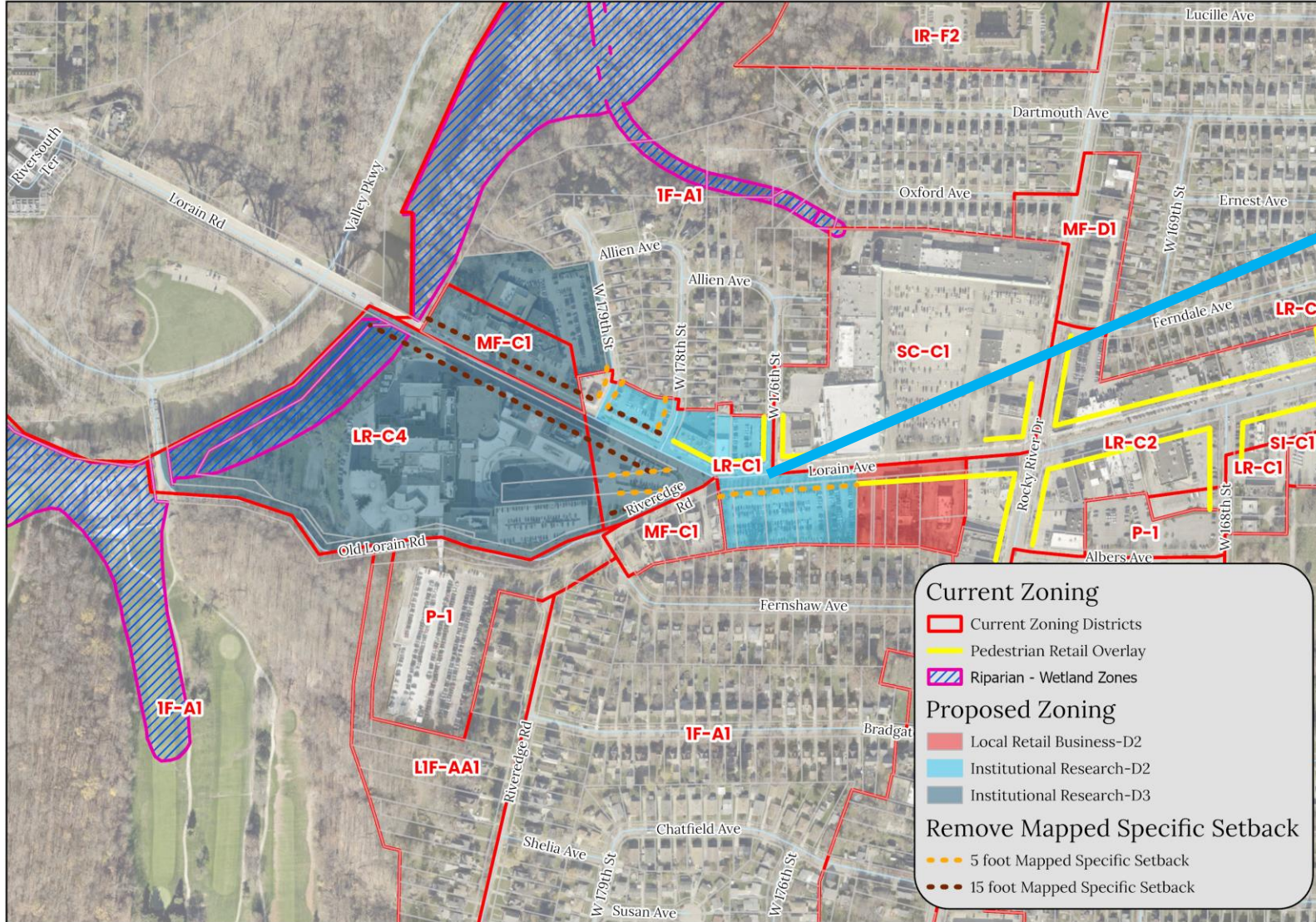
# Map Change 2679

## Proposed Zoning

### Institutional Research-D2

#### Institutional-Research Use District:

- Multi-family residential buildings
- Educational and medical developments, research facilities, professional offices
- Museums, libraries, places of worship
- Parks, playgrounds and playfields



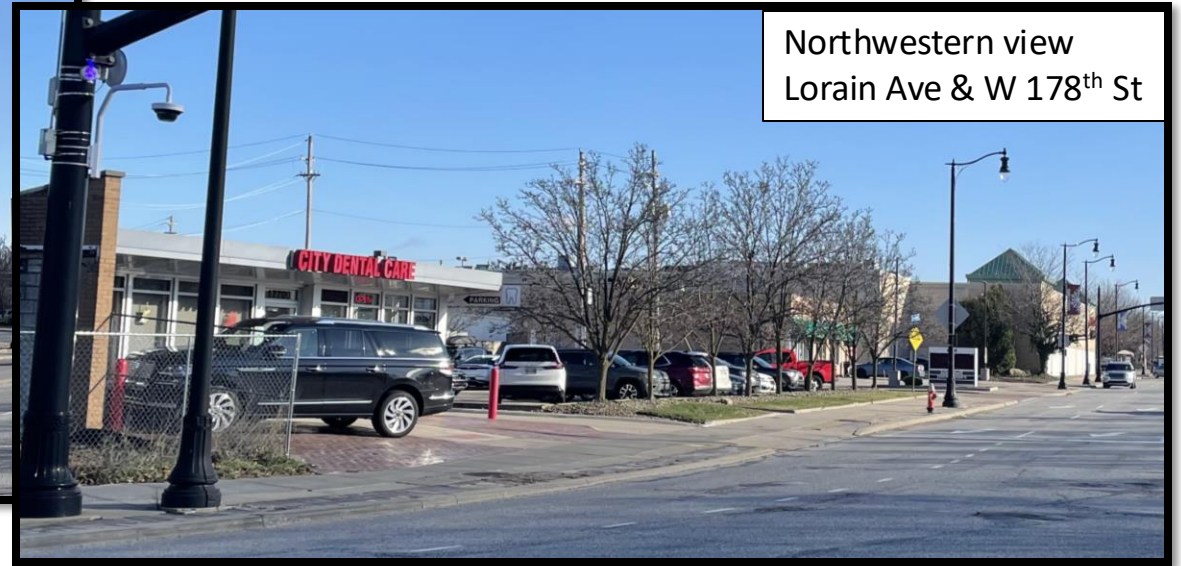


# Map Change 2679

Northeastern view  
Lorain Ave



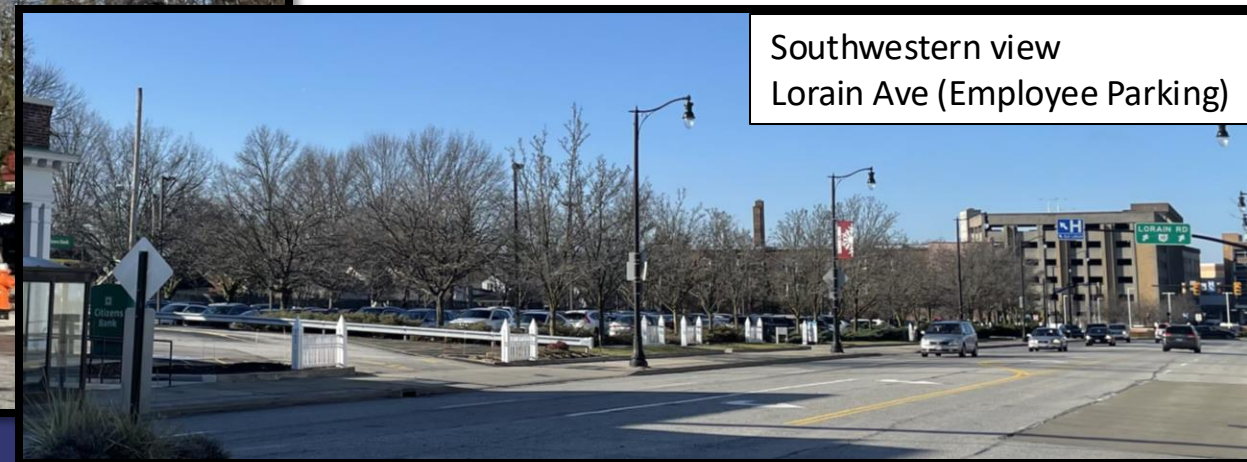
Northwestern view  
Lorain Ave & W 178<sup>th</sup> St



Northwestern view  
Lorain Ave & W 178<sup>th</sup> St (Employee Parking)



Southwestern view  
Lorain Ave (Employee Parking)





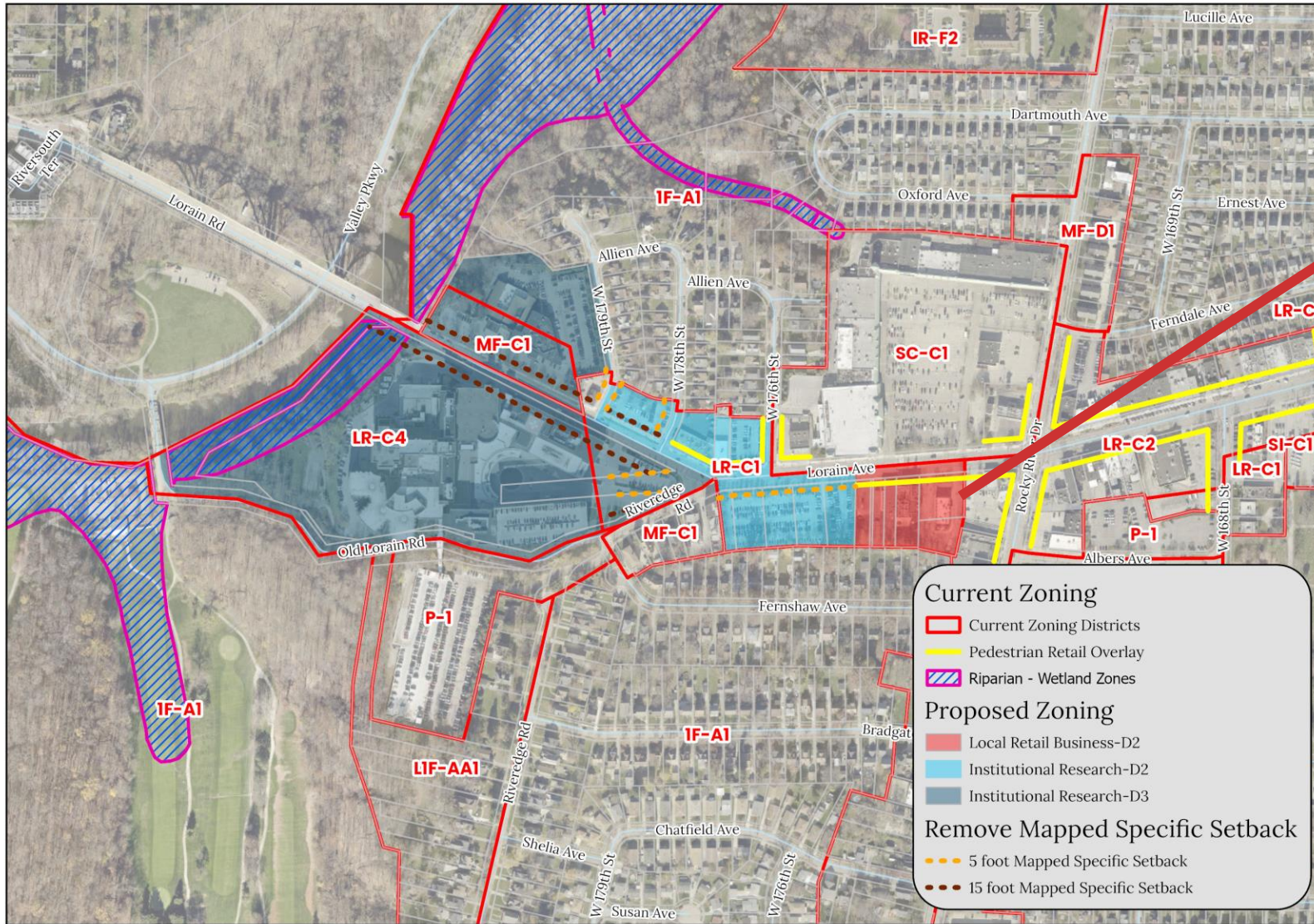
# Map Change 2679

## Proposed Zoning

### Local Retail-D2

#### Local Retail Business Use District:

- Residential uses,
- Food stores, variety stores, shoe stores, drugstores, eating places, professional offices
- Generally other retail business uses that serve neighborhood needs.





# Map Change 2679

**CITY** of **CLEVELAND**

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Southwestern view  
Lorain Ave



Southeastern view  
Lorain Ave



# Map Change 2679

CITY of CLEVELAND

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## Proposed Zoning

### Local Retail-D2

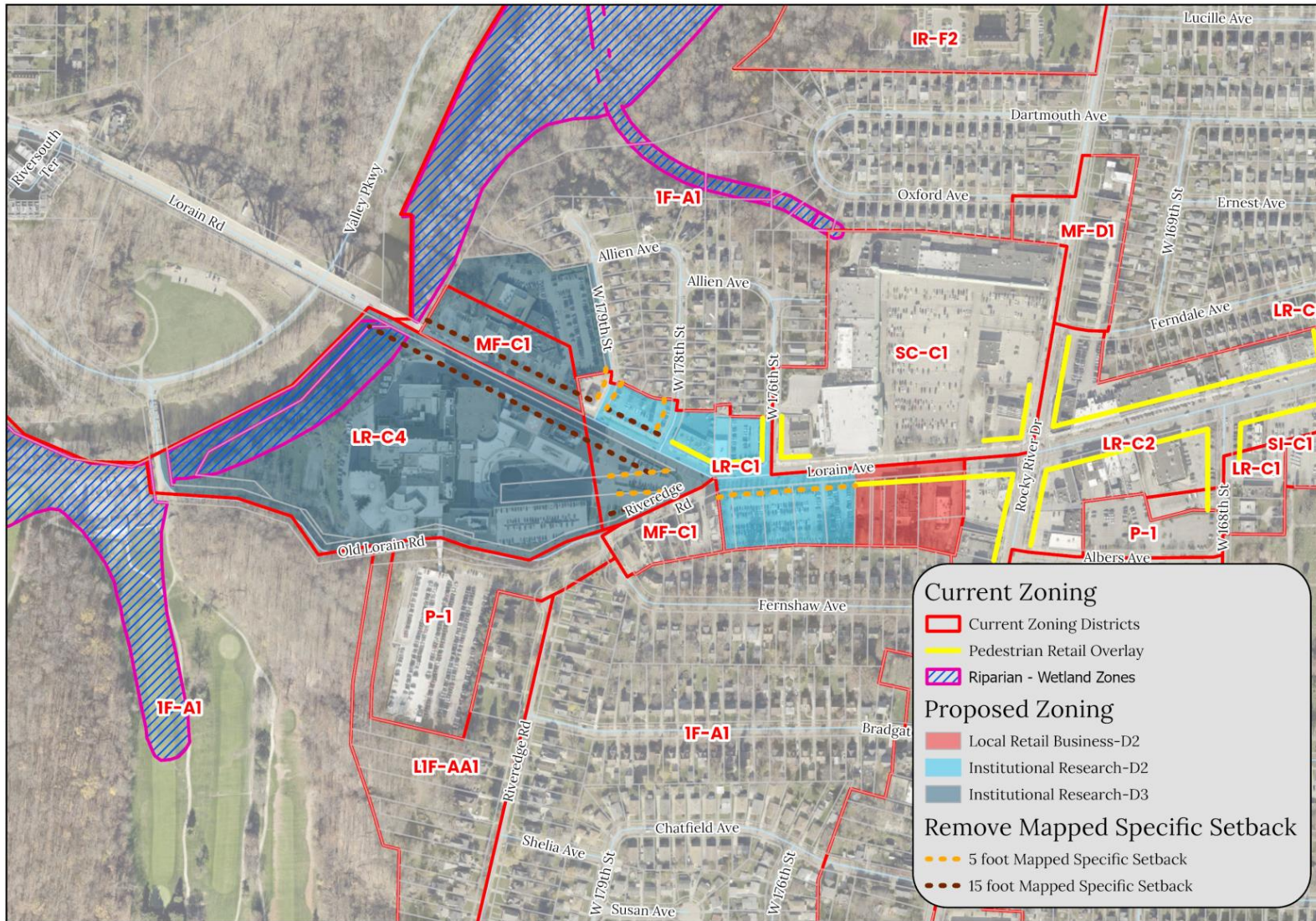
### Institutional Research-D2,D3

#### Local Retail Business Use District:

- Residential uses,
- Food stores, variety stores, shoe stores, drugstores, eating places, professional offices
- Other retail business uses that serve neighborhood needs.

#### Institutional-Research Use District:

- Multi-family residential buildings
- Educational and medical developments, research facilities, professional offices
- Museums, libraries, places of worship
- Parks, playgrounds and playfields





# Cleveland City Planning Commission

## Far West Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## **FW2024-14** – Cleveland Clinic Fairview Hospital Expansion

Apr 4, 2025

Project Address: 18200 Lorain Avenue

Type: New construction

Project Representative: Richard Stuckey, Cannon Design

Approval: Schematic

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**Ward 17 – Councilmember Slife**

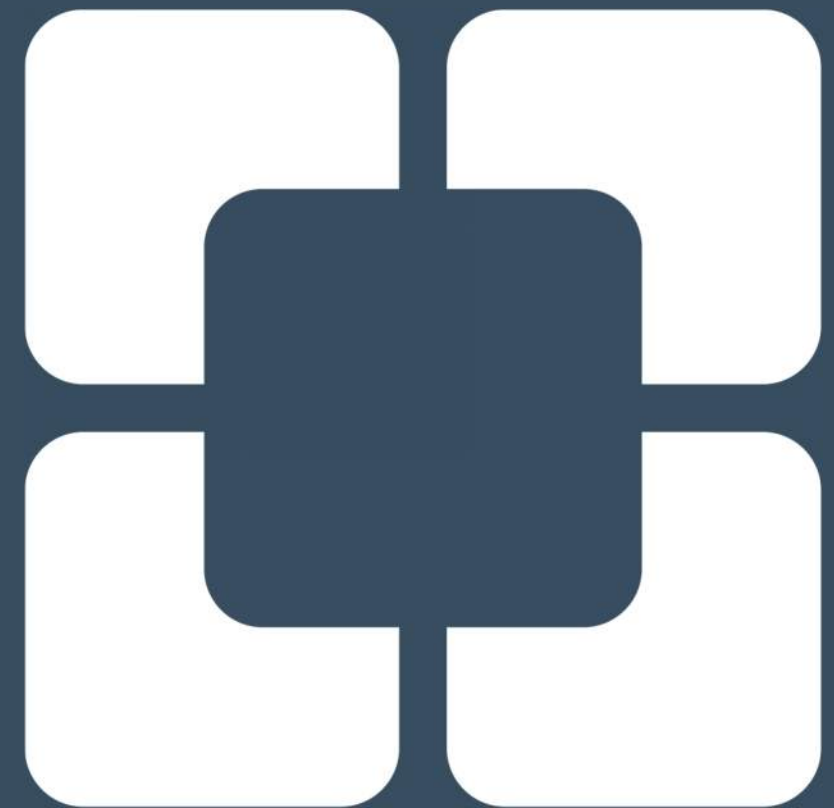
**SPA: Kamm's**



# CLEVELAND CLINIC FAIRVIEW HOSPITAL NORTH CAMPUS EXPANSION

CITY PLANNING COMMISSION  
SCHEMATIC DESIGN APPROVAL

MARCH 26, 2025





# AGENDA

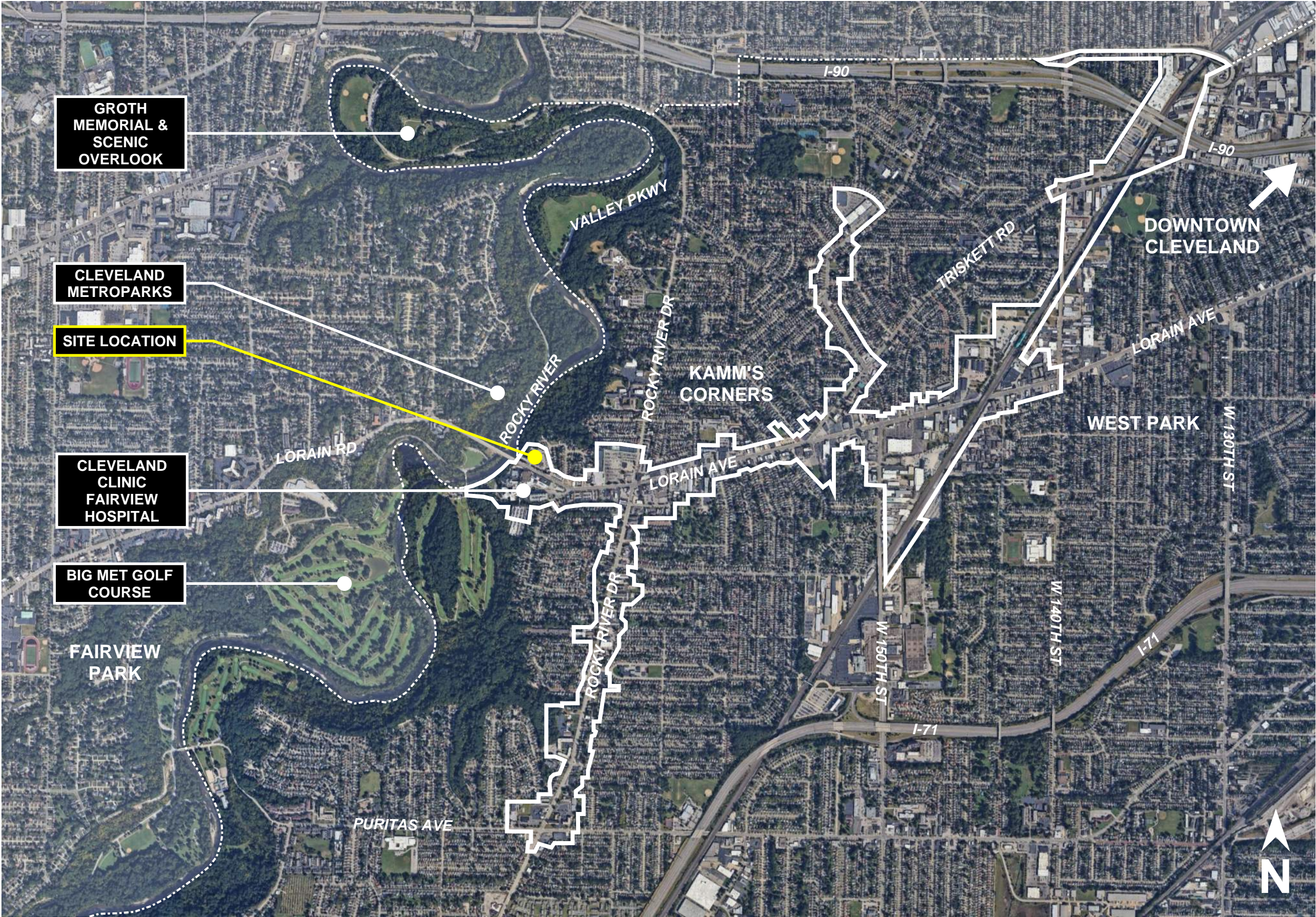
*REVIEW CPC CONCEPTUAL SUBMISSION COMMENTS*  
*PARKING AND FLOWS*  
*UNDERGROUND STUDY*  
*LANDSCAPE / SITE ENHANCEMENTS*  
*DESIGN EVOLUTION*



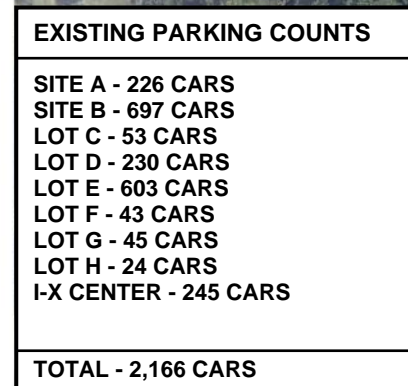
# CPC COMMENTS

- 1) Pedestrian Bridge on Lorain Avenue - would like to see feasibility of other options including burying 1 or 2 levels of parking underground and having tunnel connection.
- 2) Parking garage - Comment raised about potential for spreading the parking out over other lots.
- 3) Wrapping of new Medical Office Building to screen parking garage on Lorain Avenue.
- 4) Extensive buffer and landscaping of site from residential community surrounding.
- 5) Small parking lot (Lot C) at Lorain / West 179th street - should be studied for extended green space; "gateway" to the neighborhood.
- 6) Share parking demand study.
- 7) Need examples / clarification of what street scape will feel like walking along Lorain Avenue.
- 8) Explore opportunities to create public access at West 179th.
- 9) Explore how pedestrian and traffic circulation work together holistically.

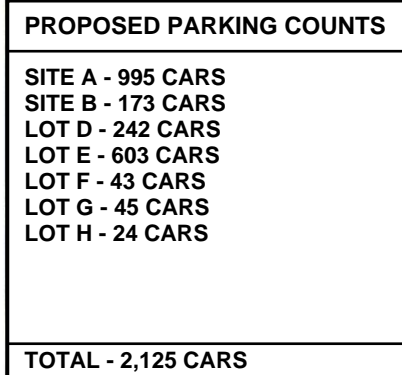








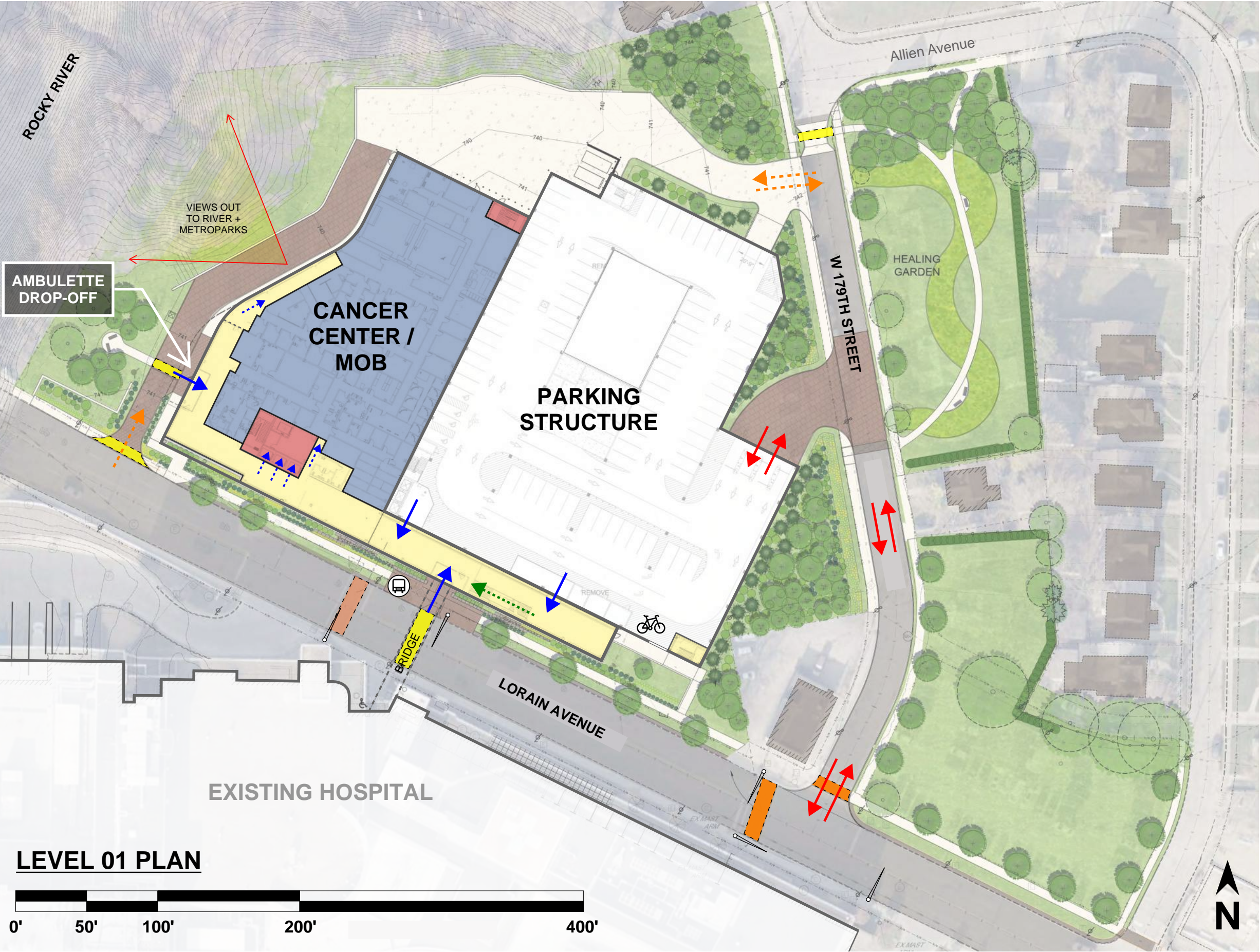












**DIAGRAM KEY**

- MAJOR VEHICULAR TRAFFIC
- SERVICE VEHICULAR TRAFFIC
- PEDESTRIAN TRAFFIC
- ENTRY FROM LOBBY
- LOBBY STAIRCASE
- WEST-BOUND BUS STOP
- BIKE PARKING
- PROPOSED CROSSWALKS
- EXISTING CROSSWALK TO RELOCATE
- EXISTING CROSSWALKS

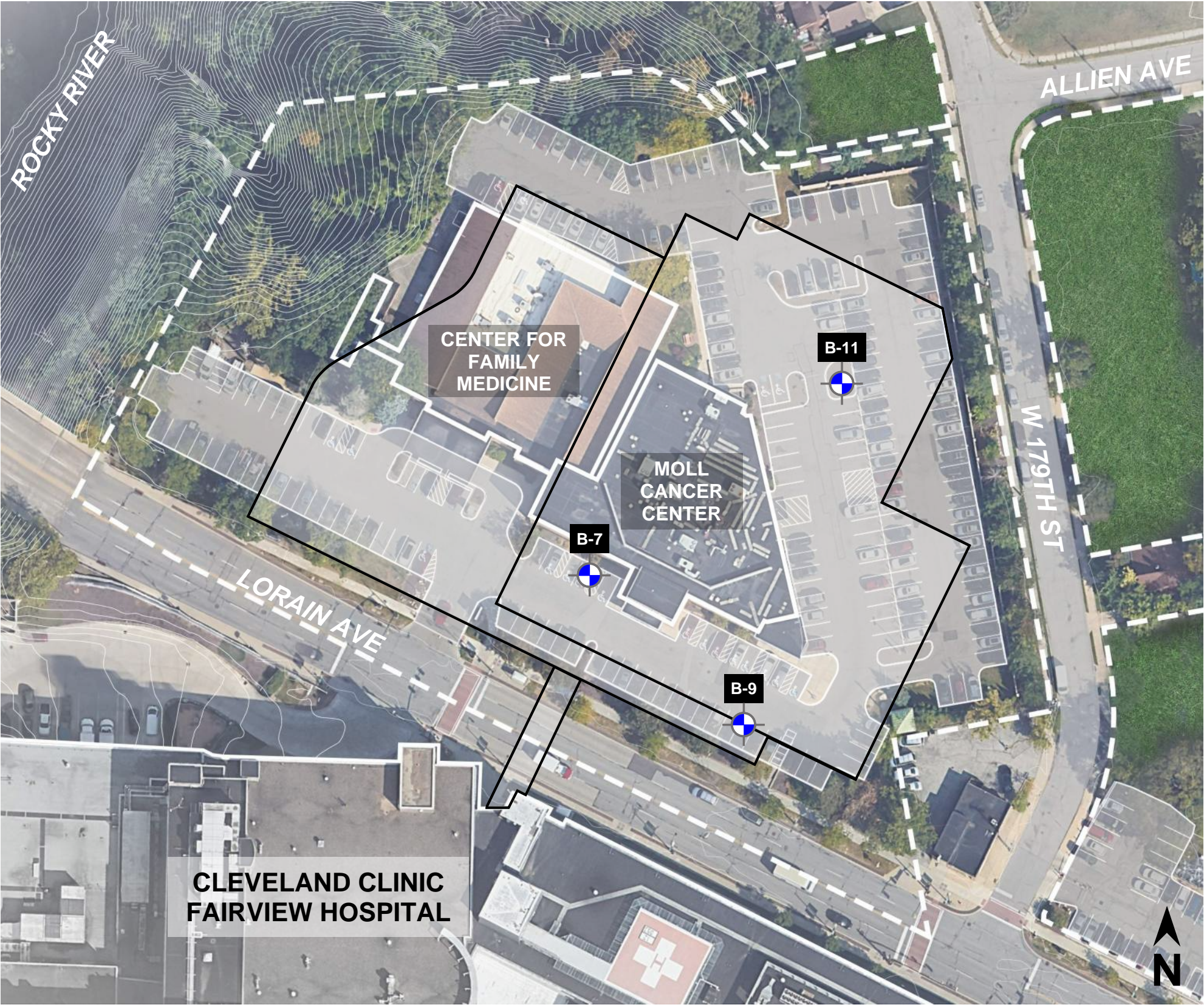
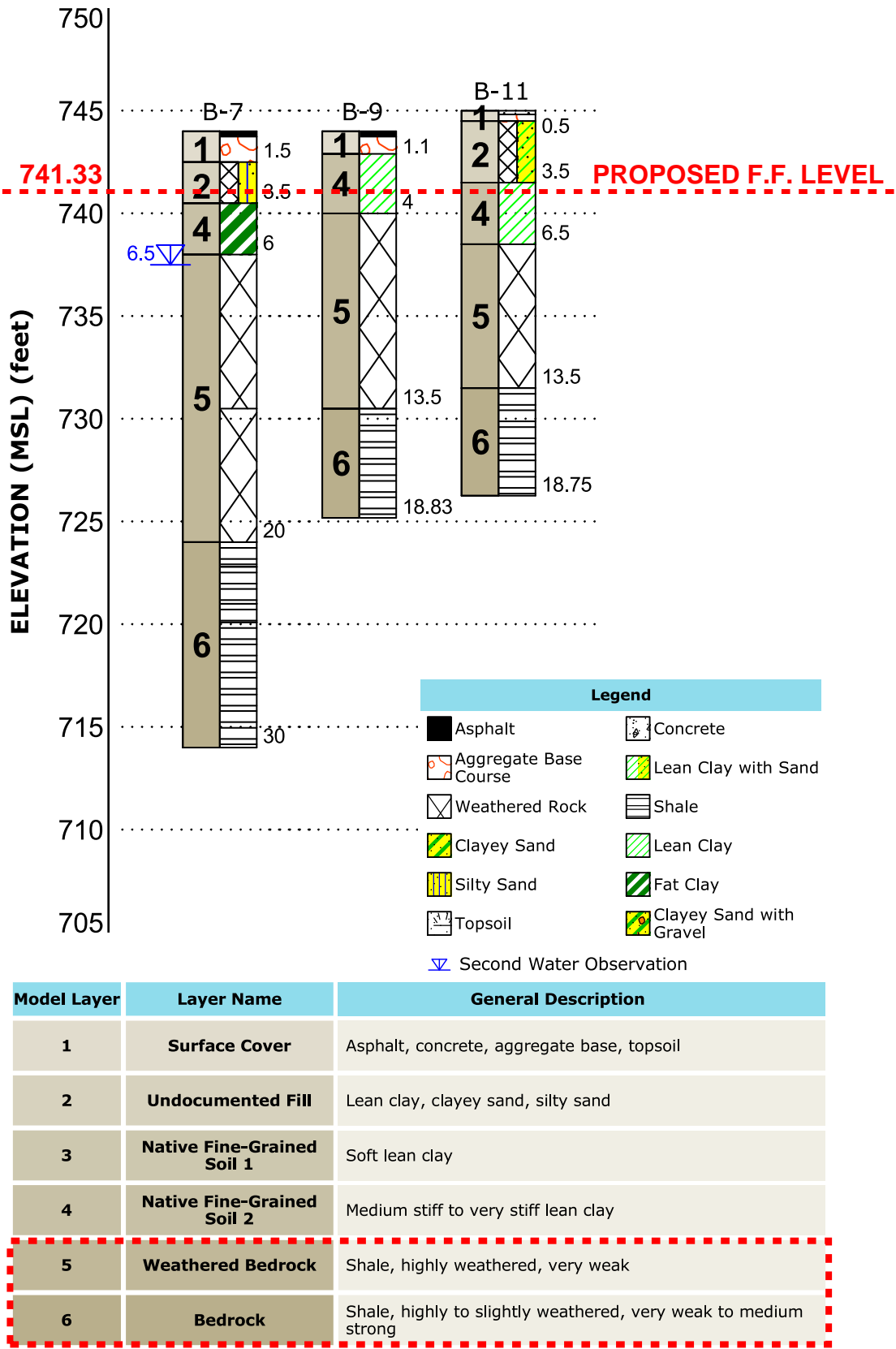
**PROGRAM KEY**

- FRONTAGE CIRCULATION
- CLINICAL / ADMIN / SUPPORT
- VERTICAL CORE CIRCULATION





GeoModel





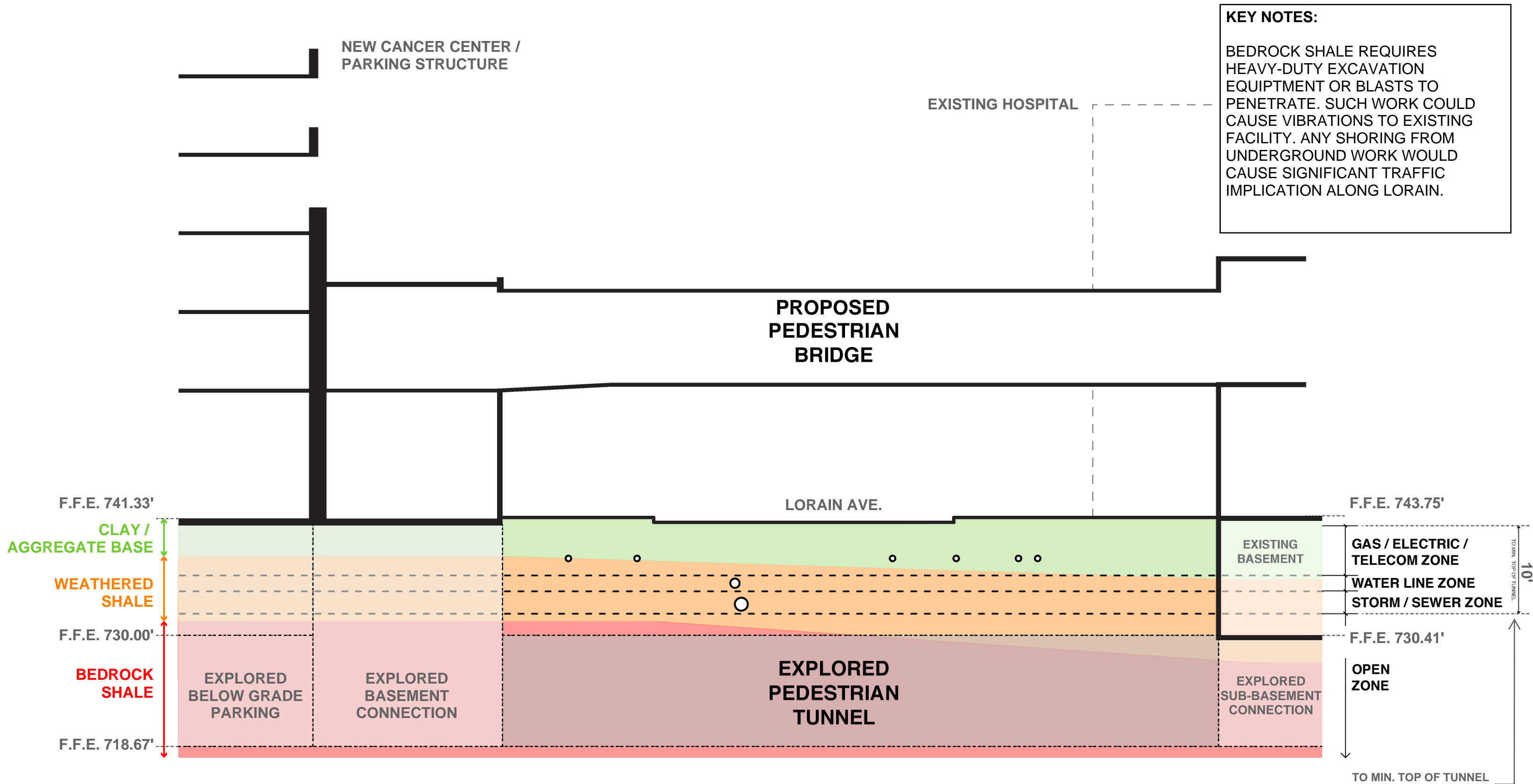


EXISTING BASEMENT FLOOR IMAGES OF THE PYRITIC SHALE PRIOR TO EXCAVATION



EXCAVATION REQUIRED TO MITIGATE THE CIRCUMSTANCES OF THE EXPANSIVE SHALE FROM EXISTING BASEMENT.









**CONSTRUCTION IMPACTS ON LORAIN**

**KEY NOTES:**

**A) TECHNICAL:**

- i. CONCERN WITH ACCELERATING THE WEATHERING OF UNDISTURBED SHALE
- ii. PROTECTING THE NATURAL SITUATION AS LONG AS FEASIBLY POSSIBLE

**B) OPERATIONAL:**

- i. EXISTING CANCER CENTER TO REMAIN OPERATIONAL DURING CONSTRUCTION - KEEPING PATIENT CARE LOCAL
- ii. CONCERNS ABOUT SENSITIVE EQUIPMENT (CT SIM, LINAC, MRI, ETC) THAT WOULD NEED TO BE RECALLIBRATED REGULARLY AS RESULT OF HEAVY EXCAVATION
- iii. COMMUNITY IMPACT - LORAIN AVE, NOISE, VIBRATION
- iv. WOULD REQUIRE BUILDING SUB-BASEMENT UNDER EXISITING HOSPITAL. COMPLICATED CONSTRUCTION AND HIGH RISK OF DISTURBANCE.

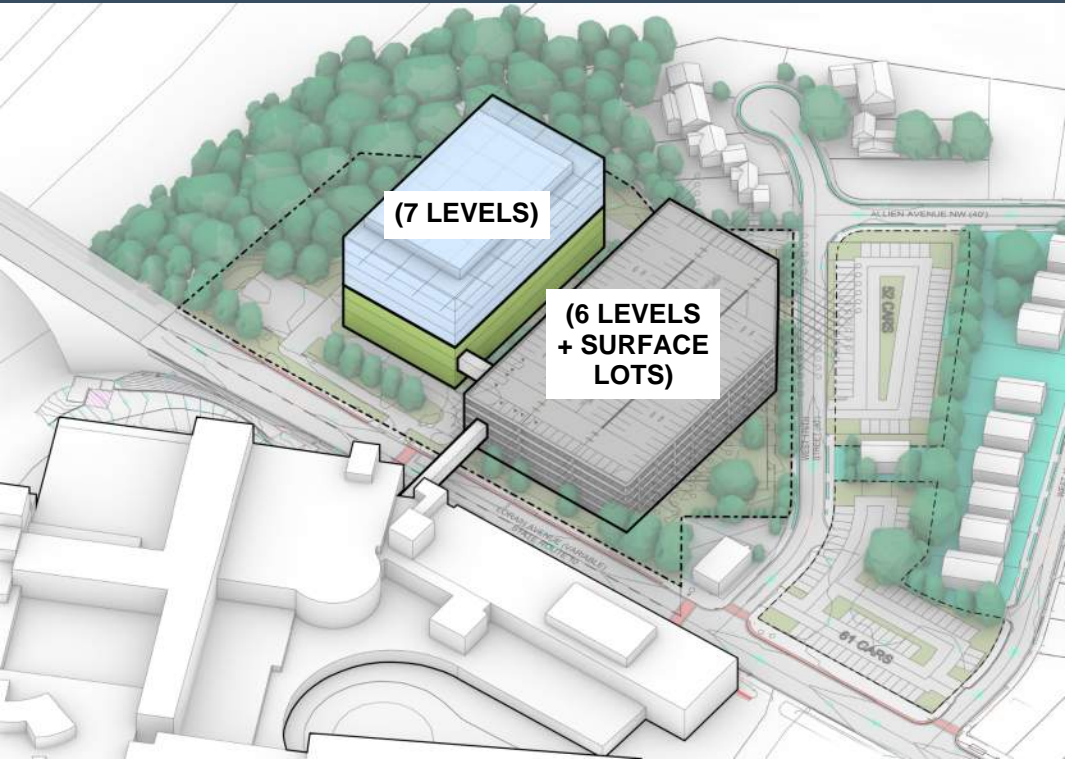
**C) FINANCIAL:**

- i. MOST TIME INTENSIVE AND COSTLY TO DO LARGE SCALE EXCAVATION OF SHALE AND BEDROCK



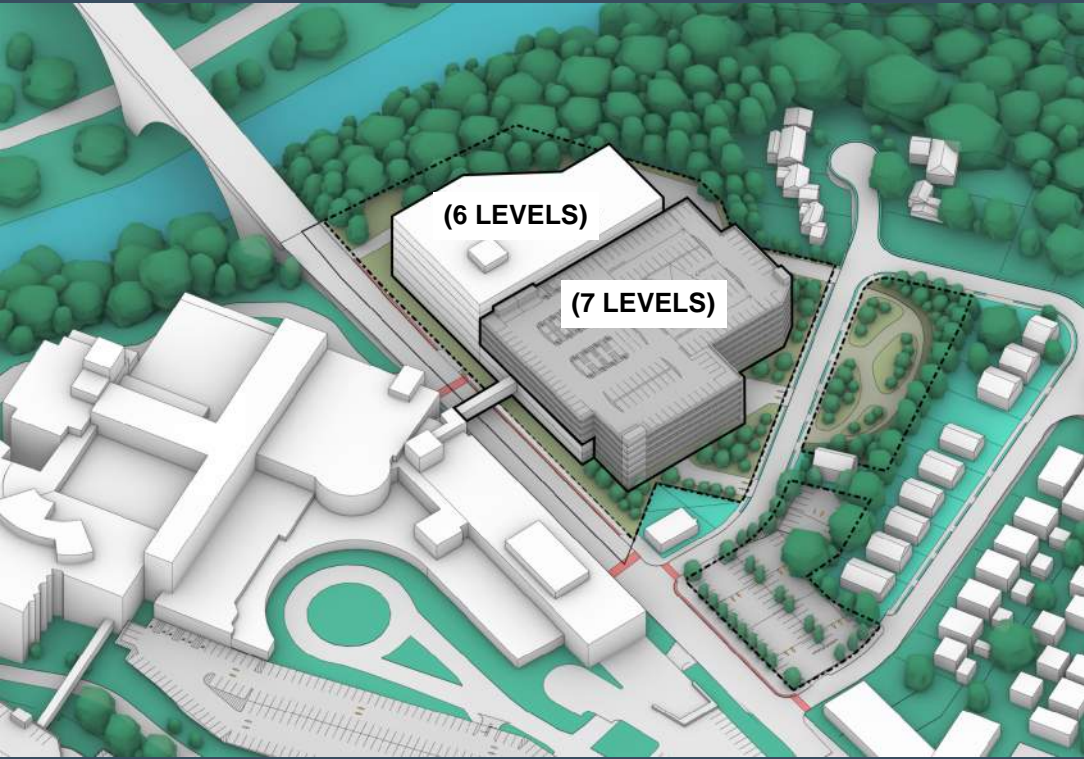
DESIGN PROGRESSION AS A RESULT OF COMMUNITY FEEDBACK:

- A) CLEVELAND CLINIC HAS HOSTED 5+ COMMUNITY MEETINGS
- B) ATTENDED COUNCILMAN + CDC LED MEETINGS AS AN OBSERVER TO HEAR FEEDBACK FIRST HAND
- C) RE-ALLOCATED PROGRAM TO A DIFFERENT LOCATION TO REMOVE 1 LEVEL OF BUILDING AND 1 LEVEL OF PARKING GARAGE



MAY 2023

- 7 LEVEL MOB / CC
- 6 LEVEL GARAGE + SURFACE LOTS COVERING BOTH NORTH-EAST AND SOUTH-EAST BUFFER ZONES



AUGUST 2024

- 6 LEVEL MOB / CC
- 7 LEVEL GARAGE + SURFACE LOT AT SOUTH-EAST CORNER ONLY



MARCH 2025

- 4 LEVEL MOB / CC + PH
- 5 LEVEL GARAGE + ROOF PARKING



- 

01 BLUFF WITH EXISTING TREES
- 

TALLER SCREENING TREES 02
- 

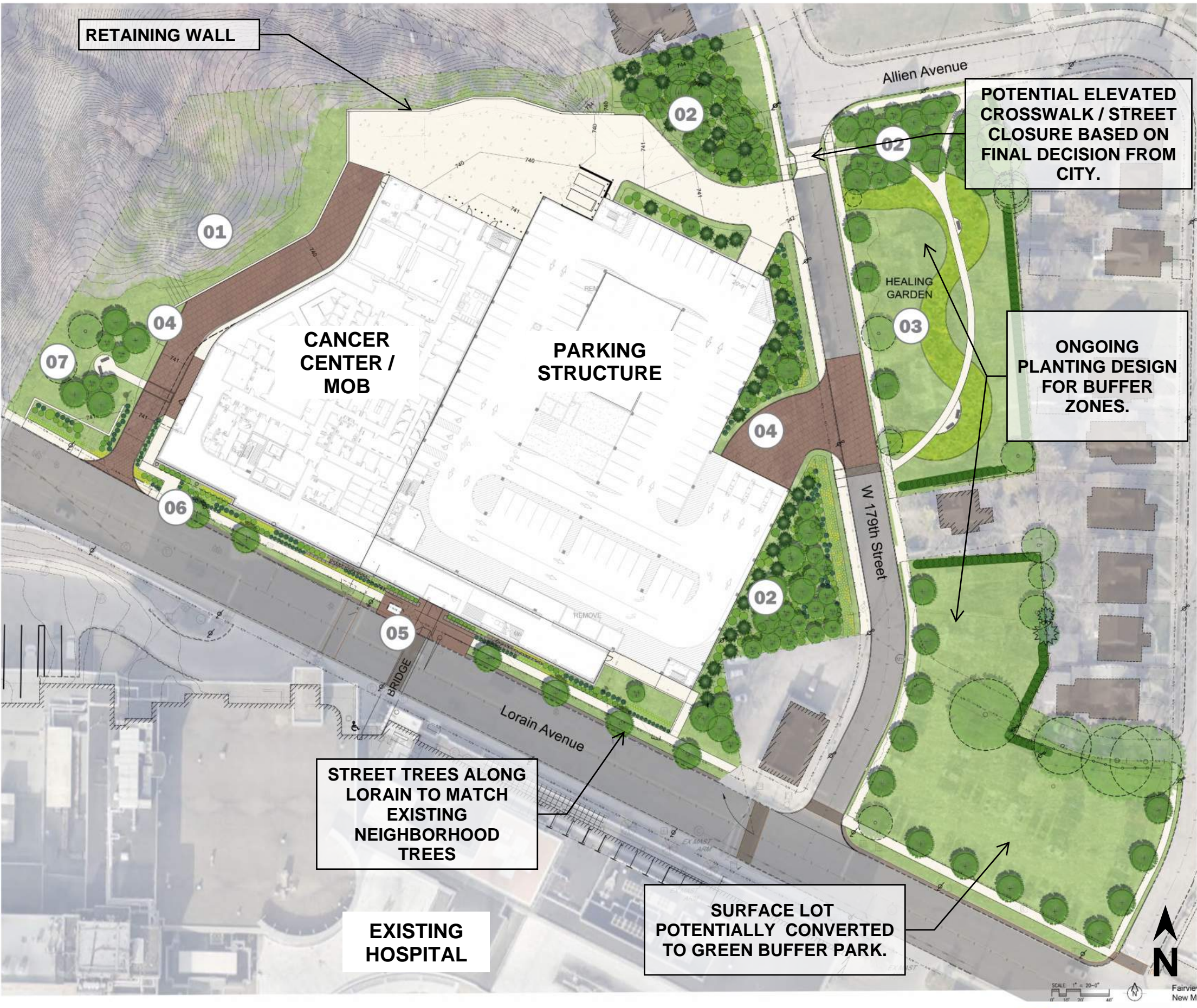
03 POLLINATOR PATHWAY
- 

PAVER IN WARM COLOR 04
- 

05 STONE SEAT WALLS
- 

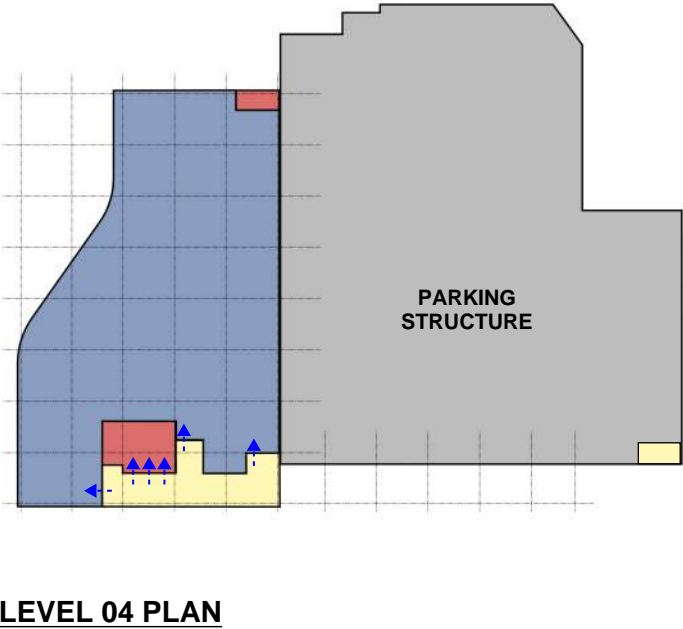
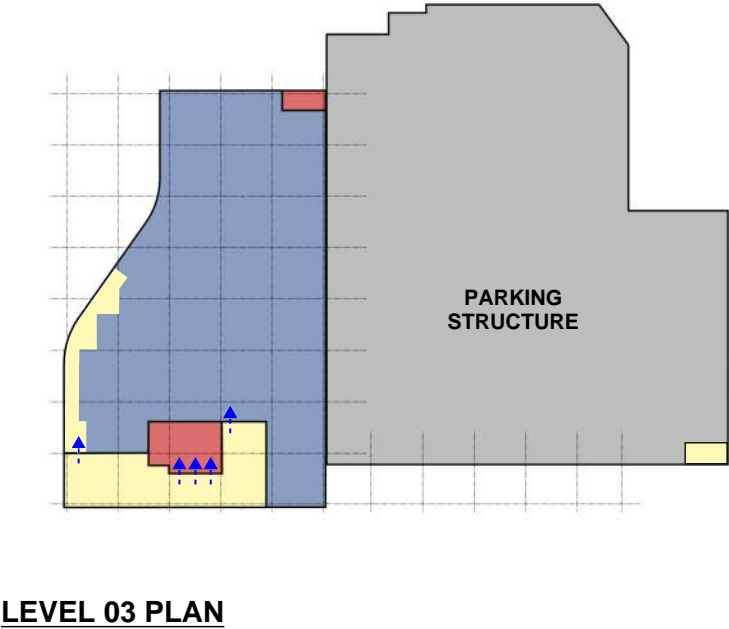
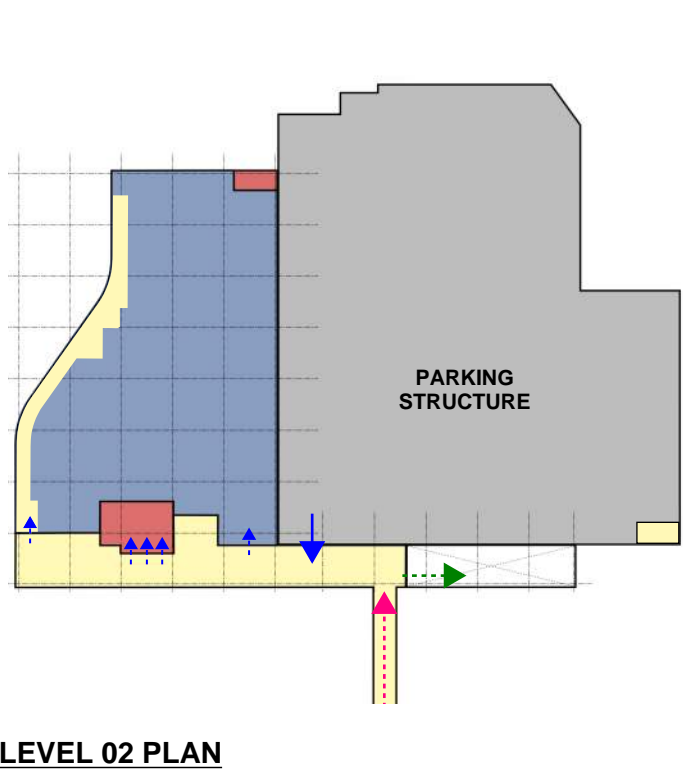
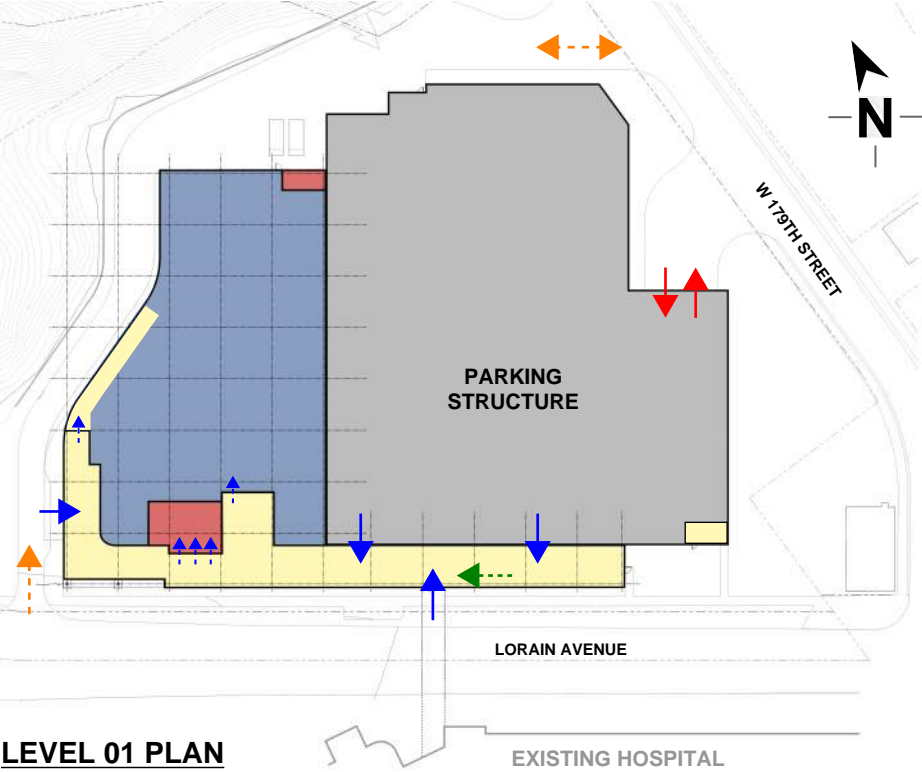
NATIVE PRAIRIE GRASS, WINTERBERRY HOLLY, & BEARBERRY GROUNDCOVER 06
- 

07 HEALING GARDEN

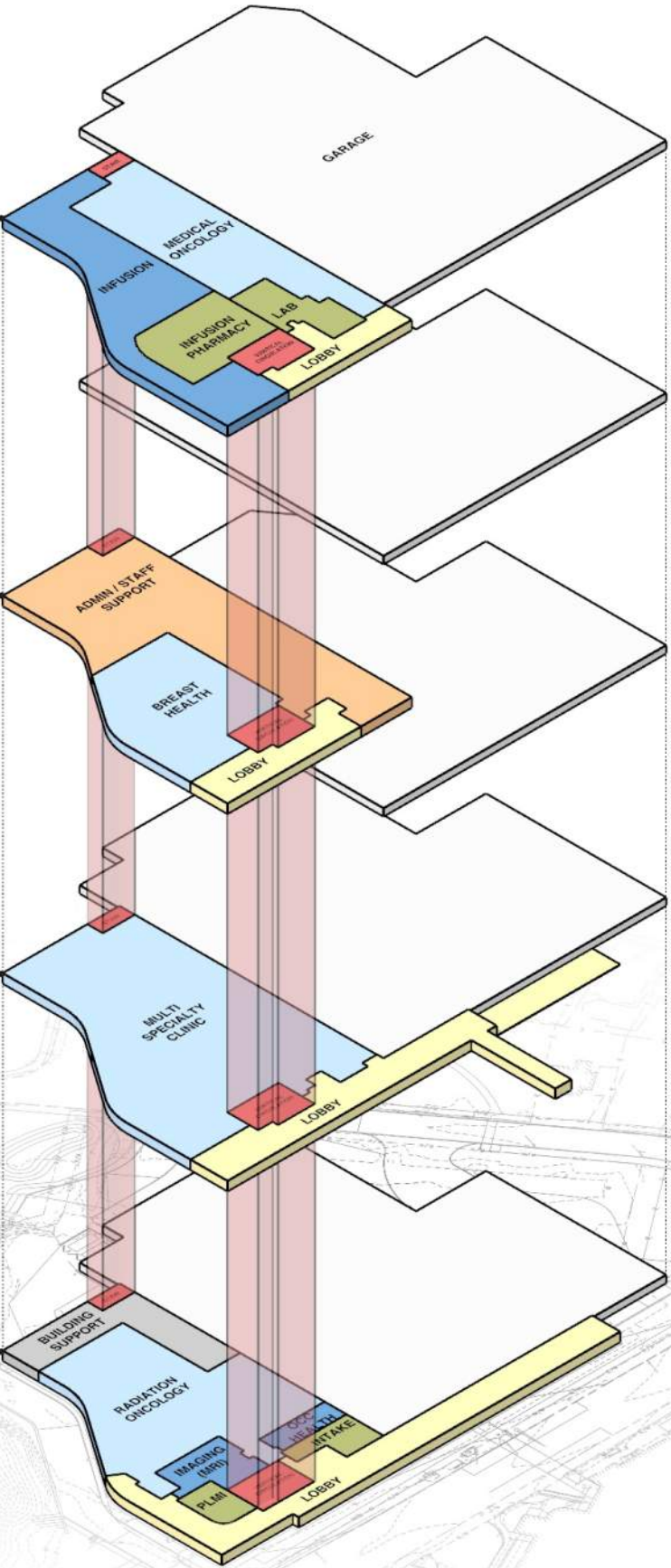




- PUBLIC CIRCULATION
- CLINICAL / ADMIN / SUPPORT
- VERTICAL CIRCULATION
- PEDESTRIAN TRAFFIC
- ENTRY FROM LOBBY
- SKYWALK BRIDGE
- SERVICE TRAFFIC
- LOBBY STAIR
- GARAGE ENTRY

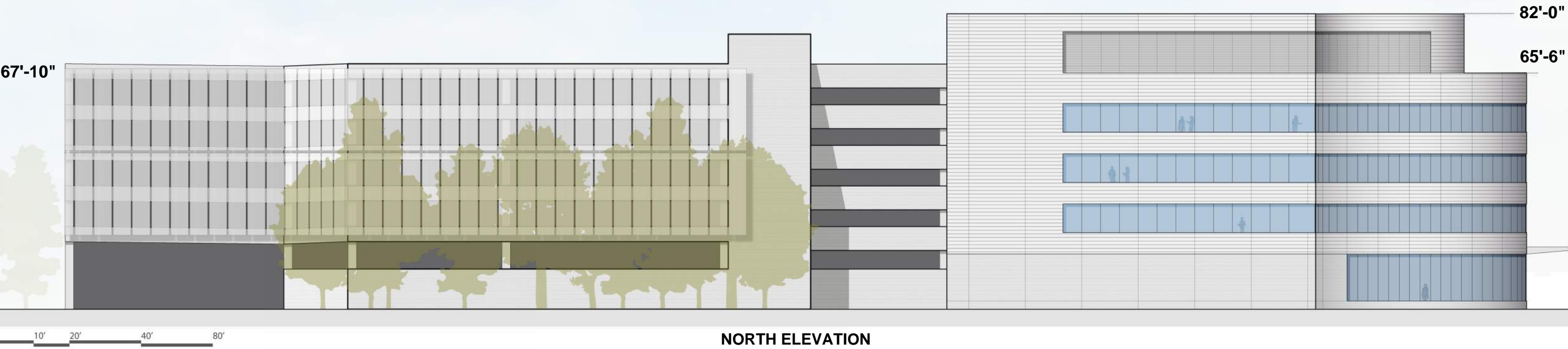


- Level 04**  
Infusion  
Med. Onc.  
Pharmacy  
Lab  
Lobby
- Level 03**  
Breast Health  
Admin / Support  
Lobby
- Level 02**  
Multi-Specialty  
Lobby
- Level 01**  
Rad. Onc.  
Imaging  
Occ. Health  
Intake  
Lab  
Lobby



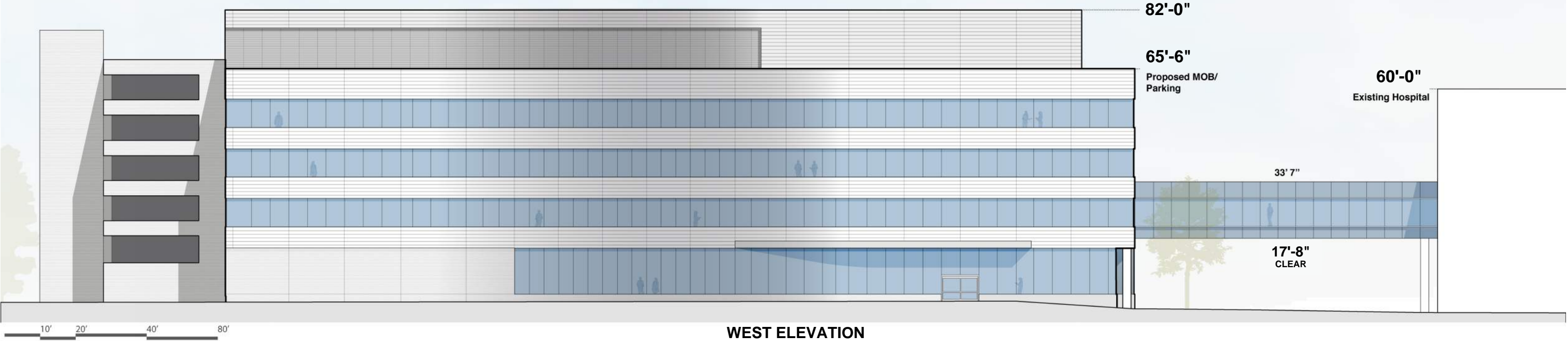


- LOUVER
- METAL PANEL
- GLASS
- CONCRETE
- FABRIC SCREEN








- LOUVER
- METAL PANEL
- GLASS
- CONCRETE
- FABRIC SCREEN







- 

**01** PREFINISHED METAL  
PANEL - METALIC FINISH
- 

**02** SSG INSULATED GLASS  
- W / FRIT
- 


**03** SSG INSULATED GLASS  
- NEUTRAL
- 


**04** PRECAST CONCRETE
- 


**05** PREFINISHED METAL  
- METALIC FINISH







- 

**01** PREFINISHED METAL  
PANEL - METALIC FINISH
- 

**02** SSG INSULATED GLASS  
- NEUTRAL W/ FRIT
- 


**03** PES / PTFE FABRIC  
SCREEN
- 


**04** PRECAST CONCRETE
- 


**05** CAST-IN-PLACE  
CONCRETE

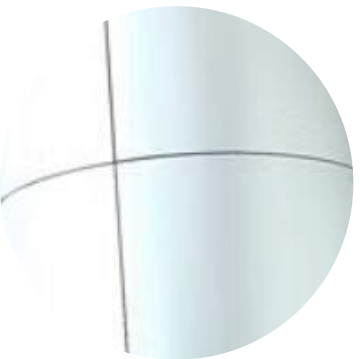





- 

**01** PREFINISHED METAL  
PANEL - METALIC FINISH
- 

**02** SSG INSULATED VISION  
GLASS - W/ FRIT
- 

**03** SSG INSULATED  
SPANDREL GLASS
- 

**04** PREFINISHED METAL  
-METALIC FINISH
- 

**05** PREFINISHED METAL  
LOUVER - METALIC FINISH















































**Every life deserves world class care.**



# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## **FW2024-14** – Cleveland Clinic Fairview Hospital Expansion

Apr 4, 2025

FWDRAC gave schematic approval with conditions on 4/2/25:

- Materials – Warmer color palette needed. Too much white and grey currently.
  - Parking garage screening – Metal panels or thermally modified wood, screen with public art.
  - Screen the first floor of the garage using same materials and further study the eastern elevation to be softened.
  - Lorain Avenue green space – Support green space over parking lot. Space should take cues from proposed Healing Garden and be developed further.
  - Landscape plan – Add a double row of trees along Lorain Avenue green space. Buffer zone needs to be maximized to protect residential neighborhood. Full landscape plan needed.
  - Pedestrian bridge on Lorain– public art or "gateway" signage needed
  - Full photometric lighting plan needed.
  - Streetscape – Further develop. Show types of amenities for bus shelters, bike racks, trash cans, seating etc
  - Massing – Further study breaking up Lorain facade massing; facade feels too long
  - Wayfinding – street level wayfinding needed to navigate entire campus. Show examples.
  - Circulation – Further investigation into how this space will function for pedestrians and the overall experience.
-



## **FW2024-14** – Cleveland Clinic Fairview Hospital Expansion

Apr 4, 2025

### CPC Staff Feedback/Recommendations:

- Parking Garage screening material– We would like to see creative and attractive screening further developed to hide parking. Substitute cloth material to be more durable material.
  - First floor of garage should also be screened (in addition to landscaping) so that lights do not shine out of garage.
  - Green Space on Lorain – We are very supportive of the further development of this site as green space and would like to see some options laid out before Final Approval.
  - Find a way to add public art added to project; could be using parking screening or sky bridge (gateway to city opportunity)
  - Streetscape on Lorain – Incorporate special elements which can include pavers, creative uplighting, benches, street trees, art elements etc. Show locations and types on plan.
  - Draft TDM plan should be submitted to staff before final approval
  - Lighting plan needed for final approval
  - Landscape plan needed before final approval
-



## **FW2024-14** – Cleveland Clinic Fairview Hospital Expansion

Apr 4, 2025

5 Residents submitted Public Comments in opposition to this project, citing:

- Incompatible Zoning for the Parking Garage
  - Overwhelming Scale & Massing of Structures
  - Traffic Impact on Residential Streets
  - Noise, Light, and Environmental Disruptions
  - Failure to Meet High Standards of Site Planning
  - Lack of Long-Term Transparency & Commitment to Residential Integrity
-



## **FW2025-05** – Cleveland Clinic FHC & Moll Center Demolition

Apr 4, 2025

Project Address: 18200 Lorain Ave

Type: Demolition

Project Representative: Richard Stuckey, Cannon Design

Approval: Final

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**Ward 17 – Councilmember Slife**

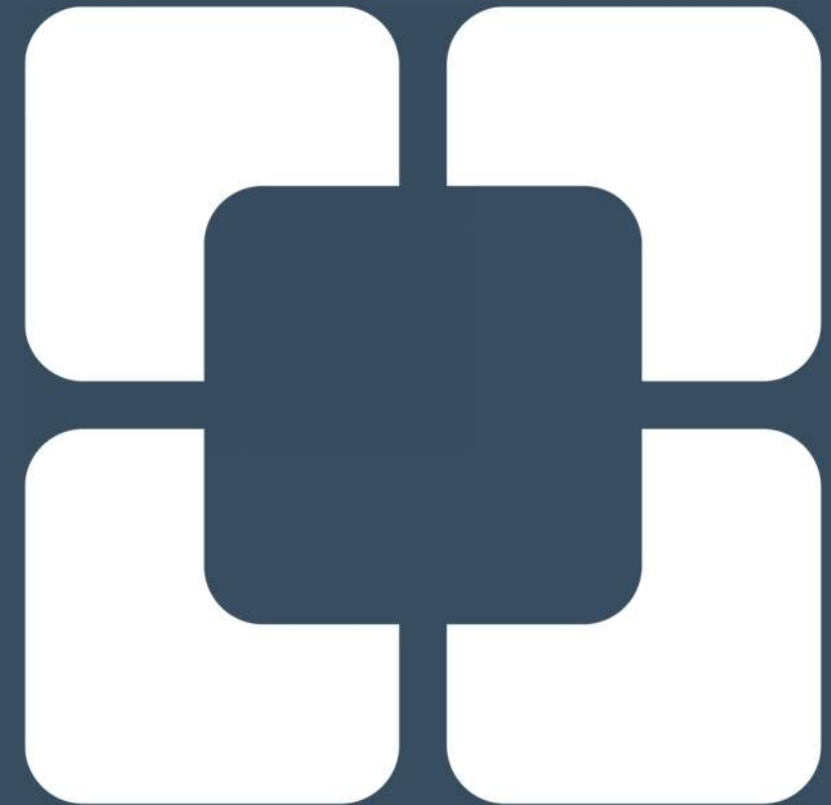
**SPA: Kamm's**



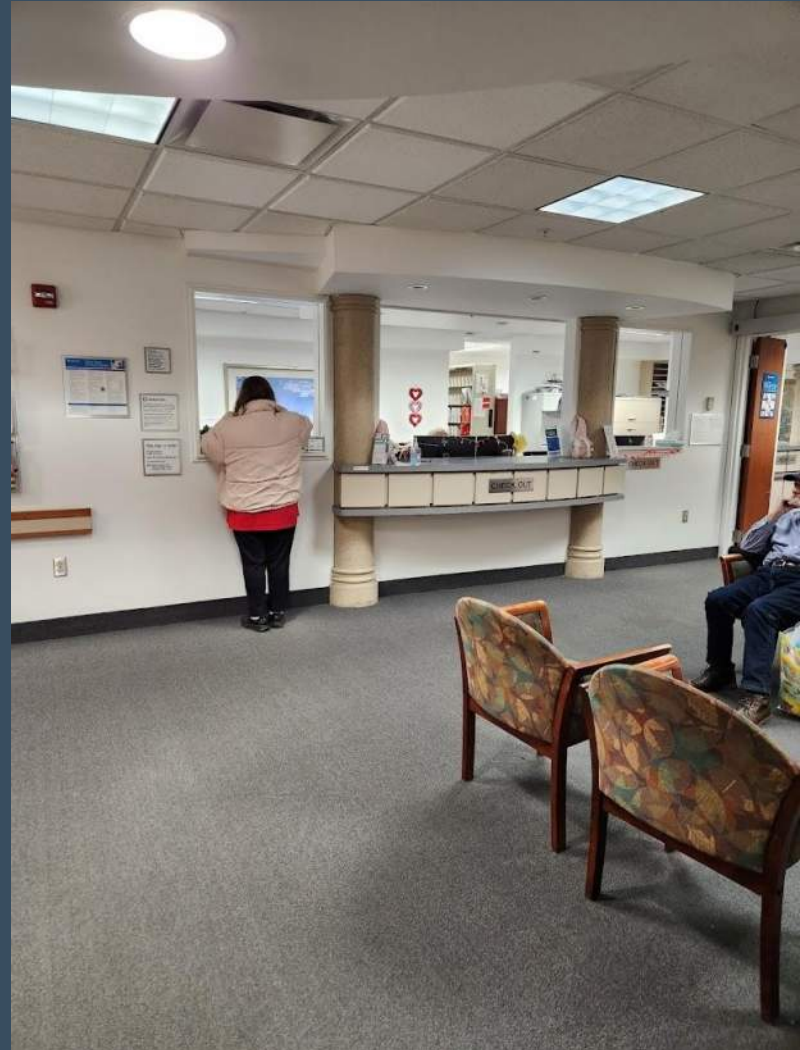
# CLEVELAND CLINIC FAIRVIEW HOSPITAL NORTH CAMPUS EXPANSION

FHC / MOLL CENTER DEMOLITION PERMIT

MARCH 26, 2025



































**Every life deserves world class care.**



# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## **FW2025-05** – Cleveland Clinic FHC & Moll Center Demolition

Apr 4, 2025

FWDRAC gave final approval with conditions on 4/2/25:

- Temporary signage be posted by Cleveland Clinic to dissuade any contractors from parking on residential streets
  - Work with City Traffic Commissioner to see if West 179th/Allen Ave can be closed during construction to avoid intrusion to residential neighborhood.
-



# Cleveland City Planning Commission

## Conditional Uses

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## **Townhomes in a Two-Family District** – Fox & Mound Townhomes

Apr 4, 2025

Project Address: Slavic Village (Seibert Ave, Chambers Ave)

Presenter: Xavier Bay, Zoning Planner

Project Representative: Alix Ogilvie, LDA Architects



## **Fox & Mound Townhomes**

### **City Planning Commission Hearing**

### **April 04, 2025**



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

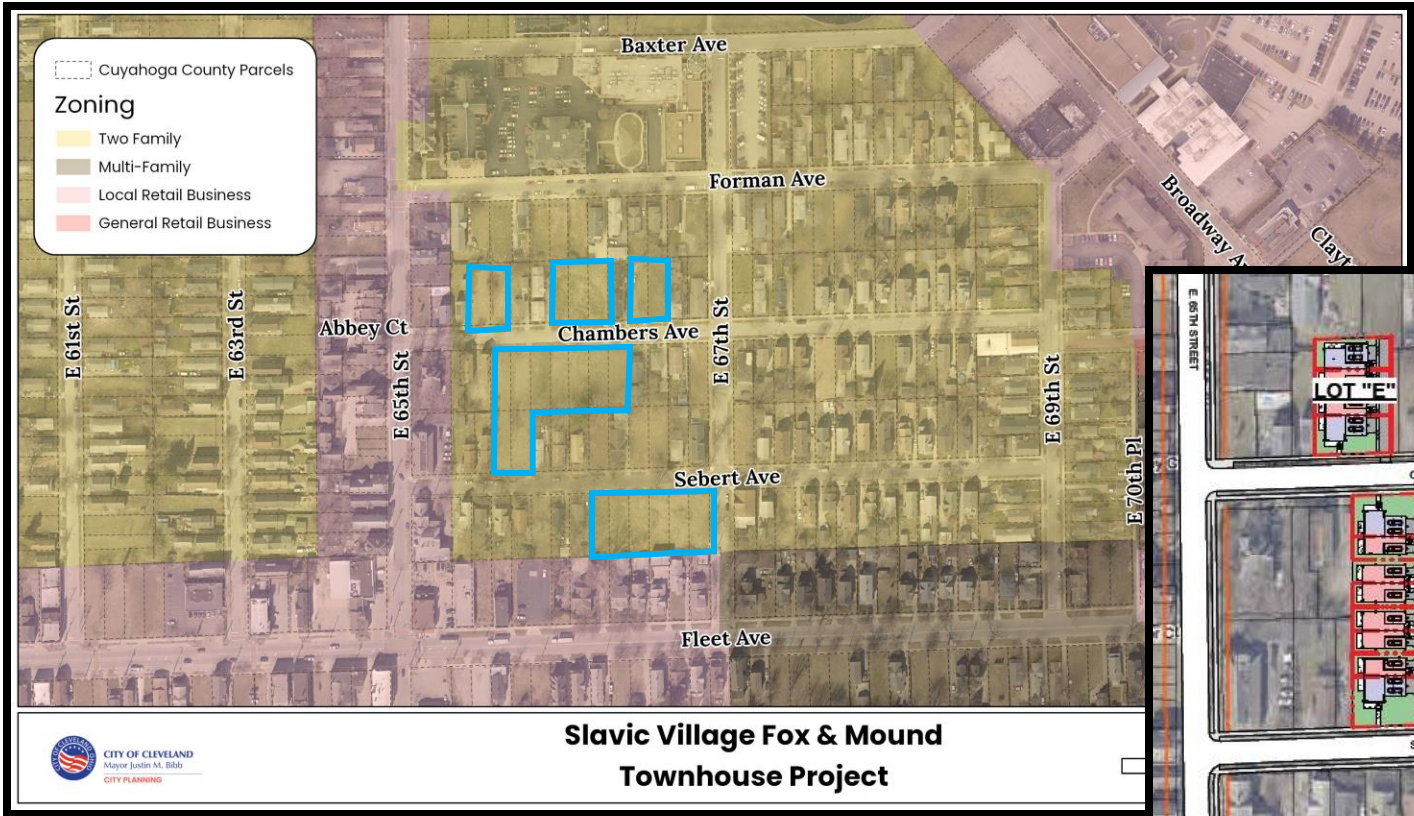
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**CITY PLANNING COMMISSION**



# Conditional Use Townhouse in 2F

This project contains parcels located in a Two-Family Residential District fronting Chambers Avenue & Sebert Avenue.

