



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

Friday, February 2, 2024

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator



Cleveland City Planning Commission

P r e a m b l e

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. RECUSALS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

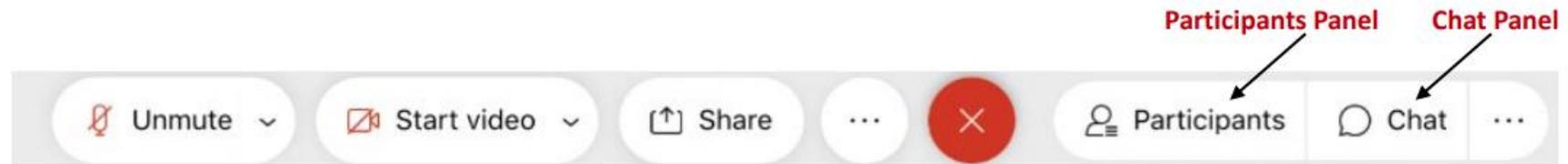
IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON.

PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING *6



February 2, 2024

Cleveland City Planning Commission

P r e a m b l e

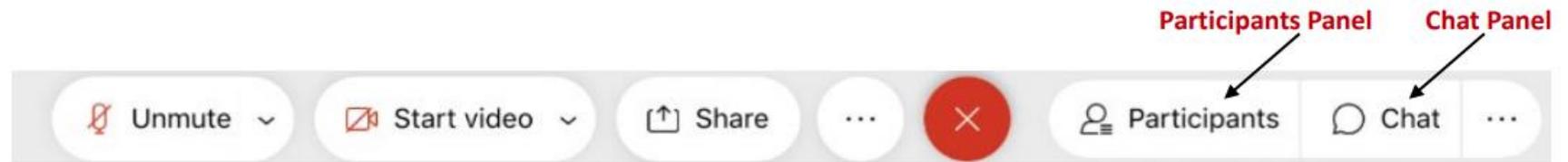
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER SUBMITTED THROUGH PROPER CHANNELS HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER. PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

COMMUNICATION WITH MEMBERS OF THIS BODY MUST FOLLOW PROPER CHANNELS FOR CONSIDERATION. ANY COMMENTS RECEIVED BY THE **WEDNESDAY 12:00 PM** DEADLINE ARE COLLECTED BY CITY PLANNING STAFF AND DISSEMINATED TO THE COMMISSION MEMBERS PRIOR TO ANY SCHEDULED MEETING.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



February 2, 2024

Cleveland City Planning Commission

Meeting Rules and Procedures

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission, in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Committee recommendations and any public comments received.
- The deadline for public comments is noon on the Wednesday prior to any regularly scheduled City Planning Commission meeting and will be read into the record. Any comments received by the deadline are distributed to Commission members prior to the meeting through Dropbox. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

Cleveland City Planning Commission

Call to Order and Roll Call



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Mayor Justin M. Bibb

February 2, 2024

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

Cleveland City Planning Commission

Zoning Map Amendments



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

Ordinance No. xxx-2024 (Ward 3/Councilmember McCormack):

February 2, 2024

Changing the Use, Area and Height Districts of parcels of land south of Lorain Avenue between West 50th Street and West 52nd Street, and subjecting an area titled Site Development Boundary to Section 333.02 of the Cleveland Codified Ordinances. (Map Change 2676)

Map Change 2676

- City Planning Commission
 - February 02, 2024

Proposal

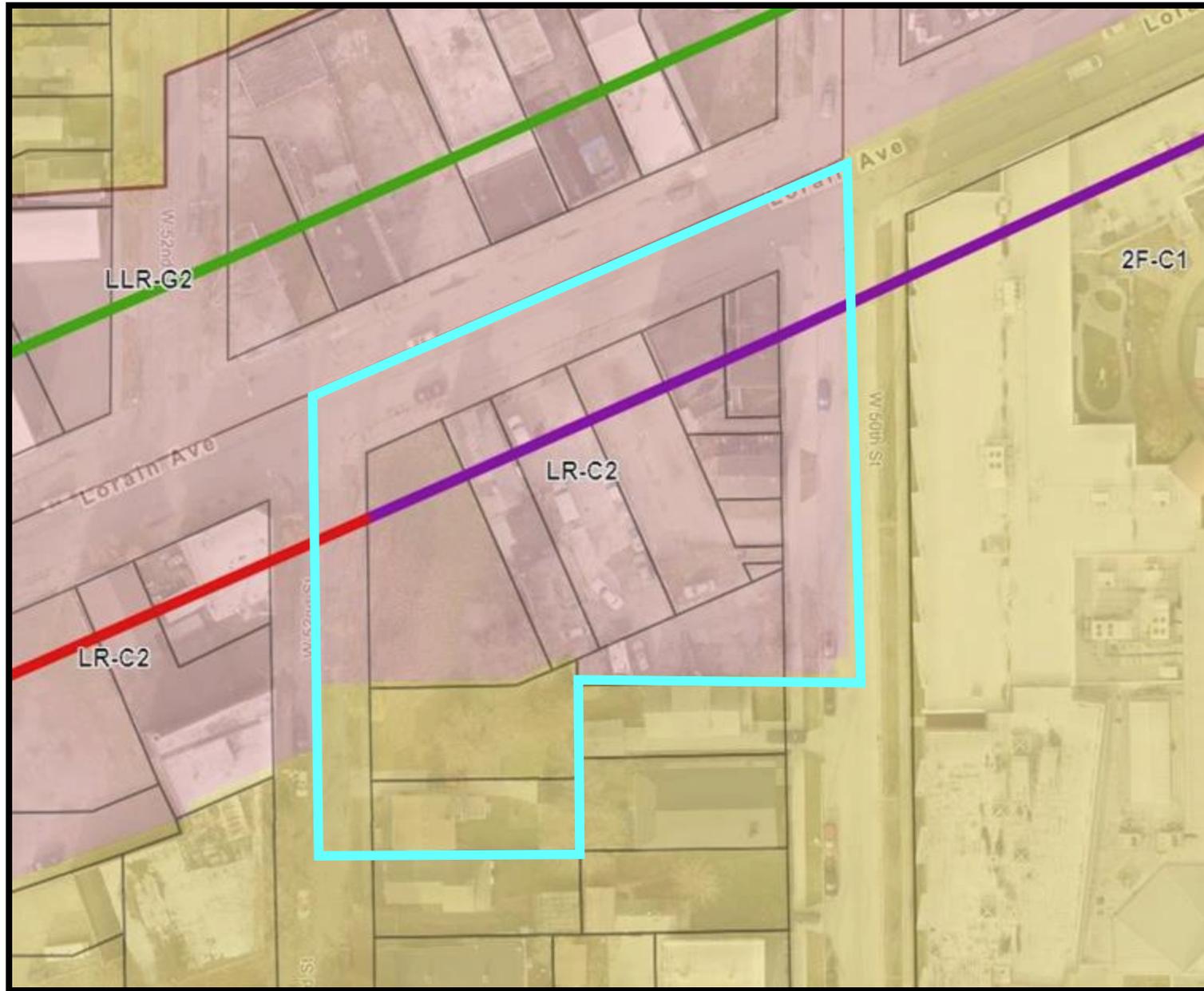
Changing the Use, Area & Height Districts of parcels of land south of Lorain Avenue between West 52nd Street and West 50th Street.(MC 2674); and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan.

Purpose

- To allow the proposed development to move forward as approved by Landmarks
 - To promote a diversity of housing typologies
- To support transit and alternative mobility choices



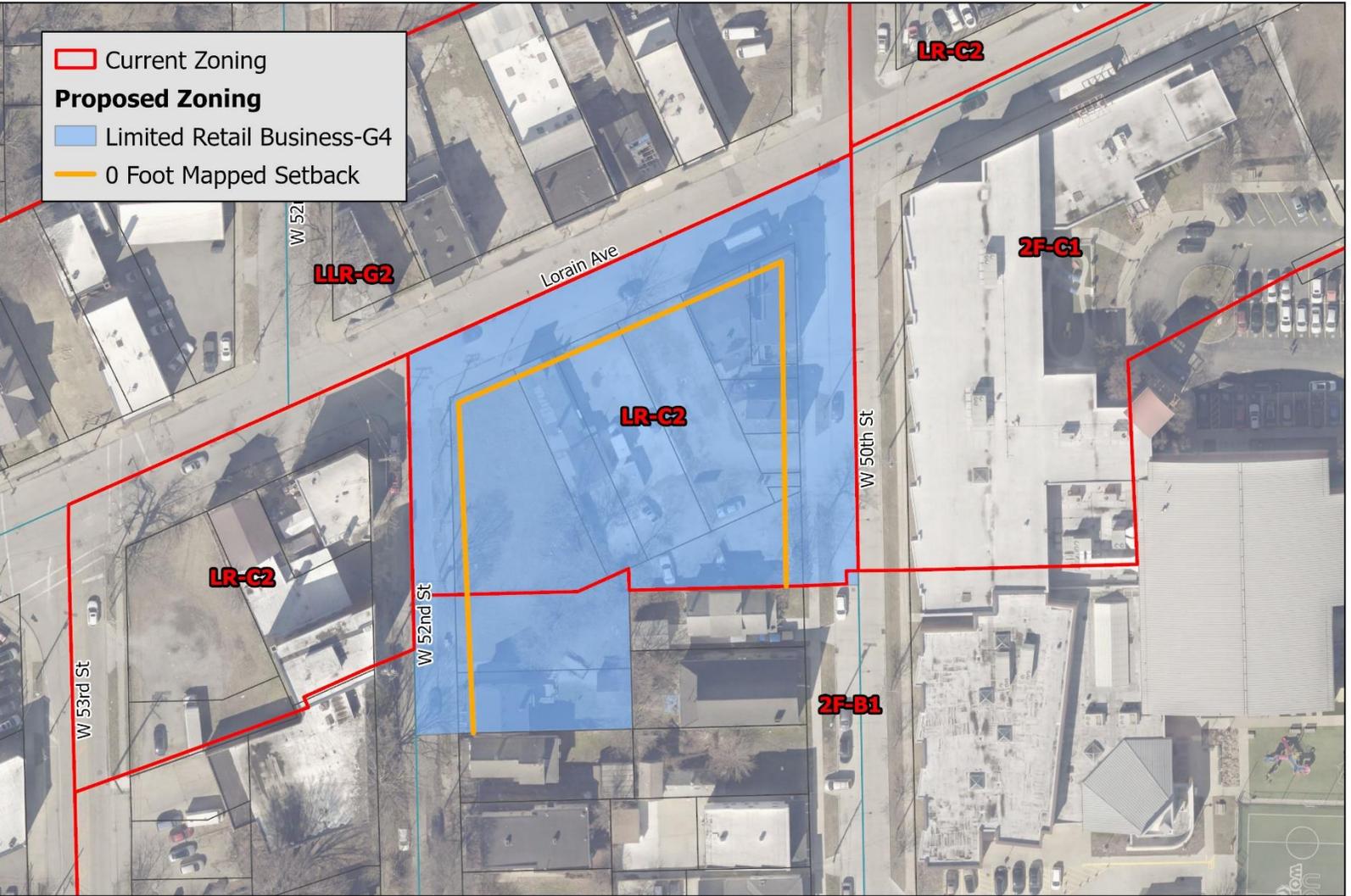
Current Zoning



Project Location



Proposed Zoning



Map Change 2676

Changing the Use, Area, and Height Districts of parcels of land south of Lorain Avenue between West 50th Street & West 52nd Street; and subjecting an area titled the Site Development Boundary to §333.02 of the Cleveland Codified Ordinances.

Logos: cpc cleveland city planning commission

Scale: 50 Feet

North Arrow: N

November 9, 2023

Existing Conditions



Existing Conditions

Lorain Ave.
East



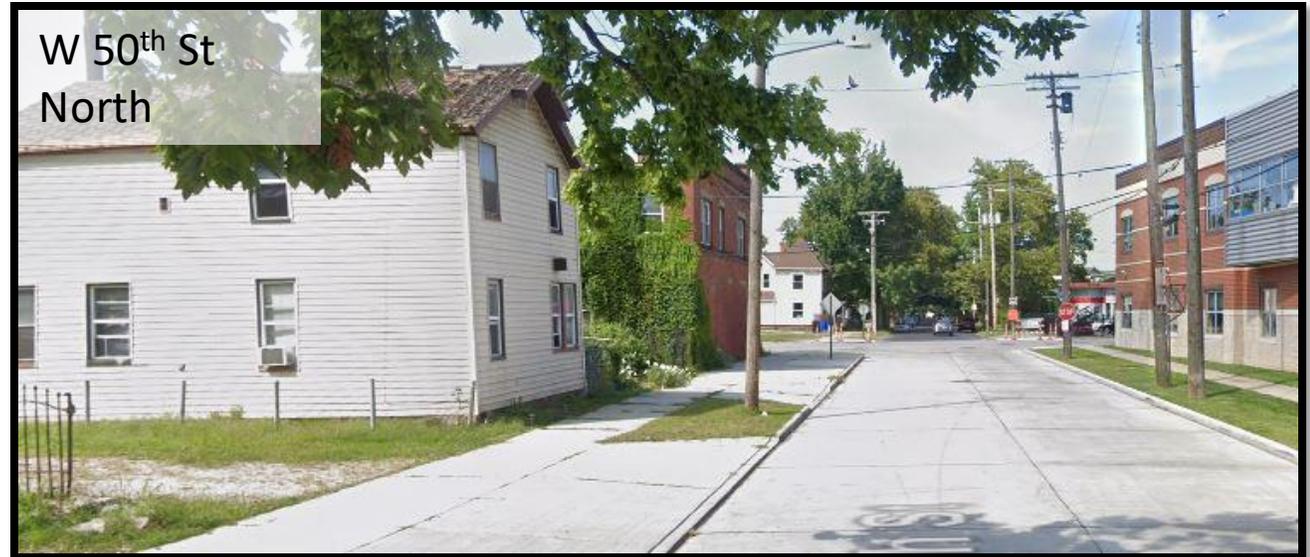
Lorain Ave.
South



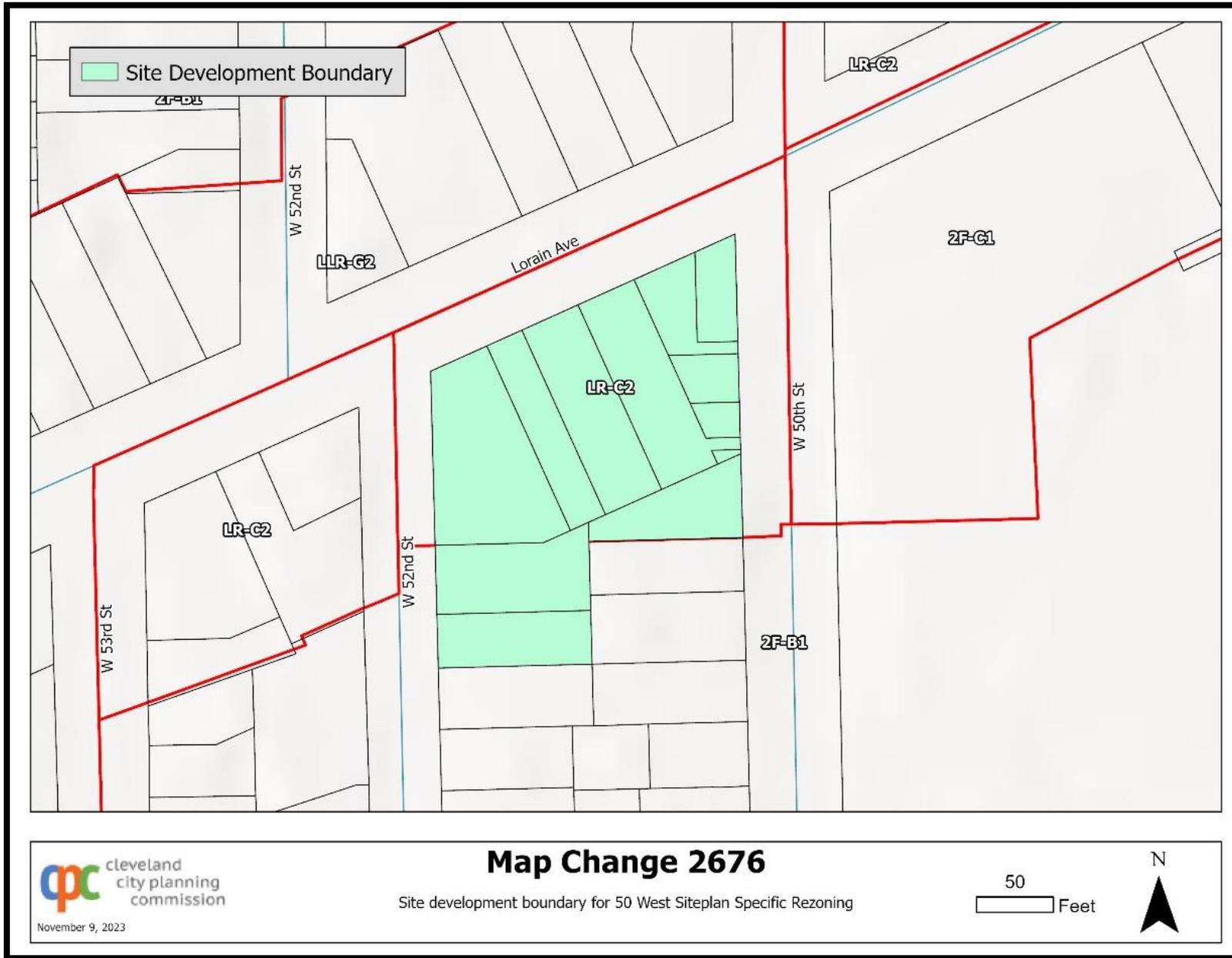
West 52nd St
North



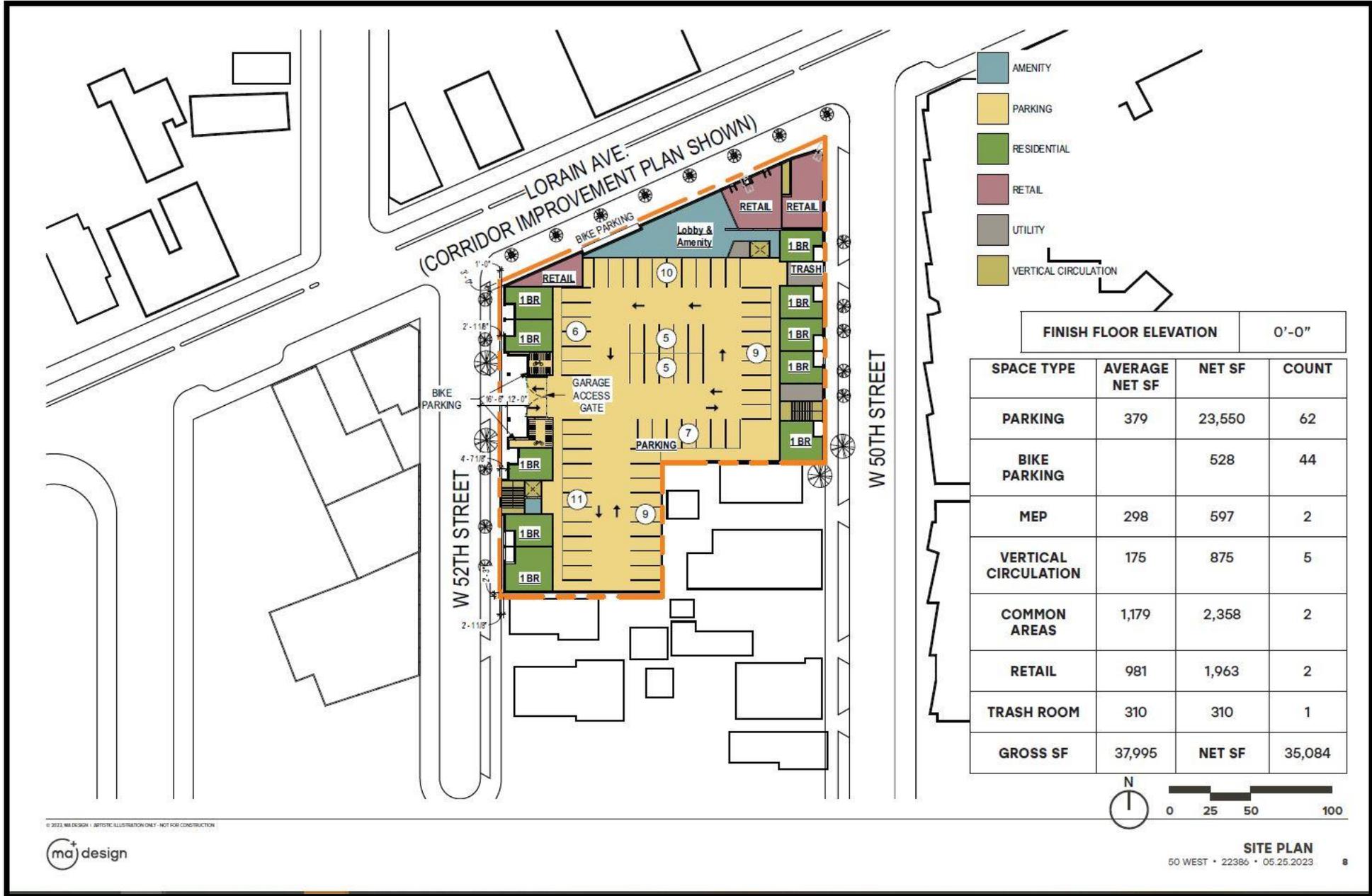
W 50th St
North



Site Development Boundary



Site Plan



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Elevations



Elevations

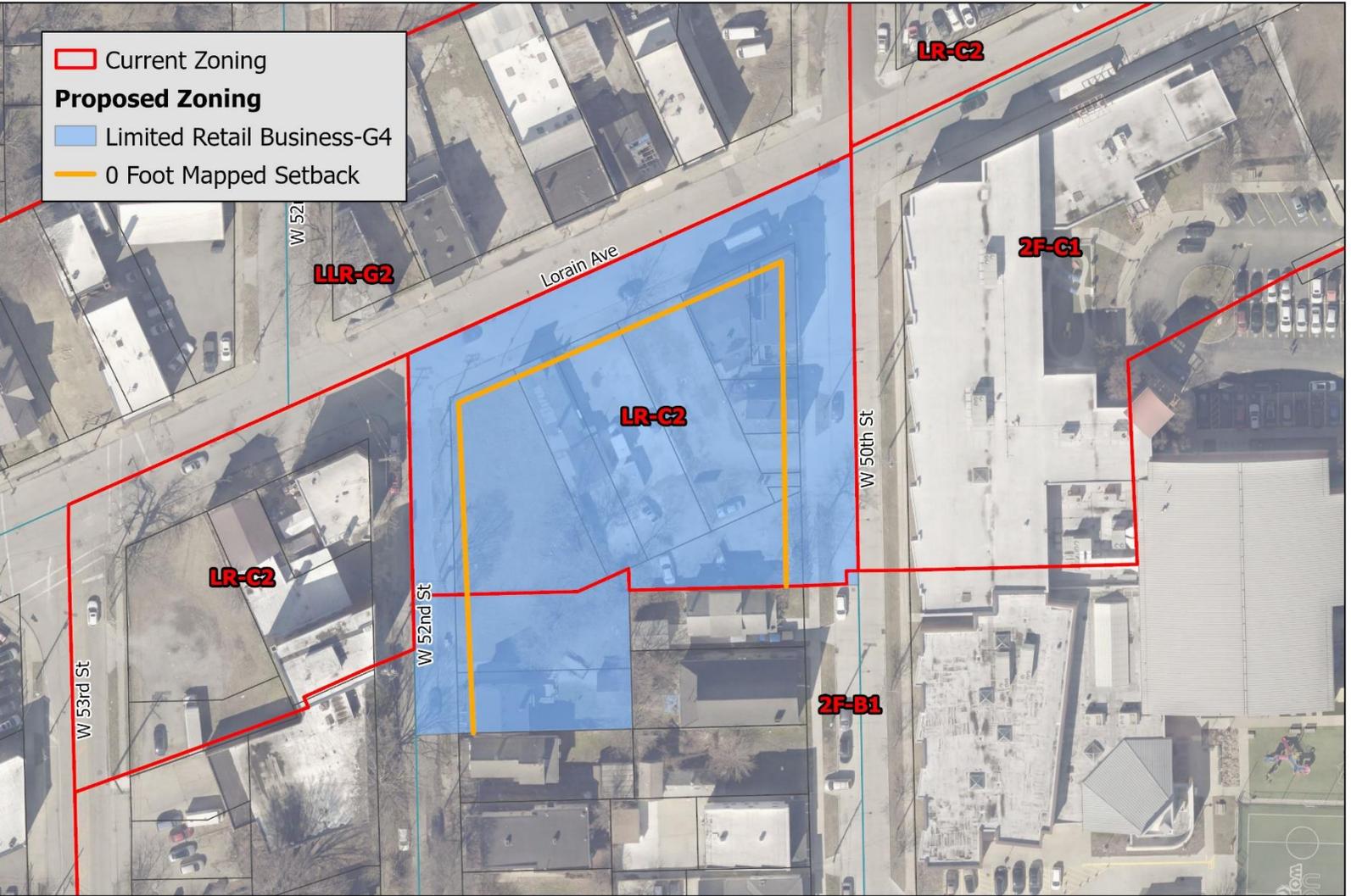


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VIEW FROM 50TH & LORAIN

Proposed Zoning



Map Change 2676

Changing the Use, Area, and Height Districts of parcels of land south of Lorain Avenue between West 50th Street & West 52nd Street; and subjecting an area titled the Site Development Boundary to §333.02 of the Cleveland Codified Ordinances.

Logos: cpc cleveland city planning commission

Scale: 50 Feet

Orientation: N

November 9, 2023

Ordinance No. xxx-2024 (Ward 7/Councilmember Howse-Jones):

February 2, 2024

**Changing the Use, Area and Height Districts of parcels of land west of Crawford Road between Wade Park Avenue and Kenmore Avenue and adding an Urban Form Overlay on the south side of Wade Park Avenue.
(Map Change 2674)**

Map Change 2674

- City Planning Commission
 - February 02, 2024

Proposal

Changing the Use, Area & Height Districts of parcels of land west of Crawford Road between Wade Park Avenue and Kenmore Avenue and adding an Urban Form Overlay to the south side of Wade Park Avenue.(MC 2674)

Purpose

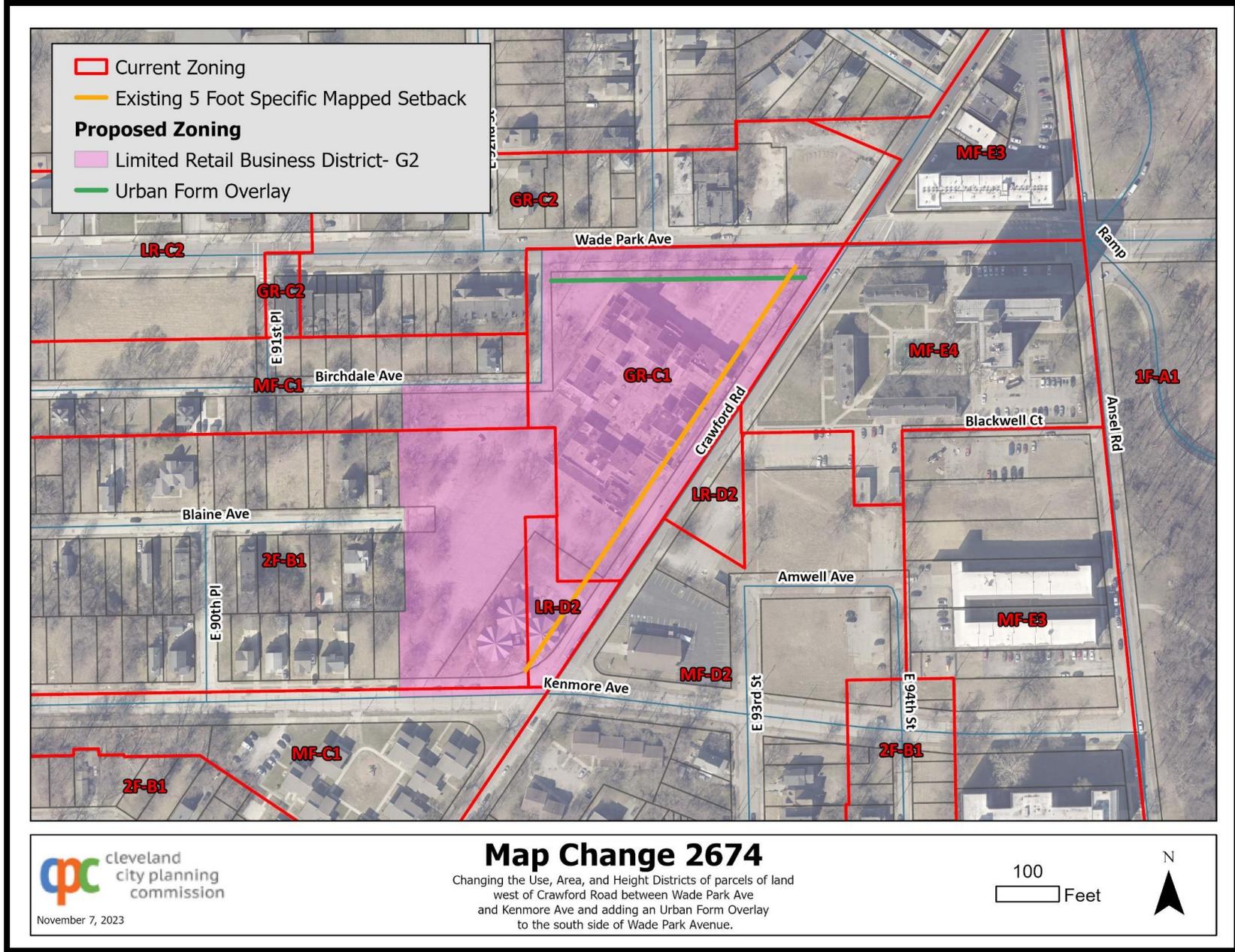
- To correct a split-zoning issue to enable the proposed multi-family LIHTC development
 - To promote a diversity of housing typologies



Location Map



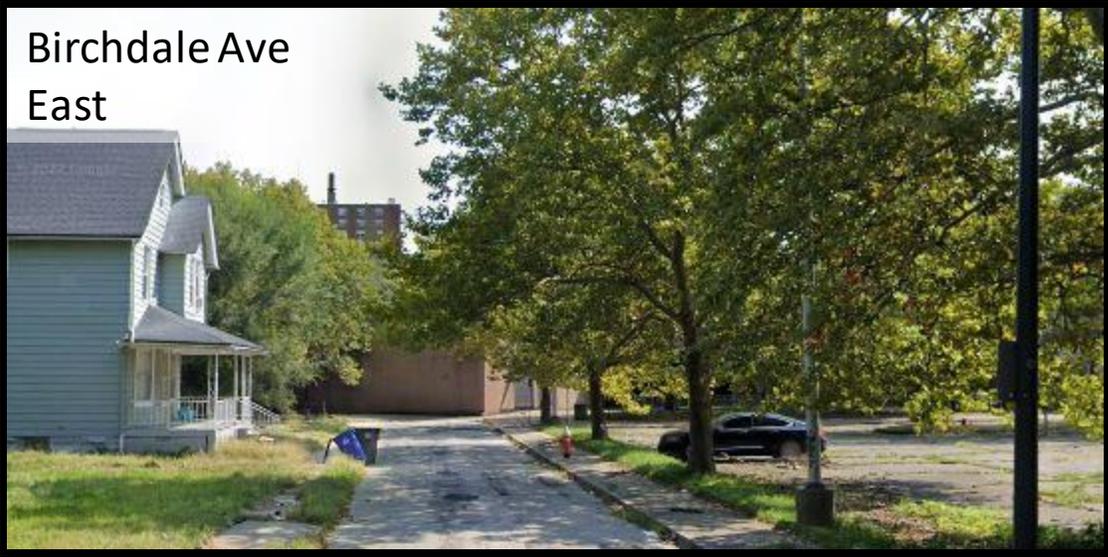
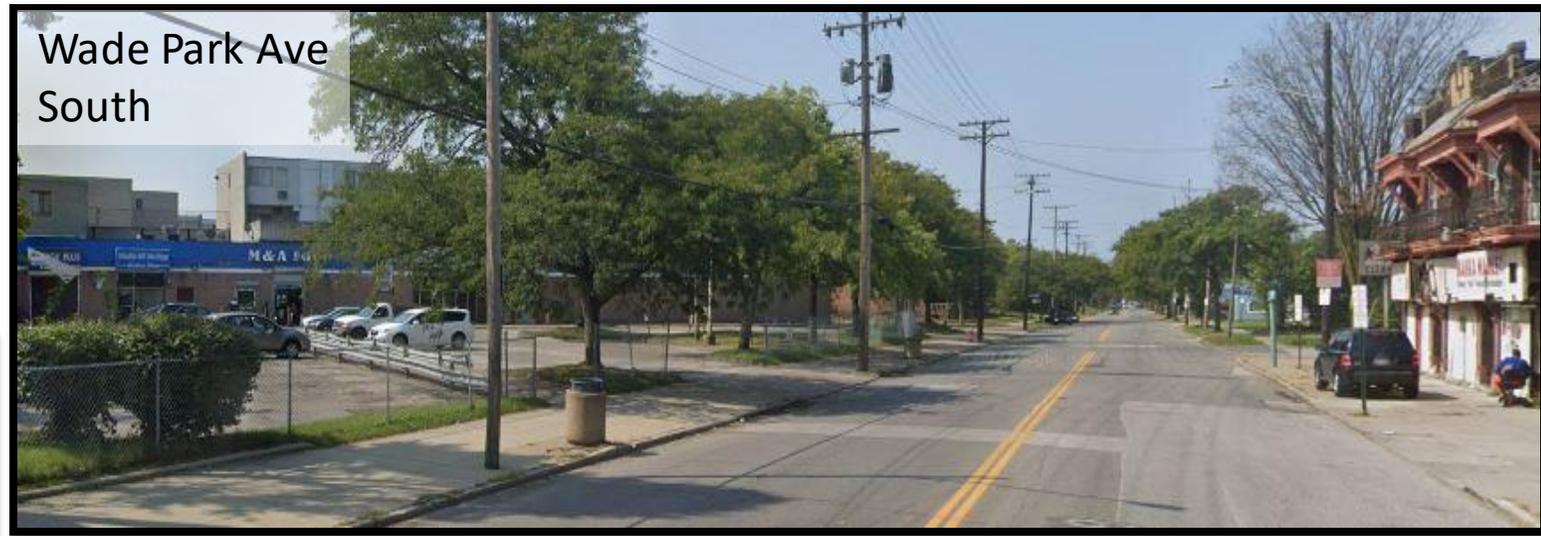
Proposed Zoning



Existing Conditions

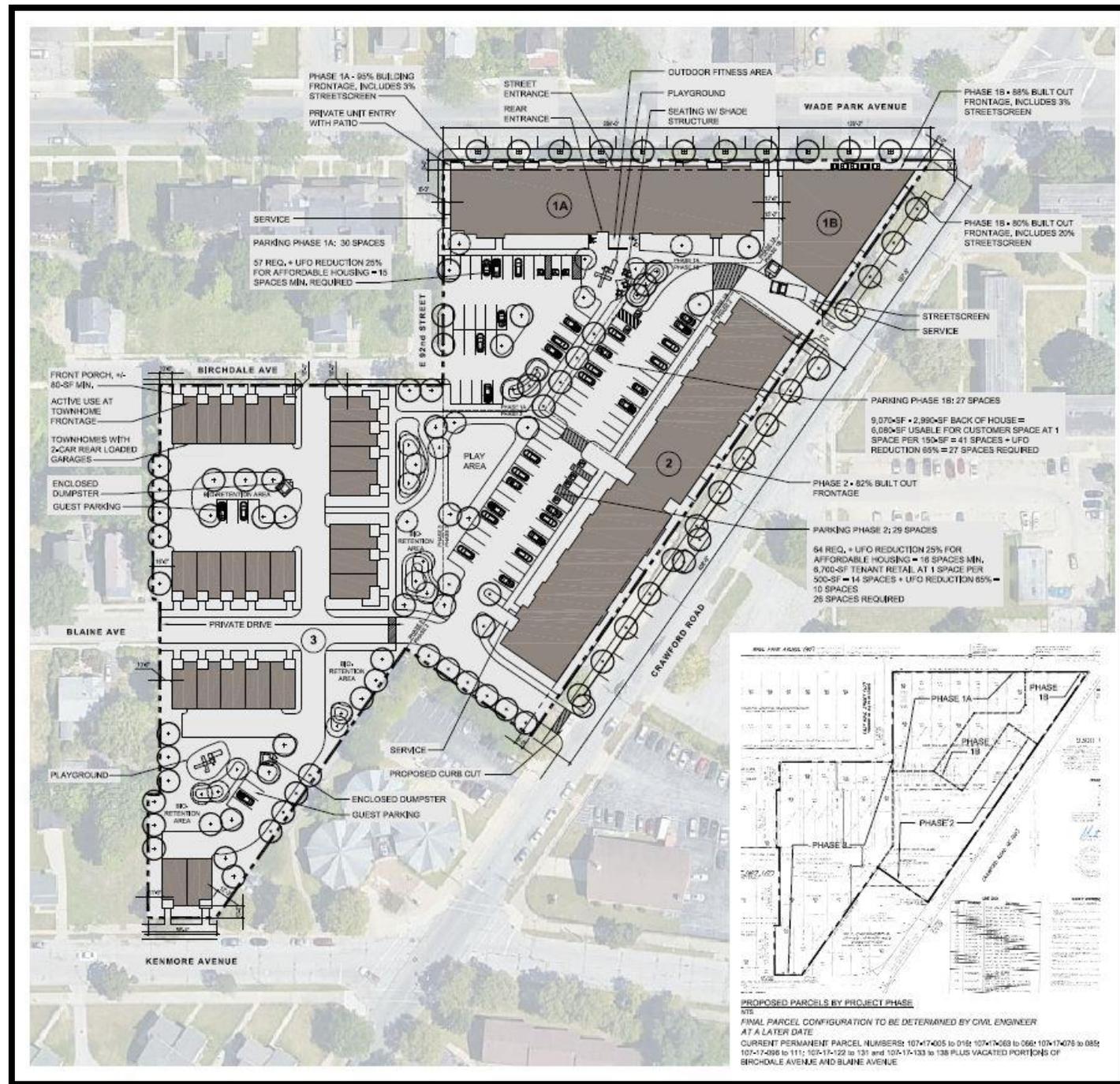


Existing Context



Site Plan

- 4 Story Multi-Family Building
 - 54 Units
- 4 Story Mixed-Use Residential
 - 64 Units
 - 6,700 sf tenant spaces
- 2-3 Story Town Homes
 - 24 Units
- Food Hall Market
 - 9,000 sf