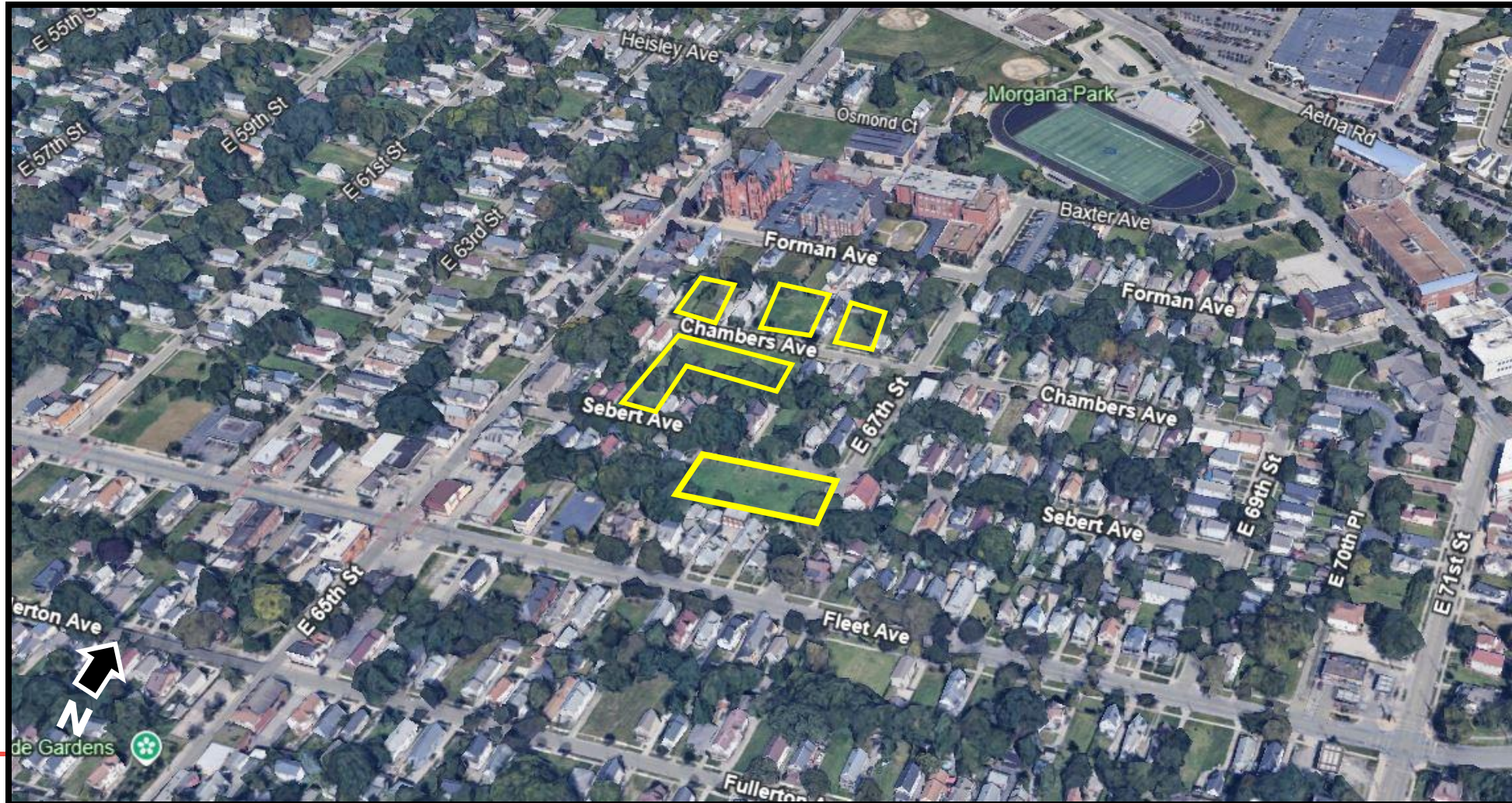


SITE PLAN LEGEND (ALTERNATE)		EXISTING PARCELS: 28	
	2-BED UNIT		PROPERTY BOUNDARY
	3-BED UNIT		PROPERTY BOUNDARY - FUTURE
DUPEX COUNT: 27		TOTAL BUILDINGS: 27	
UNIT COUNT		TOTAL UNITS: 54	
2-BED: 29	3-BED: 25		



# Conditional Use Townhouse in 2F

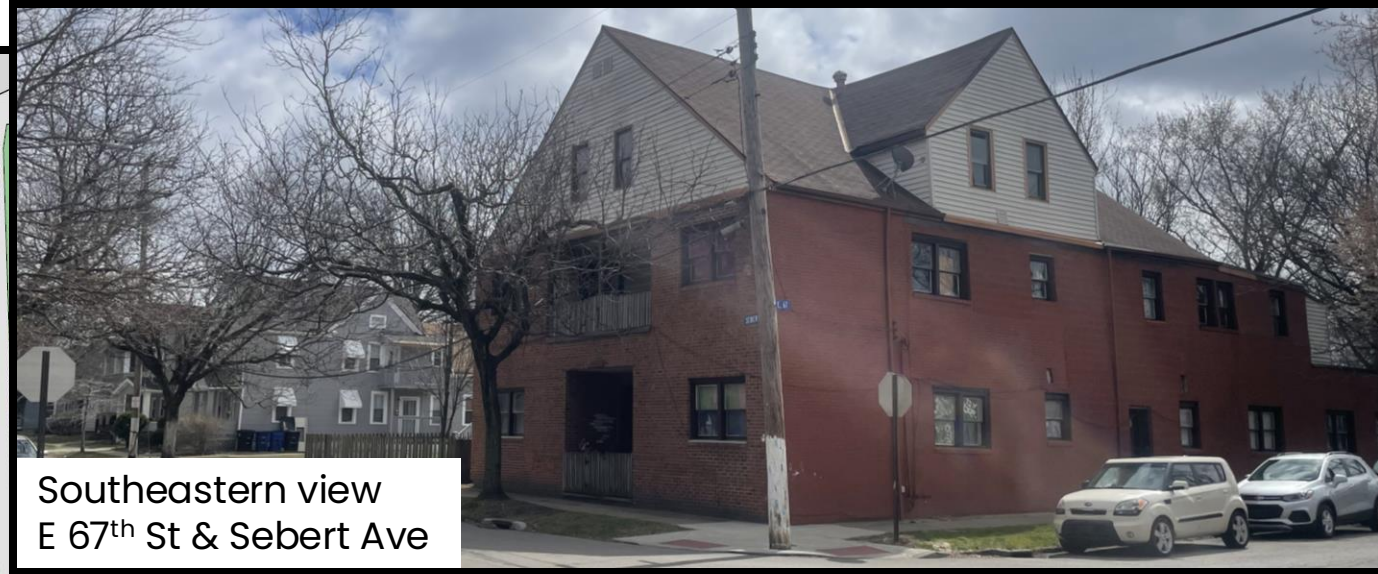
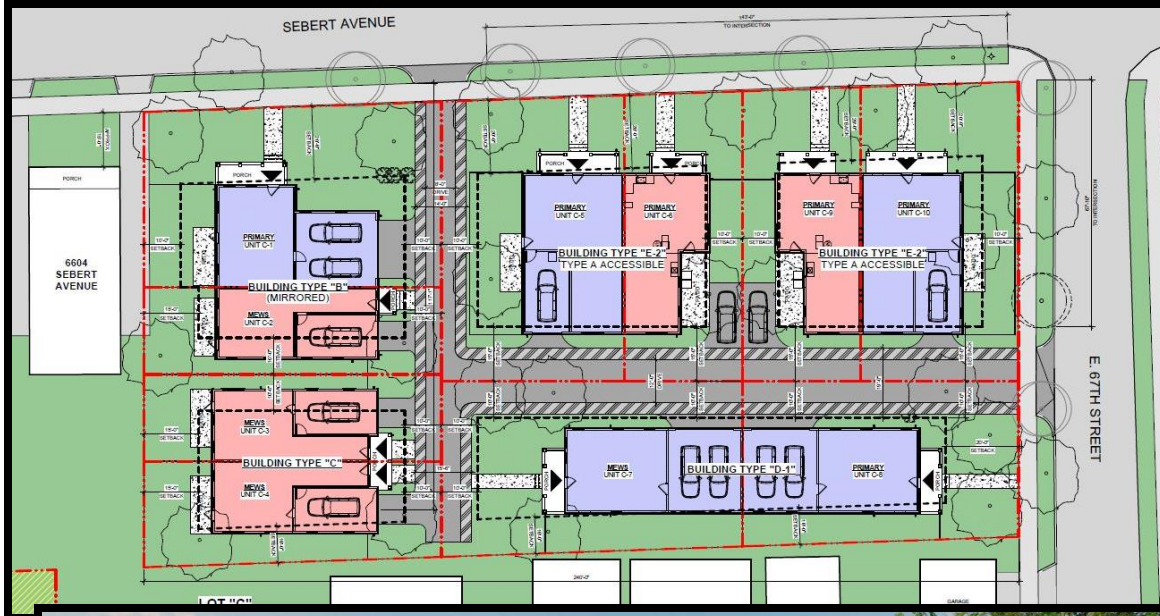
Per §337.031(h)(2): In any zoning district where a townhouse use is not permitted by right (ex. Single Family, Two (2) Family), *the City Planning Commission shall determine, based on the application of division (e) of this section, if a townhouse use shall be permitted*





# Conditional Use Townhouse in 2F "LOT C"

(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



Southeastern view  
E 67<sup>th</sup> St & Sebert Ave



Proposal "LOT C"  
West of E 67<sup>th</sup> St



Western view  
Sebert Ave



# Conditional Use Townhouse in 2F "LOT C"

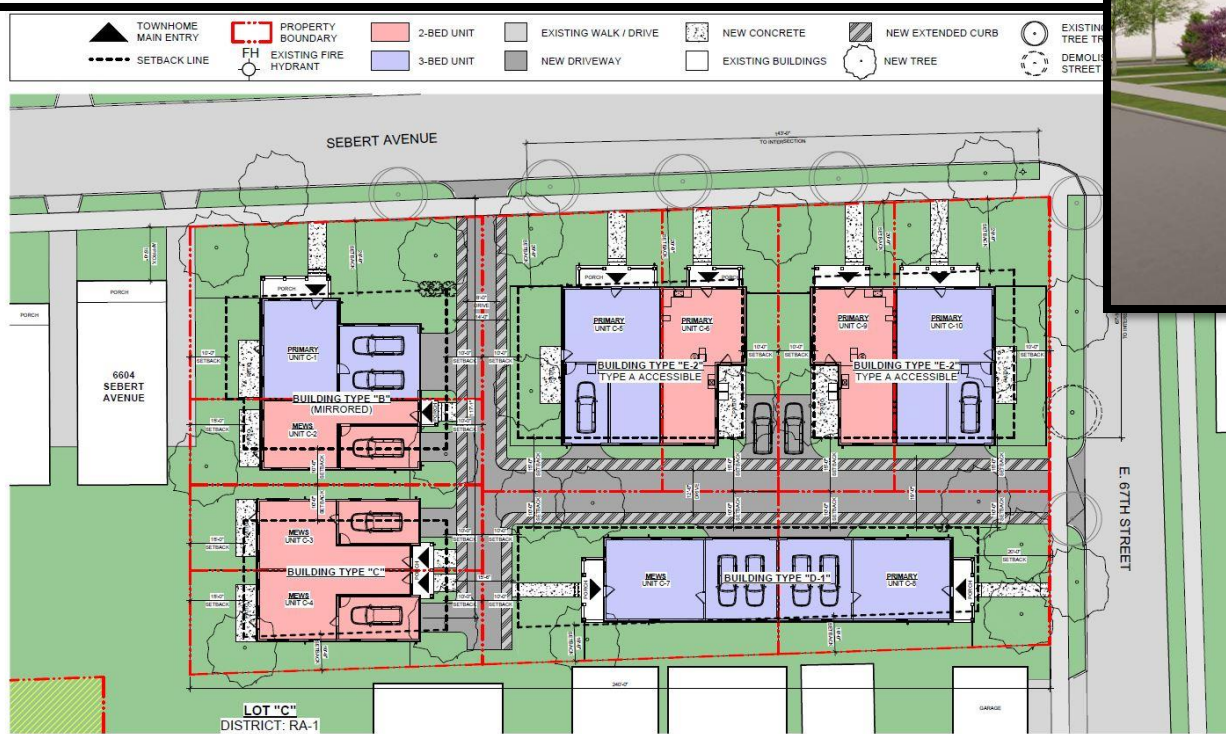
(e)(2) Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space



**"LOT C"**  
**South of Sebert Ave**



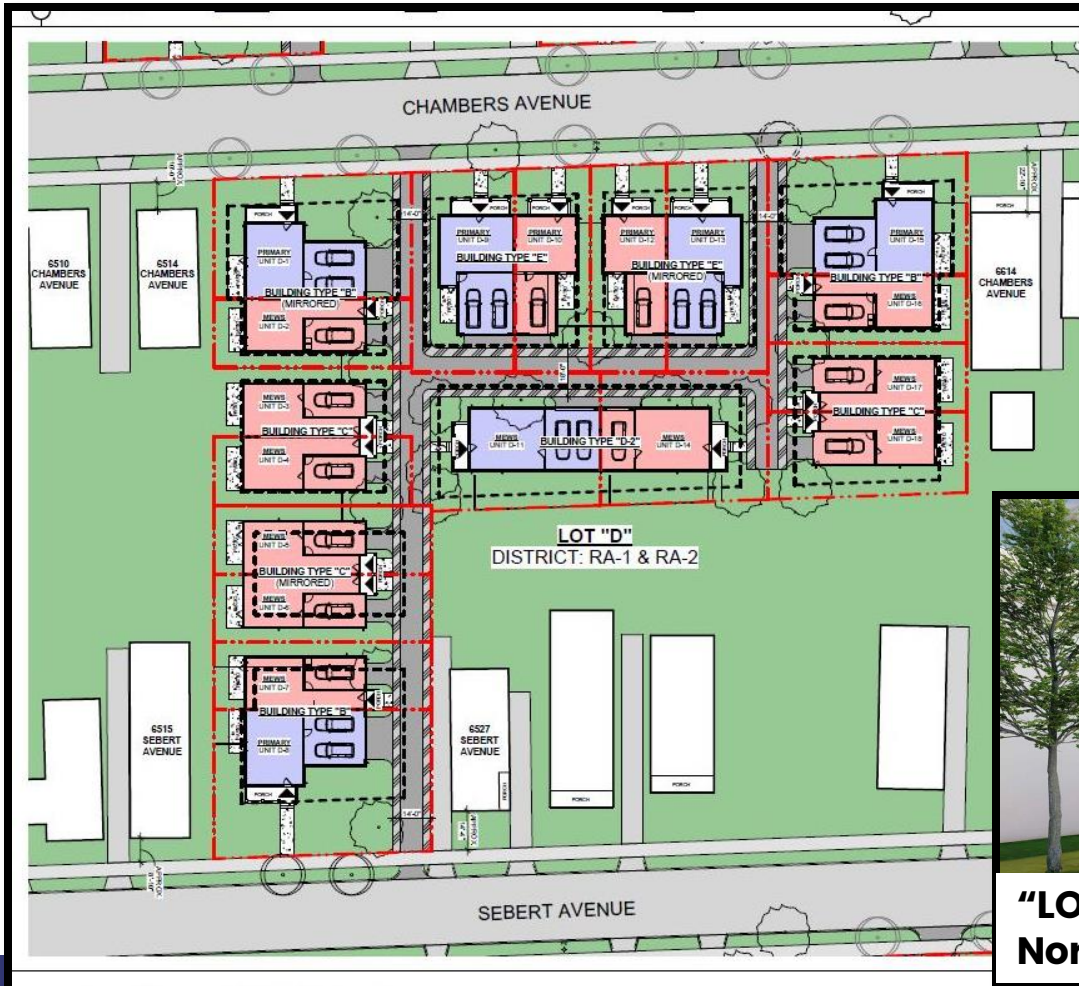
**"LOT C"**  
**West of E 67<sup>th</sup> St**





# Conditional Use Townhouse in 2F "LOT D"

(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



Northwestern view  
Chambers Ave



"LOT D"  
North of Sebert Ave

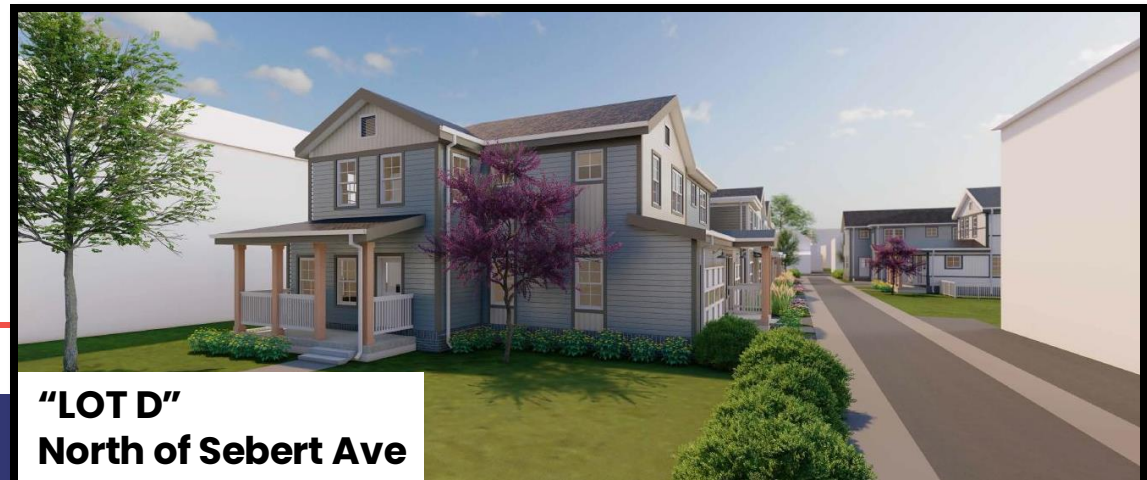


**CITY of CLEVELAND**  
MAYOR JUSTIN M. BIBB

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**CITY PLANNING COMMISSION**

**"LOT D"**  
**South of Chambers Ave**

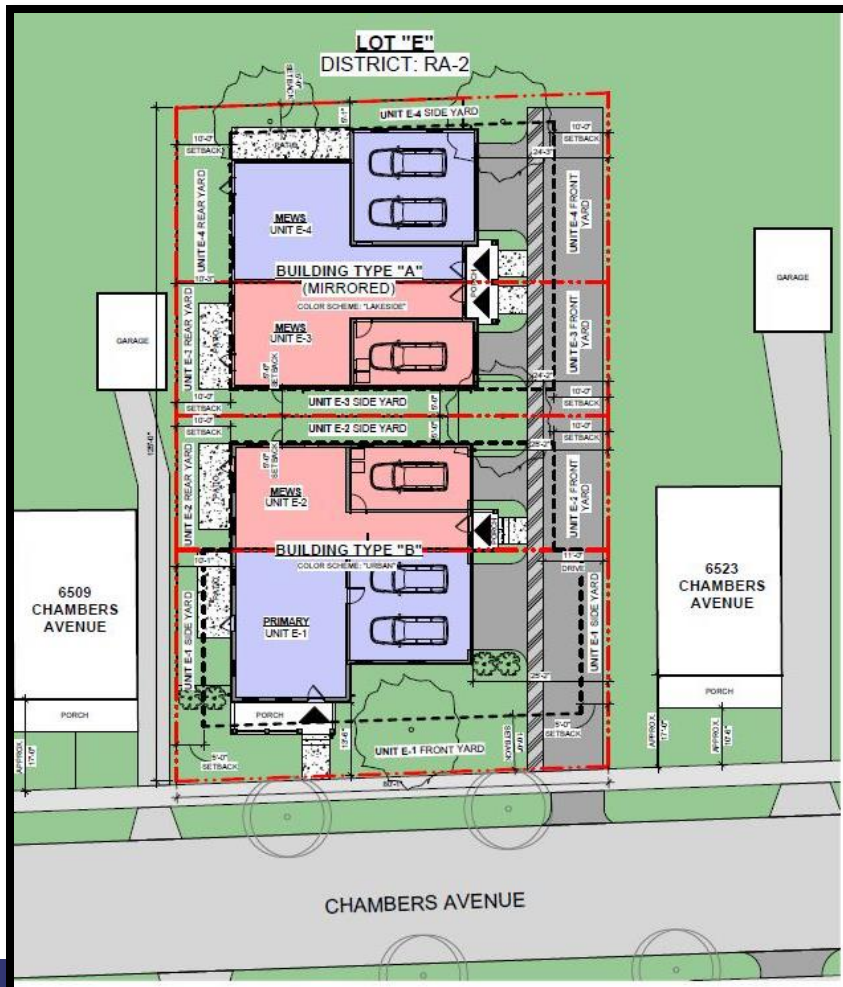


**"LOT D"**  
**North of Sebert Ave**



# Conditional Use Townhouse in 2F "LOT E"

(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



Northwestern view  
Chambers Ave

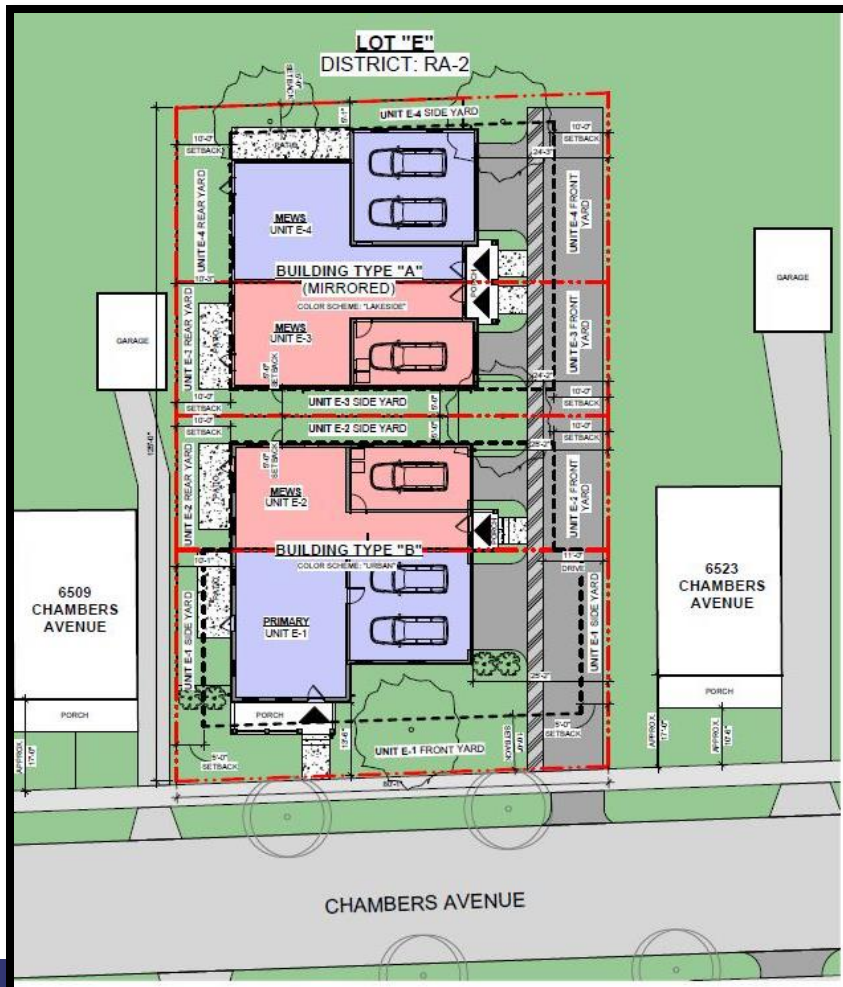


Northwestern view  
Chambers Ave & E 66<sup>th</sup> St



# Conditional Use Townhouse in 2F "LOT E"

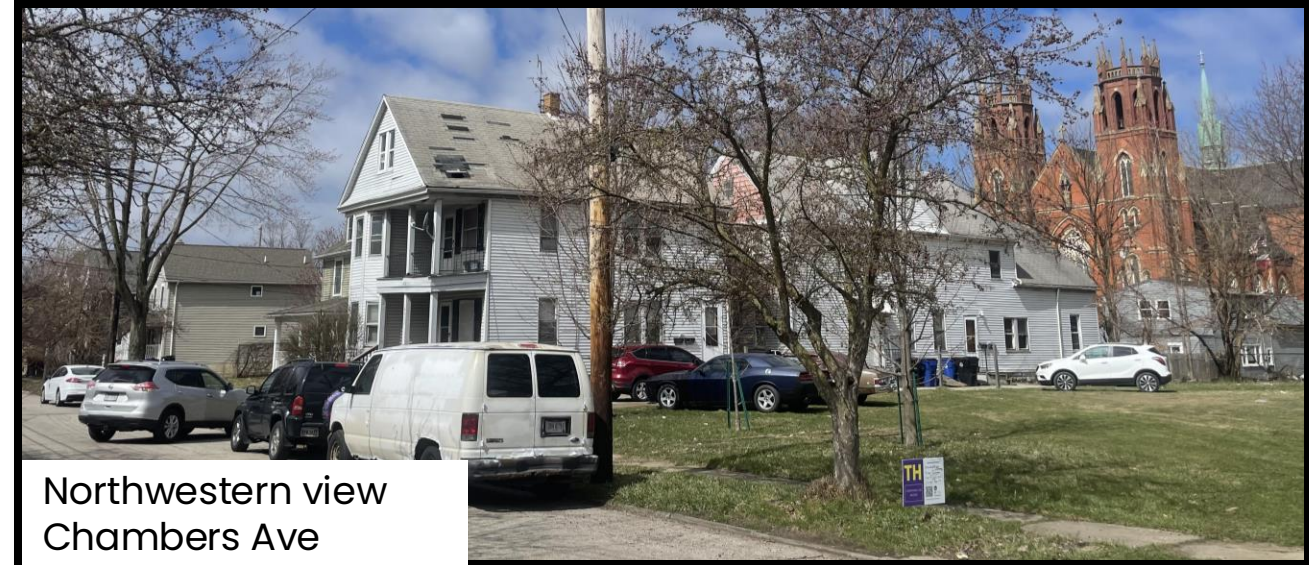
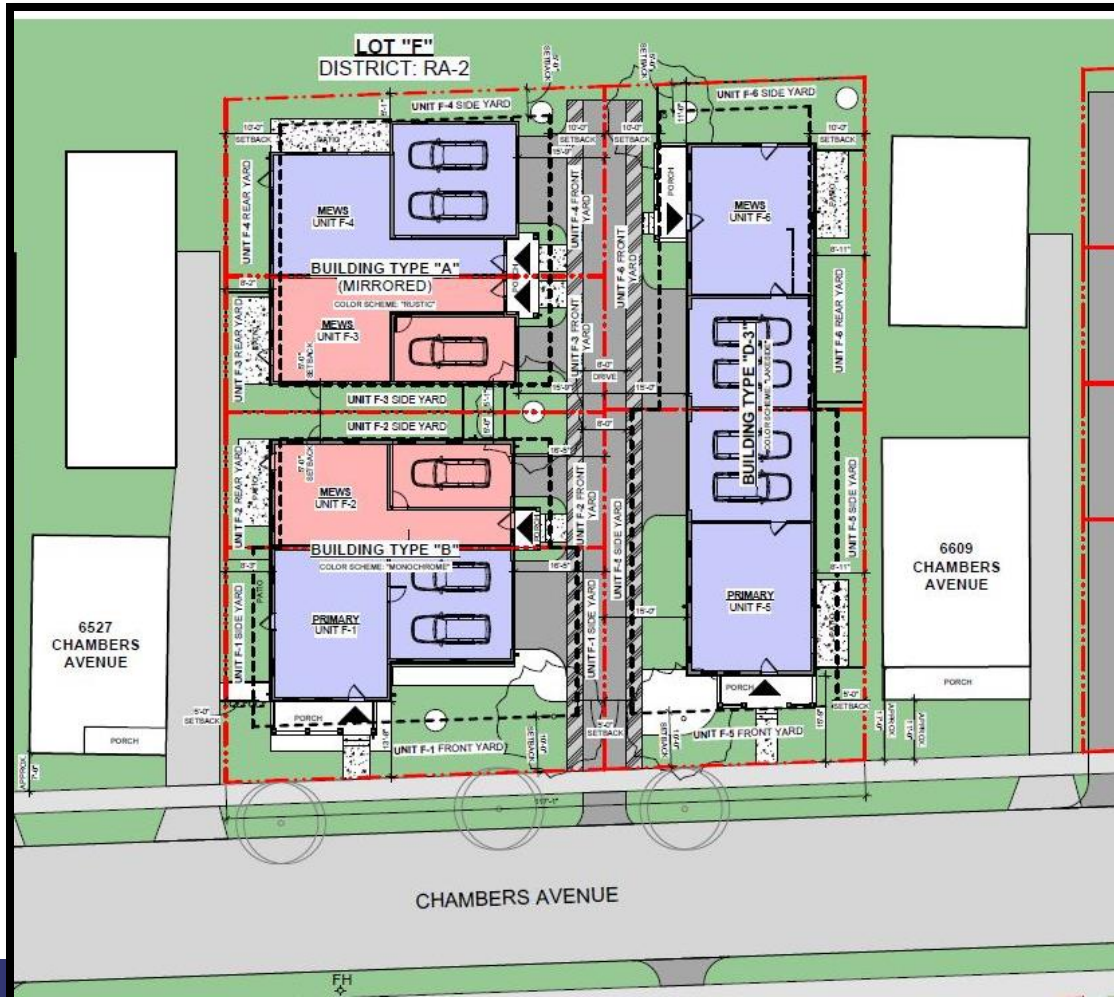
(e)(2) Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space





# Conditional Use Townhouse in 2F "LOT F"

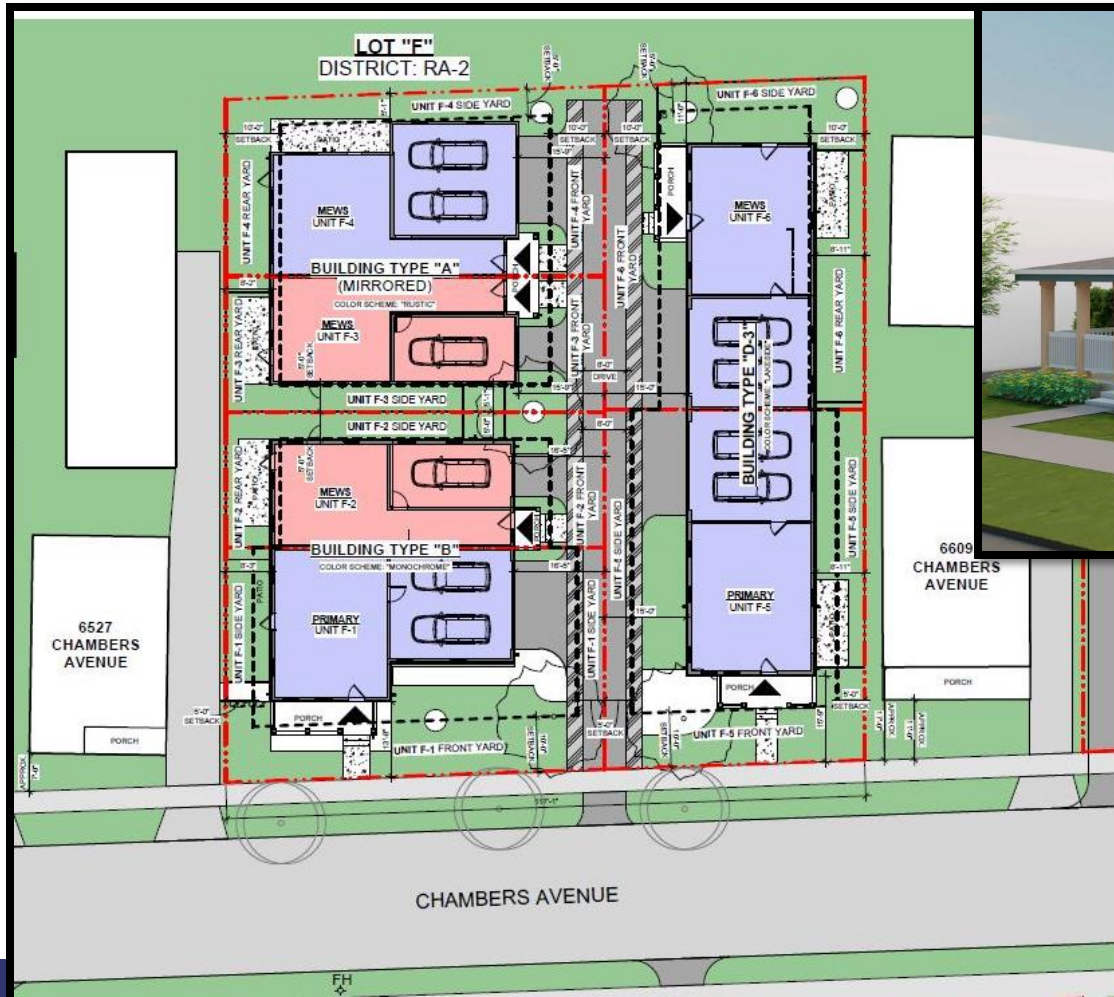
(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features





# Conditional Use Townhouse in 2F "LOT F"

(e)(2) Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space



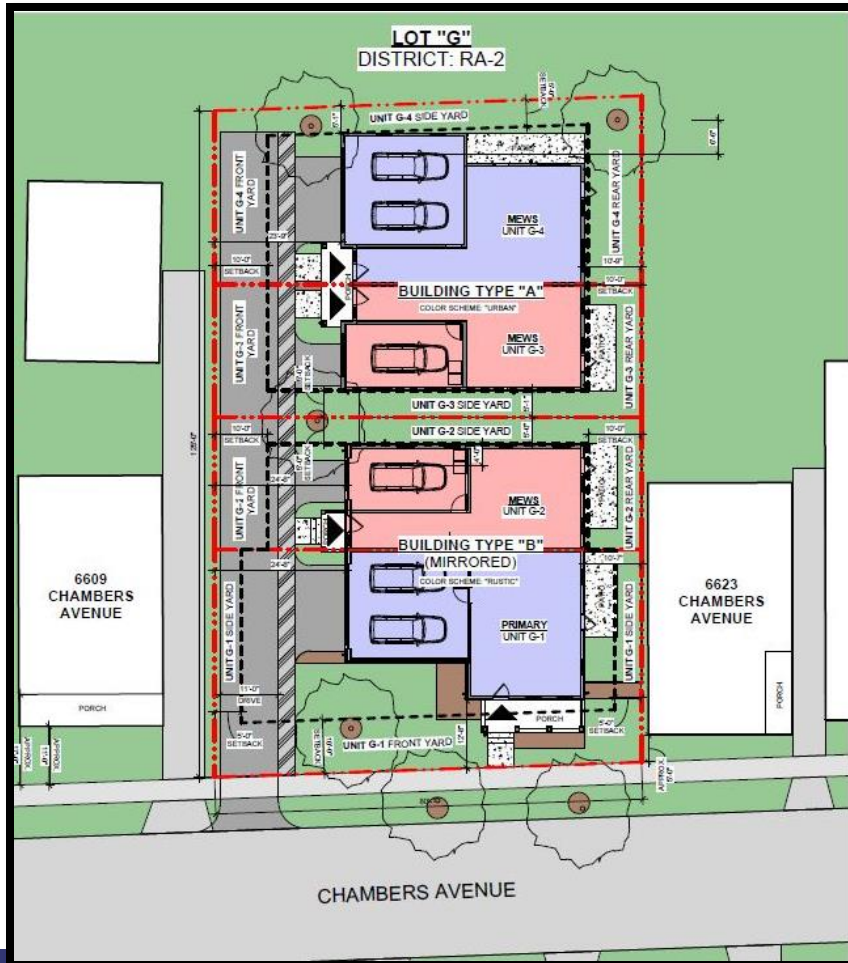
"LOT F"  
North of Chambers Ave



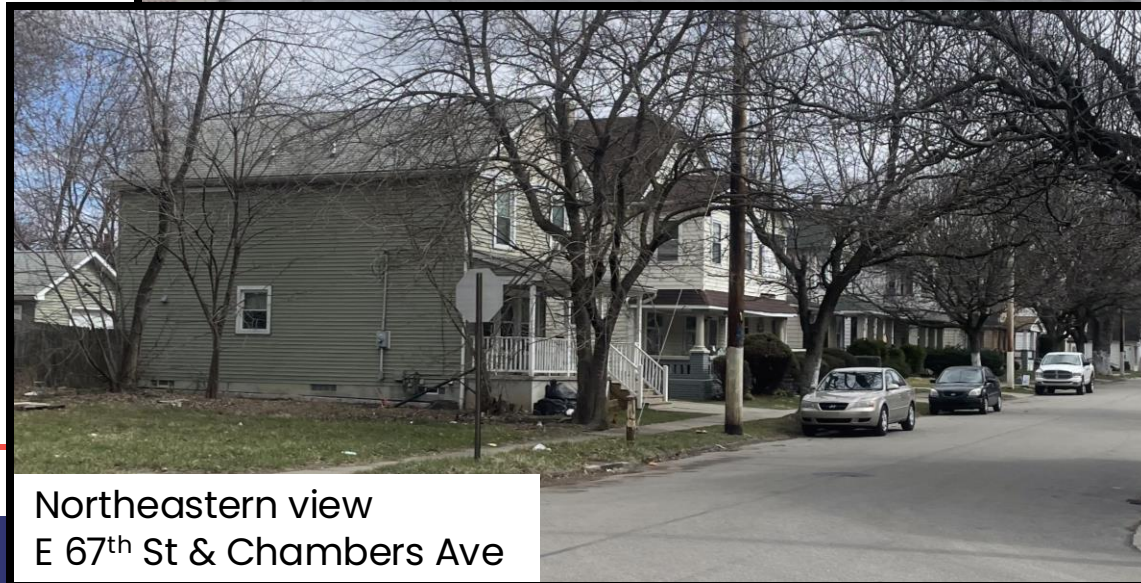


# Conditional Use Townhouse in 2F "LOT G"

(e)(1) Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features



Southeastern view  
E 67<sup>th</sup> St & Chambers Ave



Northeastern view  
E 67<sup>th</sup> St & Chambers Ave



# Conditional Use Townhouse in 2F "LOT G"

CITY of CLEVELAND

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION

(e)(2) Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space





# Cleveland City Planning Commission

## Central Southeast Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## **CSE2024-019** – Fox & Mound Townhome Development

Apr 4, 2025

Project Address: Slavic Village (Fleet Ave, Seibert Ave, Chambers Ave)

Type: Townhouse Project

Project Representative: Alix Ogilvie, LDA Architects

Approval: Final

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**Ward 12 – Councilmember Maurer**

**SPA: Broadway-Slavic Village**



# PROJECT FOX - SLAVIC VILLAGE

## CITY PLANNING COMMISSION

### EXISTING PARCEL INFORMATION

LOT "A"	DIMENSIONS (W' X D')	AREA (SF)
#13214019	40' X 140'	5,600 SF
#13215001	40' X 140'	5,600 SF
#13215002	40' X 140'	5,600 SF
#13215003	40' X 140'	5,600 SF
TOTAL:	160' X 140'	22,400 SF

LOT "B"	DIMENSIONS (W' X D')	AREA (SF)
#13215007	40' X 140'	5,600 SF
#13215008	40' X 140'	5,600 SF
TOTAL:	80' X 140'	11,200 SF

LOT "C"	DIMENSIONS (W' X D')	AREA (SF)
#13206105	40' X 125'	5,000 SF
#13206106	40' X 125'	5,000 SF
#13206107	40' X 125'	5,000 SF
#13206108	40' X 125'	5,000 SF
#13206109	40' X 125'	5,000 SF
#13206110	40' X 125'	5,000 SF
TOTAL:	240' X 125'	30,000 SF

LOT "D"	DIMENSIONS (W' X D')	AREA (SF)
#13206060	40' X 125'	5,000 SF
#13206061	40' X 125'	5,000 SF
#13206062	40' X 125'	5,000 SF
#13206063	40' X 125'	5,000 SF
#13206064	40' X 125'	5,000 SF
#13206065	40' X 125'	5,000 SF
#13206066	40' X 125'	5,000 SF
#13206066	40' X 125'	5,000 SF
#13206092	40' X 125'	5,000 SF
#13206093	40' X 125'	5,000 SF
TOTAL:	CHAMBERS: 280' X 125' SEBERT: 80' X 125'	45,000 SF

LOT "E"	DIMENSIONS (W' X D')	AREA (SF)
#13206052	40' X 125'	5,000 SF
#13206053	40' X 125'	5,000 SF
TOTAL:	80' X 125'	10,000 SF

LOT "F"	DIMENSIONS (W' X D')	AREA (SF)
#13206047	40' X 125'	5,000 SF
#13206048	40' X 125'	5,000 SF
#13206049	40' X 125'	5,000 SF
TOTAL:	120' X 125'	15,000 SF

LOT "G"	DIMENSIONS (W' X D')	AREA (SF)
#13206052	40' X 125'	5,000 SF
#13206053	40' X 125'	5,000 SF
TOTAL:	80' X 125'	10,000 SF

### PROPOSED BUILDING & UNIT INFORMATION

PROPOSED BUILDING INFORMATION			
BUILDING TYPE	QTY.	*GROSS BLDG. AREA (SF)	TOTAL BLDG. AREA (SF)
BUILDING TYPE "A"	6	3,514 SF	21,084 SF
BUILDING TYPE "B"	10	3,492 SF	34,920 SF
BUILDING TYPE "C"	4	2,492 SF	9,968 SF
BUILDING TYPE "D-1"	1	4,026 SF	4,026 SF
BUILDING TYPE "D-2"	1	3,651 SF	3,651 SF
BUILDING TYPE "D-3"	1	3,651 SF	3,651 SF
BUILDING TYPE "E"	2	3,633 SF	14,532 SF
BUILDING TYPE "E-2" (TYPE A)	2	3,741 SF	7,482 SF
TOTAL:	27		91,832 SF
*GROSS AREAS DO NOT INCLUDE PORCHES			

PROPOSED DWELLING UNIT INFORMATION			
DWELLING UNIT TYPE	QTY.	# BEDROOMS	*GROSS UNIT AREA (SF)
UNIT TYPE "2A"	14	2	1,246 SF
UNIT TYPE "2B"	10	2	1,219 SF
UNIT TYPE "2C"	1	2	1,338 SF
UNIT TYPE "2D"	2	2	1,207 SF
UNIT TYPE "3A"	6	3	1,480 SF
UNIT TYPE "3B"	10	3	1,490 SF
UNIT TYPE "3C"	5	3	1,523 SF
UNIT TYPE "3D"	2	3	1,574 SF
UNIT TYPE "3E - TYPE A"	2	3	1,568 SF
UNIT TYPE "4A - TYPE A"	2	4	1,873 SF
TOTAL:	54		
*GROSS UNIT AREAS DO NOT INCLUDE GARAGES			

### PROJECT DIRECTORY

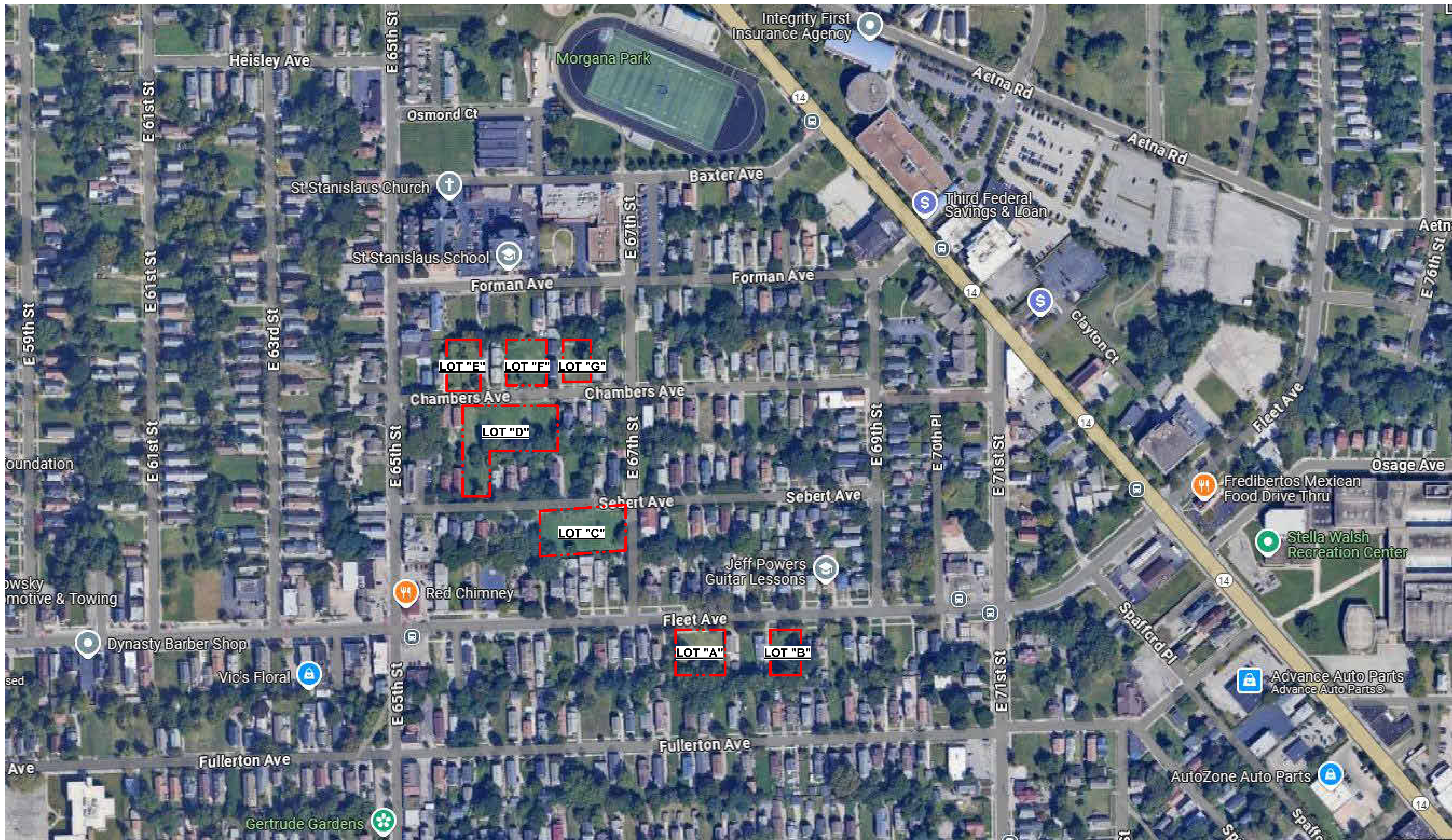
1. OWNER:  
LAEL DEVELOPERS, INC.  
REPRESENTATIVE: JIMI OLUWABIYI.  
EMAIL: INFO@PINNACLEHOLDINGSLLC.COM
2. ARCHITECT:  
LDA ARCHITECTS, INC.  
5000 EUCLID AVENUE  
SUITE 104  
CLEVELAND, OHIO 44103  
REPRESENTATIVE: ALIX OGILVIE  
PHONE: (216) 932-1890

### PROJECT SUMMARY

"PROJECT FOX" IN THE NEIGHBORHOOD OF SLAVIC VILLAGE IS A PROPOSED NEW CONSTRUCTION RESIDENTIAL DEVELOPMENT ACROSS 28 EXISTING PARCELS MADE AVAILABLE FOR DEVELOPMENT BY THE CLEVELAND LANDBANK PROGRAM. THE LOTS (DENOTED IN THIS PACKAGE AS LOTS "A" THROUGH "G") ARE GROUPS OF EXISTING AND ADJACENT PARCELS. EACH "LOT" IS INTENDED TO BE CONSOLIDATED AND RE-DIVIDED INTO A NUMBER OF SMALLER PARCELS, EACH OF WHICH WILL CONTAIN A NEWLY CONSTRUCTED TOWNHOUSE. A NUMBER OF DUPLEXES ARE PROPOSED FOR EACH "LOT" AND EACH TOWNHOUSE, ALONG WITH THE NEWLY DIVIDED PARCEL IT SITS ON, IS INTENDED FOR INDIVIDUAL SALE. IN TOTAL, 27 NEWLY CONSTRUCTED DUPLEXES CONTAINING 54 TOWNHOUSE ARE PROPOSED, ALONG WITH ACCESS DRIVES, SITE LIGHTING, AND LANDSCAPING. THE PROPOSED TOWNHOUSES ARE 2 AND 3-BEDROOMS, RESPECTIVELY. 4 OF THE TOWNHOUSES (LOT "C") WILL HAVE A GROUND FLOOR DESIGNED TO MEET THE CITY OF CLEVELAND'S "AGING IN PLACE" CHECKLIST.









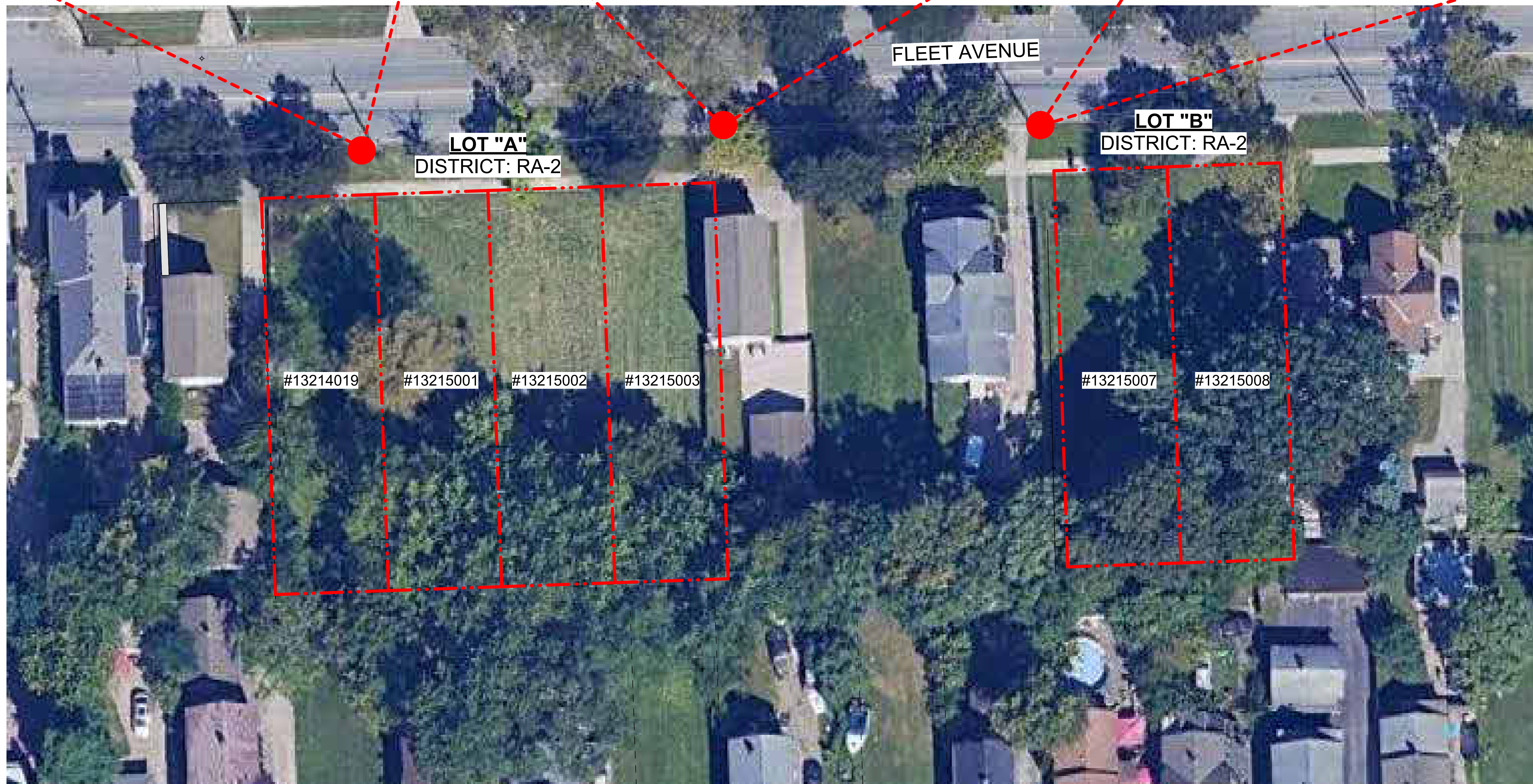
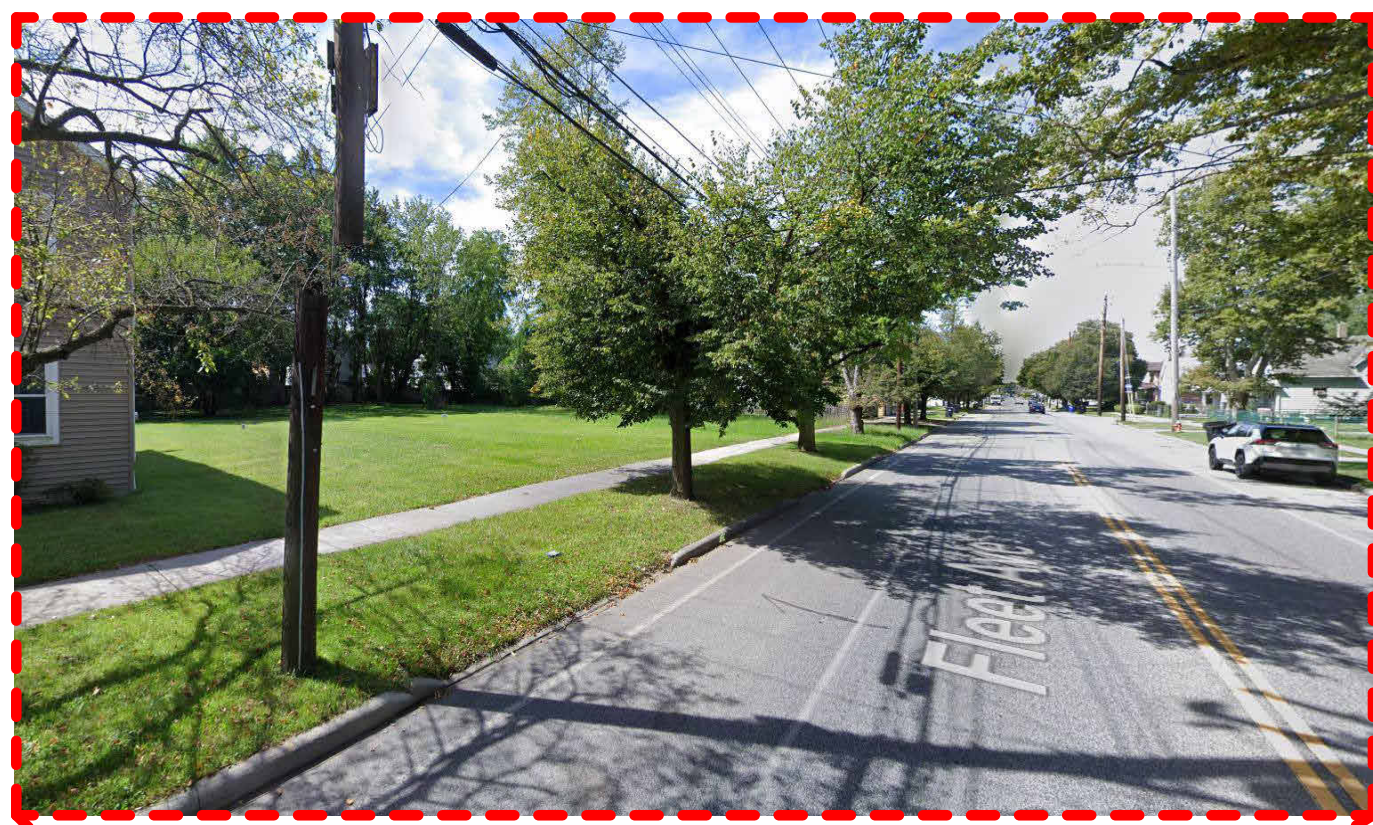
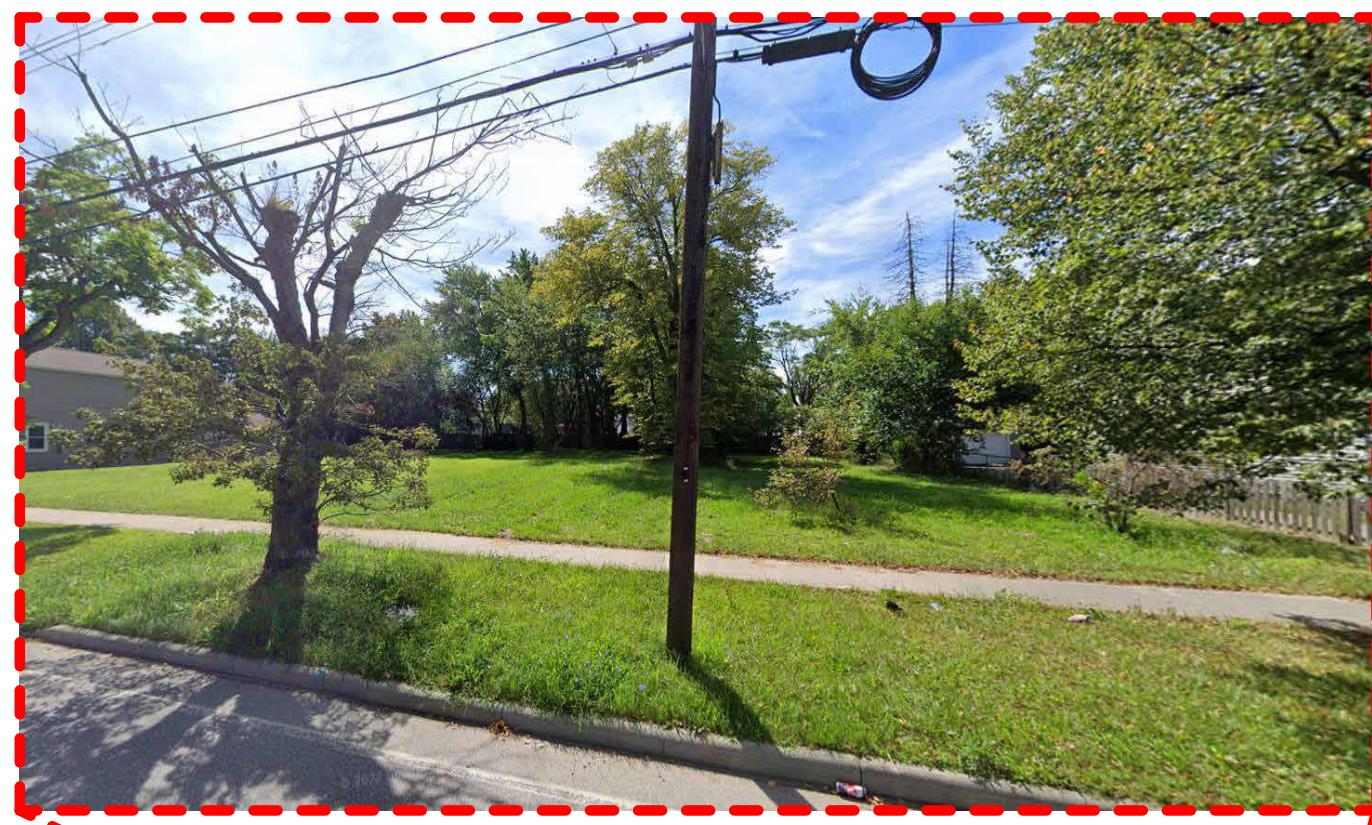


SITE PLAN LEGEND (ALTERNATE)		EXISTING PARCELS: 28	
<div></div>	2-BED UNIT	<div></div>	PROPERTY BOUNDARY
<div></div>	3-BED UNIT	<div></div>	PROPERTY BOUNDARY - FUTURE
DUPLEX COUNT: 27		TOTAL BUILDINGS: 27	
UNIT COUNT			
2-BED: 29	3-BED: 25	TOTAL UNITS: 54	






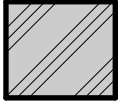
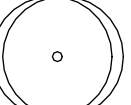

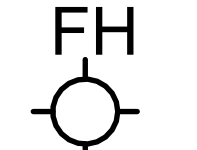



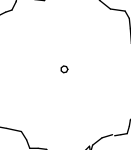



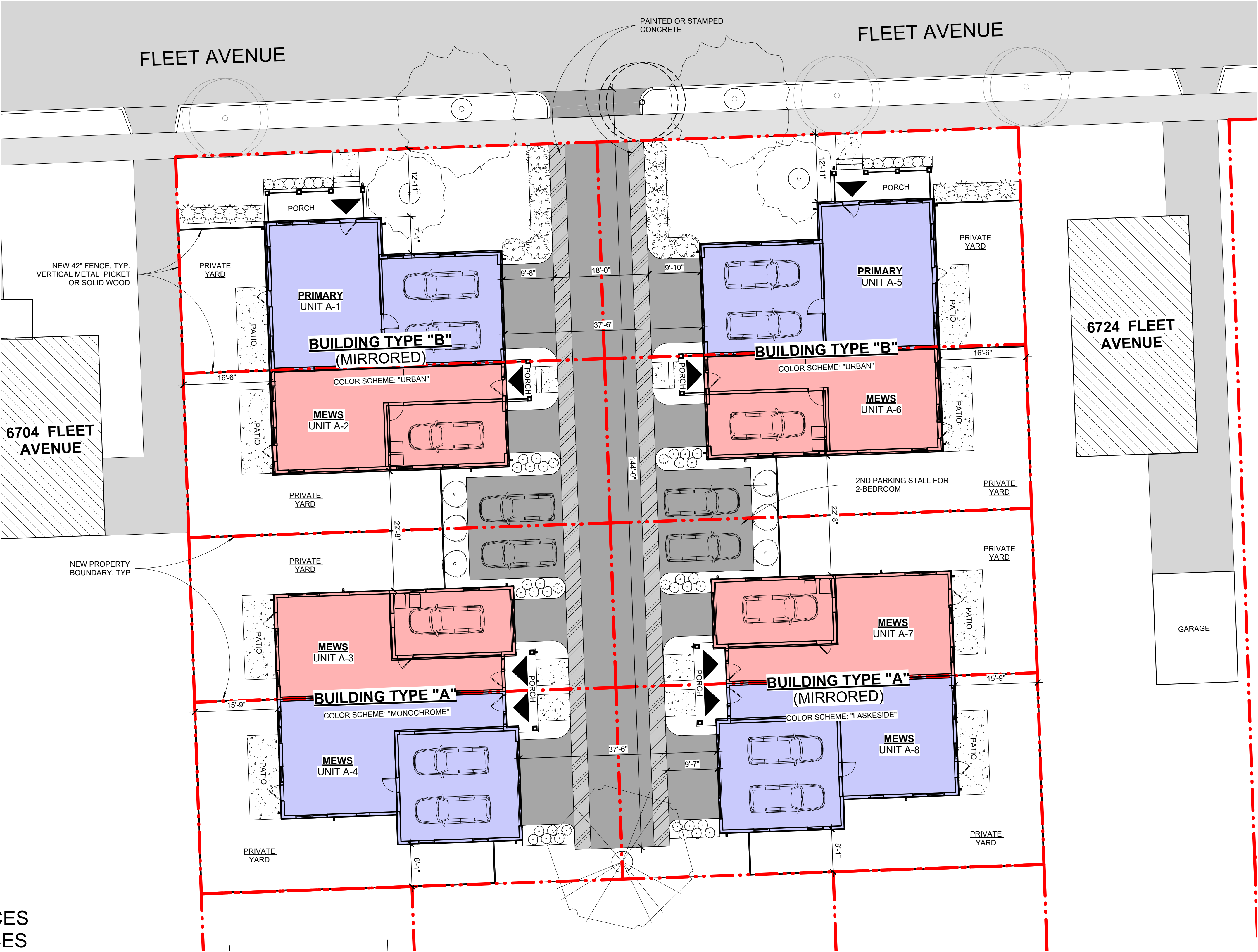








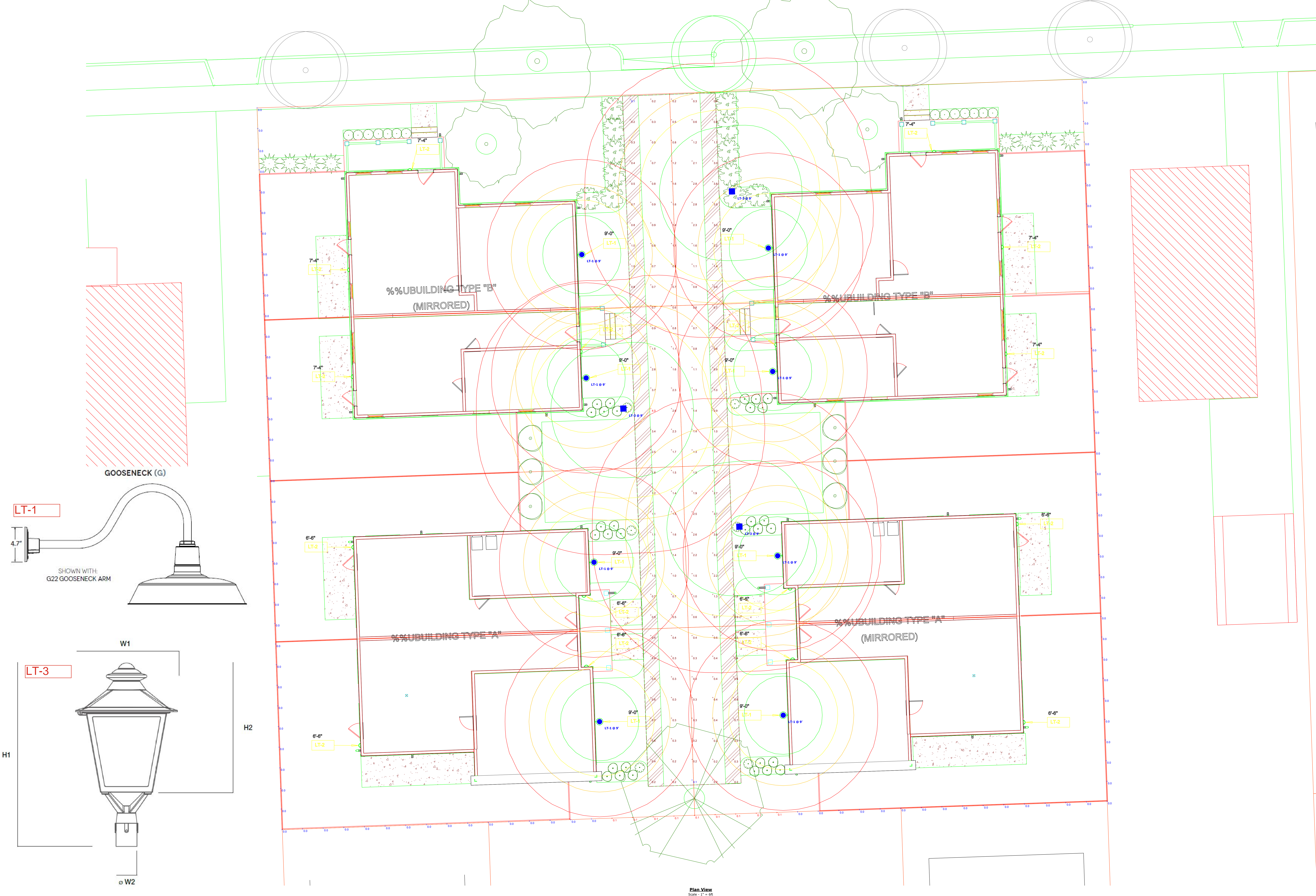
 TOWNHOME MAIN ENTRY	 PROPERTY BOUNDARY	 2-BED UNIT	 EXISTING WALK / DRIVE	 NEW CONCRETE	 NEW EXTENDED CURB	 EXISTING STEET TREE TREE
 SETBACK LINE	 FH EXISTING FIRE HYDRANT	 3-BED UNIT	 NEW DRIVEWAY	 EXISTING BUILDINGS	 NEW TREE	 DEMOLISHED STREET TREE



**DWELLING UNITS: 8**  
 - 3-BED: 4  
 - 2-BED: 4

**GARAGE PARKING:** 12 SPACES  
**SURFACE PARKING:** 4 SPACES





Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Boundary @ 0" AFG	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Pathway and Drive Lane @ 0" AFG	+	1.1 fc	4.0 fc	0.1 fc	40.0:1	11.0:1

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
⦿	LT-1	8	Barn Light	VARIES	BARN LIGHT - DOMED LENS - WHS	1	800	0.9	10
⊠	LT-3	3	ALS	PTL-30SC-5M	CARRIAGE LANTERN POST TOP	1	2863	0.9	30.5

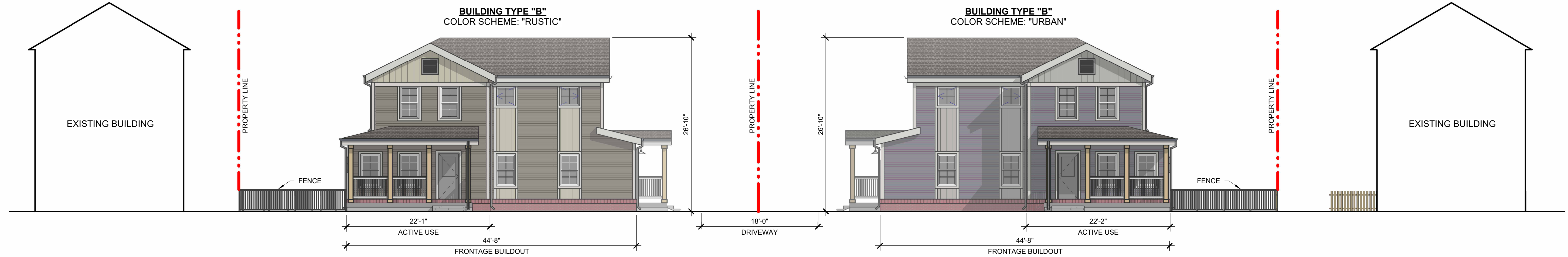
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2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE. SITE DETAILS PROVIDED HEREON ARE REPRODUCED THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS MAY BE MADE TO THE DRAWING.

4. THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.













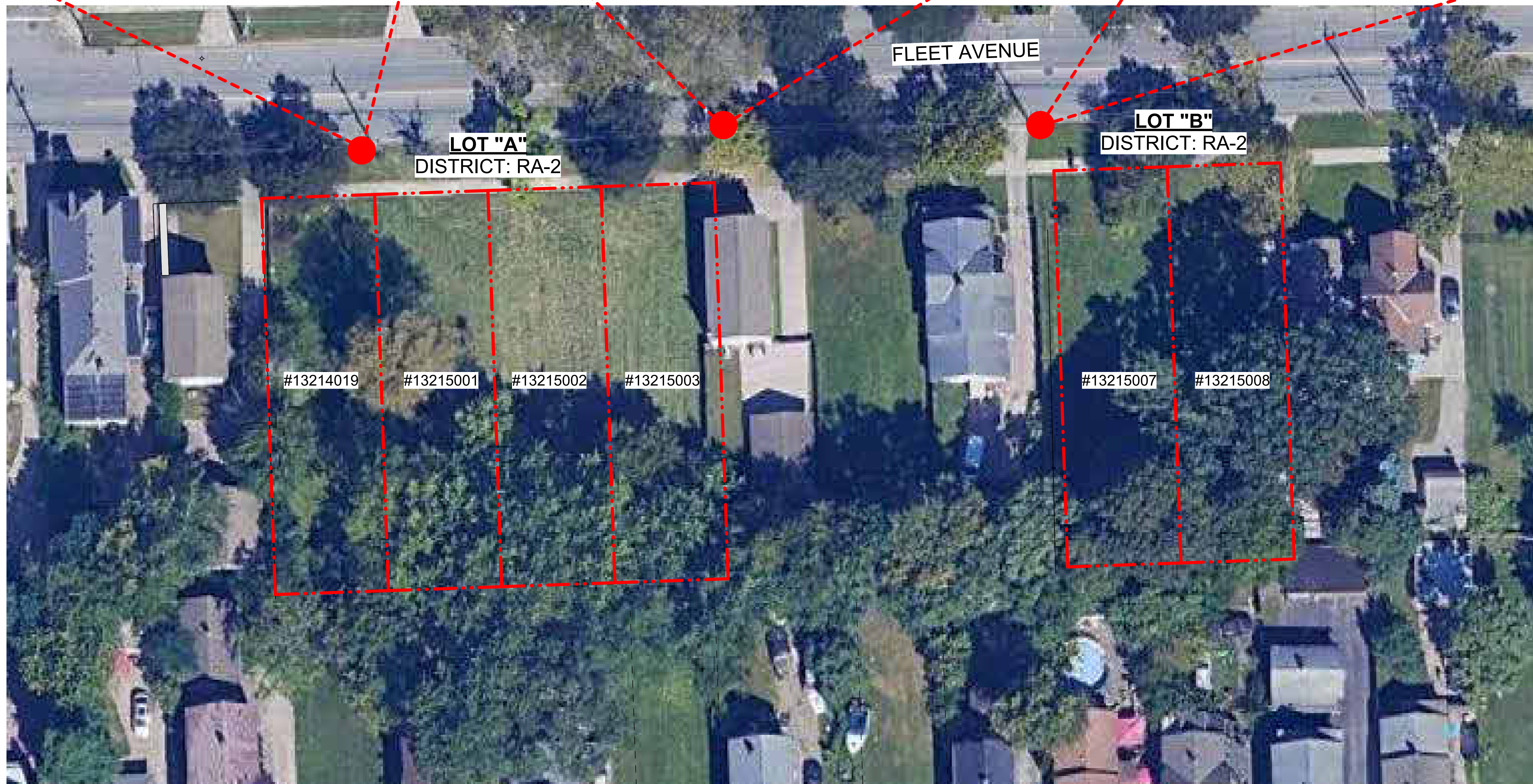
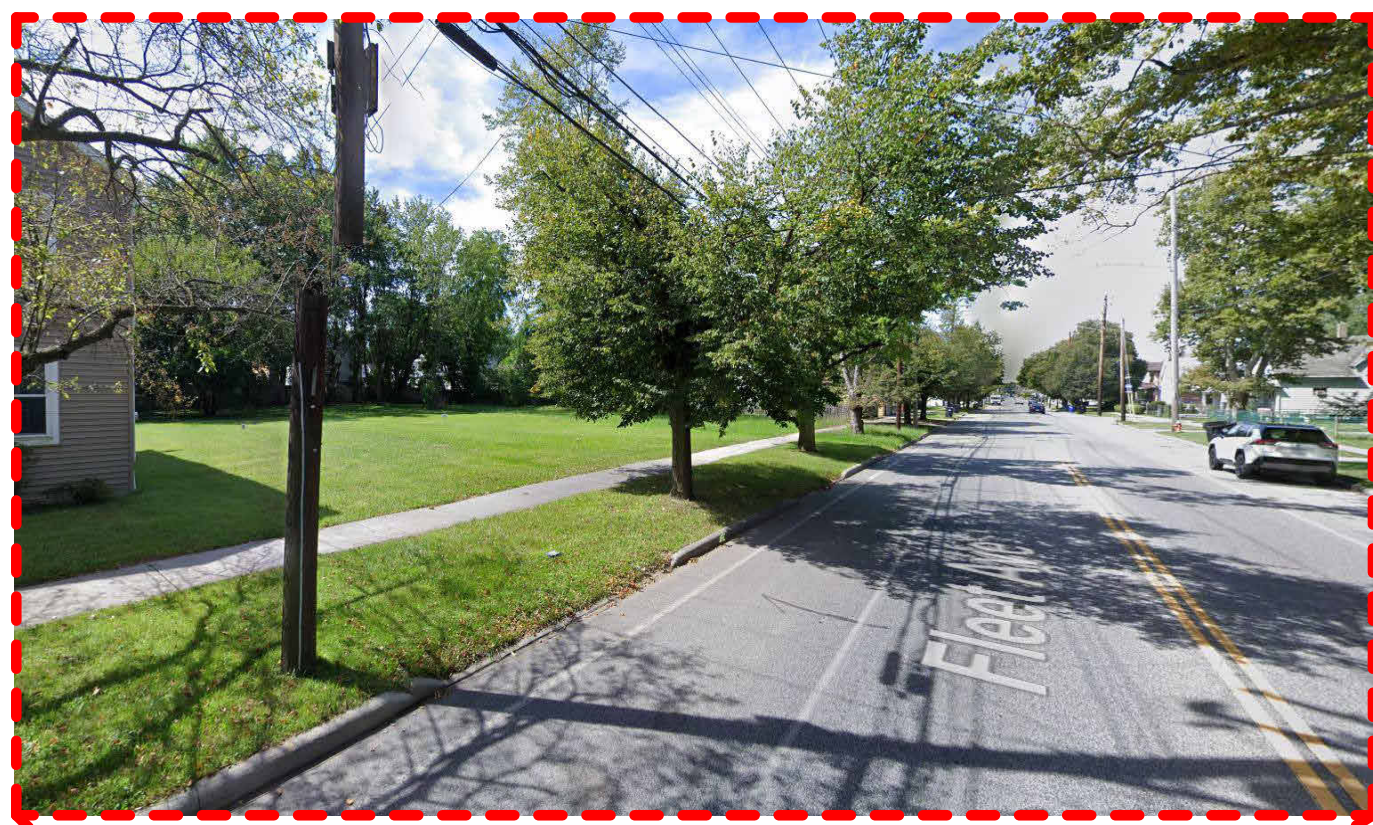
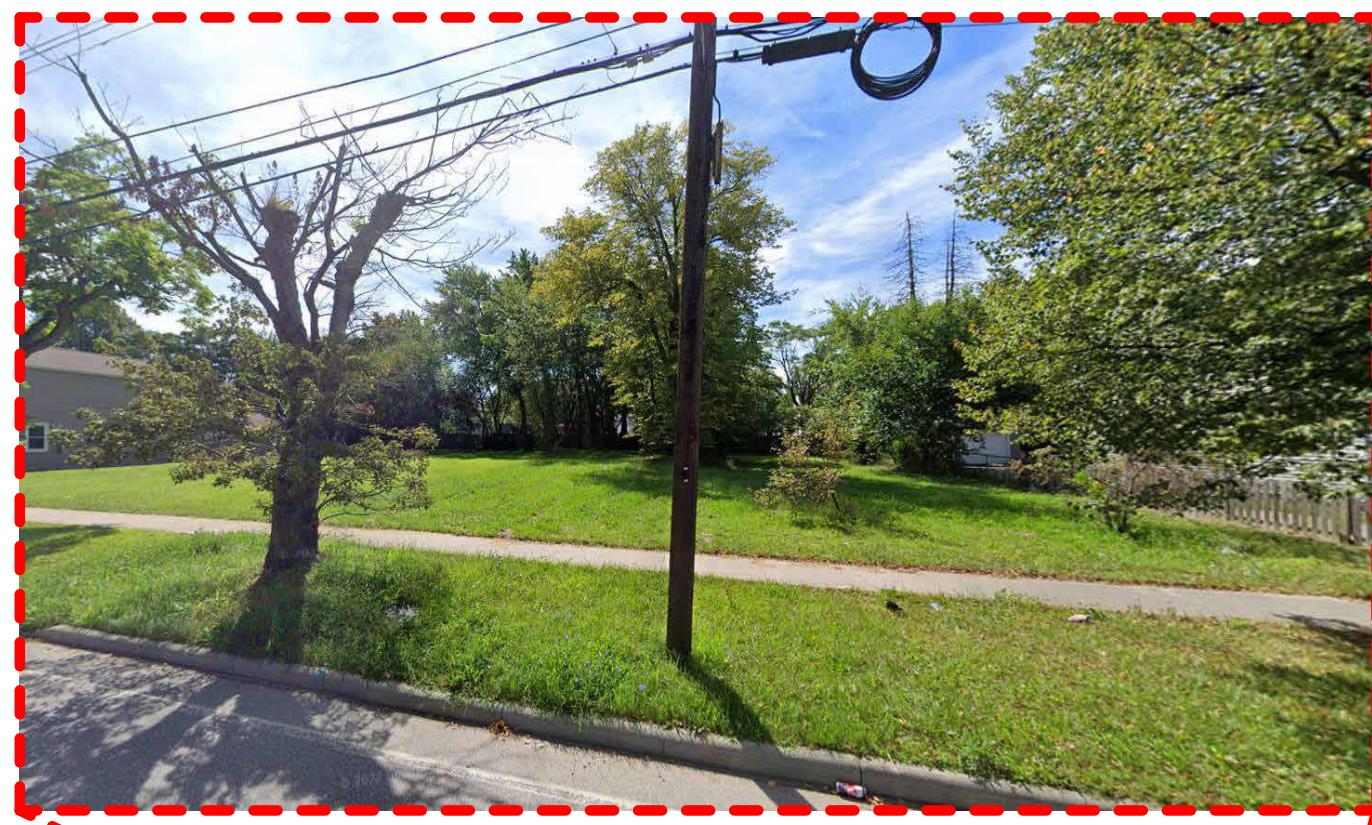







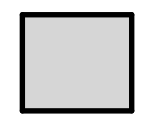

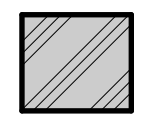


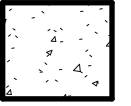

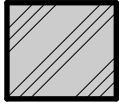
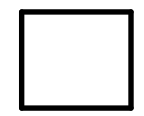
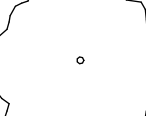



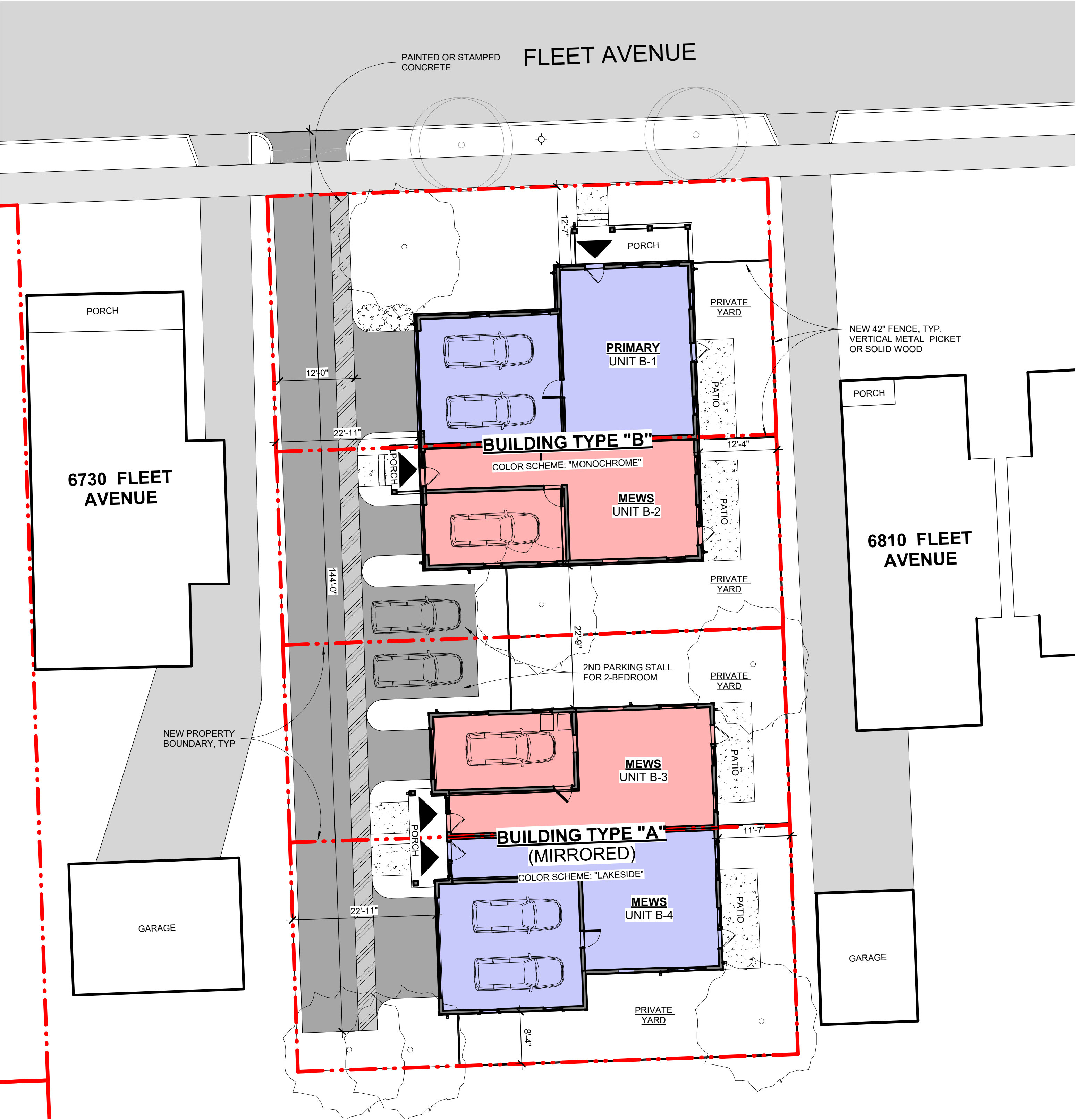






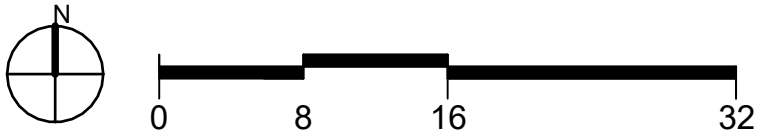


 TOWNHOME MAIN ENTRY	 PROPERTY BOUNDARY	 2-BED UNIT	 EXISTING WALK / DRIVE	 NEW CONCRETE	 NEW EXTENDED CURB	 EXISTING STREET TREE
 SETBACK LINE	 EXISTING FIRE HYDRANT	 3-BED UNIT	 NEW DRIVEWAY	 EXISTING BUILDINGS	 NEW TREE	 DEMOLISHED STREET TREE

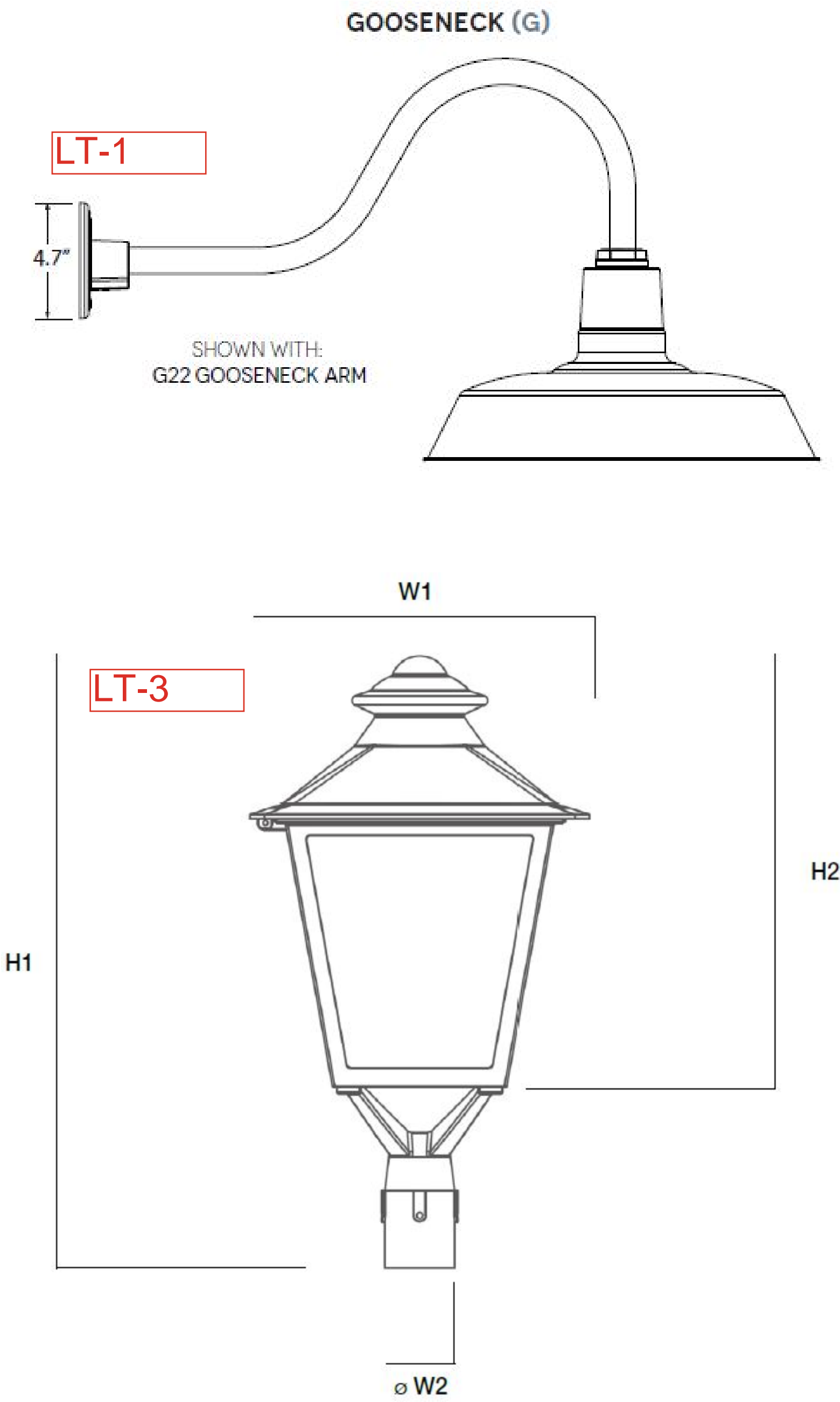
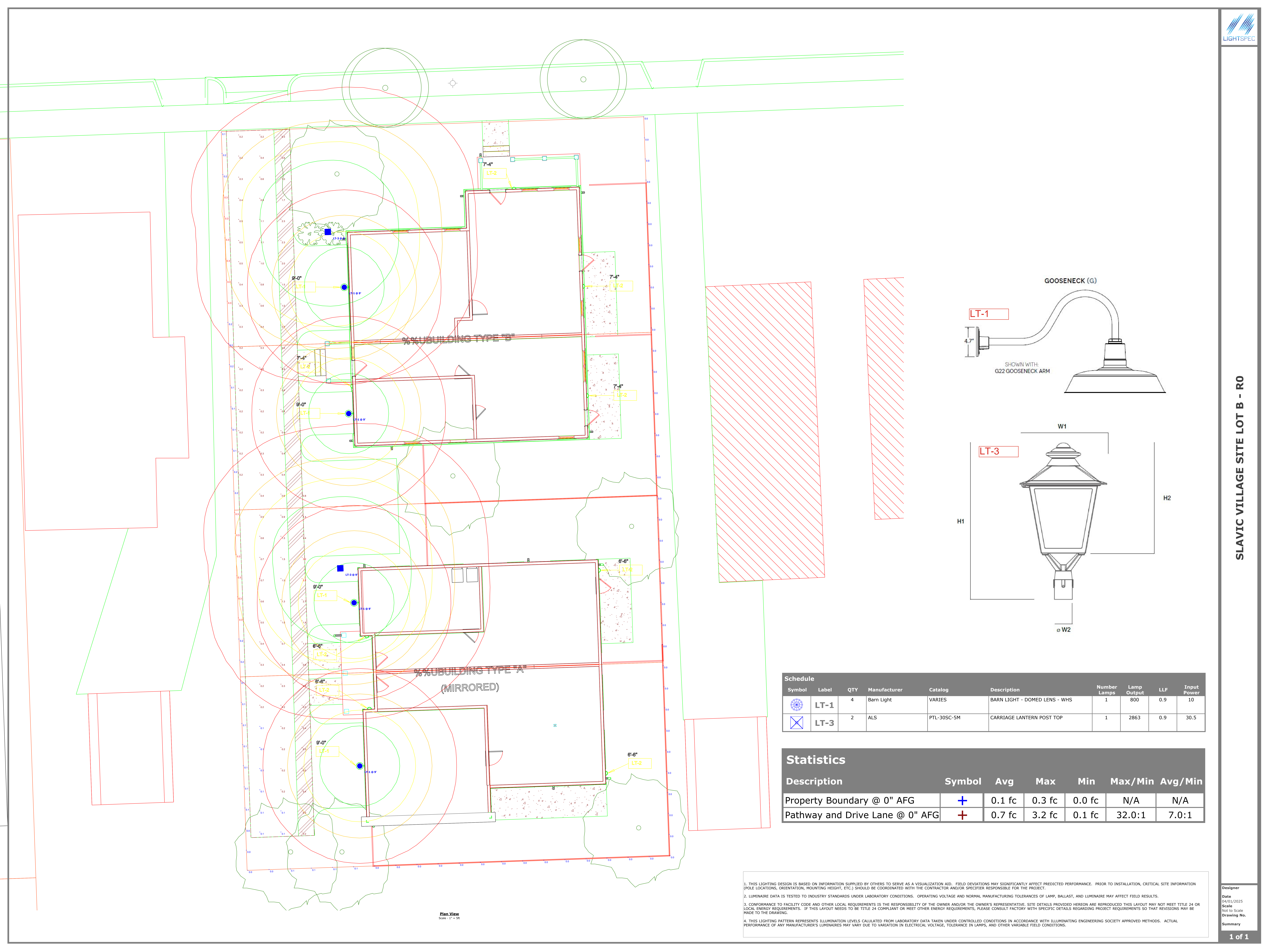


**DWELLING UNITS: 4**  
 - 3-BED: 2  
 - 2-BED: 2

**GARAGE PARKING:** 6 SPACES  
**SURFACE PARKING:** 2 SPACES







Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	LT-1	4	Barn Light	VARIES	BARN LIGHT - DOMED LENS - WHS	1	800	0.9	10
	LT-3	2	ALS	PTL-30SC-5M	CARRIAGE LANTERN POST TOP	1	2863	0.9	30.5

Statistics						
Description		Symbol	Avg	Max	Min	Avg/Min
Property Boundary @ 0" AFG		+	0.1 fc	0.3 fc	0.0 fc	N/A
Pathway and Drive Lane @ 0" AFG		+	0.7 fc	3.2 fc	0.1 fc	32.0:1

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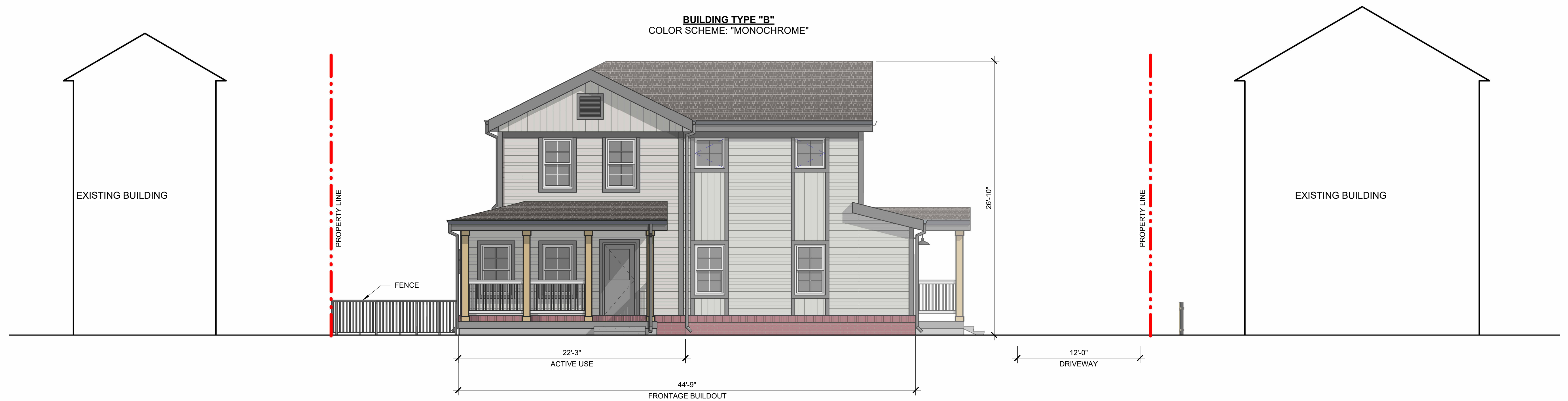
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Plan View  
Scale: 1" = 50'



















TOWNHOME MAIN ENTRY  
 SETBACK LINE

PROPERTY BOUNDARY  
 EXISTING FIRE HYDRANT

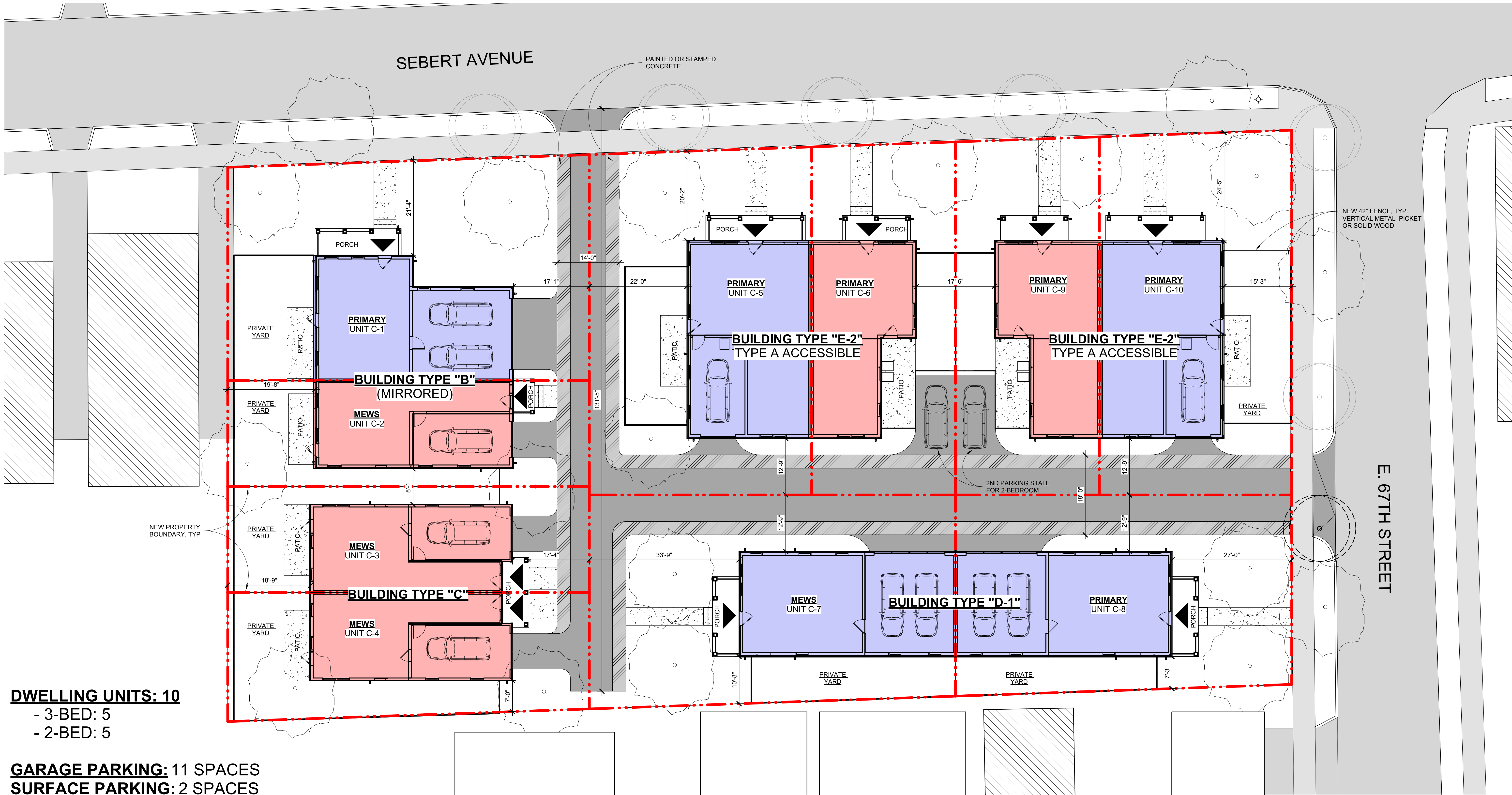
2-BED UNIT  
 3-BED UNIT

EXISTING WALK / DRIVE  
 NEW DRIVEWAY

NEW CONCRETE  
 EXISTING BUILDINGS

NEW EXTENDED CURB  
 NEW TREE

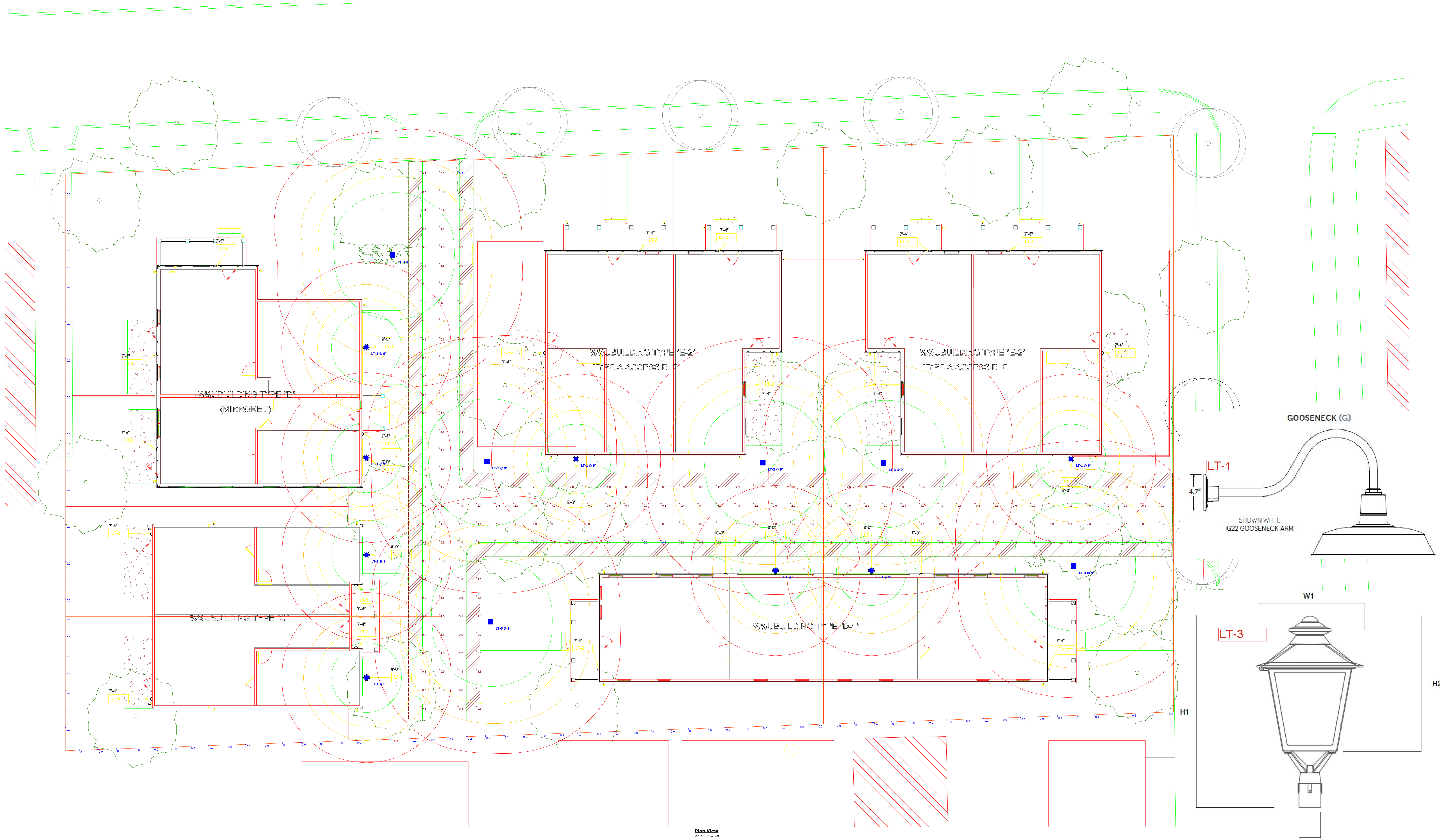
EXISTING STREET TREE  
 DEMOLISHED STREET TREE



**DWELLING UNITS: 10**  
 - 3-BED: 5  
 - 2-BED: 5

**GARAGE PARKING:** 11 SPACES  
**SURFACE PARKING:** 2 SPACES





Plan View  
Scale: 1" = 76'

## Statistics

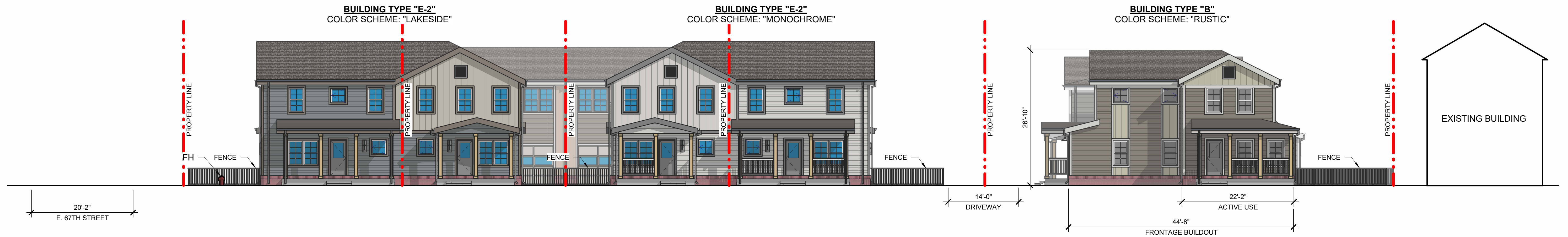
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Propert Boundary @ 0" AFG	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
Pathway and Drive Lane @ 0" AFG	+	1.3 fc	4.1 fc	0.2 fc	20.5:1	6.5:1

## Schedule

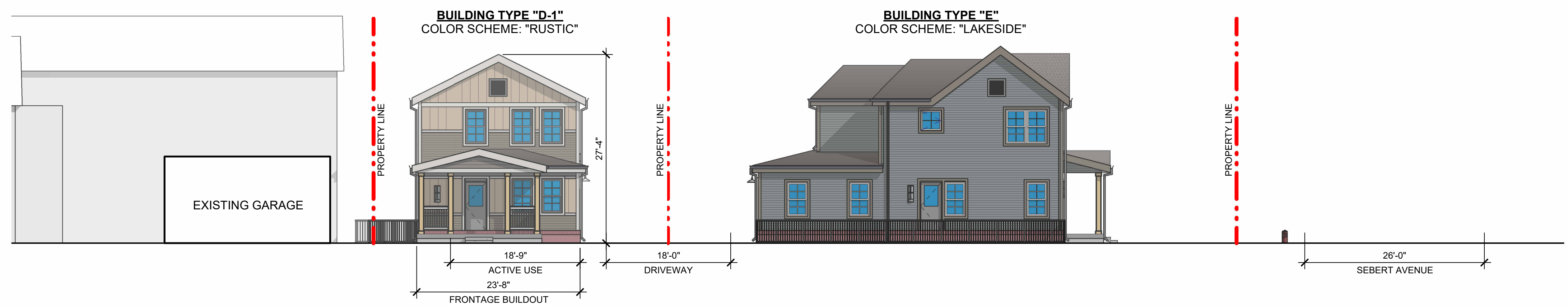
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	LT-1	8	Barn Light	VARIES	BARN LIGHT - DOMED LENS - WHS	1	800	0.9	10
	LT-3	6	ALS	PTL-30SC-5M	CARRIAGE LANTERN POST TOP	1	2863	0.9	30.5

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STREET ELEVATION - LOT "C" - SEBERT AVENUE CPC



STREET ELEVATION - LOT "C" - E. 67TH STREET CPC





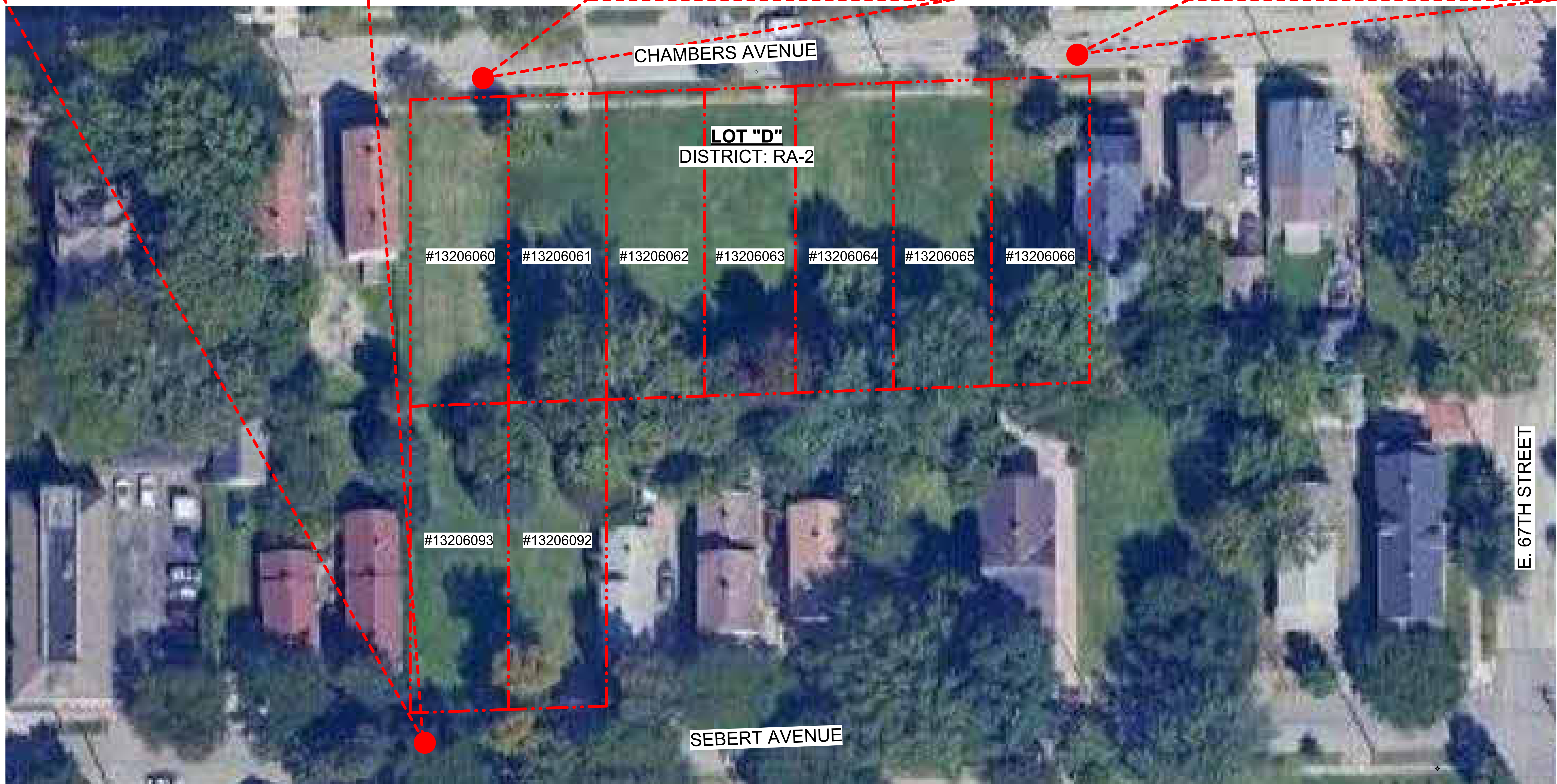














TOWNHOME MAIN ENTRY  
 SETBACK LINE

PROPERTY BOUNDARY  
 EXISTING FIRE HYDRANT

2-BED UNIT  
 3-BED UNIT

EXISTING WALK / DRIVE  
 NEW DRIVEWAY

NEW CONCRETE  
 EXISTING BUILDINGS

NEW EXTENDED CURB  
 NEW TREE

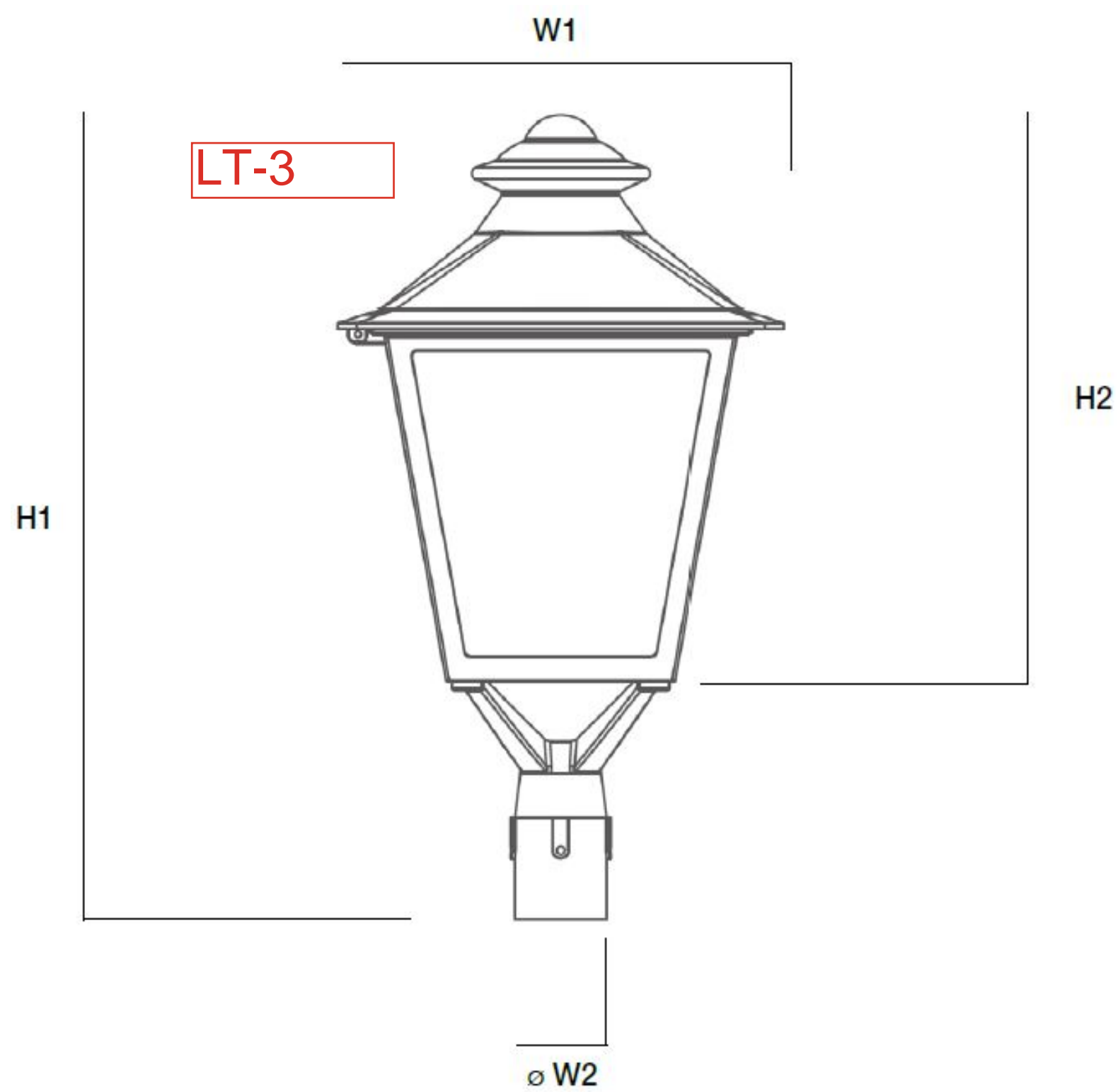
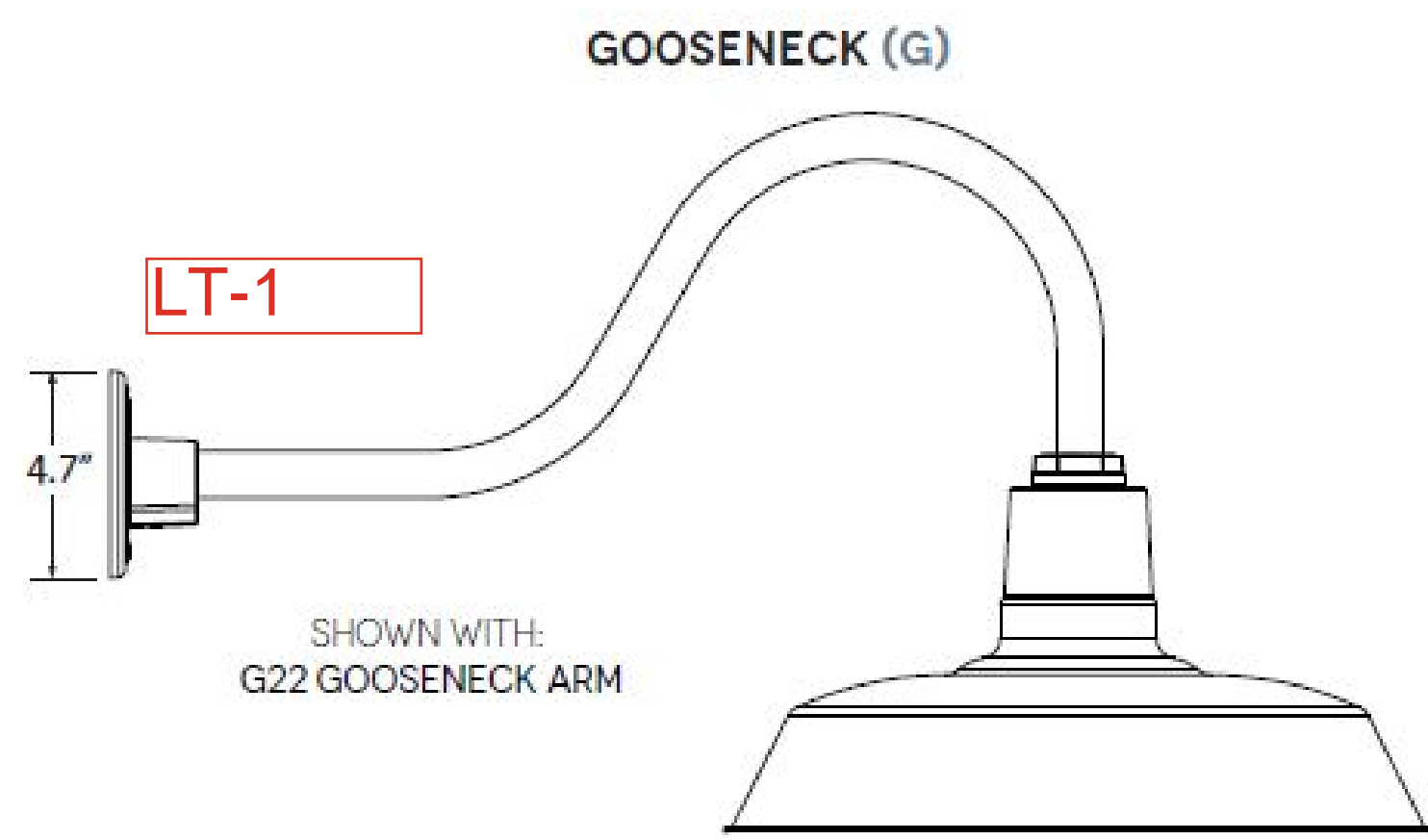
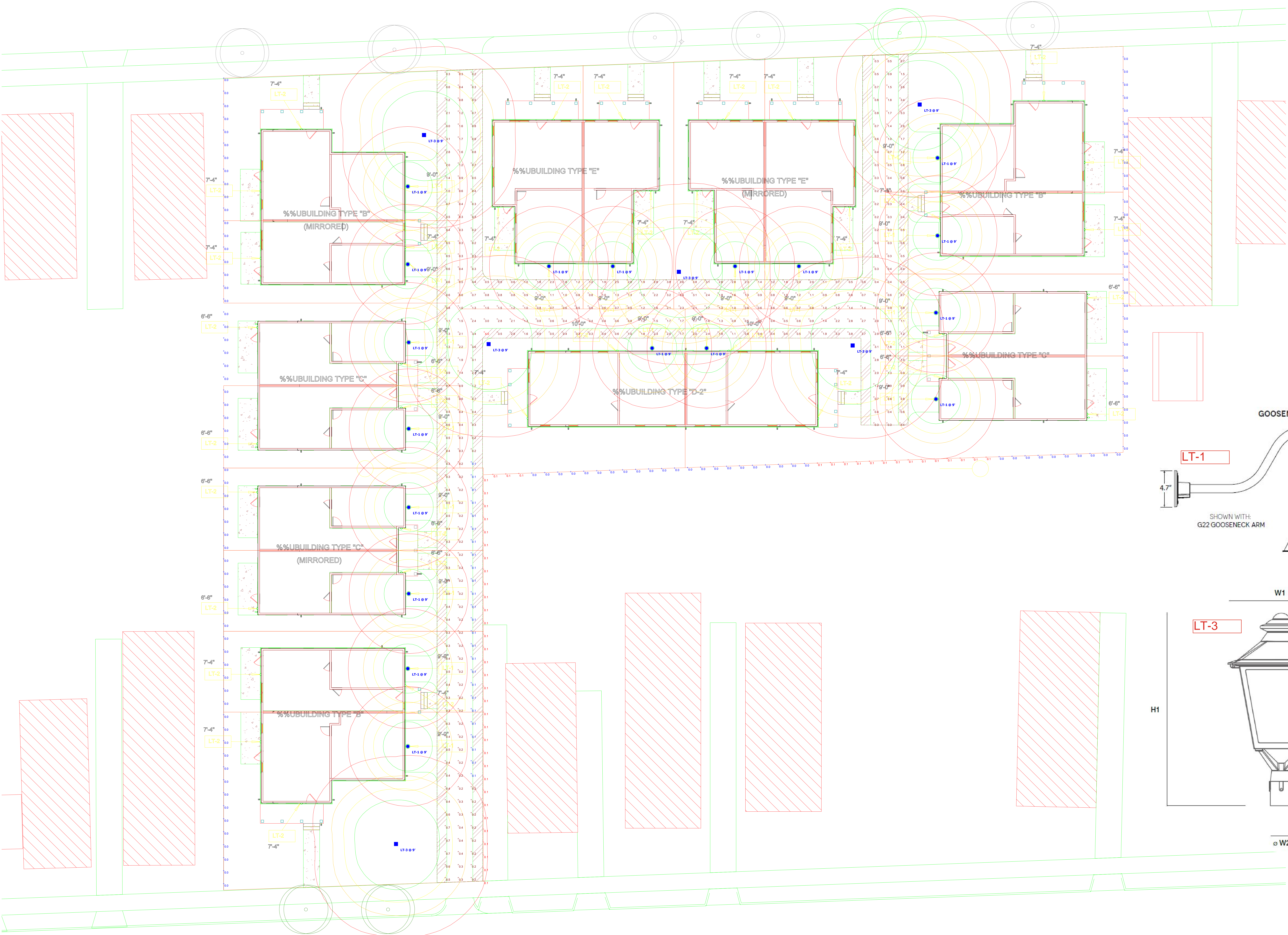
EXISTING STREET TREE  
 DEMOLISHED STREET TREE



**DWELLING UNITS: 18**  
 - 3-BED: 6  
 - 2-BED: 12

**GARAGE PARKING: 24 SPACES**  
**SURFACE PARKING: 0 SPACES**





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Boundary (Plan East) @ 0" AFG	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Property Boundary (Plan West) @ 0" AFG	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Pathway and Drive Lanes @ 0" AFG	+	1.0 fc	4.0 fc	0.1 fc	40.0:1	10.0:1

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	LT-1	18	Barn Light	VARIES	BARN LIGHT - DOMED LENS - WHS	1	800	0.9	10
	LT-3	6	ALS	PTL-30SC-5M	CARRIAGE LANTERN POST TOP	1	2863	0.9	30.5

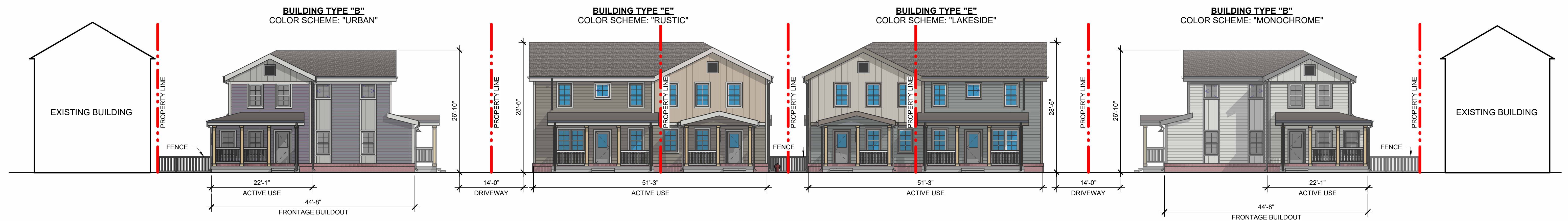
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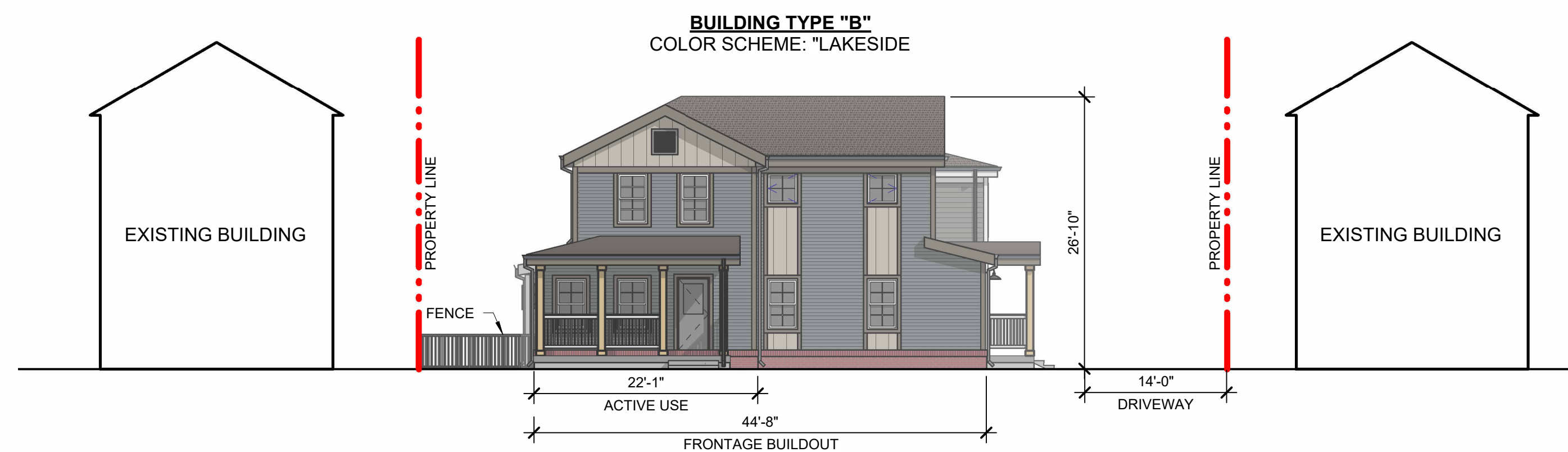
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STREET ELEVATION LOT "D" - CHAMBERS AVE. CPC



STREET ELEVATION - LOT "D" - SEBERT AVENUE CPC





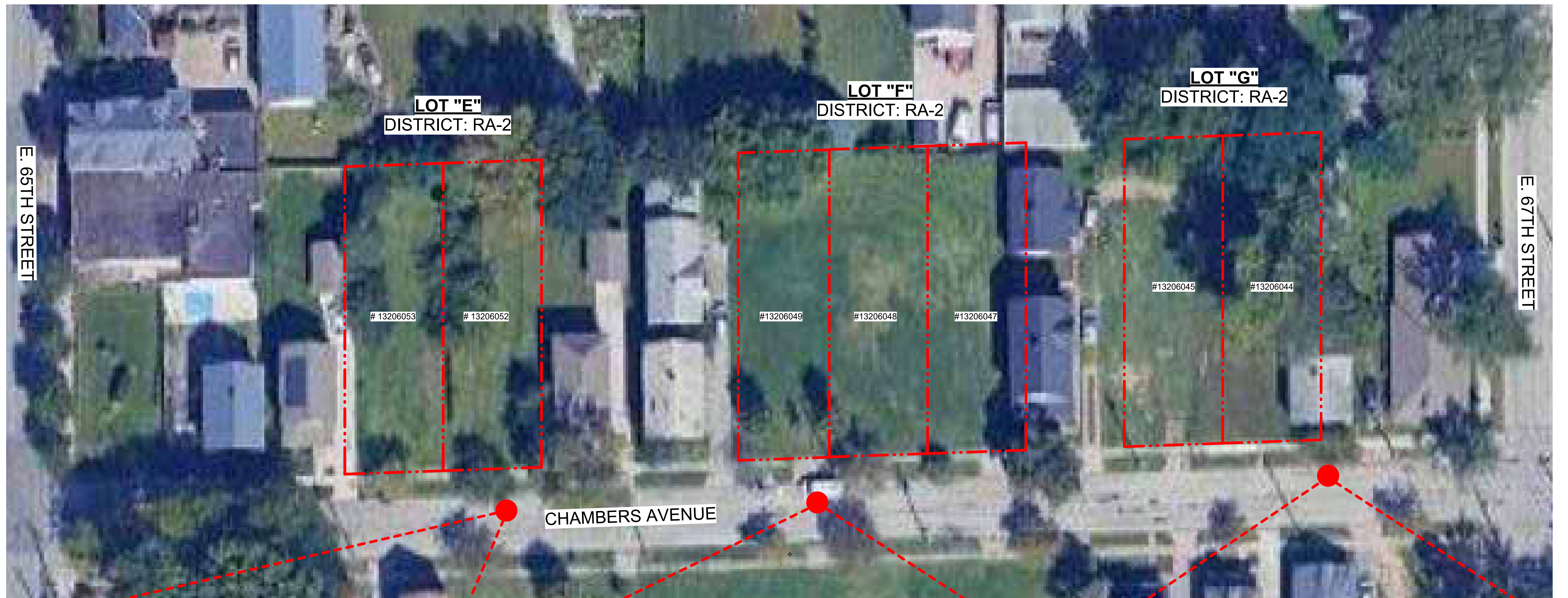



















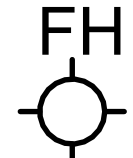
TOWNHOME  
MAIN ENTRY




SETBACK LINE




PROPERTY  
BOUNDARY




FH  
EXISTING FIRE  
HYDRANT




2-BED UNIT



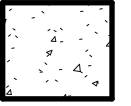
3-BED UNIT



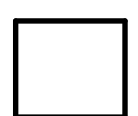
EXISTING WALK / DRIVE



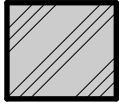
NEW DRIVEWAY



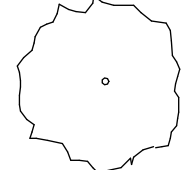
NEW CONCRETE



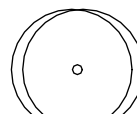
EXISTING BUILDINGS




NEW EXTENDED CURB



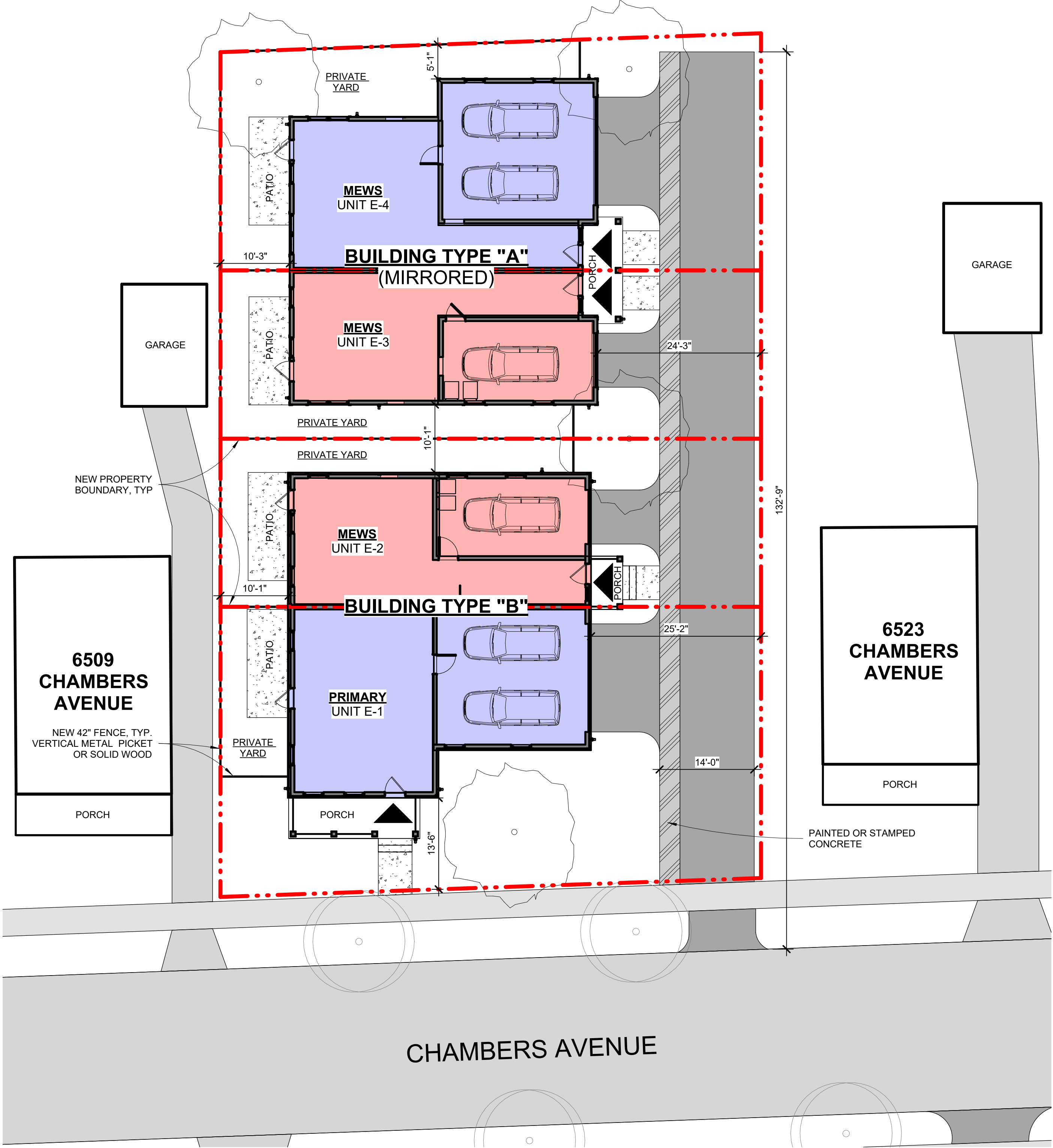
NEW TREE



EXISTING STEET  
TREE TREE



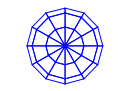
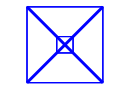
DEMOLISHED  
STREET TREE





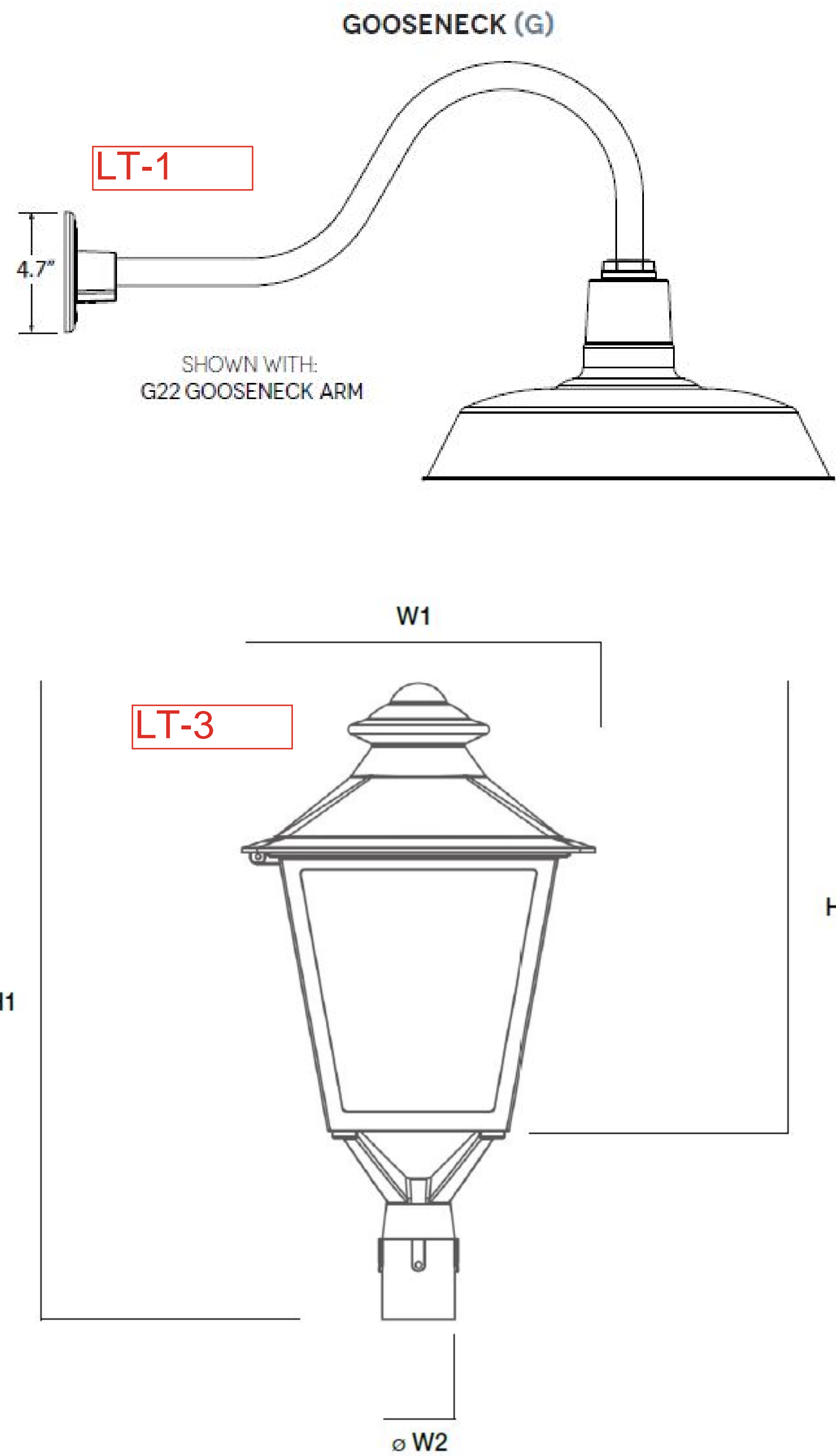
**DWELLING UNITS: 4**  
- 3-BED: 2  
- 2-BED: 2

**GARAGE PARKING:** 6 SPACES  
**SURFACE PARKING:** 0 SPACES



Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	LT-1	4	BARN LIGHT	VARIES	BARN LIGHT - DOMED LENS - WHS	1	800	0.9	10
	LT-3	2	ALS	PTL-30SC-5M	CARRIAGE LANTERN POST TOP	1	2863	0.9	30.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Boundary @ 0" AFG		0.1 fc	0.3 fc	0.0 fc	N/A	N/A
Path and Drive Lanes @ 0" AFG		0.5 fc	1.8 fc	0.1 fc	18.0:1	5.0:1



- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SERVE AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
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- CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE. SITE DETAILS PROVIDED HEREON ARE REPRODUCED THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.
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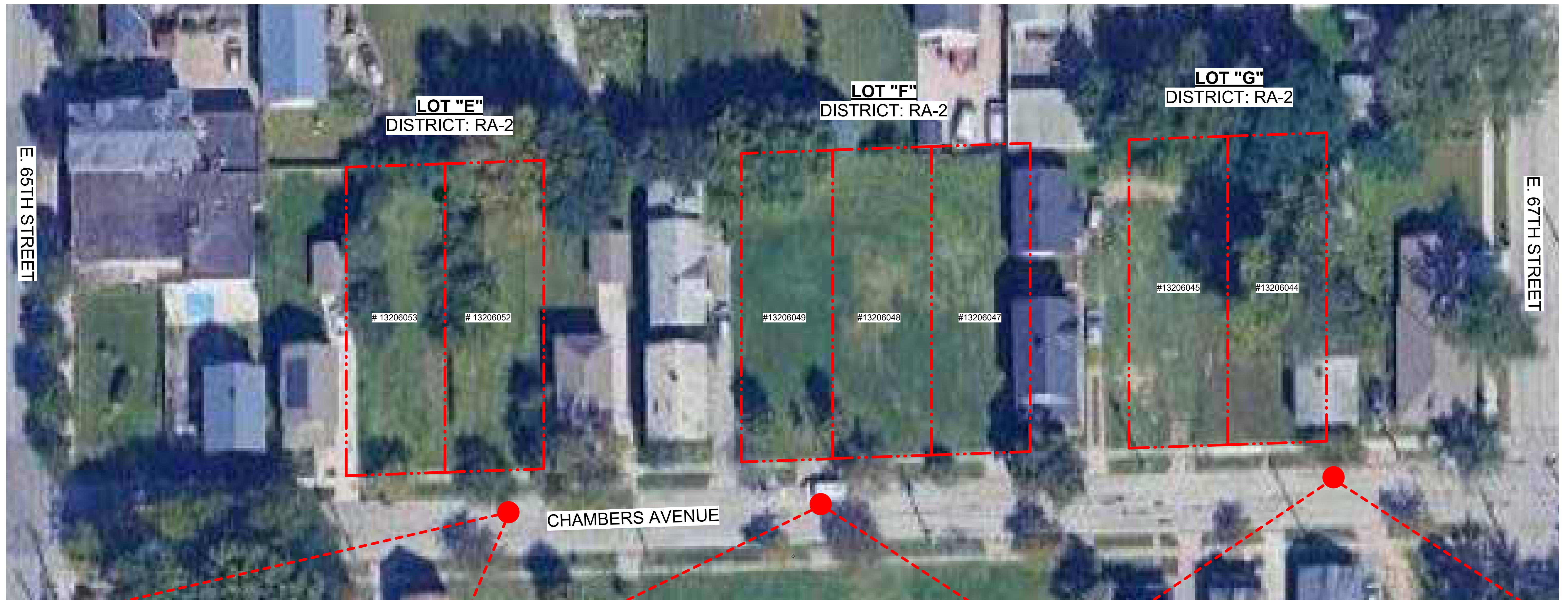



















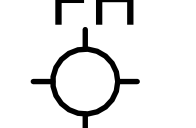
TOWNHOME  
MAIN ENTRY




SETBACK LINE




PROPERTY  
BOUNDARY




FH  
EXISTING FIRE  
HYDRANT




2-BED UNIT



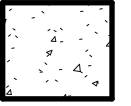
3-BED UNIT




EXISTING WALK / DRIVE



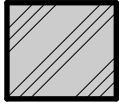
NEW DRIVEWAY



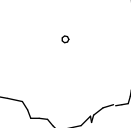
NEW CONCRETE



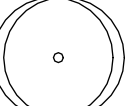
EXISTING BUILDINGS




NEW EXTENDED CURB



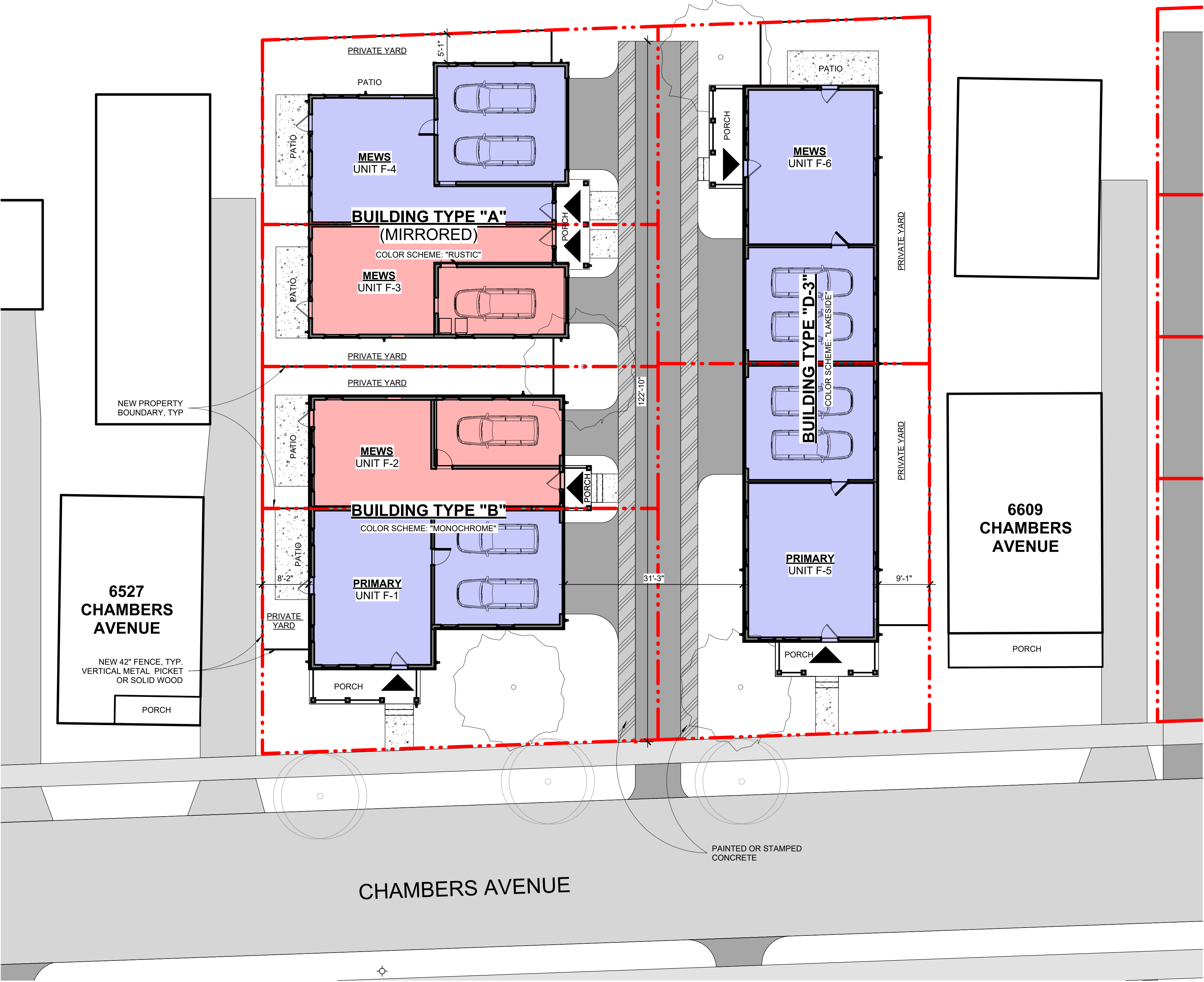
NEW TREE



EXISTING STEET  
TREE TREE



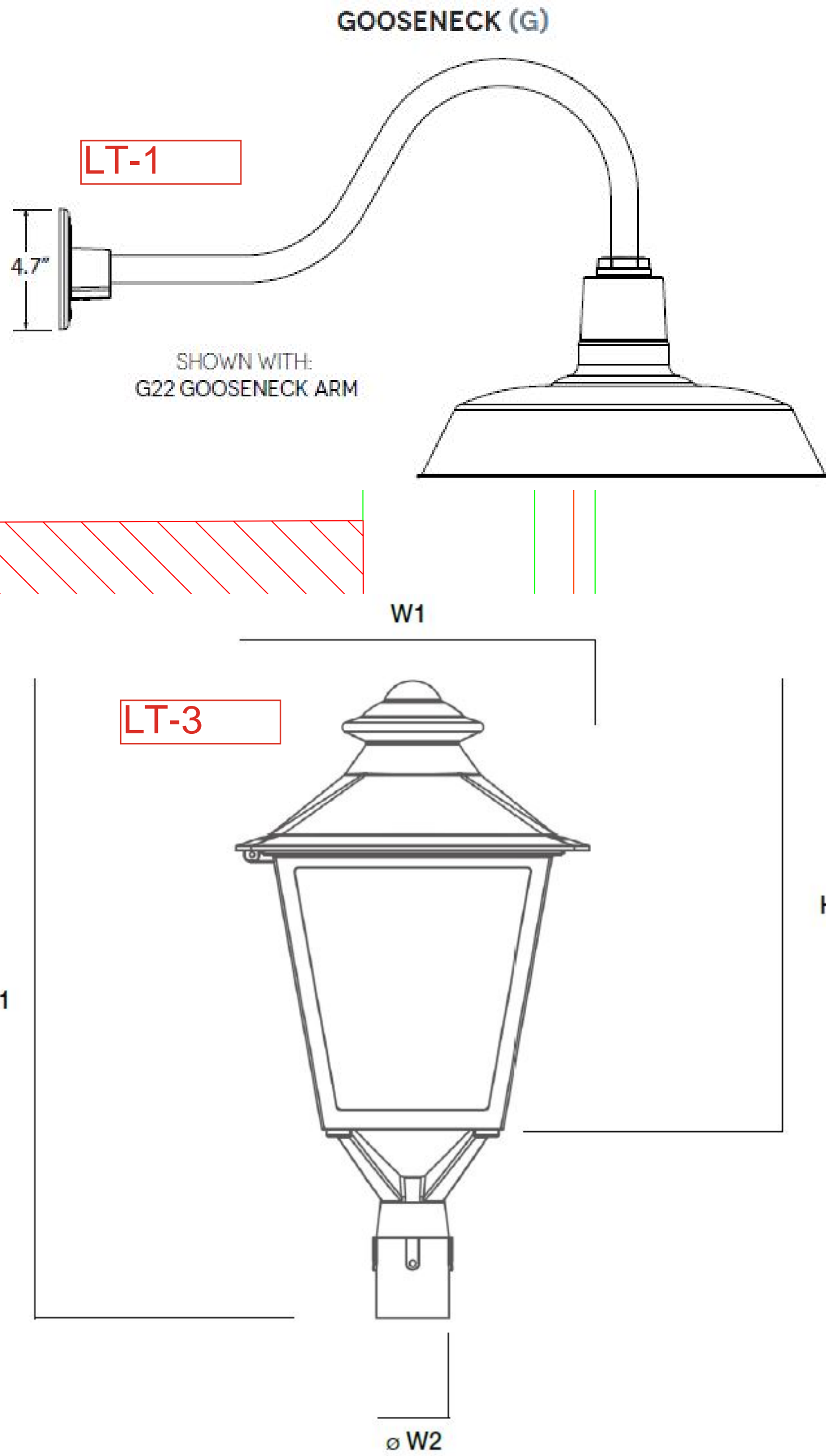
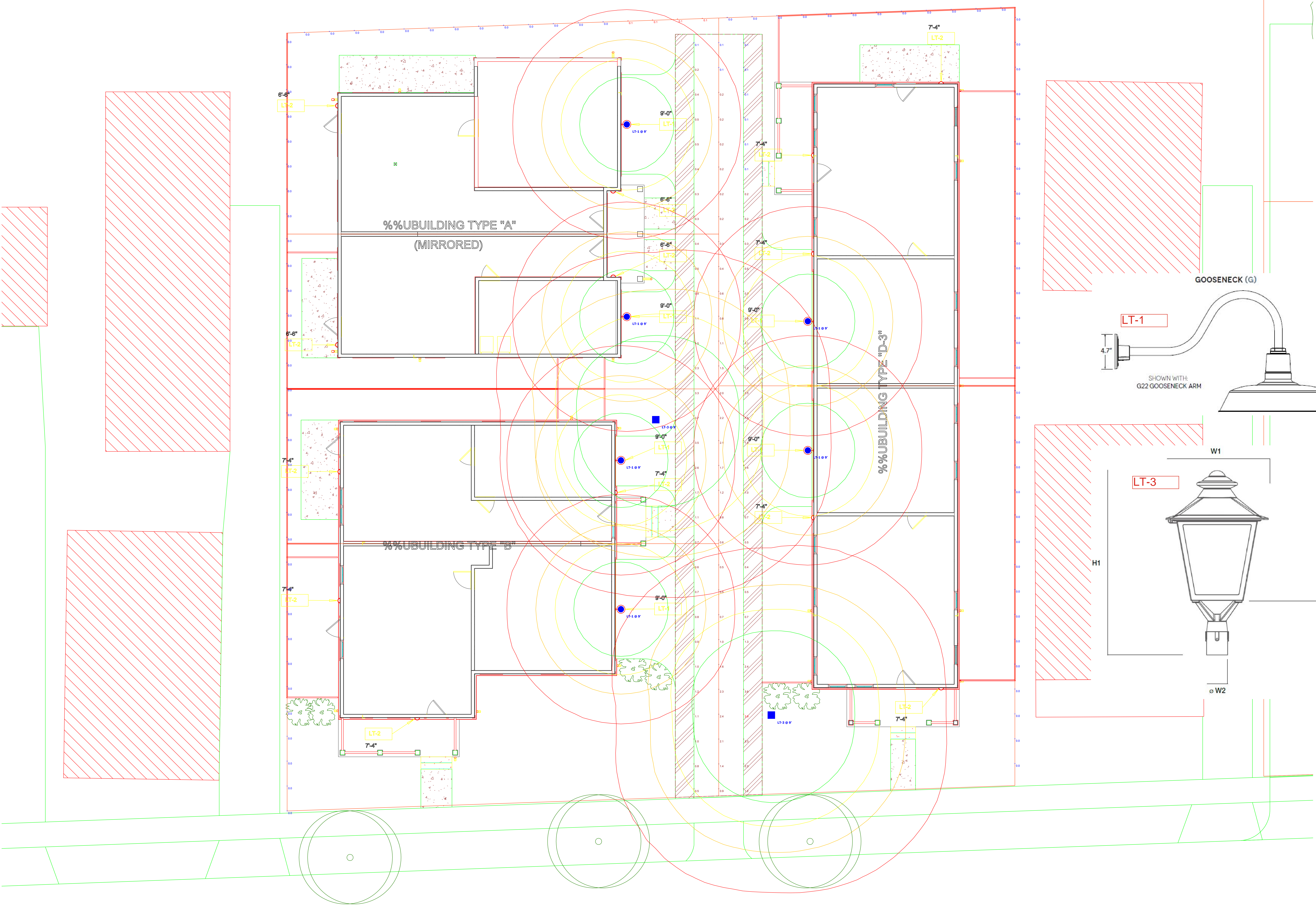
DEMOLISHED  
STREET TREE



**DWELLING UNITS: 6**  
- 3-BED: 4  
- 2-BED: 2

**GARAGE PARKING:** 10 SPACES  
**SURFACE PARKING:** 0 SPACES





Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	LT-1	6	BARN LIGHT	VARIES	BARN LIGHT - DOMED LENS - WHS	1	800	0.9	10
	LT-3	2	ALS	PTL-30SC-5M	POST TOP CARRIAGE LANTERN	1	2863	0.9	30.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Boundary @ 0" AFG		0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Path and Drive Lanes @ 0" AFG		1.1 fc	3.9 fc	0.1 fc	39.0:1	11.0:1

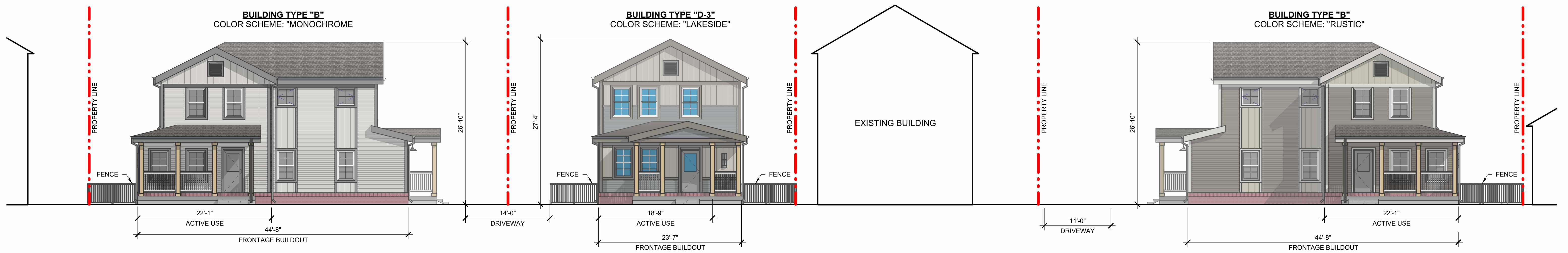
1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SERVE AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

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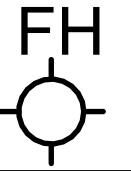
TOWNHOME  
MAIN ENTRY




SETBACK LINE




PROPERTY  
BOUNDARY




FH  
EXISTING FIRE  
HYDRANT




2-BED UNIT



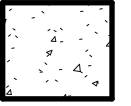
3-BED UNIT




EXISTING WALK / DRIVE



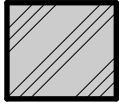
NEW DRIVEWAY



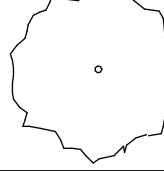
NEW CONCRETE



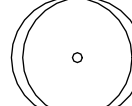
EXISTING BUILDINGS




NEW EXTENDED CURB



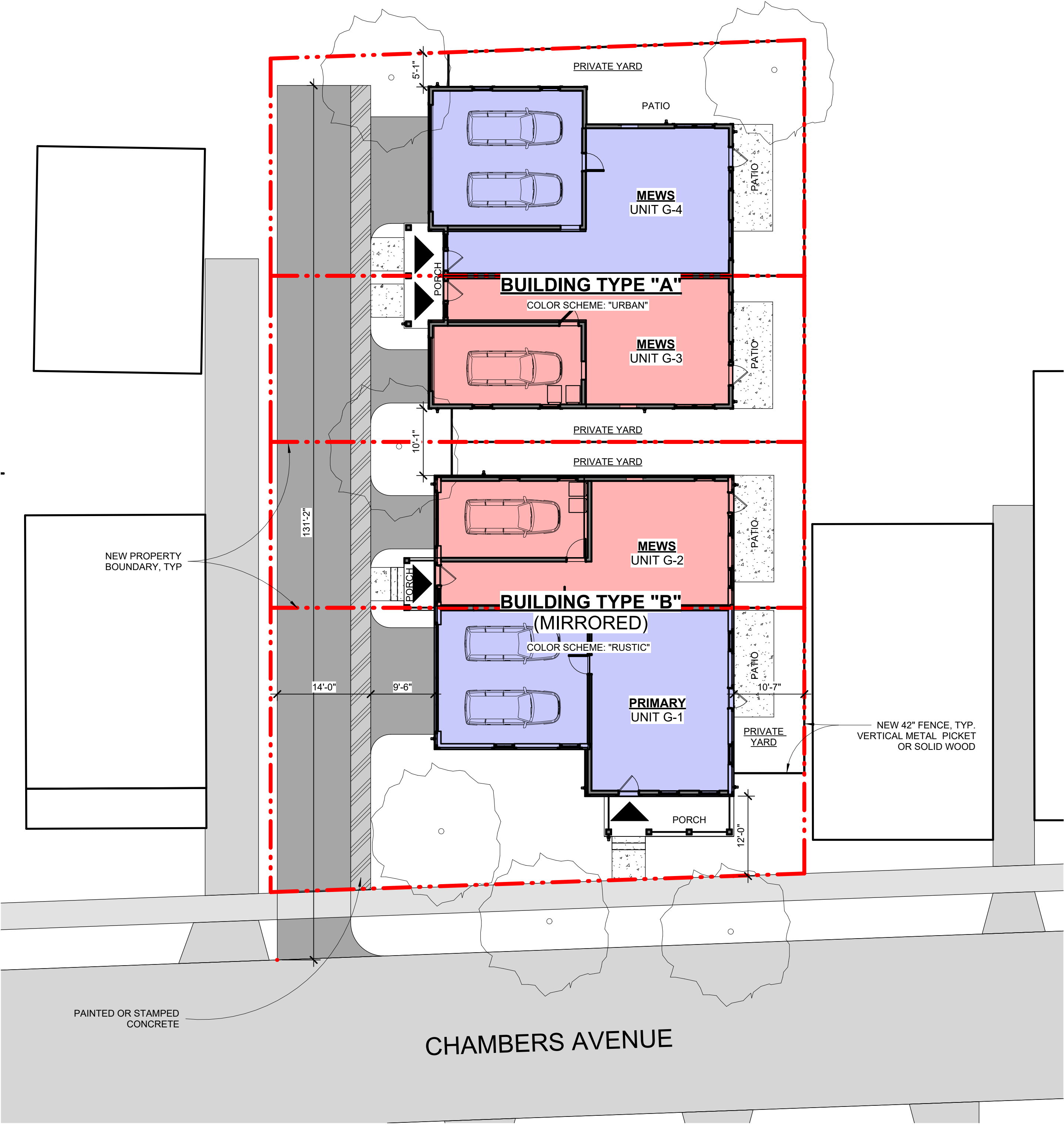
NEW TREE



EXISTING STEET  
TREE TREE



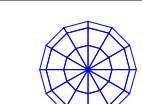
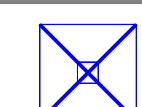
DEMOLISHED  
STREET TREE





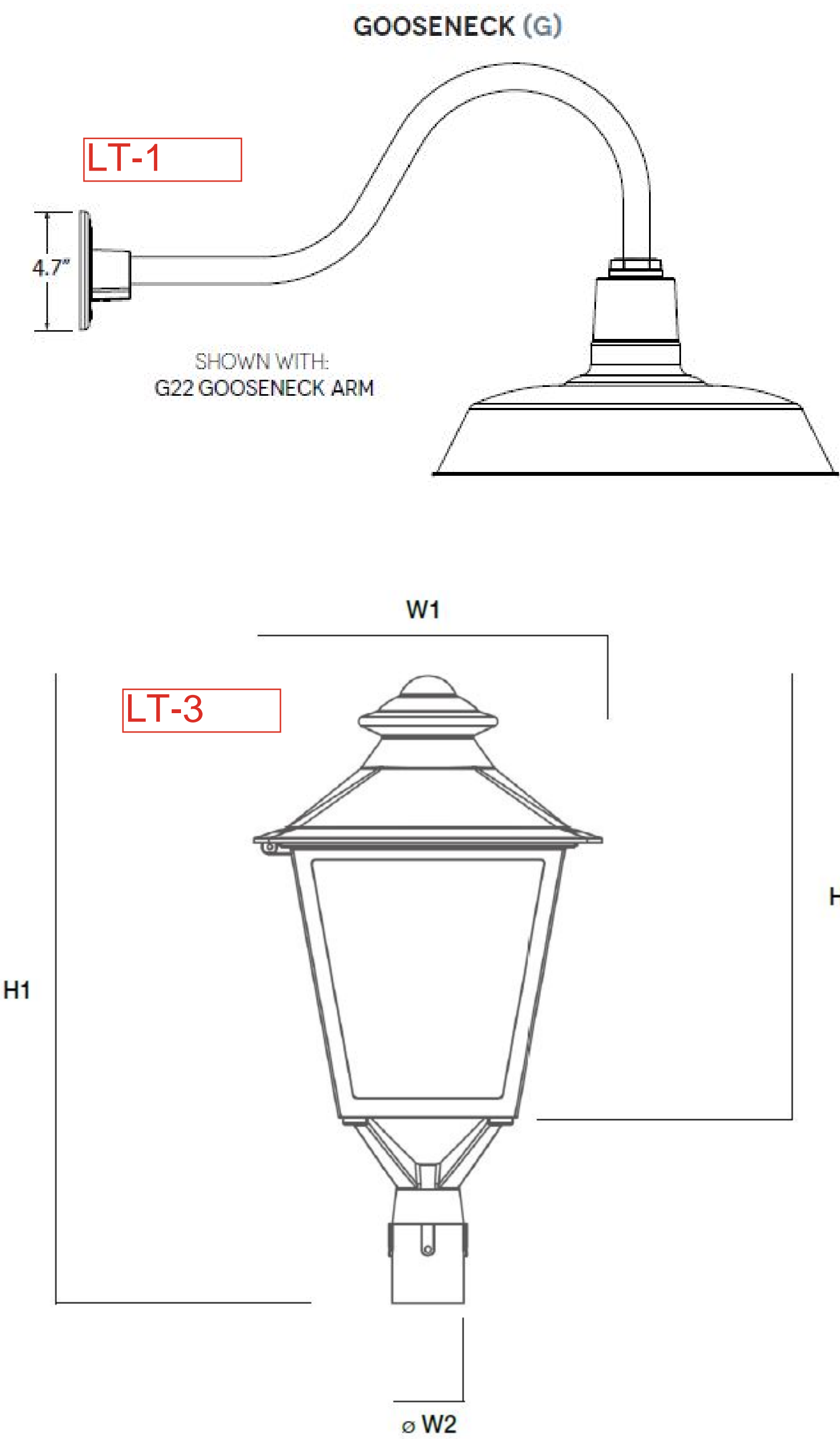
**DWELLING UNITS: 4**  
- 3-BED: 2  
- 2-BED: 2

**GARAGE PARKING:** 6 SPACES  
**SURFACE PARKING:** 0 SPACES



Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	LT-1	4	Barnlight	VARIES	BARN LIGHT - DOMED LENS - WHS	1	800	0.9	10
	LT-3	2	ALS	PTL-30SC-5M	POST TOP CARRIAGE LANTERN	1	2863	0.9	30.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Boundary @ 0" AFG		0.1 fc	0.2 fc	0.0 fc	N/A	N/A
Path and Drive Lanes @ 0" AFG		0.5 fc	1.7 fc	0.1 fc	17.0:1	5.0:1



Plan View  
Scale - 1" = 5ft

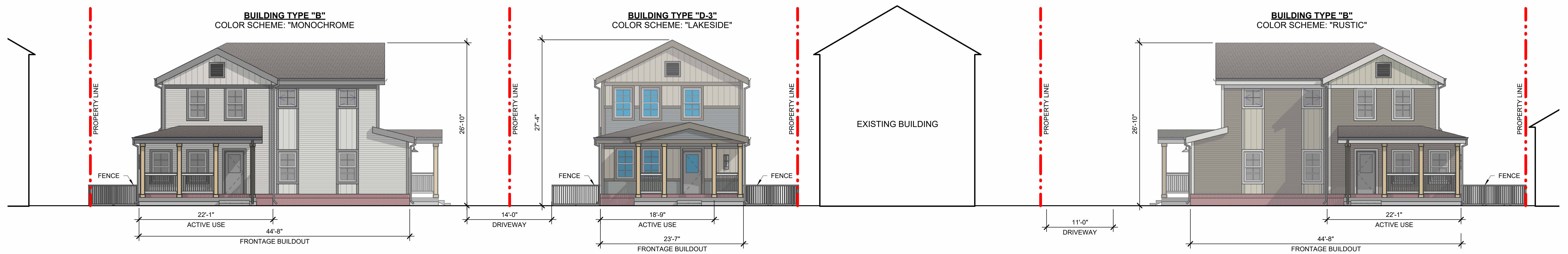
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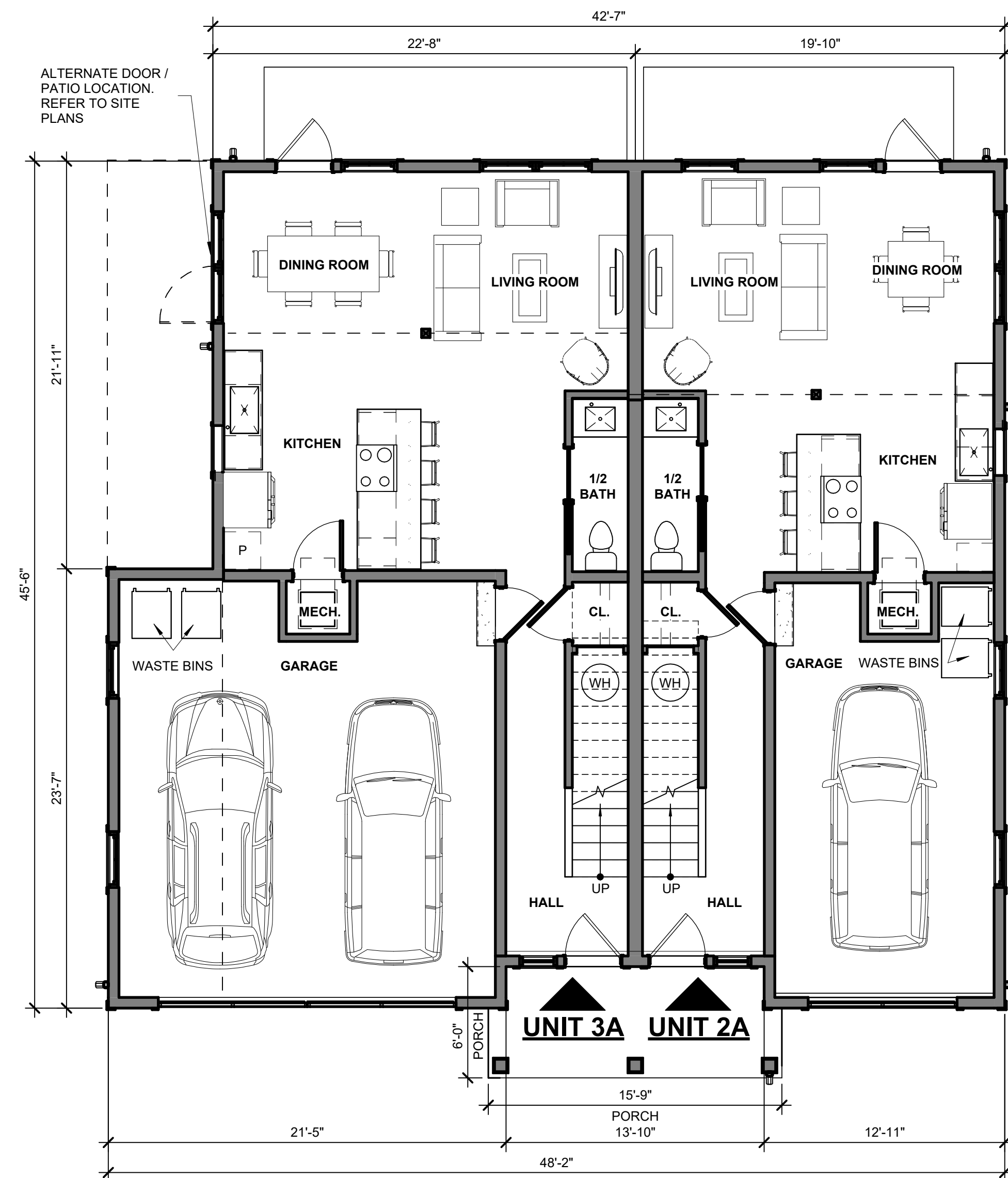




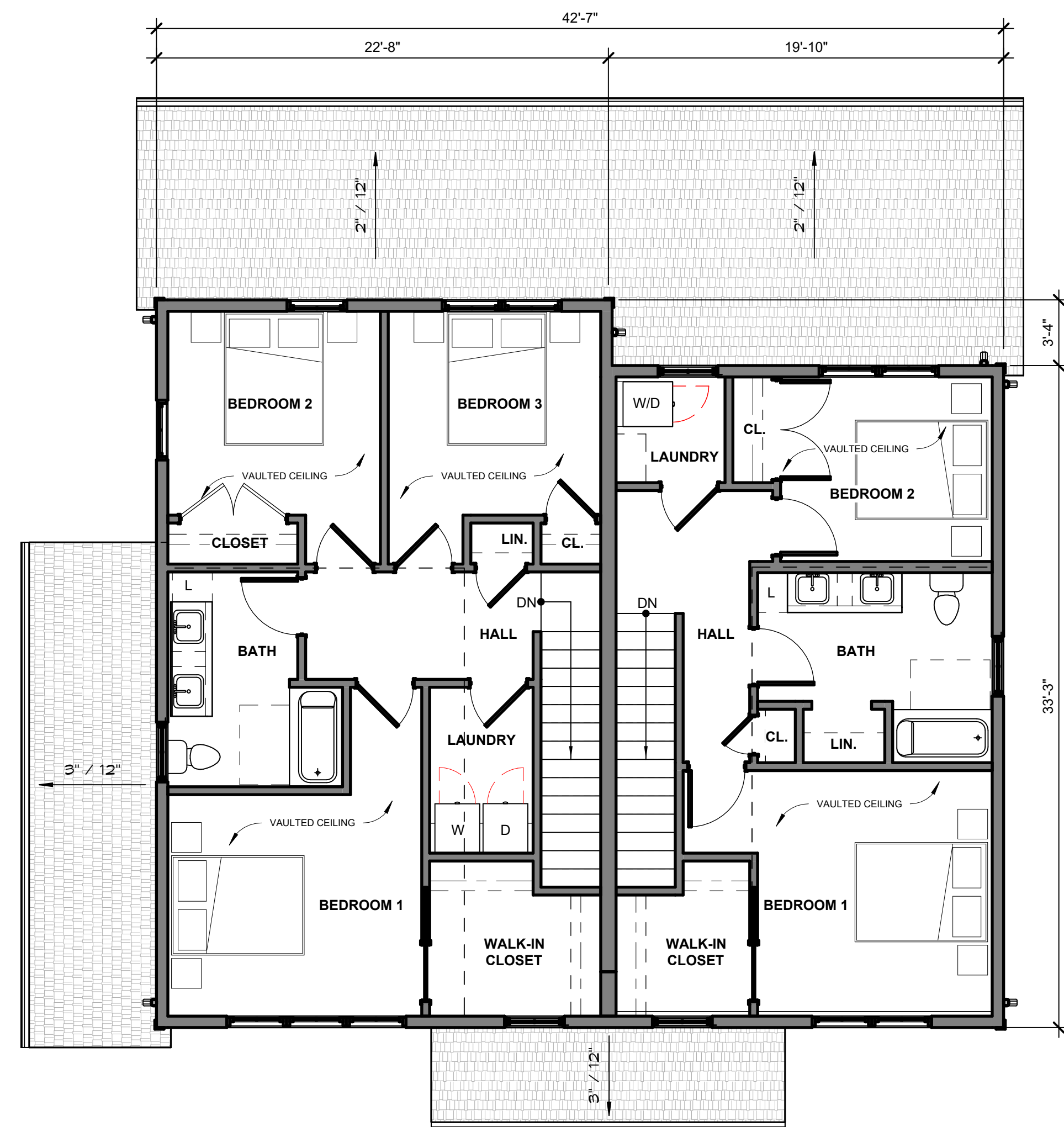


# **BUILDING PLANS & ELEVATIONS**





BUILDING TYPE "A" - FIRST FLOOR



BUILDING TYPE "A" - SECOND FLOOR

### TOTAL GROSS BUILDING AREA

- 1ST FLOOR GROSS:	2,049 SF
- 2ND FLOOR GROSS:	1,465 SF
- PORCHES:	260 SF

<b>GROSS BUILDING TOTAL:</b>	<b>3,514 SF</b>
<b>GROSS BUILDING W/ PORCHES:</b>	<b>3,774 SF</b>

### UNIT 2A - GROSS AREA

- 1ST FLOOR INTERIOR:	598 SF
- 2ND FLOOR INTERIOR:	648 SF
- GARAGE:	295 SF

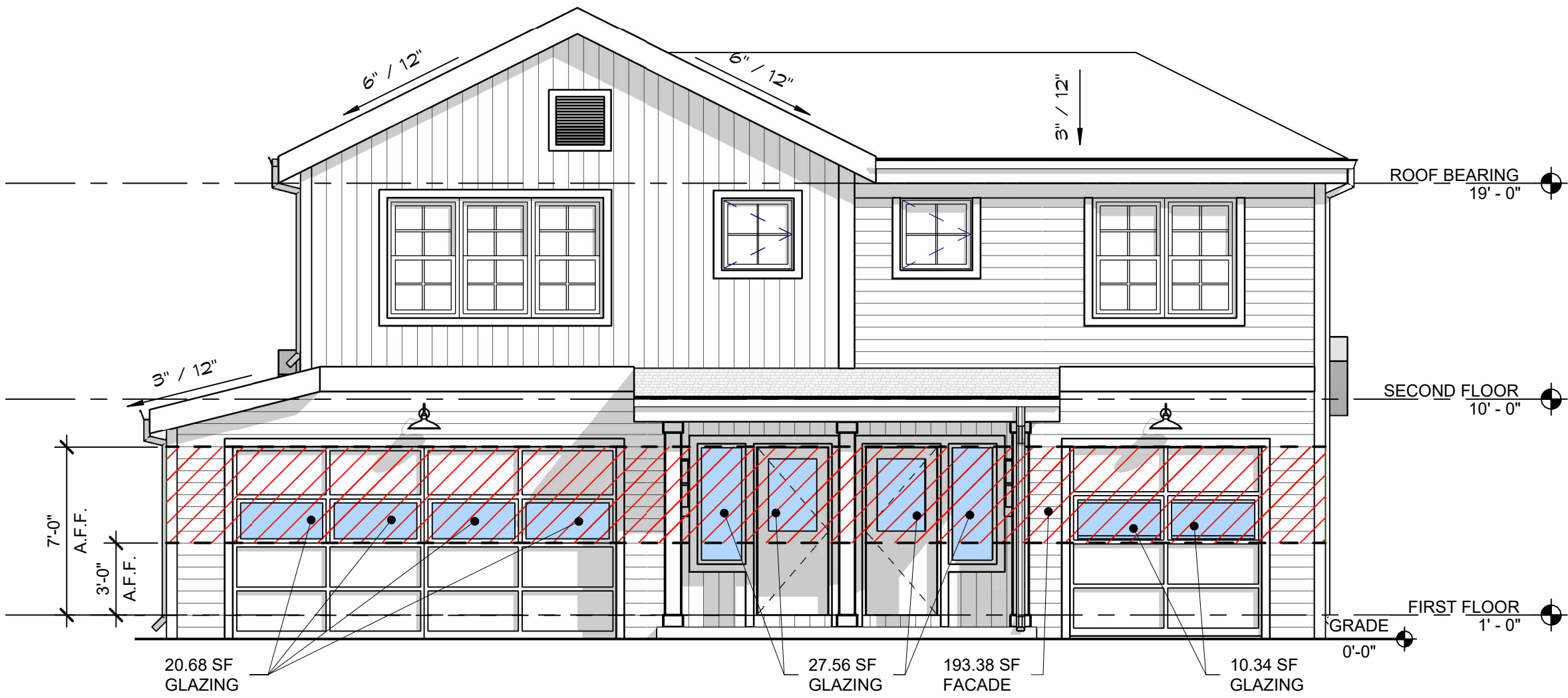
<b>INTERIOR UNIT TOTAL:</b>	<b>1,246 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>1,541 SF</b>

### UNIT 3A - GROSS AREA

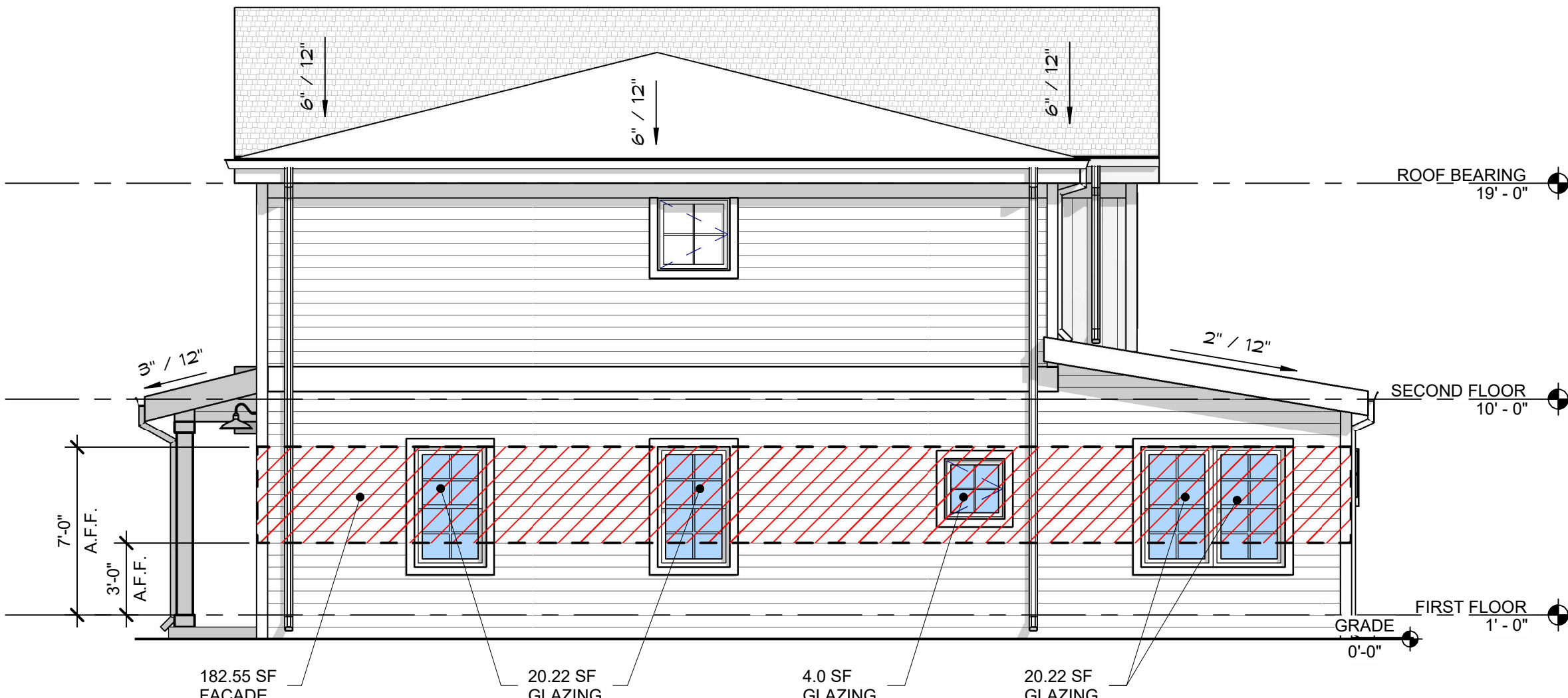
- 1ST FLOOR INTERIOR:	663 SF
- 2ND FLOOR INTERIOR:	817 SF
- GARAGE:	493 SF

<b>INTERIOR UNIT TOTAL:</b>	<b>1,480 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>1,973 SF</b>

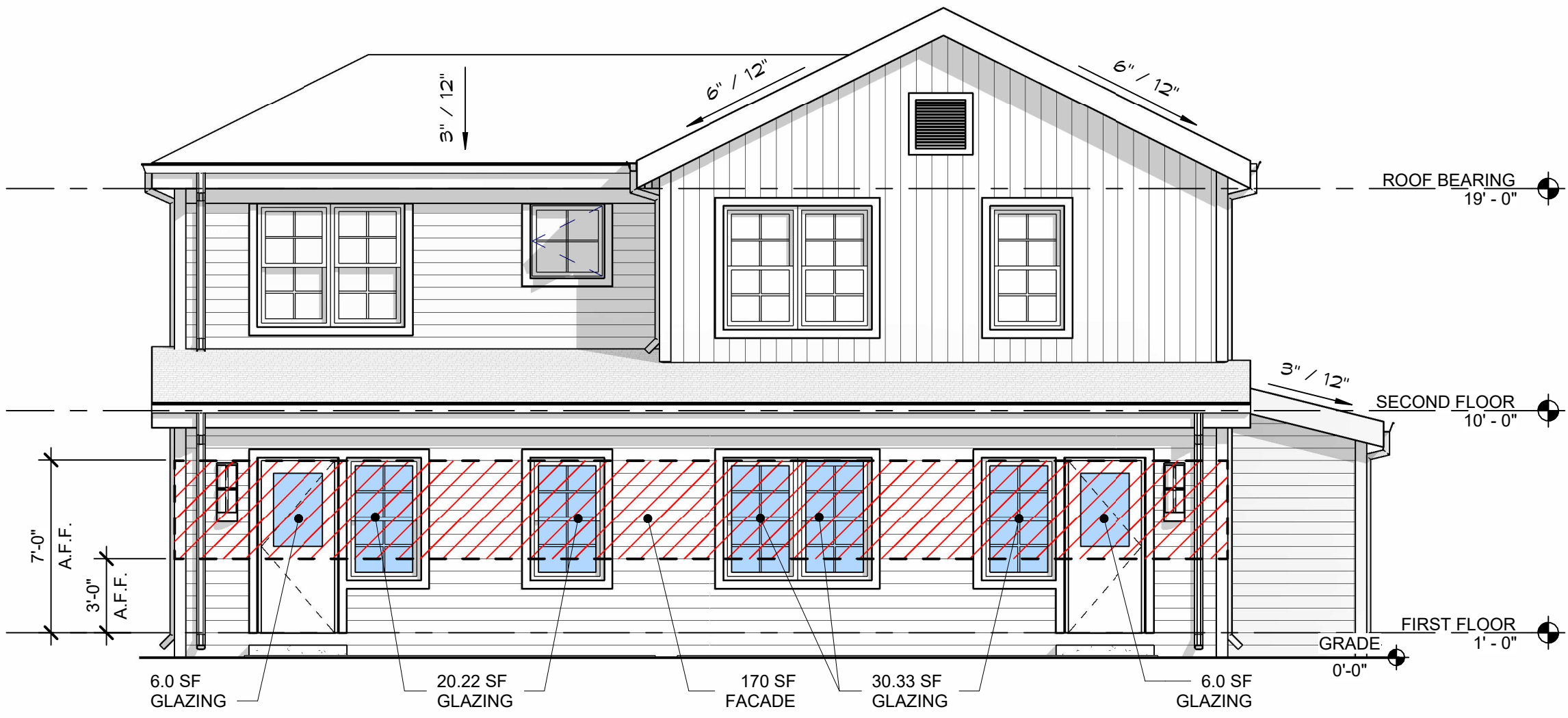




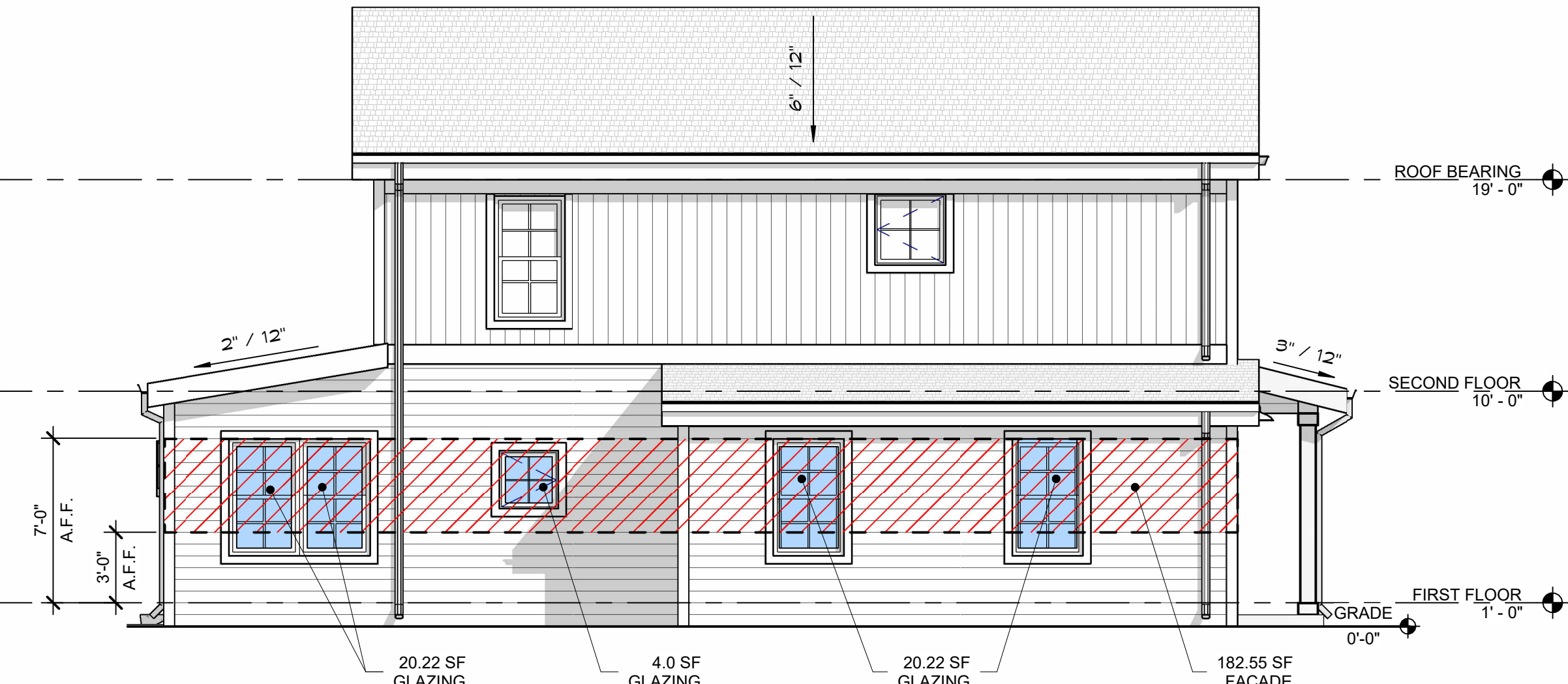
BUILDING TYPE "A" - FRONT ELEVATION - 58.58 SF GLAZING



BUILDING TYPE "A" - SIDE ELEVATION 1 - 44.44 SF GLAZING



BUILDING TYPE "A" - REAR ELEVATION - 62.55 SF GLAZING



BUILDING TYPE "A" - SIDE ELEVATION 2 - 44.44 SF GLAZING

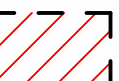
EXTERIOR FINISHES		
SYMBOL	MATERIAL	
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

### ZONING FACADE LEGEND BUILDING TYPE "A"

CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS


**A. FIRST-STORY GLAZING:**  
"% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."

PRIMARY FACADES: 35% GLAZING  
SECONDARY FACADES: 25% GLAZING  
INTERIOR FACADES: 20% GLAZING  
MEWS FACADES: 20% GLAZING

 TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:

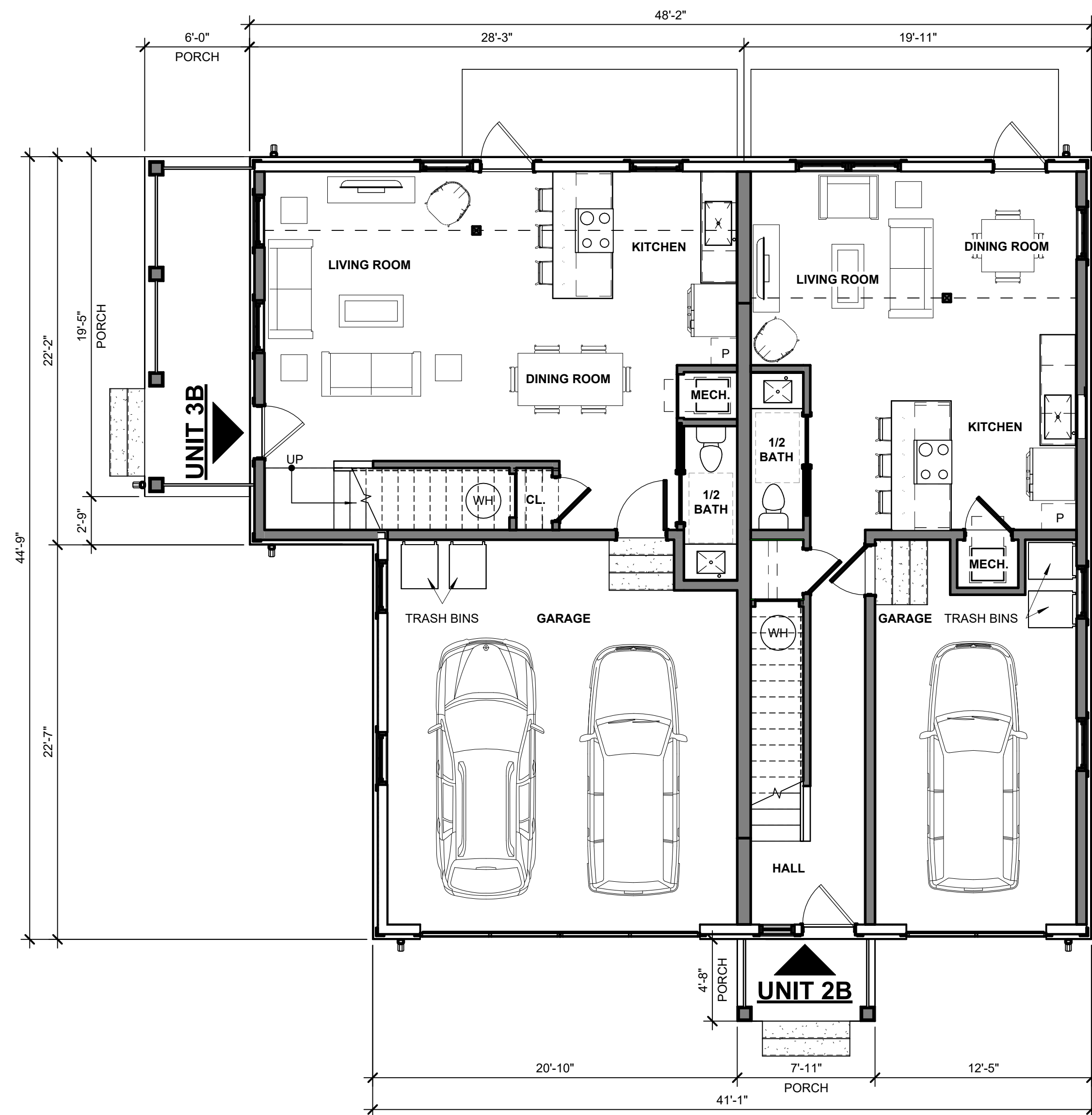
**FRONT ELEVATION (MEWS):** 193.38 SF  
**SIDE ELEVATION 1 (INTERIOR):** 182.55 SF  
**SIDE ELEVATION 2 (INTERIOR):** 182.55 SF  
**REAR ELEVATION (INTERIOR):** 170 SF

**TOTAL:** 728.48 SF

 TOTAL AREA (IN SQ. FT.) OF FIRST STORY GLAZING:

**FRONT ELEVATION (MEWS):**  
REQUIRED: 38.68 SF (20% OF 193.38)  
PROVIDED: 58.58 SF  
**SIDE ELEVATION 1 (INTERIOR):**  
REQUIRED: 36.51 SF (20% OF 182.55)  
PROVIDED: 44.44 SF  
**SIDE ELEVATION 2 (INTERIOR):**  
REQUIRED: 36.51 SF (20% OF 182.55)  
PROVIDED: 44.44 SF  
**REAR ELEVATION (INTERIOR):**  
REQUIRED: 34.00 SF (20% OF 170)  
PROVIDED: 62.55 SF





BUILDING TYPE "B" - FIRST FLOOR



BUILDING TYPE "B" - SECOND FLOOR

### TOTAL GROSS BUILDING AREA

- 1ST FLOOR GROSS:	1,996 SF
- 2ND FLOOR GROSS:	1,496 SF
- PORCHES:	312 SF

<b>GROSS BUILDING TOTAL:</b>	<b>3,492 SF</b>
<b>GROSS BUILDING W/ PORCHES:</b>	<b>3,804 SF</b>

### UNIT 2B - GROSS AREA

- 1ST FLOOR INTERIOR:	597 SF
- 2ND FLOOR INTERIOR:	622 SF
- GARAGE:	293 SF

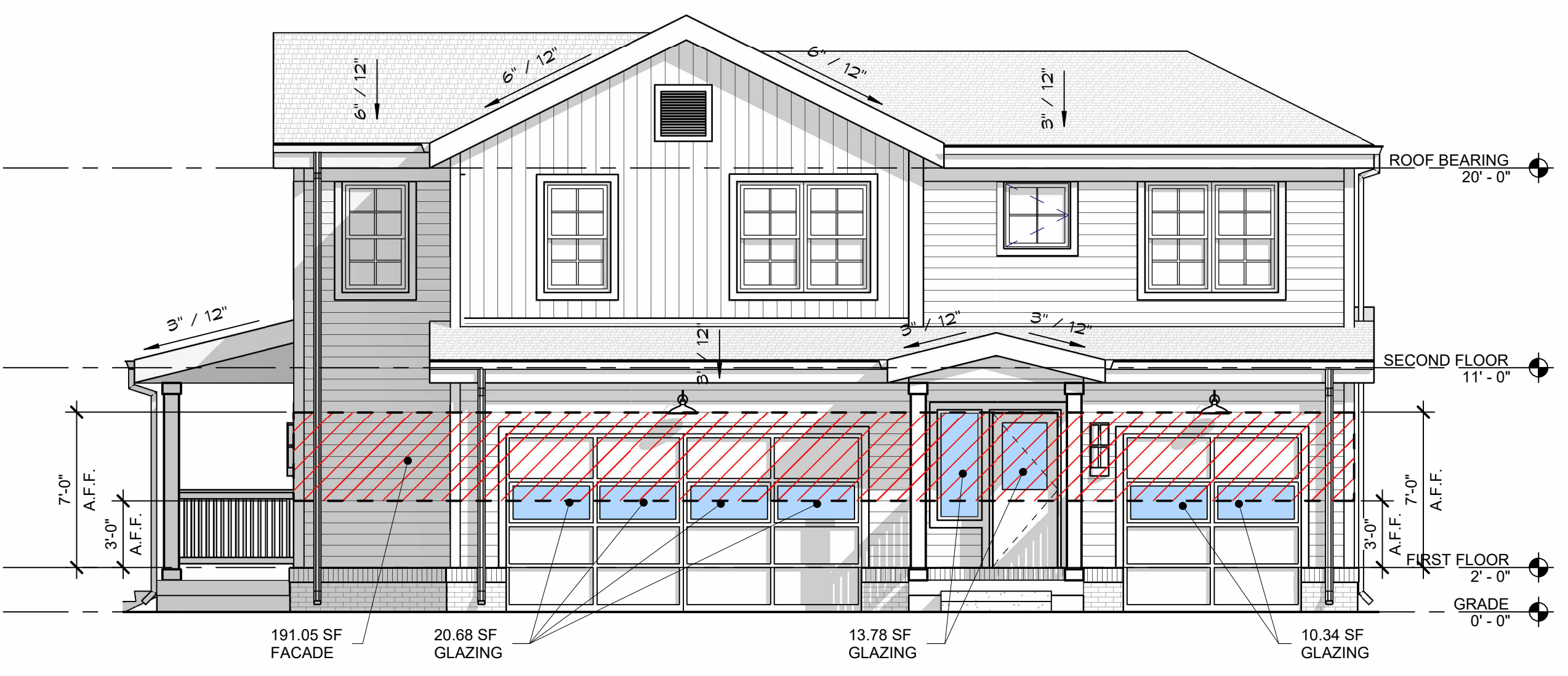
<b>INTERIOR UNIT TOTAL:</b>	<b>1,219 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>1,512 SF</b>

### UNIT 3B - GROSS AREA

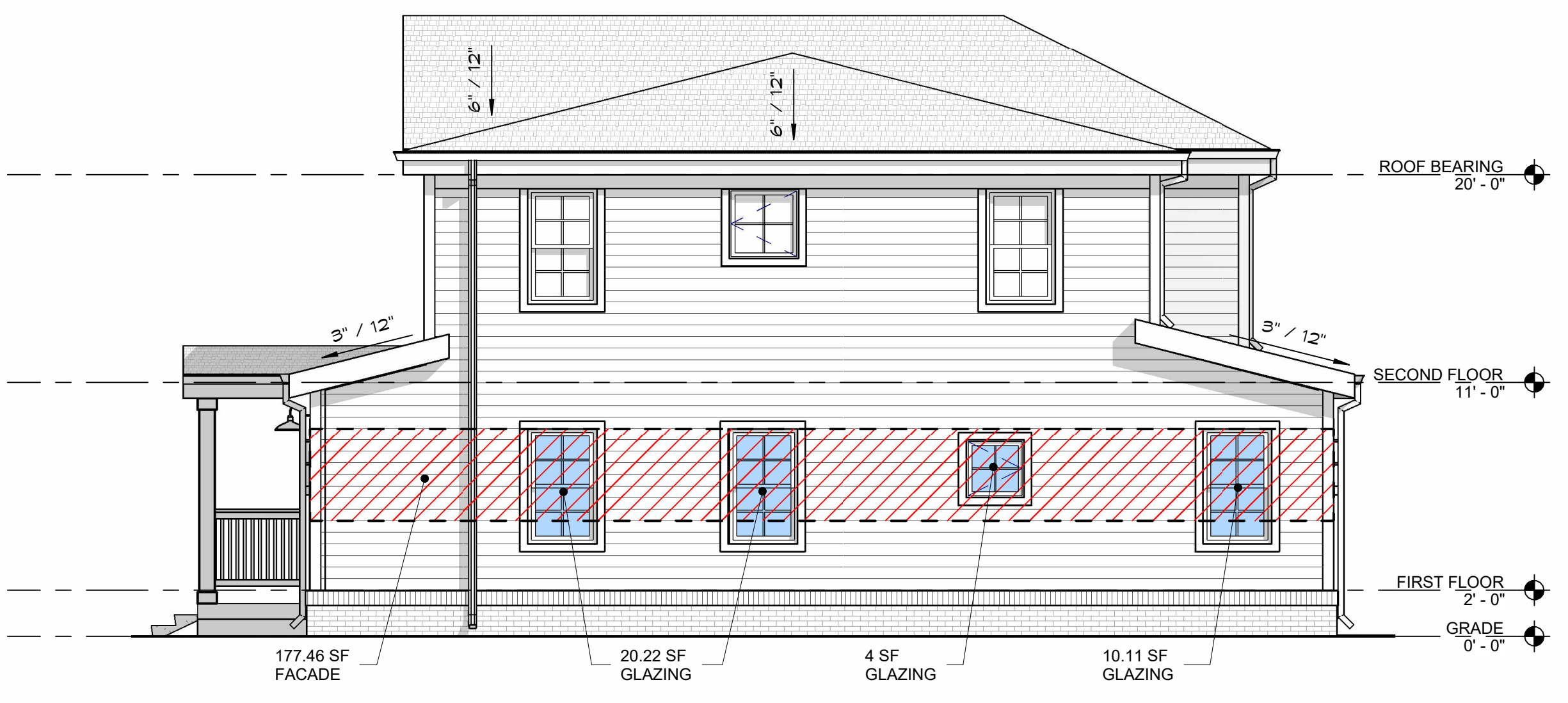
- 1ST FLOOR INTERIOR:	616 SF
- 2ND FLOOR INTERIOR:	874 SF
- GARAGE:	490 SF

<b>INTERIOR UNIT TOTAL:</b>	<b>1,490 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>1,980 SF</b>

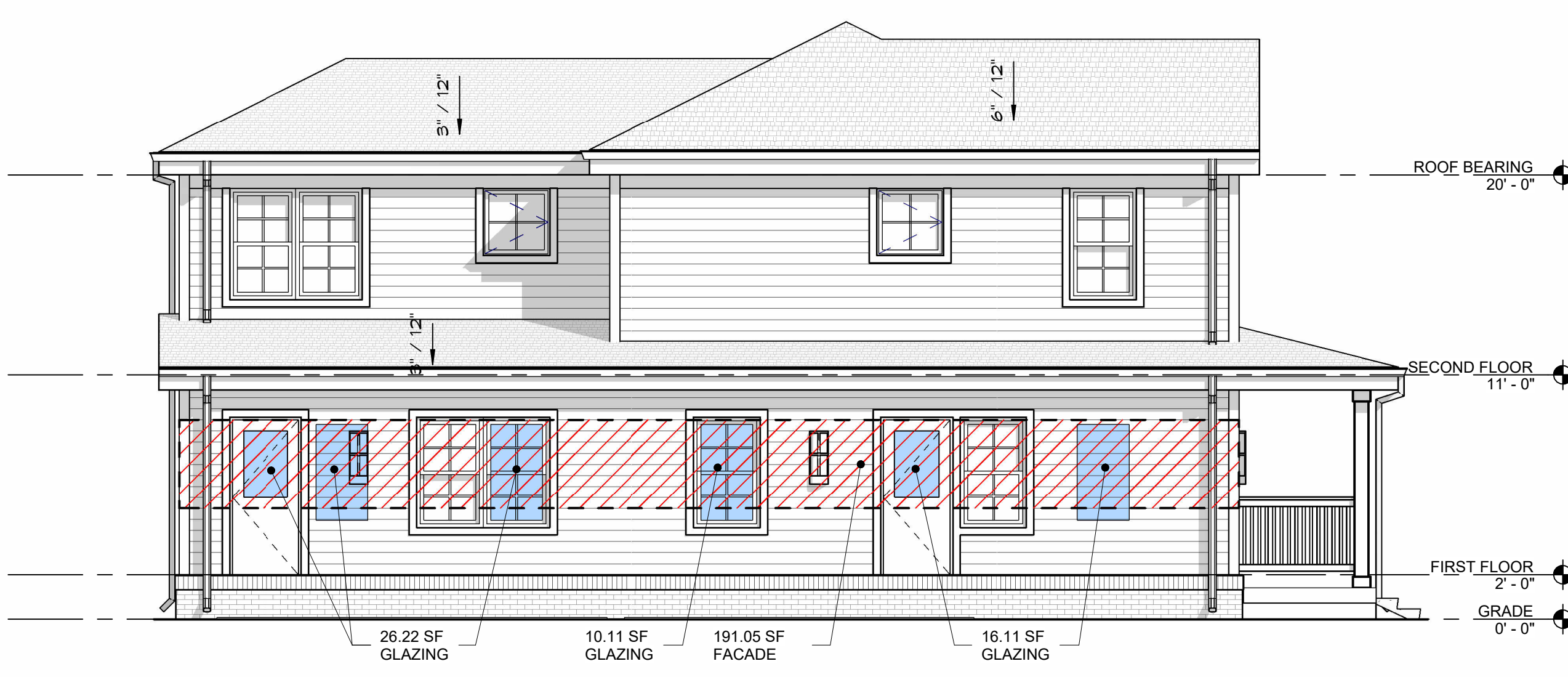




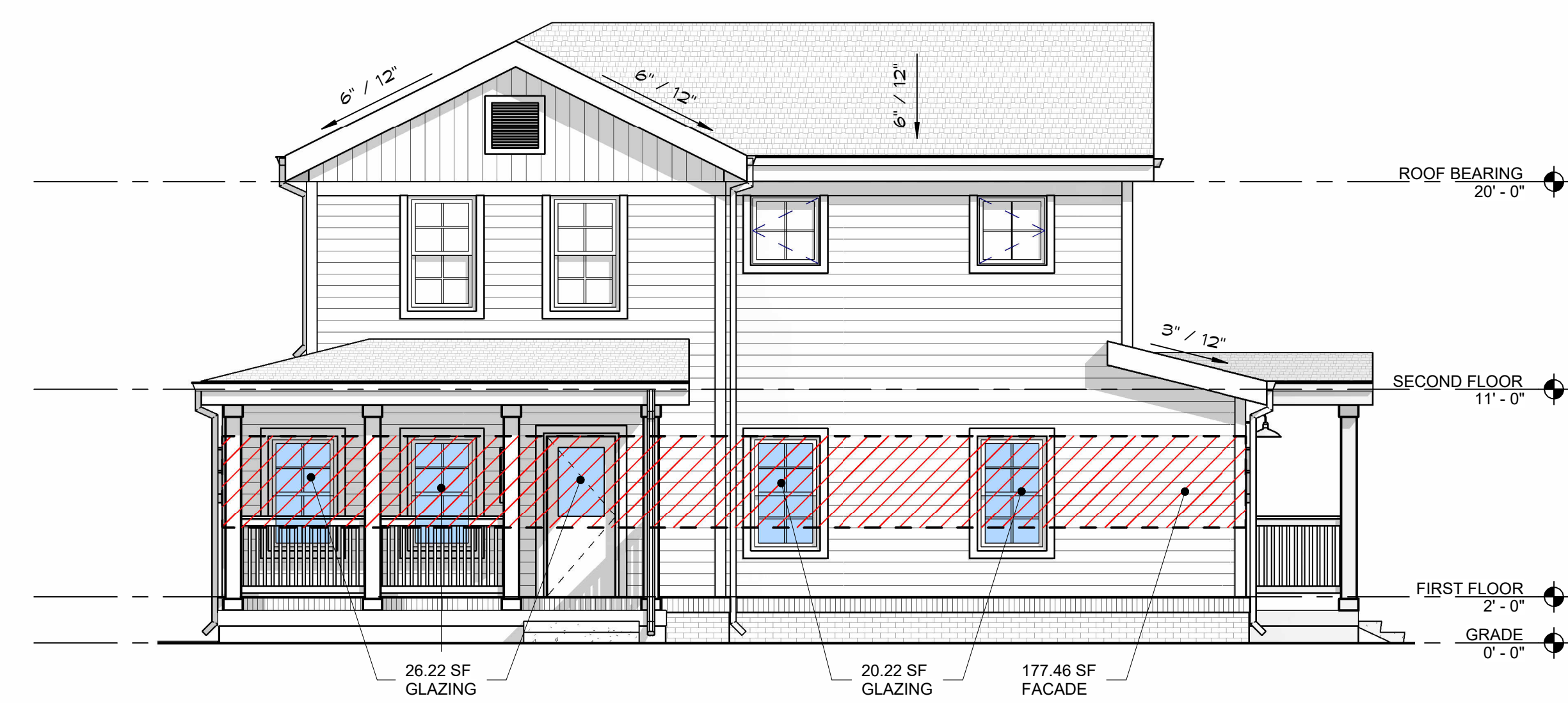
BUILDING TYPE "B" - FRONT ELEVATION (AUTOCOURT) - 44.80 SF GLAZING



BUILDING TYPE "B" - SIDE 1 ELEVATION - 34.33 SF GLAZING



BUILDING TYPE "B" - REAR ELEVATION - 52.44 SF GLAZING



BUILDING "B" - SIDE ELEVATION 2 (STREET) - 46.44 SF GLAZING

EXTERIOR FINISHES		
SYMBOL	MATERIAL	
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

**ZONING FACADE LEGEND**  
**BUILDING TYPE "B"**

CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS

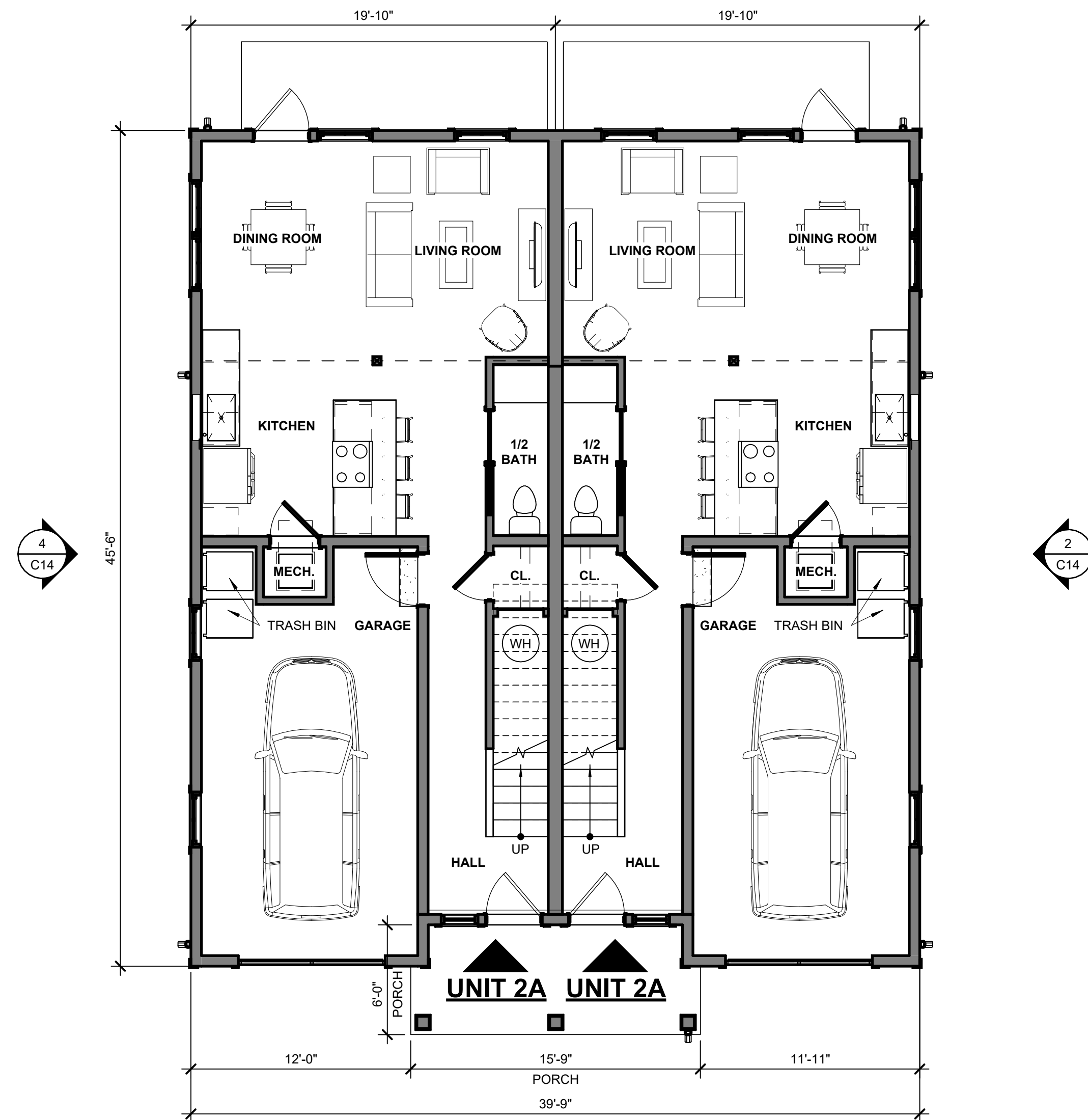
A. FIRST - STORY GLAZING:  
"% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."

PRIMARY FACADES: 35% GLAZING  
SECONDARY FACADES: 25% GLAZING  
INTERIOR FACADES: 20% GLAZING  
MEWS FACADES: 20% GLAZING

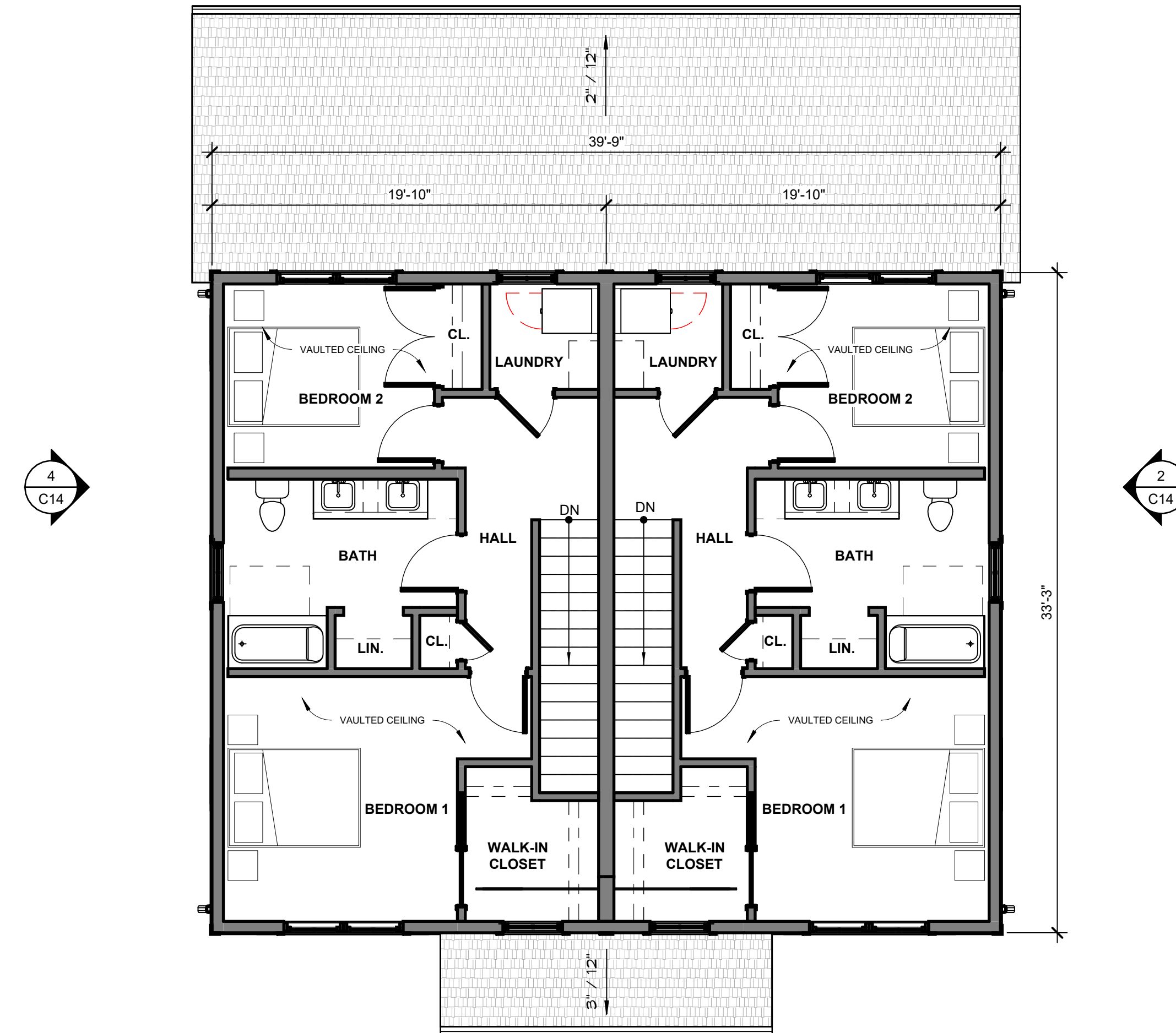
	TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:	
	FRONT ELEVATION (MEWS):	191.05 SF
	SIDE ELEVATION 1 (INTERIOR):	177.46 SF
	SIDE ELEVATION 2 (PRIMARY):	177.46 SF
	REAR ELEVATION (INTERIOR):	191.05 SF
	TOTAL:	7737.02 SF

	TOTAL AREA (IN SQ. FT.) OF FIRST STORY GLAZING:	
	FRONT ELEVATION (MEWS):	
	REQUIRED:	38.21 SF (20% OF 191.05)
	PROVIDED:	44.80 SF
	SIDE ELEVATION 1 (INTERIOR):	
	REQUIRED:	35.41 SF (20% OF 177.46)
	PROVIDED:	34.33 SF
	SIDE ELEVATION 2 (PRIMARY):	
	REQUIRED:	62.11 SF (35% OF 177.46)
	PROVIDED:	46.44 SF
	REAR ELEVATION (INTERIOR):	
	REQUIRED:	38.21 SF (20% OF 191.05)
	PROVIDED:	52.44 SF





DUPLEX PLAN - FIRST FLOOR



DUPLEX PLAN - SECOND FLOOR

**TOTAL: GROSS BUILDING AREA**

- 1ST FLOOR GROSS:	1,196 SF
- 2ND FLOOR GROSS:	1,296 SF
- PORCHES:	245 SF

<b>GROSS BUILDING TOTAL:</b>	<b>2,492 SF</b>
<b>GROSS BUILDING W/ PORCHES:</b>	<b>2,737 SF</b>

**UNIT 2A GROSS AREA**

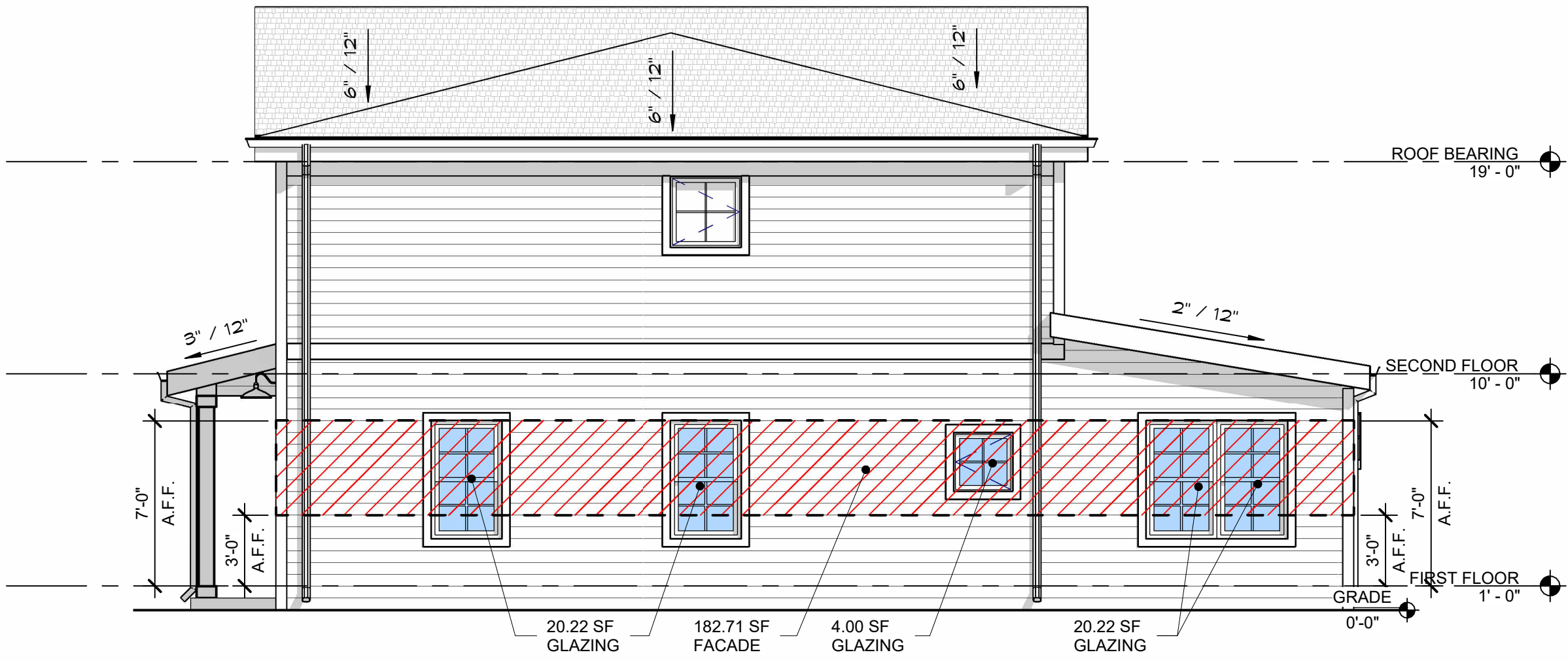
- 1ST FLOOR INTERIOR:	598 SF
- 2ND FLOOR INTERIOR:	648 SF
- GARAGE:	295 SF

<b>INTERIOR UNIT TOTAL:</b>	<b>1,246 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>1,541 SF</b>

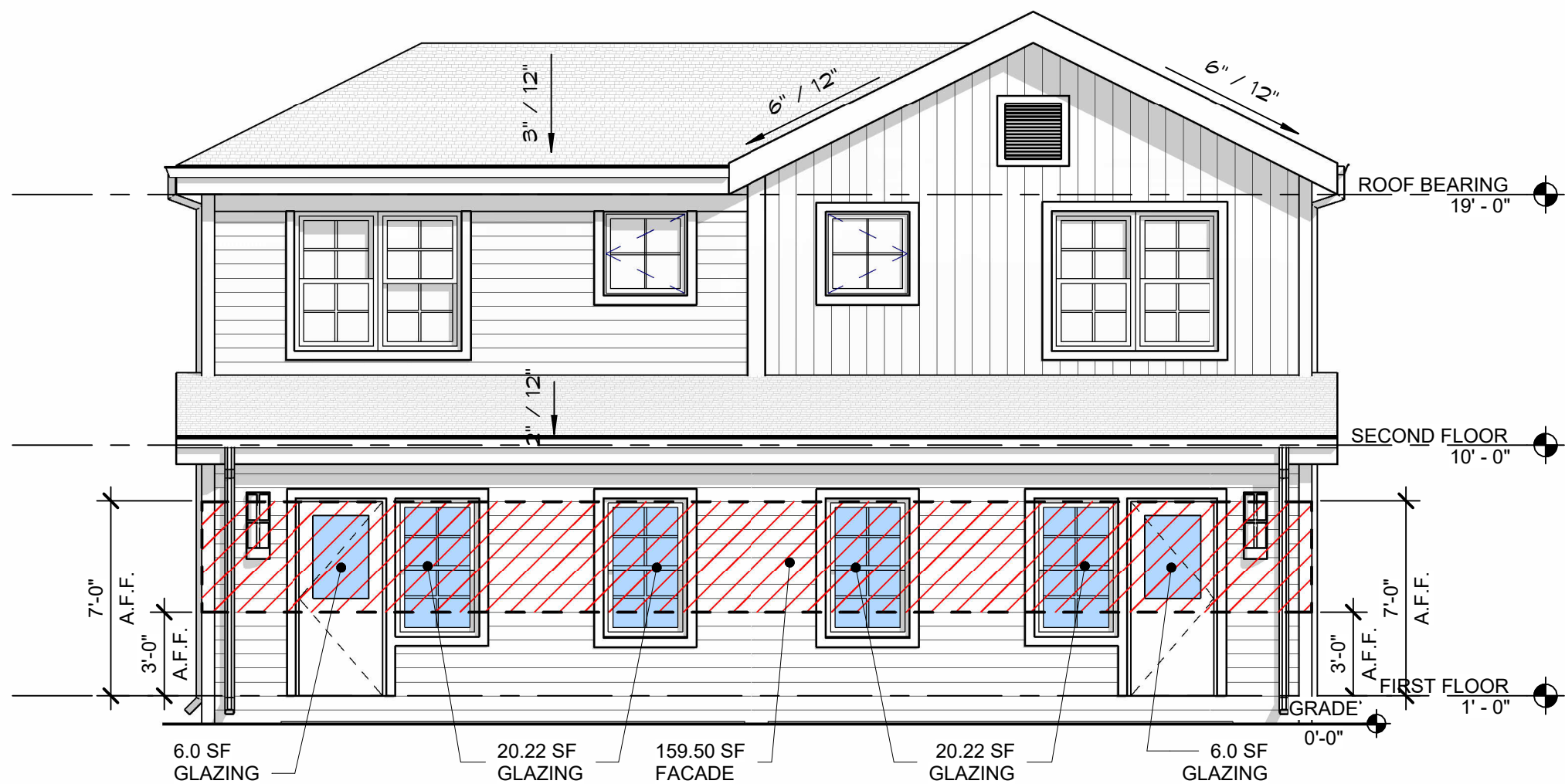




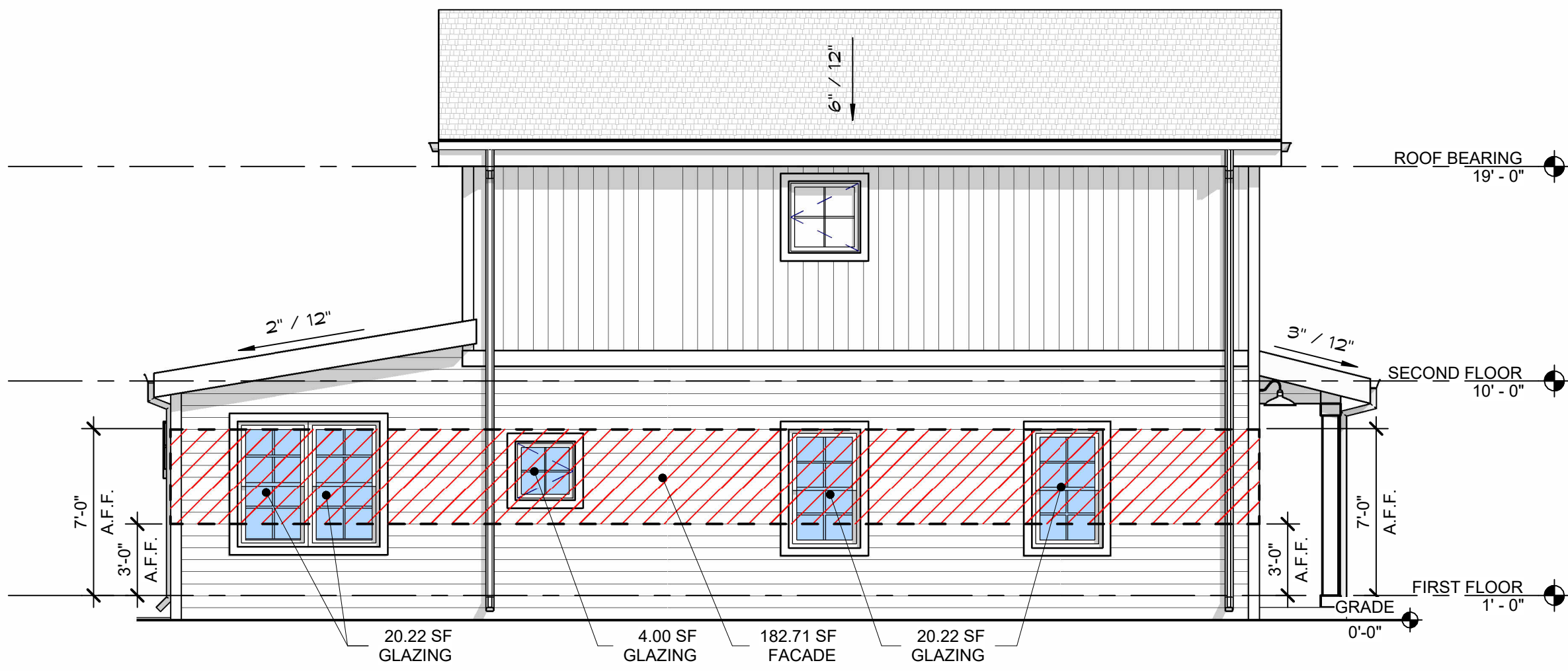
BUILDING TYPE "C" - FRONT ELEVATION - 48.24 SF GLAZING



BUILDING TYPE "C" - SIDE 1 ELEVATION - 44.44 SF GLAZING



BUILDING TYPE "C" - REAR ELEVATION - 52.44 SF GLAZING



BUILDING TYPE "C" - SIDE 2 ELEVATION - 44.44 SF GLAZING

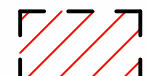
EXTERIOR FINISHES		
SYMBOL	MATERIAL	
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

**ZONING FACADE LEGEND**  
**BUILDING TYPE "C"**

CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS


A. FIRST - STORY GLAZING:  
"% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS  
BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."