Cleveland City Planning Commission

Special Presentation



CITY OF CLEVELAND
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February 2, 2024

COMPLETE & GREEN STREETS PROGRAM UPDATE



CITY OF CLEVELAND

Mayor Justin M. Bibb

Special Presentation

Complete and Green Streets Update **Presenter: Phil Kidd, City of Cleveland**

February 2, 2024

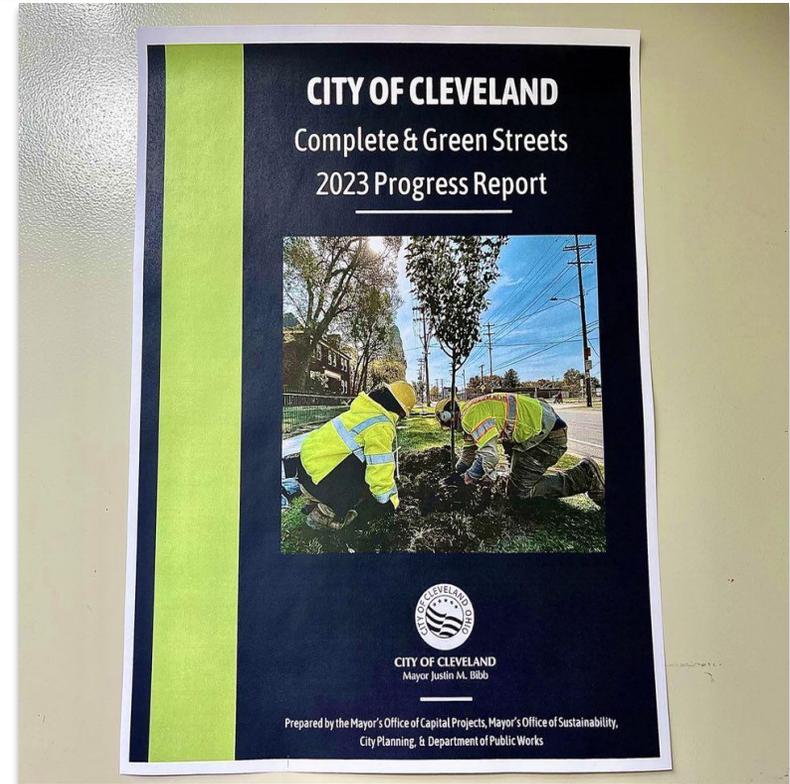
CGS PROGRAM: 2011-2021

- First CGS ordinance passed in 2011
- Resulted in 2013 Complete & Green Streets Typologies Plan
 - Street size, classification & CGS design suggestions for each street type
 - *Envision* rating system
 - New practices: recycled asphalt, Tree Damaged Sidewalk Repair Program (TDS)
- Between 2011-2021:
 - 102 miles of bike lanes & sharrows
 - 3,986 pedestrian curbs ramps upgrades
 - 8,166 street trees added
 - Bicycling Magazine Ranking: 41st to 29th
 - Air Quality Index increased 18 points
 - Water advisory days decreased by 9



CGS PROGRAM TODAY

- 2019: Council begins drafting updated CGS ordinance
 - Stronger language around **design guidance, advisory board oversight** and **transparency**
- 2022: Updated ordinance passed adding the following:
 - CGS Staff Working Group (City of Cleveland)
 - Transportation Infrastructure Advisory Committee (TIAC)
 - Documenting comments & listing exceptions
 - Annual reporting around key metrics listed in ordinance
- Additional improvements:
 - Joint departmental project/funding coordination
 - Updates on *all* CGS related projects @ TIAC & CGS SWG
 - CGS + Trails newsletter (monthly)



COMPLEMENTARY INITIATIVES

- Vision Zero Action Plan
- Cleveland Tree Plan
- Climate Action Plan
- GCRTA Strategic Plan
- ODOT Highway Safety Plan
- ODOT Walk.Bike.Ohio Statewide
- Safe Routes to School
- Transportation for Livable Communities (TLCI) Plans
- 15-Minute City Planning
- Trust for Public Land's 10-Minute Walk to Parks
- Bike Cleveland City Thread Accelerated Mobility Playbook
- Citywide Mobility Plan (2024)



UPCOMING PROJECTS

- **Payne Ave (E. 13 to E. 30) & Carnegie Ave (E. 55 to E. 79):**
 - 38,000 sqft (1.5 miles) of tree lawn restoration
 - 142 street trees + 'no mow' grass pilot
- **Residential street greening**
- **Safe Streets Funding (\$2.3M)**
 - St. Clair Ave (E. 99-E.156) quick build + (8), 1-mile crash area analysis
- **Cleveland Midway (Design)**
- **Lee Road (Southeast Side Promise)**
 - \$15-\$20M CGS project
 - Coordination with Shaker Heights
 - Design (in progress) | Construction: 2027



Thank you!



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Cleveland City Planning Commission

Central Southeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Date

CSE2024-003 – Proposed Demolition of a 2-Story Commercial Building: Seeking

Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 8637 Buckeye Road

Project Representative: Elizabeth Mackey, City of Cleveland

February 2, 2024

Ward 6- Councilmember Griffin

SPA: Buckeye Woodhill

8637 BUCKEYE RD.

Proposal for a demolition in the Opportunity Corridor
Design Review District

PROPOSED DEMOLITION OF 8637 BUCKEYE RD.



8637 BUCKEYE RD.

- **Demolition:** We are seeking the approval of the complete demolition of this two (2) story, commercial structure built in 1920.
- **Current Owner:** Pernel Jones & Sons Funeral Home, Inc.
 - Condemnation notice issued 01/27/2021.
- **Vacant:** Yes.
- **Complaints:** The City has received five (5) formal complaints; 1 due to a fire.
- **Board-ups:** The city has boarded up this property two (2) times.
- **Back Taxes:** \$3,525.34.
- **Site Plan:** The remaining land will be cleared, graded, and seeded.
 - We have no knowledge of interest from contractors or private investors.
 - Council President Blaine Griffin approves of demolition.
 - Property is a priority demolition for the Director of Building & Housing.



SITE LOCATION AND CONTEXT





View north from the northern margin of the subject property.



View west of the back of the structure.



View northwest of the structure.



View of a vandalized HVAC unit on the east side of the structure.

VIEW NORTHWEST OF THE STRUCTURE.



View west from the western margin of the subject property.

VIEW OF A PARALLEL HIGHWAY ON THE EAST SIDE OF THE structure.



View south from the southern margin of the subject property.



8637 Buckeye Road

Cleveland, Ohio

September, 2023



View northwest at the front of the structure on Buckeye Road.



View north on the west side of the structure.



View of the interior of the theater & dance hall with collapsed roof.



View of the electrical utility area in the basement.



View of the dumbwaiter elevator shaft and piping in the basement.



View of a natural gas fired furnace in the basement.



8637 Buckeye Road

Cleveland, Ohio

September, 2023



View of the entry hallway on the first floor.



View of a typical first floor room.



View of a typical bathroom.



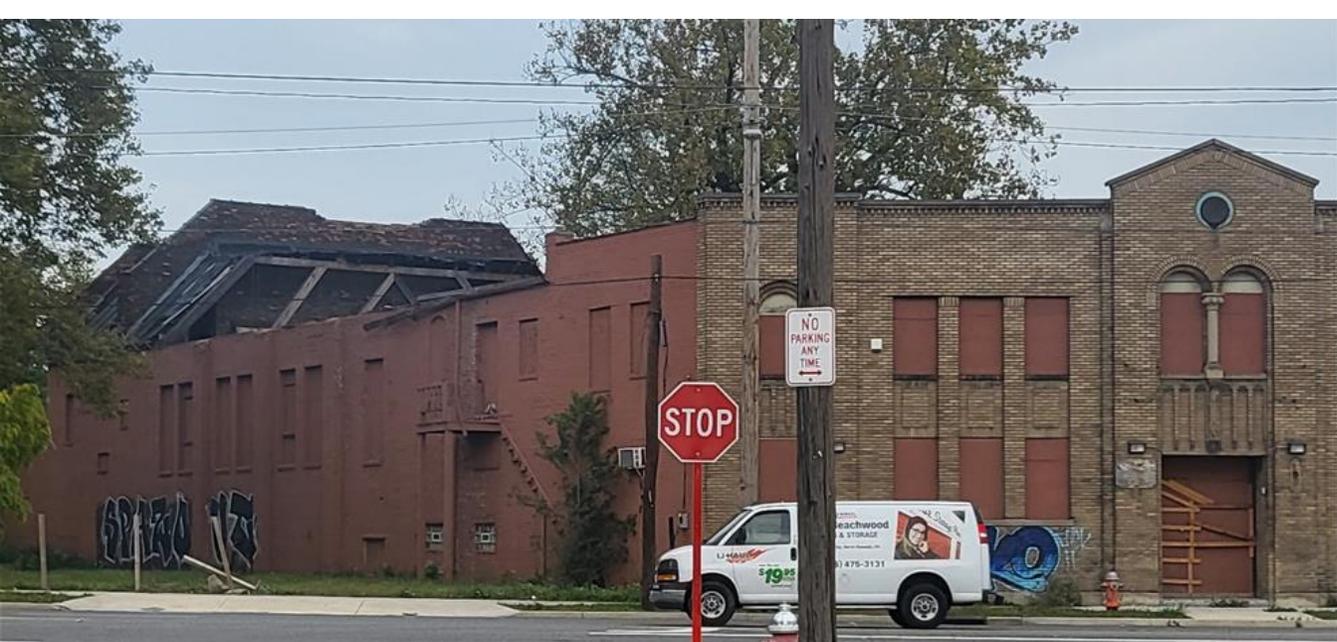
View of the second floor hallway.



View of a typical second floor room.



View of the storage space under the stage area.





SITE PLAN



Demolish the structure, remove all foundations and subgrade material. Level the site with clean backfill, topsoil, seed, and straw.

Cleveland City Planning Commission

Staff Report



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February 2, 2024

Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

Date

NW2023-011 – Memphis Plaza New Construction: Seeking Schematic Design

Approval

Project Address: 4714 Memphis Plaza

Project Representative: Gary Fisher, Architect

February 2, 2024

Ward 13- Councilmember Harsh

SPA: Old Brooklyn

BUILDING CODE INFORMATION

USE GROUP	CONST. TYPE	SQUARE FEET	MAX. OCC.
B	2B	7,758	78

A 4" x 6" PLACARD WITH THE ABOVE INFORMATION SHALL BE POSTED IN TWO PRIMARY ENTRY AREAS IN THE BUILDING.

TWOING CODES:
 2017 OHIO BUILDING CODE, ICC A117.1-2009, 2017 OHIO PLUMBING CODE, 2017 OHIO MECHANICAL CODE, 2017 OHIO ELECTRICAL CODE, COMPLY WITH OGC CHAPTER 35 FOR NEPA REQUIREMENTS AND ALL APPLICABLE STATE OF OHIO AND LOCAL CODES.

GENERAL NOTES:
 THE CONTRACTOR'S WARRANTIES THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO CLAIMS OR CONSIDERATIONS WILL BE GIVEN FOR CONDITIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.
 ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S. CHANGES WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDINGS APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.
 THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.
 USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (±) MUST BE FIELD VERIFIED.
 THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS. IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROOF OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.
 DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENTS BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTOR'S RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATIONS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARDS.

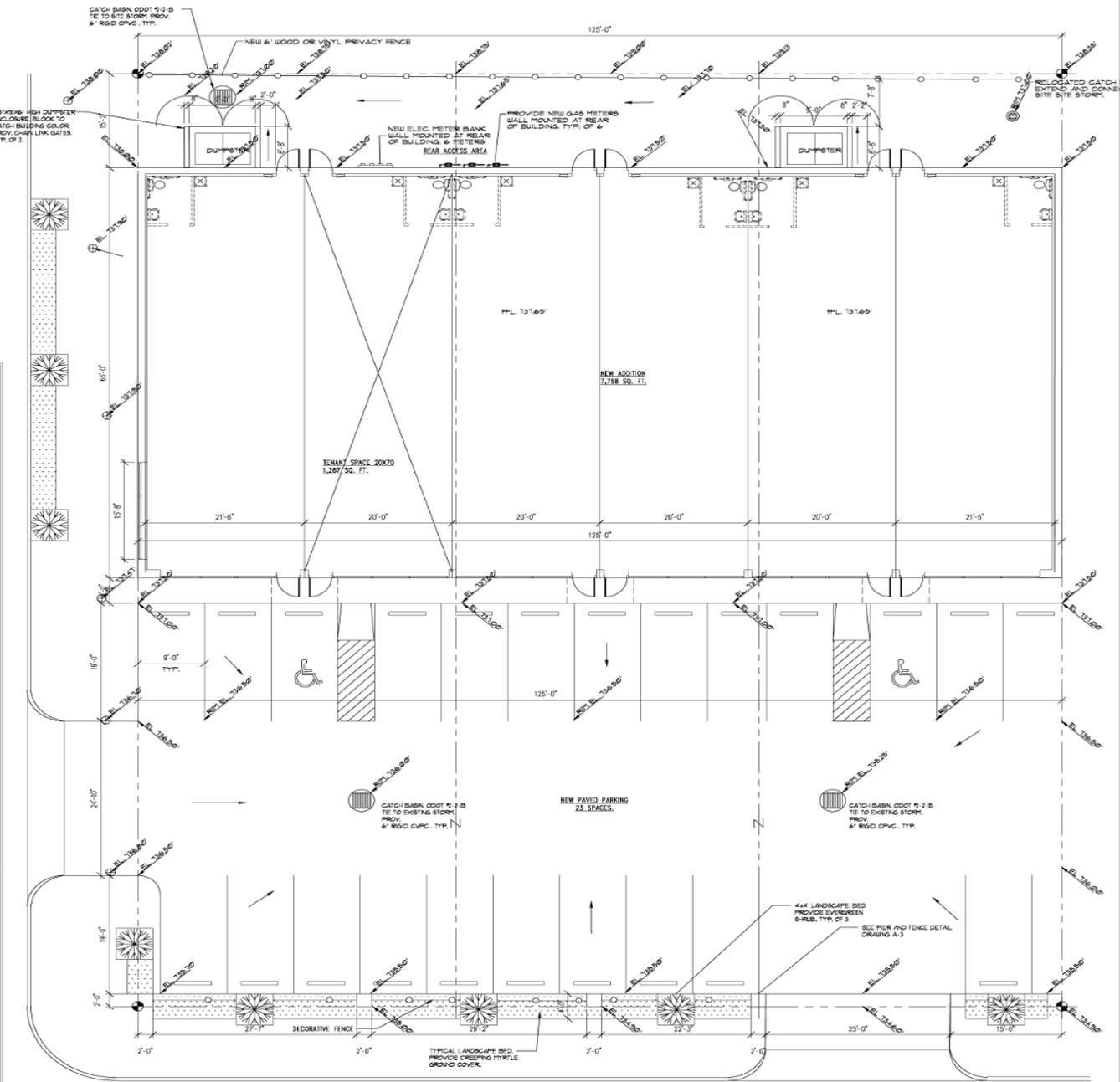


INDEX TO DRAWINGS

T-1	COVER SHEET-SITE PLAN-FOUNDATION PLAN
A-1	FLOOR PLAN, BUILDING SECTION, DOOR SCHEDULE
A-2	REFLECTED CEILING PLAN AND BUILDING SECTION
A-3	ELEVATIONS AND DETAILS
A-4	BUILDING SECTIONS
E-1	ELECTRICAL PLAN & SPECIFICATIONS
E-2	ELECTRICAL PANELS AND SERVICE DIAGRAM
S-1	FOUNDATION PLAN AND DETAILS
S-2	FRAMING PLAN AND DETAILS
S-3	GENERAL SPECIFICATIONS
P-1	PLUMBING PLAN AND ISOMETRICS

CODE INFORMATION

PROJECT DISCIPLINE:	NEW MASONRY AND WOOD TRUSS ROOF BUILDING		
CODE:	OHIO BUILDING CODE, 2011		
CHAPTER 3			
304.1	USE GROUP B, S-2 (NON SPARKLERED)		
CHAPTER 5			
TABLE 503	CONSTRUCTION TYPE II-B ACTUAL = 9,133 S.F.		
TABLE 508.2	INCIDENTAL USE AREAS - STORAGE ROOMS OVER 100 SF 1 HOUR OR AUTOMATIC FIRE-EXTINGUISHING SYSTEM FURNACE ROOMS WHERE EQUIPMENT IS GREATER THAN 400,000 BTU REQUIRES OR 1 HOUR AUTOMATIC FIRE-EXTINGUISHING SYSTEM		
CHAPTER 6			
TABLE 601	FIRE RESISTANCE RATING REQUIREMENTS - TYPE V-B BEARING FRAME = 0 BEARING WALLS EXTERIOR = 0 BEARING WALLS INTERIOR = 0 NONBEARING EXTERIOR WALLS = 0 NONBEARING INTERIOR = 0 FLOOR CONSTRUCTION = 0 ROOF CONSTRUCTION = 0		
TABLE 602	FIRE RESISTANCE RATING FOR EXTERIOR WALL GROUP B, S-2 DISTANCE: 10 FT ≤ X < 30 FT = 0 HOUR		
CHAPTER 7			
TABLE 704.8	MAXIMUM AREA OF UNPROTECTED OPENINGS SHALL BE UNLIMITED WHEN SEPARATION OF 25'-30" IS PROVIDED AND THE EXTERIOR WALL AND STRUCTURAL FRAME ARE NOT REQUIRED TO HAVE A RATING ACCORDING TO TABLE 601 AND 602.		
FIRE DOOR AND FIRE SHUTTER FIRE PROTECTION RATINGS TABLE 715.4	ASSEMBLY TYPE FIRE WALLS AND BARRIERS HAVING A REQUIRED FIRE-RESISTANCE GREATER THAN 1 HOUR REQUIRED ASSEMBLY RATING 2 HOUR DOOR/SHUTTER ASSEMBLY RATING 1 1/2 HOURS		
CHAPTER 8			
TABLE 803.5	NONSPRINKLERED FRESH ENCLOSURES & PASSAGeways USE GROUP B CLASS A FLAME: 0-25 SMOKE: 0-450 CORRIDORS CLASS B FLAME: 26-75 SMOKE: 0-450 ROOMS & ENCLOSED SPACES CLASS C FLAME: 76-200 SMOKE: 0-450		
CHAPTER 9			
906.1	PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY IFC		
CHAPTER 10			
TABLE 1004.1.1	OCCUPANT LOAD: B-BUSINESS = 100 SQ.FT./PERSON GROSS S-2 = 200 SQ.FT./PERSON GROSS		
1008.1.1	DOOR ACCESSIBLE CLEAR WIDTH = 32" MINIMUM		
1014.3	COMMON PATH OF EGRESS TRAVEL, UNSPRINKLERED = 75 FT		
TABLE 1016.1	EXIT ACCESS TRAVEL DISTANCE - W/O SPRINKLER SYSTEM OCCUPANCY GROUP B 200 FT		
CHAPTER 13			
1301.1.1	ASHRAE 90.1		
CHAPTER 27			
2701	OHIO ELECTRICAL CODE		
CHAPTER 28			
2801	OHIO MECHANICAL CODE		
CHAPTER 29			
2901	OHIO PLUMBING CODE		
TABLE 2902.1			
	USE B	REQUIRED	PROVIDED
WATER CLOSETS	1 PER 50	-	-
LAVATORIS	1 PER 80	-	-
DRINKING FOUNTAIN	1 PER 100	-	-
SERVICE SINK	1 REQUIRED	-	-



SITE PLAN
 SCALE: 1/8" = 1'-0"

FISCHER & ASSOCIATES
 ARCHITECTS INC.
 554 West Ninth Street
 Lorain, Ohio 44052
 Tel: (440) 315-2300

Fischer & Associates
 © 2015
 ISSUE: _____ DATE: _____
 FOR REVIEW: 5/09/22
 REVISIONS PER D.R.B. COMMENTS: 5/09/23

NEW BUILDING ADDITION FOR:
 4714 MEMPHIS AVENUE
 CLEVELAND, OHIO 44144

Drawing Name
 DRAWING TITLE?

Fischer Project Number
 FA16.00
 SHEET #

T-1
 Seal





Location:

4714 Memphis Ave

Building



Directions



Save



Nearby



Send to phone



Share

4714 Memphis Ave, Cleveland, OH 44144

Suggest an edit on 4714 Memphis Ave

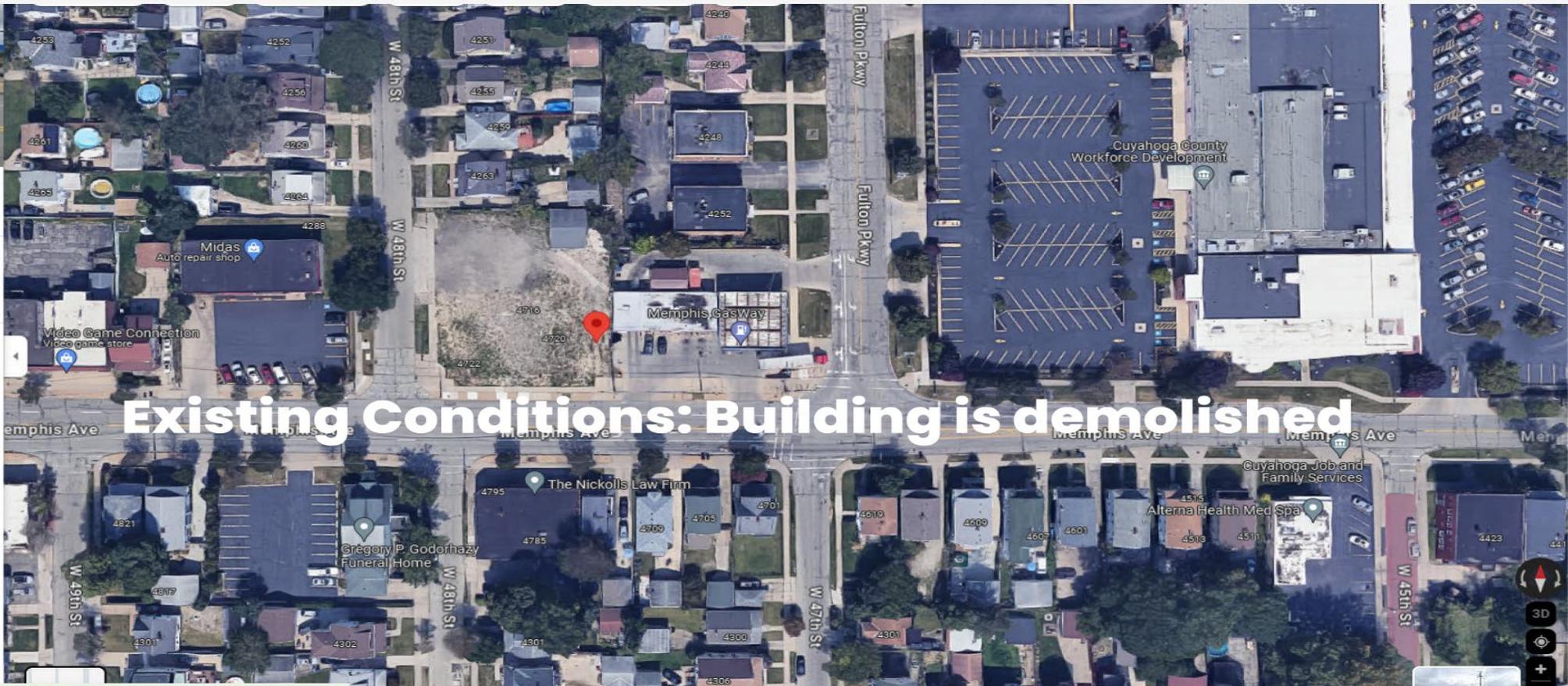
Add a missing place

Add your business

Add a label

Your Maps activity

Photos



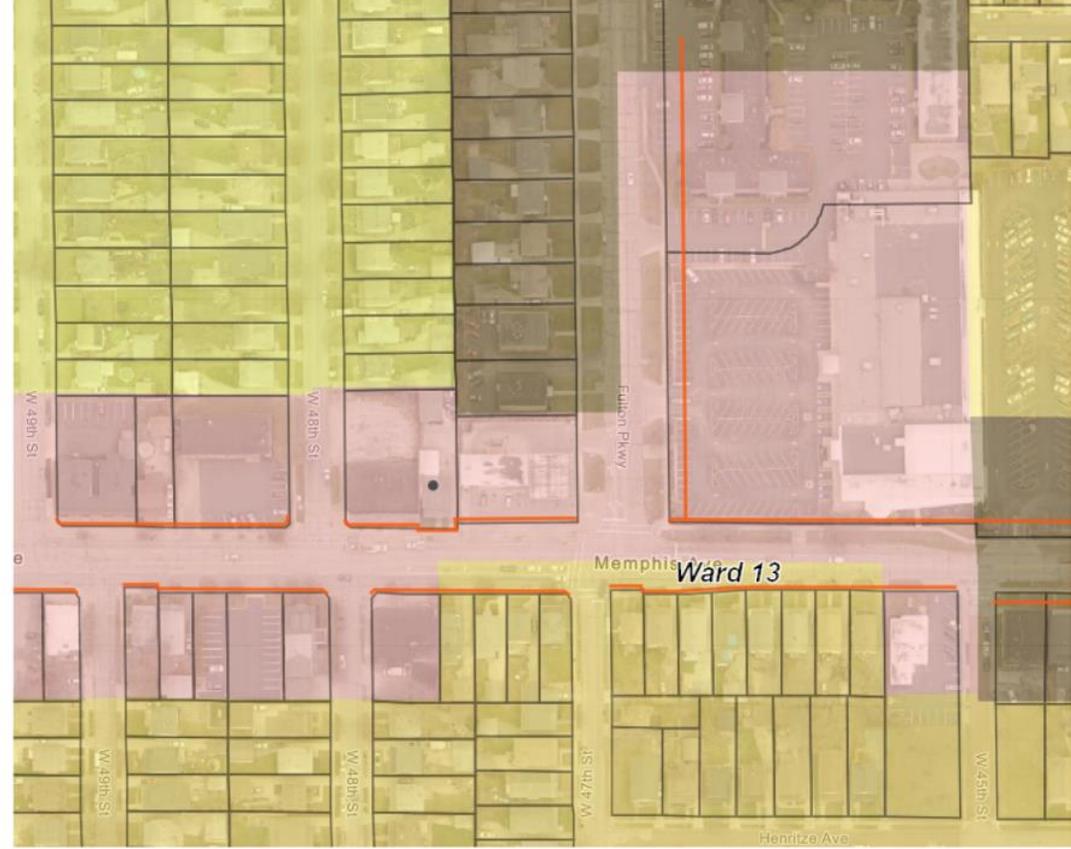
Front



Side



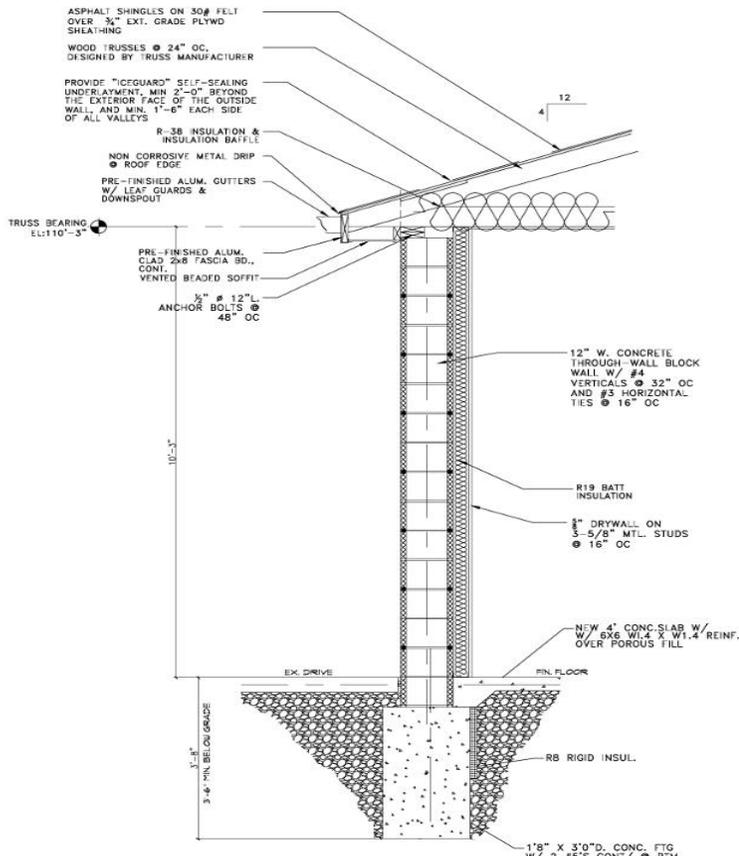
Existing parking lot



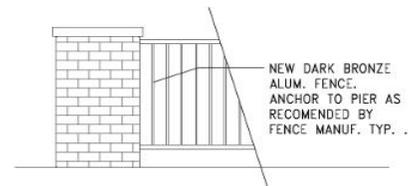
Context Plan:
Existent adjacent



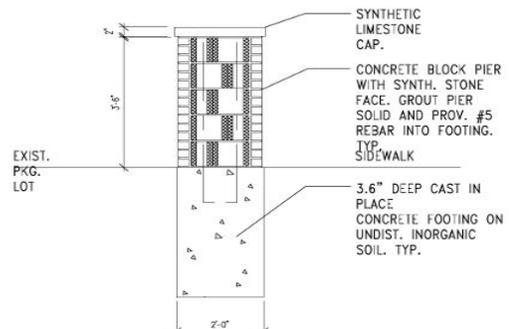
Fischer & Associates #502815	DATE:
FOR REVIEW	5/09/22
REVISIONS PER D.R.B. COMMENTS	5/09/23
REVISIONS PER D.R.B. COMMENTS	09/21/23



01 WALL SECTION
 SCALE: 3/4" = 1'-0"



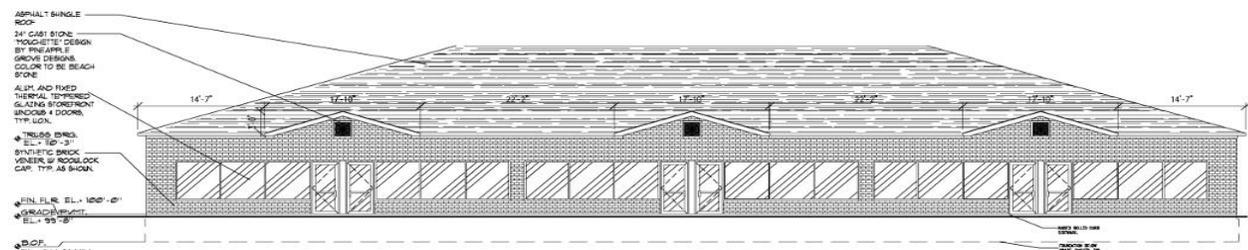
01 PIER ELEVATION
 SCALE: 3/4" = 1'-0"



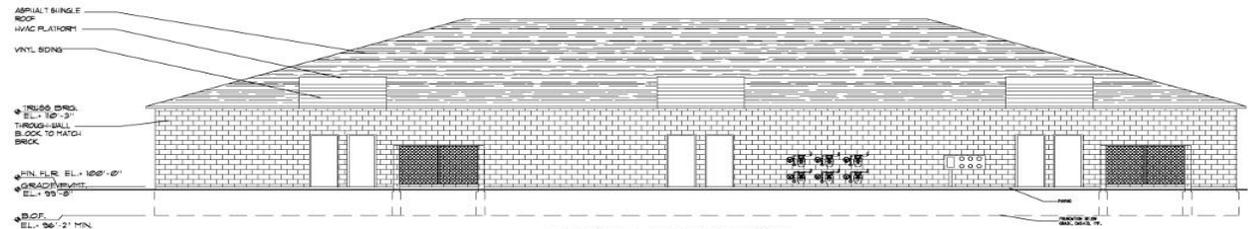
01 PIER SECTION
 SCALE: 3/4" = 1'-0"

EXTERIOR PAINTING

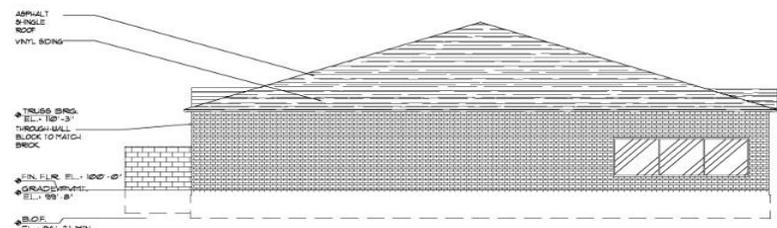
NOTE:
 This Section has been prepared by Sherwin-Williams and includes painting and finishing of exposed interior walls, ceilings and selected exterior walls and surfaces and exterior touch up prime and finish coats specified in this Section are in addition to shop priming and surface treatments provided by other trades prior to painting. All surface preparation must be done in accordance with the manufacturer's product data literature and label instructions. All surfaces should be clean, dry and free of any dirt or additional foreign contaminants.



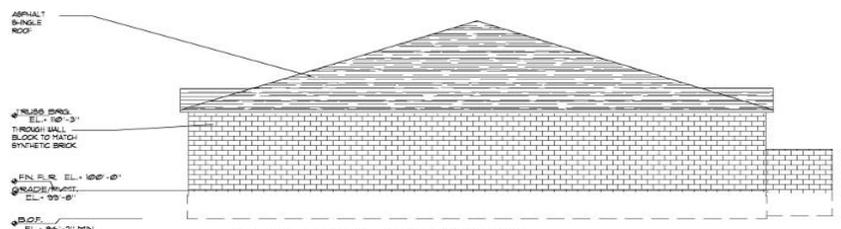
SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



WEST SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



EAST SIDE ELEVATION
 1/8" = 1'-0" (3/4)2

NEW BUILDING ADDITION FOR:

**4714 MEMPHIS AVENUE
 CLEVELAND, OHIO 44144**

Drawing Name
 DRAWING TITLE?