PRIMARY FACADES: 35% GLAZING  
SECONDARY FACADES: 25% GLAZING  
INTERIOR FACADES: 20% GLAZING  
MEWS FACADES: 20% GLAZING

 TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:

FRONT ELEVATION (MEWS): 159.50 SF  
SIDE ELEVATION 1 (MEWS): 182.71 SF  
SIDE ELEVATION 2 (MEWS): 182.71 SF  
REAR ELEVATION (MEWS): 159.50 SF

TOTAL: 684.42 SF

 TOTAL AREA (IN SQ. FT.) OF FIRST STORY GLAZING:

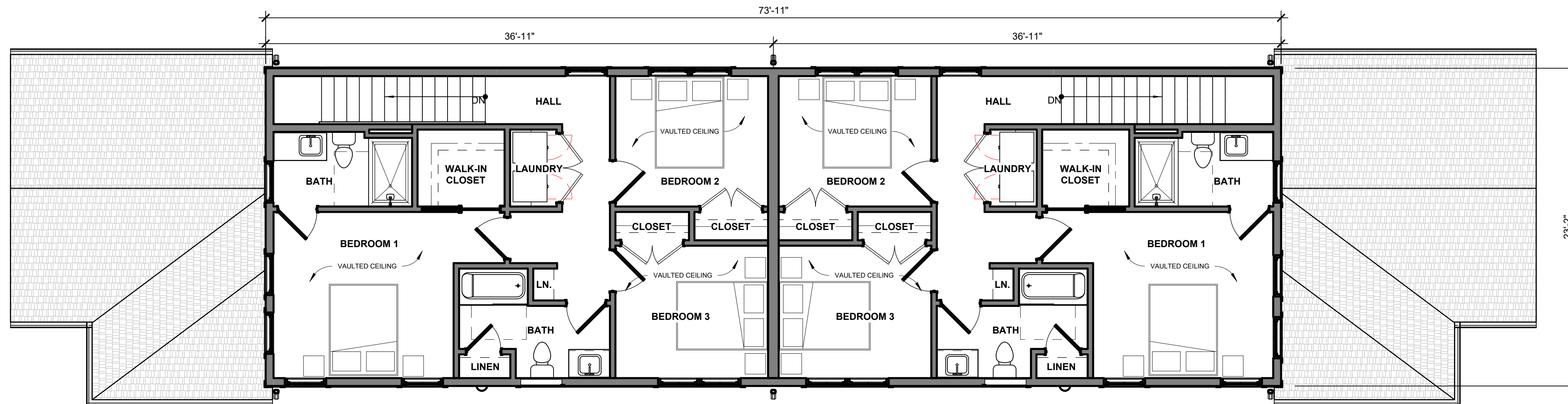
FRONT ELEVATION (MEWS):  
REQUIRED: 31.90 SF (20% OF 159.50)  
PROVIDED: 48.24 SF

SIDE ELEVATION 1 (MEWS):  
REQUIRED: 36.54 SF (20% OF 182.71)  
PROVIDED: 44.44 SF

SIDE ELEVATION 2 (MEWS):  
REQUIRED: 36.54 SF (20% OF 182.71)  
PROVIDED: 44.44 SF

REAR ELEVATION (MEWS):  
REQUIRED: 31.90 SF (20% OF 159.50)  
PROVIDED: 52.44 SF



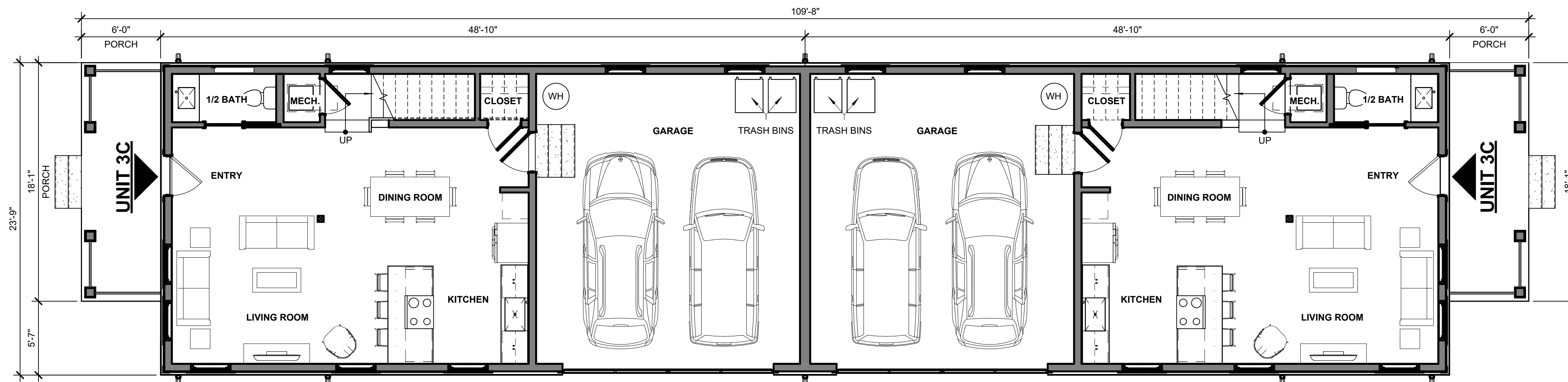


BUILDING TYPE "D-1" - SECOND FLOOR

**TOTAL: GROSS BUILDING AREA**

- 1ST FLOOR GROSS:	2,316 SF
- 2ND FLOOR GROSS:	1,710 SF
- PORCHES:	218 SF

<b>GROSS BUILDING TOTAL:</b>	<b>4,026 SF</b>
<b>GROSS BUILDING W/ PORCHES:</b>	<b>4,244 SF</b>



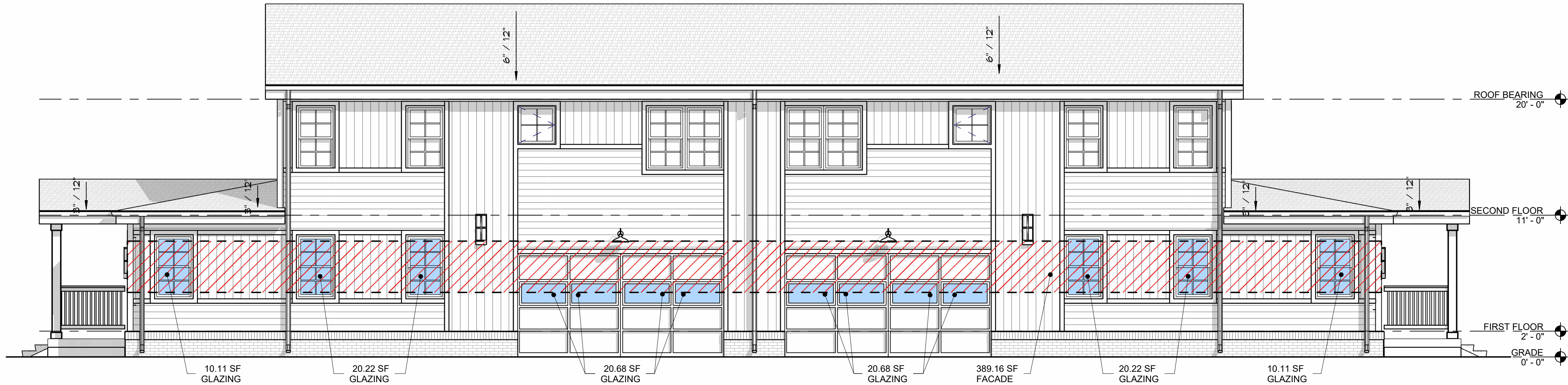
BUILDING TYPE "D-1" - FIRST FLOOR

**UNIT 3C GROSS AREA**

- 1ST FLOOR INTERIOR:	668 SF
- 2ND FLOOR INTERIOR:	855 SF
- GARAGE:	490 SF

<b>INTERIOR UNIT TOTAL:</b>	<b>1,523 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>2,013 SF</b>





BUILDING TYPE "D-1" - FRONT ELEVATION (AUTOCOURT) - 102.02 SF GLAZING

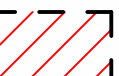
EXTERIOR FINISHES		
SYMBOL	MATERIAL	
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

**ZONING FACADE LEGEND**  
**BUILDING TYPE "D-1"**

CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS


A. FIRST - STORY GLAZING:  
"% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."

PRIMARY FACADES: 35% GLAZING  
SECONDARY FACADES: 25% GLAZING  
INTERIOR FACADES: 20% GLAZING  
MEWS FACADES: 20% GLAZING

 TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:

**FRONT ELEVATION (MEWS):** 389.16 SF  
**SIDE ELEVATION 1 (INTERIOR):** 93.29 SF  
**SIDE ELEVATION 2 (SECONDARY):** 93.29 SF  
**REAR ELEVATION (MEWS):** 389.16 SF

**TOTAL:** 964.90 SF

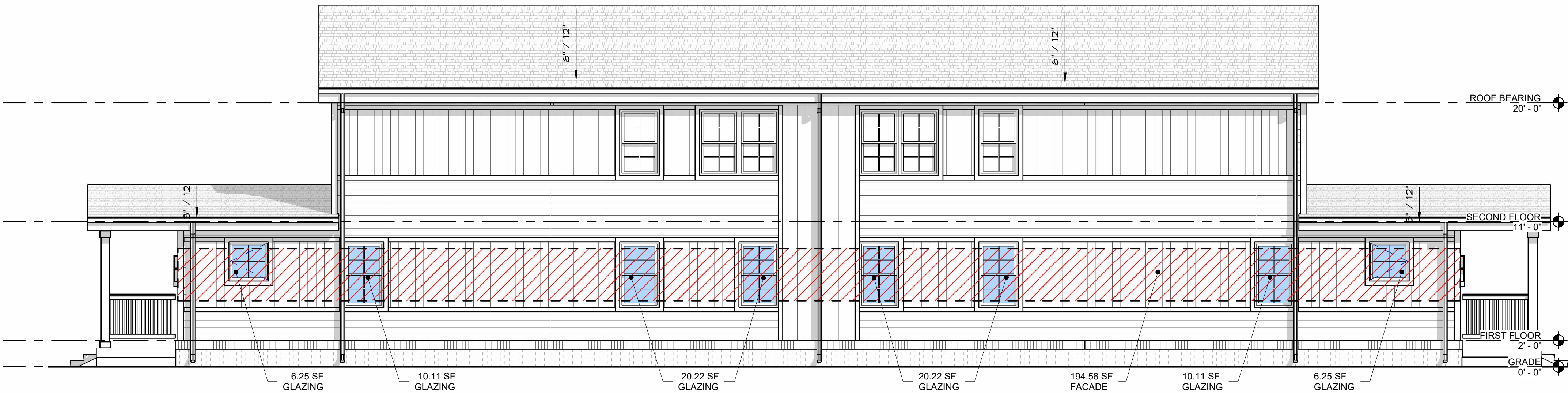
 TOTAL AREA (IN SQ. FT.) OF FIRST STORY GLAZING:

**FRONT ELEVATION (MEWS):**  
REQUIRED: 77.83 SF (20% OF 389.16)  
PROVIDED: 102.02 SF

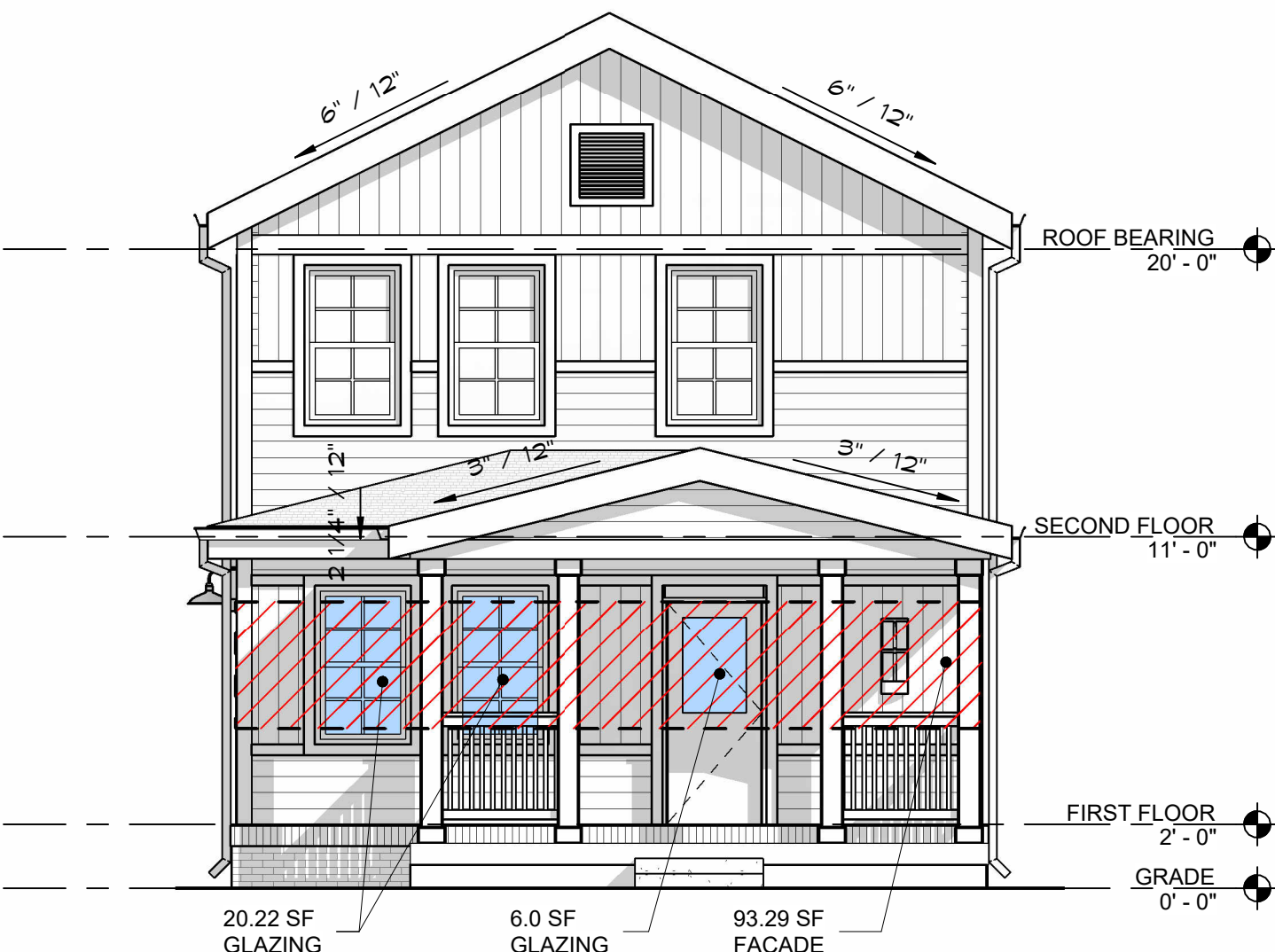
**SIDE ELEVATION 1 (MEWS):**  
REQUIRED: 18.66 SF (20% OF 93.29)  
PROVIDED: 26.22 SF

**SIDE ELEVATION 2 (SECONDARY):**  
REQUIRED: 23.32 SF (25% OF 93.29)  
PROVIDED: 26.22 SF

**REAR ELEVATION (MEWS):**  
REQUIRED: 77.83 SF (20% OF 389.16)  
PROVIDED: 73.16 SF



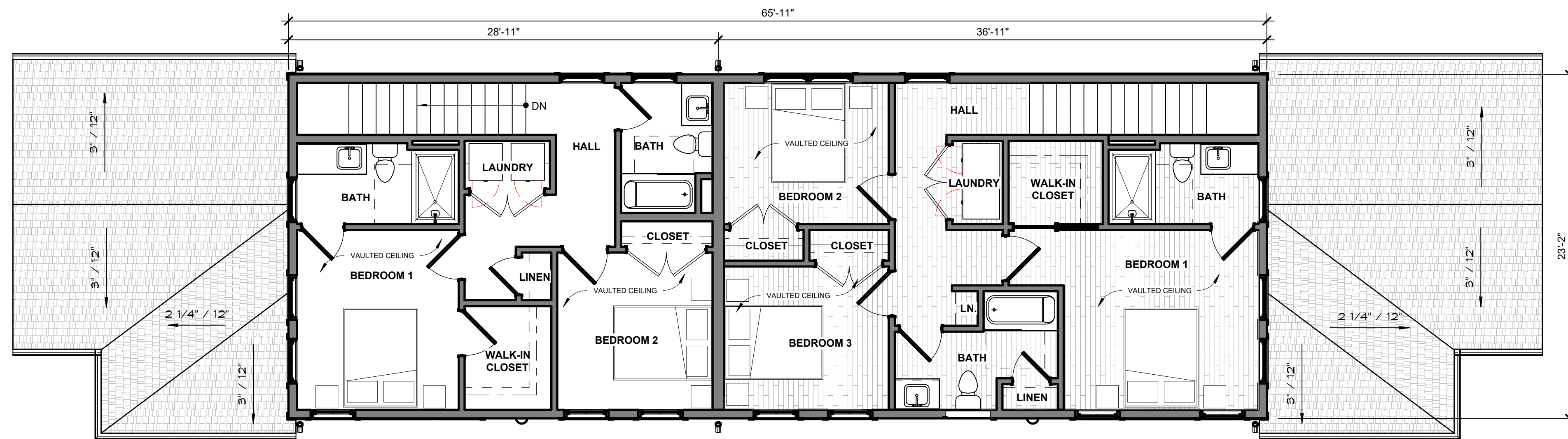
BUILDING TYPE "D-1" - REAR ELEVATION - 73.16 SF GLAZING



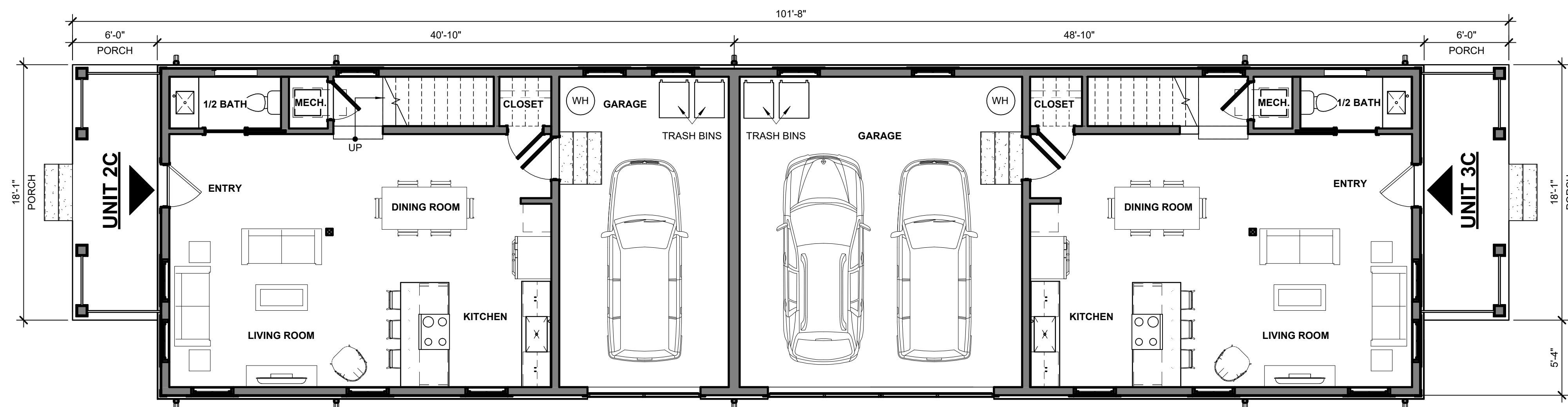
BUILDING TYPE "D-1" - SIDE 1 ELEVATION - 26.22 SF GLAZING

\*OTHER SIDE ELEVATION MIRROR IMAGE OF THE ONE SHOWN HERE





BUILDING TYPE "D-2" - SECOND FLOOR



BUILDING TYPE "D-2" - FIRST FLOOR

### TOTAL: GROSS BUILDING AREA

- 1ST FLOOR GROSS:	2,126 SF
- 2ND FLOOR GROSS:	1,525 SF
- PORCHES:	218 SF

<b>GROSS BUILDING TOTAL:</b>	<b>3,651 SF</b>
<b>GROSS BUILDING W/ PORCHES:</b>	<b>3,869 SF</b>

### UNIT 2C GROSS AREA

- 1ST FLOOR INTERIOR:	668 SF
- 2ND FLOOR INTERIOR:	670 SF
- GARAGE:	300 SF

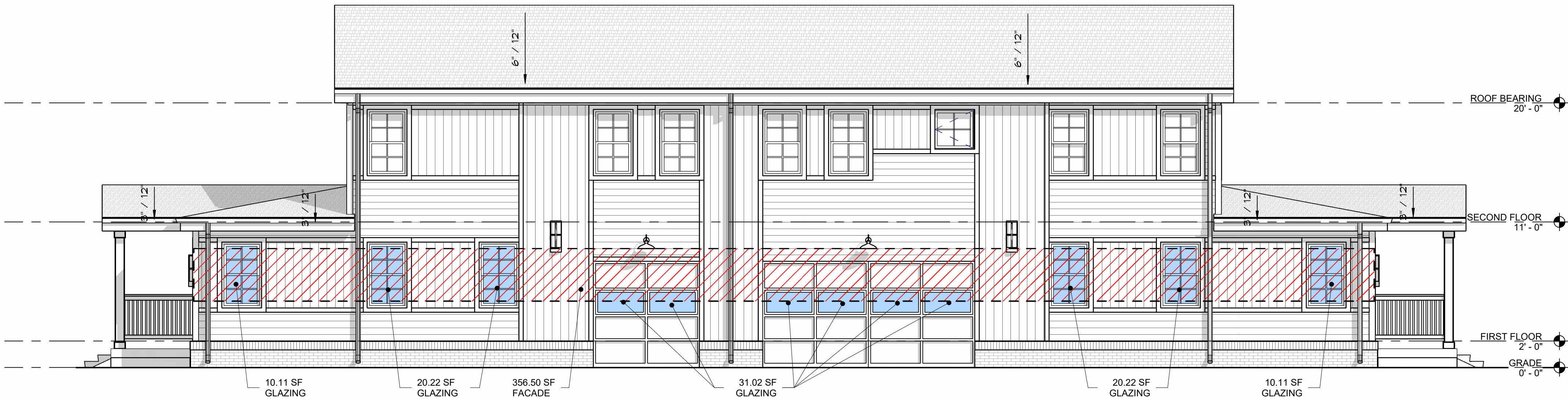
<b>INTERIOR UNIT TOTAL:</b>	<b>1,338 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>1,668 SF</b>

### UNIT 3C GROSS AREA

- 1ST FLOOR INTERIOR:	668 SF
- 2ND FLOOR INTERIOR:	855 SF
- GARAGE:	490 SF

<b>INTERIOR UNIT TOTAL:</b>	<b>1,523 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>2,013 SF</b>





BUILDING TYPE "D-2" - FRONT ELEVATION - 91.68 SF GLAZING


EXTERIOR FINISHES		
SYMBOL	MATERIAL	
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

### ZONING FACADE LEGEND BUILDING TYPE "D-2"

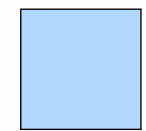
CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS

A. FIRST - STORY GLAZING:  
"% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."

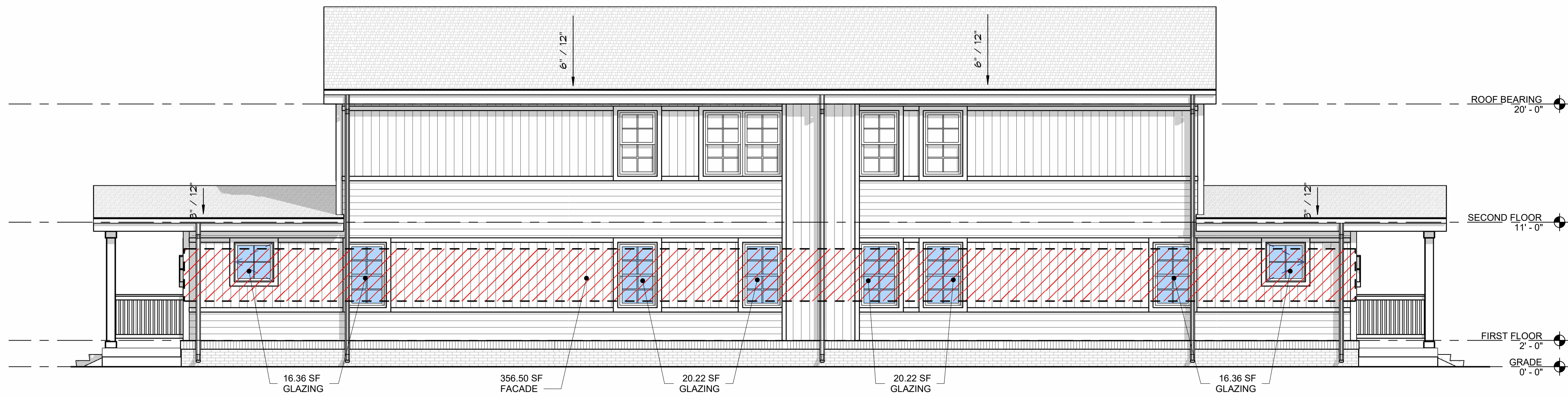
PRIMARY FACADES: 35% GLAZING  
SECONDARY FACADES: 25% GLAZING  
INTERIOR FACADES: 20% GLAZING  
MEWS FACADES: 20% GLAZING

 TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:

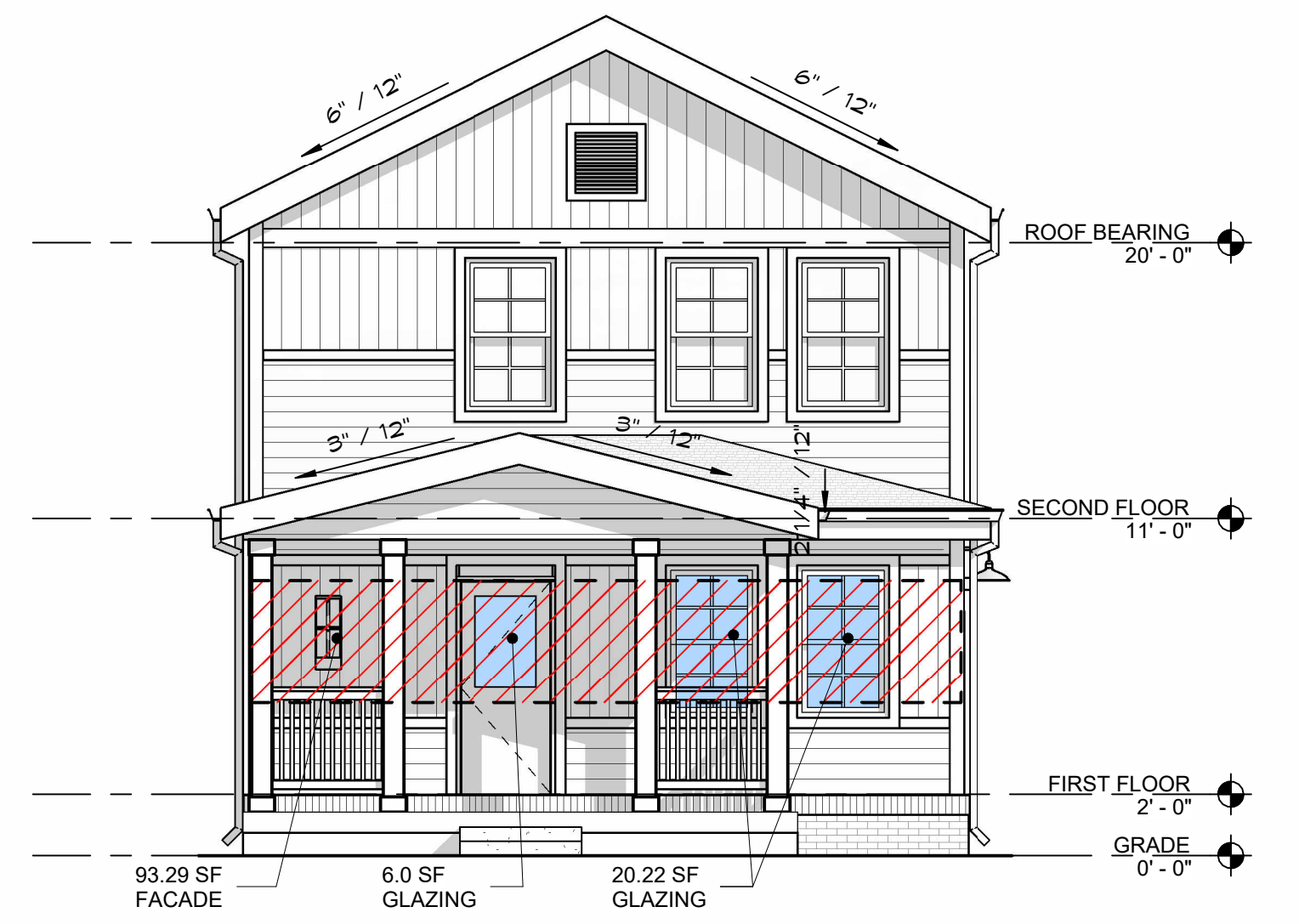
**FRONT ELEVATION (MEWS):** 356.50 SF  
**SIDE ELEVATION 1 (INTERIOR):** 93.29 SF  
**SIDE ELEVATION 2 (SECONDARY):** 93.29 SF  
**REAR ELEVATION (MEWS):** 356.50 SF  
**TOTAL:** 899.58 SF

 TOTAL AREA (IN SQ. FT.) OF FIRST STORY GLAZING:

**FRONT ELEVATION (MEWS):**  
REQUIRED: 71.30 SF (20% OF 356.50)  
PROVIDED: 91.68 SF  
**SIDE ELEVATION 1 (MEWS):**  
REQUIRED: 18.66 SF (20% OF 93.29)  
PROVIDED: 26.22 SF  
**SIDE ELEVATION 2 (MEWS):**  
REQUIRED: 18.66 SF (20% OF 93.29)  
PROVIDED: 26.22 SF  
**REAR ELEVATION (MEWS):**  
REQUIRED: 71.30 SF (20% OF 356.50)  
PROVIDED: 73.16 SF



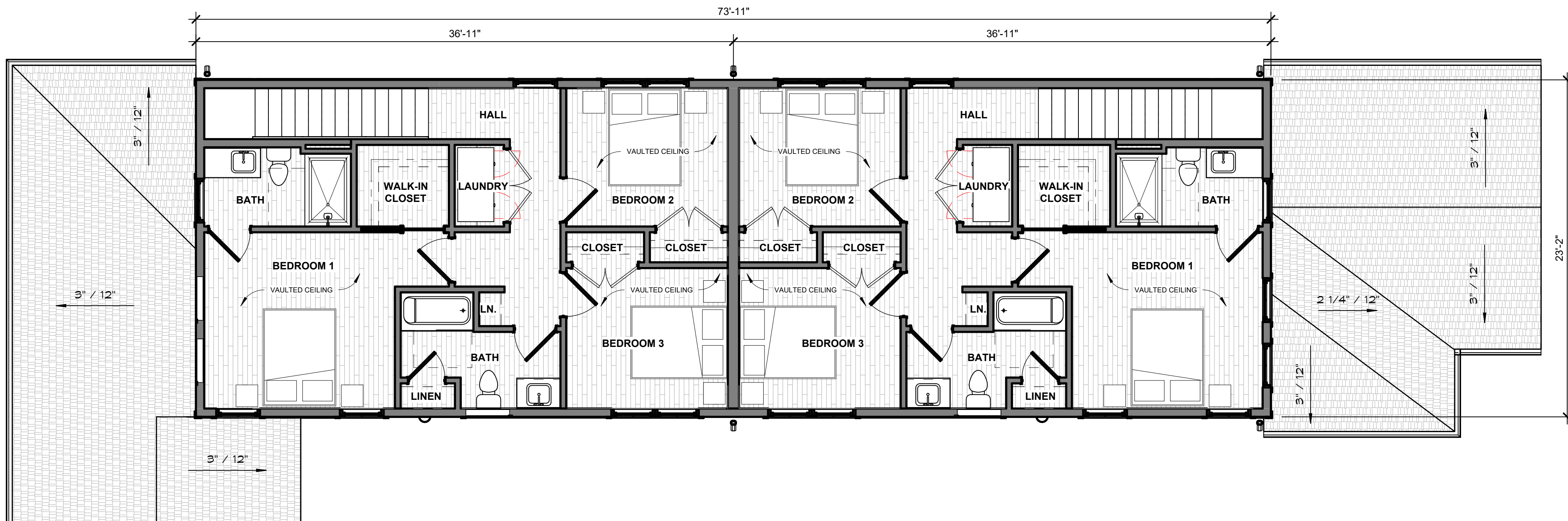
BUILDING TYPE "D-2" - REAR ELEVATION - 73.16 SF GLAZING



BUILDING TYPE "D-2" SIDE ELEVATION - 26.22 SF GLAZING

\*OTHER SIDE ELEVATION MIRROR IMAGE OF THE ONE SHOWN HERE



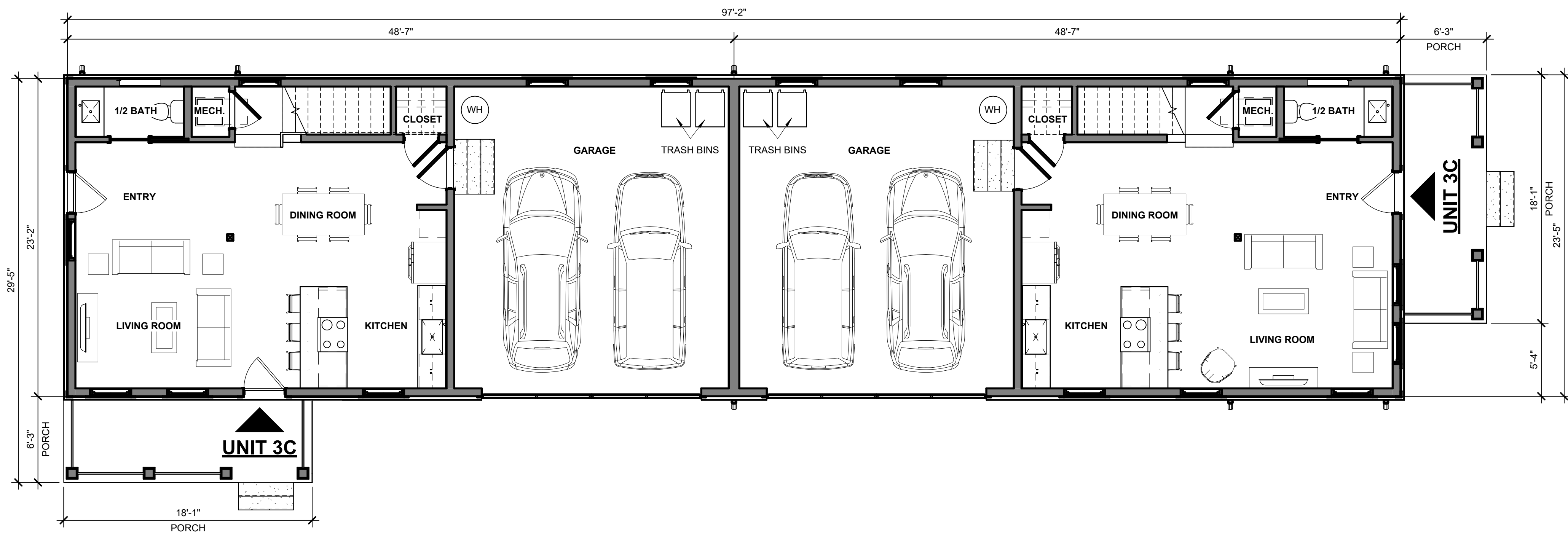


BUILDING TYPE "D-2" - SECOND FLOOR

**TOTAL: GROSS BUILDING AREA**

- 1ST FLOOR GROSS: 2,126 SF
- 2ND FLOOR GROSS: 1,525 SF
- PORCHES: 218 SF

**GROSS BUILDING TOTAL: 3,651 SF**  
**GROSS BUILDING W/ PORCHES: 3,869 SF**



BUILDING TYPE "D-2" - FIRST FLOOR

**UNIT 3C GROSS AREA**


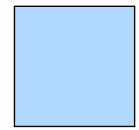
- 1ST FLOOR INTERIOR: 668 SF
- 2ND FLOOR INTERIOR: 855 SF
- GARAGE: 490 SF

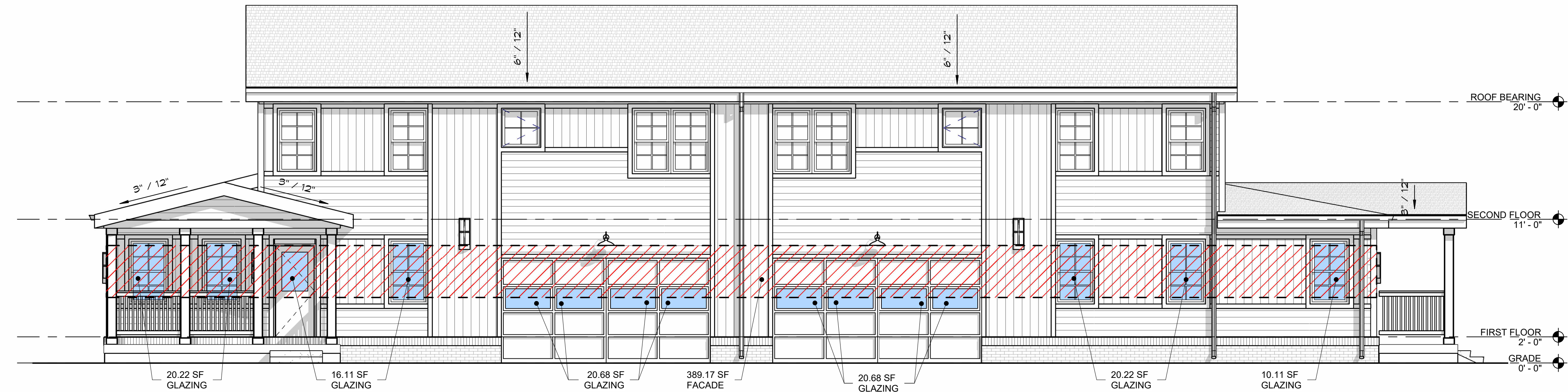
**INTERIOR UNIT TOTAL: 1,523 SF**  
**UNIT TOTAL W/ GARAGE: 2,013 SF**



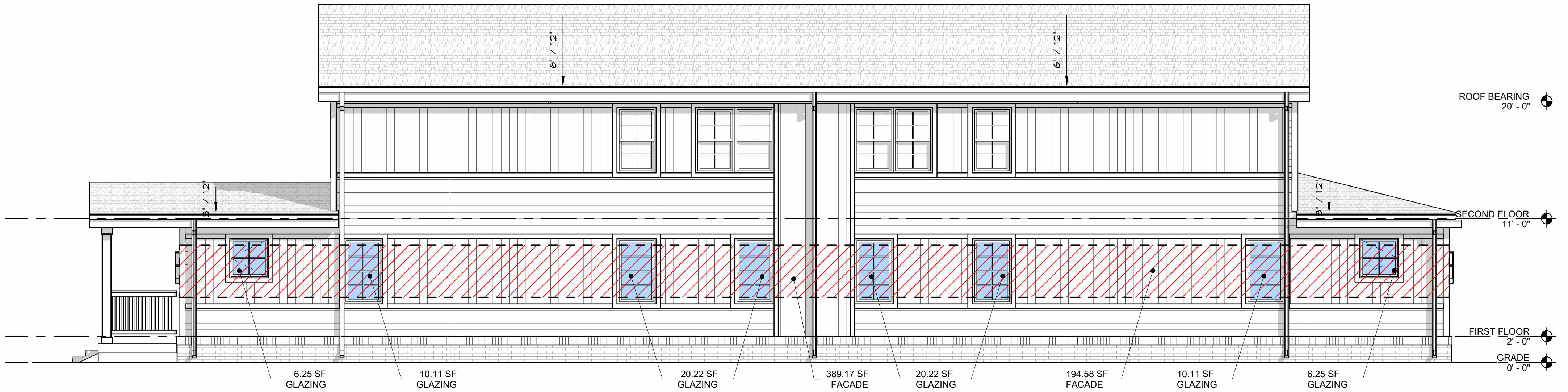
EXTERIOR FINISHES		
SYMBOL		MATERIAL
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

ZONING FACADE LEGEND	
BUILDING TYPE "D-3"	
CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS	
A. FIRST - STORY GLAZING: "% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."	
PRIMARY FACADES:	35% GLAZING
SECONDARY FACADES:	25% GLAZING
INTERIOR FACADES:	20% GLAZING
MEWS FACADES:	20% GLAZING

	TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:	
	FRONT ELEVATION (MEWS):	389.16 SF
	SIDE ELEVATION 1 (INTERIOR):	93.29 SF
	SIDE ELEVATION 2 (SECONDARY):	93.29 SF
	REAR ELEVATION (MEWS):	389.16 SF
	TOTAL:	964.90 SF
	TOTAL AREA (IN SQ. FT.) OF FIRST STORY GLAZING:	
	FRONT ELEVATION (MEWS):	
	REQUIRED:	77.83 SF (20% OF 389.16)
	PROVIDED:	108.02 SF
	SIDE ELEVATION 1 (PRIMARY):	
	REQUIRED:	32.65 SF (35% OF 93.29)
	PROVIDED:	26.22 SF
	SIDE ELEVATION 2 (MEWS):	
	REQUIRED:	18.658 SF (20% OF 93.29)
	PROVIDED:	16.11 SF
	REAR ELEVATION (MEWS):	
	REQUIRED:	77.83 SF (20% OF 389.16)
	PROVIDED:	73.16 SF

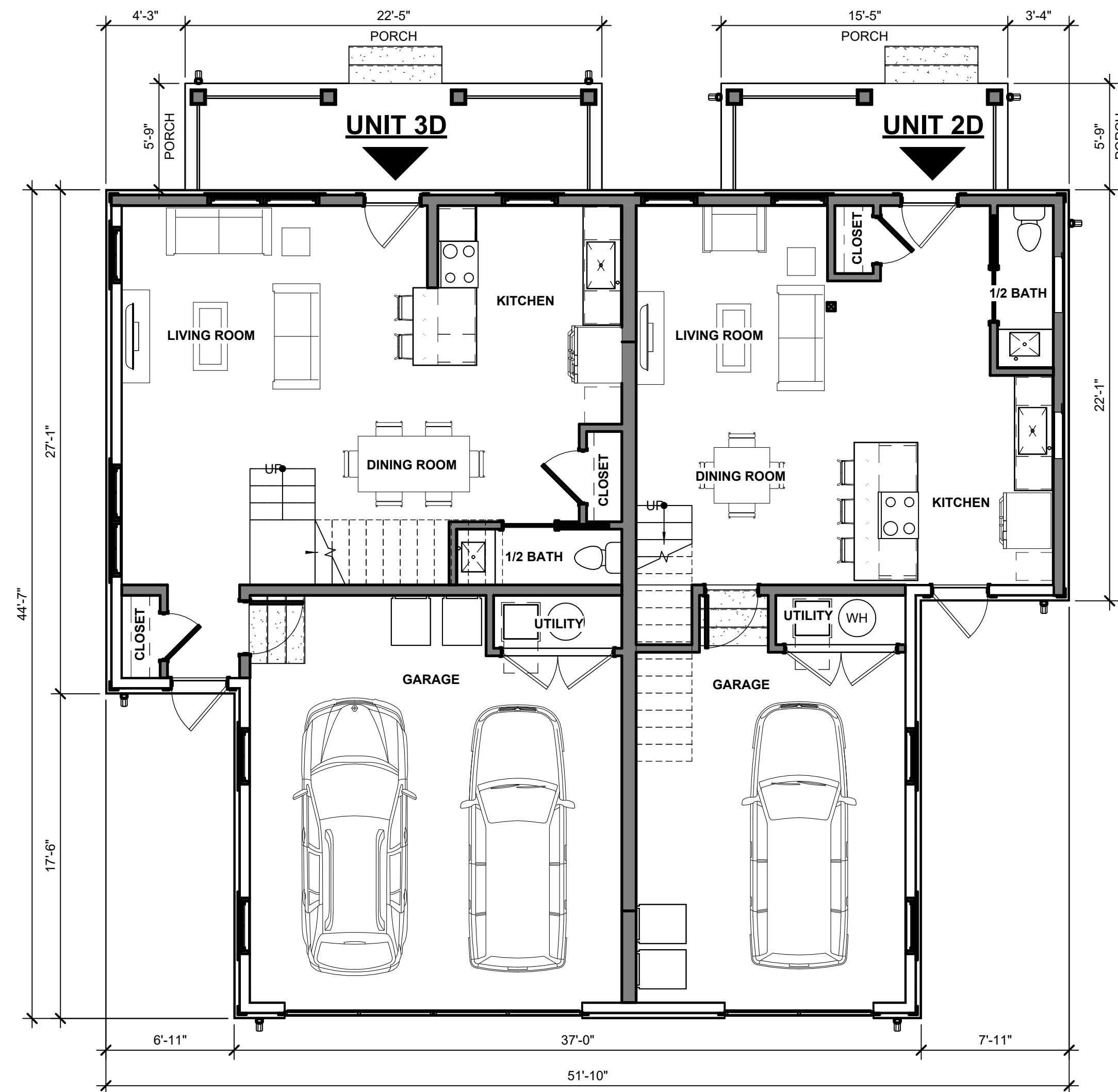


BUILDING TYPE "D-3" - FRONT ELEVATION - 108.02 SF GLAZING

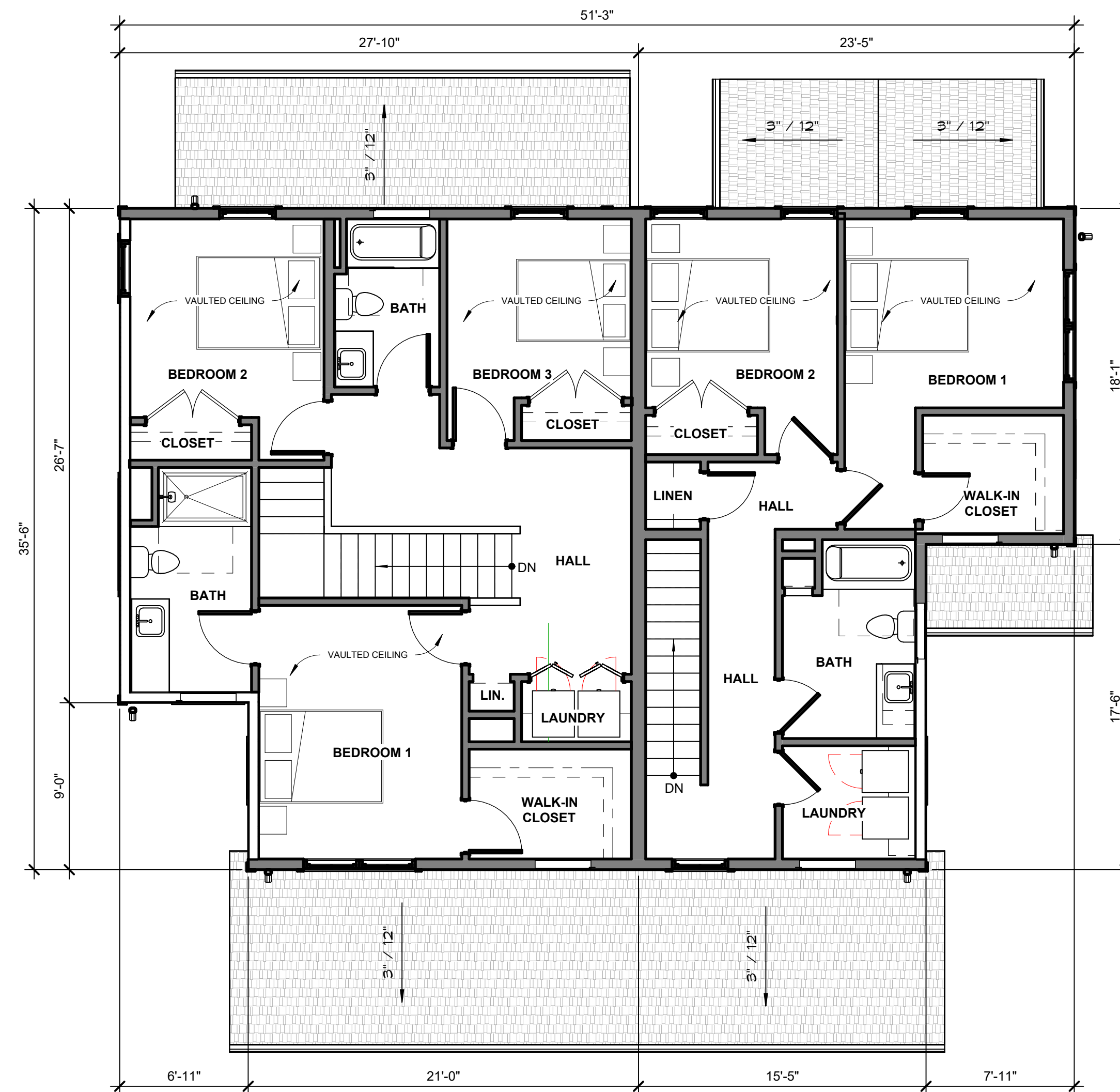


DUPLEX D3 - REAR ELEV CPC





BUILDING TYPE "E" - FIRST FLOOR



BUILDING TYPE "E" - SECOND FLOOR

#### TOTAL GROSS BUILDING AREA

- 1ST FLOOR GROSS:	2,014 SF
- 2ND FLOOR GROSS:	1,619 SF
- PORCHES:	312 SF

<b>GROSS BUILDING TOTAL:</b>	<b>3,633 SF</b>
<b>GROSS BUILDING W/ PORCHES:</b>	<b>4,029 SF</b>

#### UNIT 2D - GROSS AREA

- 1ST FLOOR INTERIOR:	515 SF
- 2ND FLOOR INTERIOR:	692 SF
- GARAGE:	362 SF

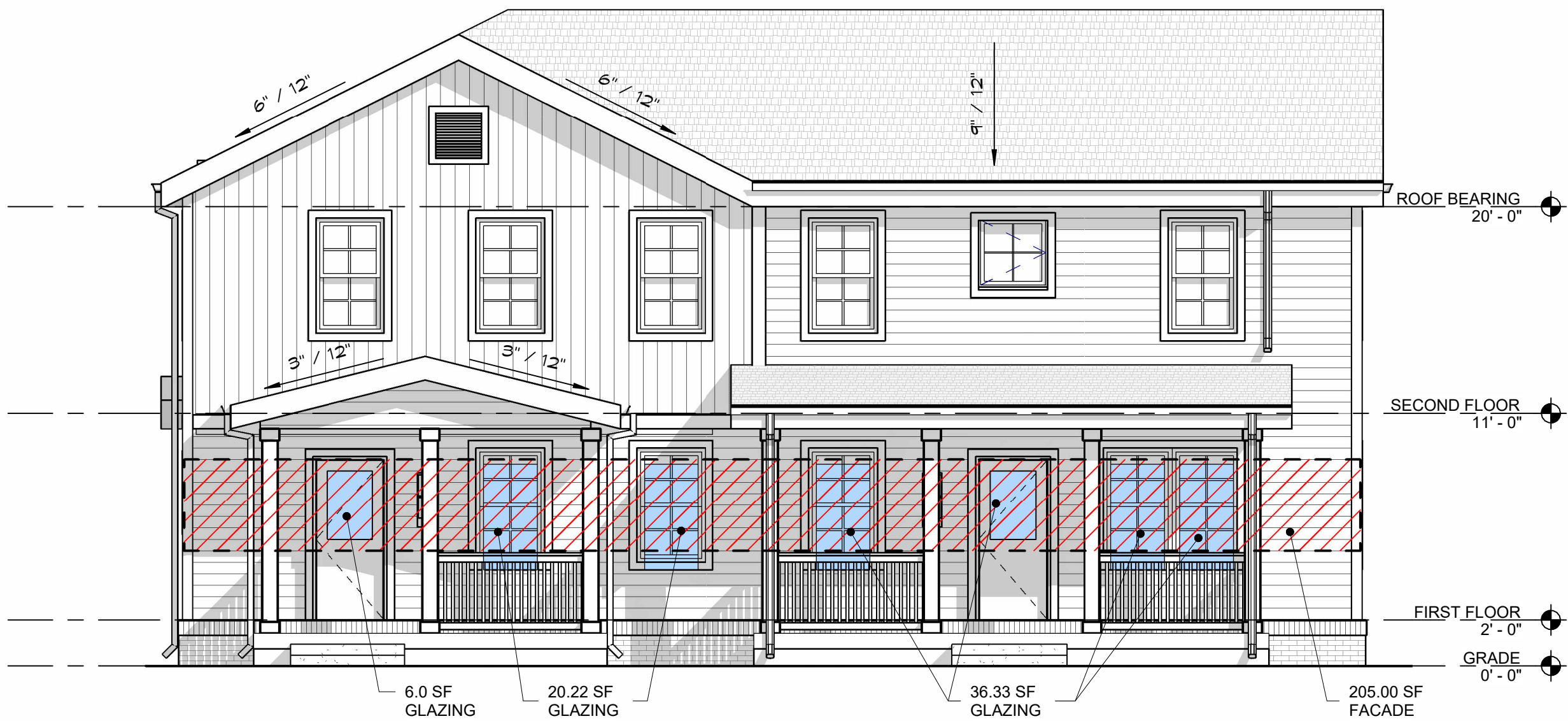
<b>INTERIOR UNIT TOTAL:</b>	<b>1,207 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>1,569 SF</b>

#### UNIT 3D - GROSS AREA

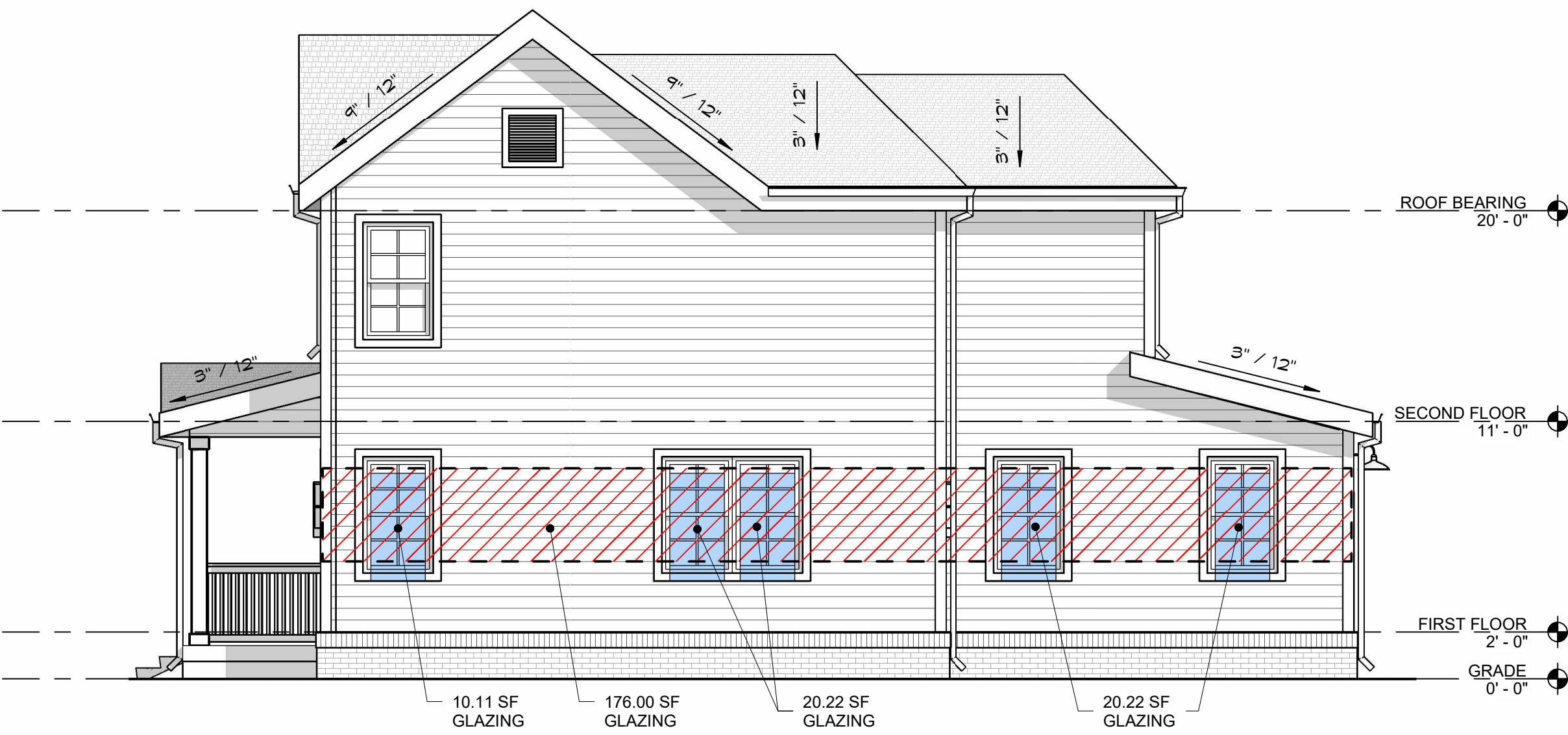
- 1ST FLOOR INTERIOR:	647 SF
- 2ND FLOOR INTERIOR:	927 SF
- GARAGE:	490 SF

<b>INTERIOR UNIT TOTAL:</b>	<b>1,574 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>2,064 SF</b>

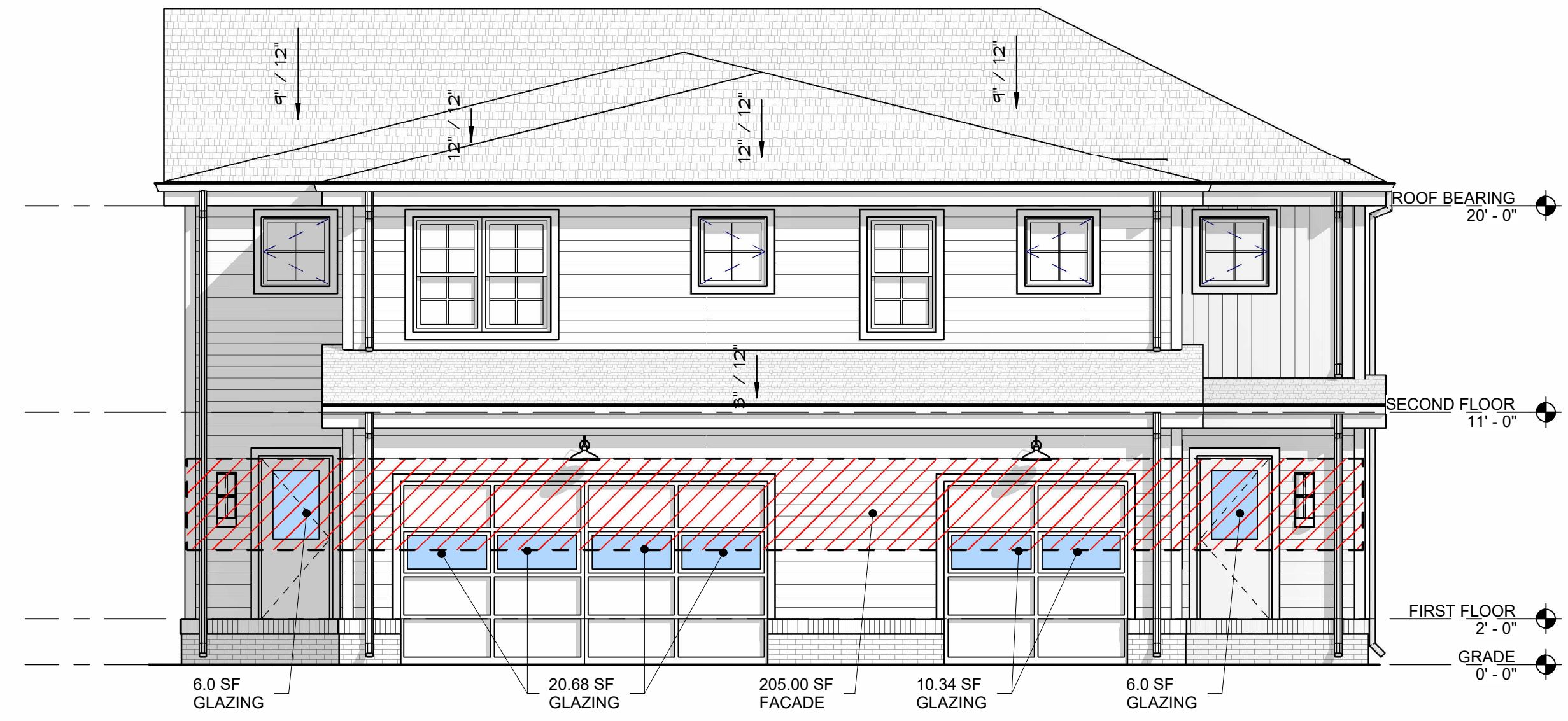




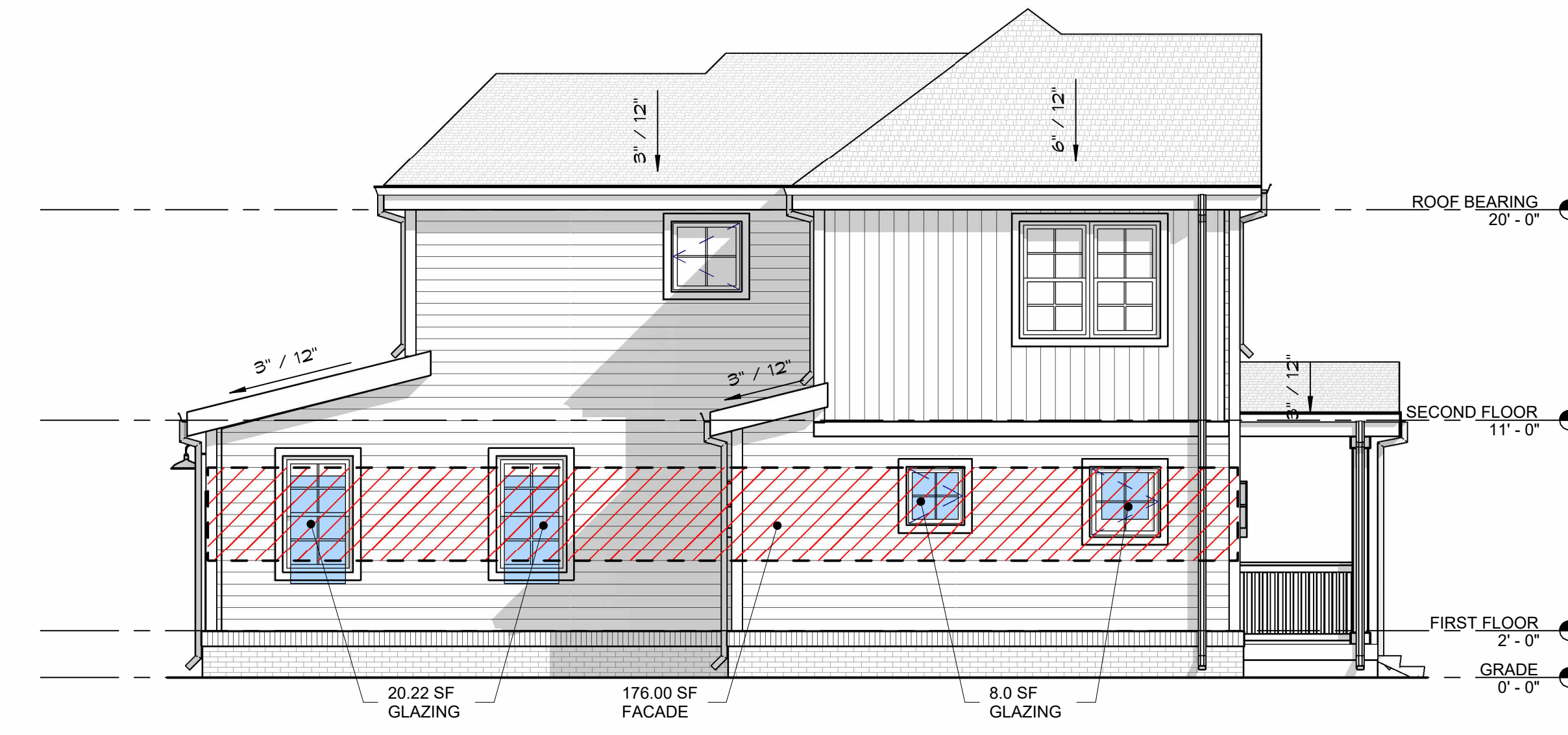
BUILDING TYPE "E" - FRONT ELEVATION - 62.55 SF GLAZING



BUILDING TYPE "E" - SIDE 1 ELEVATION - 50.55 SF GLAZING



BUILDING TYPE "E" - REAR ELEVATION - 43.02 SF GLAZING

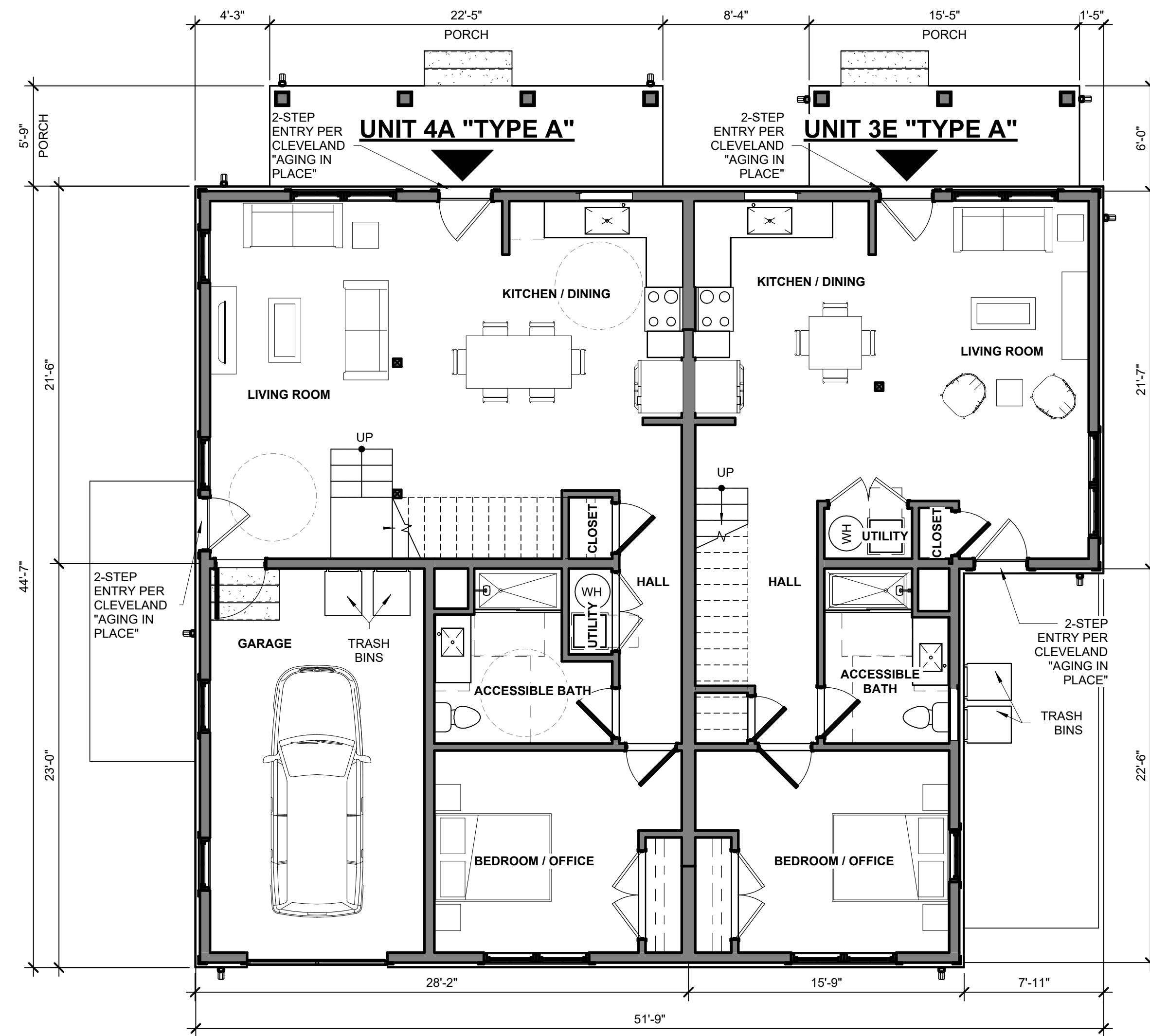


BUILDING TYPE "E" - SIDE 2 ELEVATION - 28.22 SF GLAZING

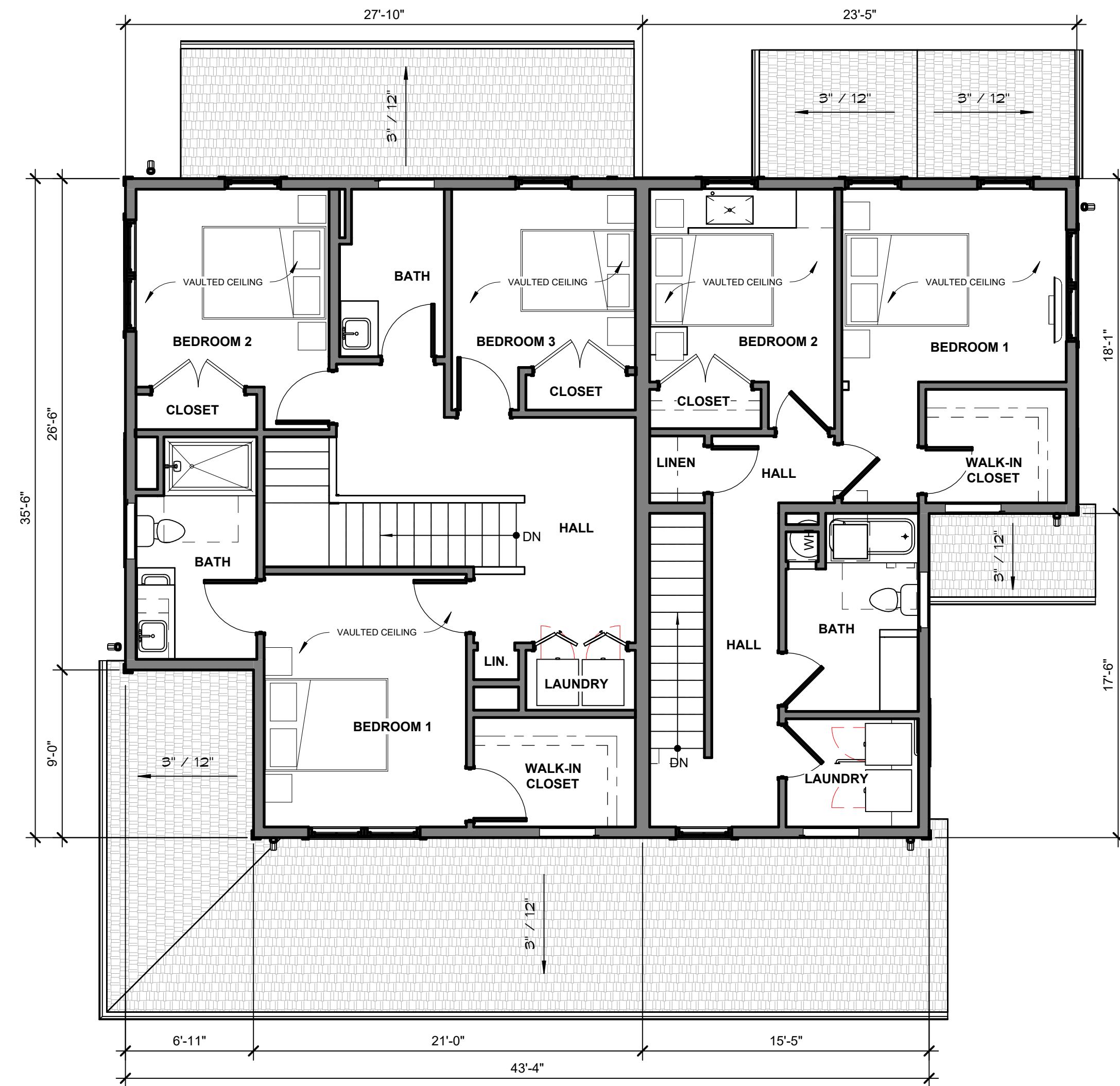
EXTERIOR FINISHES		
SYMBOL	MATERIAL	
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

ZONING FACADE LEGEND	
BUILDING TYPE "E"	
CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS	
A. FIRST - STORY GLAZING: "% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."	
PRIMARY FACADES:	35% GLAZING
SECONDARY FACADES:	25% GLAZING
INTERIOR FACADES:	20% GLAZING
MEWS FACADES:	20% GLAZING
TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:	
FRONT ELEVATION (PRIMARY):	205.00 SF
SIDE ELEVATION 1 (MEWS):	176.00 SF
SIDE ELEVATION 2 (MEWS):	176.00 SF
REAR ELEVATION (MEWS):	205.00 SF
TOTAL:	762.00 SF
TOTAL AREA (IN SQ. FT.) OF FIRST STORY TRANSPARENT GLAZING:	
FRONT ELEVATION (PRIMARY):	REQUIRED: 71.75 SF (35% OF 205.00) PROVIDED: 62.55 SF
SIDE ELEVATION 1 (MEWS):	REQUIRED: 35.20 SF (20% OF 176.00) PROVIDED: 50.55 SF
SIDE ELEVATION 2 (MEWS):	REQUIRED: 35.20 SF (20% OF 176.00) PROVIDED: 28.22 SF
REAR ELEVATION (MEWS):	REQUIRED: 41.00 SF (20% OF 205.00) PROVIDED: 43.02 SF