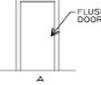
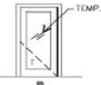
Fischer Project Number
 FA16.00
 SHEET #

A-3

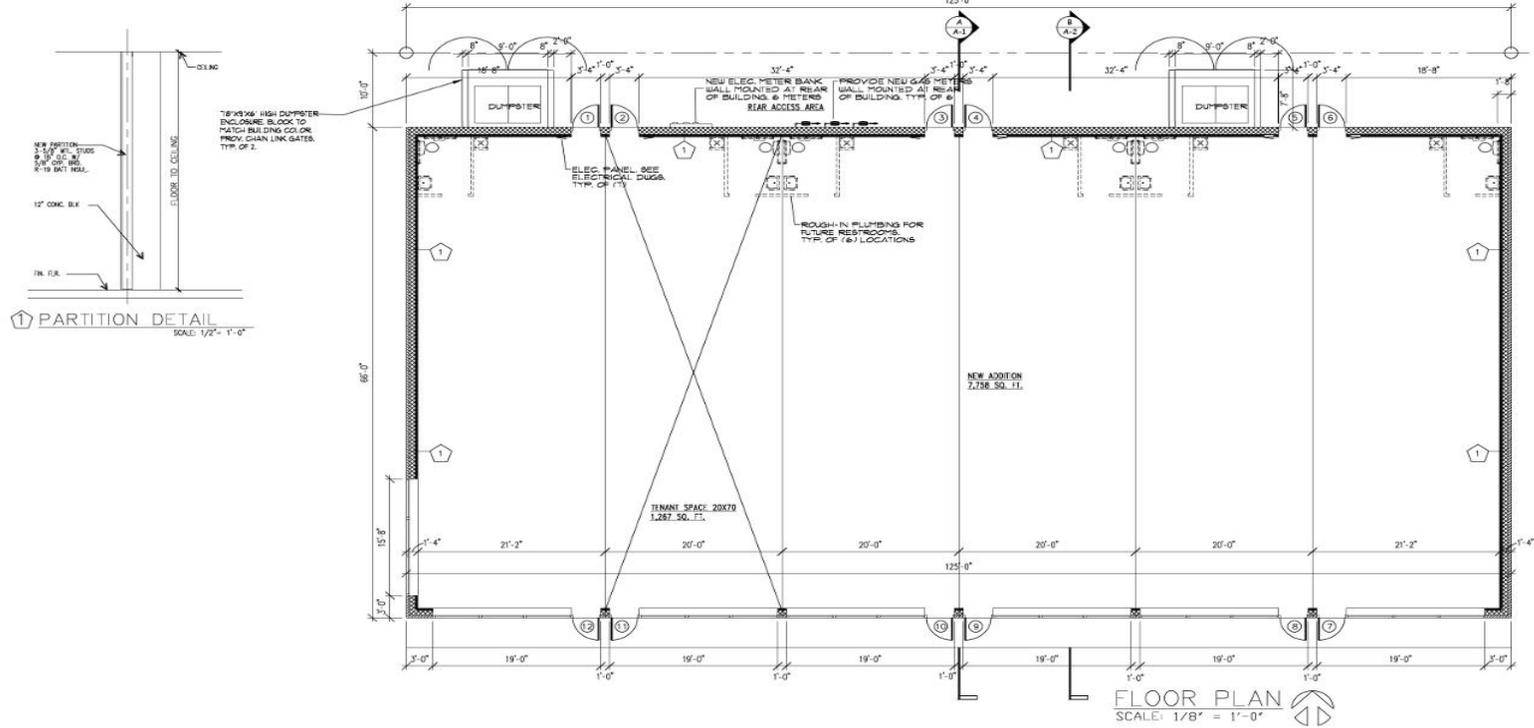
Seal



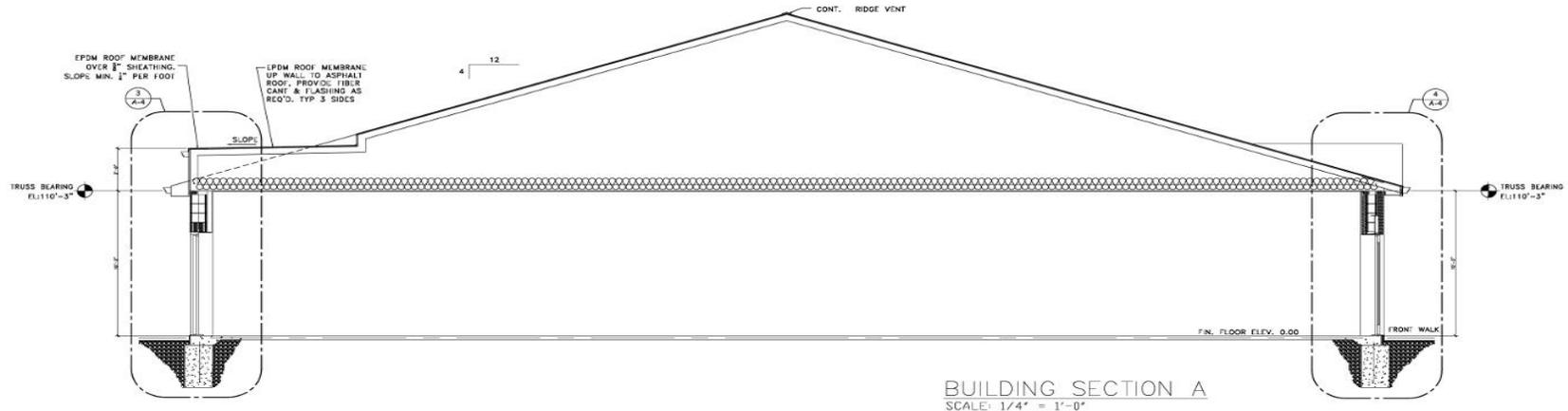
GARY FISCHER LICENSE #8826
 EXPIRATION DATE: 12/31/2023

DOOR & FRAME SCHEDULE										
DOOR		H/W FRAME			H/W	FRAME	MAT	GLASS	TYPE	NOTES
SIZE	THKNS	MAT	TYPE	GLASS						
M4	WIDTH	HEIGHT	THKNS	MAT	TYPE	GLASS	H/W	FRAME	MAT	NOTES
01	3'-0"	7'-0"	1 3/4"	HM	A		1	HM	INSUL. H.M.	
02	3'-0"	7'-0"	1 3/4"	HM	A		1	HM	INSUL. H.M.	
03	3'-0"	7'-0"	1 3/4"	HM	A		1	HM	INSUL. H.M.	
04	3'-0"	7'-0"	1 3/4"	HM	A		1	HM	INSUL. H.M.	
05	3'-0"	7'-0"	1 3/4"	HM	A		1	HM	INSUL. H.M.	
06	3'-0"	7'-0"	1 3/4"	HM	A		1	HM	INSUL. H.M.	
07	3'-0"	7'-0"	1 3/4"	ALUM.	B	TEMP.	1	ALUM.	KAWNEER ENTRY SYSTEM	
08	3'-0"	7'-0"	1 3/4"	ALUM.	B	TEMP.	1	ALUM.	KAWNEER ENTRY SYSTEM	
09	3'-0"	7'-0"	1 3/4"	ALUM.	B	TEMP.	1	ALUM.	KAWNEER ENTRY SYSTEM	
10	3'-0"	7'-0"	1 3/4"	ALUM.	B	TEMP.	1	ALUM.	KAWNEER ENTRY SYSTEM	
11	3'-0"	7'-0"	1 3/4"	ALUM.	B	TEMP.	1	ALUM.	KAWNEER ENTRY SYSTEM	
12	3'-0"	7'-0"	1 3/4"	ALUM.	B	TEMP.	1	ALUM.	KAWNEER ENTRY SYSTEM	
HARDWARE		DOOR TYPES								
SET-1		1-1/2 PR. BUTTS EACH DOOR ENTRY LOCKSET DOOR CLOSER WEATHER STRIP ALUM. THRESHOLD								
		 A FLUSH DOOR								
		 B TEMP. GLASS								

ALL HARDWARE TO BE SATIN CHROME FINISH WITH LEVER HARDWARE



1 PARTITION DETAIL SCALE: 1/2" = 1'-0"



BUILDING SECTION A SCALE: 1/4" = 1'-0"



NEW BUILDING ADDITION FOR:

4714 MEMPHIS AVENUE
CLEVELAND, OHIO 44144

Drawing Name

DRAWING TITLE?

Fischer Project Number

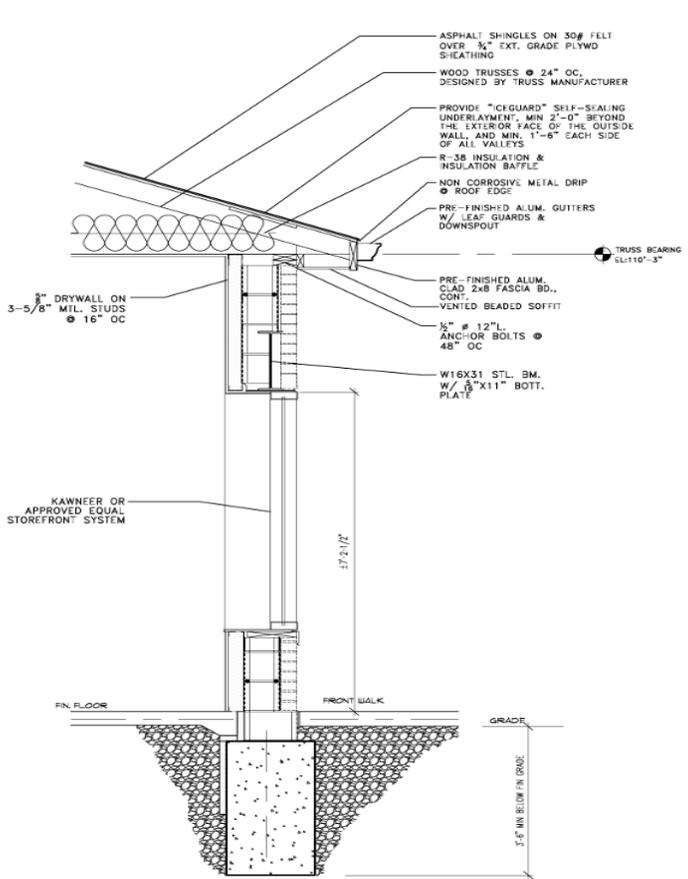
FA16.00

SHEET #

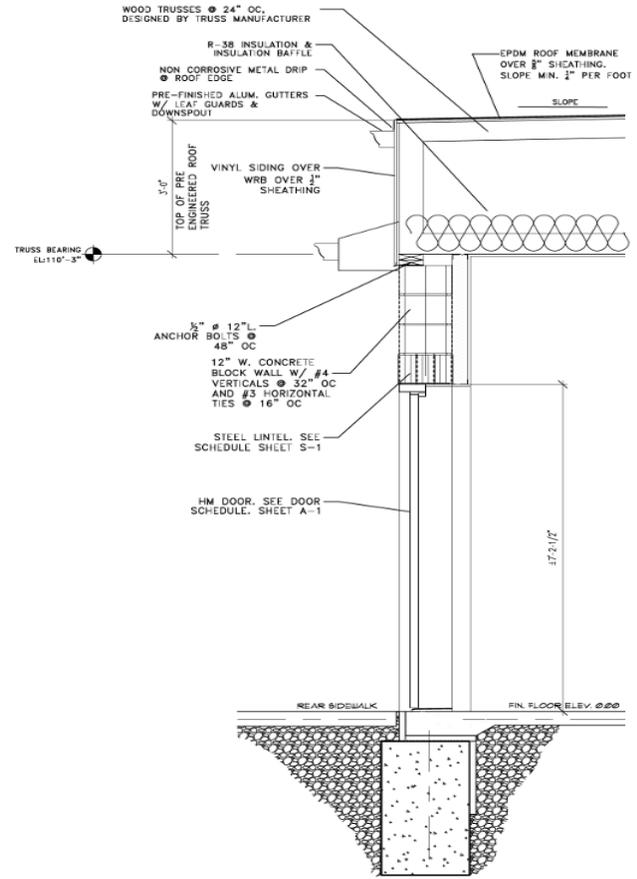
A-1

Seal

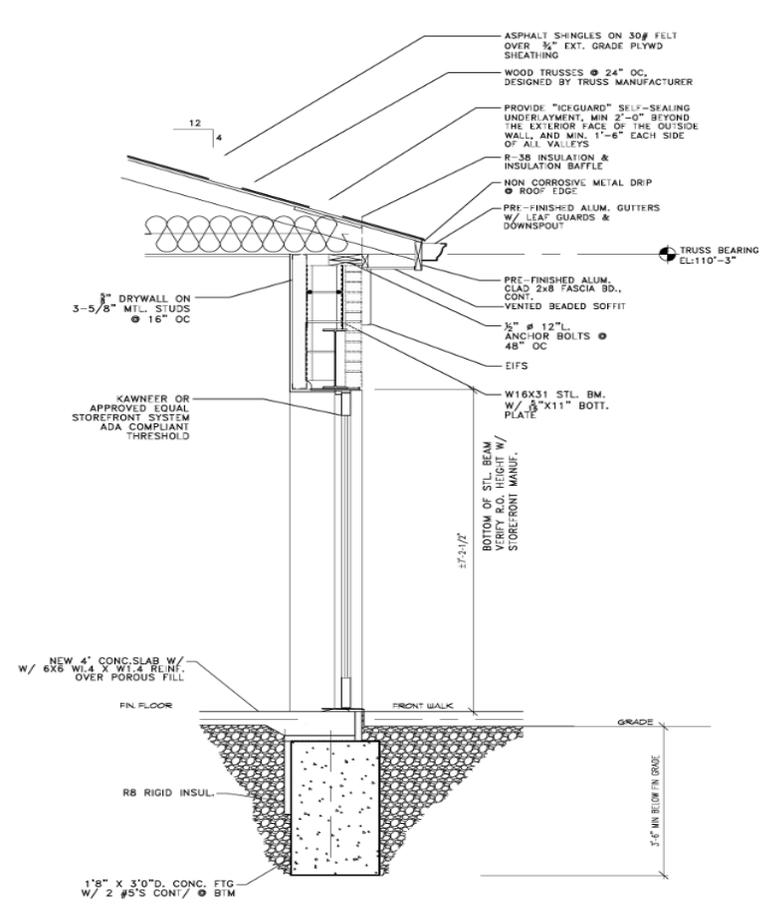




02 WALL SECTION
SCALE: 3/4" = 1'-0"



03 WALL SECTION
SCALE: 3/4" = 1'-0"



04 WALL SECTION
SCALE: 3/4" = 1'-0"

NEW BUILDING ADDITION FOR:
4714 MEMPHIS AVENUE
CLEVELAND, OHIO 44144

Drawing Name

DRAWING TITLE:

Fischer Project Number

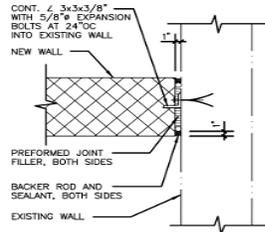
FA16.00

SHEET #

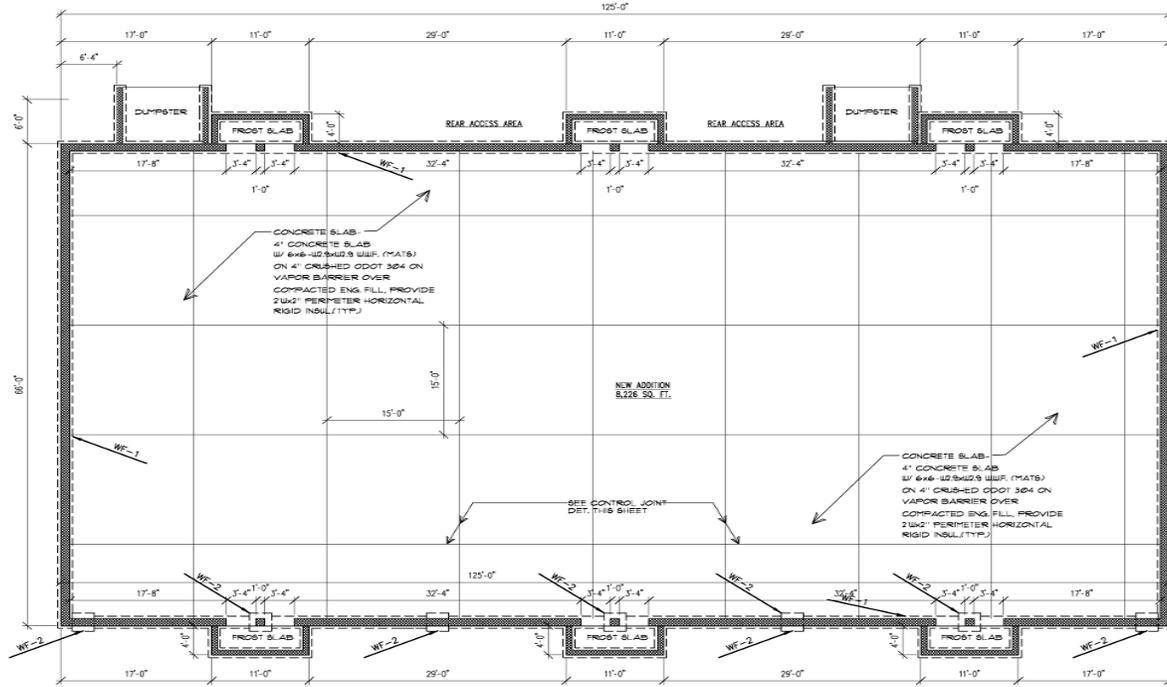
A-4

Seal





TYPICAL EXPANSION JOINT DETAIL
SCALE: 1"=1'-0" **S-1**



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

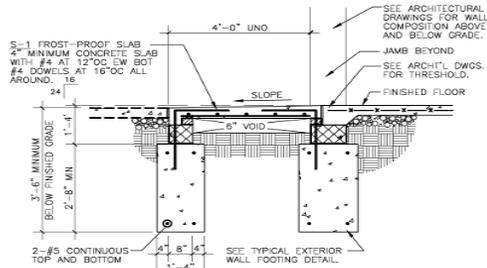
STEEL LINTEL SCHEDULE

1. PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN ALL MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
 FOR OPENINGS UP TO 4'-0" : 1x3 1/2x1/4
 FOR OPENINGS FROM 4'-1" TO 6'-0" : 1x3 1/2x 5/16
 FOR OPENINGS FROM 6'-1" TO 7'-0" : 1x3 1/2x5/16
 FOR OPENINGS FROM 7'-1" TO 10'-0" : 1x3 1/2x 3/4
 FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS ALLOW FOR A MINIMUM BEAM WEIGHT OF 36 PL PLUS A 5/16" x 11" BOT PLATE
2. ALL LINTELS SHALL HAVE 1" OF BEARING FOR EACH FOOT OF SPAN WITH A MINIMUM OF 6" BEARING AT EACH END.
3. ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY, U.N.O..
4. USE ONE ANGLE FOR EACH 4" WIDTH OF MASONRY. PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.
5. MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16".

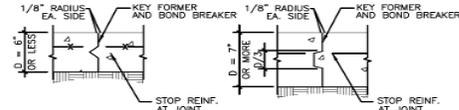
FOOTING SCHEDULE

WF-1 - 1'-8" x 3'-0" DEEP CONTINUOUS WALL FOOTING REINFORCED CONTINUOUSLY WITH 2-#5 BARS - BOTTOM

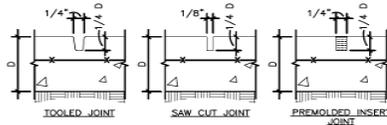
WF-2 - 2'-6" x 2'-6" x 3'-0" DEEP SQUARE FOOTING REINFORCED CONTINUOUSLY WITH 2-#5 BARS - BOTTOM LOCATED DIRECTLY UNDER GROUTED SOLID MASONRY PIERS



TYPICAL FROST-PROOF SLAB DETAIL
SCALE: 1/2" = 1'-0"



SLABS ON GRADE - TYPICAL CONSTRUCTION JOINT DETAILS
SCALE: NONE



SLABS ON GRADE TYPICAL CONTROL JOINT DETAILS
SCALE: NONE



NEW BUILDING ADDITION FOR:

4714 MEMPHIS AVENUE
CLEVELAND, OHIO 44144

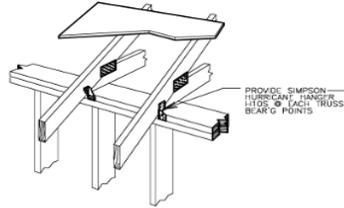
Drawing Name
DRAWING TITLE?

Fischer Project Number
FA16.00
SHEET #

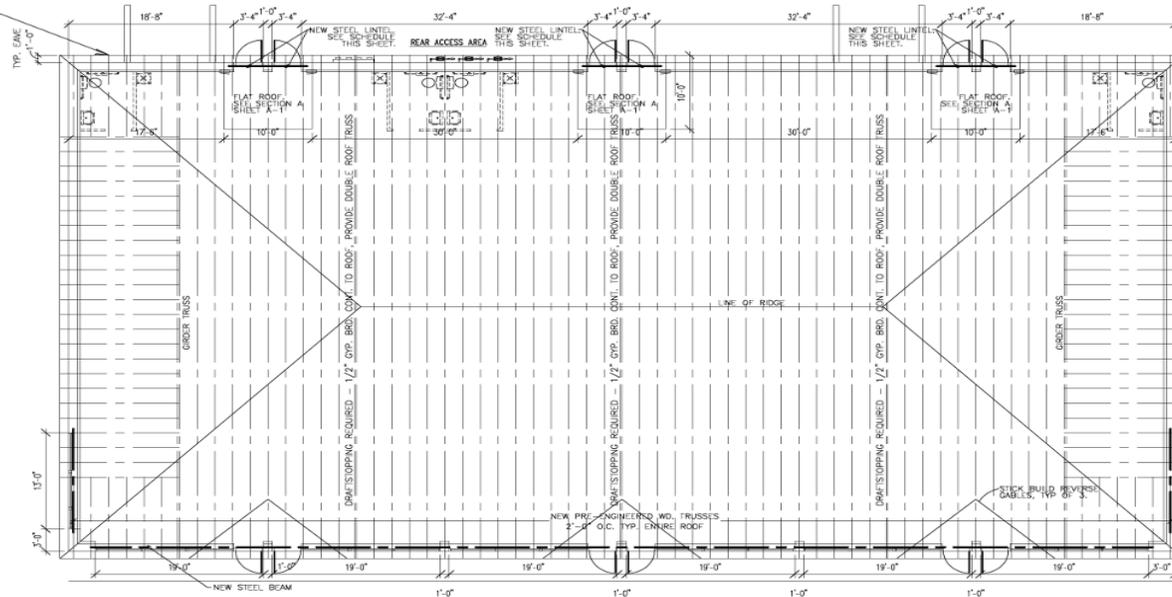
S-1

Seal





TRUSS ANCHOR DETAIL
SCALE: N.T.S.



NOTE:
DRAFTSTOPPING REQUIRED FOR ATTIC SPACE PER OBC SECTION 712.4.3.
DRAFTSTOPPING SHALL BE PROVIDED SO EACH AREA OF ATTIC DOES NOT EXCEED 3,000 SQ.FT.

NEW STEEL BEAM
#10K31 STL BEAM W/
7/16X11 STL BRN PLATE
TOP AT EACH LEFT STOREFRONT
(8) TOTAL BEAMS

FRAMING PLAN
SCALE: 1/8" = 1'-0"

STEEL LINTEL SCHEDULE

- PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN ALL MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
FOR OPENINGS UP TO 4'-0" : L3 1/2x3 1/2x1/4
FOR OPENINGS FROM 4'-1" TO 6'-0" : L3x1 1/2x 5/16
FOR OPENINGS FROM 6'-1" TO 7'-0" : L6x3 1/2x5/16
FOR OPENINGS FROM 7'-1" TO 12'-0" : #8x18 W/ 5/16" FRM
FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS ALLOW FOR A MINIMUM BEAM WEIGHT OF 36 PLS PLUS A 5/16" x 11" BOT PLATT
- ALL LINTELS SHALL HAVE 1" OF BEARING FOR EACH FOOT OF SPAN WITH A MINIMUM OF BEARING AT EACH END.
- ALL LINTELS SHALL BEAR ON 6" OF SOLID MASONRY, U.N.O..
- USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY.
PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.
- MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16".

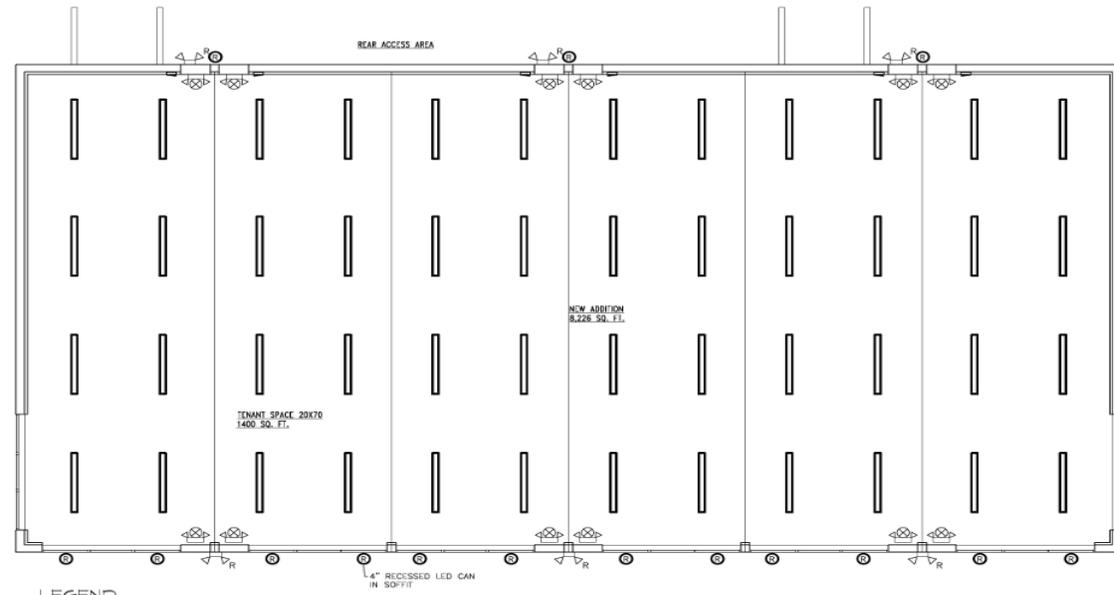
Fischer & Associates #82815	DATE: 5/09/23
FOR REVIEW	5/09/23
REVISIONS PER D.R.B. COMMENTS	5/09/23

NEW BUILDING ADDITION FOR:
4714 MEMPHIS AVENUE
CLEVELAND, OHIO 44144

Drawing Name	
DRAWING TITLE	
Fischer Project Number	FA16.00
SHEET #	

S-2

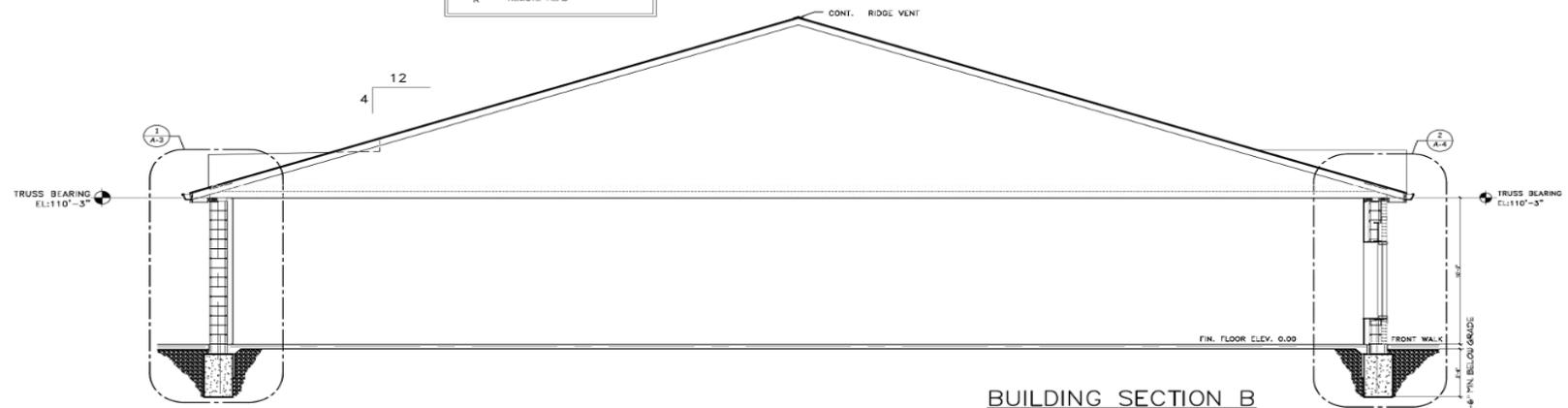




LEGEND

-  8FT SUSPENDED FL. LIGHT
-  4" RECESSED LED CAN
-  EXIT LIGHT
-  EMERGENCY LIGHT
-  EMERGENCY LIGHT REMOTE HEAD

REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



BUILDING SECTION B
SCALE: 1/4" = 1'-0"

NEW BUILDING ADDITION FOR:
4714 MEMPHIS AVENUE
CLEVELAND, OHIO 44144

Drawing Name
DRAWING TITLE?

Fischer Project Number
FA16.00
SHEET #

A-2

Seal



ELECTRICAL SPECIFICATION

GENERAL - PART 1

- Work consists of providing equipment, service, labor and materials necessary for complete electrical systems ready for use as indicated on drawings and in this specification. This work involves on addition to and renovation of an existing facility. Work by this contractor shall be in compliance with the latest edition of the National Electrical Code (NFPA-70) as well as applicable regulations of city, county and state agencies.
- All permits required by law to be obtained for work shall be secured and paid for by this contractor and the fee for same shall be included in his bid.
- The Electrical Contractor shall be responsible for visiting the job site and becoming familiar with the existing conditions before submitting a bid.
- Work shall be guaranteed to be free from defects for a period of one (1) year from date of acceptance by Owner, and this Contractor shall agree to make good any defects which may appear within that time.
- The specifications are to be used as a guide for quality of workmanship, quantities, etc. and are intended to cover all parts of the system, but the omission of express mention in the specifications or on the drawing of items which are obviously necessary for the proper functioning of the system shall not relieve this Contractor from responsibility for providing same and necessary labor for installation.
- Electrical Contractor to do all cutting, patching, trenching, and backfilling as required for installation of his work. In no case shall reinforcing or structural support members be cut without specific permission obtained from the Architect.
- Where areas are renovated, dismantle existing electrical facilities to accommodate the new construction. Relocate existing electrical equipment in way of construction, which will not be abandoned. Where items are to be abandoned, remove exposed conduit, surface raceways, boxes, devices, wiring and knock-off flush outlets unless otherwise directed.
- All electrical equipment and materials shall be U.S. labeled and listed per NEC (310.10)(A)(3).
- The bid shall contemplate the furnishing and installing of material and equipment exactly as specified or shown or equal as approved by the Owner. Bids submitted shall list any items of material or equipment other than that similar to the one called for. These substitutions shall be submitted for approval before awarding the contract. Otherwise, the Contractor shall comply with specifications requirements.
- The Electrical Contractor shall provide necessary temporary electric service facilities for power and lighting as required.
- Exact wiring requirements of all heating, and air conditioning equipment to be verified and coordinated with the Mechanical Contractor on the job before installation.
- This Contractor shall keep an up-to-date record of all deviations from the contract drawings. He shall notify and correctly enter in color any deviations on drawings affected. At completion of this job, Contractor shall deliver a set of prints showing these deviations to the Architect.
- The electrical drawings indicate size of conduits, conductors, outlets, etc. and approximate locations of various parts of the work. No changes shall be made in sizes or arrangements without approval of the Engineer.
- Allowances for additional work may not be included in any request for payment unless all of the following provisions are satisfied:
 - Once a problem or defect in the existing electrical system is discovered, the contractor shall immediately notify the engineer and owner.
 - The engineer and owner will inspect the area involved and determine a course of action.
 - The engineer and owner will request an itemized breakdown of material and labor.
 - Once the breakdown has been approved, and only then, the contractor shall proceed with the work and the amount shall become part of the contract.
- Materials shall be new and in perfect condition when installed and shall be protected from all injury until final acceptance of the system.
- In respect to all materials required, this Contractor shall furnish materials that conform to A.I.E.E., A.S.M.E., N.E.M.A. and A.S.T.M. specifications.
- This Contractor shall submit shop drawings and product data in sextuplicate to the Architect before such items are ordered fabricated for the job on the following items of equipment:
 - Lighting fixtures
 - Panelboards
 - Fire alarm system
- Testing of all work under this contract shall be done by the Contractor in presence of the Owner or his representative. All apparatus, equipment, fixtures, devices, etc. shall fully meet the requirements of these specifications and drawings.
- This Contractor shall remove all tools, surplus materials and debris of all kinds from his work and leave all in a clean, perfect condition, fully satisfactory to the Owner.
- Certificates of inspection shall be delivered free of charge to the Owner by this Contractor showing that all work and materials under this contract fully meet the requirements and approval of inspection department of the proper authority. No extra compensation will be allowed for any changes necessary for code compliance regardless of the method of installation shown on drawings for specified herein.

BASIC MATERIALS AND METHODS - PART II

- CONDUIT, FITTINGS AND OUTLET BOXES
 - Wiring shall be installed in conduit of standard electrical trade sizes, unless otherwise listed as follows:
 - Conduit in interior masonry walls, stud partitions, over ceilings, exposed shall be electrical metallic tubing.
 - Motor connection shall be made with liquid tight flexible metal conduit.
 - In finished areas, conduits shall be concealed in building construction in mechanical equipment rooms conduit shall be run exposed.
 - Contractor shall obtain permission from Architect for all exposed conduit runs and all wall and floor penetrations.
 - Pull boxes and junction boxes shall be used where required, but located as to be accessible as to not conflict with piping, ductwork, kept to size consistent with convenience, introduction of wiring cables. Boxes shall not be fastened to ductwork or piping.
 - Outlet boxes shall be securely fastened in position. Location of outlets shall be checked with Architect and equipment drawing for exact location before installation. Contacts shall be set by the Architect. Outlets indicate proposed location of equipment only, actual location of outlet is dependent upon data to be furnished by Architect and/or equipment installation. Conduits shall be pitched, where possible, to eliminate accumulation of moisture.
 - Flush outlets for receptacles, switches, telephone, computer system, and lighting shall be standard, pressed steel boxes of type suitable for device and shall meet Architect's approval to fit into construction.
 - Outlet boxes shall not be mounted back to back.

2. 600 VOLT WIRE AND CABLE

- Wire and cable shall be 600 volt Type THW/THWN, 75c C unless otherwise specified, stranded copper conductor, marked with type, gauge and manufacturer at regular intervals. Insulation shall conform to the NEMA Building Wire Specifications For intermediate insulation.
- Wire sizes indicated on plans or riser diagrams are minimum acceptable sizes. No wire smaller than #12 shall be used and shall be presumed to be #12 unless otherwise indicated. Wire for control circuits may be #14.
- Insulated grounding wire (green) shall be installed in all conduit runs (feeder, branch circuits, section legs, etc.) for power and lighting. Size of the "grounding wire" shall be based on data in Table 250-122 of National Electrical Code.

3. GROUNDING

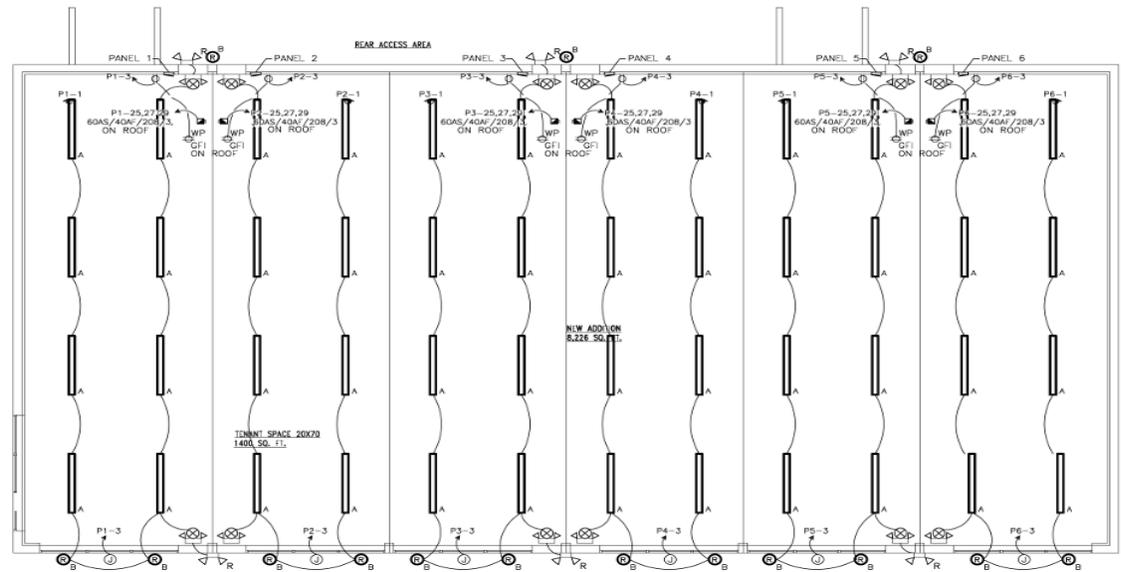
- Conduit systems, panels, etc. shall be rigidly connect to grounding system, in accordance with requirements of the National Electrical Code.

4. LIGHTING FIXTURES

- Contractor shall furnish and install fixtures listed under Lighting Fixture Schedule on drawings or as herein specified complete with required mounting hardware and fittings.
- Contractor shall bring to attention of Architect, field changes that may affect original operating conditions of lighting fixtures prior to purchasing.
- Contractor shall check and confirm ceiling construction for mounting details. Make lighting fixtures compatible with ceiling construction and coordinate fixture locations with Architect before releasing fixtures for shipping. Provide additional supports as required to properly support lighting fixtures.
- Manufacturer's catalog numbers as herein listed indicate details, quality and performance. Fixtures by other manufacturers having details, quality and performance may be submitted for Architect's approval.
- Lamps
 - Fluorescent lamps shall be F32T8 rapid start, SP41, 4100K unless otherwise specified.
 - Lamps shall be General Electric, Philips or Sylvania.
 - Contractor shall furnish and install lamps in fixtures. Lamps shall be burning when completed project is turned over to Owner.
- Fluorescent Ballasts
 - All ballast shall be electronic type, high power factor, with THD equal or less than 10%.

5. SWITCHES, RECEPTACLES, DISCONNECTS

- Switches
 - Contractor shall check door swing for location of switches before roughing.
 - Mounting height shall be as indicated in Symbol Legend except where shown on the drawings.
 - Contractor shall verify location and mounting heights with Architect before installation.
 - Adjacent devices shall be mounted in ganged boxes.
 - Switches shall be of specification grade of the voltage rating, ampere rating, number of poles, color, as manufactured by Leviton, Pass & Seymour, Brant, Hubbell or Architect's approved equal as herein specified and/or in conformance with Symbol Legend.
- Receptacles
 - Receptacles shall be furnish and install in conformance with Symbol Legend on the drawings or as herein specified.
 - Mounting heights shall be as indicated in Symbol Legend except where shown on the drawings.
 - Contractor shall verify location and mounting heights with Architect before installation.
 - Adjacent devices shall be mounted in ganged boxes.
 - Receptacles in all areas shall provide means for grounding portable cord connected equipment.
 - Receptacles shall be of specification grade of the voltage rating, ampere rating, number of poles, color, as manufactured by Leviton, Pass & Seymour, Brant, Hubbell or Architect's approved equal as herein specified and/or in conformance with Symbol Legend.
 - Cover plates for receptacles and switches shall be paintable metal.



ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION	MOUNTING HEIGHT	MANUFACTURER & CATALOG NO.
S	SINGLE-POLE TOGGLE SWITCH, 120/277VAC, 20A	48" A.F.F.	
⊕	THREEWAY-TOGGLE SWITCH, 120/277VAC, 20A	48" A.F.F.	
⊕	JUNCTION BOX		
⊕	DUPLEX RECEPTACLE OUTLET 125V, 20A, 2-POLE, 3-WIRE, NEMA-5-20R	18" AFF U.O.N.	
⊕	GFI	18" AFF U.O.N.	
⊕	SAME AS ABOVE EXCEPT GROUND FAULT INTERRUPTER TYPE	18" AFF U.O.N.	
⊕	RECEPTACLE, 220V, 30A, 2-POLE, GROUND, NEMA-6-30R	18" AFF U.O.N.	
⊕	DISCONNECT FUSIBLE SWITCH, SIZE AS NOTED		
⊕	LIGHT PANEL (LP)		
AC	WIRING DEVICE MOUNTED ABOVE COUNTER		
TC	TIME CLOCK, 20A/2P WITH 120V MOTOR/CLOCK	TORR 7200 OR EQUAL	
WP	WEATHERPROOF		
AFF	ABOVE FINISHED FLOOR		
EC	ELECTRICAL CONTRACTOR		
GC	GENERAL CONTRACTOR		
EX	EXISTING ELECTRICAL OUTLET/DEVICE TO REMAIN		

SPECIAL NOTES
1. ALL CIRCUITS WITH SHARED NEUTRALS SHALL ORIGINATE FROM A MULTI-POLE BREAKER THAT WILL DISCONNECT ALL UNGROUNDED CONDUCTORS PER NEC 210.4B AND 210.4D. IT WILL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO MODIFY THE PANEL SCHEDULES TO MATCH HIS WIRING METHODS.

EMERGENCY LIGHTING FIXTURE SCHEDULE

TYPE	WATTAGE	DESCRIPTION	CATALOG NUMBER
⊕		TWIN HEAD EMER. FIXTURE w/ INTEGRAL LEAD CALCIUM BATTERY PACK, TEST SWITCH & PILOT LIGHT.	LITHONIA 6ELM-2P
⊕		SINGLE FACE LED EXIT LIGHT w/ INTEGRAL NICKEL CADMIUM BATTERY PACK AND 6" RED LETTERS.	LITHONIA LC-3W-2-ELN
⊕		COMPACT THERMOPLASTIC EMERGENCY, TWIN-HEADED UNIT, WHITE ENCLOSURE, WITH REMOTE CAPACITY.	SURE-LITES CCS

EMERGENCY AND EXIT LIGHTS MUST BE CONNECTED TO THE LOCAL LIGHTING CIRCUIT, BUT AHEAD OF LOCAL SWITCHING.

LIGHTING FIXTURE SCHEDULE

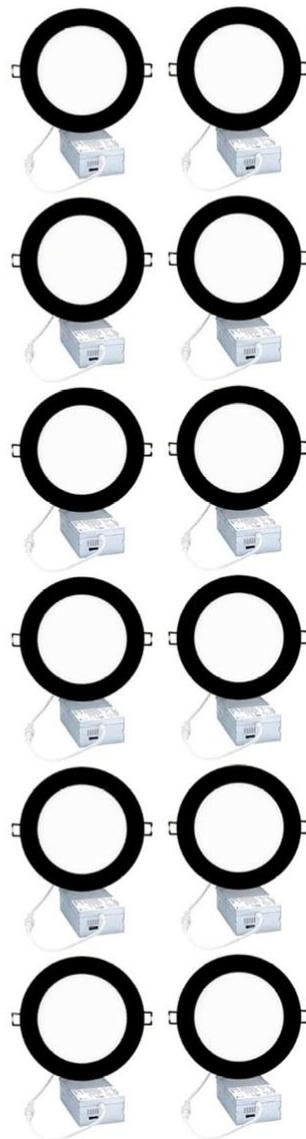
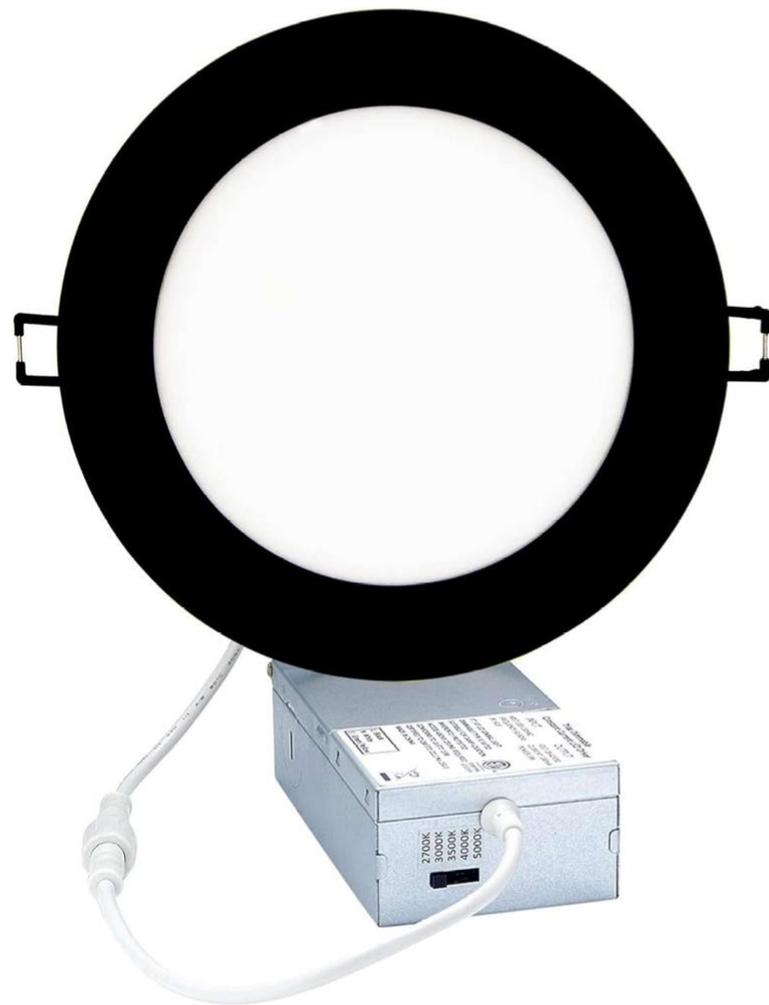
TYPE	LAMP	WATTS	DESCRIPTION	CATALOG NO.
A	2-32 4100K	64	8" FLUORESCENT STRIP FIXTURE WITH UNIVERSAL BALLAST	DAYWRITE# 1232M8-UNV-EB
B	1-50W/830/FL	50W	6" RECESSED NONDESCENT DOWNLIGHT, MAT-DIFFUSE FINISH	LIPONA APR-PH3030RD

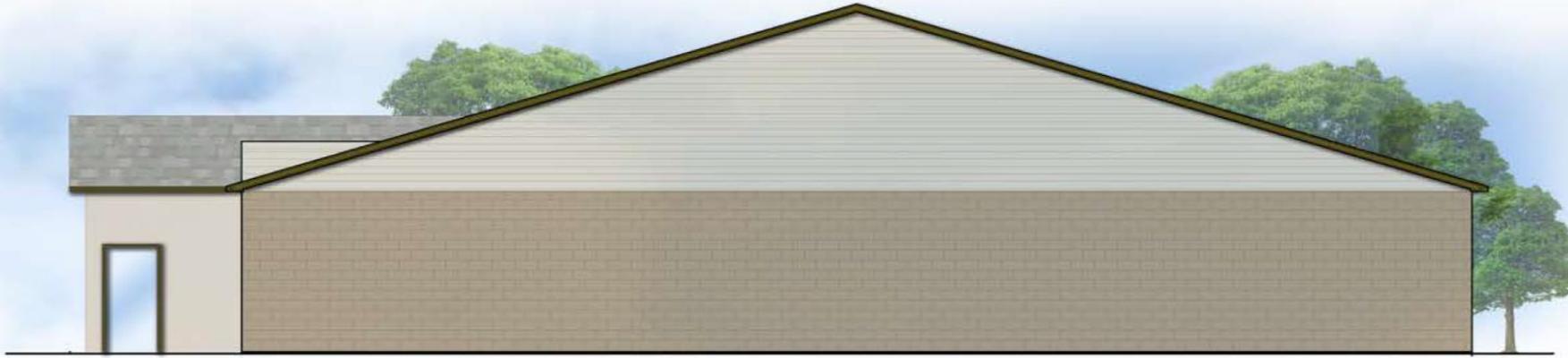


NEW BUILDING ADDITION FOR:
4714 MEMPHIS AVENUE
CLEVELAND, OHIO 44144



Recessed Light Ultra-Thin Canless 6-Inch Black Trim LED Ceiling Lighting
Selectable Color Temperature 6 Inch LED





LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Previous Rendering:

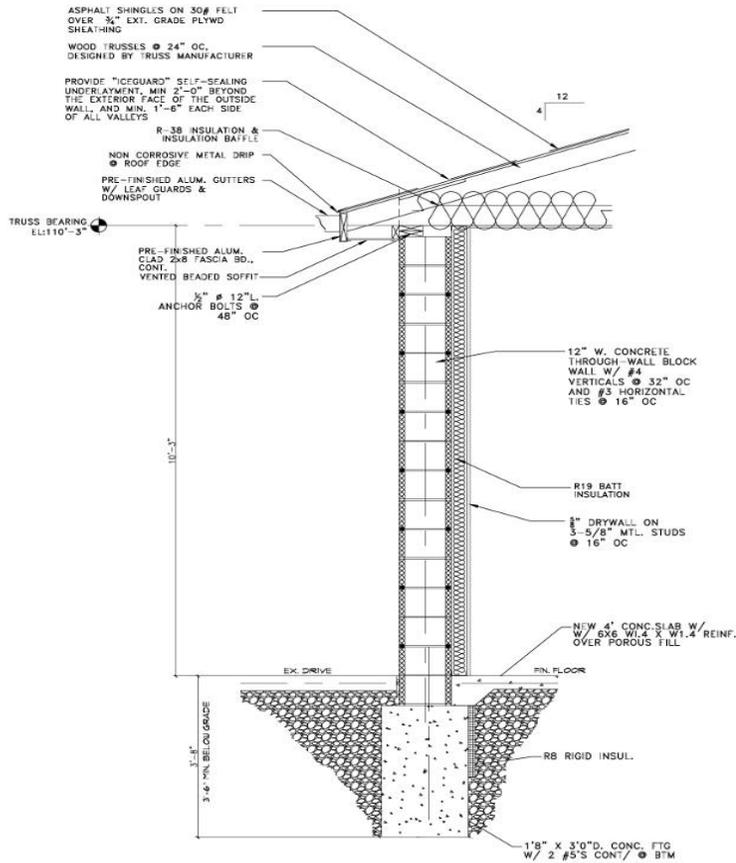


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

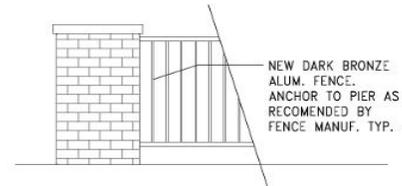
2022
FISCHER & ASSOCIATES ARCHITECTS INC.
554 W. 9TH STREET
LORAIN, OHIO. 44052
(440)- 315-2300



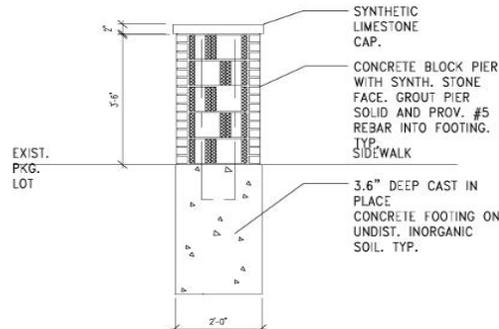
Example Image:



01 WALL SECTION
SCALE: 3/4" = 1'-0"



01 PIER ELEVATION
SCALE: 3/4" = 1'-0"



01 PIER SECTION
SCALE: 3/4" = 1'-0"



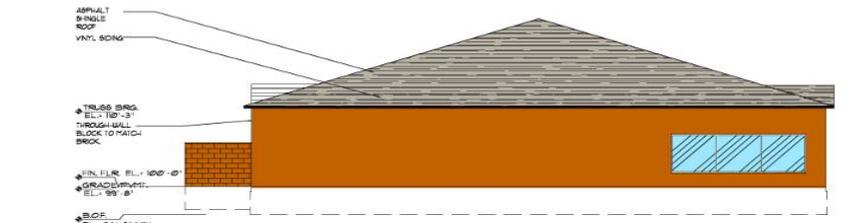
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



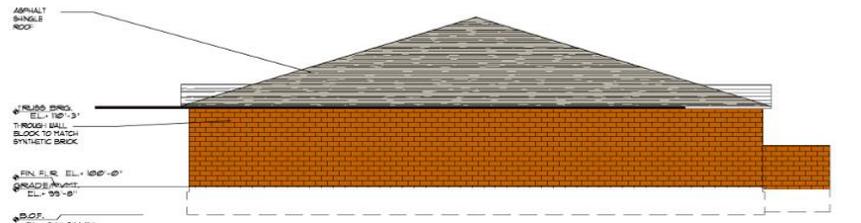
REAR ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR PAINTING

NOTE
This section has been prepared by Sherwin-Williams and includes painting and finishing of exposed interior walls, ceilings and selected interior doors and surfaces and exterior woodwork, trim and finish coats specified in this section are in addition to shop priming and surface treatments provided by other trades prior to painting. All surface preparation must be done in accordance with the manufacturer's product data literature and label instructions. All surfaces should be clean, dry and free of any dirt or additional foreign contaminants.



LWEST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



EAST SIDE ELEVATION
SCALE: 1/8" = 1'-0"

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

Cleveland City Planning Commission

Euclid Corridor Buckeye Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

EC2023-017 – CWRU Interdisciplinary Science & Research Building: Seeking Schematic Design Approval

Project Address: 2049 MLK Jr. Drive

Project Representatives: Meredith Hayes Gordon, HGA

Peter Cook, HGA

February 2, 2024

Note: the Planning Commission granted this item Conceptual Approval with Conditions on July 7, 2023.

Explore direct exterior connectivity into the cafe space; and create a landscaping plan that emphasizes the gateway.



HGA

CASE WESTERN RESERVE UNIVERSITY

Interdisciplinary Science and Engineering Building

Cleveland City Planning Commission & ECDR – Feb 1 & 2, 2024

CASE WESTERN RESERVE UNIVERSITY: ISEB

Written Project Summary

Case Western Reserve University is constructing a new building on the site where Yost Hall currently stands. The existing building will be demolished to accommodate a new approximately 187,000 gsf research building. It will be 6 stories inclusive of an enclosed penthouse. The building is anticipated to hold approximately 500 occupants including faculty, research staff and student researchers.

ISEB will include a new loading dock that will serve not only it's own needs but also the needs of the adjacent Wickenden and Tomlinson buildings. This centralized loading dock facility will consolidate delivery traffic to a single location at this end of Martin Luther King Jr Drive. The new building footprint will eliminate existing parking adjacent to Yost Hall. That parking demand as well as new additional parking demand for ISEB will be accommodated in other parking facilities across campus.

The building is situated on the site closer to neighboring Wickenden allowing for a broad welcoming gateway between ISEB and Tomlinson Hall. This welcoming gateway will be an invitation to the community to come onto campus and enjoy the Case Quad. A fully accessible path from the sidewalk along MLK Jr Drive up the twenty feet in elevation change to the Case Quad will meander through the gateway. Additional street frontage improvements include a new sidewalk set off the street with new street trees and plantings as a buffer.

The construction budget for the project is \$208,000,000 and is targeting LEED Gold with LEED Platinum as a stretch goal.

SITE LOCATION MAP



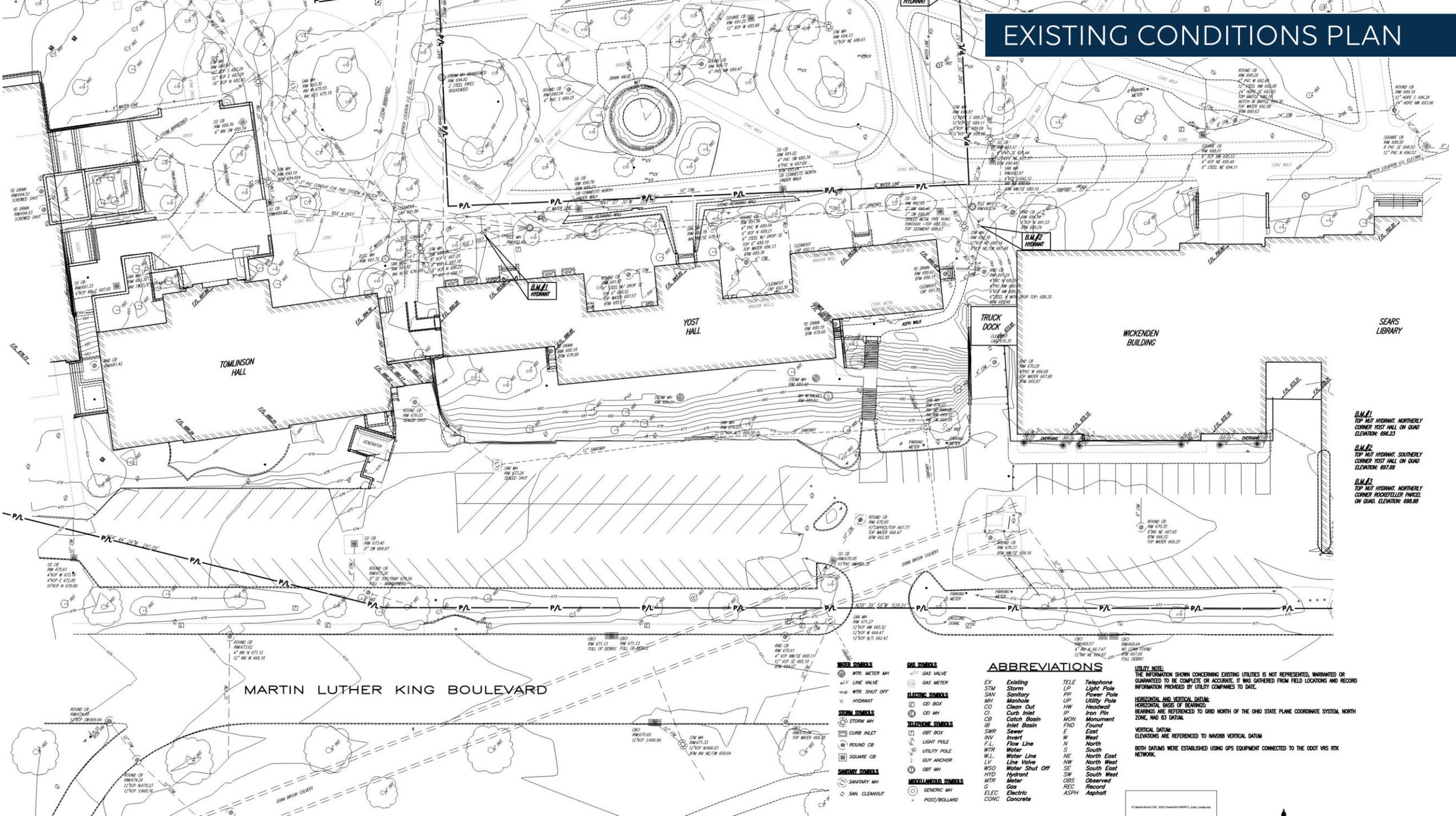
SITE CONTEXT PLAN



EUCLID AVENUE

MARTIN LUTHER KING JR BOULEVARD

EXISTING CONDITIONS PLAN



B.M.#1
TOP NUT HYDRANT, NORTHERLY
CORNER YOST HALL ON GND
ELEVATION: 686.23

B.M.#2
TOP NUT HYDRANT, SOUTHERLY
CORNER YOST HALL ON GND
ELEVATION: 687.89

B.M.#3
TOP NUT HYDRANT, NORTHERLY
CORNER ROCKEFELLER PARCEL
ON GND. ELEVATION: 688.88

- WATER SYMBOLS**
- WTR. METER MH
 - LINE VALVE
 - HYDRANT
 - CEI BOX
 - CEI MH
 - STORM MH
 - CURB INLET
 - ROUND CB
 - SQUARE CB
 - SANITARY MH
 - SAN. CLEAOUT

- GAS SYMBOLS**
- GAS VALVE
 - STYM
 - SAN
 - CEI BOX
 - CEI MH
 - STORM MH
 - CURB INLET
 - ROUND CB
 - SQUARE CB
 - SANITARY MH
 - SAN. CLEAOUT

- ABBREVIATIONS**
- | | | | |
|------|----------------|------|------------|
| EX | Existing | TELE | Telephone |
| L.P. | Light Pole | PP | Power Pole |
| UP | Utility Pole | HP | Headwork |
| CI | Clean Out | IP | Iron Pin |
| CB | Catch Basin | MON | Monument |
| IB | Inlet Basin | FD | Found |
| SWR | Sewer | E | East |
| INV | Invert | W | West |
| FL | Flow Line | N | North |
| WTR | Water | S | South |
| W.L. | Water Line | NE | North East |
| LV | Line Valve | NW | North West |
| WSD | Water Shut Off | SE | South East |
| HYD | Hydrant | SW | South West |
| MTR | Meter | OB | Observed |
| G | Gas | REC | Record |
| ELEC | Electric | ASPH | Asphalt |
| CONC | Concrete | | |

UTILITY NOTE:
THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS NOT REPRESENTED, WARRANTED OR GUARANTEED TO BE COMPLETE OR ACCURATE. IT WAS GATHERED FROM FIELD LOCATIONS AND RECORD INFORMATION PROVIDED BY UTILITY COMPANIES TO DATE.

HORIZONTAL AND VERTICAL DATUM:
HORIZONTAL BASIS OF BEARINGS:
BEARINGS ARE REFERENCED TO GRID NORTH OF THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83 DATUM.

VERTICAL DATUM:
ELEVATIONS ARE REFERENCED TO INAG08 VERTICAL DATUM.

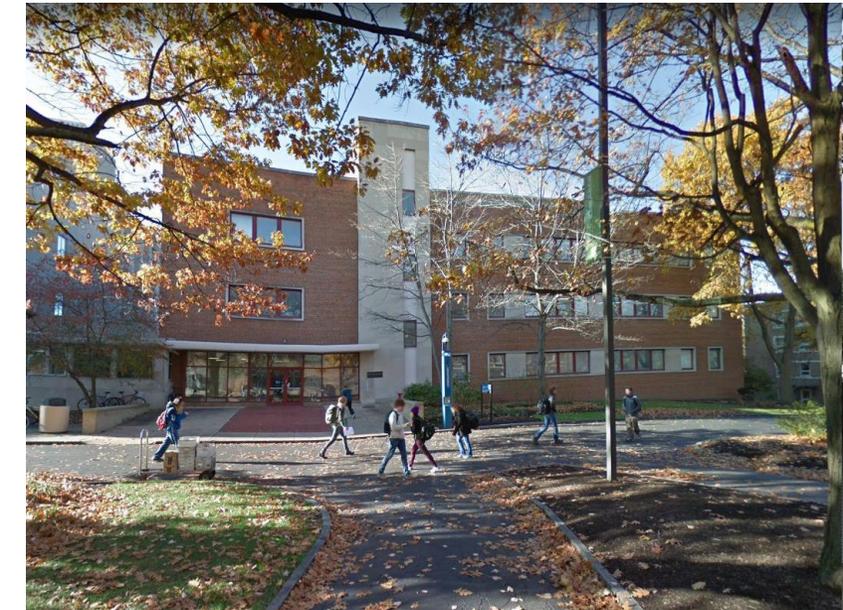
BOTH DATUMS WERE ESTABLISHED USING GPS EQUIPMENT CONNECTED TO THE ODOT VRS RTK NETWORK.