BUILDING TYPE "E-2" - FIRST FLOOR



BUILDING TYPE "E-2" - SECOND FLOOR

### TOTAL GROSS BUILDING AREA

- 1ST FLOOR GROSS:	2,122 SF
- 2ND FLOOR GROSS:	1,619 SF
- PORCHES / PATIOS:	467 SF

<b>GROSS BUILDING TOTAL:</b>	<b>3,741 SF</b>
<b>GROSS BUILDING W/ PORCHES:</b>	<b>4,208 SF</b>

### UNIT 3E (TYPE A) - GROSS AREA

- 1ST FLOOR INTERIOR:	876 SF
- 2ND FLOOR INTERIOR:	692 SF
- GARAGE:	0 SF

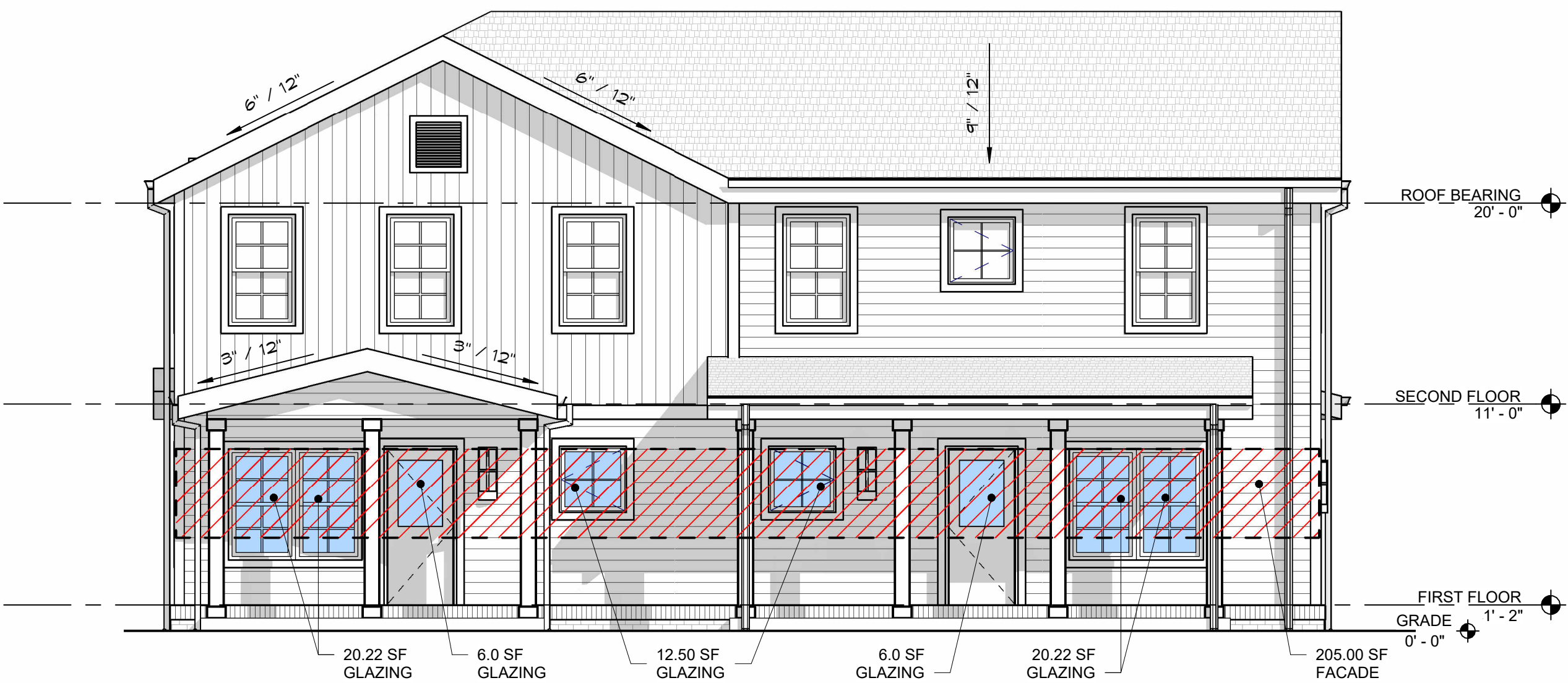
<b>INTERIOR UNIT TOTAL:</b>	<b>1,568 SF</b>
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### UNIT 4A (TYPE A) - GROSS AREA

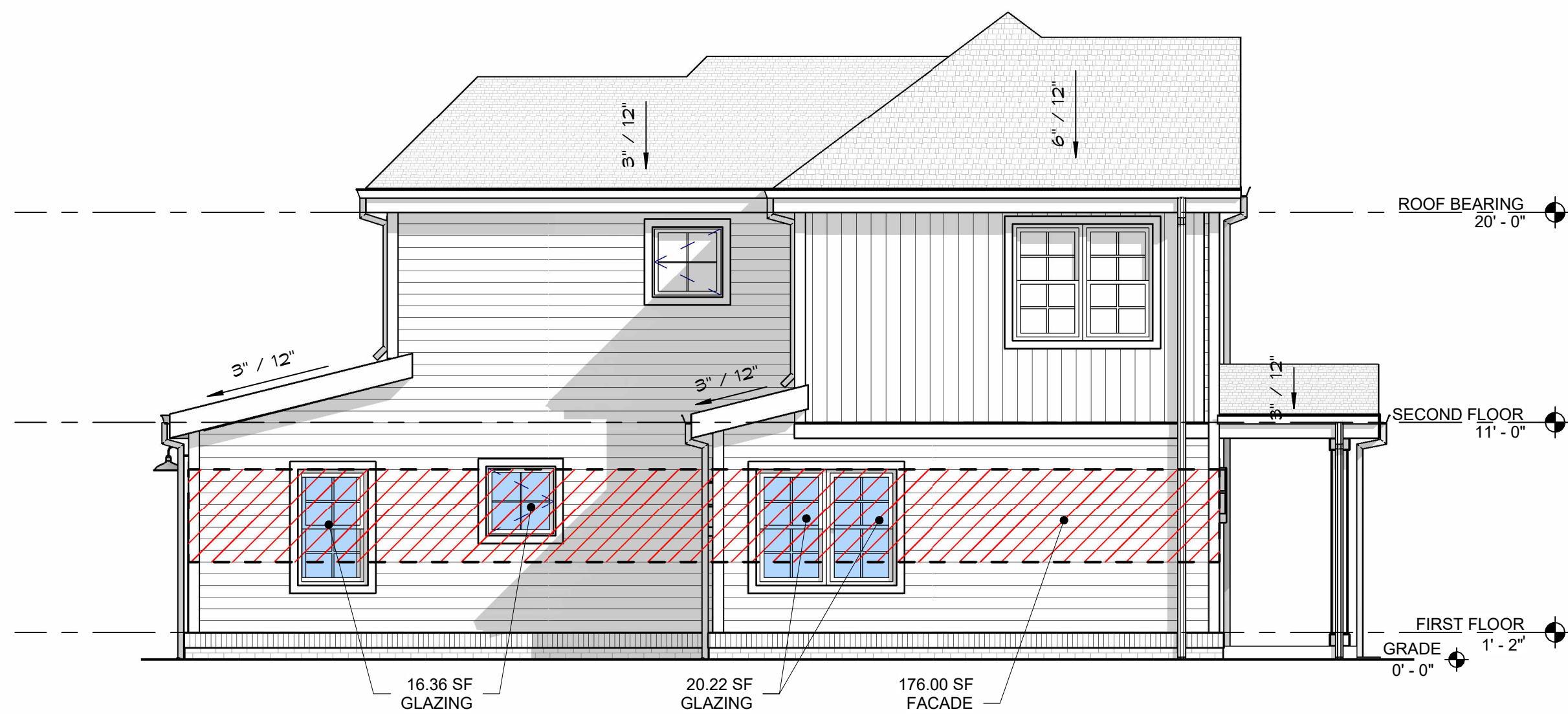
- 1ST FLOOR INTERIOR:	946 SF
- 2ND FLOOR INTERIOR:	927 SF
- GARAGE:	300 SF

<b>INTERIOR UNIT TOTAL:</b>	<b>1,873 SF</b>
<b>UNIT TOTAL W/ GARAGE:</b>	<b>2,173 SF</b>

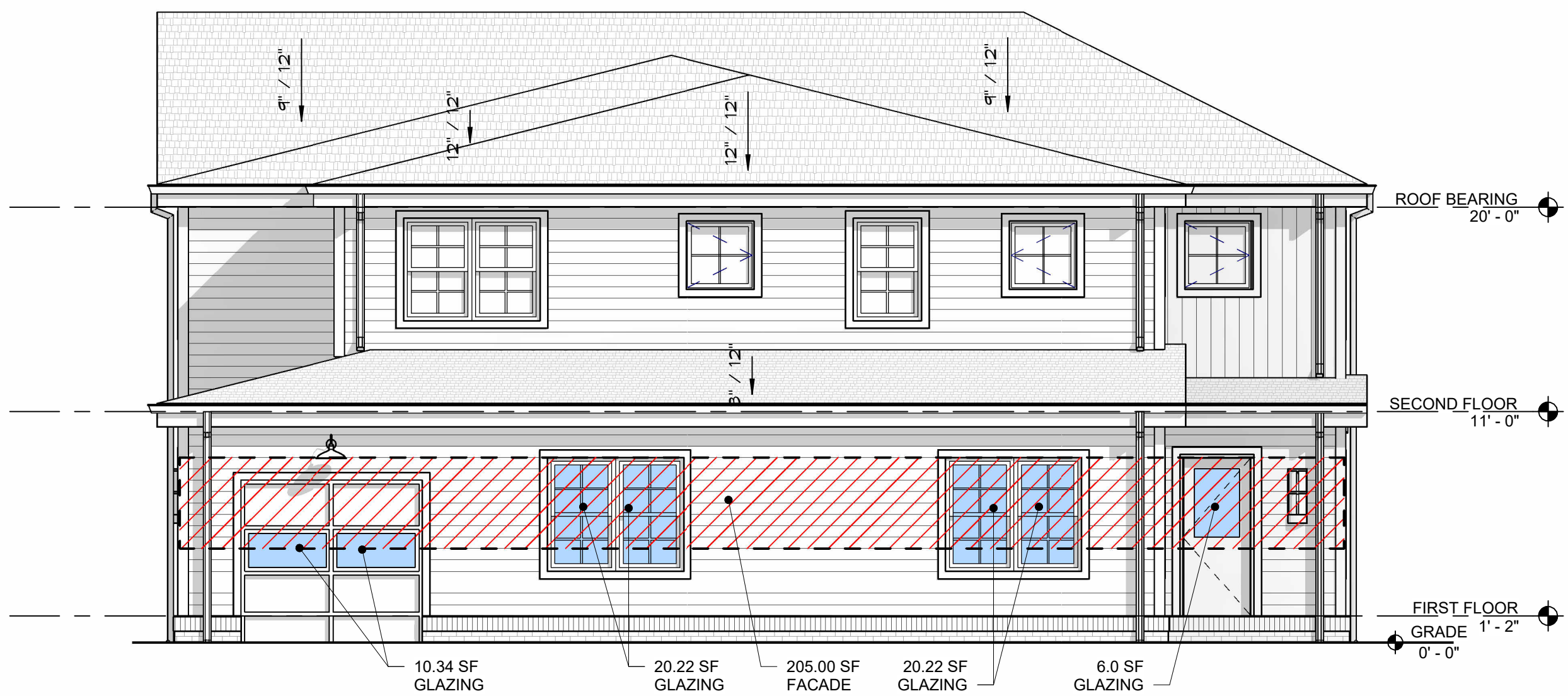




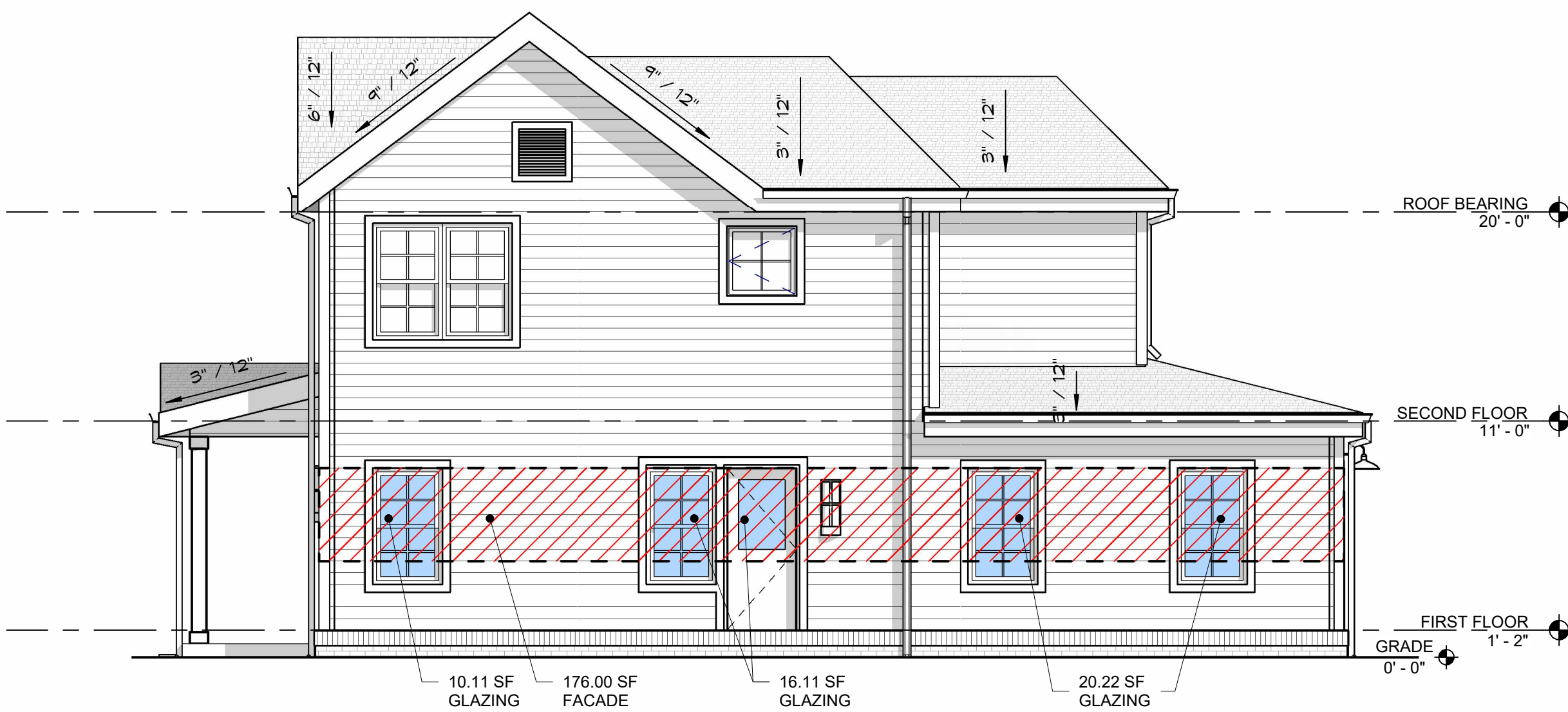
BUILDING TYPE "E-2" - FRONT ELEVATION - 64.94 SF GLAZING



BUILDING TYPE "E-2" - SIDE ELEVATION 1 - 36.58 SF GLAZING



BUILDING TYPE "E-2" - REAR ELEVATION - 56.78 SF GLAZING



BUILDING TYPE "E-2" - SIDE 2 ELEVATION - 46.44 SF GLAZING


EXTERIOR FINISHES		
SYMBOL	MATERIAL	
KEY	#	
SD	1	BOARD & BATTEN SIDING
SD	2	LAP SIDING
TR	1	OPENING MILLWORK OR TRIM
TR	2	CORNER MILLWORK OR TRIM
TR	3	TOP WALL MILLWORK OR TRIM
AS	1	ASPHALT SHINGLE
BR	1	FACE BRICK (PRIMARY UNITS ONLY)

### ZONING FACADE LEGEND BUILDING TYPE "E-2"

CLEVELAND ZONING CODE - 337.031 TOWNHOUSE (RA) DISTRICTS

A. FIRST - STORY GLAZING:  
"% OF FACADE REQUIRED TO BE TRANSPARENT WINDOWS AND DOORS BETWEEN 3' AND 7' ABOVE FINISHED FLOOR."

PRIMARY FACADES: 35% GLAZING  
SECONDARY FACADES: 25% GLAZING  
INTERIOR FACADES: 20% GLAZING  
MEWS FACADES: 20% GLAZING

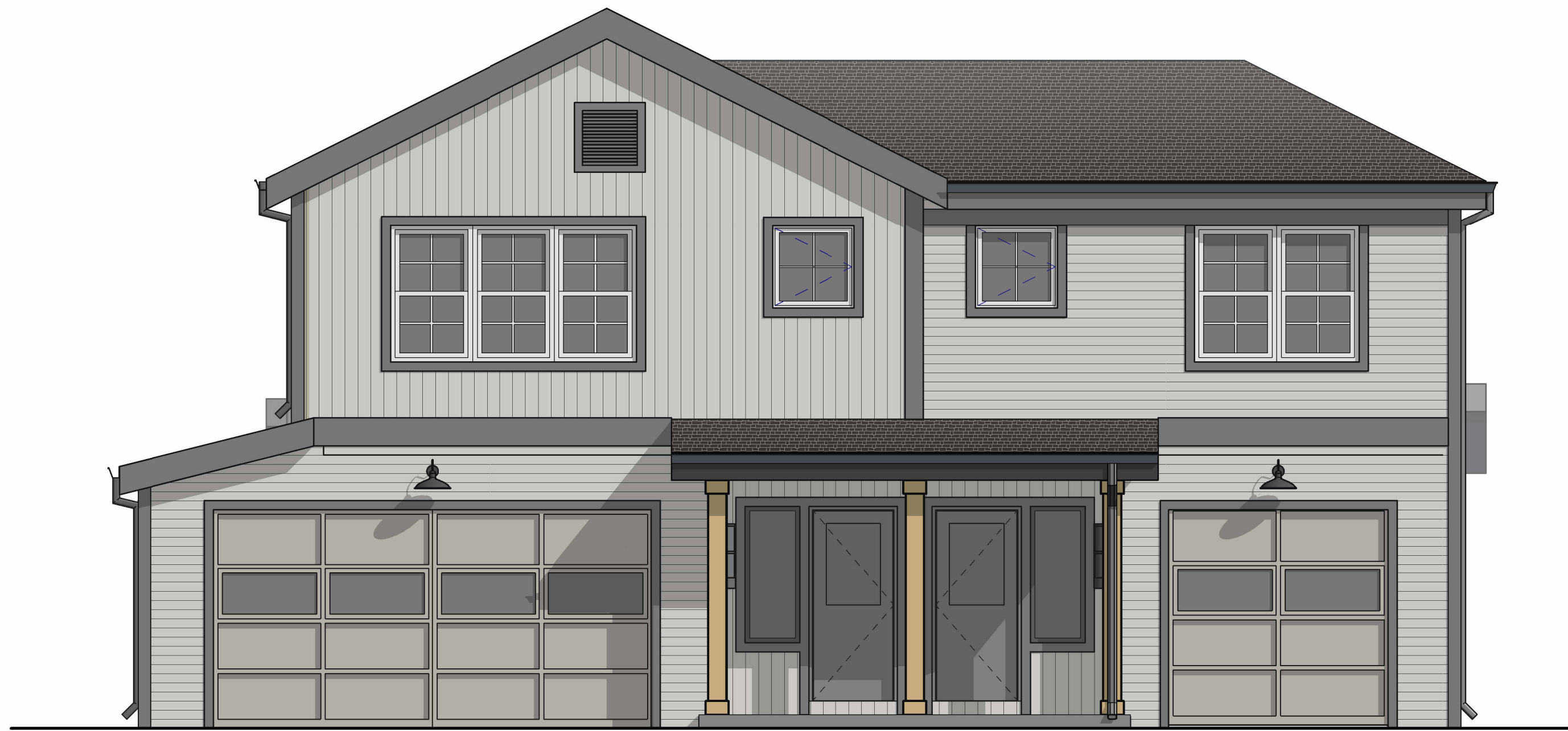
 TOTAL AREA (IN SQ. FT.) OF FACADE BETWEEN 3'-0" AND 7'-0" ABOVE FINISHED FLOOR:

**FRONT ELEVATION (PRIMARY):** 205.00 SF  
**SIDE ELEVATION 1 (MEWS):** 176.00 SF  
**SIDE ELEVATION 2 (MEWS):** 176.00 SF  
**REAR ELEVATION (MEWS):** 205.00 SF  
**TOTAL:** 762.00 SF

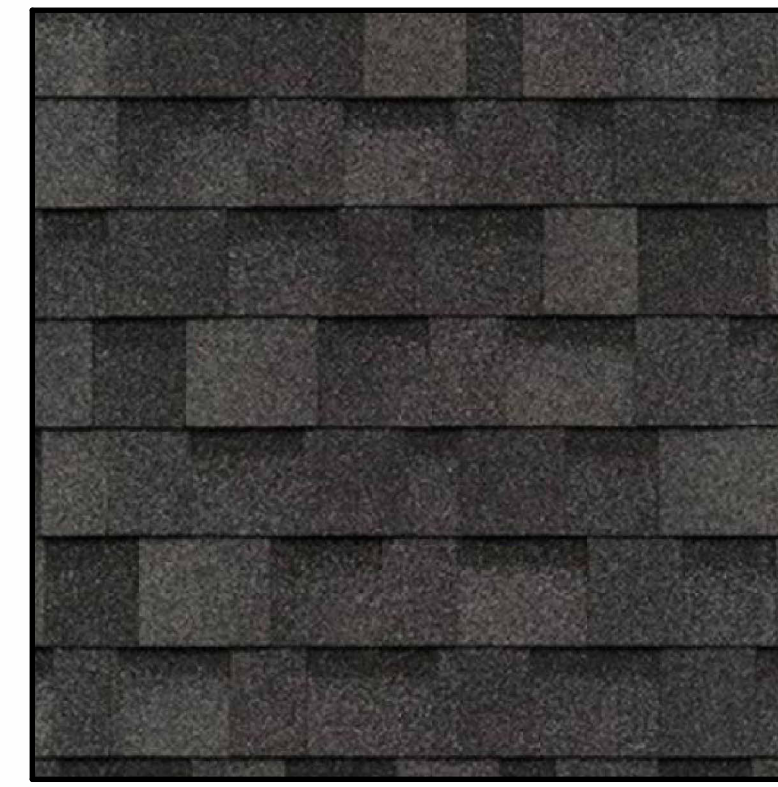
 TOTAL AREA (IN SQ. FT.) OF FIRST STORY TRANSPARENT GLAZING:

**FRONT ELEVATION (PRIMARY):**  
REQUIRED: 71.75 SF (35% OF 205.00)  
PROVIDED: 64.94 SF  
**SIDE ELEVATION 1 (MEWS):**  
REQUIRED: 35.20 SF (20% OF 176.00)  
PROVIDED: 36.58 SF  
**SIDE ELEVATION 2 (MEWS):**  
REQUIRED: 35.20 SF (20% OF 176.00)  
PROVIDED: 46.44 SF  
**REAR ELEVATION (MEWS):**  
REQUIRED: 41.00 SF (20% OF 205.00)  
PROVIDED: 56.78 SF





BUILDING A - MONOCHROME CPC



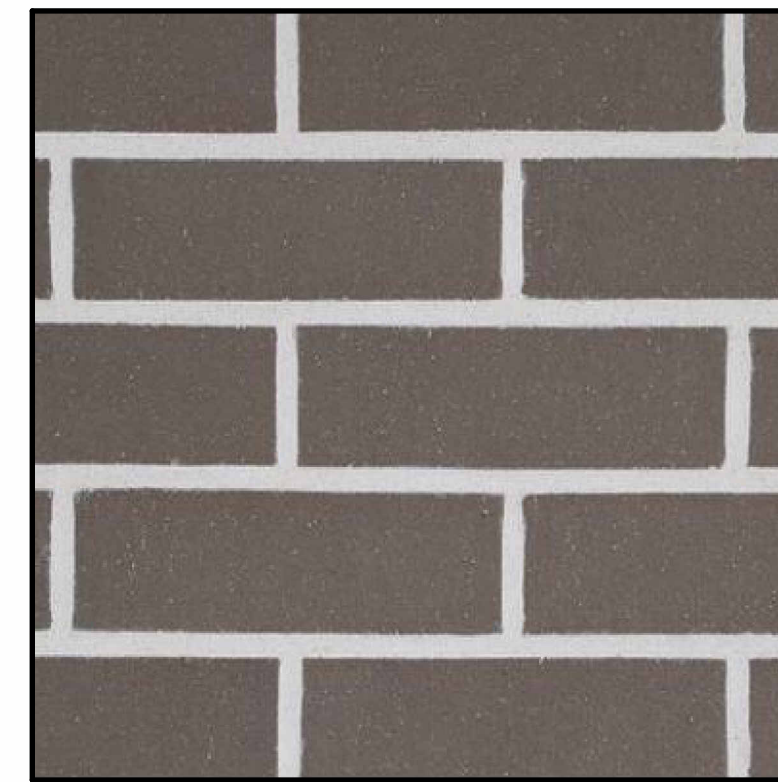
**AS-1 - ASPHALT SHINGLE**

"DARK GRAY"



**SD-1 - BOARD & BATTEN**

"ARCTIC WHITE"



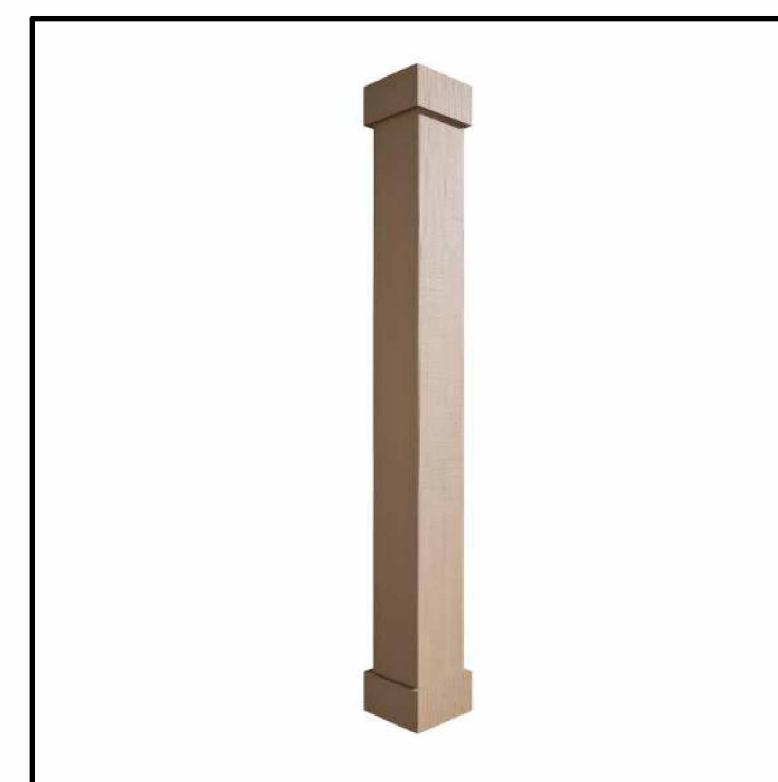
**BR-1 - FACE BRICK**

BELDEN BRICK - "FIELD GRAY" SMOOTH



**SD-2 - LAP SIDING**

"ARCTIC WHITE"



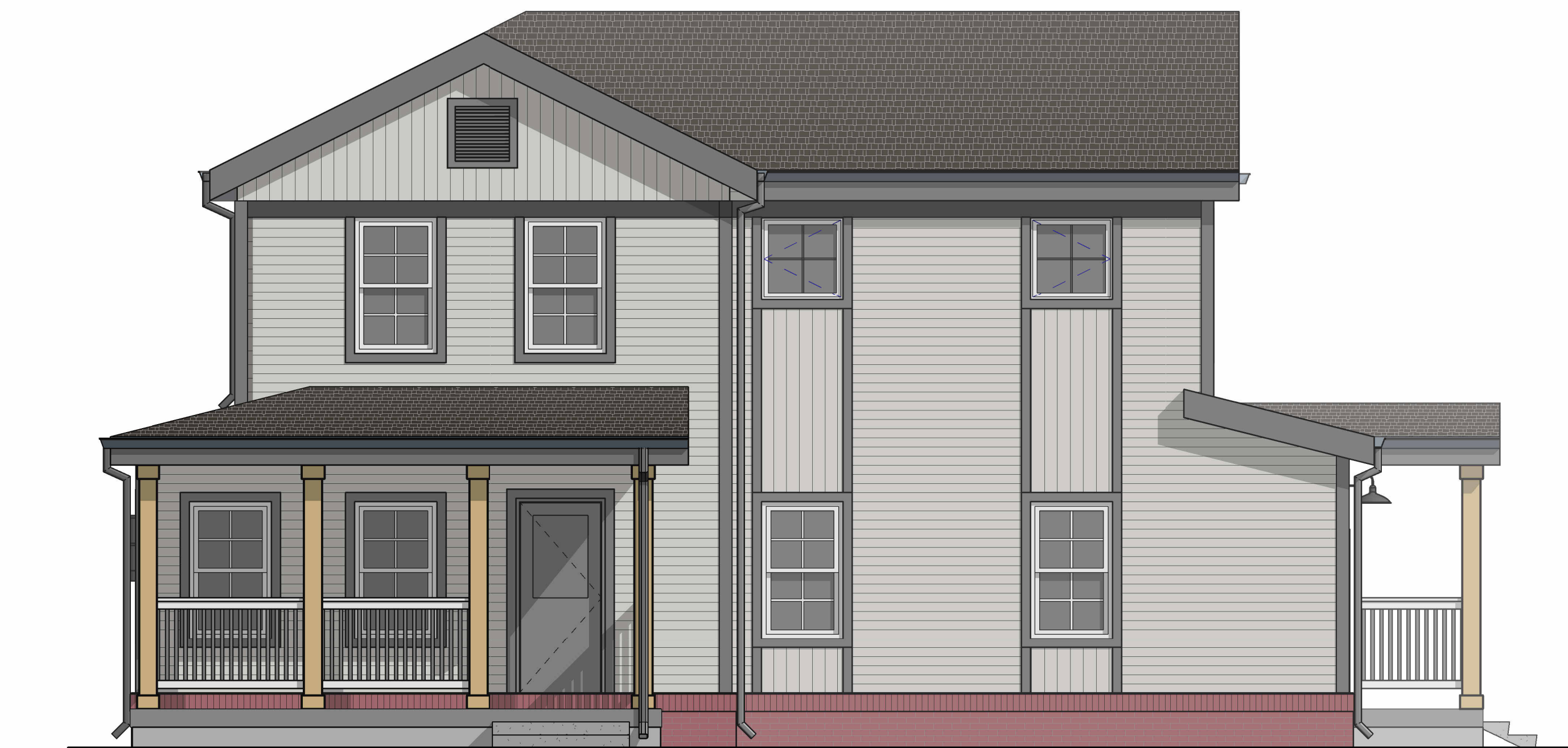
**CO-1 - COLUMN WRAP**

POLYURETHANE WRAP - WOOD FINISH



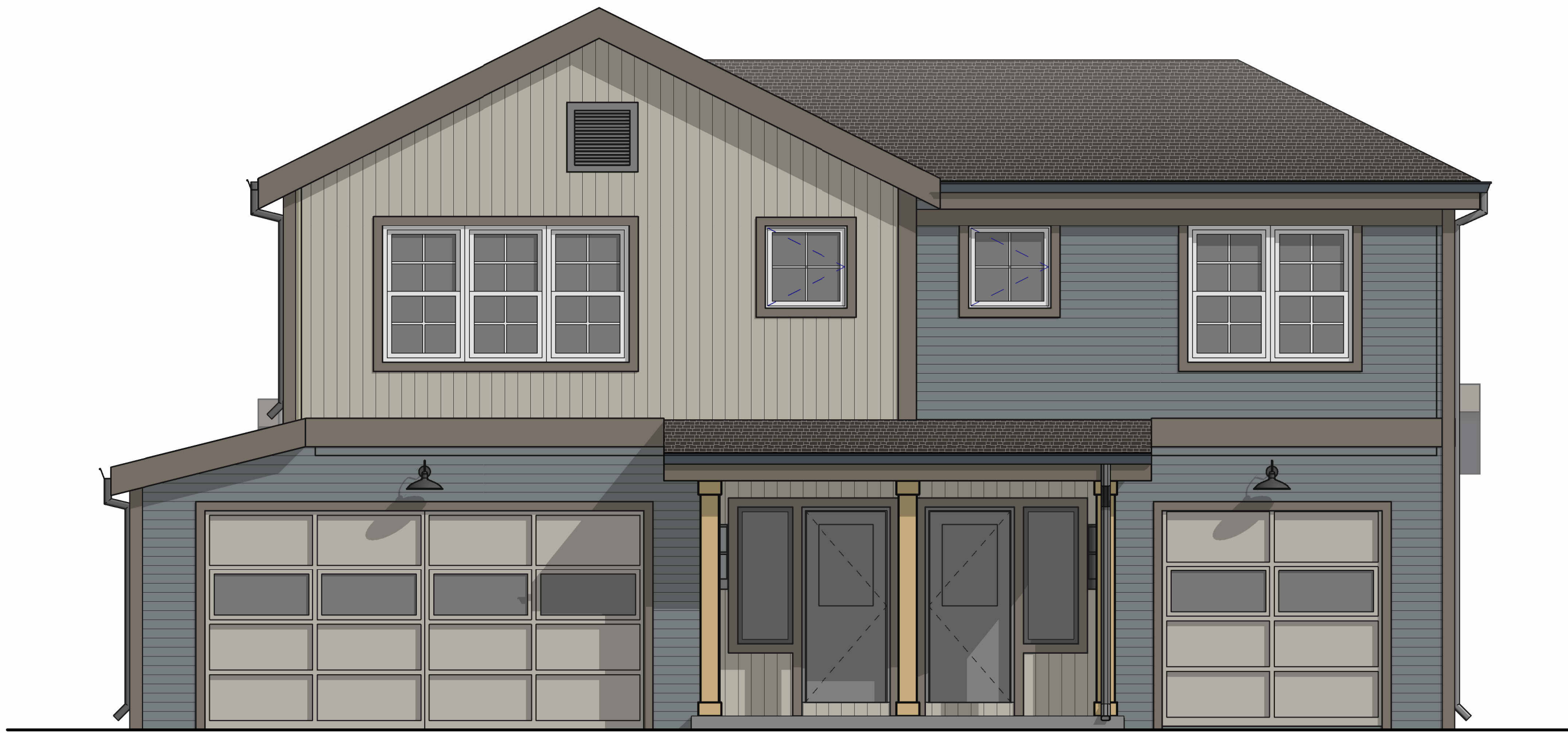
**TR-1 - TRIM BOARDS**

"IRON GRAY"

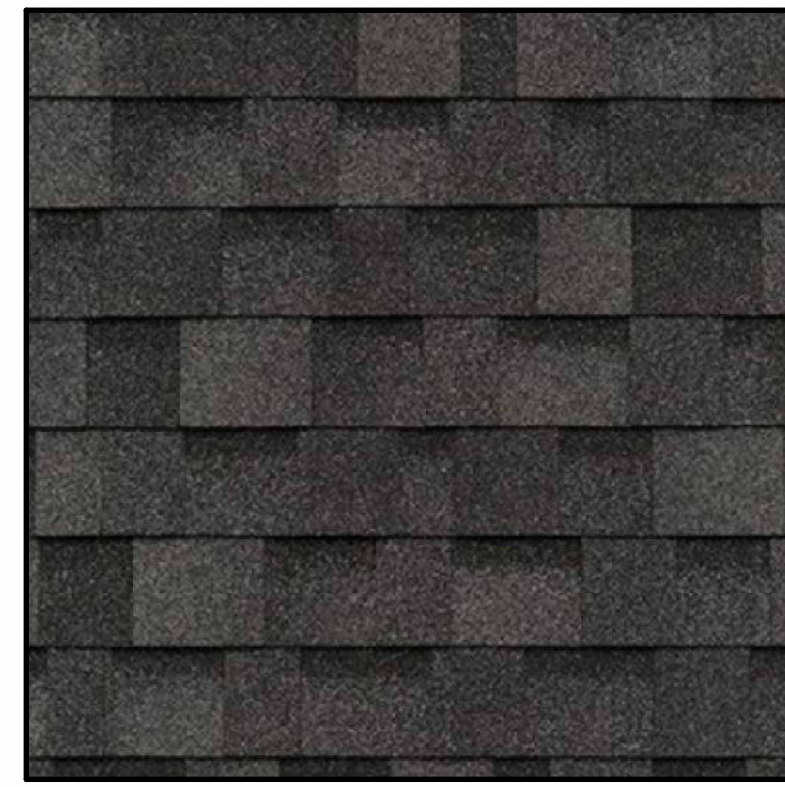


BUILDING B - MONOCHROME CPC





BUILDING A - LAKESIDE CPC



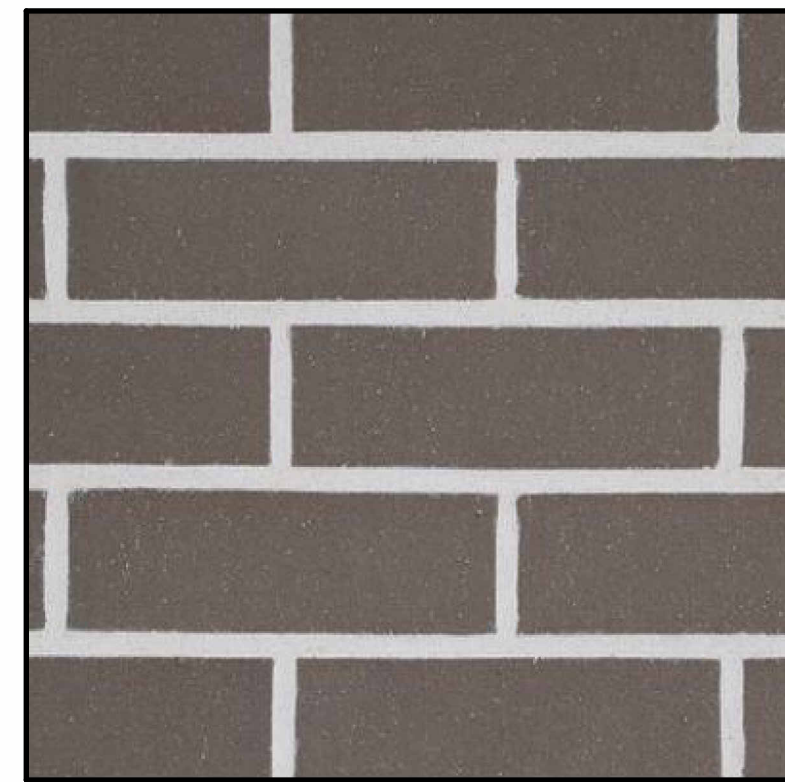
**AS-1 - ASPHALT SHINGLE**

"DARK GRAY"



**SD-1 - BOARD & BATTEN**

"COBBLESTONE"



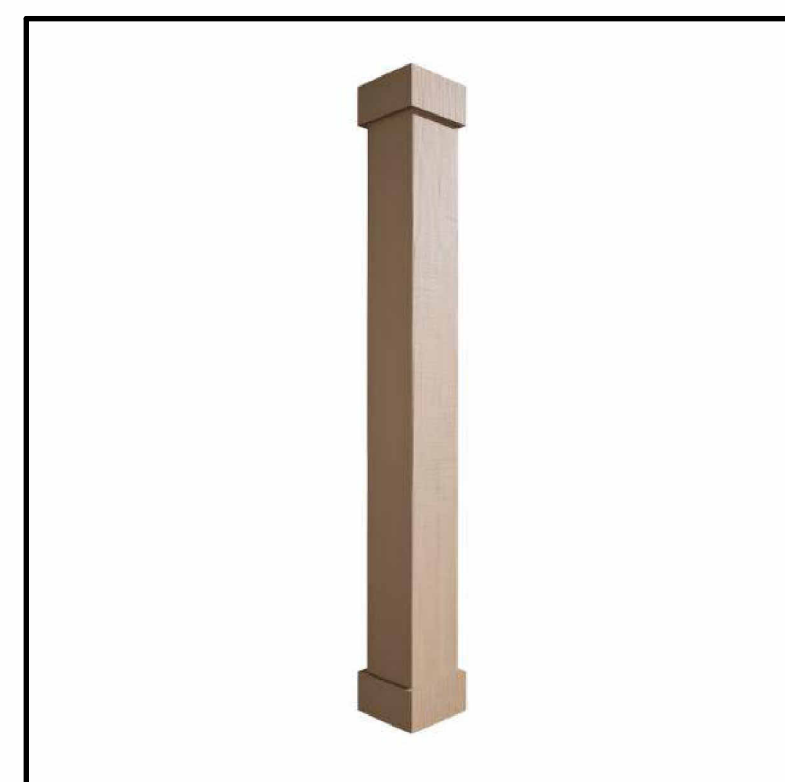
**BR-1 - FACE BRICK**

BELDEN BRICK - "FIELD GRAY" SMOOTH



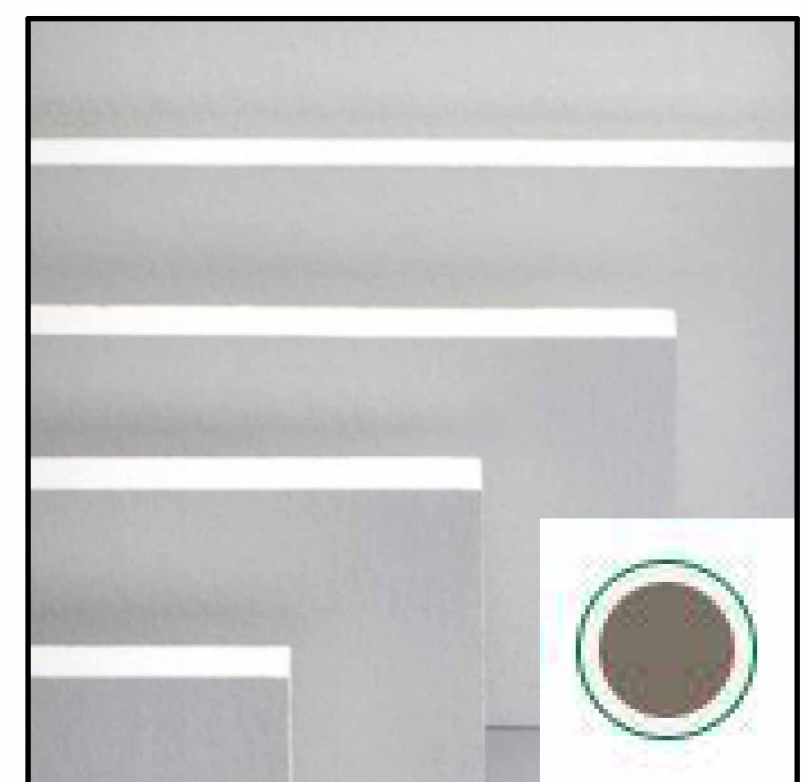
**SD-2 - LAP SIDING**

"BOOTHBAY BLUE"



**CO-1 - COLUMN WRAP**

POLYURETHANE WRAP - WOOD FINISH



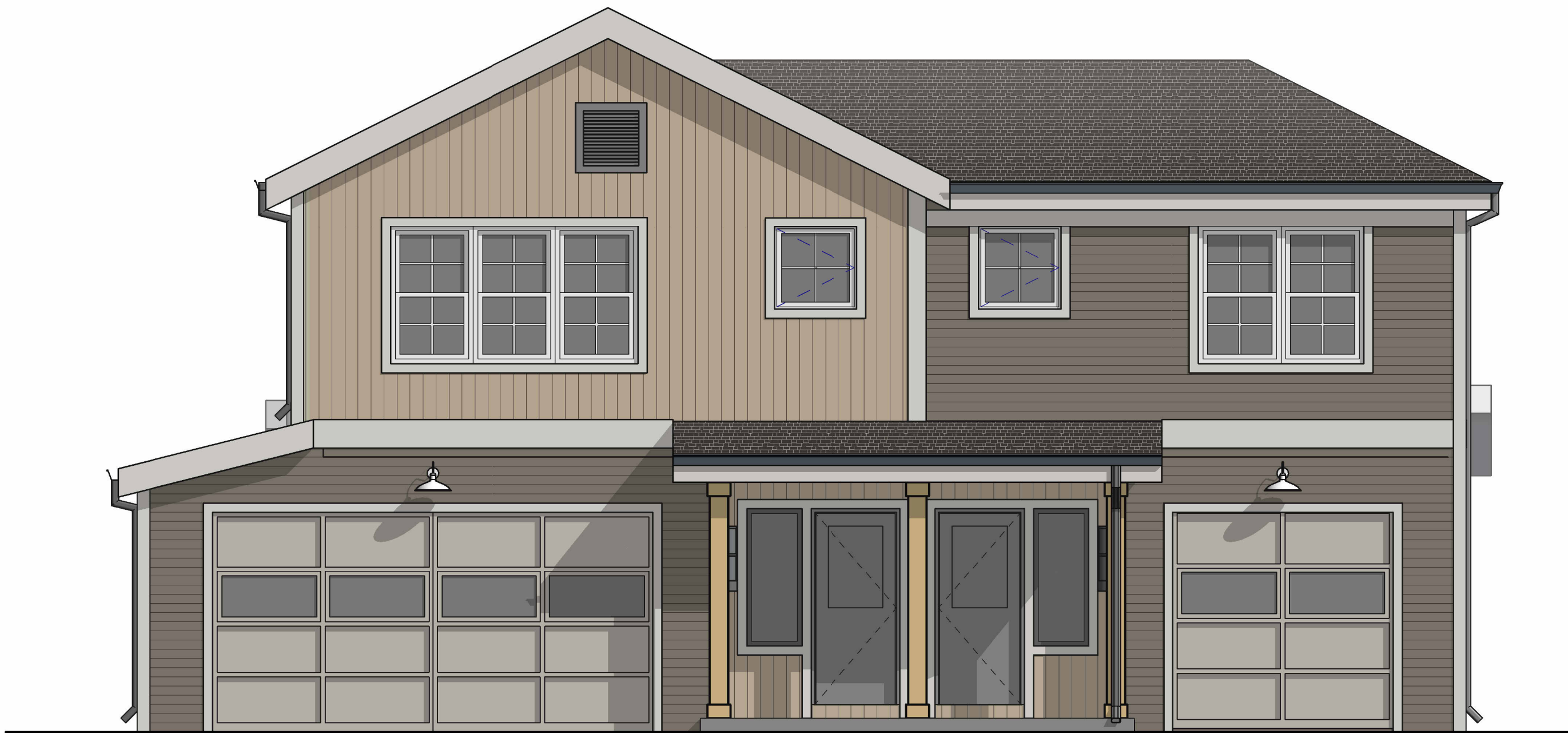
**TR-1 - TRIM BOARDS**

"TIMBER BARK"



BUILDING B - LAKESIDE CPC

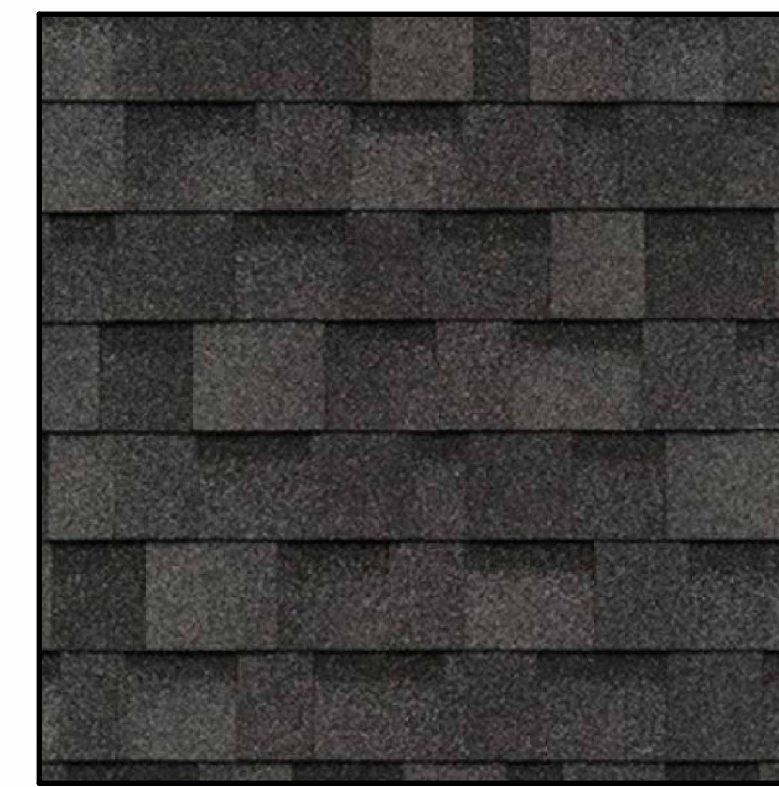




BUILDING A - RUSTIC CPC

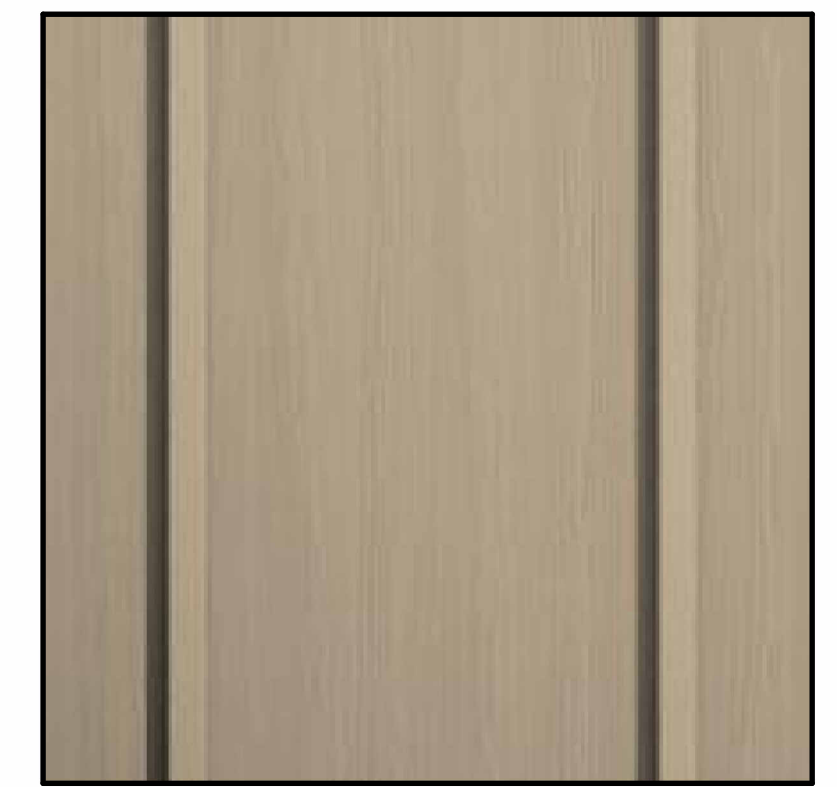


BUILDING B - RUSTIC CPC



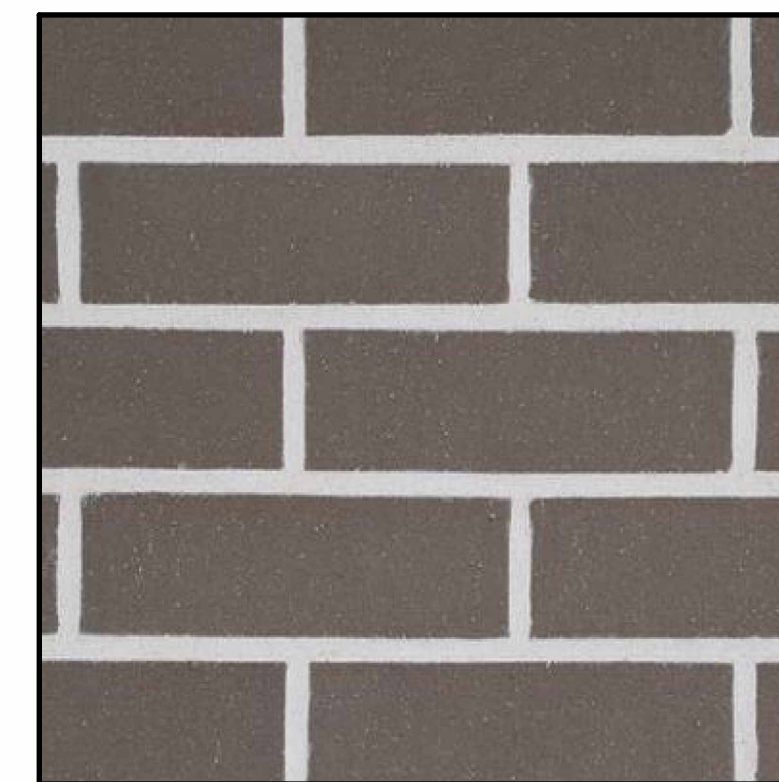
**AS-1 - ASPHALT SHINGLE**

"DARK GRAY"



**SD-1 - BOARD & BATTEN**

"RUGGED PATH"



**BR-1 - FACE BRICK**

BELDEN BRICK - "FIELD GRAY" SMOOTH



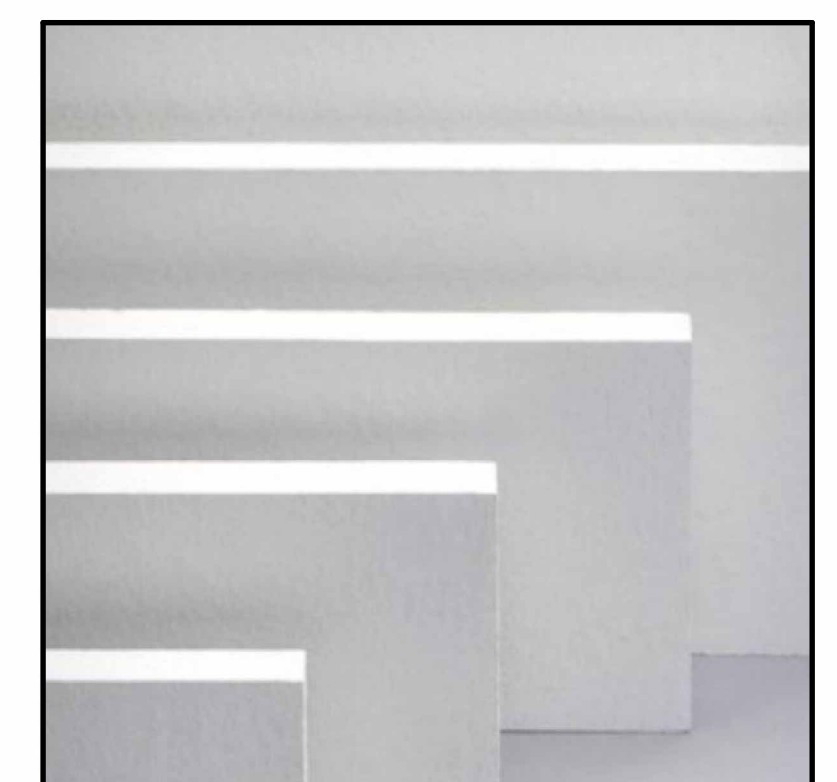
**SD-2 - LAP SIDING**

"TIMBER BARK"



**CO-1 - COLUMN WRAP**

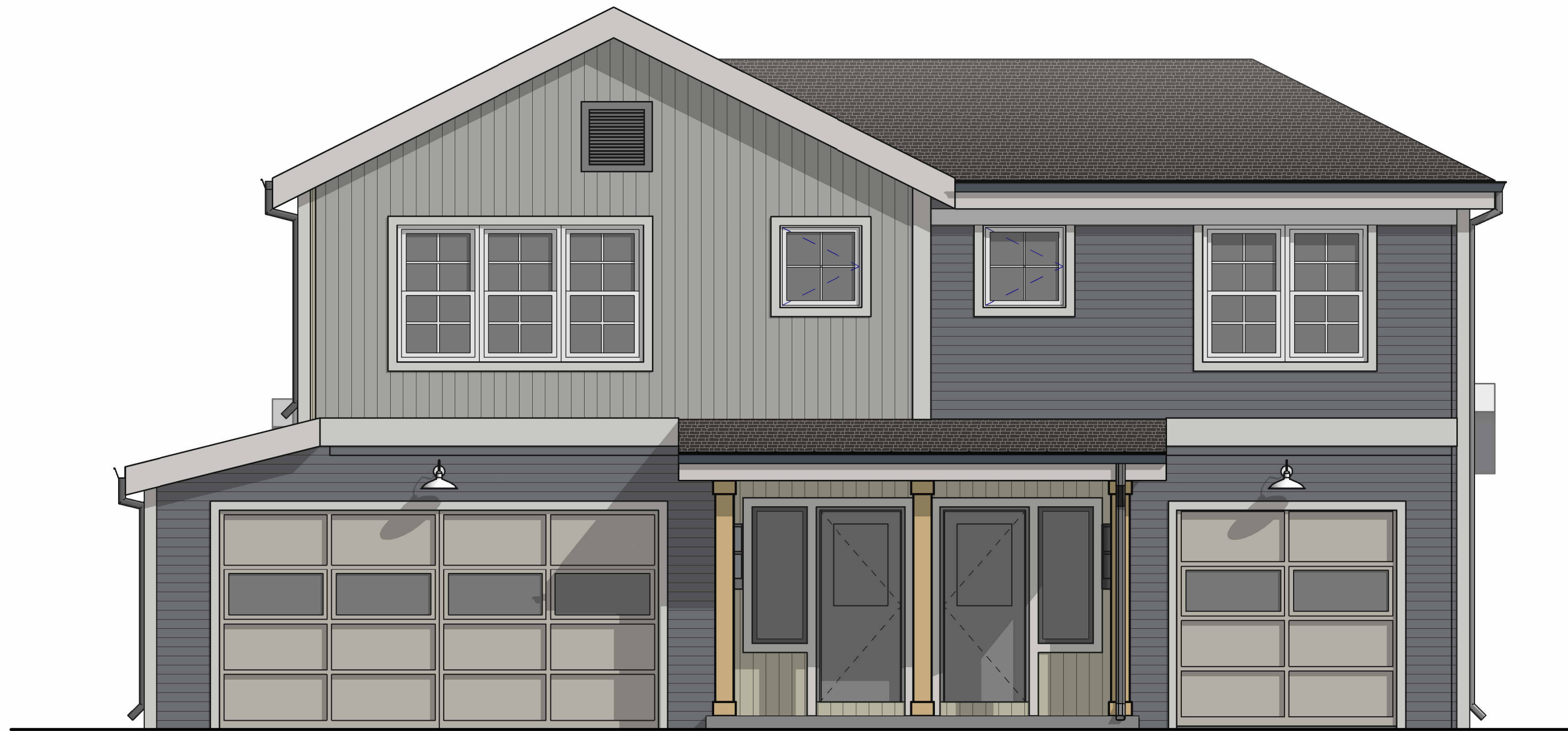
POLYURETHANE WRAP - WOOD FINISH



**TR-1 - TRIM BOARDS**

"ARCTIC WHITE"

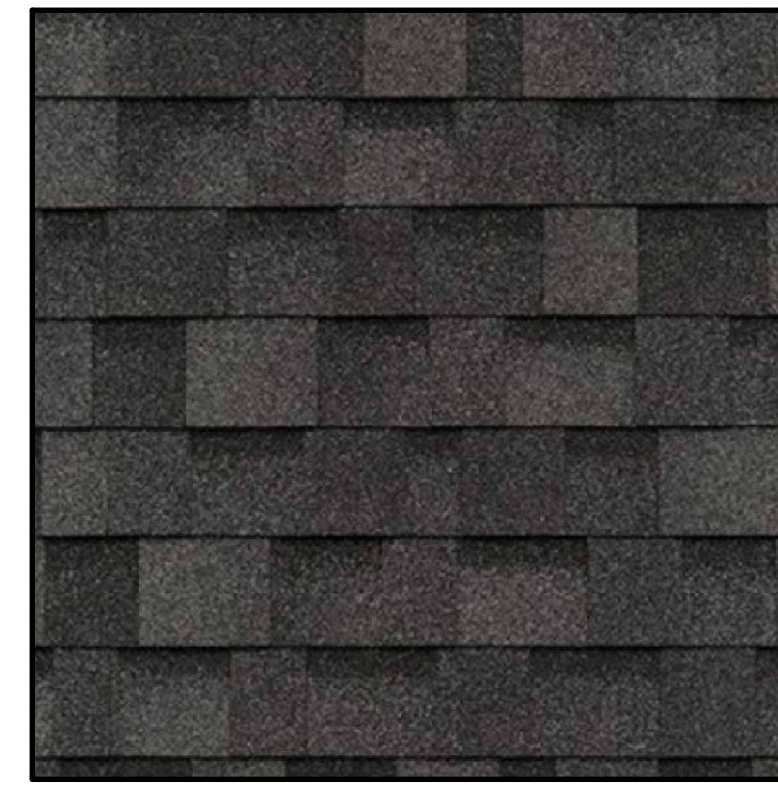




BUILDING A - URBAN CPC



BUILDING B - URBAN CPC



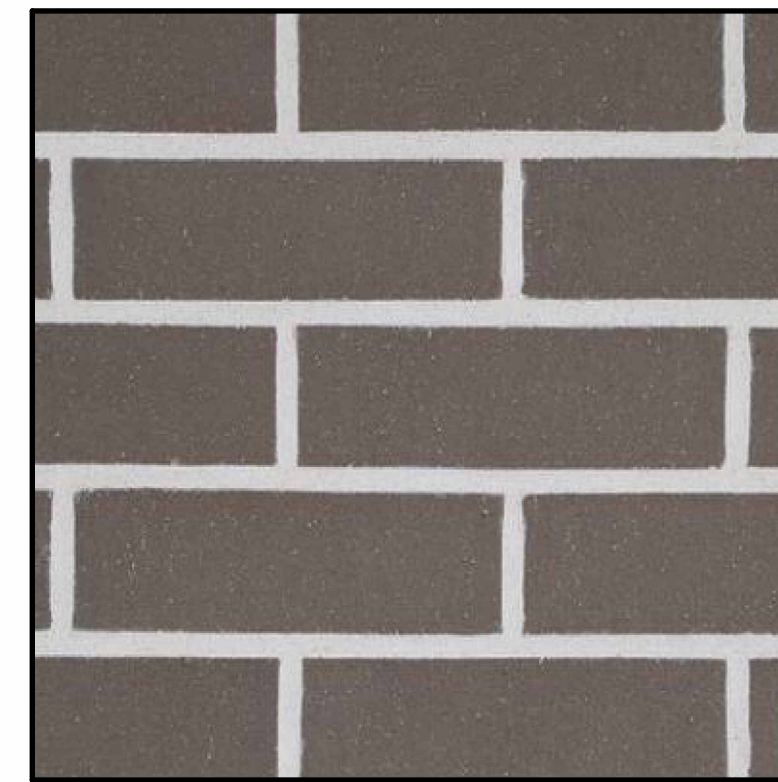
**AS-1 - ASPHALT SHINGLE**

"DARK GRAY"



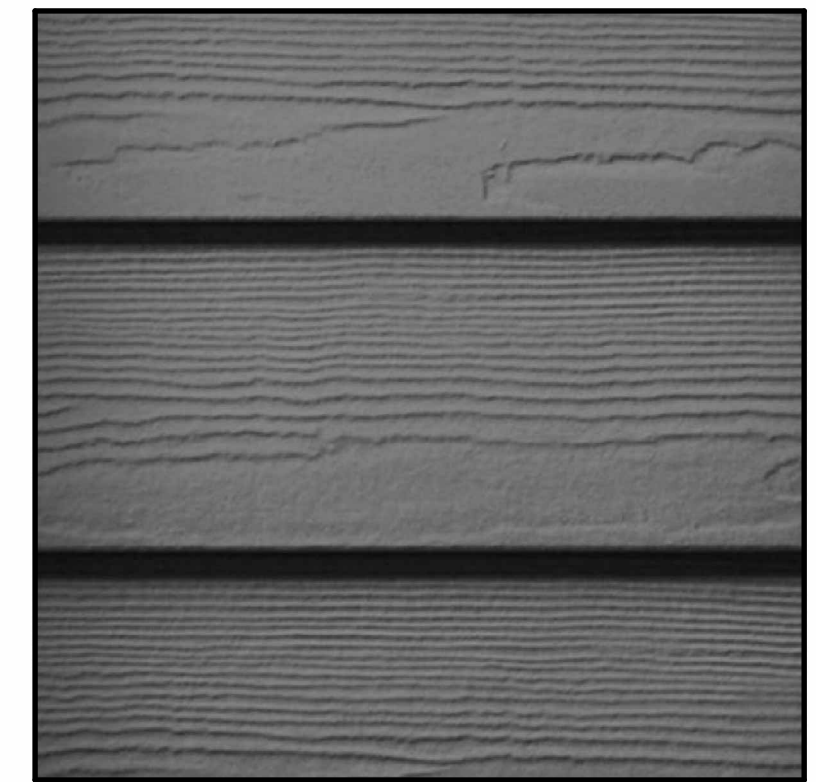
**SD-1 - BOARD & BATTEN**

"PEARL GRAY"



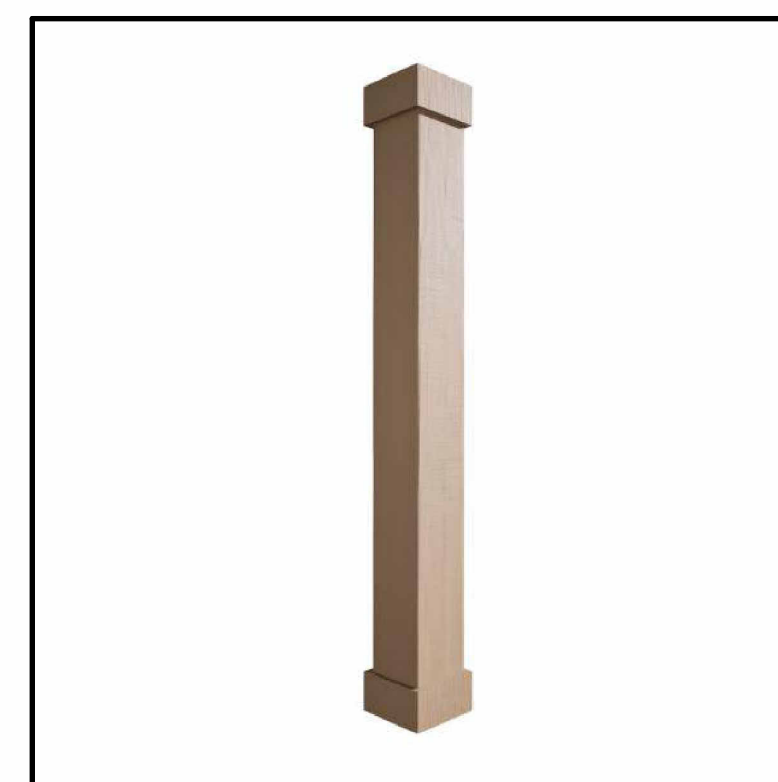
**BR-1 - FACE BRICK**

BELDEN BRICK - "FIELD GRAY" SMOOTH



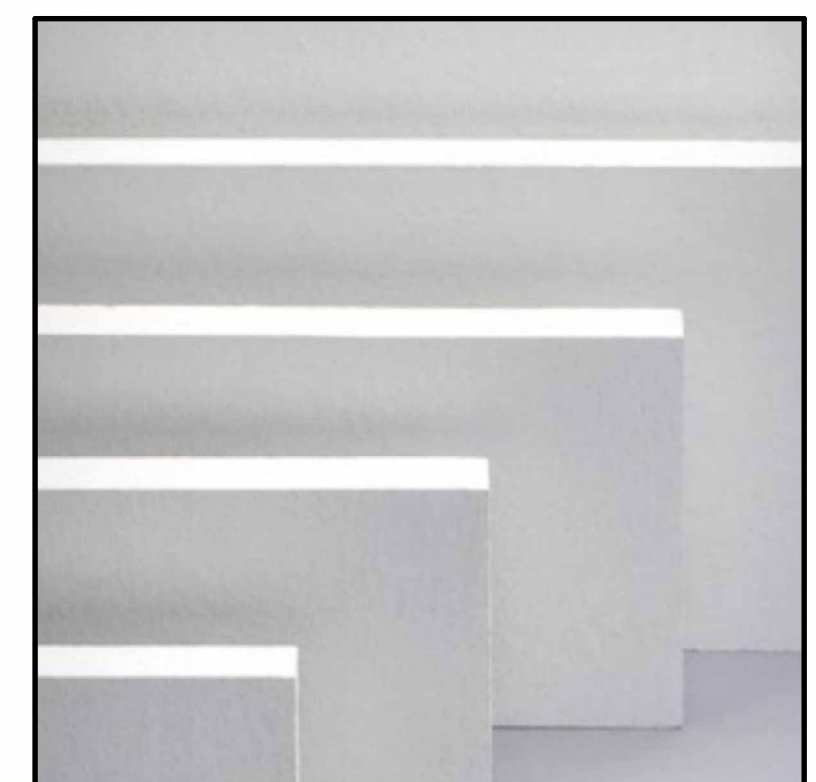
**SD-2 - LAP SIDING**

"NIGHT GRAY"



**CO-1 - COLUMN WRAP**

POLYURETHANE WRAP - WOOD FINISH



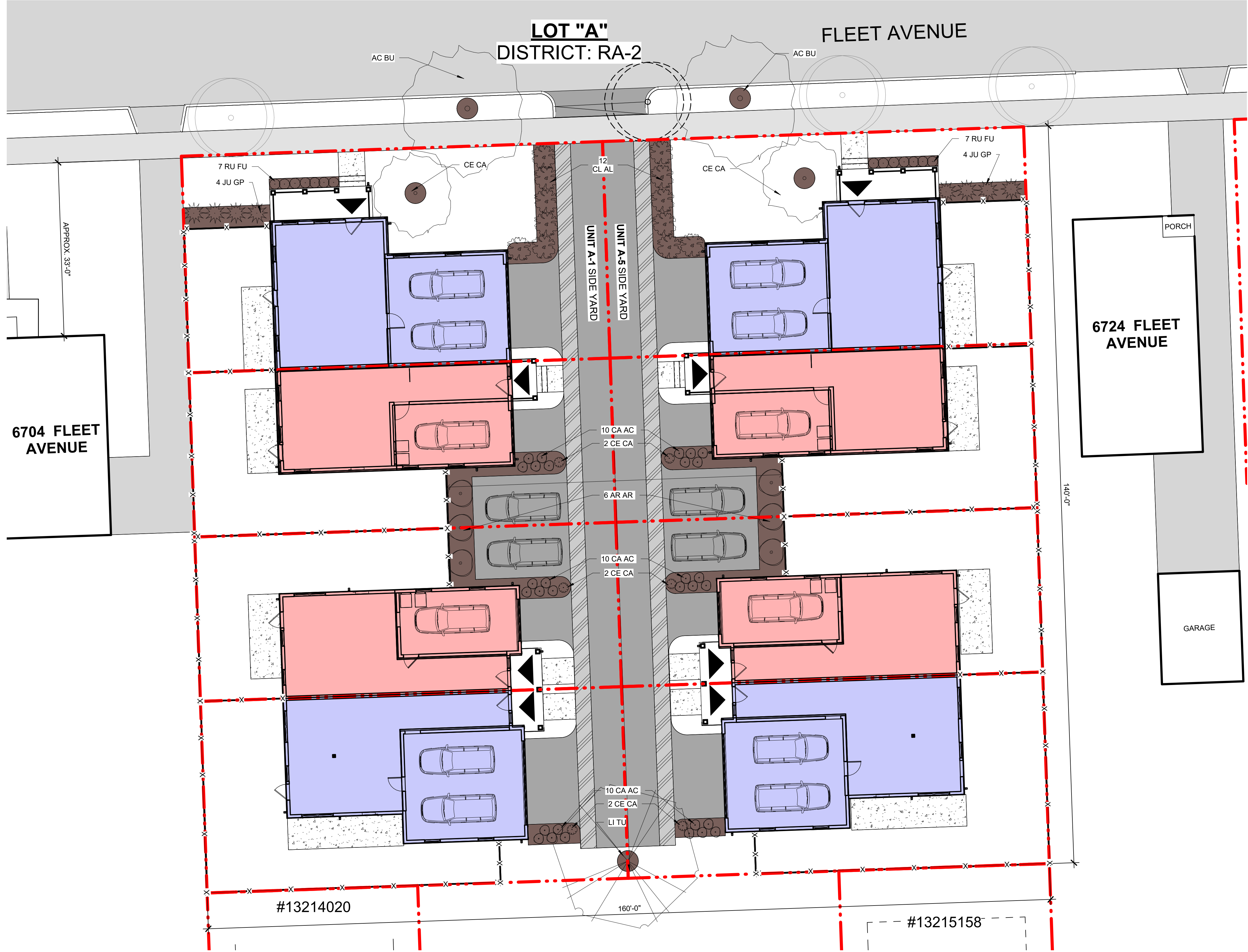
**TR-1 - TRIM BOARDS**

"ARCTIC WHITE"



# LANDSCAPE





X — X — X 42" HIGH METAL FENCE

TYPICAL PLANTING SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AR AR	6	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	CONT.	#5
RU FU	14	RUDBEKIA FULGIDA VAR. SULLIVANTII 'GOLSDSTURM'	GOLDSTURM BLACK EYED SUSAN		#1
CA AC	30	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	CONT.	#1
CE CA	2	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	B&B	6-7'
EC PU	6	ECHINACEA PURPUREA	CONEFLOWER	CONT.	#1
JU GP	8	JUNIPERUS 'GREEN POINT'	GREEN POINT JUNIPER	CONT.	#5
AC BU	2	ACER BUERGERIANUM	TRIDENT MAPLE	B&B	6-7'
LI TU	1	LIRIODENDRON TULIPIFERA	TULIP TREE	B&B	6-7'
CL AL	12	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	CONT.	#5

NOTE: PLANT QUANTITY AND VARIETY MAY CHANGE FROM SITE TO SITE BASED ON DIFFERENT CONDITIONS.

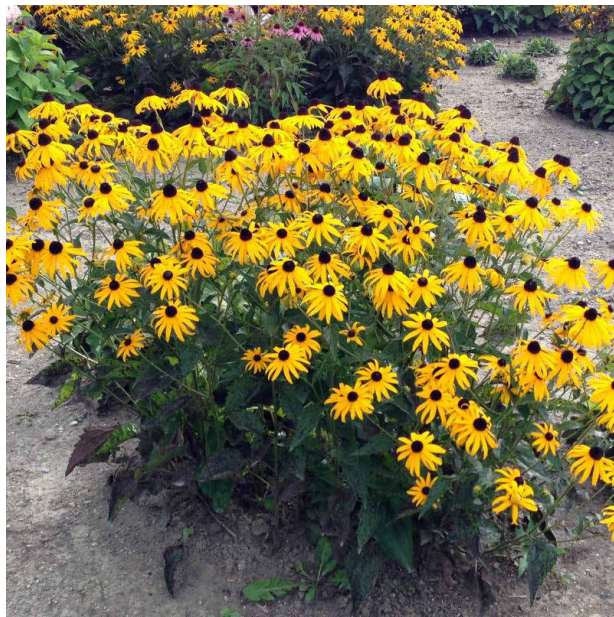




OCTOBER SKIES ASTER - *ASTER OBLONGIFOLIUS* 'OCTOBER SKIES'



BRILLIANT RED CHOKEBERRY - *ARONIA ARBUTIFOLIA* 'BRILLIANTISSIMA'



GOLDSTRUM BLACK EYED SUSAN - *RUDBECKIA FULGIDA* VAR *SULLIVANTII* 'GOLDSTURM'



DELAWARE VALLEY WHITE AZALEA - *RHODODENDRON* 'DELAWARE VALLEY WHITE'



TULIPTREE - *LIRIODENDRON TULIPIFERA*



EASTERN HEMLOCK - *TSUGA CANADENSIS*



SWEETBAY MAGNOLIA - *MAGNOLIA VIRGINIANA*



KARL FOERSTER FEATHER REED GRASS - *CALAMAGROSTIS X ACUTIFLORA* 'KARL FOERSTER'



TRIDENT MAPLE - *ACER BUERGERIANUM*



YELLOWWOOD - *CLADRASTIS KENTUKEA*



EASTERN RED CEDAR - *JUNIPERUS* 'GREEN POINT'



FOREST PANSTY REDBUD - *CERCIS CANADENSIS* 'FOREST PANSY'



RUBY SPICE SUMMERSWEET - *CLETHRA ALNIFOLIA* 'RUBY SPICE'



PURPLE CONEFLOWER - *ECHINACEA PURPUREA*



# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## **CSE2024-019** – Fox & Mound Townhome Development

Apr 4, 2025

CSED Rac gave final approval with conditions on 3/25/25:

- Add photometric lighting analysis to the presentation before going to Planning Commission
  - If project receives approval from Planning Commission, but decide to change materials, they should return to local design review to receive final approval.
-



**CSE2025-020** – 8017 Rawlings Ave. Demolition

Apr 4, 2025

Project Address: 8017 Rawlings Ave

Type: Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

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**Ward 5 – Councilmember Starr**

**SPA: Kinsman**





CITY OF CLEVELAND  
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

# 8017 Rawlings Ave.

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**CITY** of **CLEVELAND**

MAYOR JUSTIN M. BIBB





# 8017 Rawlings Ave., 44104

## PPN: 126-27-110

### Property Information:

- Zoning: General industry
- Land use: Other Commercial NEC
- Lot size: 48' front
- Acreage: 0.09
- Ward: 5
- SPA Neighborhood: Southeast/Central





# Background Information

## 01 Owner

City of Cleveland

- Owner since 2021

## 02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An asbestos survey and Phase I has been completed.

## 03 Complaints & Board-ups

Condemned since October, 2024

4 formal complaints in Accela since 2008

3 board-ups since 2008

## 04 Vacancy & Background

The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity.