MARTIN LUTHER KING BOULEVARD

EXISTING CONDITIONS – MLK JR DRIVE SIDE



EXISTING CONDITIONS – QUAD SIDE

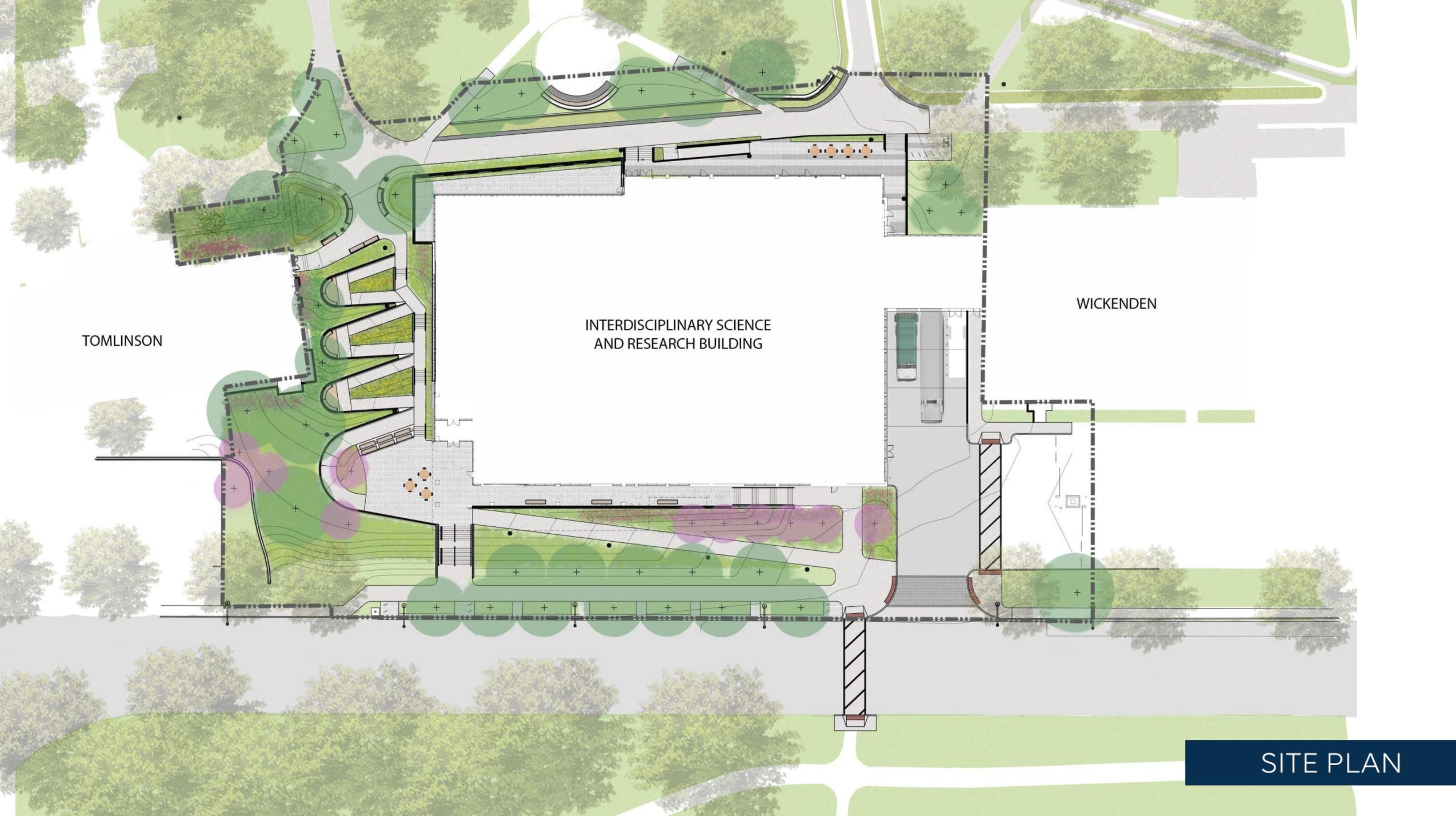


TOMLINSON

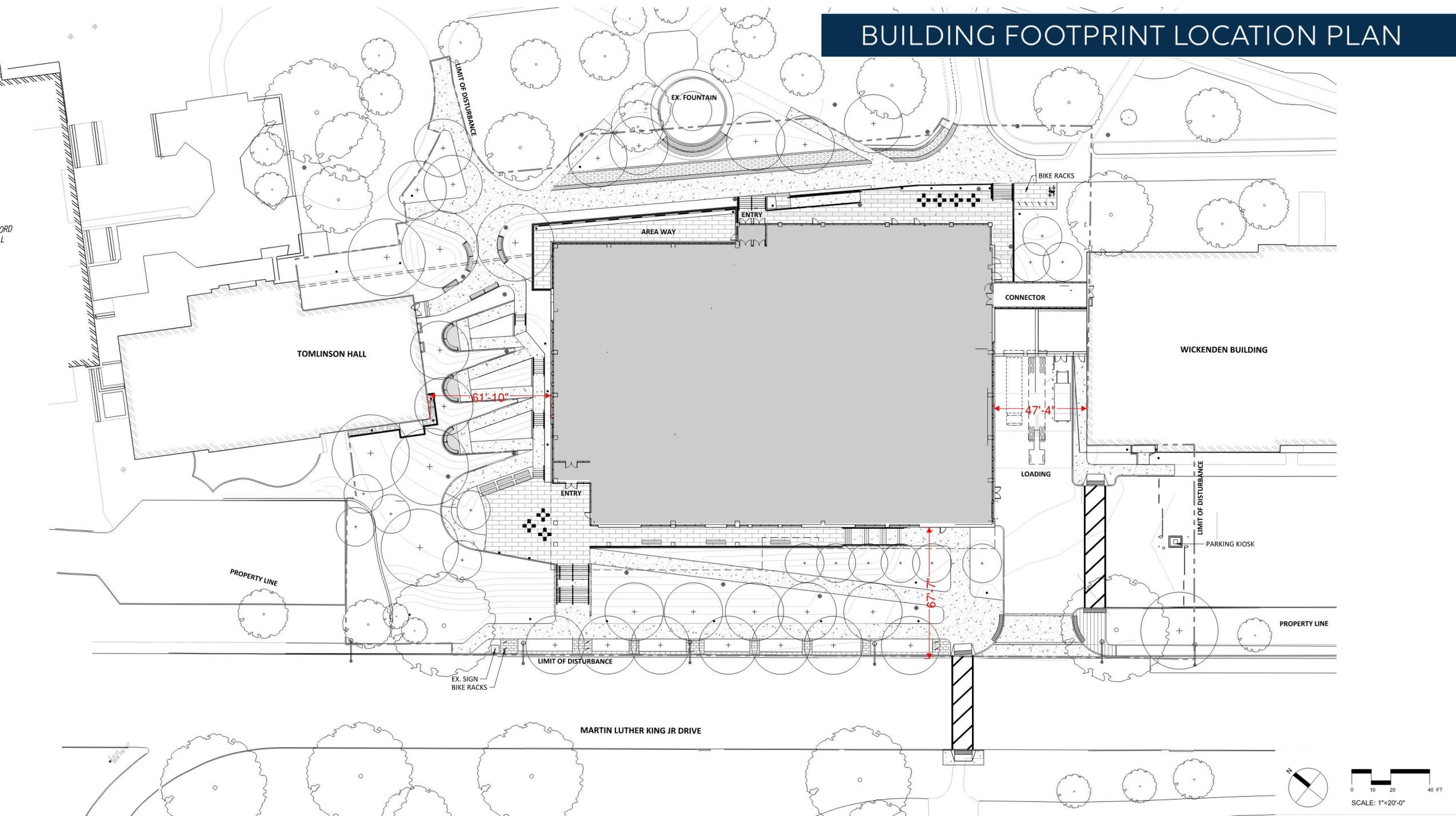
INTERDISCIPLINARY SCIENCE
AND RESEARCH BUILDING

WICKENDEN

SITE PLAN



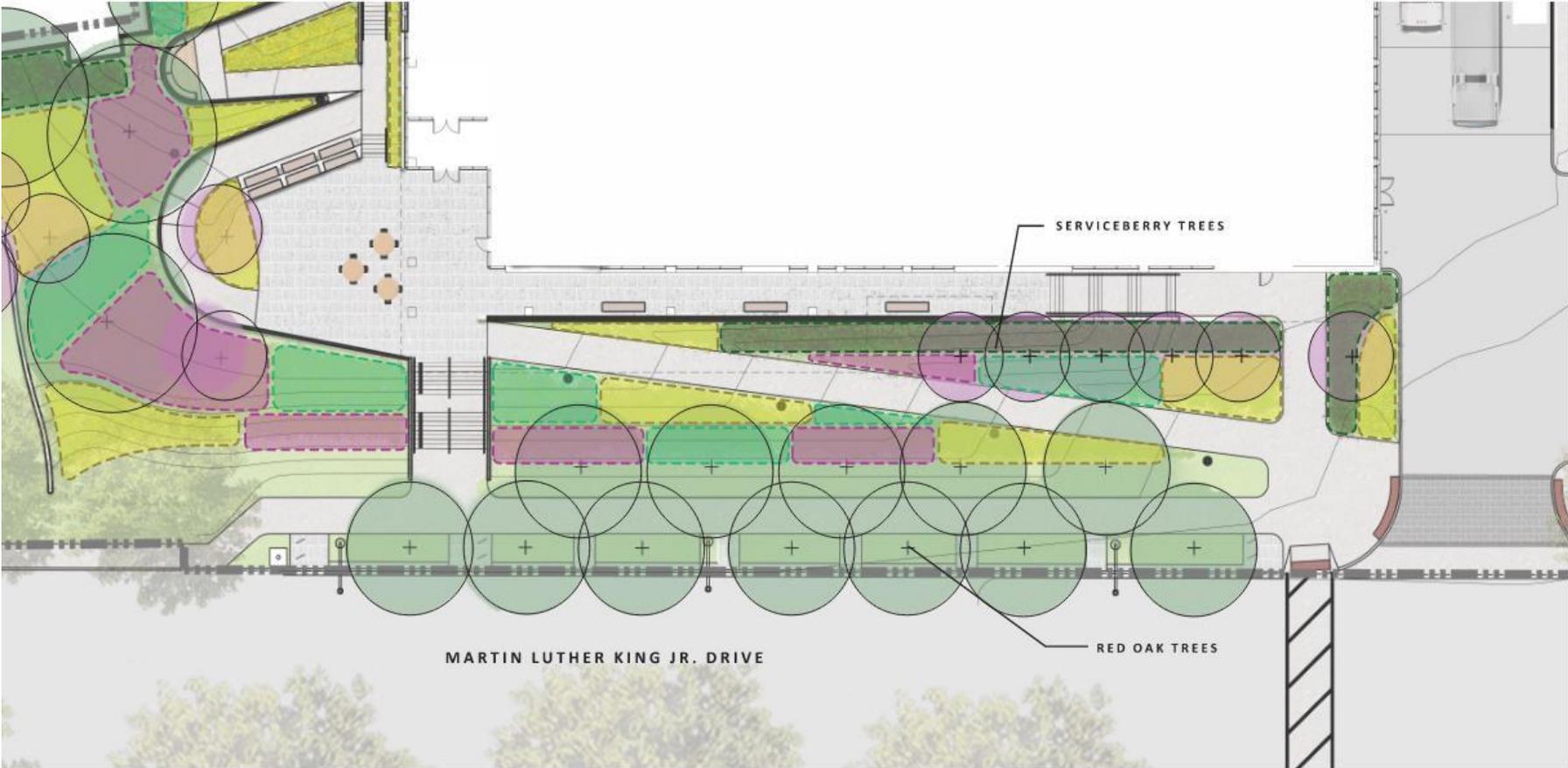
BUILDING FOOTPRINT LOCATION PLAN



VIEW FROM GATEWAY



LANDSCAPE DESIGN – MLK JR DRIVE



RED OAK



DOWNY SERVICEBERRY



PERENNIAL PLANTING



NATIVE GRASSES

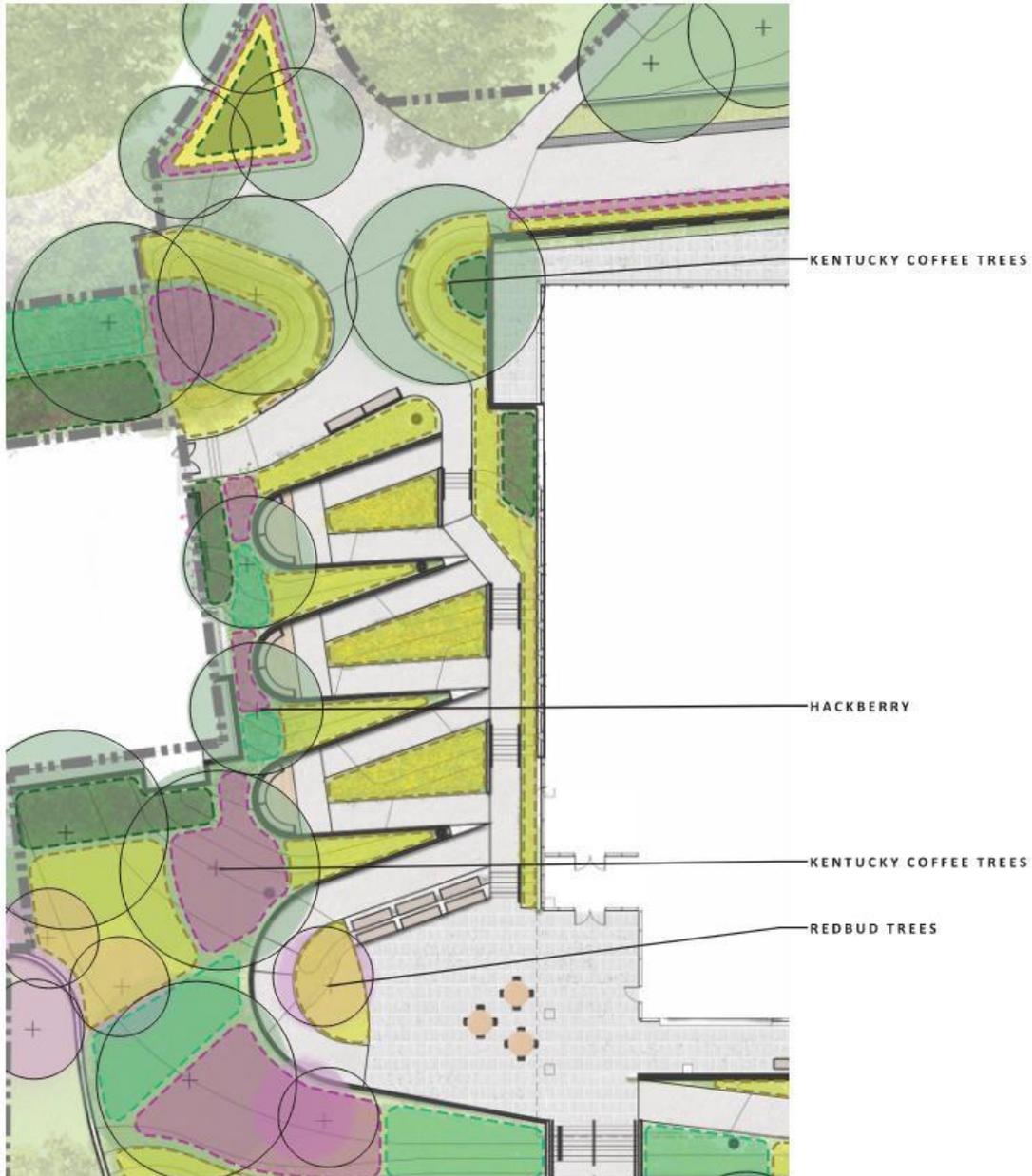


EVERGREEN PLANTING



SHRUBS

LANDSCAPE DESIGN – GATEWAY



PERENNIAL PLANTING



NATIVE GRASSES



EVERGREEN PLANTING



SHRUBS



KENTUCKY COFFEE TREE

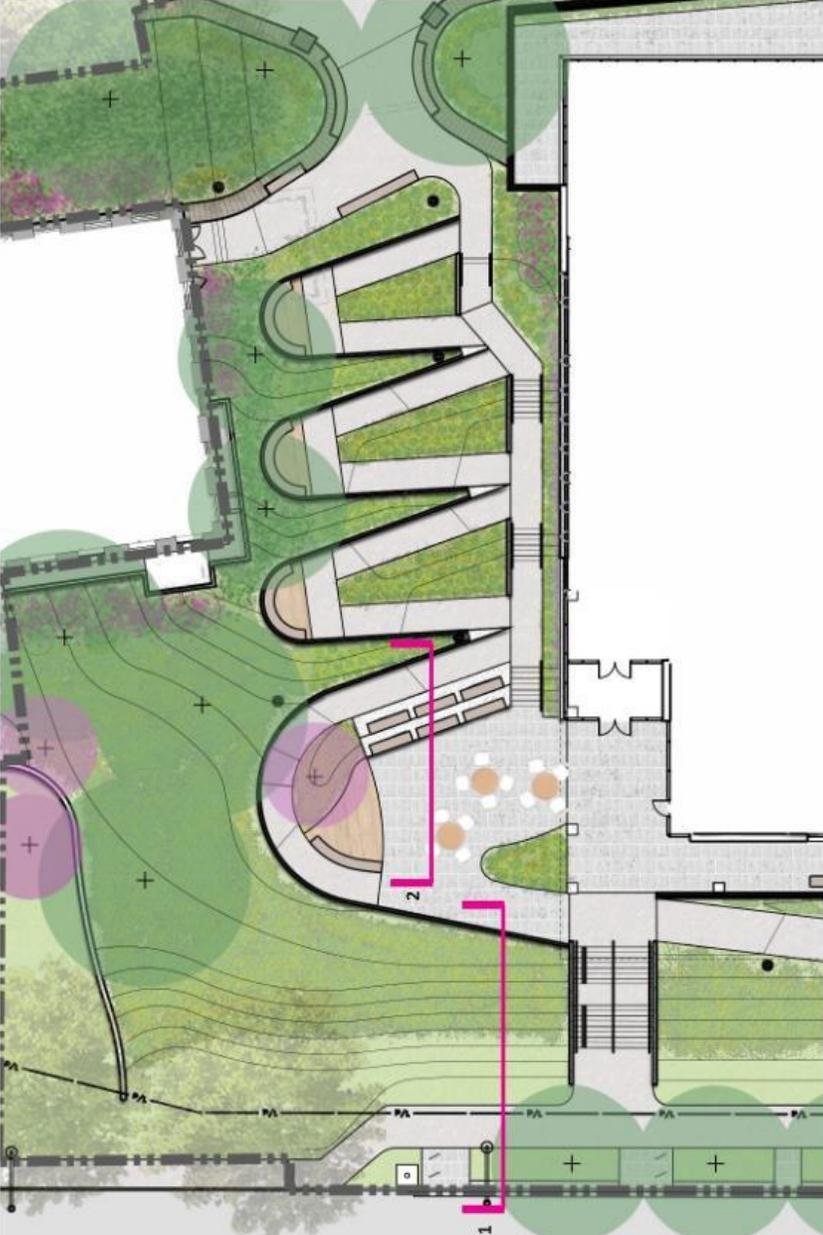


REDBUD



HACKBERRY

LANDSCAPE DESIGN – GATEWAY

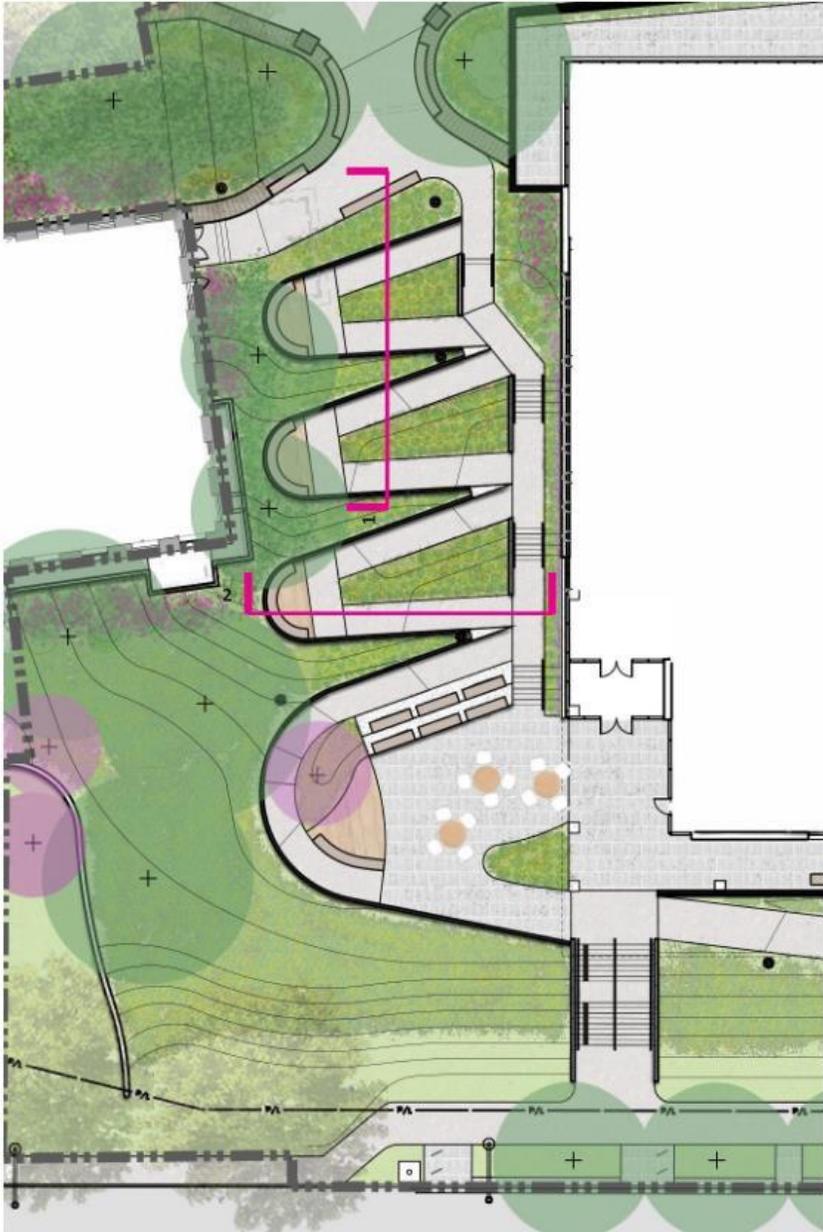


SECTION 1



SECTION 2

LANDSCAPE DESIGN – GATEWAY

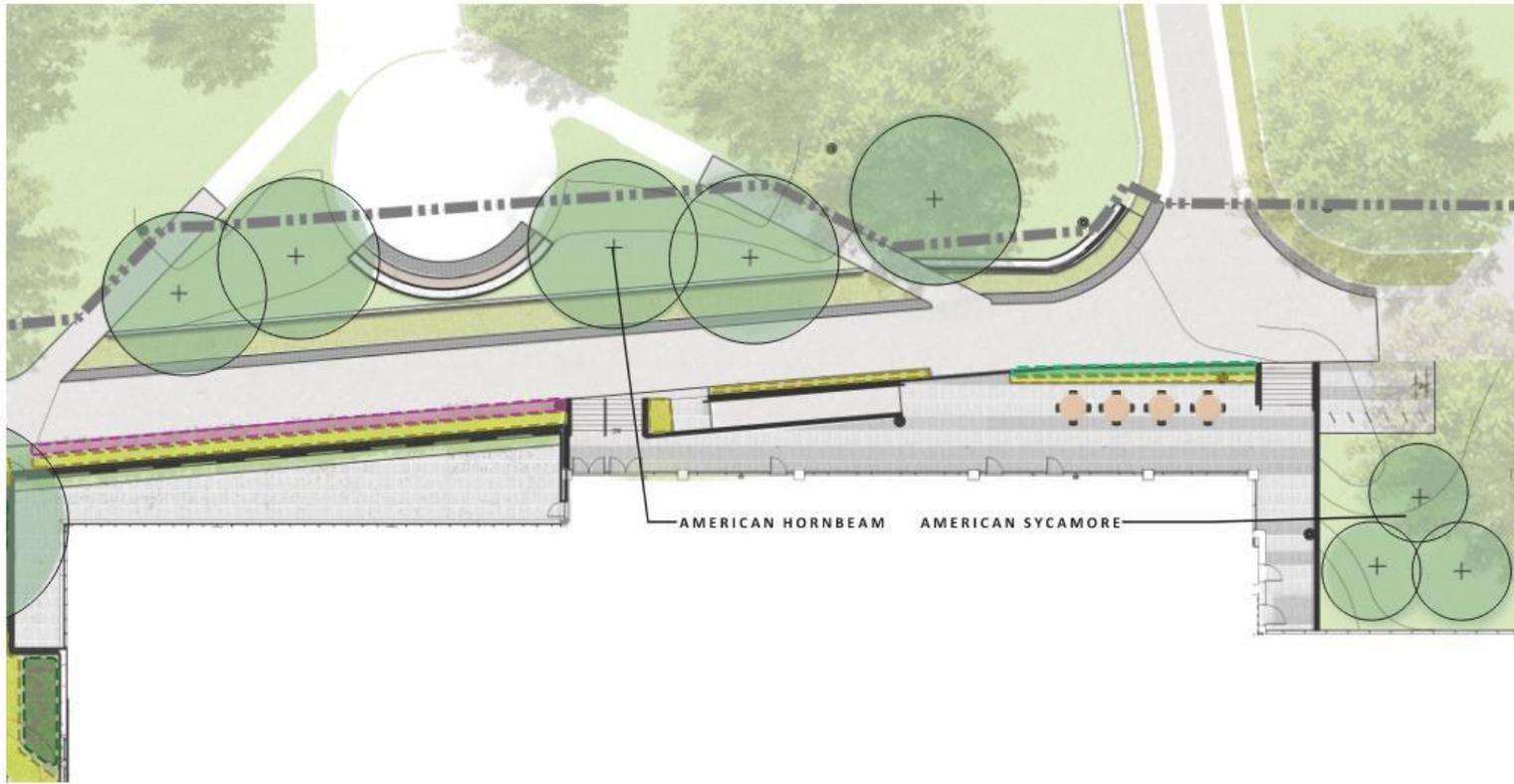


SECTION 1



SECTION 2

LANDSCAPE DESIGN – CASE QUAD



AMERICAN HORNBEAM



AMERICAN SYCAMORE



PERENNIAL PLANTING



NATIVE GRASSES

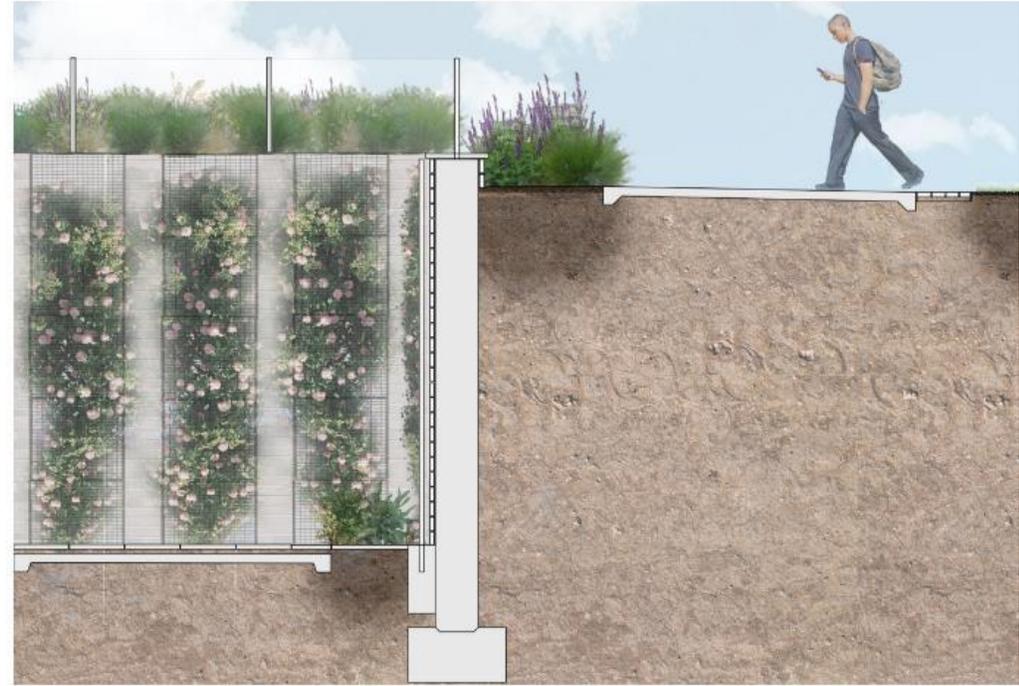
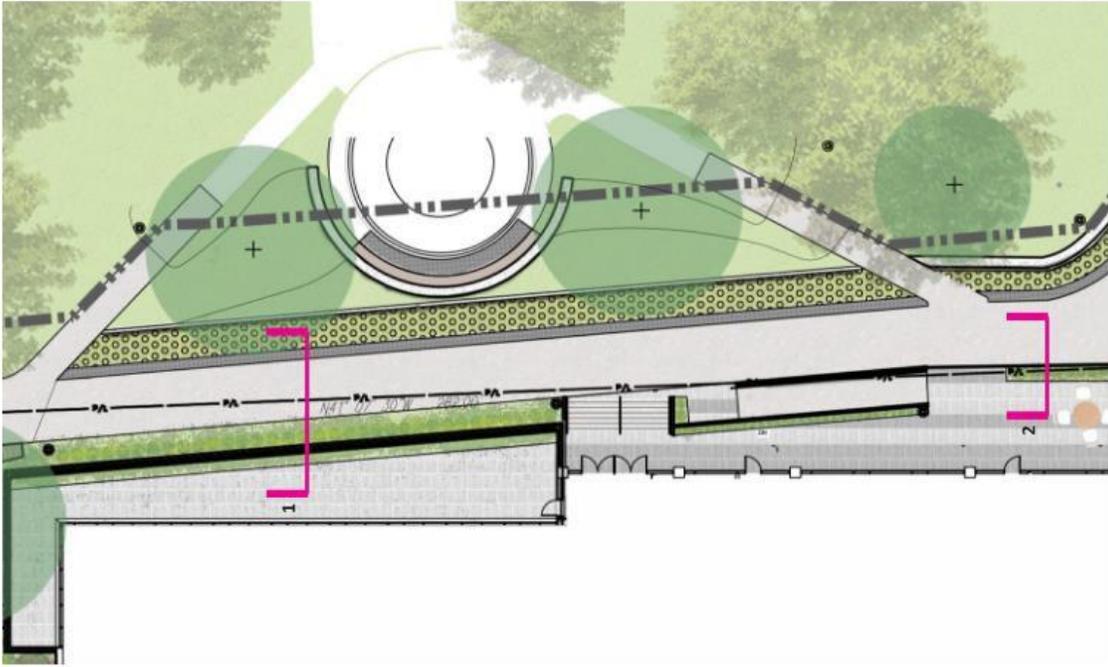


EVERGREEN PLANTING



SHRUBS

LANDSCAPE DESIGN – CASE QUAD



SECTION 1



SECTION 2

LANDSCAPE DESIGN – SITE FURNISHINGS



ROUGH AND READY BENCH



WALL MOUNTED BENCH



BIKE RACK



FIXIT PLUS BIKE REPAIR STATION



TRASH RECEPTACLES



LANDSCAPE FORMS TABLES AND CAFE CHAIRS



CHARGING STATIONS



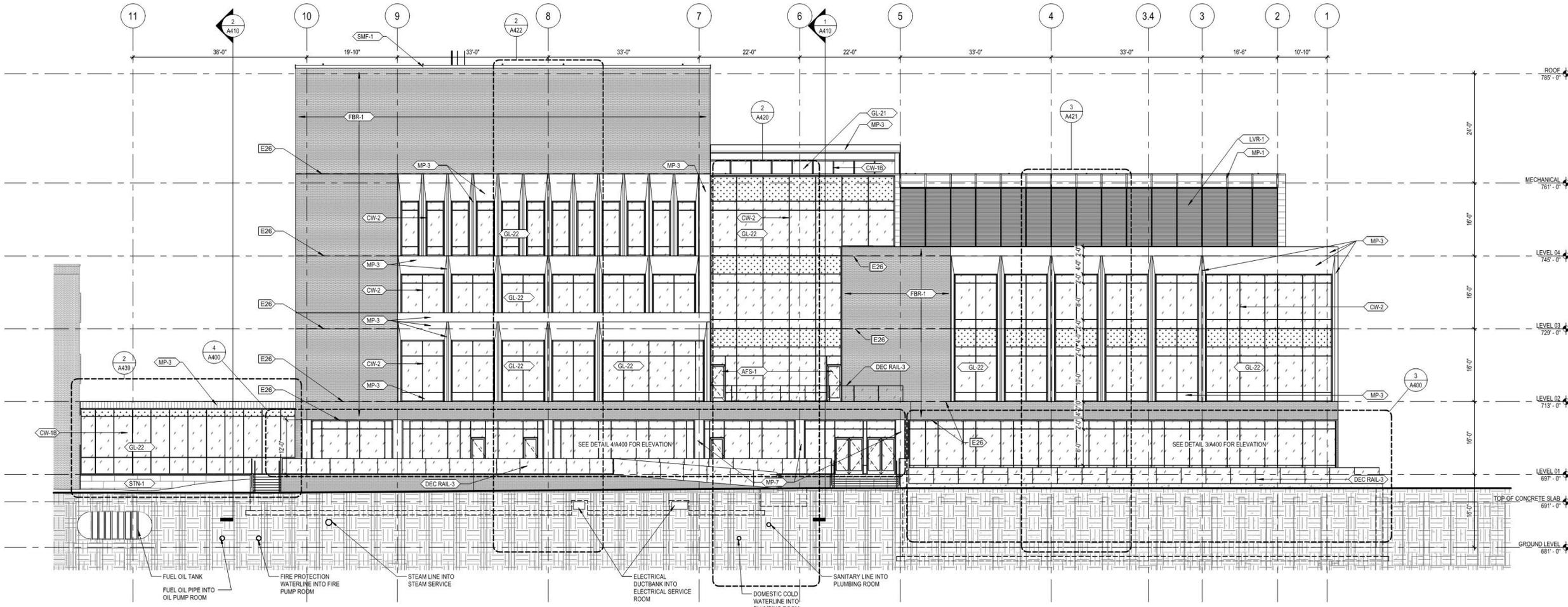
ART KIT BIKE REPAIR STATION

CWRU - ISEB

VIEW FROM QUAD

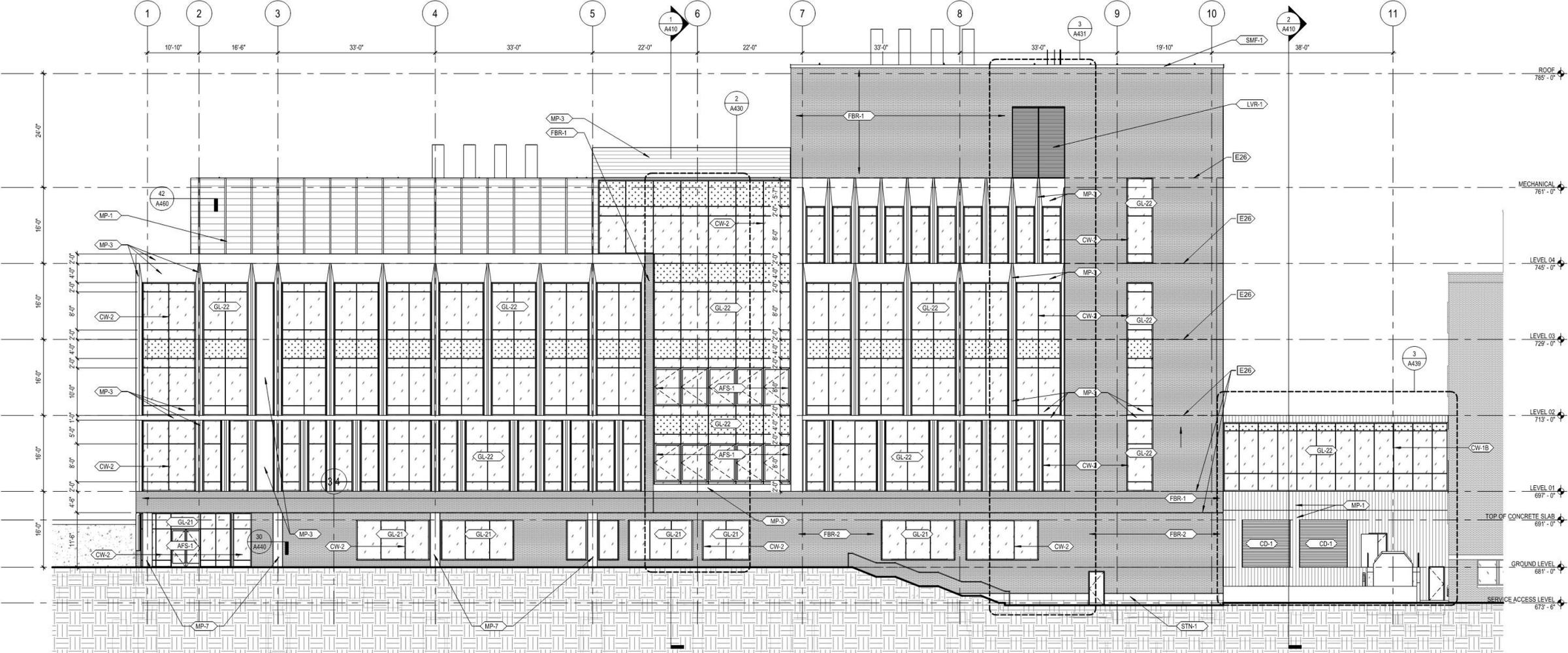


NORTH ELEVATION (QUAD SIDE)



1 OVERALL ELEVATION - NORTH
3/32" = 1'-0"

SOUTH ELEVATION (MLK JR DRIVE SIDE)



2 OVERALL ELEVATION - SOUTH
3/32" = 1'-0"

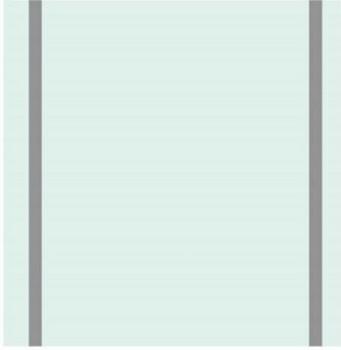
MLK JR DRIVE ELEVATION



QUAD SIDE LOOKING TOWARDS MLK JR DRIVE



EXTERIOR MATERIALS



2X4 Surface #2, Example 1

Pattern: 1/8" Vertical Lines, 4" On-Center

GLAZING



METAL

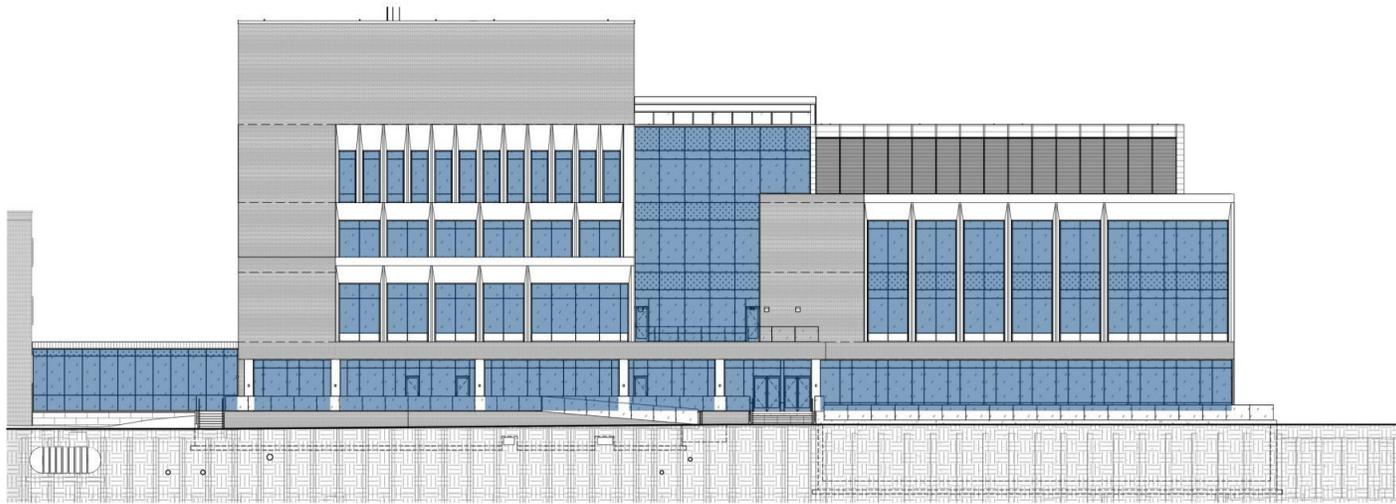


MASONRY : ARRISCRAFT COLOR SAMPLES

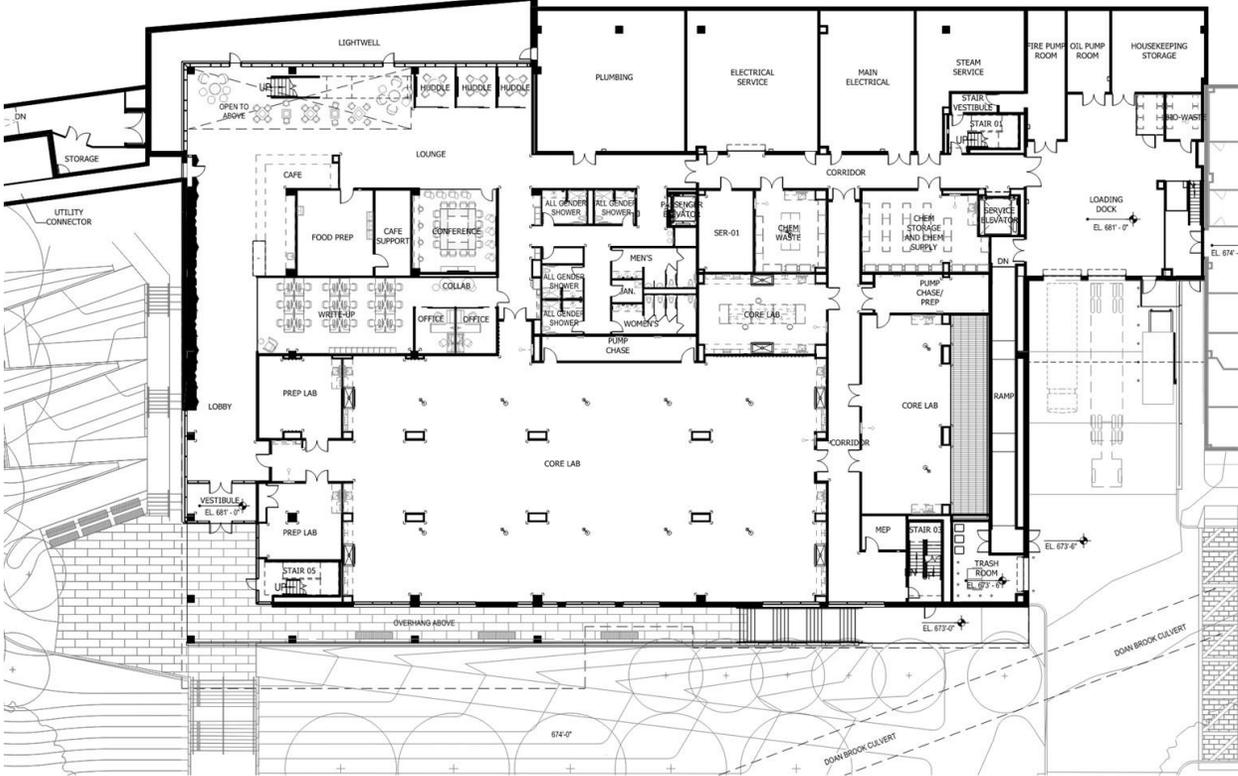
EXTERIOR GLAZING

Type By Location

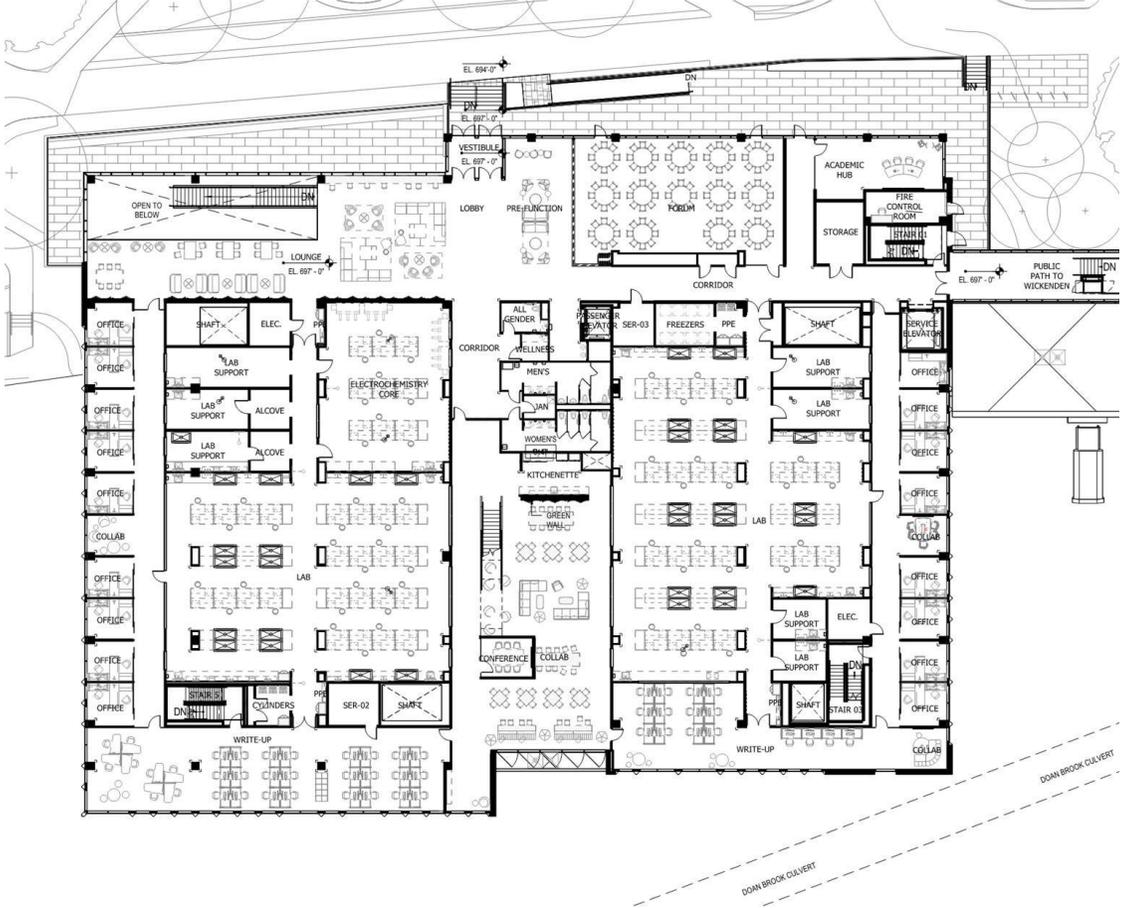
- Bird Safe Glazing
- Clear Glazing



BUILDING FLOOR PLANS



Ground Level Floor Plan (+681)



First Level Floor Plan (+696, +699)

BUILDING FLOOR PLANS



Second Level Floor Plan



Third Level Floor Plan

THANK YOU



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

Cleveland City Planning Commission

Downtown | Flats Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

**DF2024-003 – Chapman & Sung Residence New Construction:
Seeking Schematic Design Approval for building,
Final Approval for Stabilization and Retaining Wall**

February 2, 2024

Project Location: PPN 004-26-040 on Carter Road

Project Representative: Lucas Staib, AoDK Architecture

AODK vision
architecture
branding

**MODERN
SMART
HOMES**

CARTER ROAD HOMES - LOT 11 & 12

02.01.2024





O.U.P.S. REFERENCE
X-XXXX-XXXX
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY, AND RELIABLY DETERMINED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION

SYMBOL LEGEND

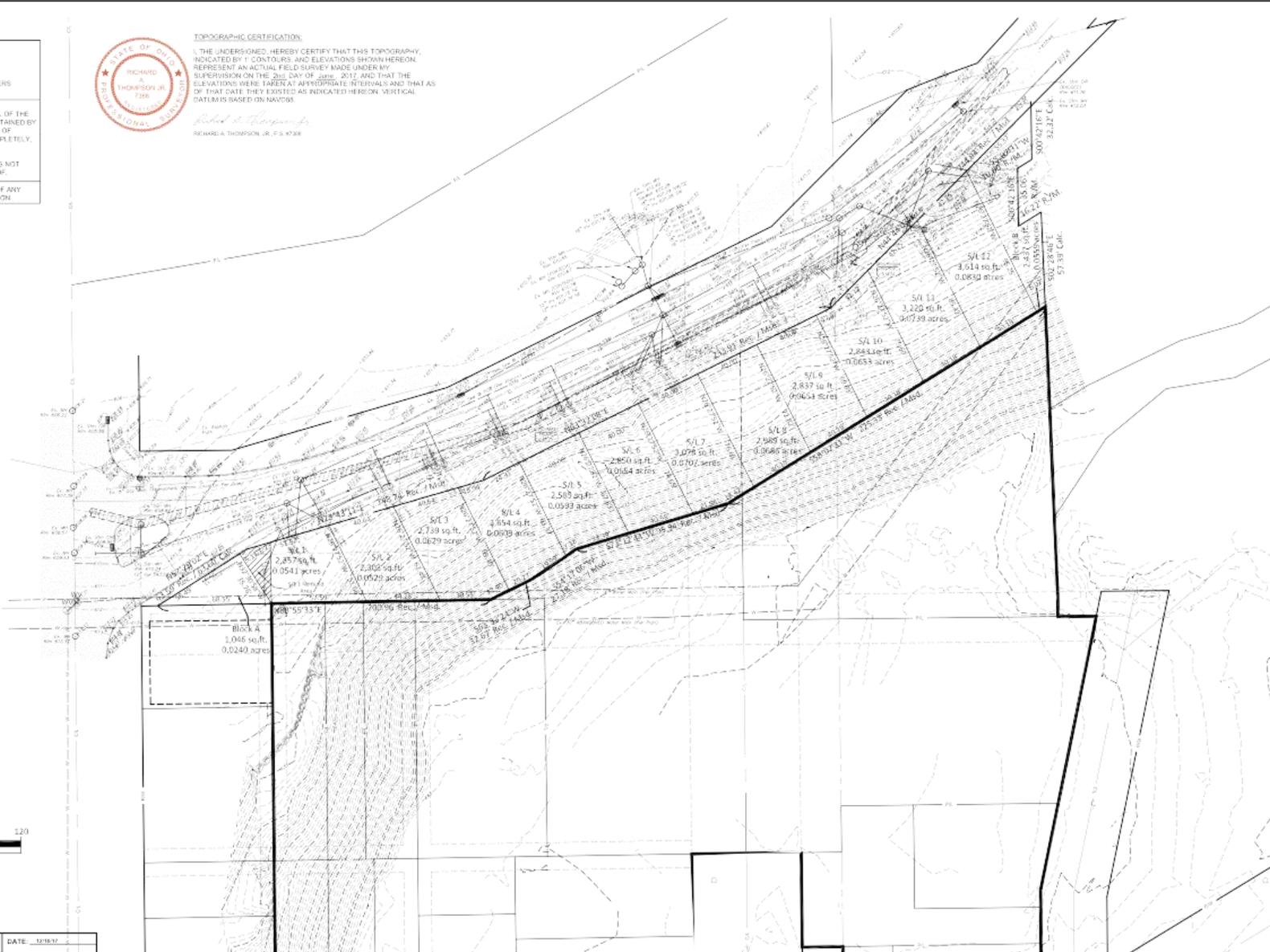
- | | |
|--------------------------|-------------------------|
| ○ Ex. Clean Out | ○ Guy Wire |
| □ Ex. Catch Basin | ○ Power Pole |
| ■ Prop. Catch Basin | ○ Light Power Pole |
| ▣ Ex. Curb Inlet | ○ Light Pole |
| ▣ Prop. Curb Inlet | ○ Traffic Signal Pole |
| ○ Ex. Yard Drain | ○ Traffic Signal Box |
| ○ Ex. Manhole | ○ Cable TV Box |
| ○ Ex. Sanitary Manhole | ○ Electrical Box |
| ○ Prop. Sanitary Manhole | ○ Telephone (SAC) Box |
| ○ Ex. Storm Manhole | ○ Tree |
| ○ Prop. Storm Manhole | ○ Pine Tree |
| ○ Storm Inlet MH | ○ Bush |
| ○ Ex. Water Valve | ○ Yard Light |
| ○ Prop. Water Valve | ○ Gasline Marker |
| ○ Water Meter | ○ Power Transformer |
| ○ Ex. Fire Hydrant | ○ Sprinkler Control Box |
| ○ Prop. Hydrant | ○ Sprinkler Head |
| ○ Well | ○ Sign |
| ○ Gas Valve | ○ Test Base |
| ○ Gas Meter | ○ Guard Post |
| | ○ Stump |
| | ○ Mailbox |



TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 2nd DAY OF June, 2017, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE, THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD83.