# Site Location

Situated on the north side of  
Rawlings Ave

South of Opportunity Corridor





# Site Context

## Adjacent Uses:

North: Vacant and commercial

South: Vacant and commercial

West: Vacant and commercial

East: Vacant and commercial

## Across the street:

Vacant and commercial

## Rear:

Opportunity Corridor





## Exterior Photos





# Exterior Photos



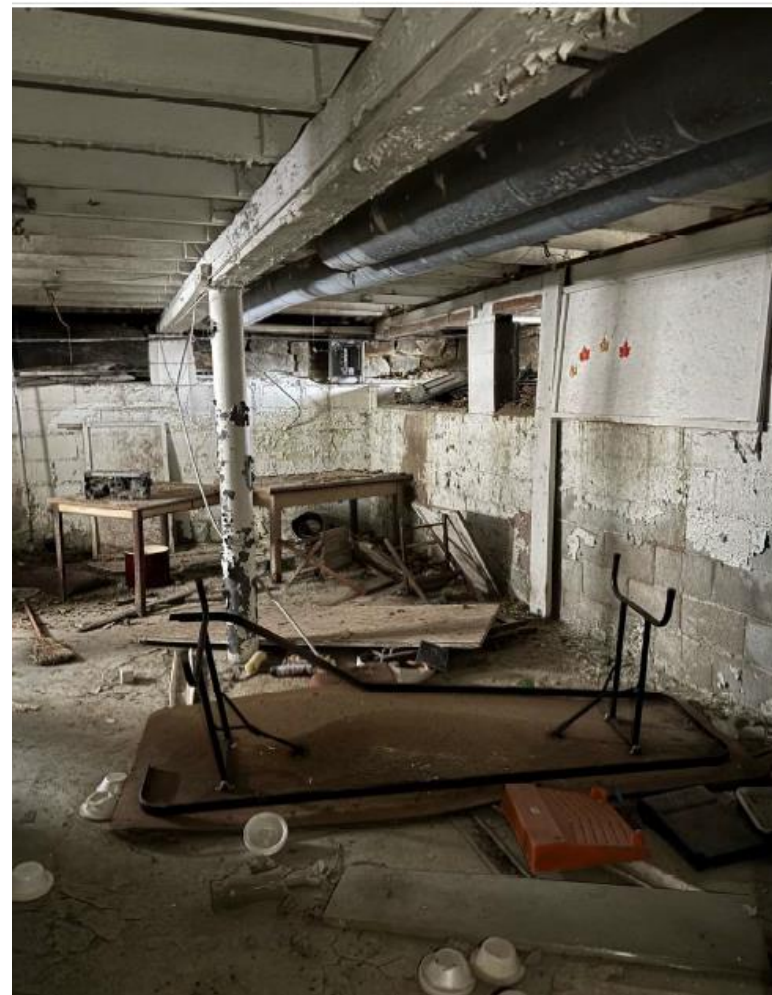


## Interior Photos





# Interior Photos





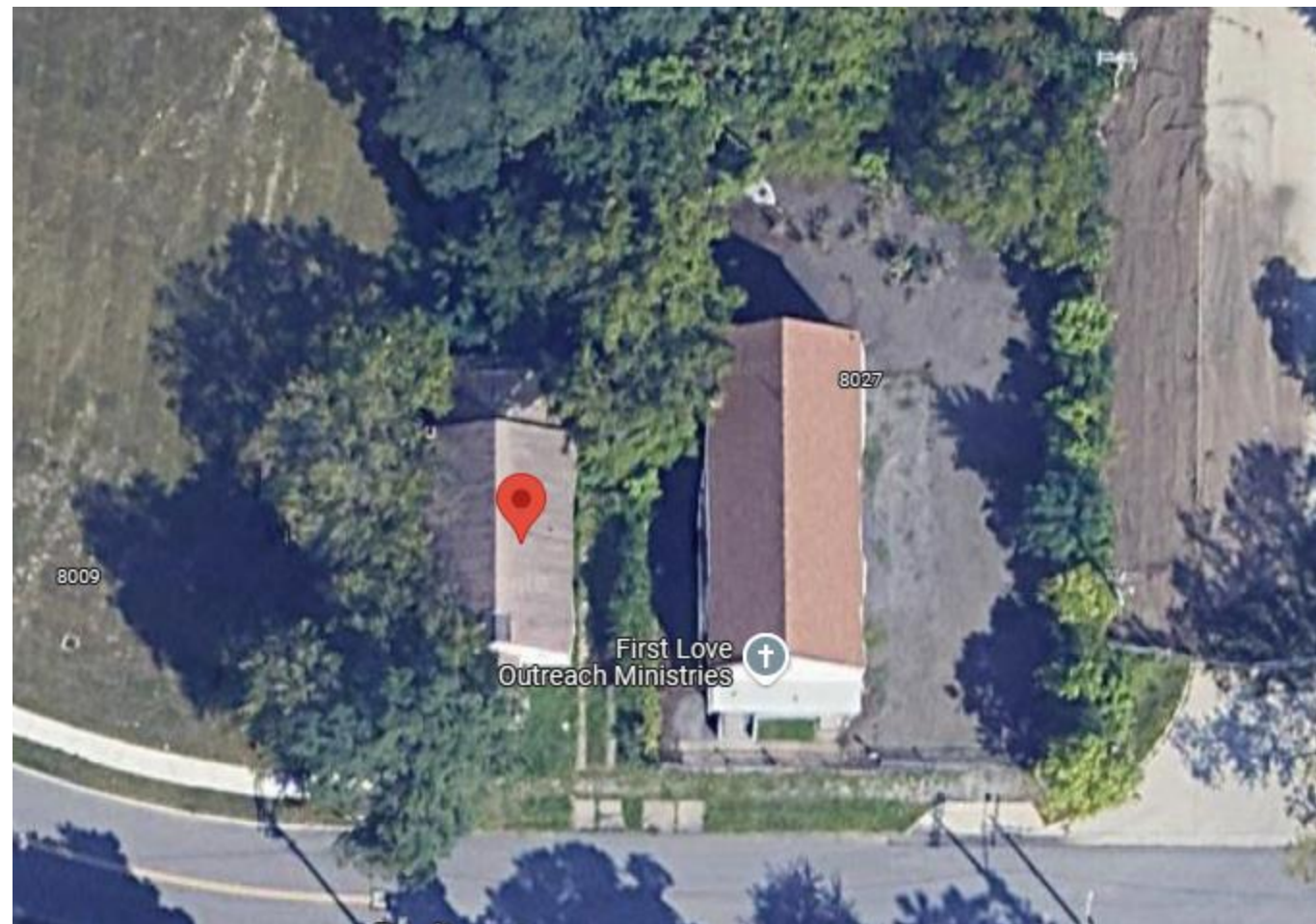
## Site Plan & Finish

Demolish the structure

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw.







CITY OF CLEVELAND  
Mayor Justin M. Bibb

## Proposed Nuisance Abatement Demolition 8017 Rawlings Ave.

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# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



# Central Southeast Design Review – Staff Report

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**CSE2025-020** – 8017 Rawlings Ave. Demolition

Apr 4, 2025

CSEDRAC gave final approval (with no conditions) on 3/25/25.

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**CSE2025-021** – 2796 E. 73rd St. Demolition

Apr 4, 2025

Project Address: 2796 E. 73rd St

Type: Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

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**Ward 5 – Councilmember Starr**

**SPA: Kinsman**





CITY OF CLEVELAND  
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

**2796 E 73<sup>rd</sup> St.**

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**2796 E. 73<sup>rd</sup> St., 44104**  
**PPN: 124-20-012**

**Property Information:**

- Zoning: light industry
- Land use: 3-family
- Lot size: 40' x 149'
- Acreage: 0.14
- Ward: 5
- SPA Neighborhood: Kinsman





# Background Information

## 01 Owner

City of Cleveland

- Owner since 2019

## 02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An Asbestos Survey has been completed

## 03 Complaints & Board-ups

Condemned since August 9, 2021

1 complaint since 2002

0 board-ups since 2002

## 04 Vacancy & Background

The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity





# Site Location

Situated on the south side of Opportunity Corridor

Situated west of E. 75<sup>th</sup> and the new Nor-Am Cold Storage facility





# Site Context

## Adjacent Uses:

North: Some Commercial or industrial but mostly vacant land

South: Residential

West: Residential

East: Commercial or industrial

## Across the street:

Residential

## Rear:

Vacant land





## Exterior Photos – Front and Rear Elevation



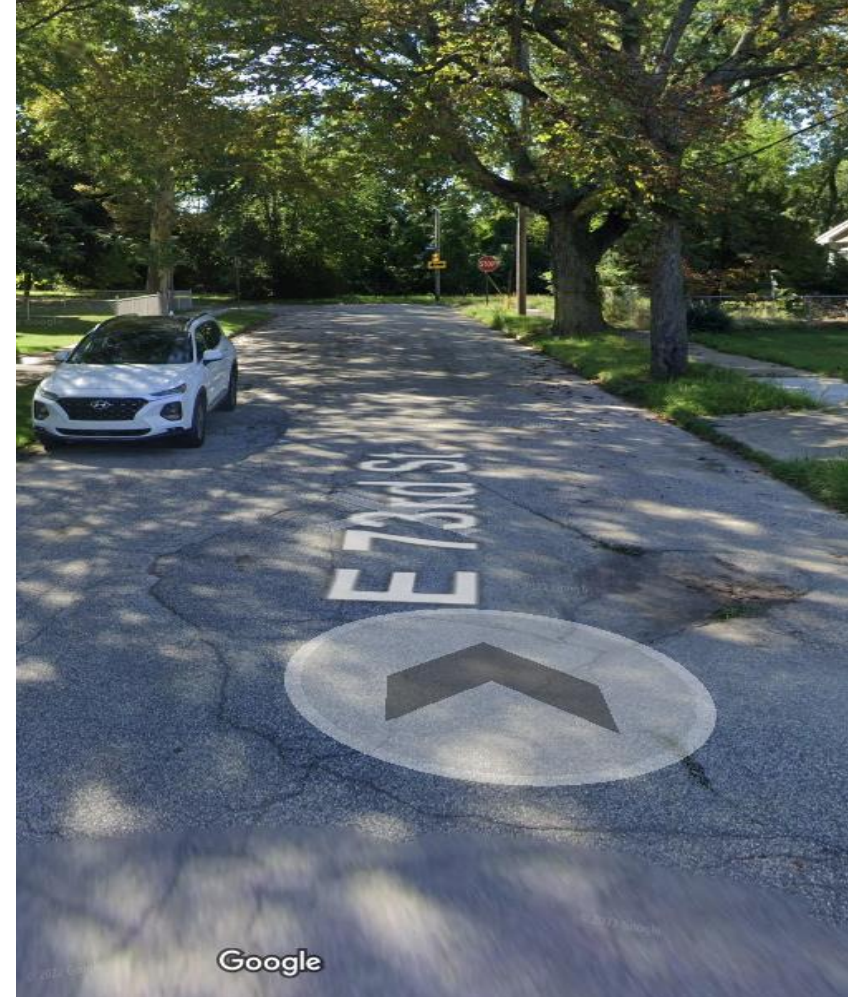


## Exterior Photos – Side Elevation





## Exterior Photos – North and South Elevation





## Exterior Photos – West and East Elevation





## Interior Photos





# Interior Photos





# Interior Photos





## Site Plan & Finish

Demolish the structure, including foundation

Level the site with clean backfill

Topsoil, seed, and straw







CITY OF CLEVELAND  
Mayor Justin M. Bibb

# Proposed Nuisance Abatement Demolition 2796 E. 73<sup>rd</sup> St.

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# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



# Central Southeast Design Review – Staff Report

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**CSE2025-021** – 2796 E. 73rd St. Demolition

Apr 4, 2025

CSED Rac gave final approval (with no conditions) on 3/25/25.

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**CSE2025-022** – 2804 E. 73rd St. Demolition

Apr 4, 2025

Project Address: 2804 E. 73rd St

Type: Demolition

Project Representative: Elizabeth Mackey, Demolition Bureau

Approval: Final

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**Ward 5 – Councilmember Starr**

**SPA: Kinsman**





CITY OF CLEVELAND  
Mayor Justin M. Bibb

Proposed Nuisance Abatement Demolition

**2804 E. 73<sup>rd</sup> St.**

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**2804 E. 73<sup>rd</sup> St., 44104**  
**PPN: 124-24-010**

**Property Information:**

- Zoning: light industry
- Land use: 1-family residential
- Lot size: 34' x 149'
- Acreage: 0.12
- Ward: 5
- SPA Neighborhood: Kinsman





# Background Information

## 01 Owner

City of Cleveland

- Owner since 2019

## 02 Legal Issues

None, the Demolition Bureau is prepared to move forward. An asbestos survey has been completed

## 03 Complaints & Board-ups

Condemned since August 2, 2021

2 complaints since 2004

0 board-ups since 2004

## 04 Vacancy & Background

The demolition of this site is purposeful, as this site sits within the Opportunity Corridor Development Zone (OCDZ). The OCDZ is a collaborative effort between the City of Cleveland, Community Development Corporation, and Partners who have invested significant time, energy and resources in planning and other activities in the Opportunity Corridor Area. The vision of the OCDZ is to assist the City of Cleveland with site assembly, which will provide a pipeline for economic opportunity





# Site Location

Situated south of Opportunity  
Corridor

Situated west of E. 75<sup>th</sup> St





# Site Context

## Adjacent Uses:

North: single residential structure then vacant land

South: railroad and residential

West: vacant land, railroad and residential

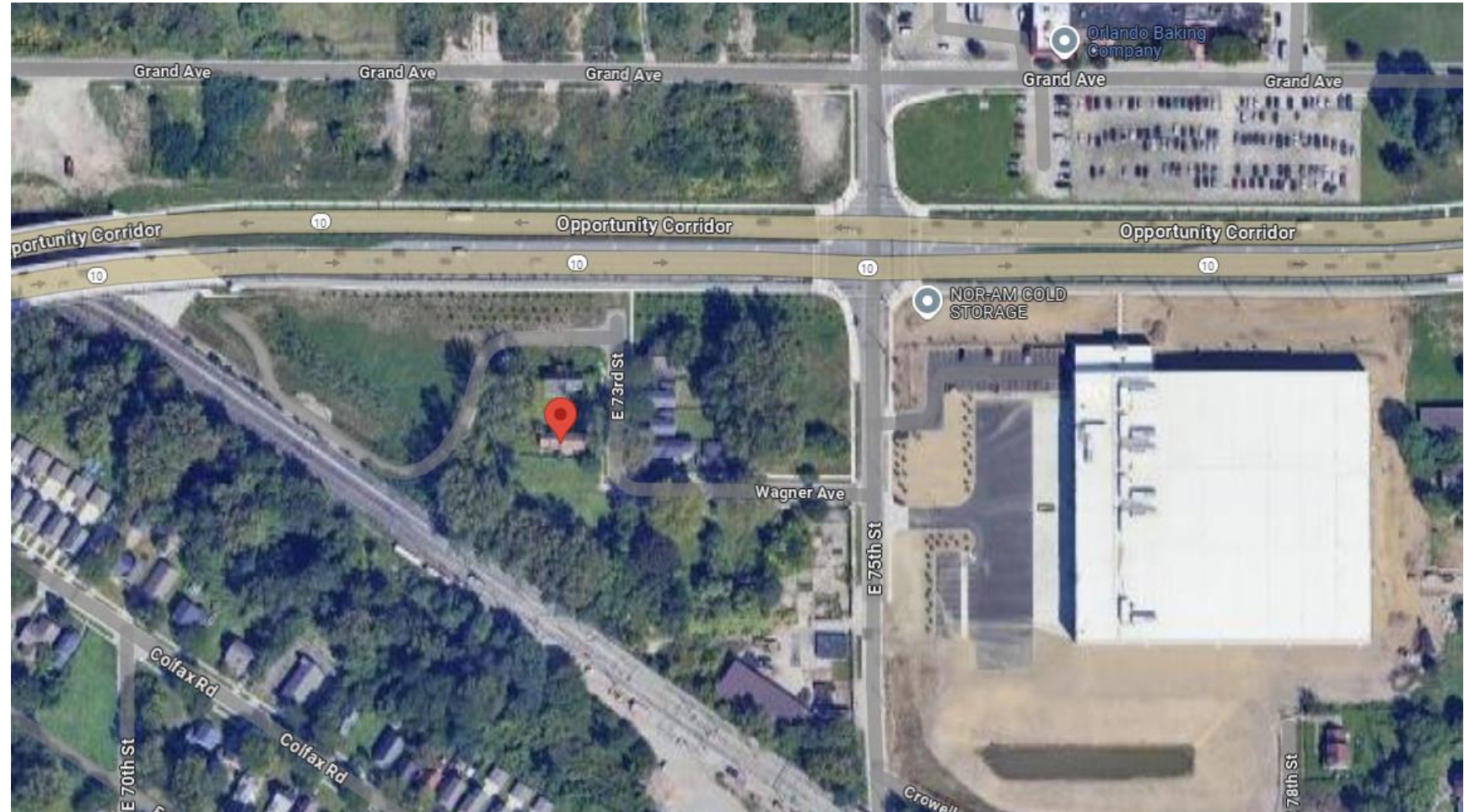
East: commercial

## Across the street:

Residential

## Rear:

Vacant land





## Exterior Photos – Front and Rear Elevation



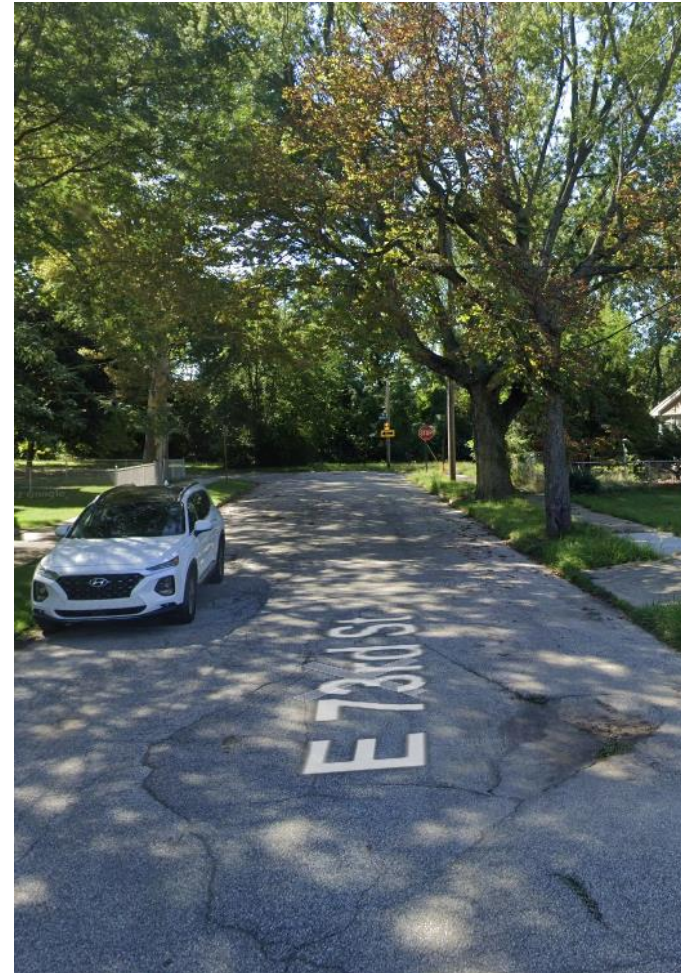


## Exterior Photos – Side Elevation



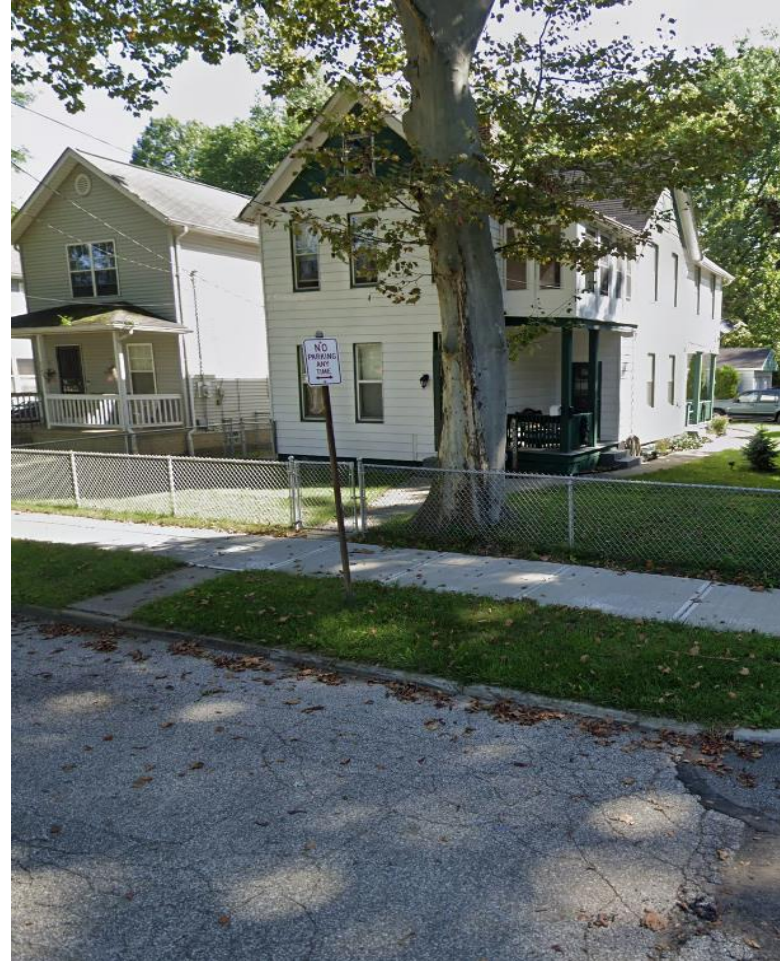


## Exterior Photos – North and South Elevation





## Exterior Photos – West and East Elevation





# Interior Photos





## Interior Photos





# Interior Photos





## Interior Photos





## Interior Photos





## Site Plan & Finish

Demolish the structure

Remove all foundation and subgrade material

Level the site with clean backfill

Topsoil, seed, and straw







CITY OF CLEVELAND  
Mayor Justin M. Bibb

## Proposed Nuisance Abatement Demolition 2804 E. 73<sup>rd</sup> St.

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# Cleveland City Planning Commission

## Staff Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



# Central Southeast Design Review – Staff Report

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**CSE2025-022** – 2804 E. 73rd St. Demolition

Apr 4, 2025

CSED Rac gave final approval (with no conditions) on 3/25/25.

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# Cleveland City Planning Commission

## Special Presentations – Public Art

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## Inspire Your City 2025 Mural

Apr 4, 2025

Project Address: 9718 Buckeye Rd

Type: Mural

Project Representative: Mr. Soul, Artist

Approval: Final

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**Ward 4 – Councilmember Gray**

**SPA: Buckeye-Woodhill**



MR.SOUL

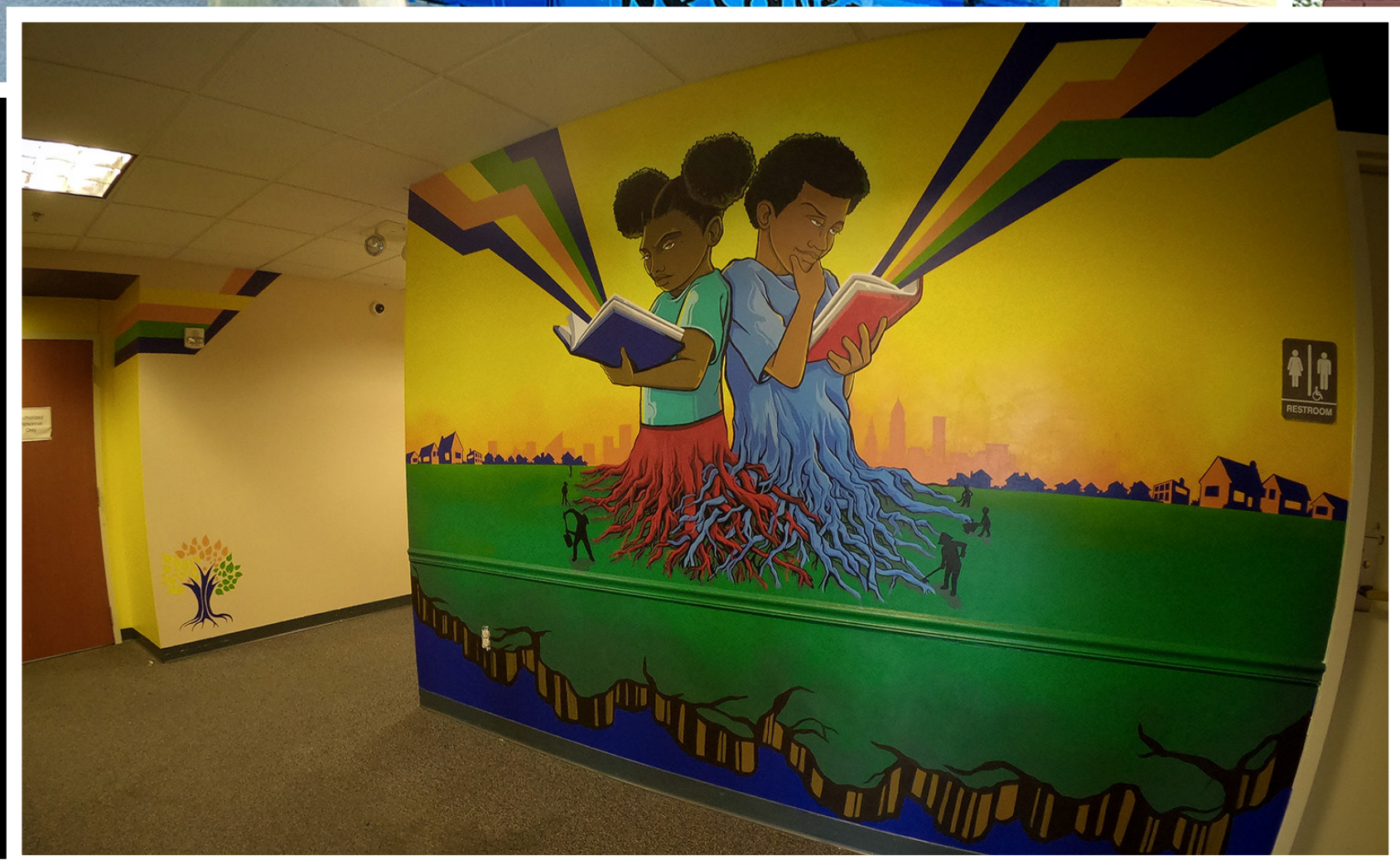


ST. LUKE'S FOUNDATION

2025

**MURAL PROJECT**







**“Public art** developed and installed in community spaces **can impact community health** in multiple ways. Much of this is participatory public art, which engages community members in the planning and creation of the art itself.”

- *[www.publichealthpost.org](http://www.publichealthpost.org)*



# WHO IS MR.SOUL?



For **Kevin "mr.soul" Harp**, graffiti art and hip hop music have always been sources of creation and inspiration. The Cleveland, OH native's talent was inspired and nurtured by the rise in Hip-Hop culture during the 80s, and ultimately through a legendary mentor known to the city as "SANO". In 1994 mr.soul graduated from the Art Institute of Pittsburgh and got his professional start as the go-to designer for flyers, logos and music package design. mr.soul was heavily influenced by Organized Noize Productions (who discovered and produced Outkast), utilizing their melodic/soulful/funky sound as the focal point for his style of work. After relocating to Atlanta in 1996, the visionary went on to design the Dungeon Family logo and contribute to the numerous offspring projects within the ONP family. In 1997, he established a brotherhood with Curtis Daniel of Patchwerk Record Studio, and then tattoo artists Miya Bailey and Tuki Carter, the founders of City of Ink Tattoo Shop and Art Gallery. For two decades, mr.soul mentored young artists, conceptualized and executed exhibitions and laid the early critical groundwork for the southeastern creative population. When mr.soul's father unexpectedly transitioned in 2016, he returned to Cleveland and served on Cuyahoga Arts & Culture's Support For Artists Planning Team (SfAPT) IN 2017. The following year, he painted his first Cleveland mural on Nikki's Music, in the Buckeye neighborhood and to date has 10 murals around the city. In 2021, mr.soul was awarded a \$100k grant from the St. Luke's Foundation to carry out his "Inspire Your City" brainchild. The first mural installed in October 2022, displays a child holding a stack of books, which speaks to Cleveland's staggering illiteracy rates. mr.soul will complete 4 new murals in 2023 as part of this project, in addition to mentoring, curating art shows and producing a book of his work over the past 25 years.

**INSPIRE  
YOUR  
CITY.**  
#INSPIREYOURCITY



# WHAT IS...?



**Inspire Your City** is a campaign dedicated to leveraging the transformative power of art and design to address and illuminate critical community issues. Launched in 2021 with support from Cleveland's St. Luke's Foundation, our initiative began by installing a series of murals centered around the theme of literacy, inspired by Cleveland's staggering 66% illiteracy rate, with some neighborhoods as high as 95%, as reported by Seeds of Literacy. These murals, depicting children with books, aim to promote literacy, making learning and reading 'cool' through public art. The books in our murals serve as metaphors for the pursuit of information, knowledge, and wisdom, while also initiating deeper conversations within the community.

Beyond literacy, **Inspire Your City** seeks to raise awareness about the integral role that the arts and artists play in speaking to social, political, and economic landscapes that affect our communities. The campaign also serves to highlight the sacrifices and contributions of everyday people who have built their dreams from the ground up, encouraging others to follow suit. **Inspire Your City** is a call to action for everyone to contribute thoughts, ideas, and actions that inspire and uplift their city. By partnering and collaborating with community leaders, educators and developers, we strive to integrate impactful art into schools, public spaces, and new developments to create environments that inspire, educate, and empower residents. Together, we can transform communities, one design or one mural at a time."

**INSPIRE  
YOUR  
CITY.**  
#INSPIREYOURCITY

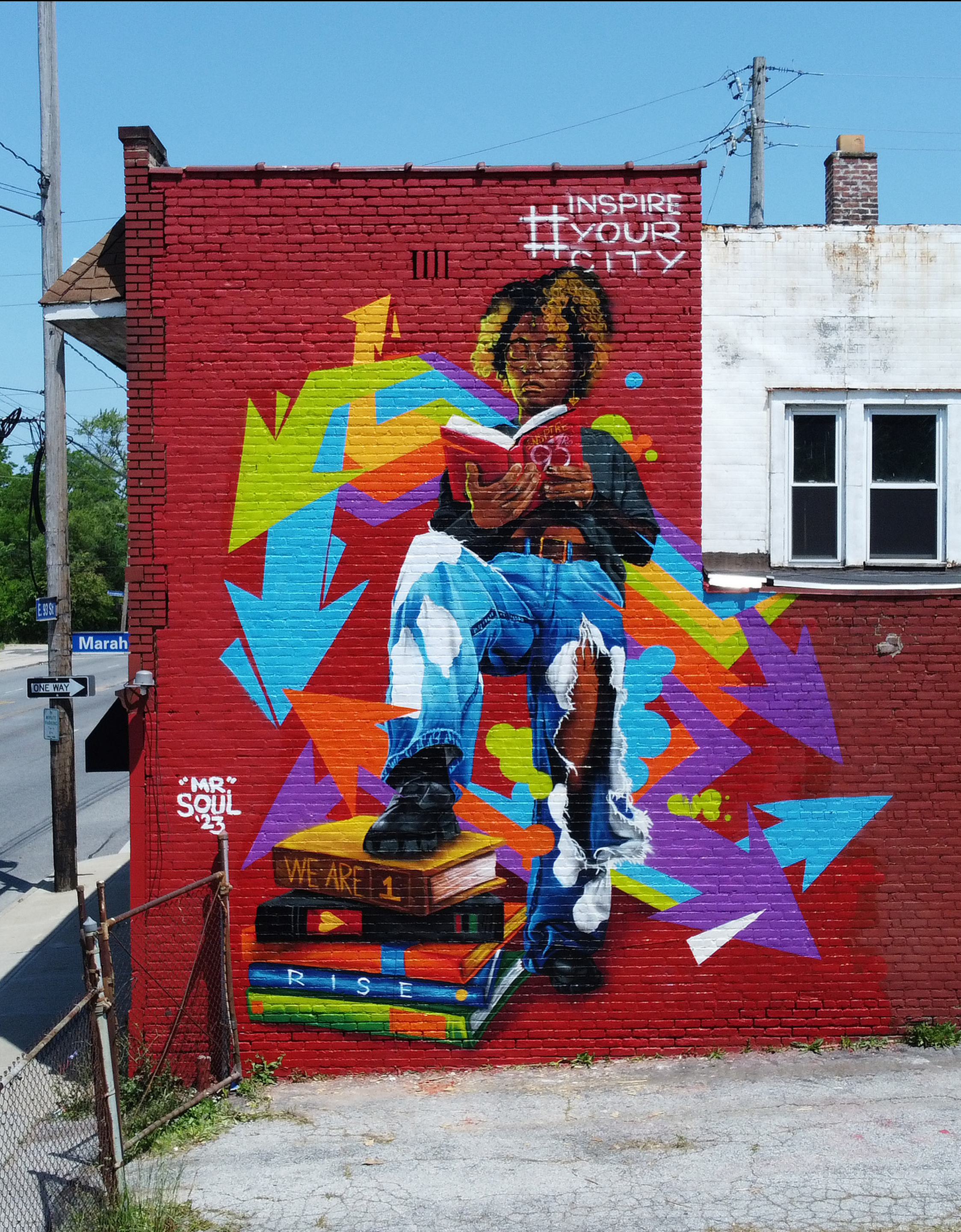




Uniek Kreation, located at 128th and Buckeye was the first installation for the Inspire Your City murals. This location was selected by Buckeye Community Ambassador Julian Khan, and is also owned by my high school classmate, Letha Richards-Moore. Letha's daughter is the reference for this wall connecting 3, and possibly 4 generations to the mural.







93rd and Marah Ave. will be the second installation this spring-summer. This wall was selected by Councilman Blaine Griffin and features the daughter of Meccah Sunshine, a 93rd resident who has been a staple in Cleveland's Hip-Hop Community since the early 90s.



**INSPIRE  
YOUR  
CITY.**  
#INSPIREYOURCITY



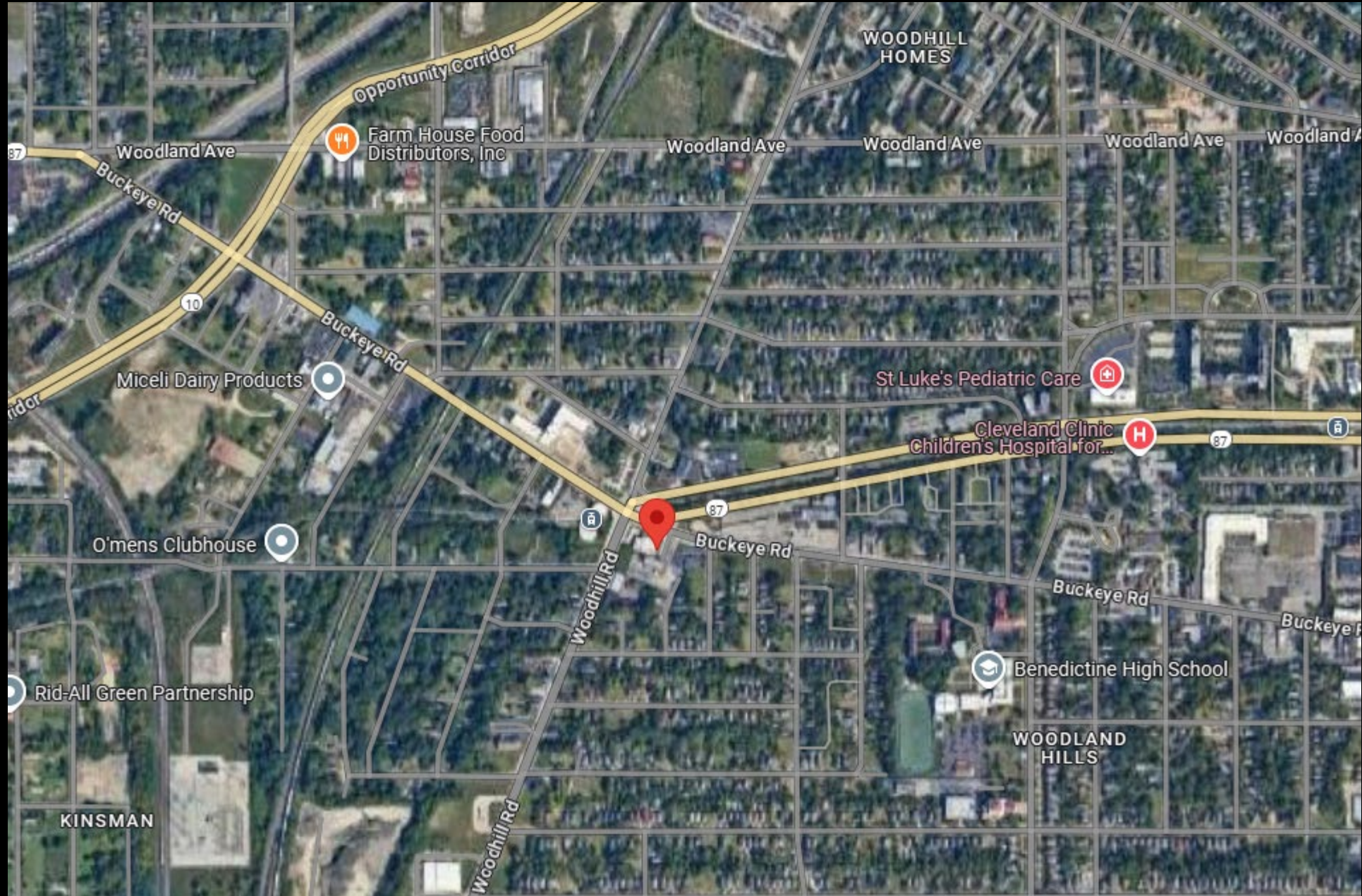


Earl's Xclusive Cuts, located at 126th and Buckeye will be the third installation for the Inspire Your City murals. This location was also selected by Buckeye Community Ambassador Julian Khan, and the reference is the son of Buckeye resident and poet, Mansa Lamont-Bey.

**INSPIRE  
YOUR  
CITY.**  
#INSPIREYOURCITY



## Fourth Mural Installation Proposed Location: 9718 Buckeye Road





9718 Buckeye Road Street View







9718 Buckeye Rd.  
Proposed design.





# COMMUNITY ENGAGEMENT

## 1. FRESH FEST CLEVELAND, 2022

For this event, I secured a table to serve as a base for *Inspire Your City* in order to take advantage of the participants. I passed out t-shirts and stickers, shared the mural concepts and talked extensively about the project to all who visited the table.

## 2. INSPIRE YOUR CITY SESSIONS AT JOHN ADAMS, 2022

Over the course of 10 weeks, I engaged 4 classes at John Adams High School every Tuesday to introduce them to the concept of the *Inspire Your City* project, and to use the project as a catalyst to provoke interaction and dialog with the students. This led to conversation topics ranging from the Kanye-Kyrie headlines, the power of art and creativity, gentrification and redlining, thought manifestation and many more. I used my position as an artist in the community as the tool to get them to open up about a variety of topics that affect them but that weren't exclusive to talk about art.

In addition to the classroom sessions, the students were taken on two field trips. The first was a visit to Deep Roots Experience Art Gallery on 79th and Central where they were able to experience the current running show, and interact with the artist by asking questions about the work. For many of the students, it was not only their first time at an art gallery that prominently and specifically features the work of Black and Brown artists, but it was their first visit to an art gallery ever. It was easy to witness how much they lit up seeing art on gallery walls that reflected what they look like, their stories and their experiences.

The second field trip was a mural tour where the students got a

chance to see murals around the city installed by myself, Dayz Whun and local photographer Donald Black Jr. Together, they experienced over 10 murals around the city and were extremely excited at being able to experience them with two of the creators, and to be able to ask questions about the work.

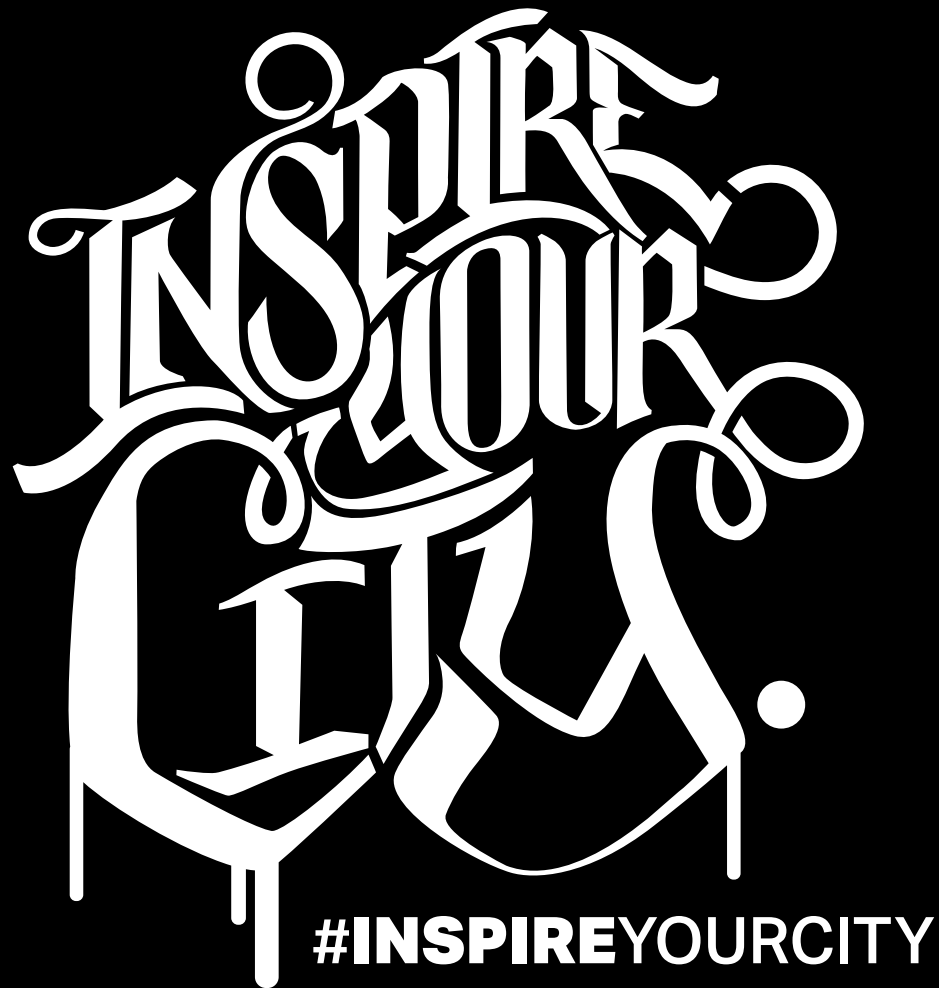
At the end of the 10 sessions, some students were selected to share their testimony about what they thought and how they felt about the experience. These testimonies will be shared via social media and in the *Inspire Your City* documentary.

## 3. BURTEN, BELL, CARR DEVELOPMENT CORP.

1. Attend community meetings/settings that provide the opportunity to speak about the project
2. Utilize BBC as a partner to disseminate content and/or information about *Inspire Your City* to the community
3. Work within the parameters of BBC's "Elevate The East" public art plan

## 4. BOOK GIVEAWAYS W/CLEVELAND READS + LITERACY IN THE HOOD, 2023

1. Pop ups at each mural
2. Free food, t-shirts and books
3. Register readers for Cleveland Reads Campaign
2. Document and record responses to field questions centered around *Inspire Your City*





**A MURAL TOUR WITH JOHN ADAMS HIGH SCHOOL**



**#INSPIREYOURCITY**



# PRESS/LINKS

## **Atlanta Black Star: October, 2016**

<http://atlantablackstar.com/2016/10/24/black-youth-racial-politics-heart-arts-beats-lyrics-exhibit-atlanta/>

## **Cleveland Magazine: August, 2018**

<https://clevelandmagazine.com/entertainment/museums-galleries/articles/inner-city-hues'-art-reclaims-neighborhood-spaces>

## **Ideastream: December, 2018**

<https://www.ideastream.org/news/graffiti-artist-and-his-crew-return-to-cleveland-to-create-mural>

## **Voyage Ohio: March, 2022**

<https://voyageohio.com/interview/meet-kevin-mr-soul-harp-of-cleveland/>

## **Voyage Ohio/Canvas Rebel: December, 2022**

<https://canvasrebel.com/meet-kevin-mr-soul-harp/>

## **CAN Journal: March, 2023**

<https://canjournal.org/2023/03/inspiring-your-city-with-murals-empowerment-and-soul/>

## **Freshwater Cleveland: July, 2023**

[https://www.freshwatercleveland.com/breaking-ground/Mr\\_Soul\\_UnionMiles\\_Bus\\_Wraps\\_071223.aspx](https://www.freshwatercleveland.com/breaking-ground/Mr_Soul_UnionMiles_Bus_Wraps_071223.aspx)

# DOCUMENTARIES

## **The World Awaits Documentary: Art Basel, December, 2013**

<https://www.youtube.com/watch?v=T-yZ9IEGqX4>

## **Heaven Can Wait Mural Documentary: August, 2014**

<https://vimeo.com/80651371>

## **City Of Hope Tri-C Campus Mural Documentary: March, 2018**

<https://www.youtube.com/watch?v=IAD2AyNQKh8>



**#INSPIREYOURCITY**

**WWW.INSPIREYOURCITY.NET**

**INSTAGRAM: @INSPIREYOURCITY**

**INFO@INSPIREYOURCITY.NET**



**"Art has the power to connect us**

**to places, to people and even to ourselves.**

**Public art is a fascinating mix of political, socio political and cultural dynamics that have a strong emotional effect, representing much more than surface beauty.**

**We'd be wise to create more.**

**- [www.polyvision.com](http://www.polyvision.com)**

**The Effect Of Public Art Projects on Human Health**





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**NE2025-007** – Line of Sight Temporary Sculpture Installation

Apr 4, 2025

Project Address: 15813 Waterloo Rd (Maria Neil Gallery)

Type: Temporary Sculpture

Project Representative: Bob Peck, Bob Peck Art

Approval: Final

---

**Ward 8 – Councilmember Polensek | SPA: North Shore Collinwood**



SESSION

# Line of Sight



Maria Neil Art Project  
15517 Waterloo Rd.



Lucknow Ave

Six Shooter Coffee

Beach  
Ballroom &

Doinks Burger Joint  
Grill

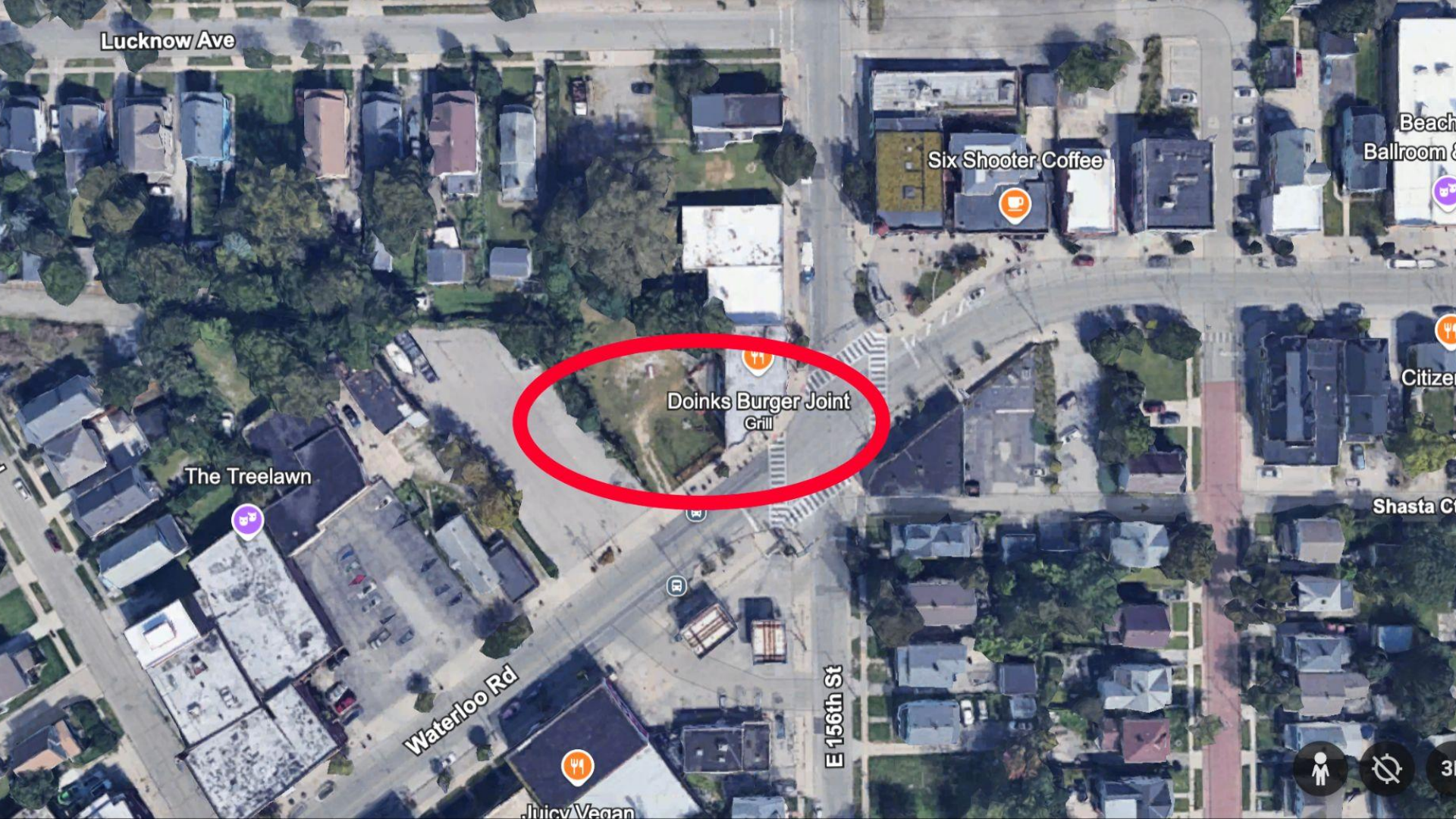
The Treelawn

Shasta C

Waterloo Rd

E 156th St

Juicy Vegan





Ivy - Kitchen & Market  
Temporarily closed

Waterloo A

410

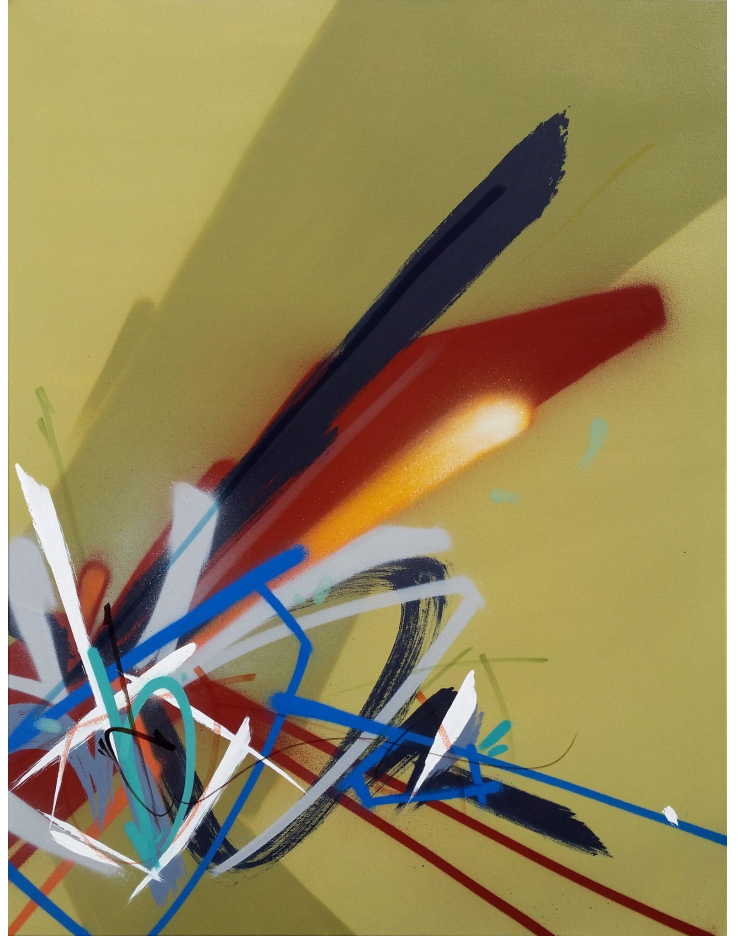


Doinks Burger Joint  
Grill

KINK Contemporary













# About:

A three dimensional representation of my abstract murals and canvasses.

Brings a burst of color and energy to the lot.

A great photo op!















# Measurements and specs:

Highest point (tip of yellow “wing”) 8ft.

Length: 18ft.

Width:5ft.

Weight: Approx: 600-700 lbs

Constructed from Marine Grade Wood, spray painted and sealed with polyurethane.



# Cleveland City Planning Commission

## Special Presentations

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



## **Cleveland Moves** – Sarah Davis, Transportation Planner

Apr 4, 2025





# Cleveland Moves

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City Planning Commission

April 4, 2025



# The Vision:

# Clevelanders deserve safe streets.



# The Goals

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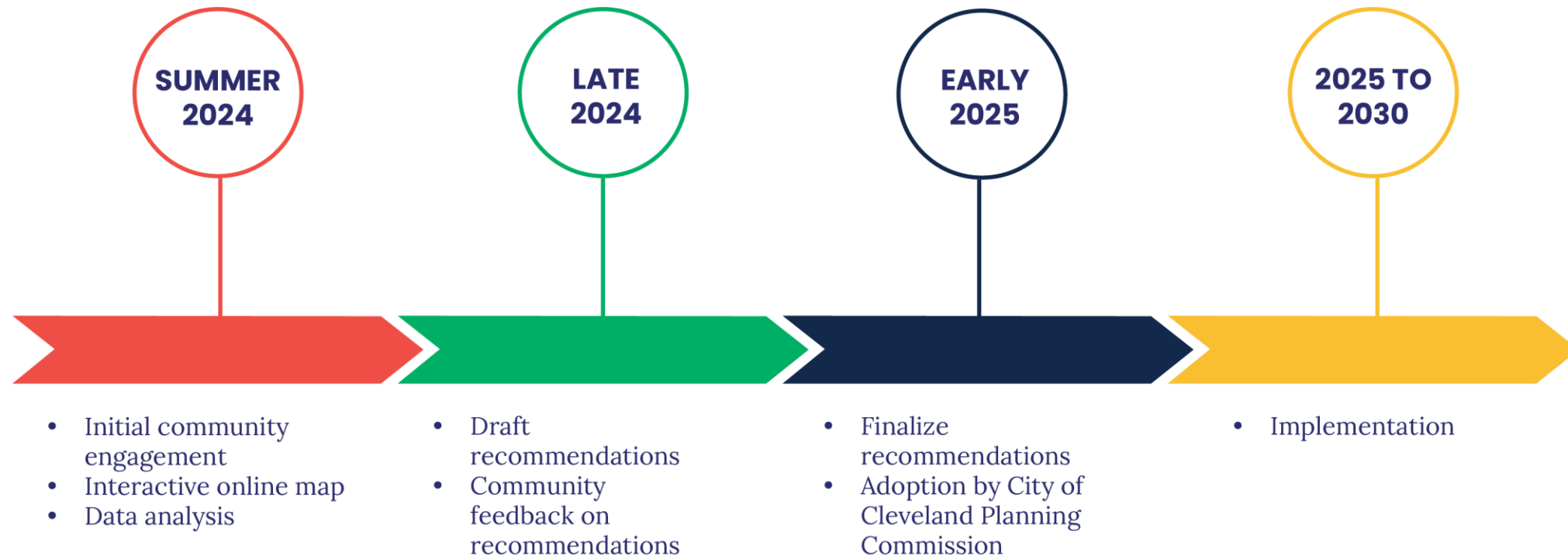
We will:

1. Create safe and **comfortable** streets.
2. Make it **convenient** to get around.
3. Center the **community** in street design.





# Where are we in the process?





# Community Engagement





# Community Engagement

- Engagement Efforts
  - Project webpage on City website
  - Pop-ups/tabling
  - Focus groups/community conversations (2 rounds)
  - Online map
  - Virtual office hours
  - Occasional email updates to subscribers
  - Media interviews (radio, print, TV)
  - Storymap
  - Better Streets Committees





# In-Person Events – First Round

**17**

Pop-up  
Events

**5**

Community  
Conversations

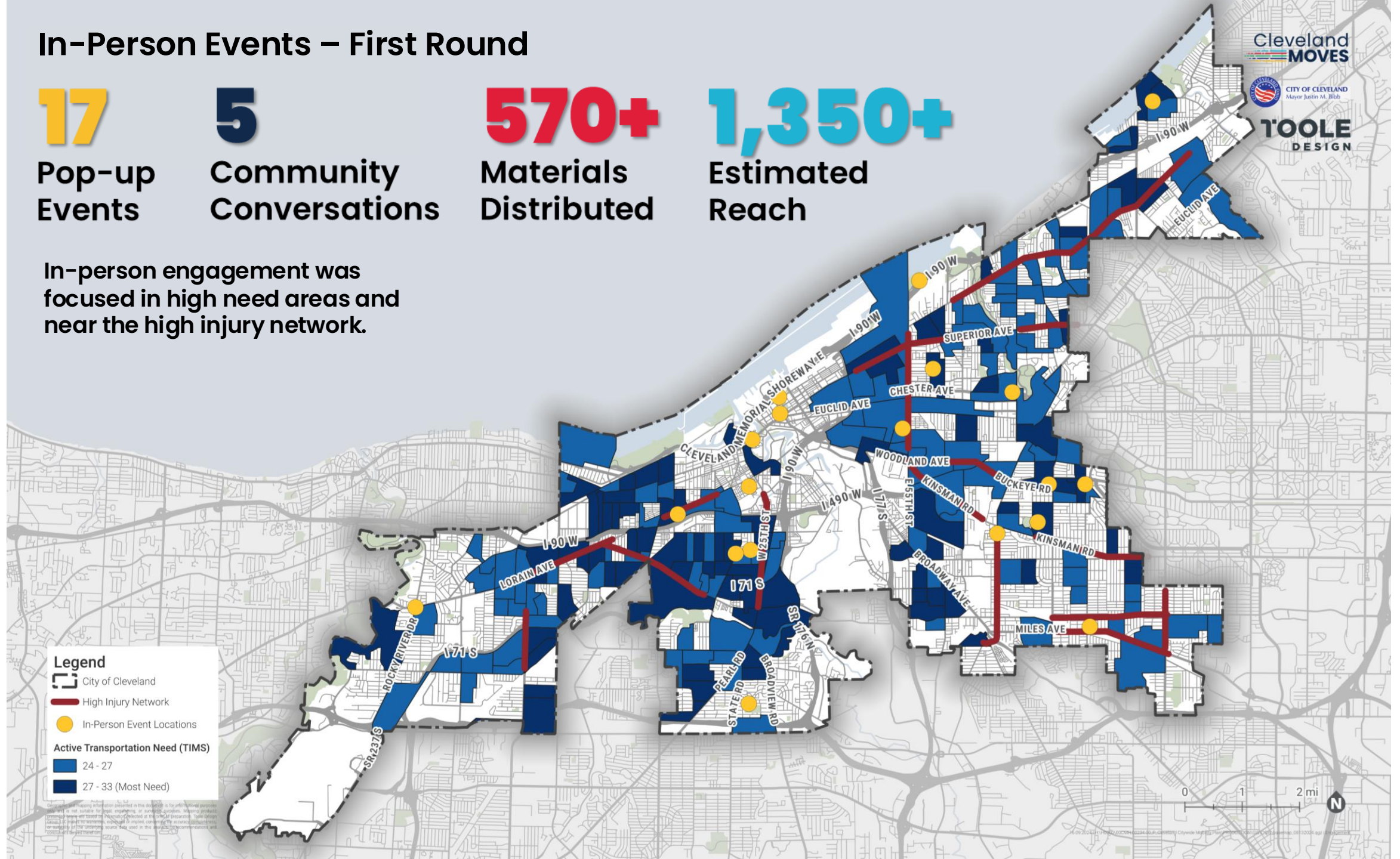
**570+**

Materials  
Distributed

**1,350+**

Estimated  
Reach

In-person engagement was  
focused in high need areas and  
near the high injury network.





# In-Person Events

## ROUND 1

17

Pop-up  
Events

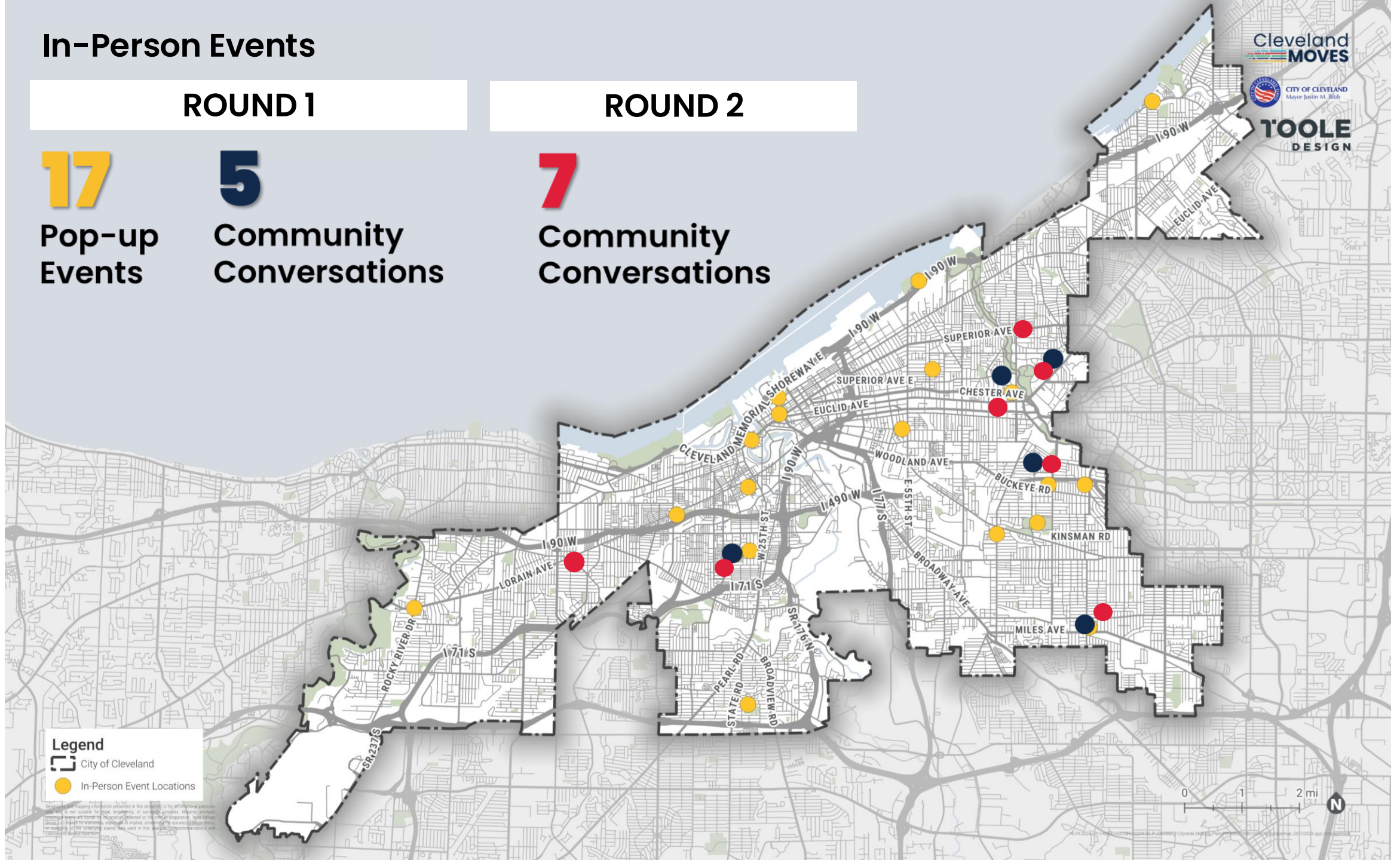
5

Community  
Conversations

## ROUND 2

7

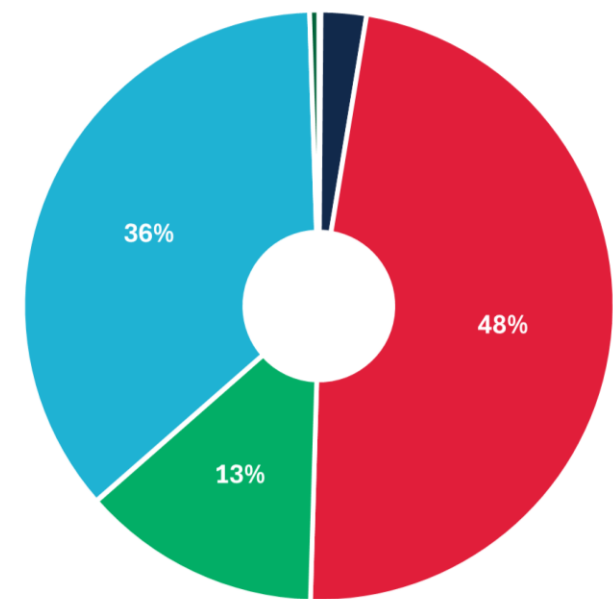
Community  
Conversations



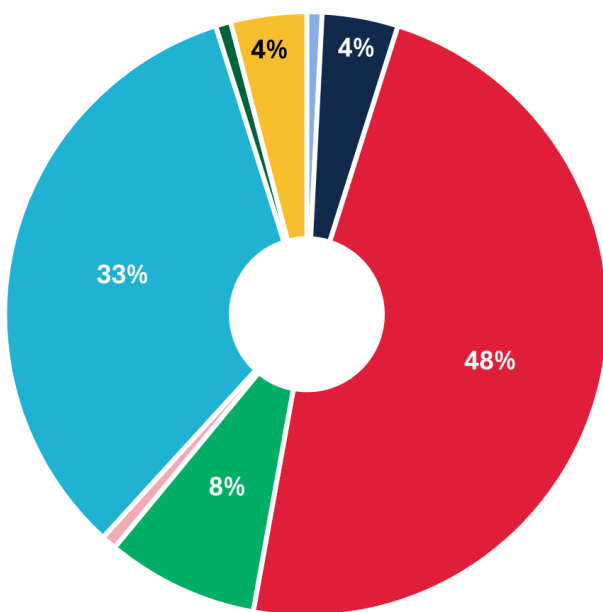


# Demographics – Race

City of Cleveland

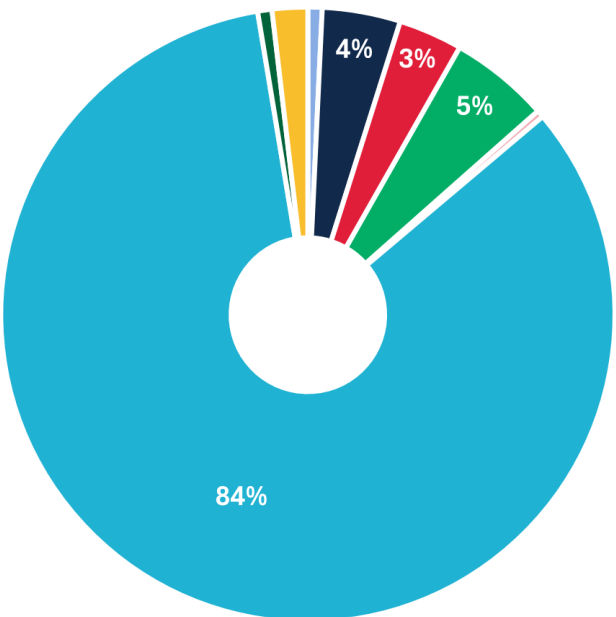


In Person



n = 144

Online Map



n = 267

- American Indian or Alaskan Native
- Black or African American
- Native Hawaiian or Other Pacific Islander
- Some Other Race

- Asian
- Hispanic or Latino/a/x
- White
- Prefer to self-describe



# How we engaged

## Story Card



**We want to hear from you!** Your input will help us improve street safety and prioritize projects in Cleveland. Please fill out both sides of this card to share your personal story.

I typically \_\_\_\_\_ to move around my \_\_\_\_\_ neighborhood  
(walk, bike, scoot, ride RTA, drive) (neighborhood name)

and get where I need to go. I would like to \_\_\_\_\_ more often,  
(walk, bike, scoot, ride RTA, drive)

but I don't because \_\_\_\_\_  
(mobility challenge or reason)

I believe the most dangerous street in my neighborhood is \_\_\_\_\_  
(street name or intersection)

because \_\_\_\_\_ One thing to change to make my  
(safety concern or reason)

neighborhood easier for everyone to get around is \_\_\_\_\_  
(accessibility or mobility idea)

## Myth or Truth







**I like the separated bike lanes.**  
You would feel so much safer walking on a main street. Or even driving. Because they [drivers] just whip around you and go in a bike lane.



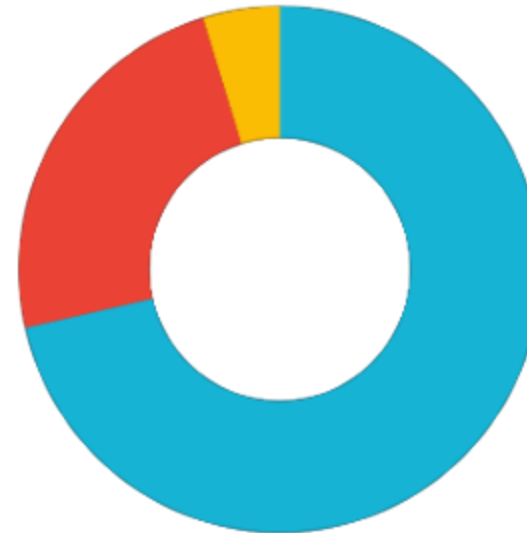
*- Killingsworth Meeting Place Community Conversation participant*



## Q. How do you feel about using these criteria (below) to prioritize locations of Crosswalk Practices?

**In general, the systemic crosswalk practices described in this section should be prioritized at locations such as:**

- Existing crosswalks in high need and high volume areas
- Near transit stops, on transit priority routes
- Near pedestrian destinations like grocery stores, parks, and schools
- Areas with large gaps between low stress crossings

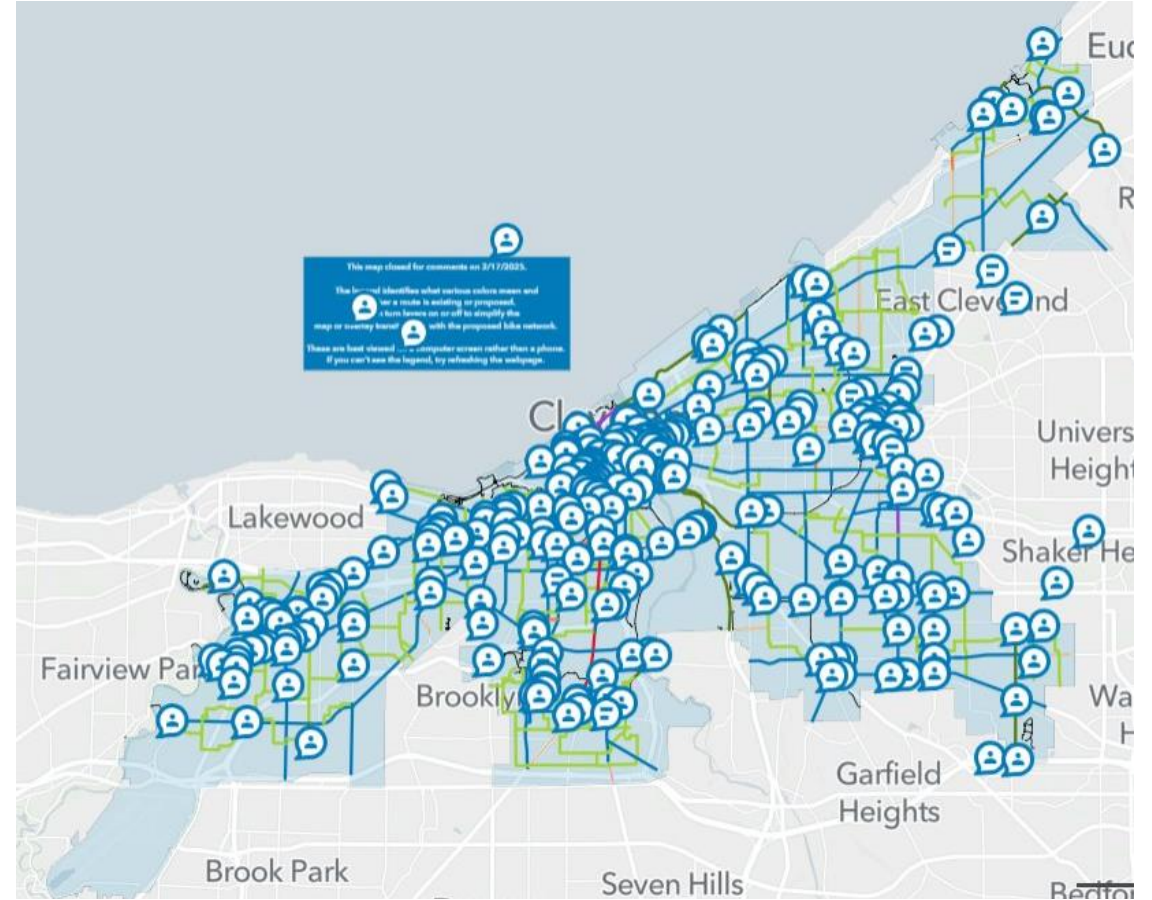


% of Total Responses



# Additional Engagement

- [City Council Transportation and Mobility Committee – February 5](#)
- Planning Commission Informational Presentation – February 21
- [Online interactive map and survey](#) – open during February
- Presented/took feedback at [Better Streets committees](#) citywide in February





# Key Community Engagement Themes

- More protected and high comfort infrastructure
- Sidewalks are in poor condition
- Driver behavior and vehicle speed
- Concerns around personal safety

- People want:
  - More speed tables and raised crossings
  - Traffic calming
  - Trees and shade
  - Better ADA accessibility
  - Better street maintenance
  - Streetlights that work
  - Secure bike parking





# Existing Conditions Analysis

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# We analyzed existing conditions so we can track our success – these are our performance metrics:

1. Total miles of all ages and abilities bikeways in the City of Cleveland.
2. Percentage of the City's all ages and abilities bikeways in areas that the Ohio Department of Transportation considers "High Need."
3. Total number of reported crashes resulting in a fatality or serious injury involving people walking, biking, scooting, skating, or rolling in Cleveland and broken out by neighborhood. (Consistent with Vision Zero, the target is zero.)
4. Number of reported crashes resulting in a fatality or serious injury involving people walking, biking, scooting, skating, or rolling in areas that the Ohio Department of Transportation considers "High Need." (Consistent with Vision Zero, the target is zero.)
5. Percentage of population within a quarter-mile (5-minute walk) of a bikeway.
6. Percentage of population within a quarter-mile (5-minute walk) of an all ages and abilities bikeway.
7. Total number of high stress crossings in the City of Cleveland.

## All Ages and Abilities

All Ages and Abilities bikeways are context sensitive facilities that feel comfortable for most people to use, and can include protected bike lanes, trails, shared use paths, and traffic-calmed neighborhood streets.



# Our metrics look at crashes...

- Total number of crashes resulting in **a fatality or serious injury** involving people walking, biking, scooting, skating, or rolling in Cleveland and broken out by neighborhood.  
(Consistent with Vision Zero, the target is zero.)