Richard A. Thompson, Jr.
RICHARD A. THOMPSON, JR., P.S. #7348



REV. No.	DATE	BY	DATE

SCALE: HOR. 1" = 30'
 VERT. 1" = 30'
 FOLDER: Survey
 FILENAME: Survey Base
 TAB: 01 - Topographic
 DRAWN: JMS

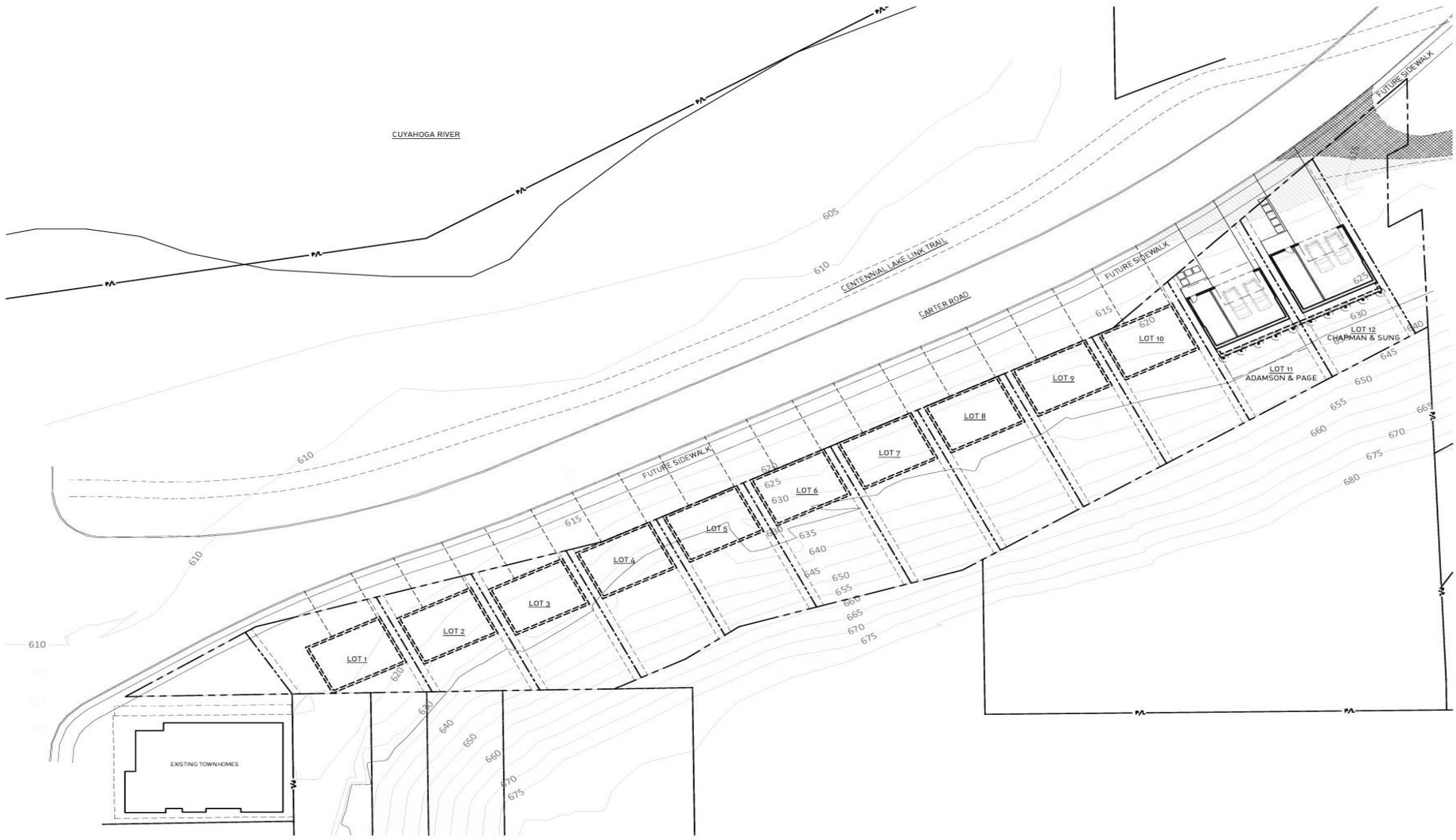
**Carter Road
West 20th Street**
City of Cleveland - Cuyahoga County - Ohio

POLARIS ENGINEERING & SURVEYING, INC.
1800 CHARLTON ROAD, SUITE D
CLEVELAND, OHIO 44115
(440) 344-4233 (440) 344-3722 (Fax)
www.polaris-es.com



**TOPOGRAPHIC
SURVEY**

CONTRACT No.	
17004	
SHEET	OF
1	1



MODERN SMART HOMES
DEVELOPMENT - SITE PLAN
03.06.2023

1
SP.1

SITE PLAN

SCALE: 1" = 20'-0"



NORTH

PROGRESSIVE URBAN REAL ESTATE
& CIVIC BUILDERS
CARTER ROAD DEVELOPMENT - LOT 11 & 12
CLEVELAND, OH 44113

SITE PLAN

sp.1



- CAST IN PLACE CONCRETE FOUNDATION WALLS, SEE STRUCTURAL DRAWINGS
- APPROX. LOCATION OF RETAINING WALL, SEE RETAINING WALL DRAWINGS, APPROX. 3'-0" BACK FROM FOUNDATION WALL @ REAR OF HOUSE, GAP TO BE FILLED WITH GRAVEL
- ELEVATION '632' DEMARCATED AS "DO NOT CROSS" LINE BY GEOTECHNICAL ENGINEER



**MODERN SMART HOMES
DEVELOPMENT - SITE PLAN**
03.06.2023

1
SP.2

SITE PLAN
SCALE: 1/8" = 1'-0"

Carter Road - Design Requirements Language

- All driveway paving must be of a high quality and consist of either a brick paver systems, permeable paver system or stamped concrete system.
- The sidewalk shall remain continuous and unbroken at all driveway & apron intersections. Step downs, ramps or other grade shifts at such intersections is prohibited.
- No vegetation shall be installed within the "front yard"¹ which would inhibit and impact sight lines & obstruct vision corridors above 16'-0".
- No vegetation shall encroach within the pedestrian way or inhibit the pedestrian traffic within the bounded sidewalk area. Where such encroachments occur, the homeowner is responsible to maintain and remove material as necessary.
- Tree(s) must be provided in all tree lawn areas in genes & species as consistent with neighboring variety. Where no neighboring varieties are present, selections shall be of native species from the approved list of species as defined in the Cleveland Tree Plan, Appendix A, "A guide for Species Selection."
- The dwelling must be back far enough from the edge of sidewalk so that no vehicle blocks completely, or impedes pedestrian traffic along the sidewalk.
- Overnight parking of vehicles in the driveway is prohibited.
- Where the dwelling is implementing a front loaded garage, the garage opening shall be less than 45% of the overall façade it is implemented on.² Where providing such garages, the use of separated garage doors is encouraged.
- Garage material shall be of a high quality and the use of vinyl finishes or composite finishes is prohibited. The garage systems shall endeavor to have a min. 35% glazing however alt. styles may be utilized provided they are complimentary to the building aesthetic & do not negatively impact the pedestrian corridor.
- The dwelling shall have a primary entrance door within a primary entrance element which faces the public realm³ and be implemented at the base floor elevations. Door system shall be of a high quality material and the dwelling entry element contain a min. of 50% glazing.
- The dwelling shall endeavor to have a min. of 45% glazing area per primary façade.⁴ Where area is unachievable, reductions can be made provided each occupiable room (livable area) that adjoins the primary façade is provided with a min. of (1) glazing system which is of an area that occupies a min. ¼" the wall surface of the room.
- Along the primary façade, a min. of 65% shall be occupiable space (livable space).⁵

¹ Front yard here is defined as the area between the edge of sidewalk and front of building façade and from property line to property line.

² In calculating the façade area, the home owner may utilize the entirety of the front façade in calculated as a single plane. Step back above the roof line for dog houses and other roof top amenities and access systems shall not be counted in the façade area calculation.

³ Public realm here is defined as the municipally owned right-of-way.

⁴ Primary façade here is defined as the façade which fronts and faces the municipally owned right-of-way.

⁵ Occupiable space (livable space) here is defined as those areas that are inhabitable and considered active uses. Examples include such spaces & rooms such as: living room, bedroom, bathroom, dining room, office, etc.

- Operable glazing systems shall be provided on the primary façade in the amount of 20% of glazing area and as required by Building Code.
- The use of single pane vinyl clad glazing systems is prohibited throughout the dwelling.
- All exterior finish materials shall be of a high quality standard and the use of natural materials is encouraged. The use of vinyl siding / trim, particulate board, exposed CMU, Split face CMU, composite plastics & exposed EPS / XPS systems is prohibited. Exposed CMU & Split Face CMU may be utilized in select instances where the quality of design is enhanced by their utilization.
- The use of synthetic stucco systems & exterior Insulation & finish systems (EIFS) are prohibited.
- The dwelling shall contain a min. of (1) outdoor space on the primary façade. The area of the space shall consist of a usable amount of area with a min. of 48 SF. The outdoor space may occur at any level above grade.^{6 7}

⁶ At grade porches & patios do not satisfy this requirement and cannot be calculated as part of the square footage calculation. Roof top patios and balconies can be counted as part of this space provided a portion of them in the amount described front along the primary façade.

⁷ The space may be broken into smaller areas, provided the overall square footage when calculated meets the min. requirement.

CARTER ROAD

IN IRISHTOWN BEND
CUSTOM HOMES | CLEVELAND

HH HORTON HARPER
ARCHITECTS





SITE PLAN
1"=10'-0" N^



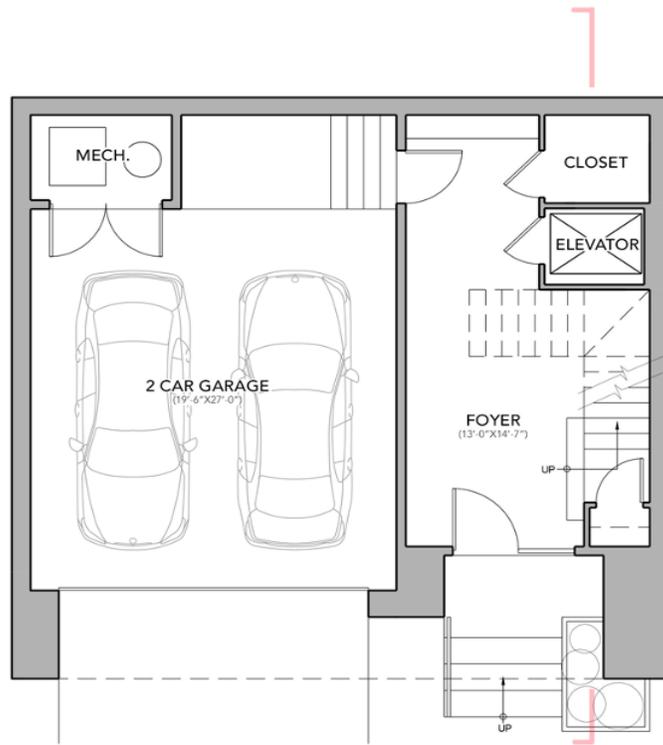
VIEW FROM LAKE LINK TRAIL



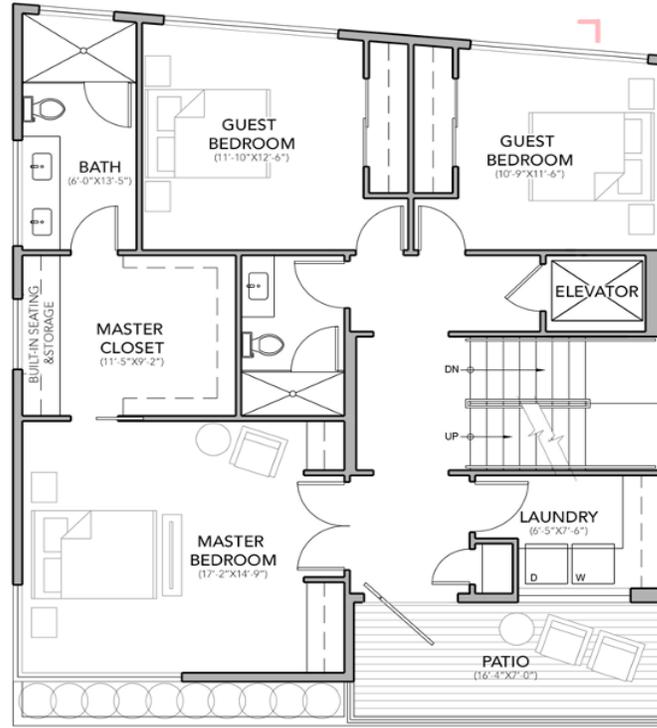
VIEW FROM CARTER ROAD: HOUSES 1, 2 & 3

SQUARE FOOTAGE:

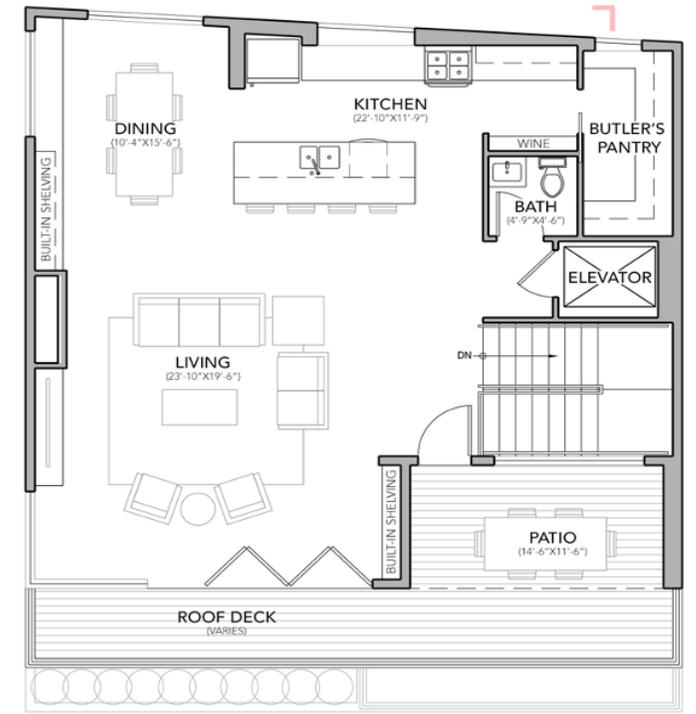
1ST FLOOR - 377 SF
2ND FLOOR - 1220 SF
3RD FLOOR - 1018 SF
TOTAL - 2615 SF



FIRST FLOOR PLAN



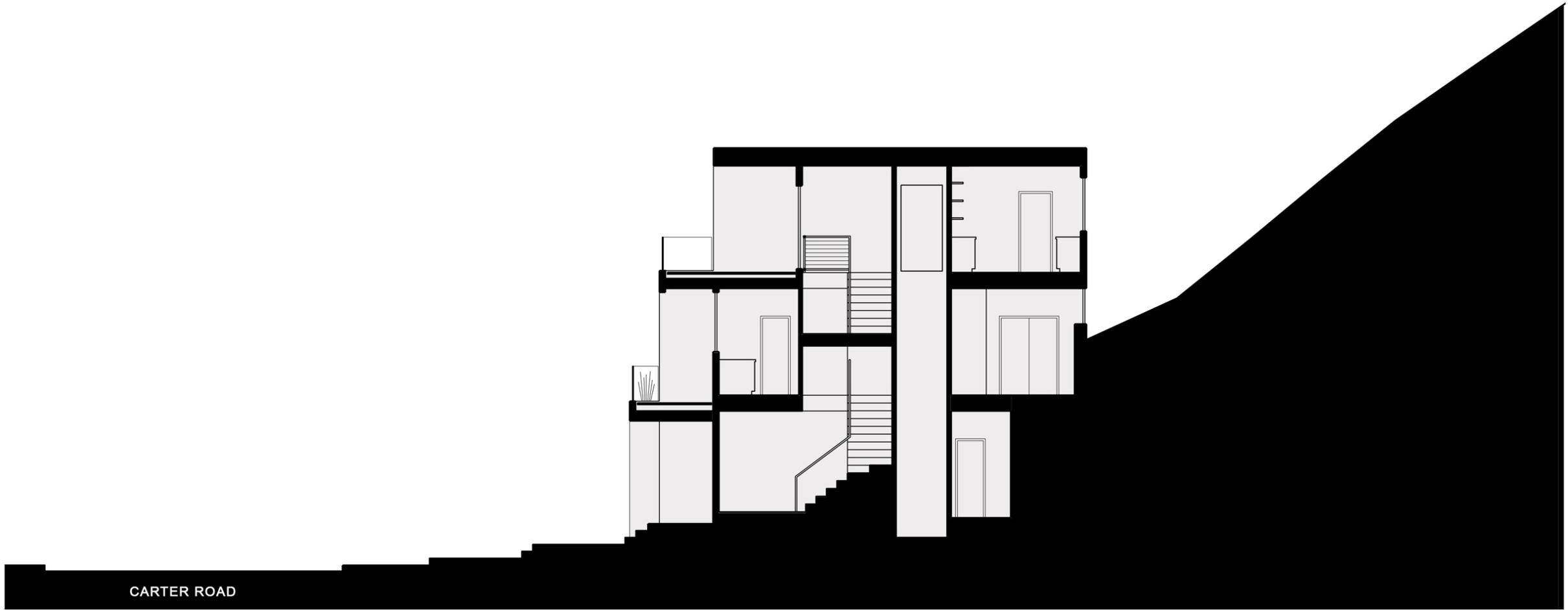
SECOND FLOOR PLAN



THIRD FLOOR PLAN

FLOOR PLANS - HOUSE 2

1/8" = 1'-0" N ↙



CARTER ROAD

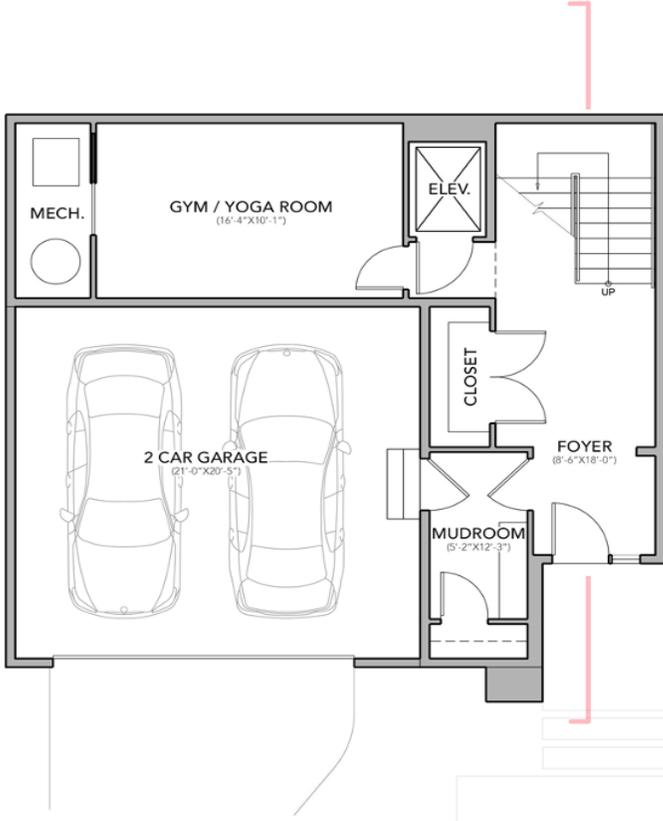
BUILDING SECTION: HOUSE 2



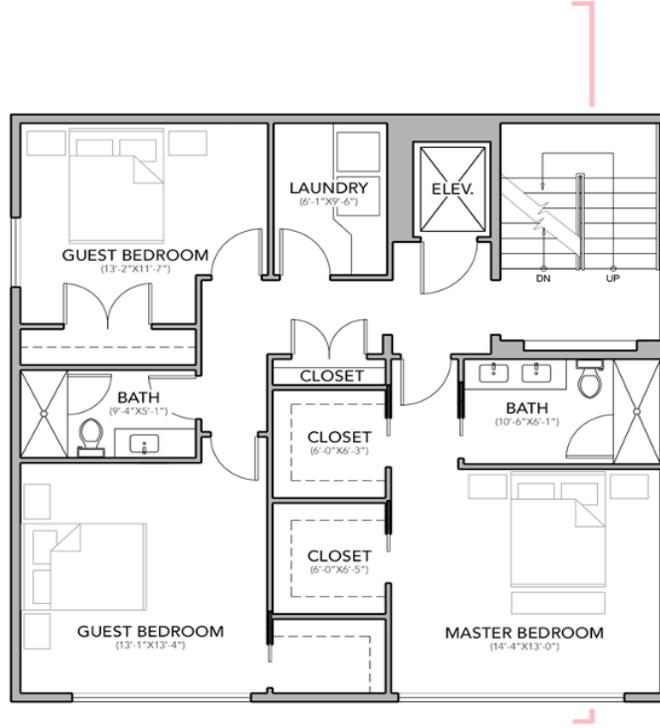
VIEW FROM CARTER ROAD: HOUSES 8, 9 & 10

SQUARE FOOTAGE:

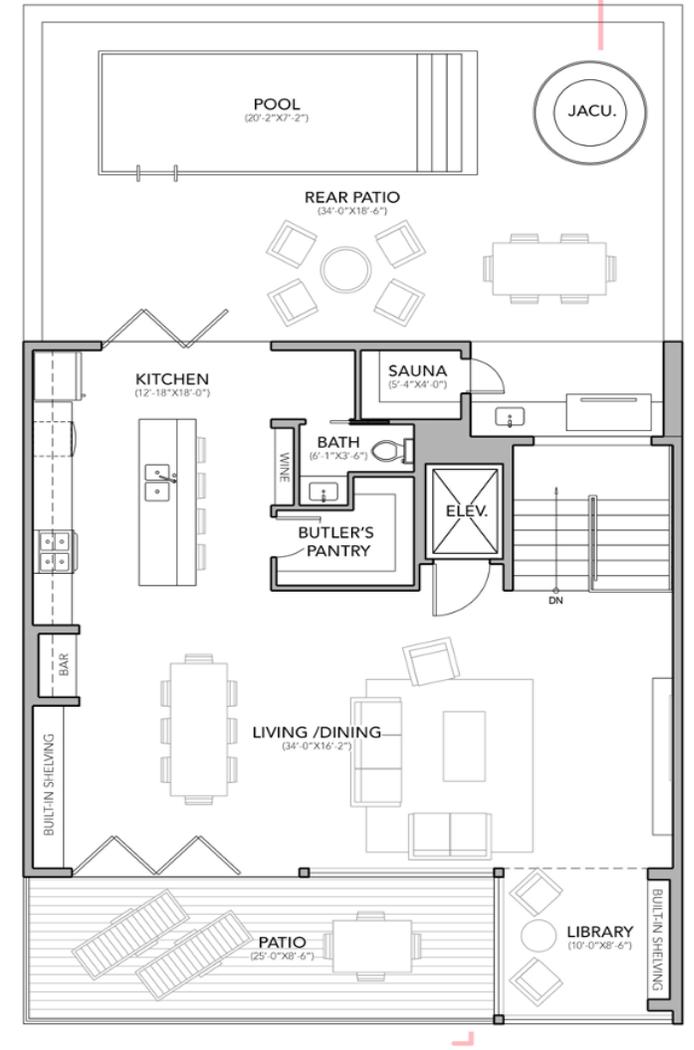
1ST FLOOR - 622 SF
2ND FLOOR - 1190 SF
3RD FLOOR - 1095 SF
TOTAL - 2907 SF



FIRST FLOOR PLAN



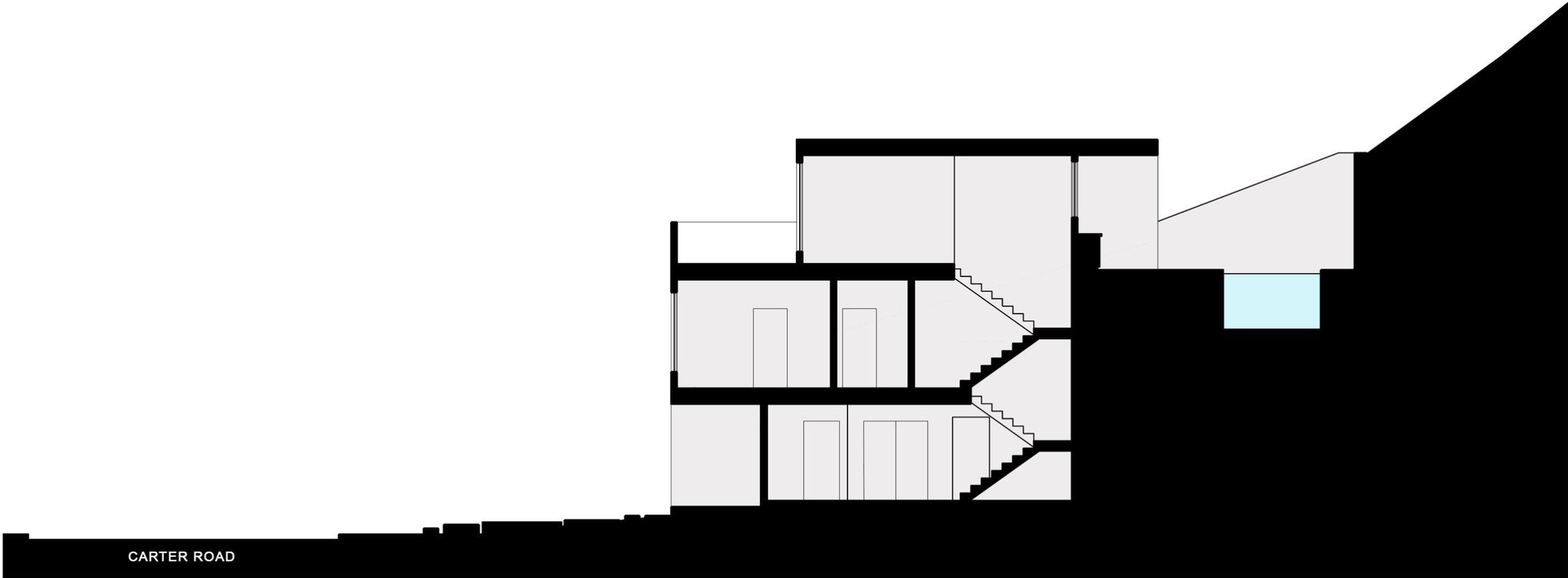
SECOND FLOOR PLAN



THIRD FLOOR PLAN

FLOOR PLANS - HOUSE 9

1/8" = 1'-0" N ↙



CARTER ROAD

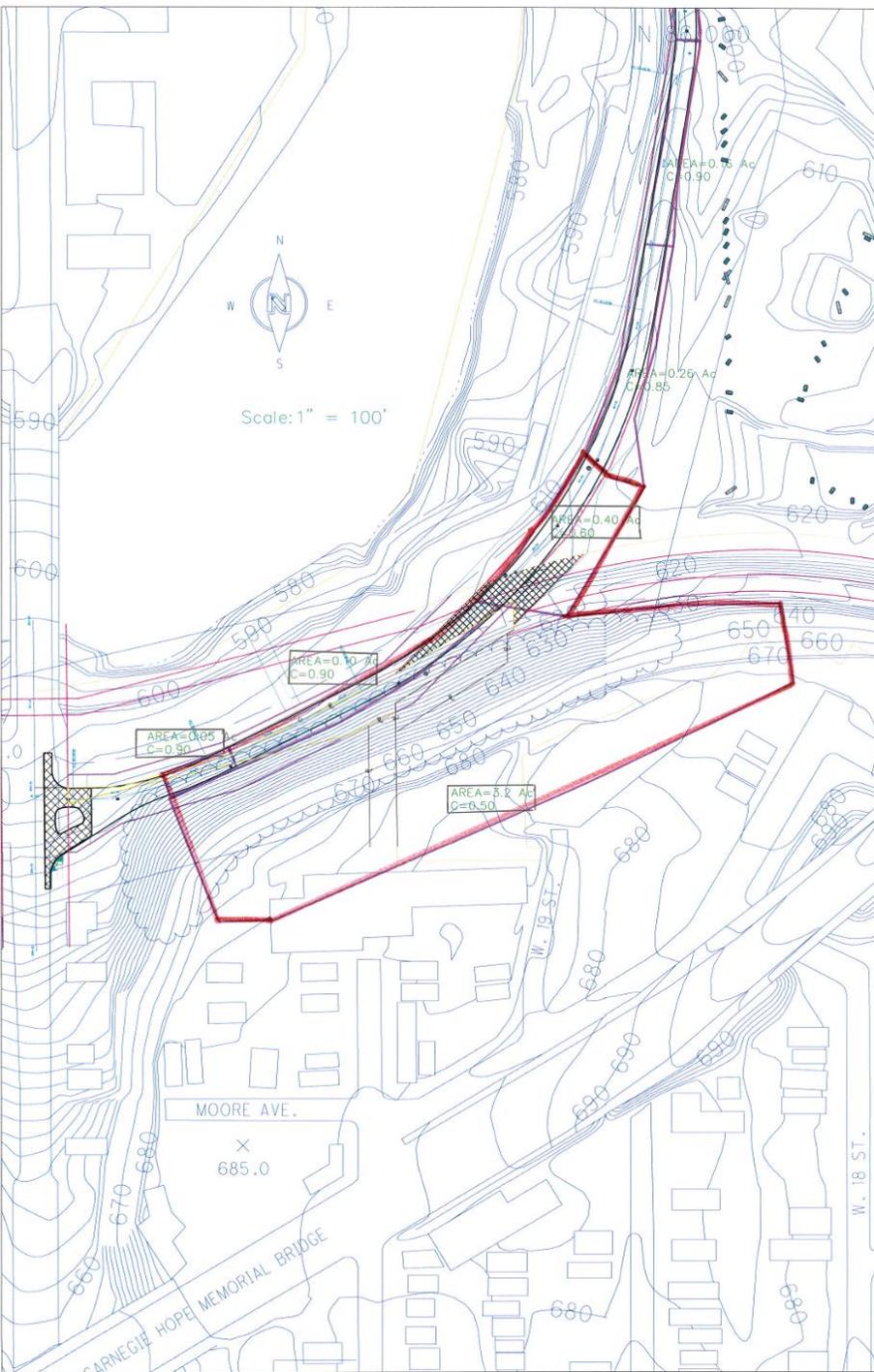
BUILDING SECTION: HOUSE 9



VIEW FROM REAR PATIO: HOUSE 9



VIEW FROM LIVING ROOM: HOUSE 9



City of Cleveland
Frank G. Jackson, Mayor

Department of Public Utilities
Division of Water Pollution Control
12302 Kirby Avenue
Cleveland, Ohio 44108-1667
216/664-2750 • Fax: 216/664-3477
www.clevelandwpc.com



August 23, 2016

Stuart Sayler
THE HENRY G. REITZ
4214 Rocky River Drive
Cleveland, Ohio 44135

Re: Carter Road Subdivision

Dear Mr. Sayler,

This letter is to inform you that the City of Cleveland-Division of Water Pollution Control (WPC) has granted the conceptual approval of the proposed sanitary sewers. Also, WPC will agree to accept the responsibility for the long-term maintenance of the proposed stormwater quality structure.

If you should have any questions, please feel free to call me at (216) 664-2756 or Mr. Alan Schiely at (216) 664-3638.

Sincerely,

Elie Ramy, P.E., Administrator of Engineering & Planning
Division of Water Pollution Control

cc Alan Schiely, P.E., Consulting Engineer, Water Pollution Control



John R. Kasich, Governor
Mary Taylor, Lt. Governor
Craig W. Butler, Director

Jul 25, 2018

Lake Link, LLC
Keith Brown
4001 Detroit Ave
Cleveland, OH 44113

Re: Approval Under Ohio EPA National Pollutant Discharge Elimination System (NPDES) - Construction Site Stormwater General Permit - OHC000005

Dear Applicant,

Your NPDES Notice of Intent (NOI) application is approved for the following facility/site. Please use your Ohio EPA Facility Permit Number in all future correspondence.

Facility Name:	Carter Road Subdivision
Facility Location:	Carter Rd
City:	Cleveland
County:	Cuyahoga
Township:	Brooklyn
Ohio EPA Facility Permit Number:	3GC08867*BG
Permit Effective Date:	Jul 25, 2018

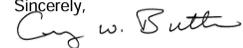
Please read and review the permit carefully. The permit contains requirements and prohibitions with which you must comply. Coverage under this permit will remain in effect until a renewal of the permit is issued by the Ohio EPA.

If more than one operator (defined in the permit) will be engaged at the site, each operator shall seek coverage under the general permit. Additional operator(s) shall submit a Co-Permittee NOI to be covered under this permit. There is no fee associated with the Co-Permittee NOI form.

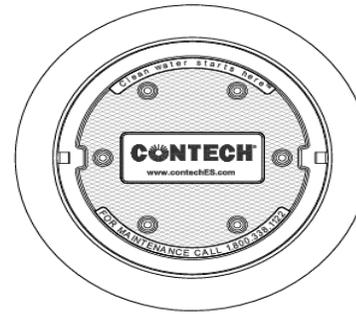
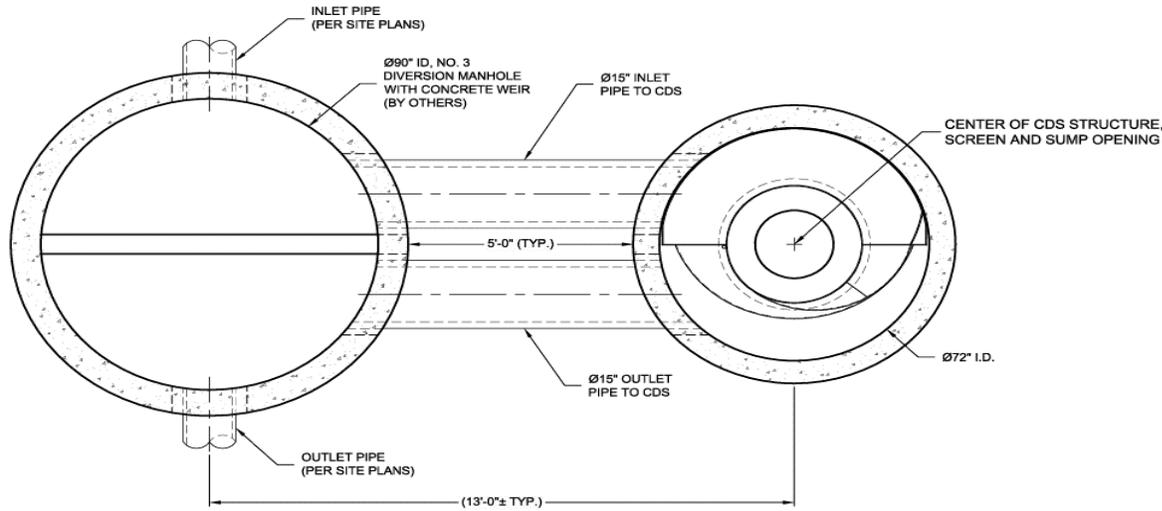
Please be aware that this letter only authorizes discharges in accordance with the above referenced NPDES CGP. The placement to fill into regulated waters of the state may require a 401 Water Quality Certification and/or Isolated Wetlands Permit from Ohio EPA. Also, a Permit-To-Install (PTI) is required for the construction of sanitary or industrial wastewater collection, conveyance, storage, treatment, or disposal facility; unless a specific exemption by rule exists. Failure to obtain the required permits in advance is a violation of Ohio Revised Code 6111 and potentially subjects you to enforcement and civil penalties.

To view your electronic submissions and permits please Logon in to the Ohio EPA's eBusiness Center at <http://ebiz.epa.ohio.gov>.

If you need assistance or have questions please call (614) 644-2001 and ask for Construction Site Stormwater General Permit support or visit our website at <http://www.epa.ohio.gov>.

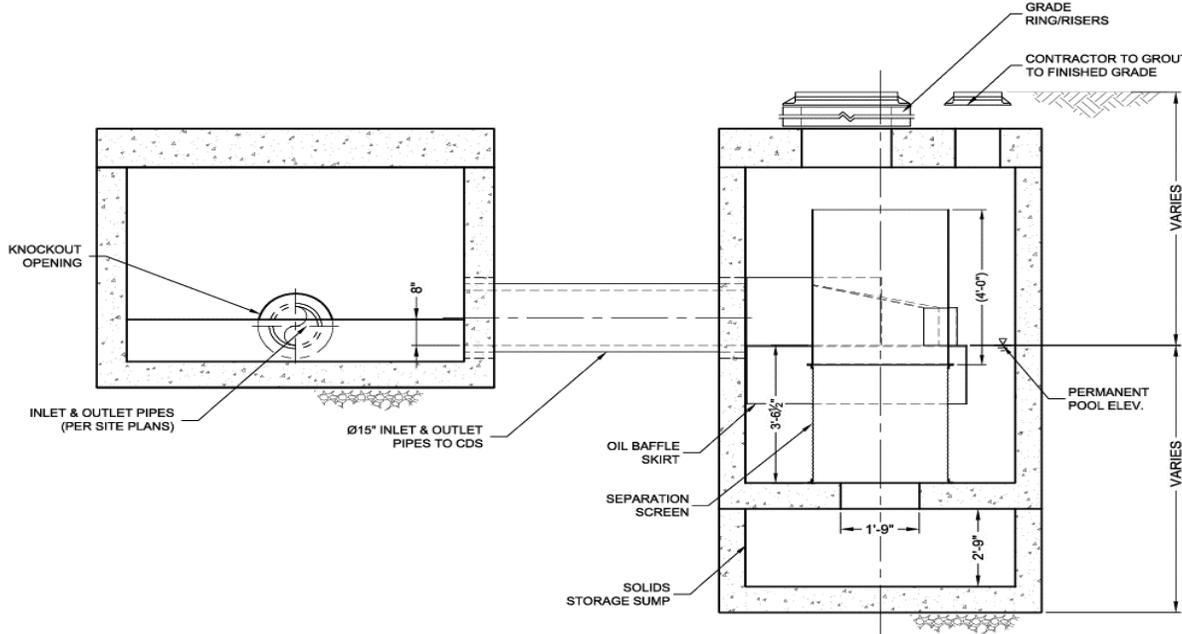
Sincerely,


Craig W. Butler
Director



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS	
STRUCTURE ID	72"
WATER QUALITY FLOW RATE (CFS OR L/s)	
PEAK FLOW RATE (CFS OR L/s)	N/A
RETURN PERIOD OF PEAK FLOW (YRS)	OFFLINE
SCREEN APERTURE	2400
PIPE DATA:	I.E. MATERIAL DIAMETER
INLET PIPE	15"
OUTLET PIPE	15"
RIM ELEVATION	



GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS25 AND CASTINGS SHALL MEET HS25 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

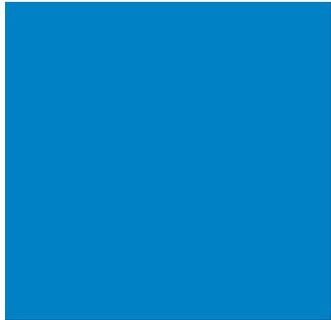


THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING PATENTS: A TRADE SECRET, U.S. PATENT NO. 7,811,100, 7,811,101, 7,811,102, 7,811,103, 7,811,104, 7,811,105, 7,811,106, 7,811,107, 7,811,108, 7,811,109, 7,811,110, 7,811,111, 7,811,112, 7,811,113, 7,811,114, 7,811,115, 7,811,116, 7,811,117, 7,811,118, 7,811,119, 7,811,120, 7,811,121, 7,811,122, 7,811,123, 7,811,124, 7,811,125, 7,811,126, 7,811,127, 7,811,128, 7,811,129, 7,811,130, 7,811,131, 7,811,132, 7,811,133, 7,811,134, 7,811,135, 7,811,136, 7,811,137, 7,811,138, 7,811,139, 7,811,140, 7,811,141, 7,811,142, 7,811,143, 7,811,144, 7,811,145, 7,811,146, 7,811,147, 7,811,148, 7,811,149, 7,811,150, 7,811,151, 7,811,152, 7,811,153, 7,811,154, 7,811,155, 7,811,156, 7,811,157, 7,811,158, 7,811,159, 7,811,160, 7,811,161, 7,811,162, 7,811,163, 7,811,164, 7,811,165, 7,811,166, 7,811,167, 7,811,168, 7,811,169, 7,811,170, 7,811,171, 7,811,172, 7,811,173, 7,811,174, 7,811,175, 7,811,176, 7,811,177, 7,811,178, 7,811,179, 7,811,180, 7,811,181, 7,811,182, 7,811,183, 7,811,184, 7,811,185, 7,811,186, 7,811,187, 7,811,188, 7,811,189, 7,811,190, 7,811,191, 7,811,192, 7,811,193, 7,811,194, 7,811,195, 7,811,196, 7,811,197, 7,811,198, 7,811,199, 7,811,200, 7,811,201, 7,811,202, 7,811,203, 7,811,204, 7,811,205, 7,811,206, 7,811,207, 7,811,208, 7,811,209, 7,811,210, 7,811,211, 7,811,212, 7,811,213, 7,811,214, 7,811,215, 7,811,216, 7,811,217, 7,811,218, 7,811,219, 7,811,220, 7,811,221, 7,811,222, 7,811,223, 7,811,224, 7,811,225, 7,811,226, 7,811,227, 7,811,228, 7,811,229, 7,811,230, 7,811,231, 7,811,232, 7,811,233, 7,811,234, 7,811,235, 7,811,236, 7,811,237, 7,811,238, 7,811,239, 7,811,240, 7,811,241, 7,811,242, 7,811,243, 7,811,244, 7,811,245, 7,811,246, 7,811,247, 7,811,248, 7,811,249, 7,811,250, 7,811,251, 7,811,252, 7,811,253, 7,811,254, 7,811,255, 7,811,256, 7,811,257, 7,811,258, 7,811,259, 7,811,260, 7,811,261, 7,811,262, 7,811,263, 7,811,264, 7,811,265, 7,811,266, 7,811,267, 7,811,268, 7,811,269, 7,811,270, 7,811,271, 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7,811,727, 7,811,728, 7,811,729, 7,811,730, 7,811,731, 7,811,732, 7,811,733, 7,811,734, 7,811,735, 7,811,736, 7,811,737, 7,811,738, 7,811,739, 7,811,740, 7,811,741, 7,811,742, 7,811,743, 7,811,744, 7,811,745, 7,811,746, 7,811,747, 7,811,748, 7,811,749, 7,811,750, 7,811,751, 7,811,752, 7,811,753, 7,811,754, 7,811,755, 7,811,756, 7,811,757, 7,811,758, 7,811,759, 7,811,760, 7,811,761, 7,811,762, 7,811,763, 7,811,764, 7,811,765, 7,811,766, 7,811,767, 7,811,768, 7,811,769, 7,811,770, 7,811,771, 7,811,772, 7,811,773, 7,811,774, 7,811,775, 7,811,776, 7,811,777, 7,811,778, 7,811,779, 7,811,780, 7,811,781, 7,811,782, 7,811,783, 7,811,784, 7,811,785, 7,811,786, 7,811,787, 7,811,788, 7,811,789, 7,811,790, 7,811,791, 7,811,792, 7,811,793, 7,811,794, 7,811,795, 7,811,796, 7,811,797, 7,811,798, 7,811,799, 7,811,800, 7,811,801, 7,811,802, 7,811,803, 7,811,804, 7,811,805, 7,811,806, 7,811,807, 7,811,808, 7,811,809, 7,811,810, 7,811,811, 7,811,812, 7,811,813, 7,811,814, 7,811,815, 7,811,816, 7,811,817, 7,811,818, 7,811,819, 7,811,820, 7,811,821, 7,811,822, 7,811,823, 7,811,824, 7,811,825, 7,811,826, 7,811,827, 7,811,828, 7,811,829, 7,811,830, 7,811,831, 7,811,832, 7,811,833, 7,811,834, 7,811,835, 7,811,836, 7,811,837, 7,811,838, 7,811,839, 7,811,840, 7,811,841, 7,811,842, 7,811,843, 7,811,844, 7,811,845, 7,811,846, 7,811,847, 7,811,848, 7,811,849, 7,811,850, 7,811,851, 7,811,852, 7,811,853, 7,811,854, 7,811,855, 7,811,856, 7,811,857, 7,811,858, 7,811,859, 7,811,860, 7,811,861, 7,811,862, 7,811,863, 7,811,864, 7,811,865, 7,811,866, 7,811,867, 7,811,868, 7,811,869, 7,811,870, 7,811,871, 7,811,872, 7,811,873, 7,811,874, 7,811,875, 7,811,876, 7,811,877, 7,811,878, 7,811,879, 7,811,880, 7,811,881, 7,811,882, 7,811,883, 7,811,884, 7,811,885, 7,811,886, 7,811,887, 7,811,888, 7,811,889, 7,811,890, 7,811,891, 7,811,892, 7,811,893, 7,811,894, 7,811,895, 7,811,896, 7,811,897, 7,811,898, 7,811,899, 7,811,900, 7,811,901, 7,811,902, 7,811,903, 7,811,904, 7,811,905, 7,811,906, 7,811,907, 7,811,908, 7,811,909, 7,811,910, 7,811,911, 7,811,912, 7,811,913, 7,811,914, 7,811,915, 7,811,916, 7,811,917, 7,811,918, 7,811,919, 7,811,920, 7,811,921, 7,811,922, 7,811,923, 7,811,924, 7,811,925, 7,811,926, 7,811,927, 7,811,928, 7,811,929, 7,811,930, 7,811,931, 7,811,932, 7,811,933, 7,811,934, 7,811,935, 7,811,936, 7,811,937, 7,811,938, 7,811,939, 7,811,940, 7,811,941, 7,811,942, 7,811,943, 7,811,944, 7,811,945, 7,811,946, 7,811,947, 7,811,948, 7,811,949, 7,811,950, 7,811,951, 7,811,952, 7,811,953, 7,811,954, 7,811,955, 7,811,956, 7,811,957, 7,811,958, 7,811,959, 7,811,960, 7,811,961, 7,811,962, 7,811,963, 7,811,964, 7,811,965, 7,811,966, 7,811,967, 7,811,968, 7,811,969, 7,811,970, 7,811,971, 7,811,972, 7,811,973, 7,811,974, 7,811,975, 7,811,976, 7,811,977, 7,811,978, 7,811,979, 7,811,980, 7,811,981, 7,811,982, 7,811,983, 7,811,984, 7,811,985, 7,811,986, 7,811,987, 7,811,988, 7,811,989, 7,811,990, 7,811,991, 7,811,992, 7,811,993, 7,811,994, 7,811,995, 7,811,996, 7,811,997, 7,811,998, 7,811,999, 7,811,1000.

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com

9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

ODOT MANUFACTURED SYSTEMS
TYPE 2 TREATMENT UNIT
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STANDARD DETAIL



ECS Midwest LLC

Updated Geotechnical Engineering Report

Carter Road Subdivision No. 1 (Lake Link Homes Phase I)

Carter Road, East of Columbus Road
Cleveland, Ohio 44113

ECS Project Number: 67:1367

March 23, 2023



March 23, 2023

Mr. Keith Brown
Lake Link LLC
4001 Detroit Avenue
Cleveland, OH 44113

ECS Project No. 67:1367

Reference: Updated Geotechnical Engineering Report
Carter Road Subdivision No. 1 (Lake Link Homes Phase I)
Carter Road, East of Columbus Road
Cleveland, Ohio 44113

Dear Mr. Brown:

In 2016, Solar Testing Laboratories, Inc. (STL), now a part of ECS Midwest, LLC (ECS) completed the subsurface exploration, laboratory testing, and geotechnical engineering analyses for the above-referenced project. Our initial services were performed in general accordance with STL Proposal Number P16-03-031D28, dated April 21, 2016. STL issued a Slope Stability Evaluation report dated July 15, 2016, under project number S016375x10. This report has been prepared to update the previous report to reflect the current layout of the sublots within the subject subdivision. This updated report presents our understanding of the geotechnical aspects of the project, the results of the field exploration and laboratory testing, and our revised design and construction recommendations.

This report has also been prepared to address the planning and preliminary design requirements issued by the City of Cleveland in the document titled *W19th_W20th_planning and preliminary design.pdf*. This report includes the required elements of City of Cleveland, Planning and Preliminary Design Requirements Item 13.

It has been our pleasure to be of service to you during the early design phase of this project. We would appreciate the opportunity to remain involved during the continuation of the design phase for each of the single-family homes to be constructed, and we would like to provide our services during construction phase operations as well to verify subsurface conditions assumed for this report. Should you have any questions concerning the information contained in this report, or if we can be of further assistance to you, please contact us.

Respectfully submitted,

ECS Midwest, LLC

Mark R. Recktenwald, P.E.

Geotechnical Department Manager

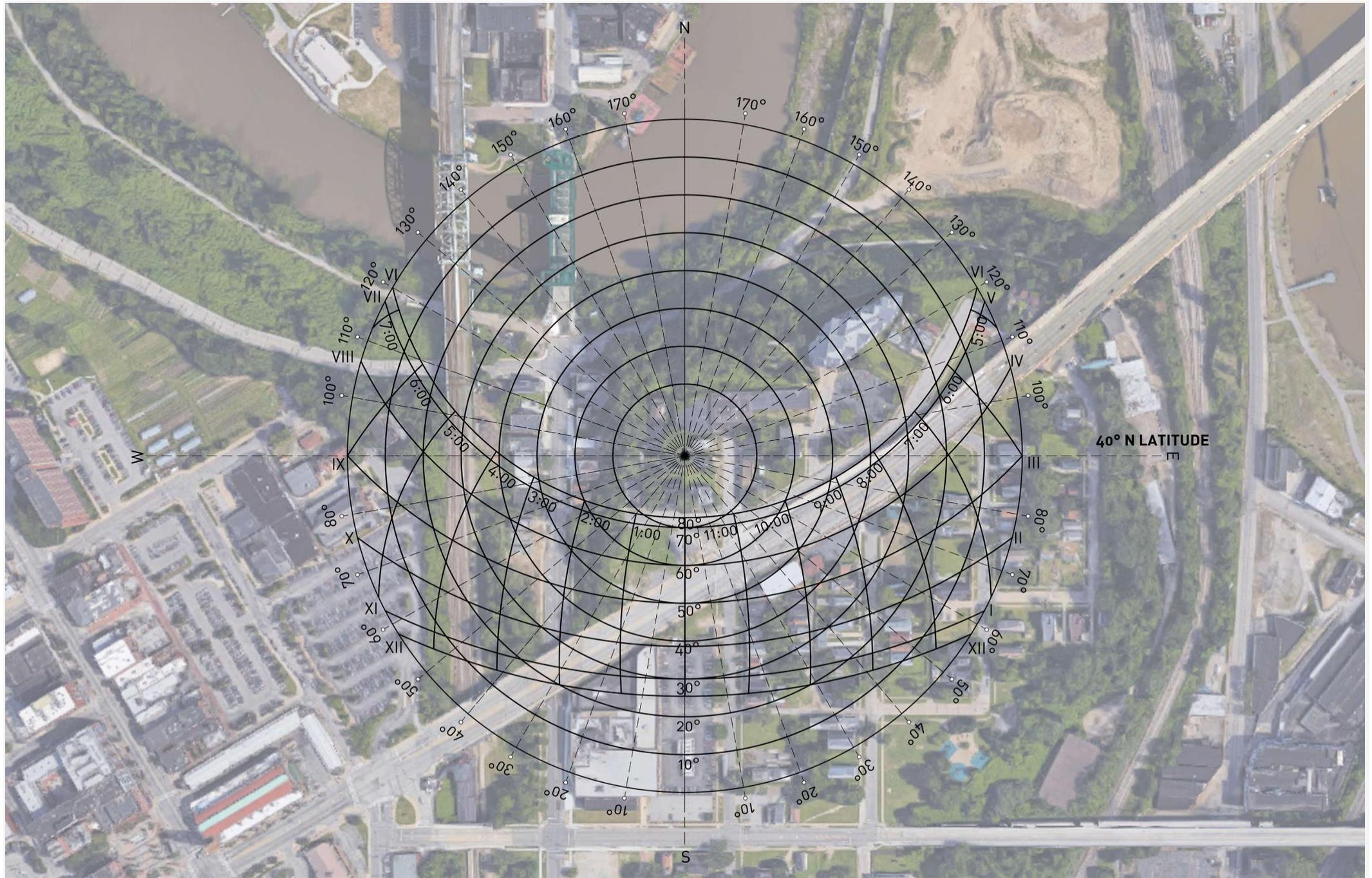
MRecktenwald@ecslimited.com

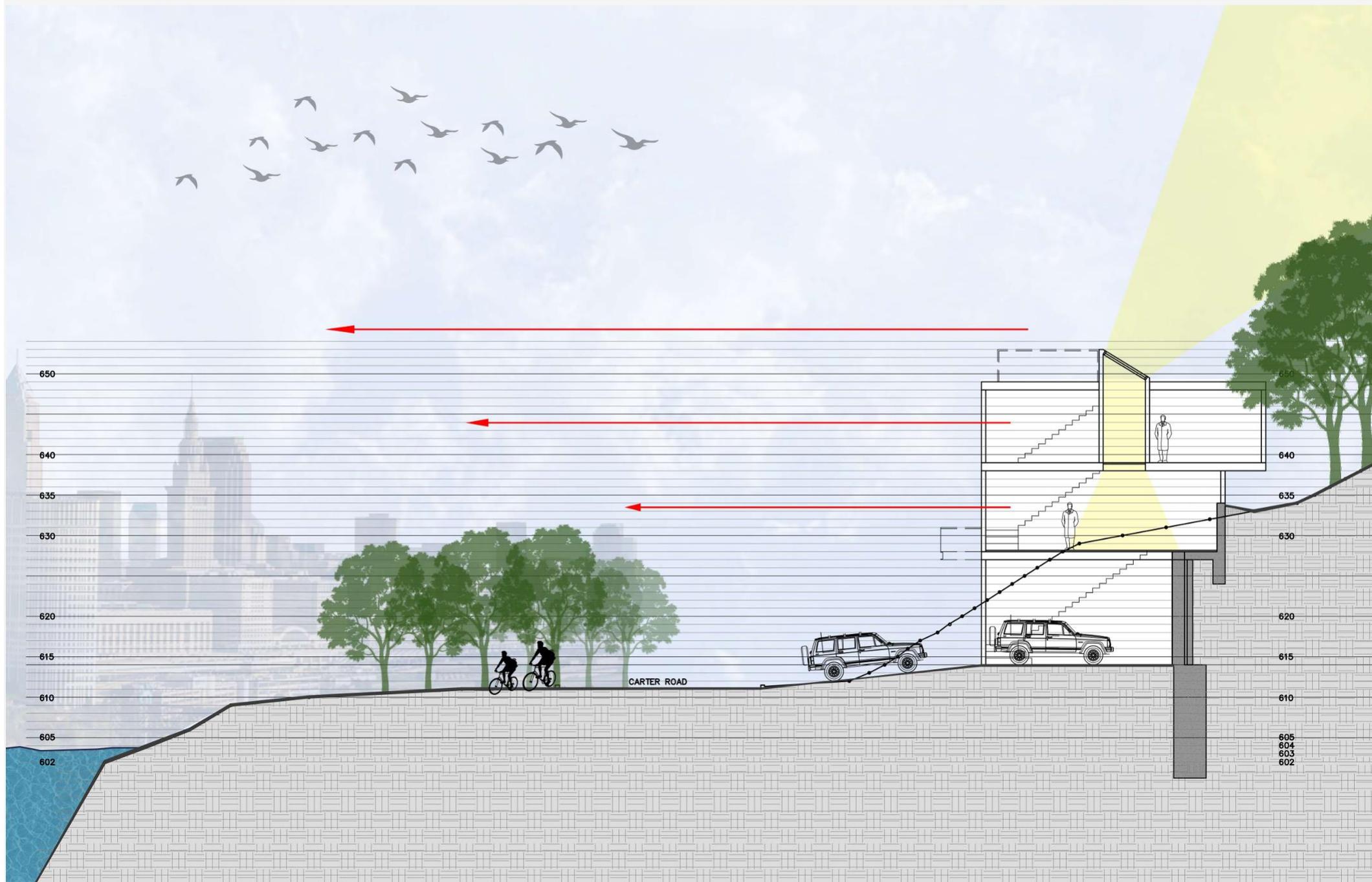
671367 Updated Geotechnical Report Rev05.docx













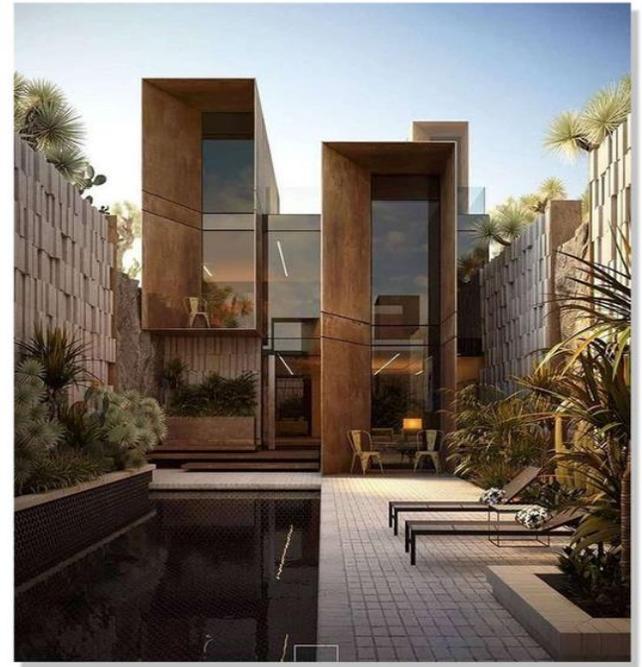
Post Industrial



pay homage to cleveland's history

celebrate it's rebirth

honor the hard work of your family



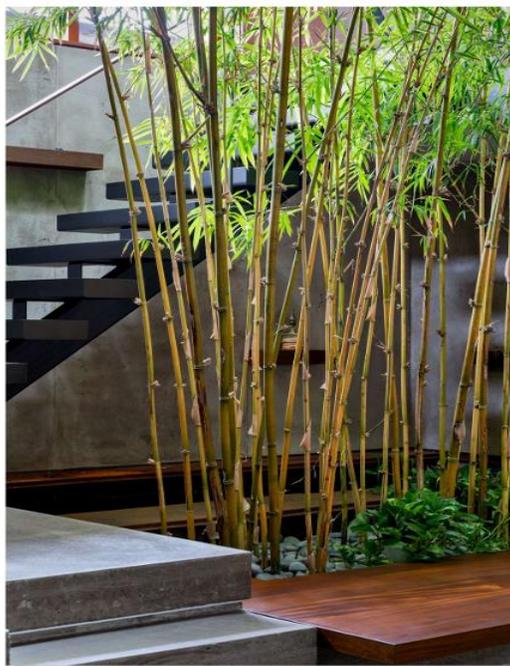
Multiculturalism



celebrating diversity

honoring ansestry & traditions

tell the story of your adventures



Gogi-gui



food brings us together

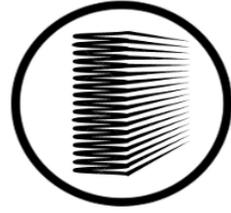
the preparation is cathartic

the celebration is what memories are made of





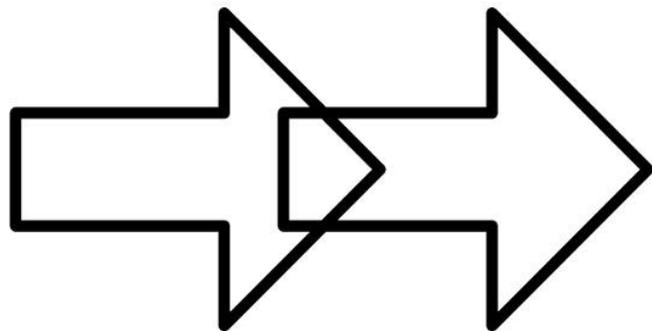
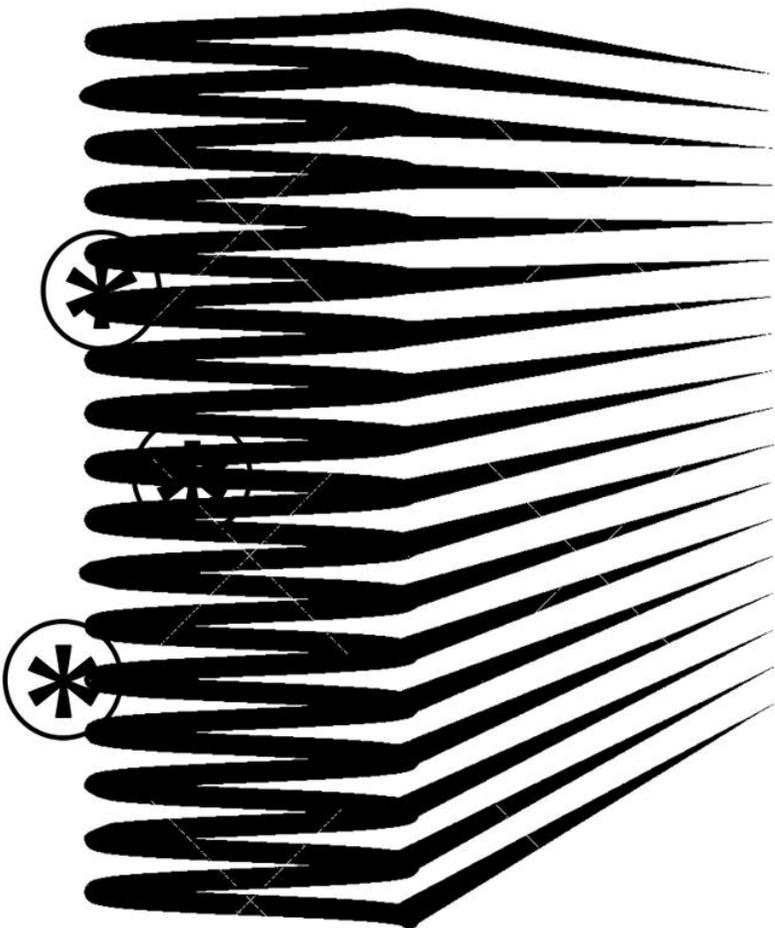
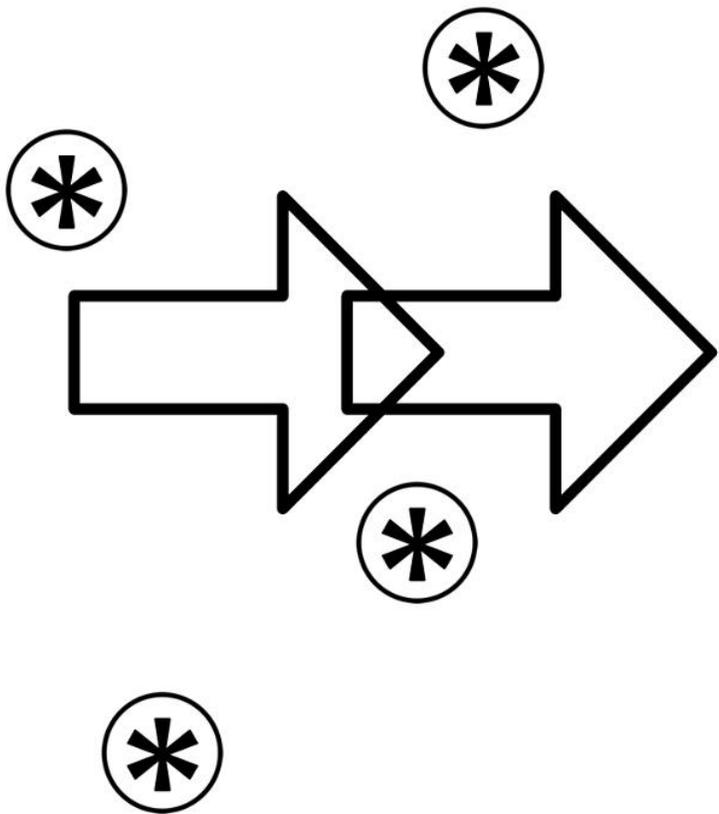
Filtered Zen

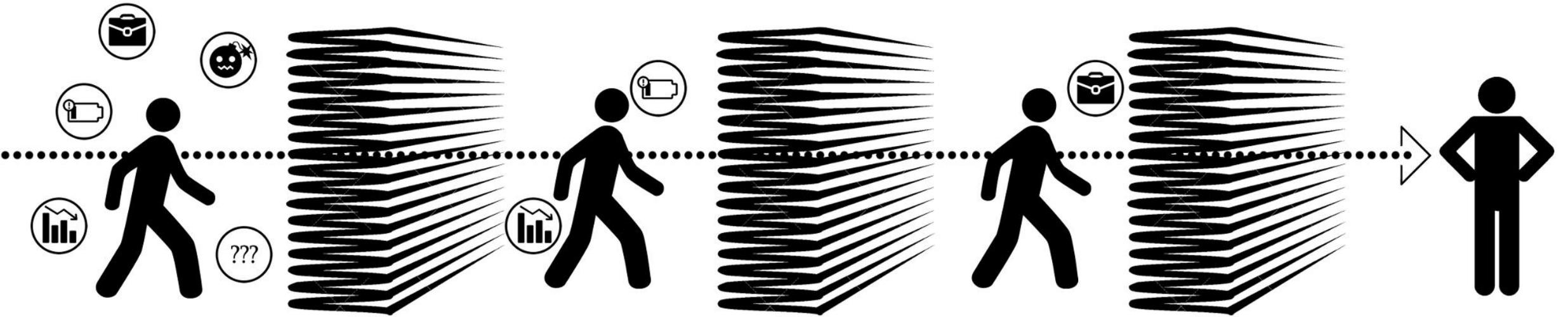


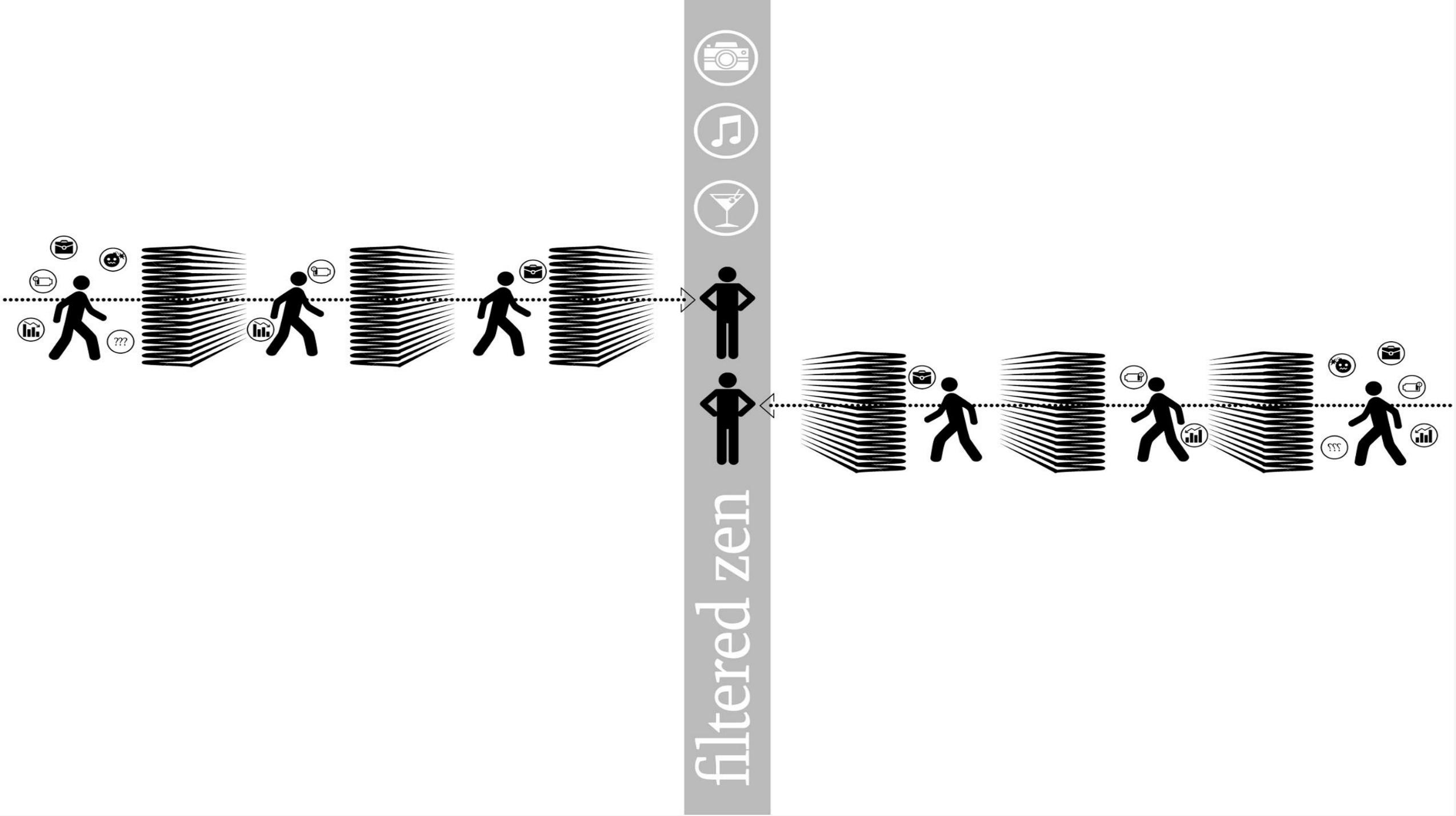
decompression sequencing

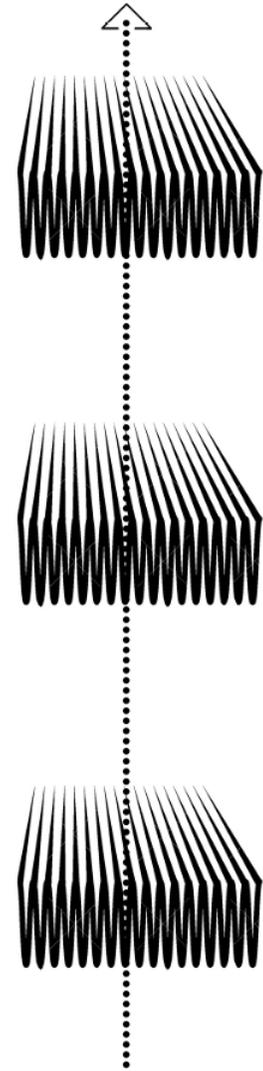
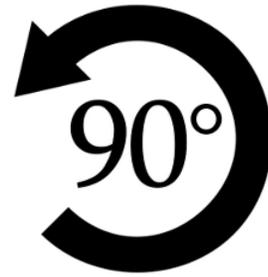
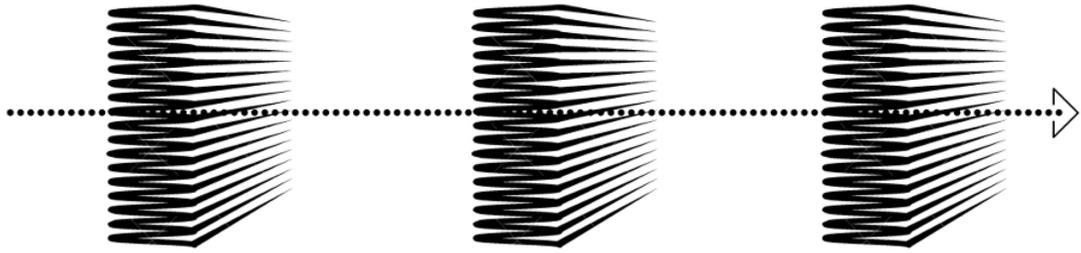
a filtering process to shed daily stresses