Neighborhood	Crashes (all)	2019	2020	2021	2022	2023
Downtown	28	8	1	8	4	7
Glenville	25	2	6	5	5	7
Old Brooklyn	16	2	4	5	3	2
Mount Pleasant	15	5	2	2	1	5
West Boulevard	14	3	1		5	5
Central	13	4	1	7		1
Union-Miles	13	4	2	5	2	
Stockyards	12	3	4	2	3	
Tremont	12	1	3	2	2	4
University	12	5	1	1	1	4
Bellaire-Puritas	11	1	1	3	5	1
Clark-Fulton	11	2	1	3	2	3
Goodrich-Kirtland Pk	11	2	3	2	2	2
St.Clair-Superior	11	3	1	6	1	
Brooklyn Centre	10	3	3	2	2	
Hough	10	1	6	1		2
Kinsman	10	1	1	3	2	3
Broadway-Slavic Village	9	1	1	2	3	2
Collinwood-Nottingham	9	3	2	2	1	1
Cudell	9	3		2	2	2
Detroit Shoreway	9		1	3	4	1
Fairfax	6	1	1	1	2	1
Lee-Harvard	6	1	1	1	2	1
Jefferson	5	2	1	1		1
Kamm's	5		1		3	1
North Shore Collinwood	5		1		4	
Buckeye-Shaker Square	4				2	2
Euclid-Green	4		1		2	1
Buckeye-Woodhill	3	1		1		1
Cuyahoga Valley	3		2		1	
Edgewater	3		1			2
Hopkins	3	3				
Ohio City	3	2		1		
Lee-Seville	2	1			1	



# bikeways...

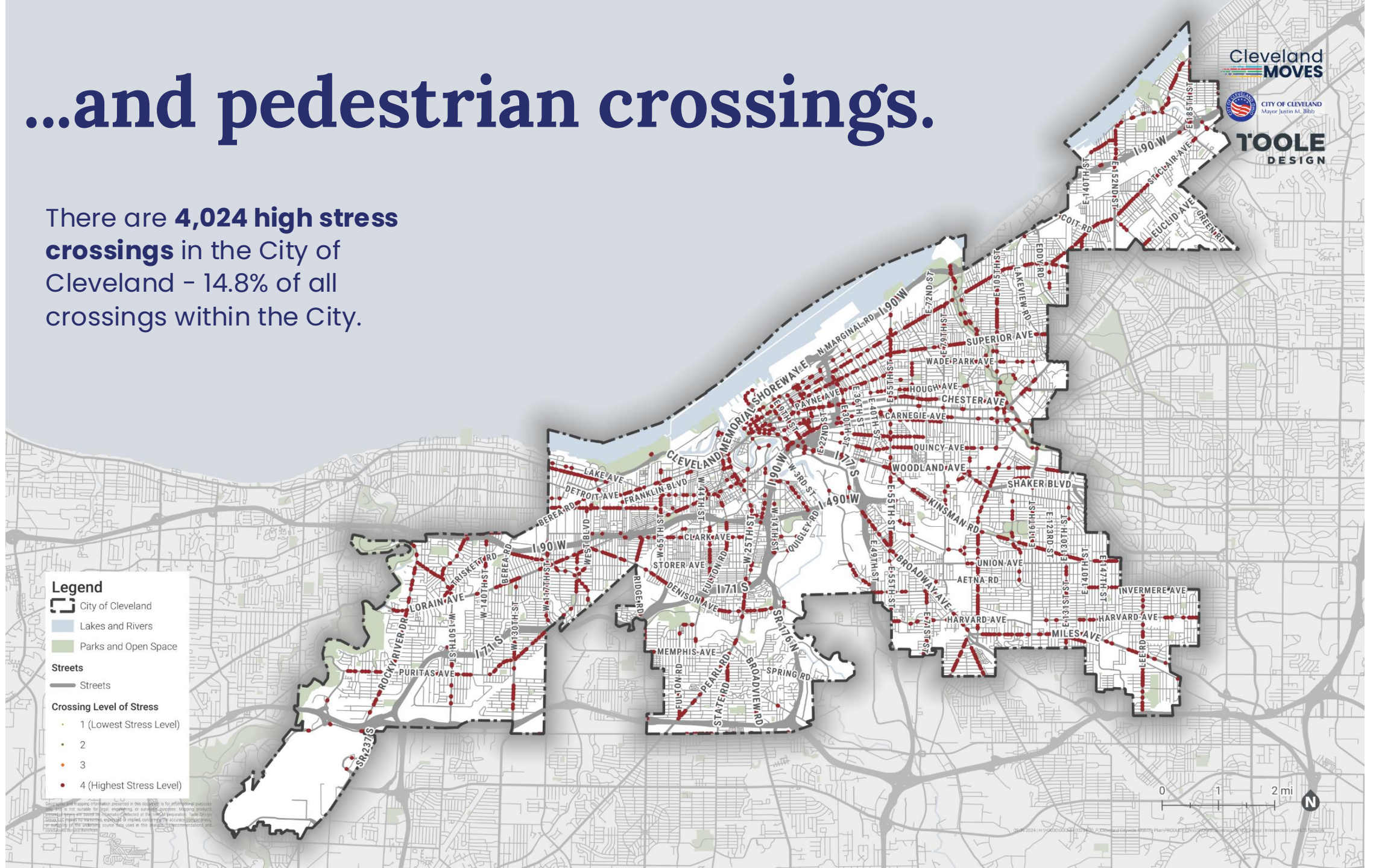


- Today there are **62.65 miles** of all ages and abilities (AAA) bikeways in Cleveland.
- **6% of people** live within a quarter mile (5-minute walk) of a AAA bikeway.
- **4% of people** that live within a high need area are within a quarter mile (5-minute walk) of a AAA bikeway.
- For context, **38%** of the population lives in a High Need area and **19%** of the city's AAA bikeways are in High Need areas.



# ...and pedestrian crossings.

There are **4,024 high stress crossings** in the City of Cleveland - 14.8% of all crossings within the City.





# Action Plan

---





# We have two types of infrastructure recommendations



## ■ Network:

- 3-year rapid implementation (short-term)
- Vision (long-term)
- **Focus:** Bicycles
- **Safety benefits for all users** (e.g. slower speeds of vehicles, shorter crossing distances for pedestrians)
- Street specific

## ■ Systemic Practices:

- Citywide approaches to planning, engineering, construction, and maintenance. These are not tied to a specific street project.
- **Focus:** Varies by practice



# Systemic Safety Recommendations



## ■ **Signalization Practices**

- Signal Coordination and Progression
- Shorter Cycles
- Leading Pedestrian Intervals
- Automatic Pedestrian Phasing
- No Right on Red (NROR)
- Pedestrian Signal Heads

## ■ **Crosswalk Practices**

- High Visibility Crosswalks
- Raised Crosswalks
- Curb Extensions
- Clear Corners (Daylighting)
- Pedestrian Refuge Islands

## ■ **Bike Infrastructure Practices**

- Bike Signals
- Bike Boxes
- Protected Intersections
- Green Paint
- Two stage Left Turn Box

## ■ **Road Diets**

## ■ **Other Intersection Practices**

- Lighting
- Mini-Roundabouts
- Centerline Hardening
- Speed Tables



# Signalization Practices

- We can use traffic signals to make getting around safer and easier for everyone
- Traffic signals separate different modes and directions of travel in space and time
- We will adjust signal timing for 5 zones/corridors each year, starting with high-pedestrian zones including Downtown
- Changes can include:
  - Signal Coordination and Progression
  - Shorter Cycles
  - Leading Pedestrian Intervals
  - No Right on Red (NROR)
  - Pedestrian Signal Heads





# Crosswalk Upgrades

- **Crosswalks help people to cross the street. We can increase visibility and safety at crosswalks in multiple ways**
- **We have over 4,000 high stress pedestrian crossings in Cleveland – that's about 14% of all our crossings**
- **We will audit crosswalks for improvements on corridors as we re-time signals (5 zones/corridors a year)**
  - High visibility crosswalks
  - Raised crosswalks
  - Curb extensions
  - Clear corners (Daylighting)
  - Pedestrian refuge islands





# Bike Infrastructure Practices

- We can upgrade and improve the visibility, safety, and legibility of our bikeways
- Bike lanes make streets safer for everyone – no matter how they are travelling
- We will prioritize these changes on our bikeway network, where appropriate
  - Bike Signals
  - Bike Boxes
  - Protected Intersections
  - Green Paint
  - Two Stage Turn Box

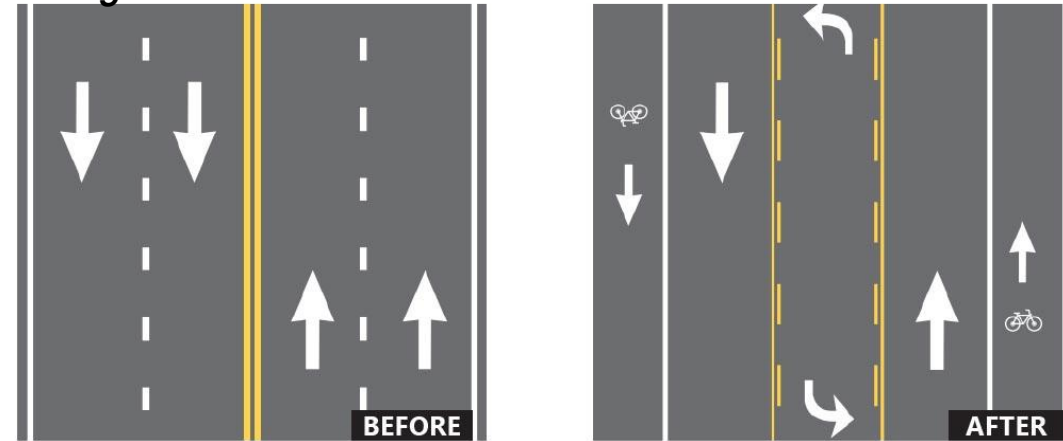




# Road Diets

- A road diet reduces the number of vehicle lanes on a street
- We will implement road diets citywide on streets that are on our high crash or bikeway network and streets with excess capacity
- Most of our road diet projects will include bike or transit lanes

Image: FHWA



## Road diet outcomes include:

- New dedicated turn lanes that can reduce crashes
- Reduced number of lanes, creating a less complex road
- Shorter crossing distances for pedestrians
- Removal of excess capacity, resulting in safer speeds
- Space to install bike lanes, transit lanes, expanded sidewalks, or more trees or plants



# Other Systemic Practices

- **There are many tools that can make our streets safer. We will work to implement these approaches**
  - Lighting
  - Speed tables and speed humps
  - Mini-Roundabouts
  - Centerline hardening
- **We'll also work to pilot proven new to Cleveland approaches to make our streets safer and improve mobility**





# Other Practices

## ■ Lighting

- Street lighting can increase visibility of people walking and biking – especially important during the darker months of the year
- The height of lighting can impact how effective it is for people walking or biking compared to people driving
- We will work with Cleveland Public Power to develop a plan for strategic lighting improvements – prioritizing locations near crosswalks and on high crash corridors



## ■ Speed Tables or Speed Humps

- Speed tables and humps are gradual, wider bumps in the street that serve as 24/7 self-enforcing traffic calming
- We've seen speed tables reduce speeds an average of 8 miles per hour on neighborhood streets in Cleveland
- We installed 100 speed tables citywide in 2024 and will install more in 2025
- Speed tables require a different set of equipment than repaving – we can coordinate these efforts, but it's not as simple as having a paving crew install these while they repave a street
- Snowy cities across the US and Canada use speed humps and speed tables successfully – plow drivers know to lift their plow when they see a sign marking them
- Learn more about our speed table program and how to request them on our [neighborhood traffic calming page](#)



# Other Practices

## ■ Mini-Roundabouts

- Mini roundabouts can increase safety at intersections, lower speeds, and make biking more convenient
- We can replace low-volume traffic signals with mini-roundabouts
- You can find existing mini-roundabouts on Franklin Boulevard

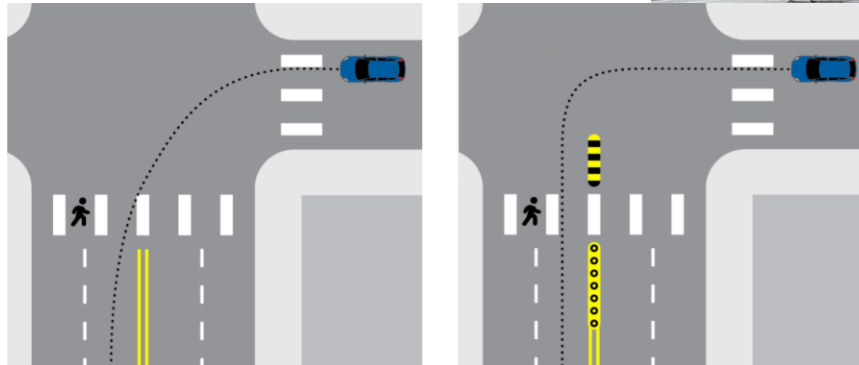




# Other Practices

## ■ Centerline Hardening

- We can use centerline hardening to slow left turns, which reduces conflicts with crossing pedestrians and oncoming vehicles
- We will implement centerline hardening at 10 intersections in 2025 and evaluate outcomes



*Photo: Insurance Institute for Highway Safety*



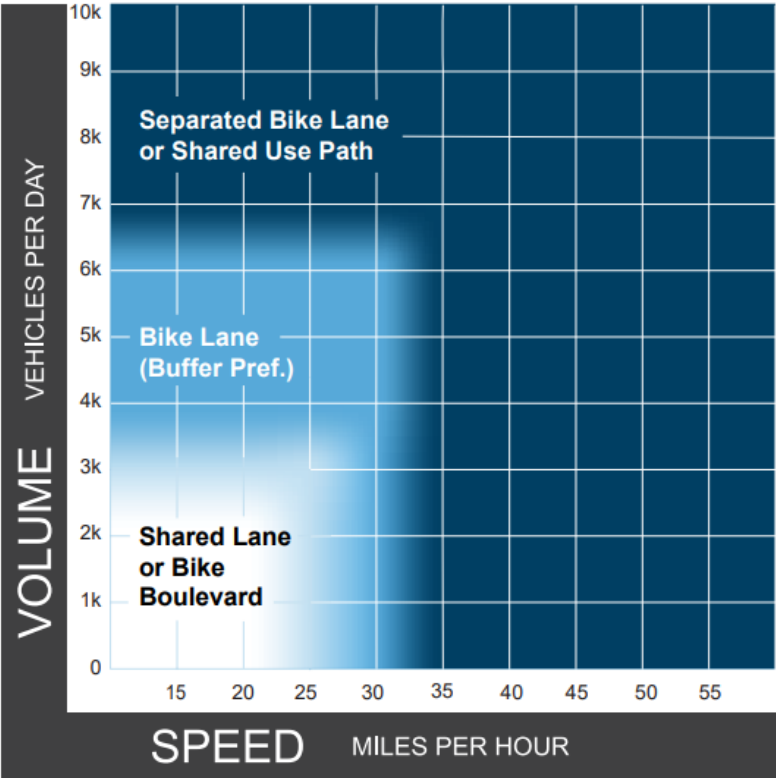
# Designing High Comfort Bikeways





# Context Matters

- What is the speed limit?
- What are vehicle volumes?
- Is the bike lane next to parking?

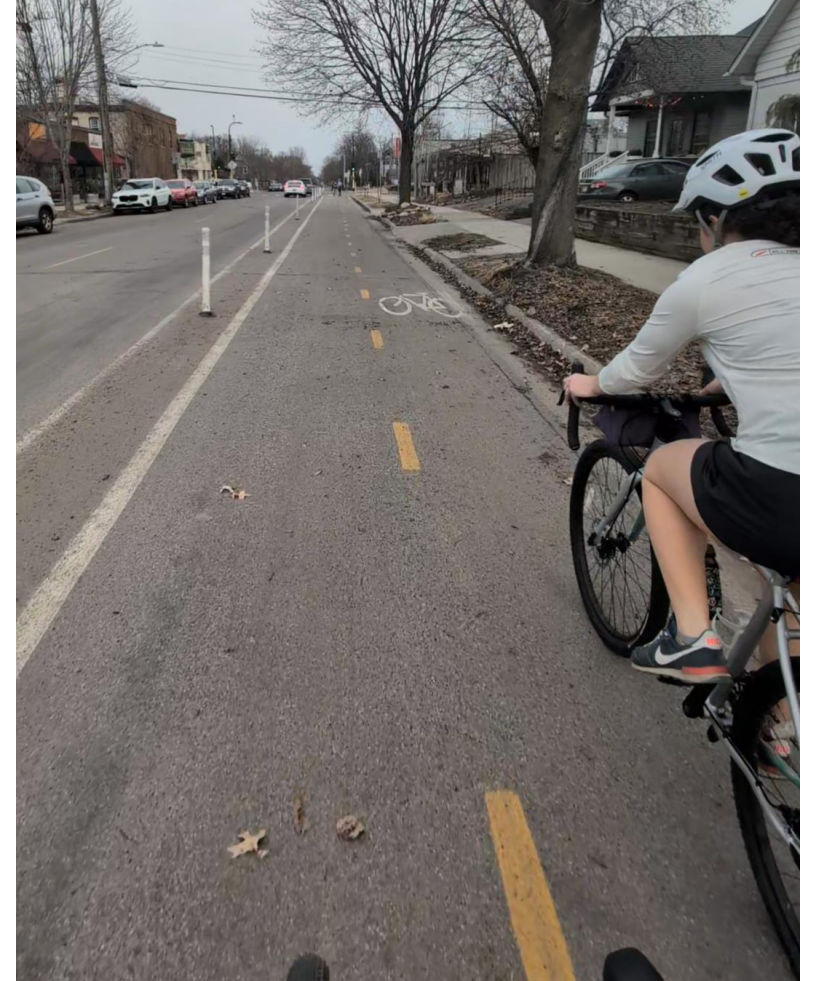


Contextual Guidance for Selecting All Ages & Abilities Bikeways				
Roadway Context				All Ages & Abilities Bicycle Facility
Motor Vehicle Speed*	Target Motor Vehicle Volume (ADT)	Motor Vehicle Lanes	Key Operational Considerations	
		Any	Any of the following: high curbside activity, frequent buses, motor vehicle congestion, or turning conflicts‡	Protected Bicycle Lane
	Less relevant	No centerline, or single lane one-way	Pedestrians share the roadway	Shared Street
	≤ 1,000 – 2,000		< 50 motor vehicles per hour in the peak direction at peak hour	
	≤ 500 – 1,500			
	≤ 1,500 – 3,000	Single lane each direction, or single lane one-way	Low curbside activity, or low congestion pressure	Conventional or Buffered Bicycle Lane, or Protected Bicycle Lane
	≤ 3,000 – 6,000			Buffered or Protected Bicycle Lane
	Greater than 6,000			
	Any	Multiple lanes per direction		Protected Bicycle Lane
Less than 26	≤ 6,000	Single lane each direction	Low curbside activity, or low congestion pressure	Protected Bicycle Lane, or Reduce Speed
		Multiple lanes per direction		Protected Bicycle Lane, or Reduce to Single Lane & Reduce Speed
	Greater than 6,000	Any	Any	Protected Bicycle Lane
High-speed limited access roadways, natural corridors, or geographic edge conditions with limited conflicts		Any	High pedestrian volume	Bike Path with Separate Walkway or Protected Bicycle Lane
			Low pedestrian volume	Shared-Use Path or Protected Bicycle Lane



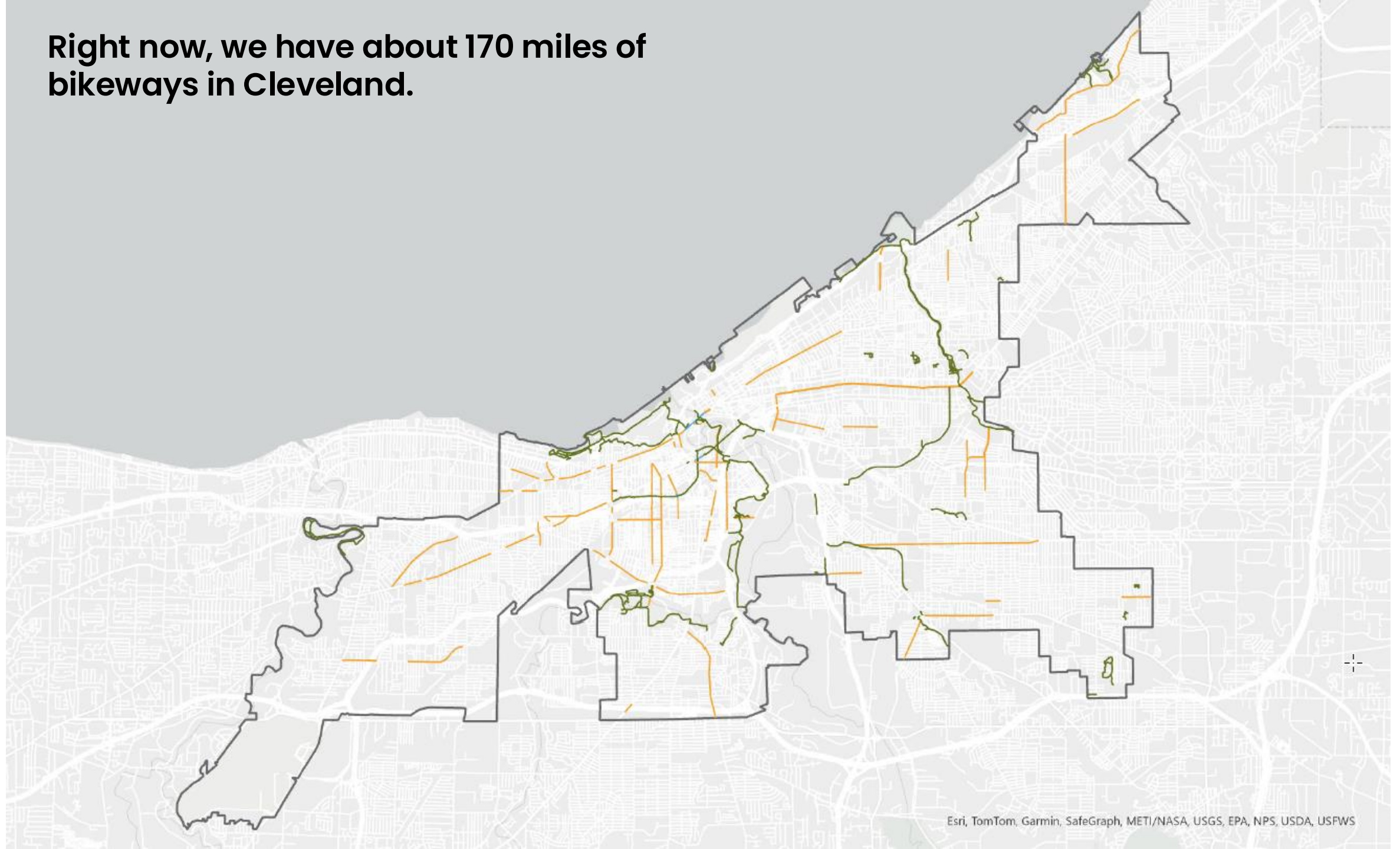
# What is quick build?

- Working in the existing space between curbs
- Includes restriping and physical separation, such as plastic delineators
- Some of our existing bike lanes are wide enough to separate, but some streets will need to be restriped to accommodate separated bikeways



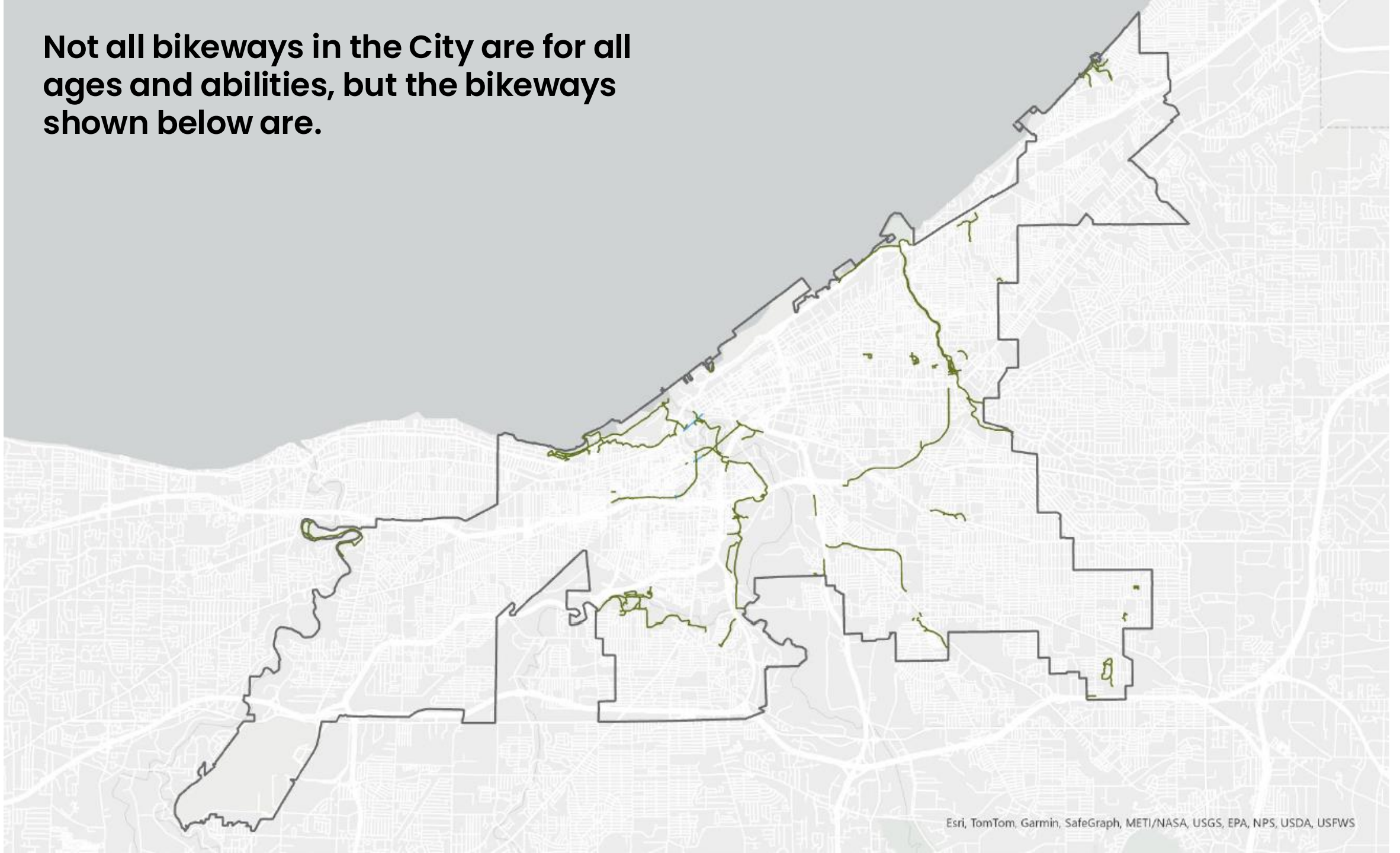


**Right now, we have about 170 miles of  
bikeways in Cleveland.**



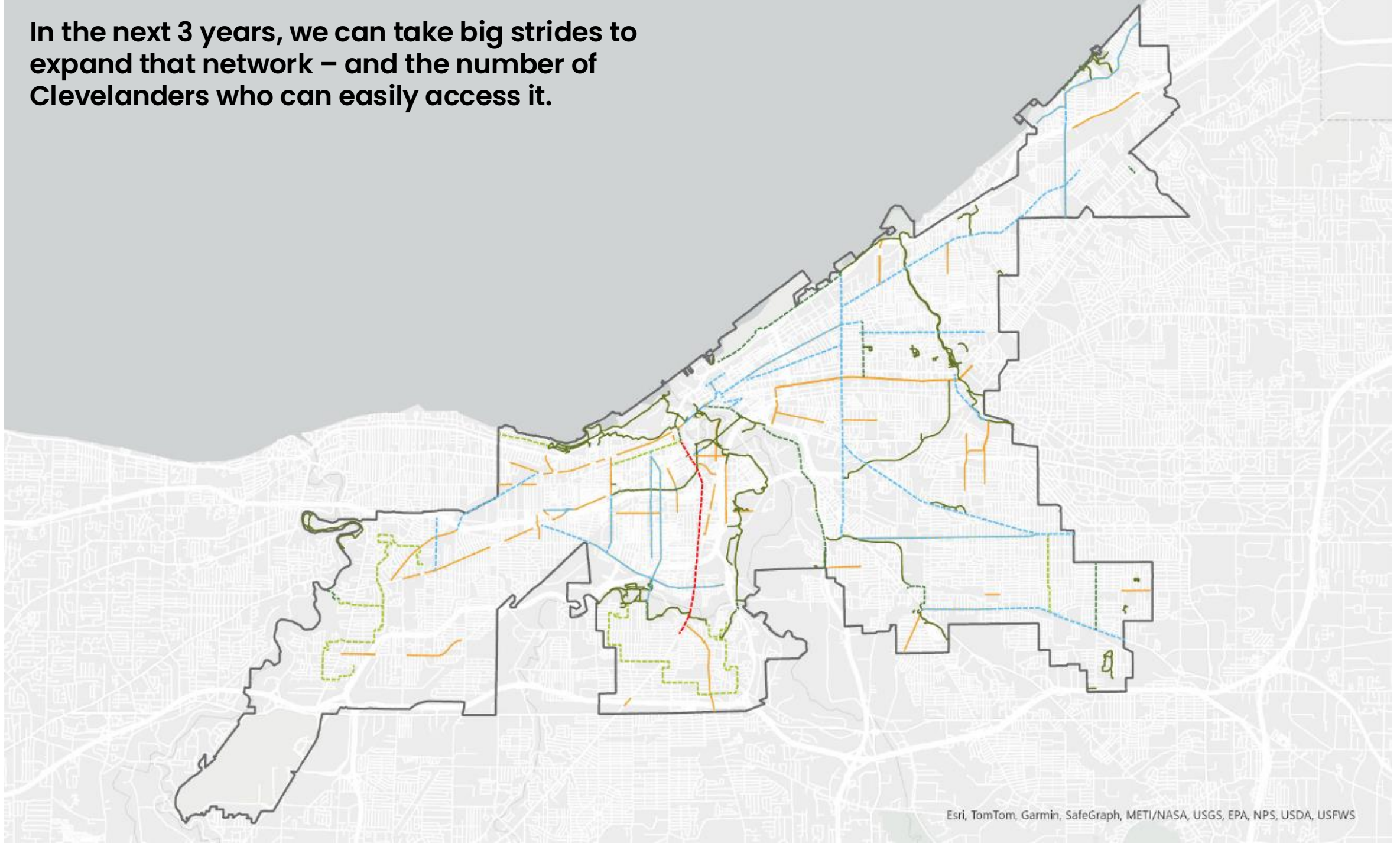


**Not all bikeways in the City are for all ages and abilities, but the bikeways shown below are.**



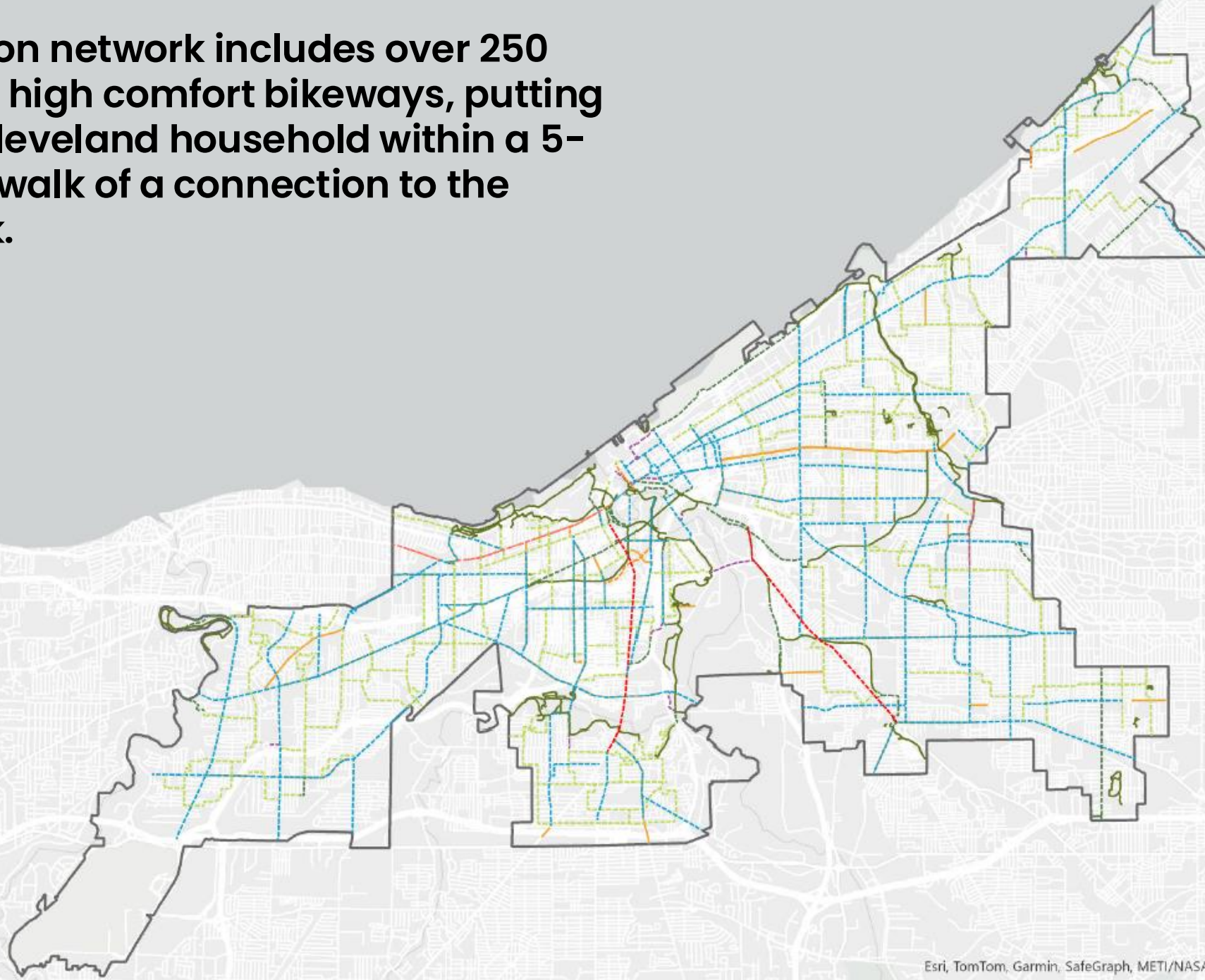


**In the next 3 years, we can take big strides to expand that network – and the number of Clevelanders who can easily access it.**





**Our vision network includes over 250 miles of high comfort bikeways, putting every Cleveland household within a 5-minute walk of a connection to the network.**





# Over the next 3 years, we will:

- **Build 50 miles of high comfort bikeways, including:**
  - adding protection to existing wide bike lanes,
  - restriping and adding new separated bike lanes, and
  - installing neighborhood greenways signage and markings; strategically complement with speed tables or other traffic calming.
- **Modify signal timing and prioritize improvements for crosswalks on 5 corridors or zones a year.**
- **Install centerline hardening at 10 intersections in 2025.**
- **Continue with speed table installation citywide, starting with over 100 more in 2025.**
- **Include systemic safety improvements in bikeways and street projects.**
- **Purchase bike lane specific maintenance equipment for regular plowing and sweeping.**





# What will the next 3 years look like?



## 3-year goal: 50 miles of AAA bikeways

### ■ 2025 may include:

- Upgrades: Union, Miles, W 65th south of Lorain, Fulton Road bridge
- Separated bike lanes: Payne Ave, Prospect/Huron
- Neighborhood greenways: West Park and Old Brooklyn
- Centerline hardening at 10 intersections

- Convert at least 150 parking meter poles to bike racks
- Install over 70 shared mobility hubs in 2025
- Host quarterly meetings with advocates, CDCs, and community partners





# Thank you

[www.clevelandohio.gov/cleveland-moves](http://www.clevelandohio.gov/cleveland-moves)



# Systemic Practices



*Additional information and photos*





# Systemic Practice Recommendations



## ■ **Signalization Practices**

- Signal Coordination and Progression
- Shorter Cycles
- Leading Pedestrian Intervals
- No Right on Red (NROR)
- Pedestrian Signal Heads

## ■ **Crosswalk Practices**

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- Two stage left turn box

## ■ **Road Diets**

## ■ **Other Practices**

- Lighting
- Mini-Roundabouts
- Speed tables



# Signalization Practices



## ■ Signal Coordination and Progression

- We can time a series of signals to work in progression and regulate vehicle speeds – making crashes less serious if/when they do happen
- These can work well on streets with strong directional traffic (i.e., streets used to commute towards downtown)
- We've already done this on Clifton Avenue – if you are traveling inbound during the morning peak hour, or outbound during the evening peak hour, signals are timed for vehicles moving 26 miles per hour
- We can also use signal progression on streets on our bike network so that people traveling between 10 and 15 miles per hour – including people biking – hit green lights

## ■ Shorter Signal Cycles

- Sometimes, it feels like a light takes forever to change. This can lead to people crossing without a walk signal
- We can shorten the length of time it takes for an intersection to cycle through all directions
- This can increase pedestrian compliance and reduce waiting times
- We've started implementing this at some intersections downtown already. We will prioritize this change at intersections with high pedestrian activity

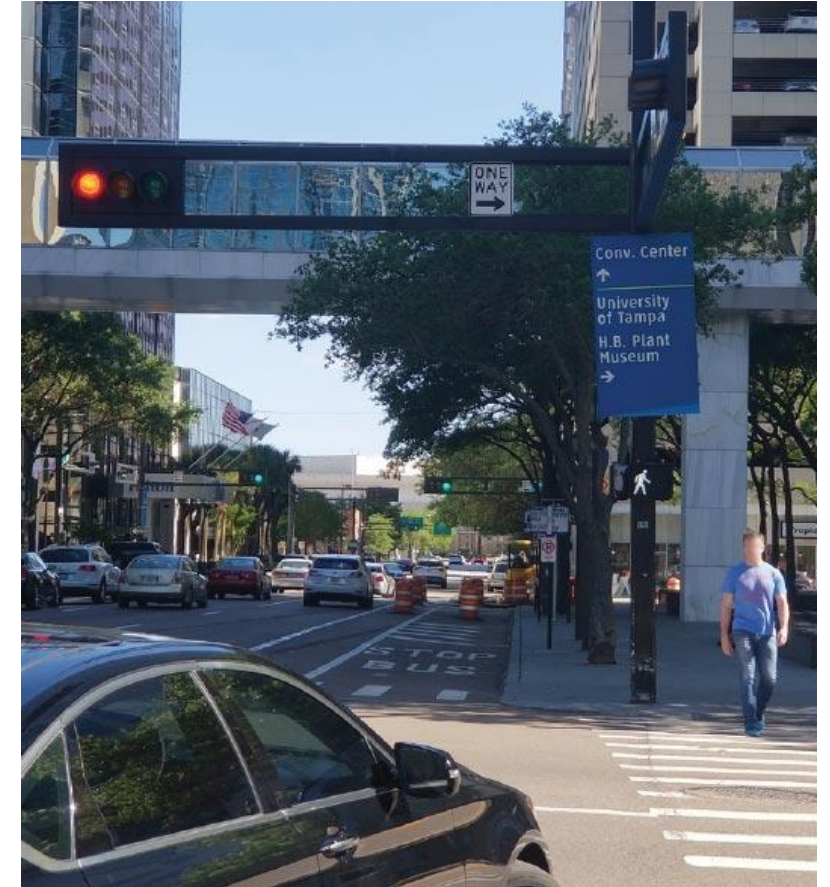


# Signalization Practices

## ■ Leading Pedestrian Intervals

- A leading pedestrian interval (LPI) gives people crossing a street a 3-7 second head start before the parallel traffic light turns green
- LPIs improve visibility, increase driver compliance, and reduce conflicts between different road users in crosswalks
- We will prioritize LPIs at intersections where there are high turning volumes, high pedestrian volumes, visibility constraints, or a history of crashes between turning vehicles and crossing pedestrians

*Photo: FHWA*





# Signalization Practices

## ■ Pedestrian Signal Heads

- Installing pedestrian signal heads helps people to better gauge how long they have to cross the street. It also increases accessibility for people with visual or other impairments
- We can prioritize installation and upgrades near schools and in high pedestrian areas



## ■ No Right on Red

- When drivers turn right on red, they often focus on finding a gap in traffic rather than people crossing. To see better, drivers typically creep forward and block the crosswalk
- We can restrict right turns on red to reduce conflicts between people walking and driving when appropriate
- If turning volumes are high, restricting turns on red can sometimes lead to more conflicts with faster-moving vehicles for people crossing the street when right turners have a green light
- We will prioritize this change near schools and in high pedestrian areas



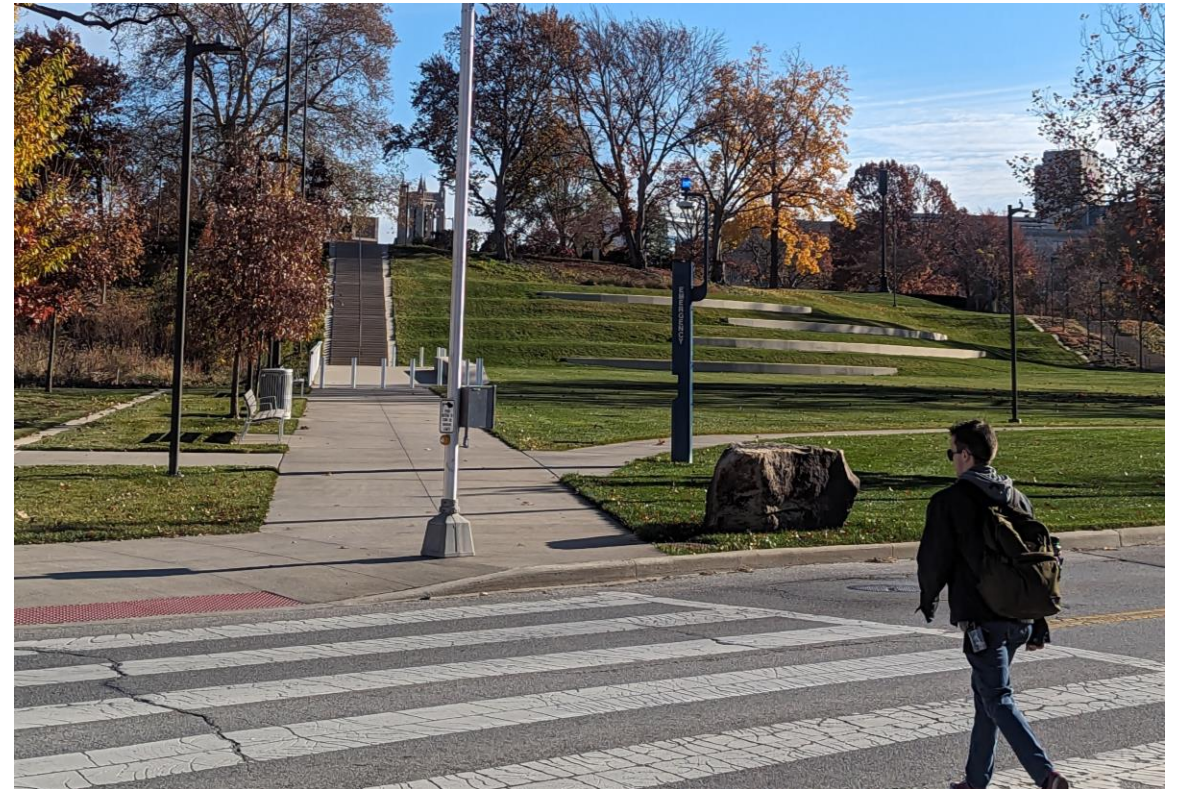
# Crosswalk Upgrades

## ■ High Visibility Crosswalk Striping

- We typically stripe crosswalks with one line on either side, but we can upgrade the striping to look like a ladder to increase visibility
- We will target high visibility striping near schools, at mid-block crossings, and at crosswalks with high pedestrian volumes
- We must prioritize where and how many crosswalks we upgrade to make sure we can maintain them over time
- Using pavers or bricks in a crosswalk can reduce visibility while also reducing accessibility for people with visual impairments or who use mobility devices



*Graphics (left):  
FHWA*





# Crosswalk Upgrades

## ■ Raised Crosswalks

- A raised crossing brings a crosswalk up to sidewalk height, making it easier and more accessible for people to cross
- This decreases vehicle speeds as they approach the crosswalk, increasing the chances that a driver will yield to people waiting to cross
- Raised crossings are more expensive and complicated to install than speed humps or speed tables because they impact drainage
- We will consider raised crossings as part of other construction projects. We'll prioritize them on and along streets with side paths or separated bike lanes, at channelized right turns and near roundabouts, and at intersections where we must maintain large turn radii to accommodate trucks

*Photo: Pennsylvania DOT*



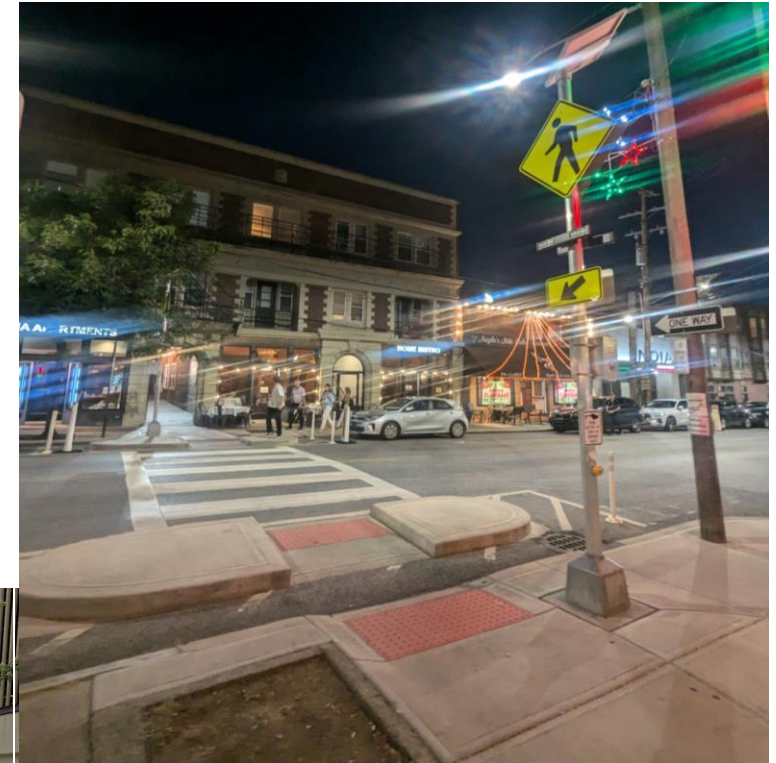


# Crosswalk Upgrades

## ■ Curb Extensions

- Curb extensions are an extension of the curb at an intersection, crossing, or bus stop. They are sometimes called bulb or bump outs
- They can slow vehicle speeds, shorten crossing distances, and improve sight lines for pedestrians and drivers approaching crosswalks
- They also make sure that a bus can pull close enough to a curb to be accessible for anyone getting on or off the bus
- These are most appropriate on streets with parking. We'll prioritize them on streets with high pedestrian volumes, on our high crash corridors, and at bus stops on transit priority corridors
- In Cleveland, we have pin on curb extensions on Mayfield Road in Little Italy and on Larchmere. We also have fully attached curb extensions on East 12th Street

Photo (below): Google





# Crosswalk Upgrades

## ■ Clear Corners (Daylighting)

- Parked or stopped vehicles can reduce the visibility of other people driving, biking, or waiting to cross the street
- When we restrict parking near an intersection, mid-block crosswalk, or driveway, drivers can better see approaching vehicles or people crossing the street. This reduces conflicts and increases yielding
- We use striping and no parking signage to mark off these zones, and can use plastic delineators to "harden" these areas
- Daylighting is appropriate on streets where there is parking or frequent idling. We will implement clear corners on any street with parking when we make other changes on that street

*Images: City of Boston*





# Crosswalk Upgrades

## ■ Pedestrian Refuge Islands

- A pedestrian refuge island gives people a place to stop, rest, and look for vehicles coming from the opposite direction before continuing across the street
- They can reduce vehicle travel speeds and reduce crossing distance for pedestrians
- Pedestrian refuge islands are often easiest to install on streets that already have a center turn lane
- Refuge islands require construction, so they take some time to install
- We will prioritize pedestrian refuge islands at crossings considered high stress by our data analysis. This includes many multi-lane (4+ lane) crossings – especially downtown

*Photo: Dan Burden*





# Bike Infrastructure Practices

## ■ Bike Signals

- Bike signals separate out bike movements to reduce conflicts with vehicles
- We have a bike signal at the intersection of the Detroit Superior Bridge and Huron Road for people on bikes going east

## ■ Bike Boxes

- Bike boxes provide a designated place for people on bikes to queue at the front of traffic, increasing visibility to drivers
- Bike boxes reduce vehicles pulling onto and blocking crosswalks
- We can include bike boxes at some intersections as we expand and improve our bike network



Photos: TREC (left), Toole Design (below)





# Bike Infrastructure Practices

## ■ Protected Intersections

- Protected intersections use curb extensions to reduce potential conflicts between people biking and vehicles
- They also shorten crossing distances and reduce curb radii, slowing vehicle turning speeds
- We will consider this approach at some intersections

## ■ Green Paint

- Green paint can increase the visibility of bike lanes to drivers
- We can use green paint through intersections to reduce conflicts

*Photo: Toole Design*





# Bike Infrastructure Practices

## ■ Two Stage Left Turn Box

- Two stage left turn boxes allow people riding bikes to take a turn in two phases, rather than navigating out of the bike lane to use a vehicular left turn lane
- Using a vehicular left turn lane is uncomfortable for many people biking and can be a barrier to riding a bike
- Rather than using a vehicular left turn lane, a person riding a bike continues straight through the intersection, stopping in a green turn box. The person rotates their bike 60 degrees to the left and proceeds forward when the light facing them turns green.
- We already have two stage left turn boxes at either end of the Detroit-Superior Bridge

*Photo: Zachary Kaufman*





# Cleveland City Planning Commission

## Mandatory Referrals

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



**Ord. No. 327-2025** (introduced by Council Members Bishop and Hairston – by departmental request) Authorizing the Director of Capital Projects to issue a permit to Northeast Ohio Regional Sewer District to encroach into the public right-of-way Central Avenue by constructing, installing, operating, and maintaining a new pump station.

Apr 4, 2025



# **Cleveland City Planning Commission**

**Real Estate Legislation  
April 4, 2025**

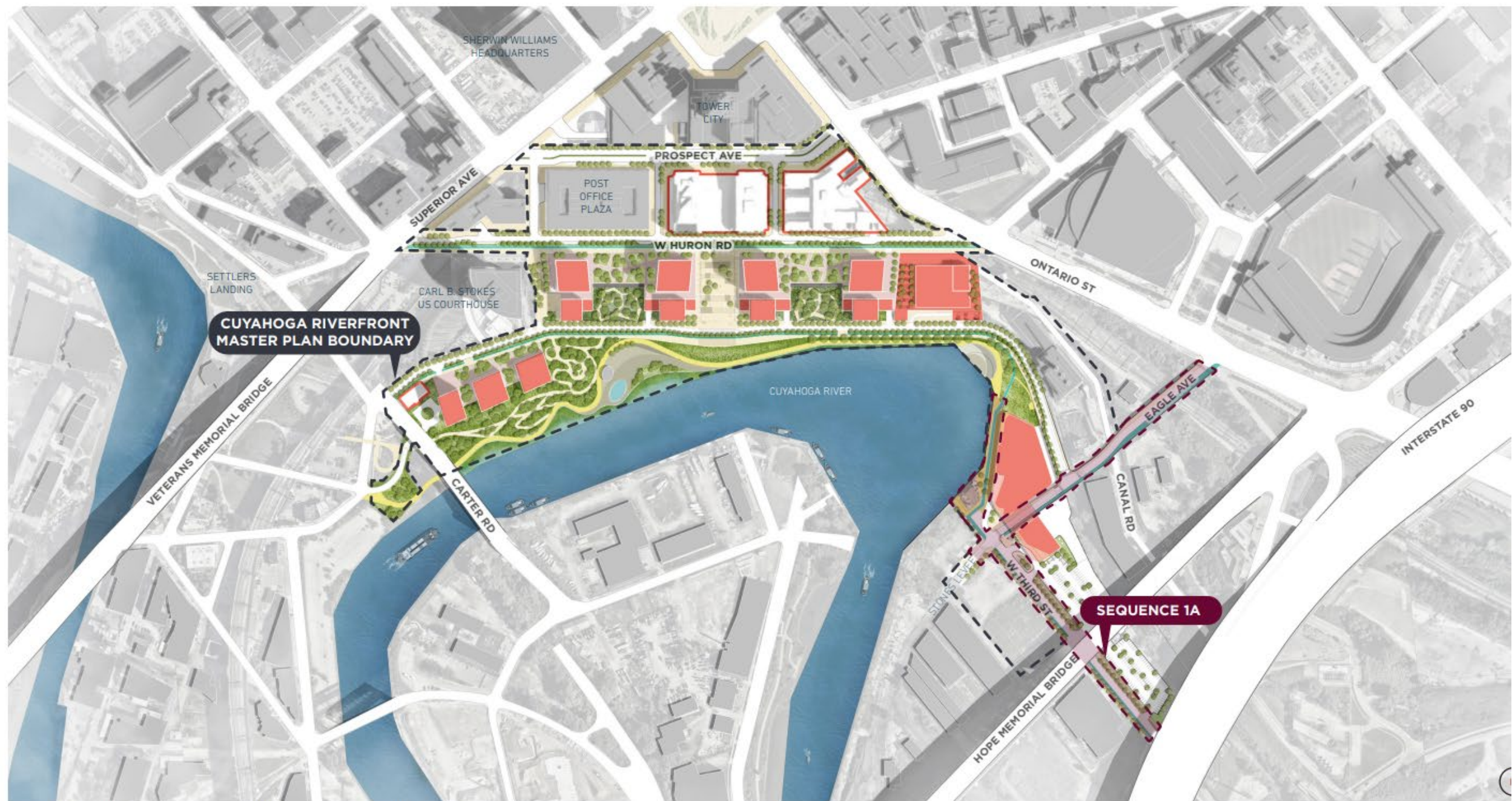




# Stones Levee Pump Station

Central Avenue & W 3<sup>rd</sup> Street

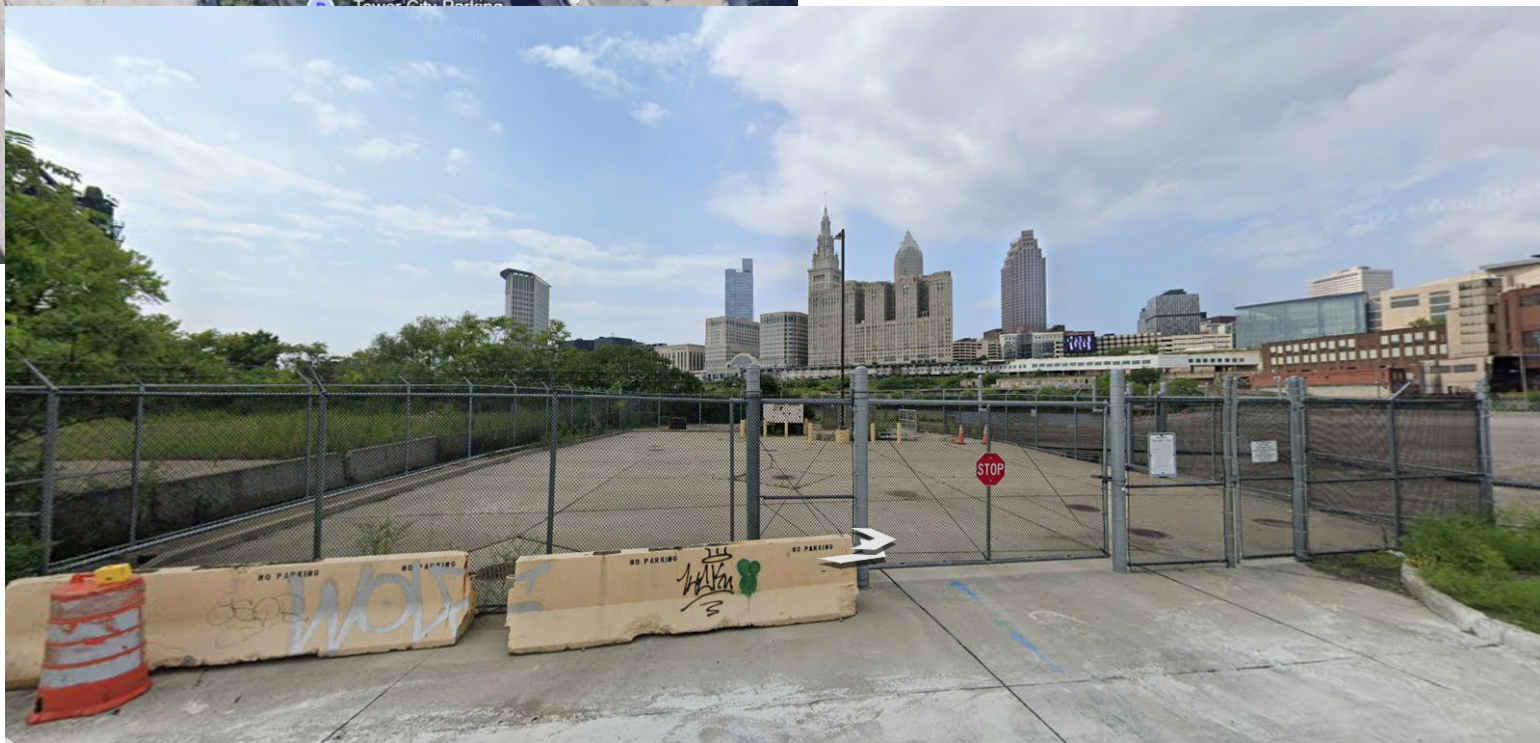
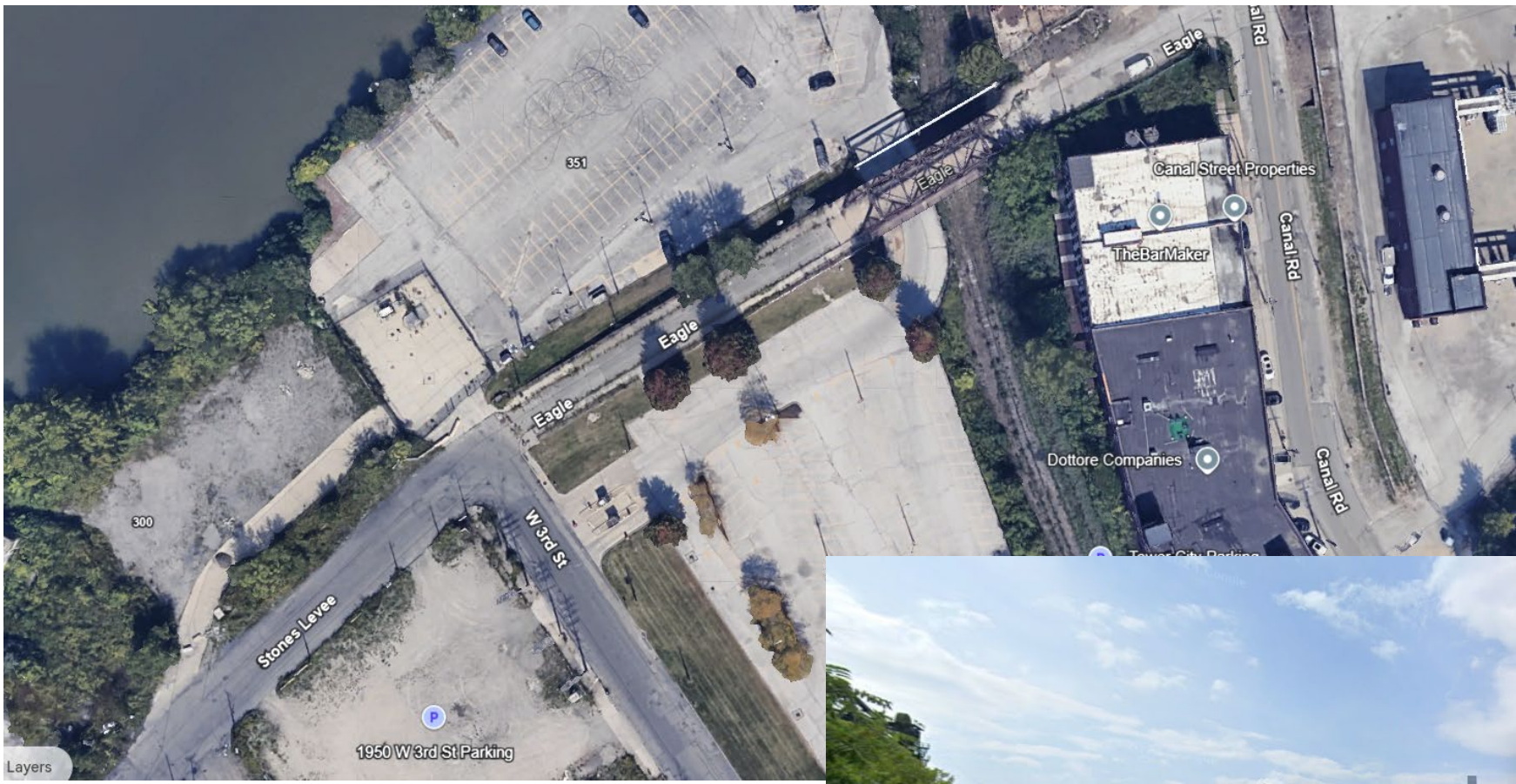






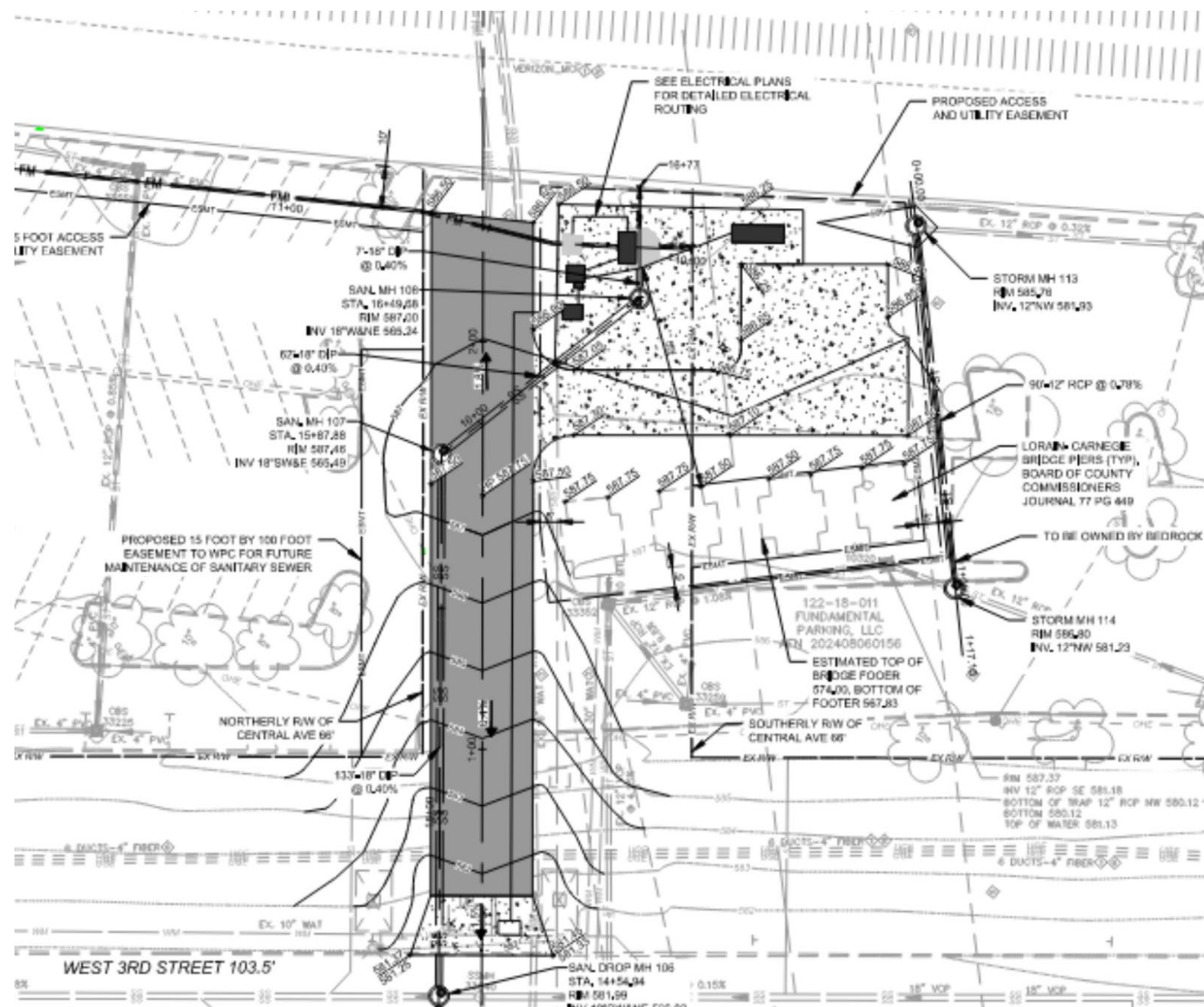






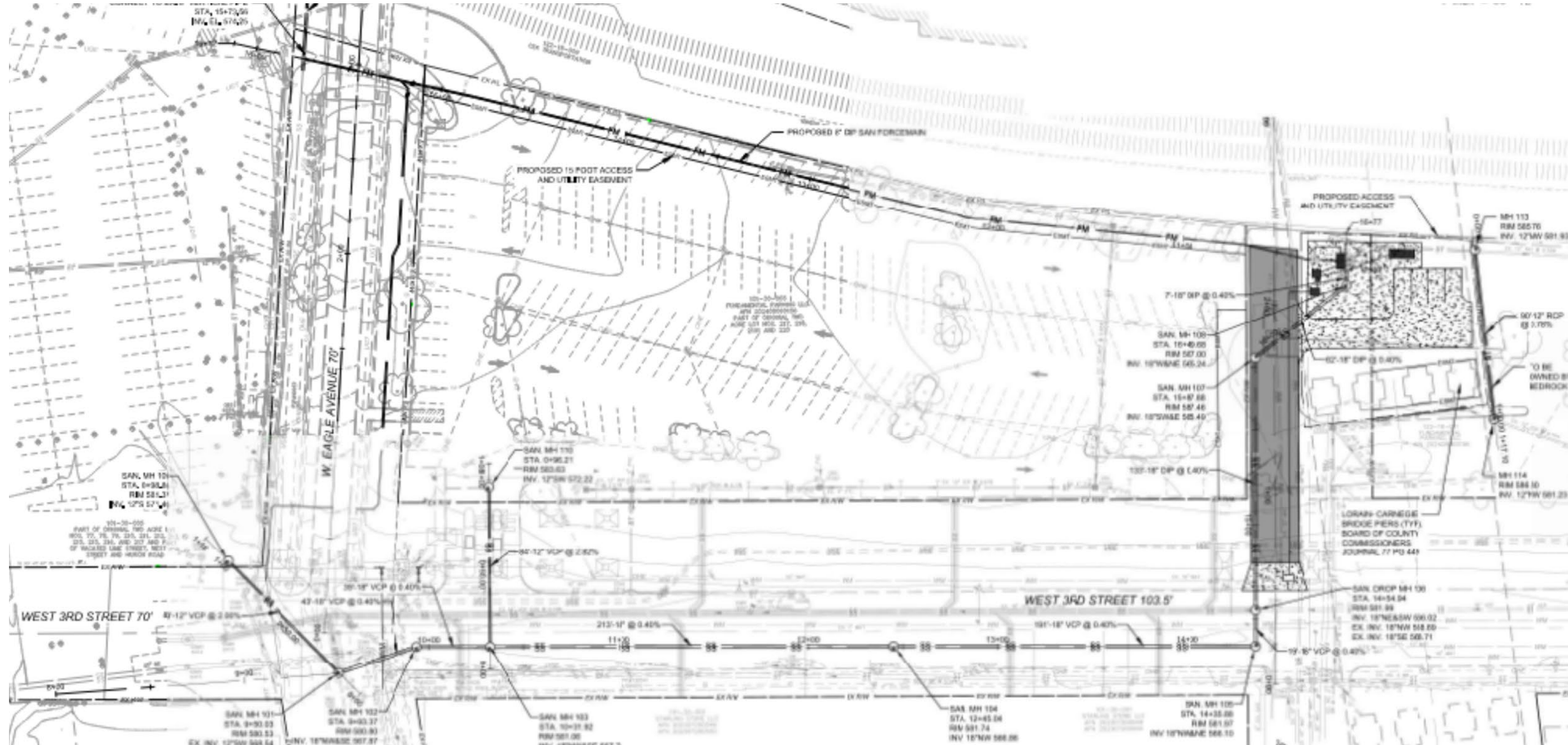


# Proposed Pump Station



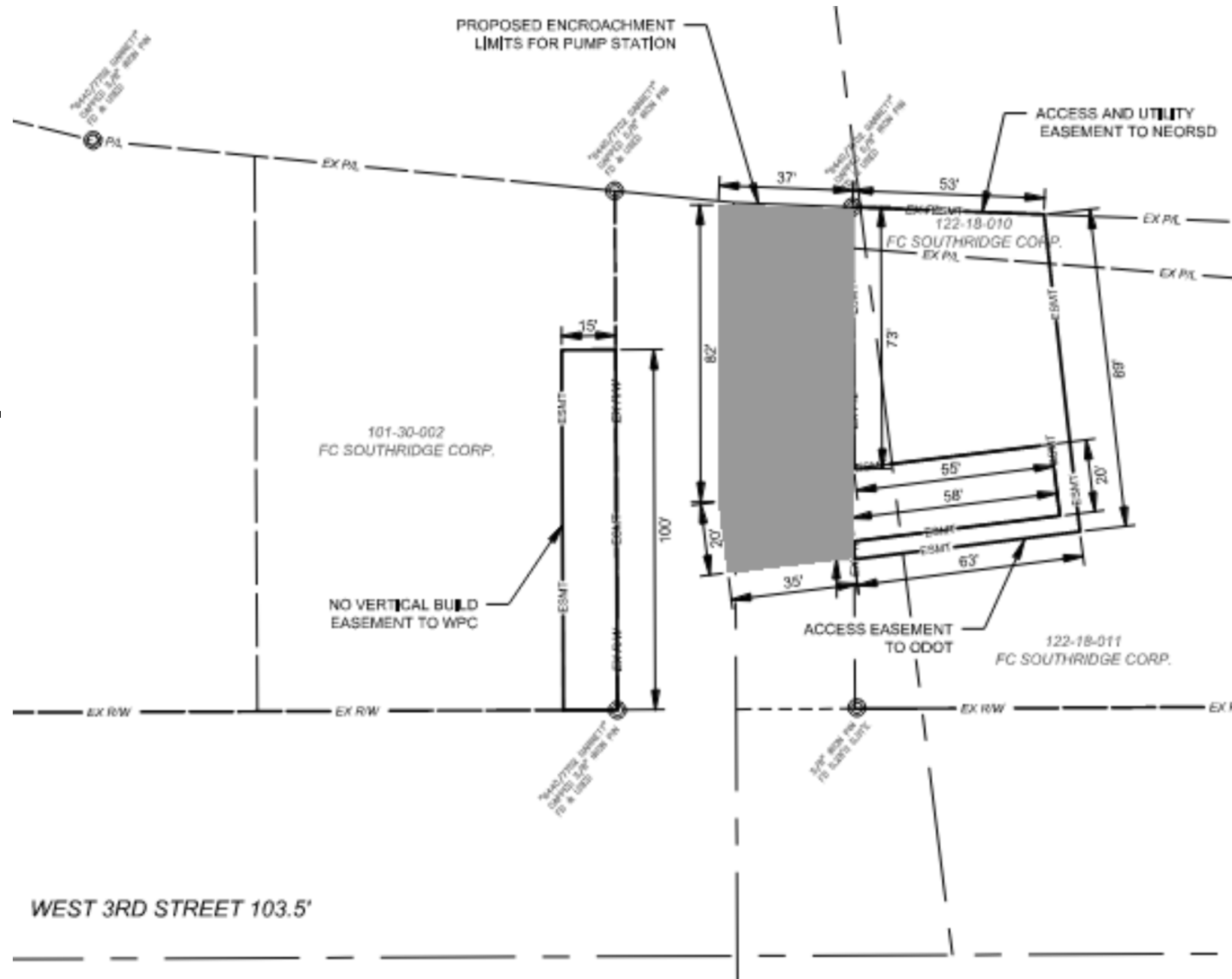


# Site Proximity Map





# Proposed Encroachment into Central Avenue Right-of- Way





**Ord. No. 328-2025** (introduced by Council Members McCormack, Bishop, and Hairston – by departmental request) Authorizing the Director of Capital Projects to issue a permit to the Cleveland Public Library to encroach into the public right-of-way of Superior Avenue by installing and maintaining an Ohio historical marker mounted on a 10-foot tall octagonal post with a foundation.

Apr 4, 2025





CITY OF CLEVELAND  
Mayor Justin M. Bibb

# City Planning Commission

Richard Switalski, PE

Administrative Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

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Friday, April 4<sup>th</sup> 2025





# Ordinance No. 328-2025

## Encroachment permit

**Authorizes the Director of Capital Projects to issue a permit to Cleveland Public Library to encroach into the public right of way of Superior Avenue.**

Encroachment permit is for installing and maintaining a single Ohio Historical Marker





# Ordinance No. 328-2025

Location of sign: 325 Superior Ave.





# Ordinance No. 328-2025

Similar sign design





# Questions & Feedback?





**Ord. No. 329-2025** (introduced by Council Members McCormack, Bishop, and Hairston – by departmental request) Authorizing the Director of Capital Projects to issue a permit to Nautica Entertainment, LLC to encroach into the public right-of-way of Elm Street by installing, using, and maintaining a new egress stairway and entry canopy.

Apr 4, 2025





CITY OF CLEVELAND  
Mayor Justin M. Bibb

# City Planning Commission

Richard Switalski, PE

Administrative Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

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Friday, April 4<sup>th</sup> 2025





# Ordinance No. 329-2025

## Encroachment permit

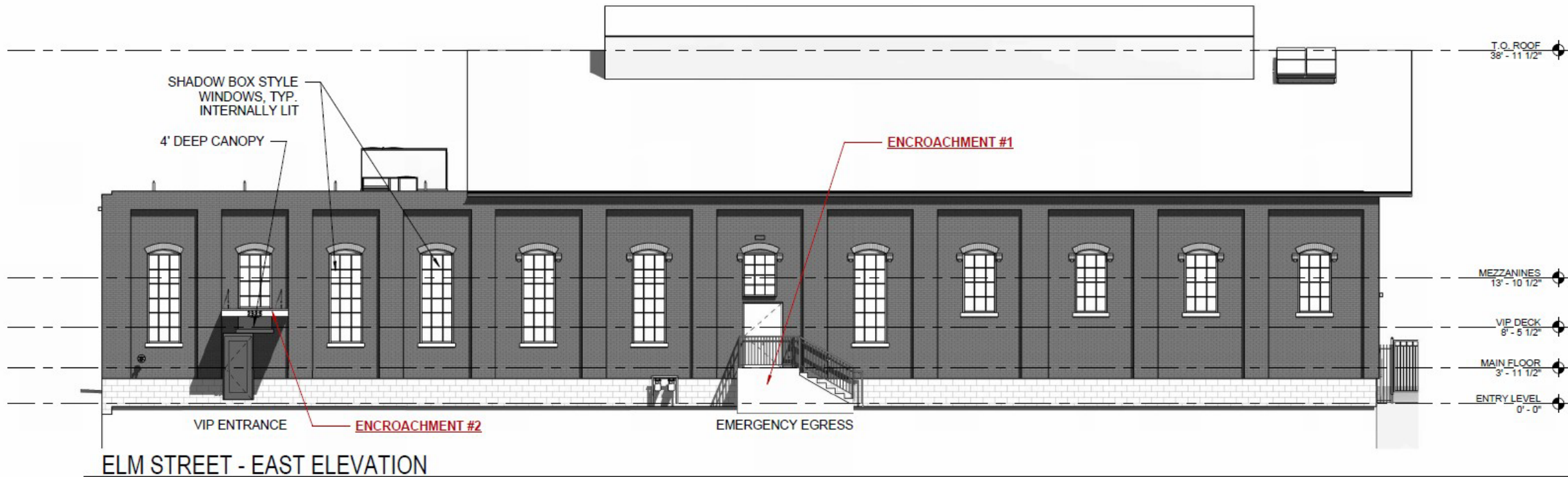
**Authorizes the Director of Capital Projects to issue a permit to Nautica Entertainment, LLC to encroach into the public right-of-way of Elm Street.**

Encroachment permit is for installing, using and maintaining a new egress stairway and entry canopy.





# Ordinance No. 329-2025





**Authorizes the Director of Capital Projects to issue a permit to Nautica Entertainment, LLC to encroach into the public right-of-way of Elm Street.**



# Ordinance No. 329-2025

Authorizes the Director of Capital Projects to issue a permit to Nautica Entertainment, LLC to encroach into the public right-of-way of Elm Street.

## Location of Elm St. encroachments





# Questions & Feedback?





# Cleveland City Planning Commission

## Administrative Approvals

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



**Ord. No. 388-2025** (introduced by Council Members Starr, Hairston, and Griffin – by departmental request) Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by JSAACC LLC, and/or its designee, located at 7515 Cedar Avenue for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the African Town Plaza Project.

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Apr 4, 2025



**Ord. No. 434-2025** (introduced by Council Members Starr, Hairston, and Griffin – by departmental request) Authorizing the Director of Economic Development to enter into a Tax Increment Financing Agreement with JSAACC LLC, and/or its designee, to assist with the financing of the African Town Plaza Project to be located at 7515 Cedar Avenue, Cleveland, Ohio; to provide for payments to the Cleveland Metropolitan School District; and to declare certain improvements to real property to be a public purpose.

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Apr 4, 2025



# Cleveland City Planning Commission

## Director's Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Apr 4, 2025



# Cleveland City Planning Commission

## Adjournment

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Next Meeting: April 25, 2025