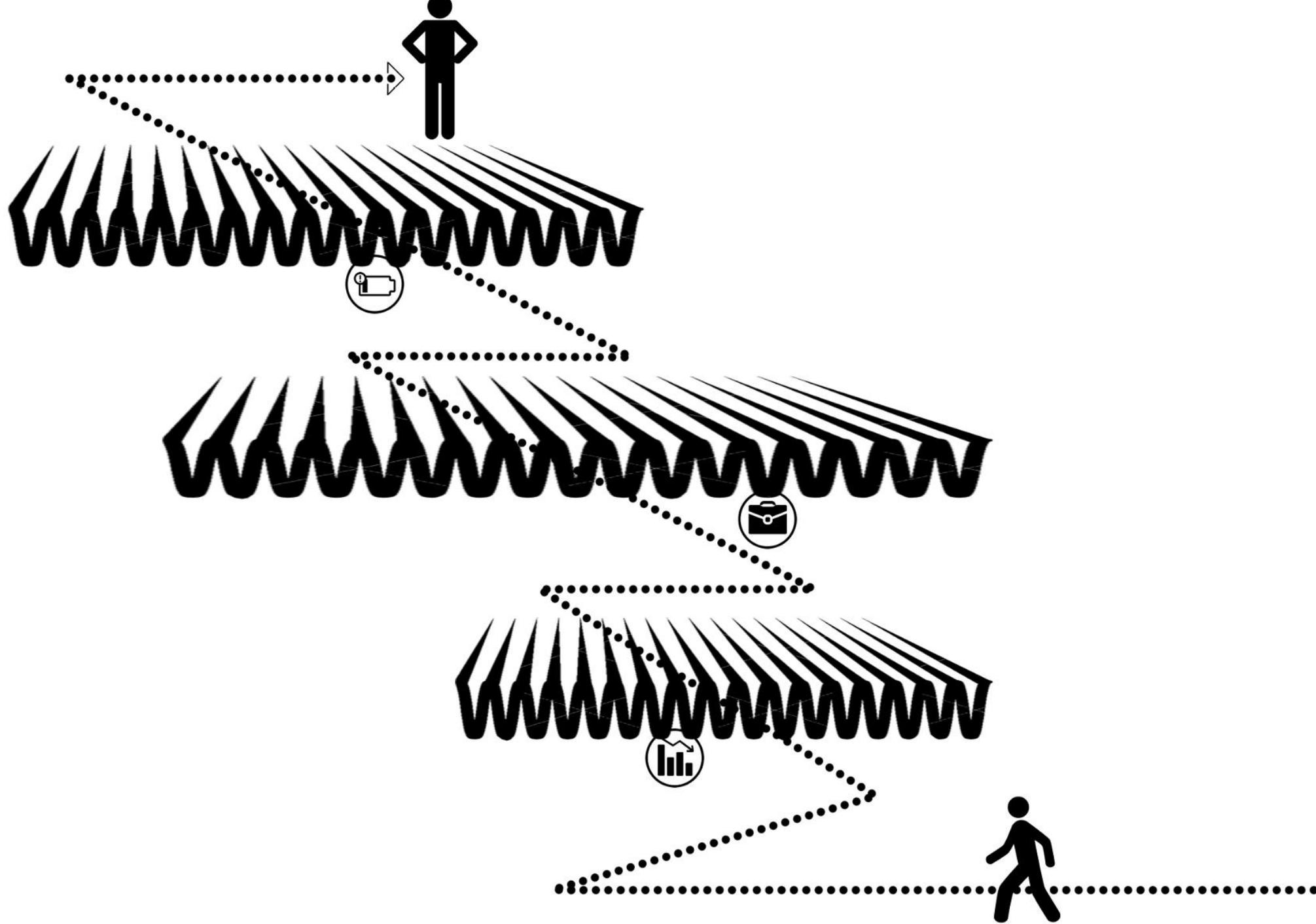
culminates in stress-free, quiet places to relax together

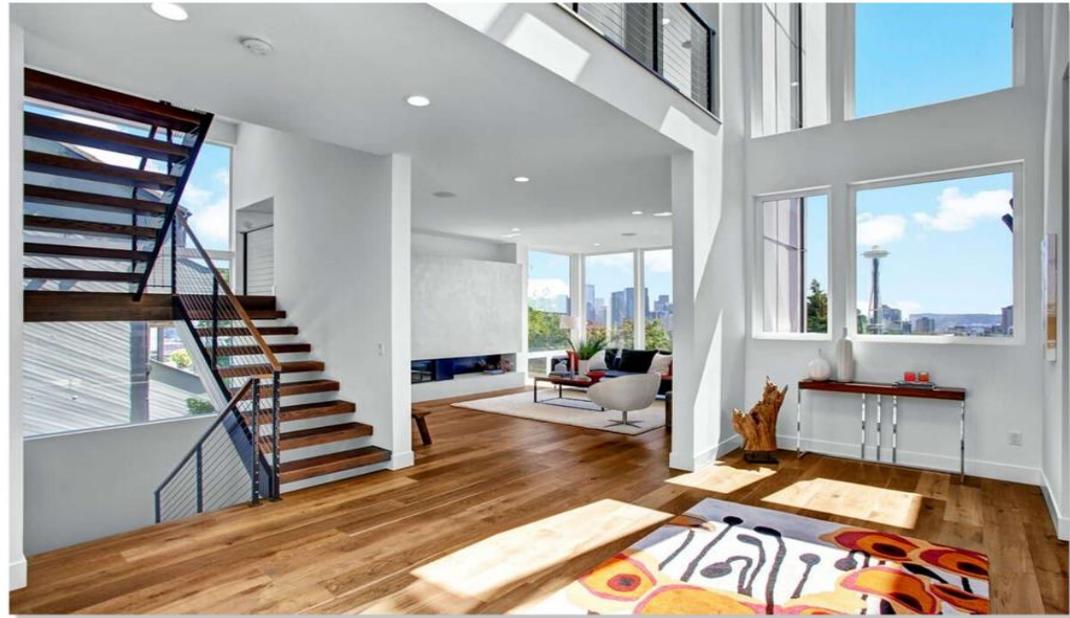


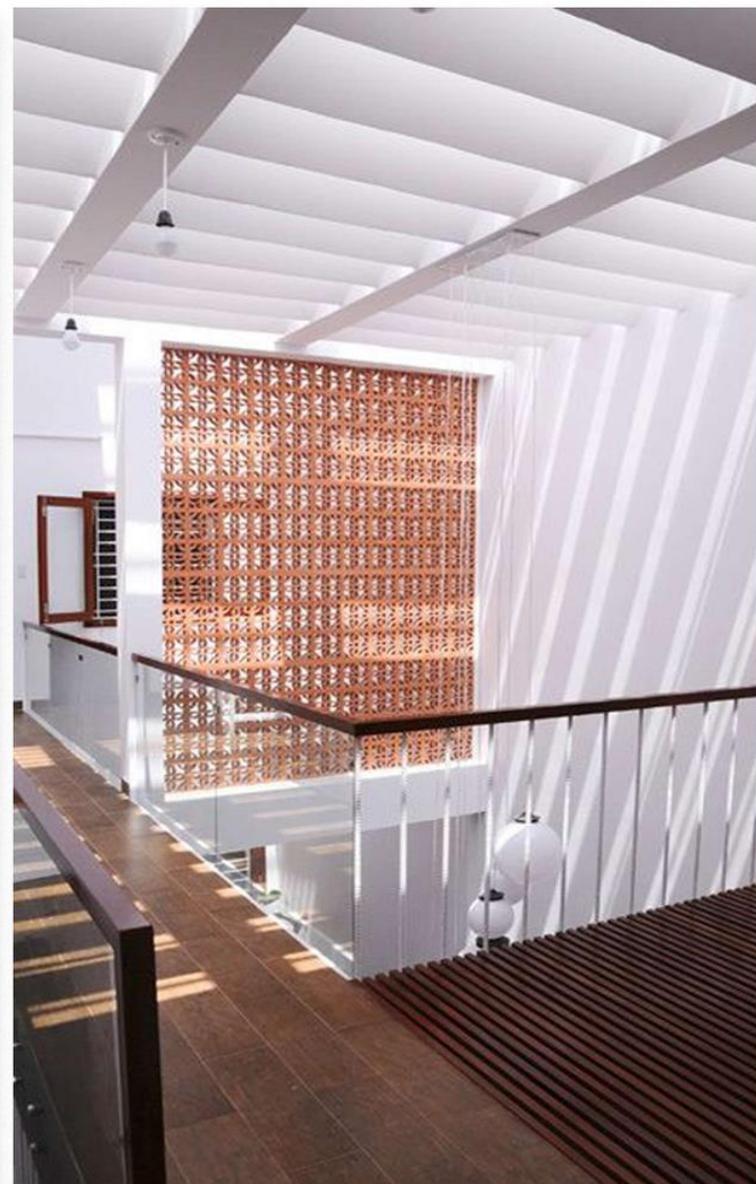
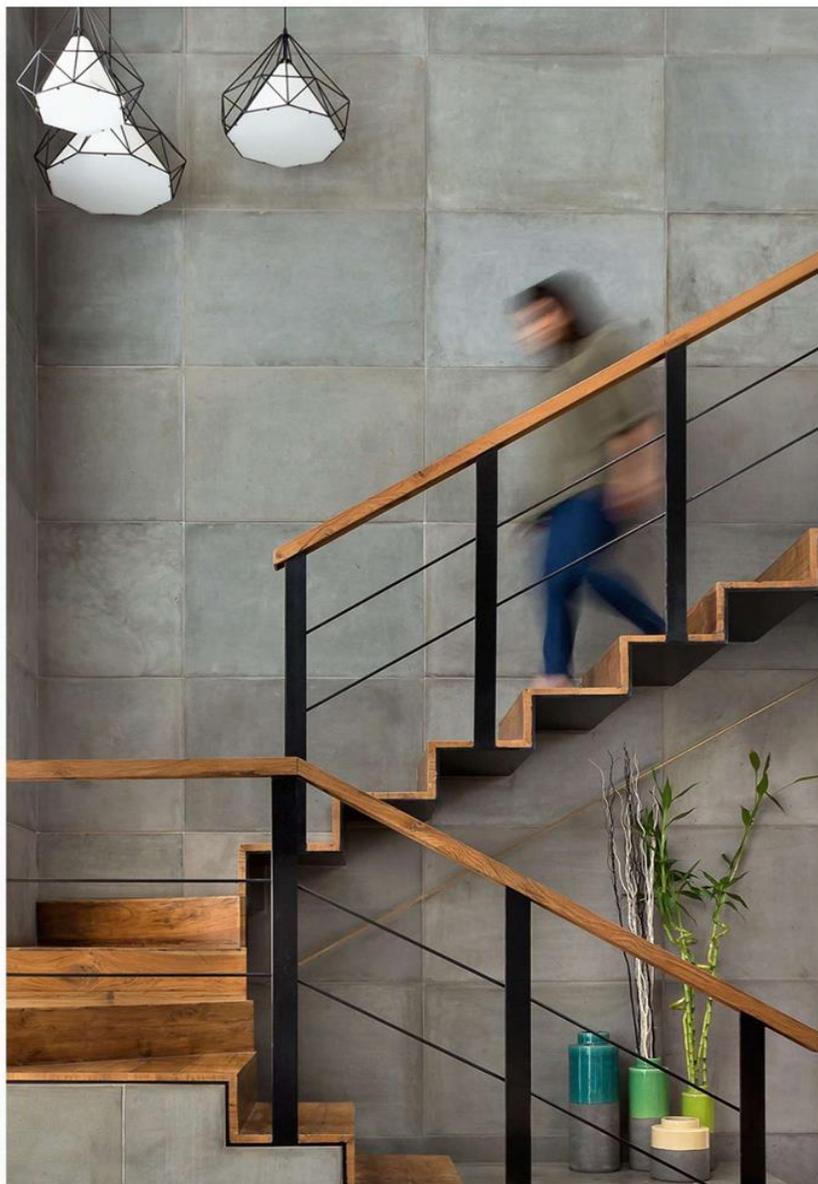
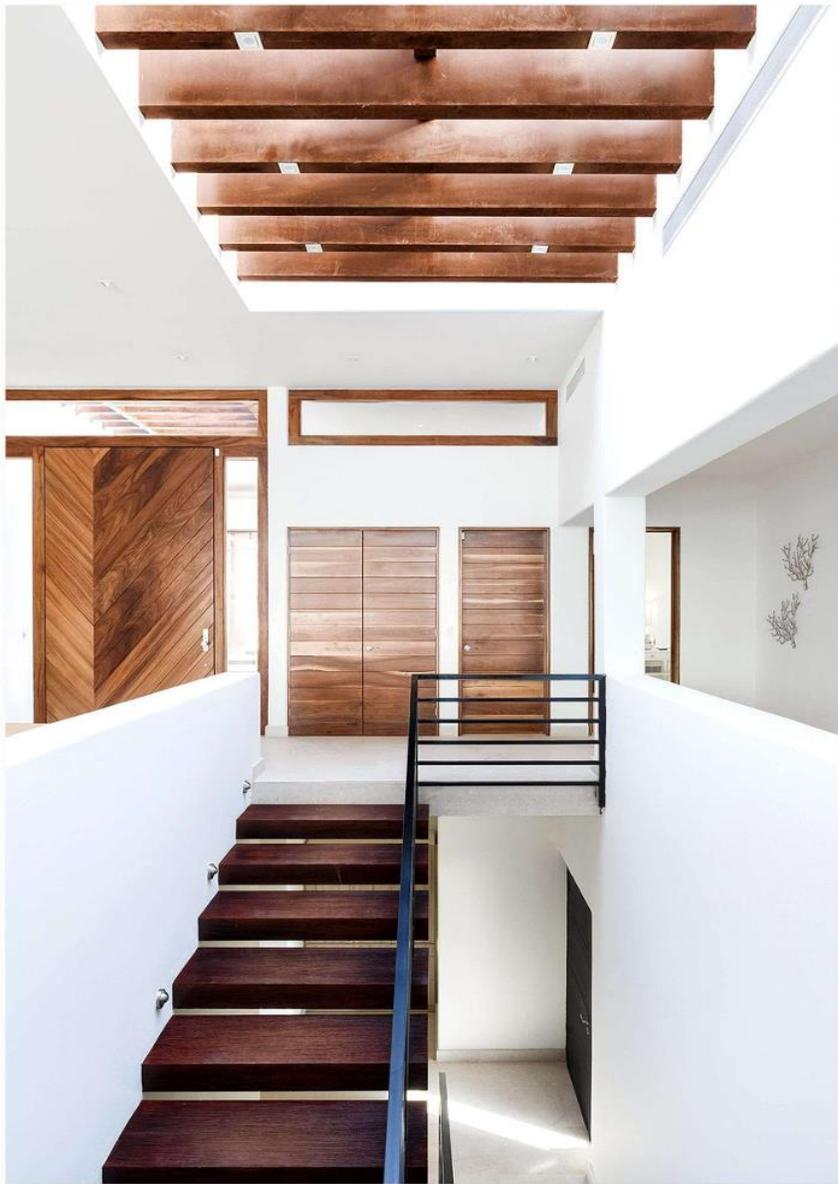




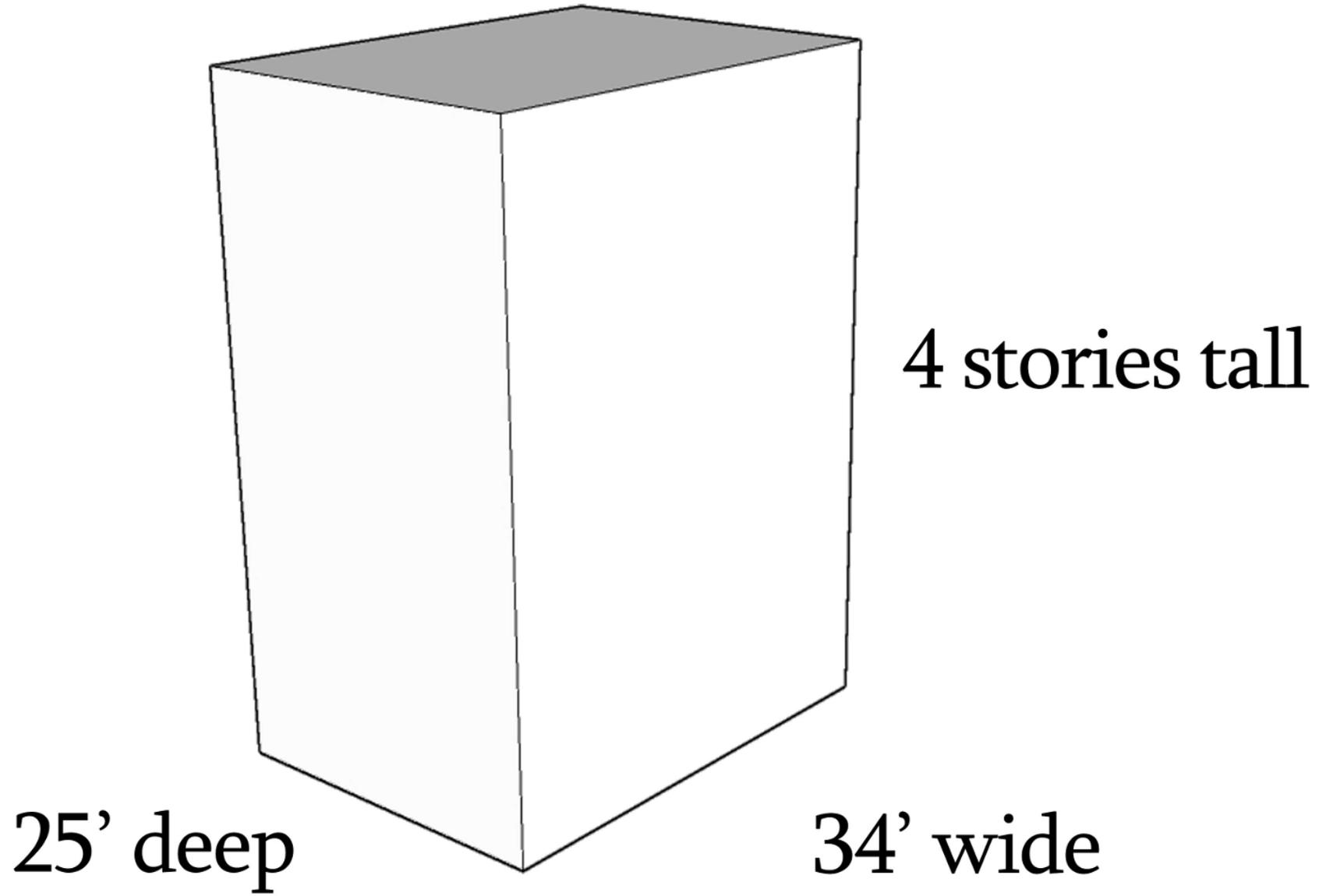








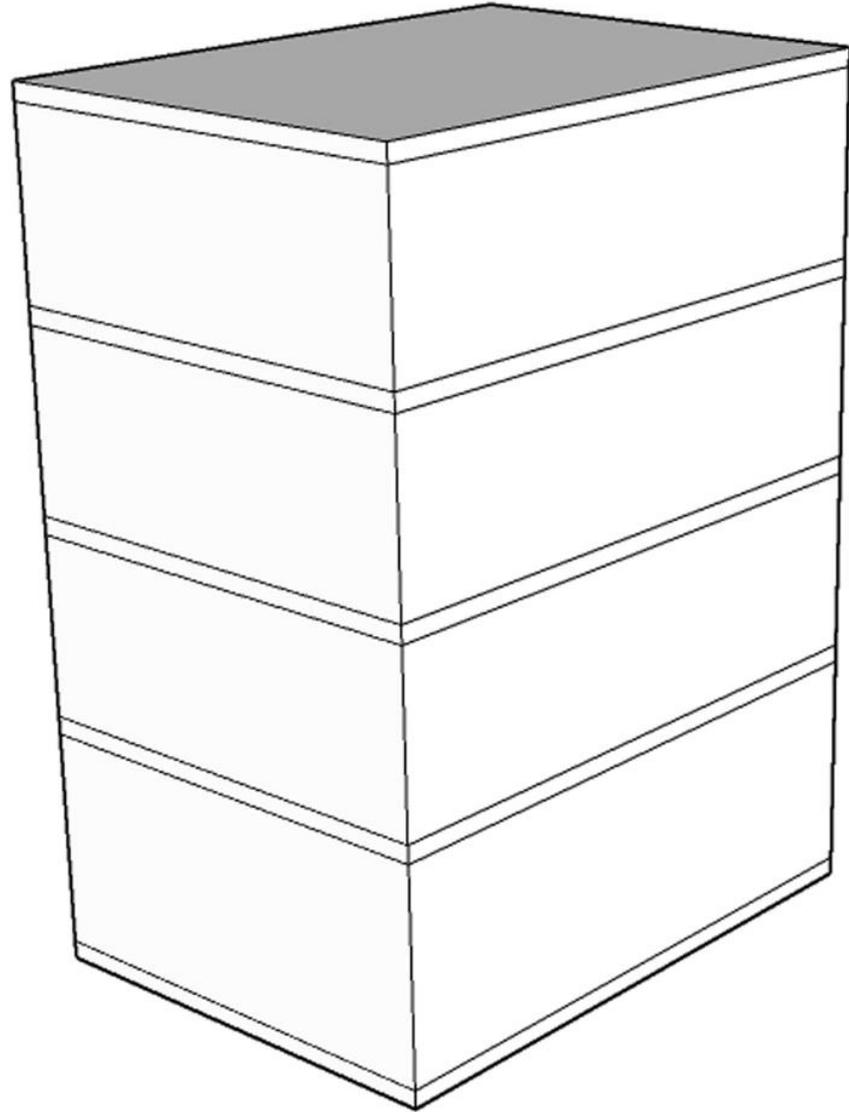




25' deep

34' wide

4 stories tall

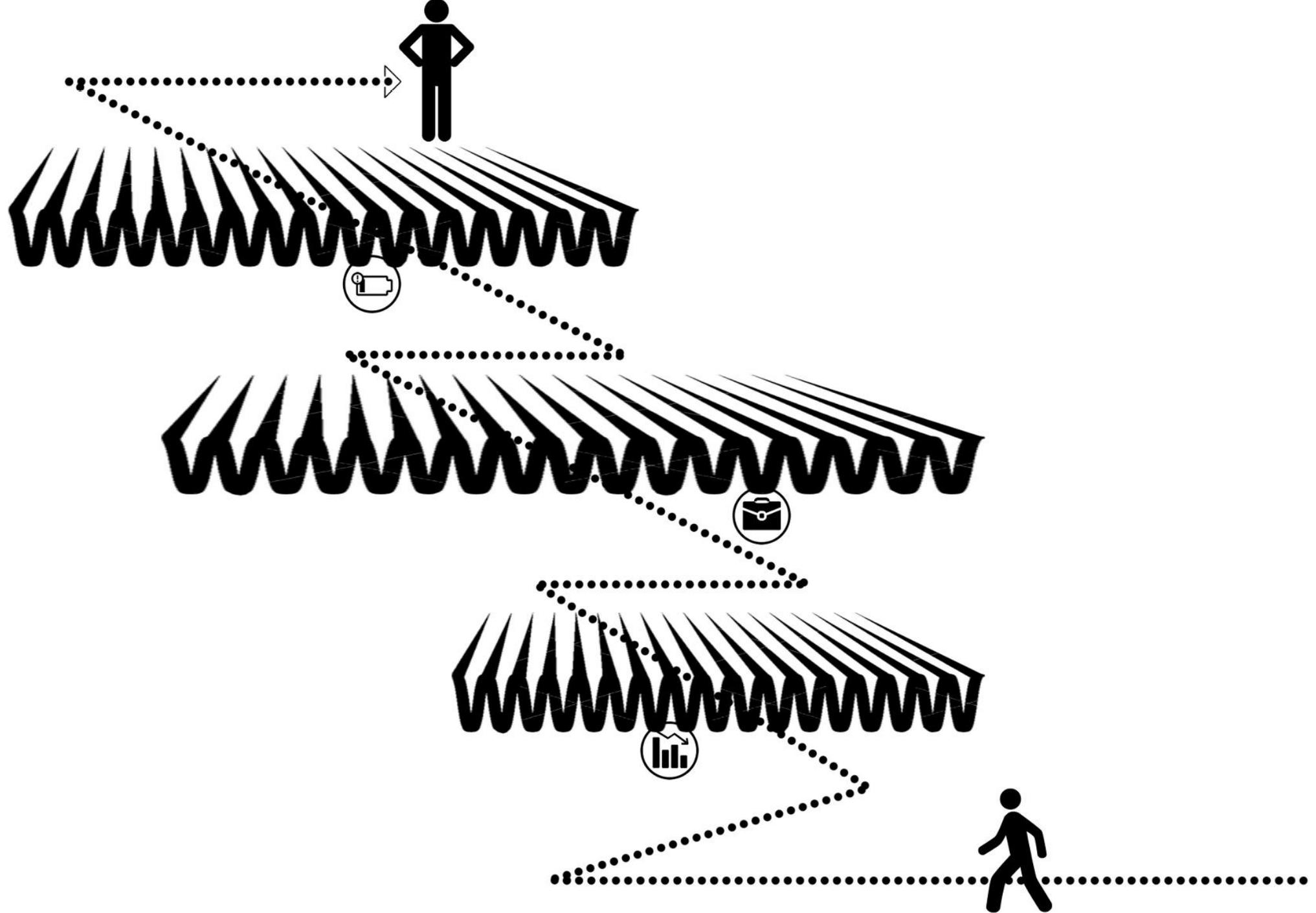


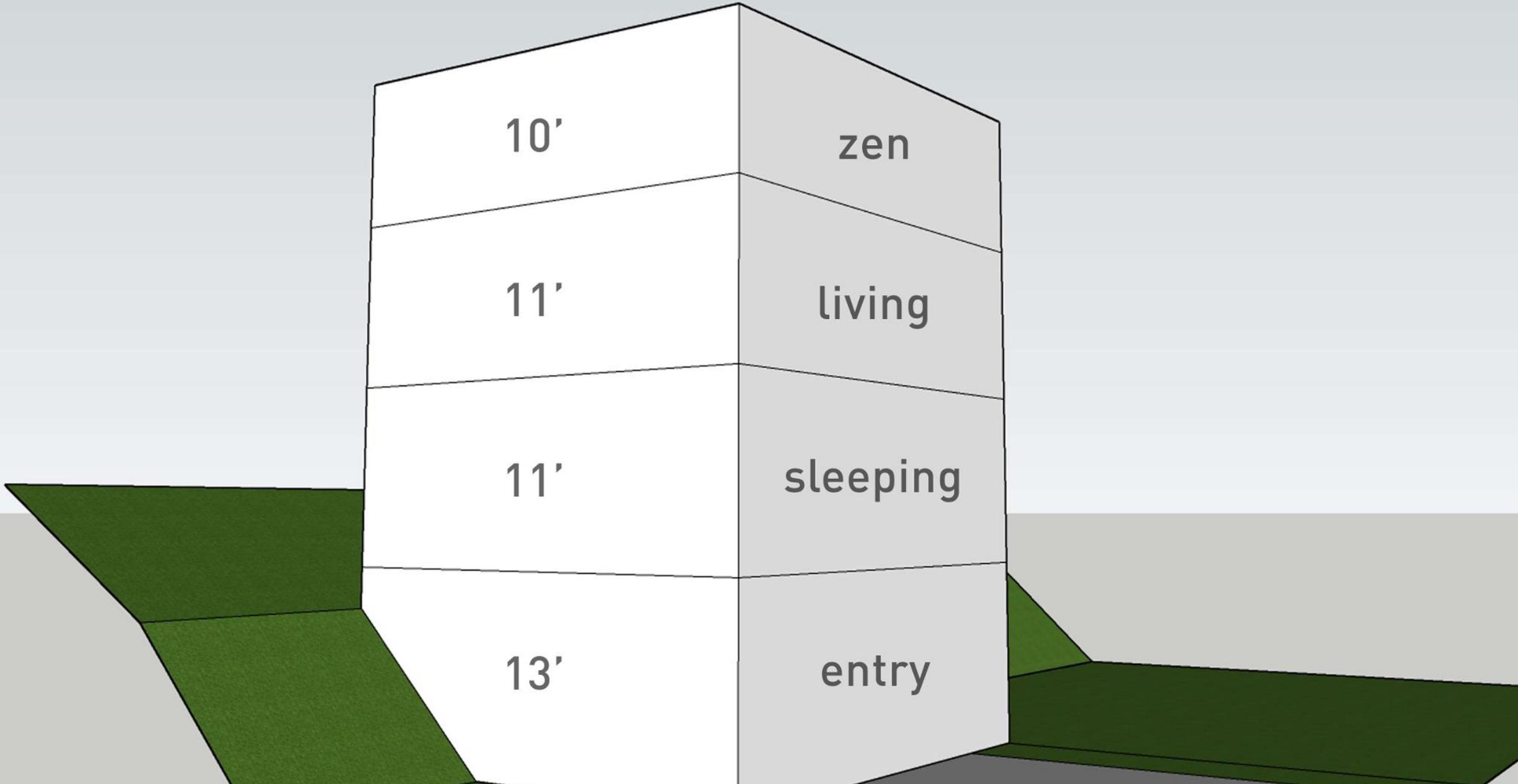
fourth : zen

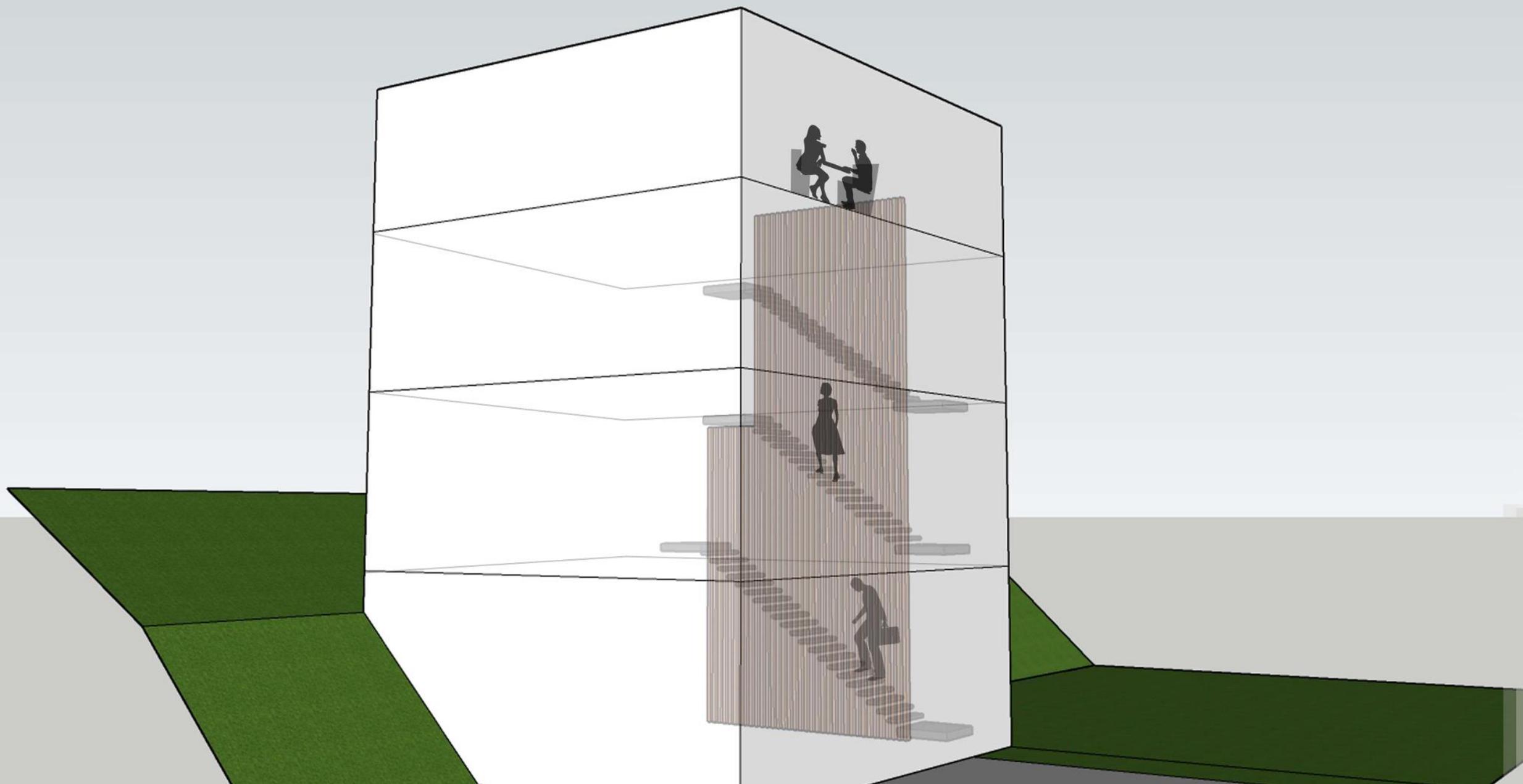
third : living

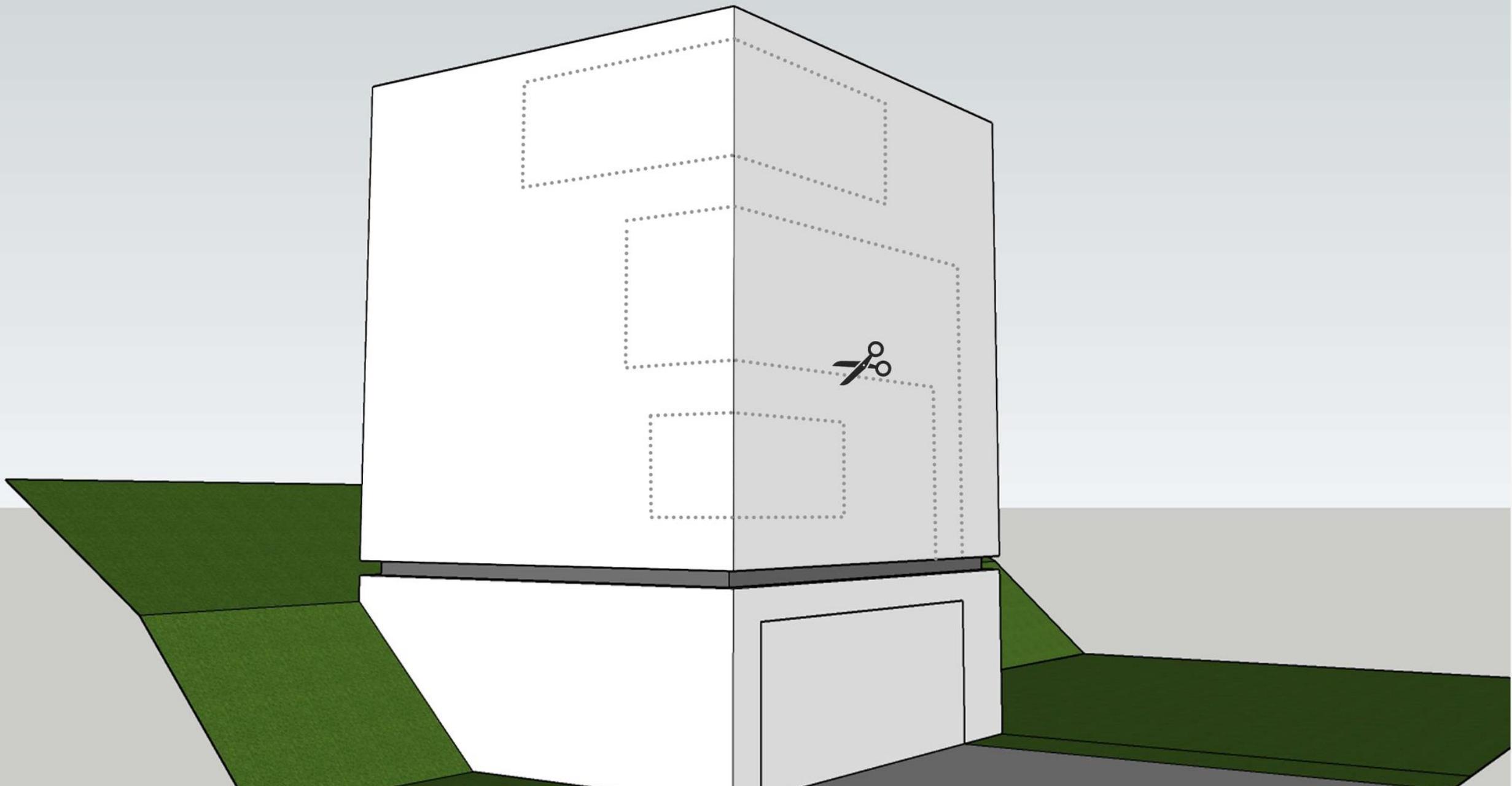
second : sleeping

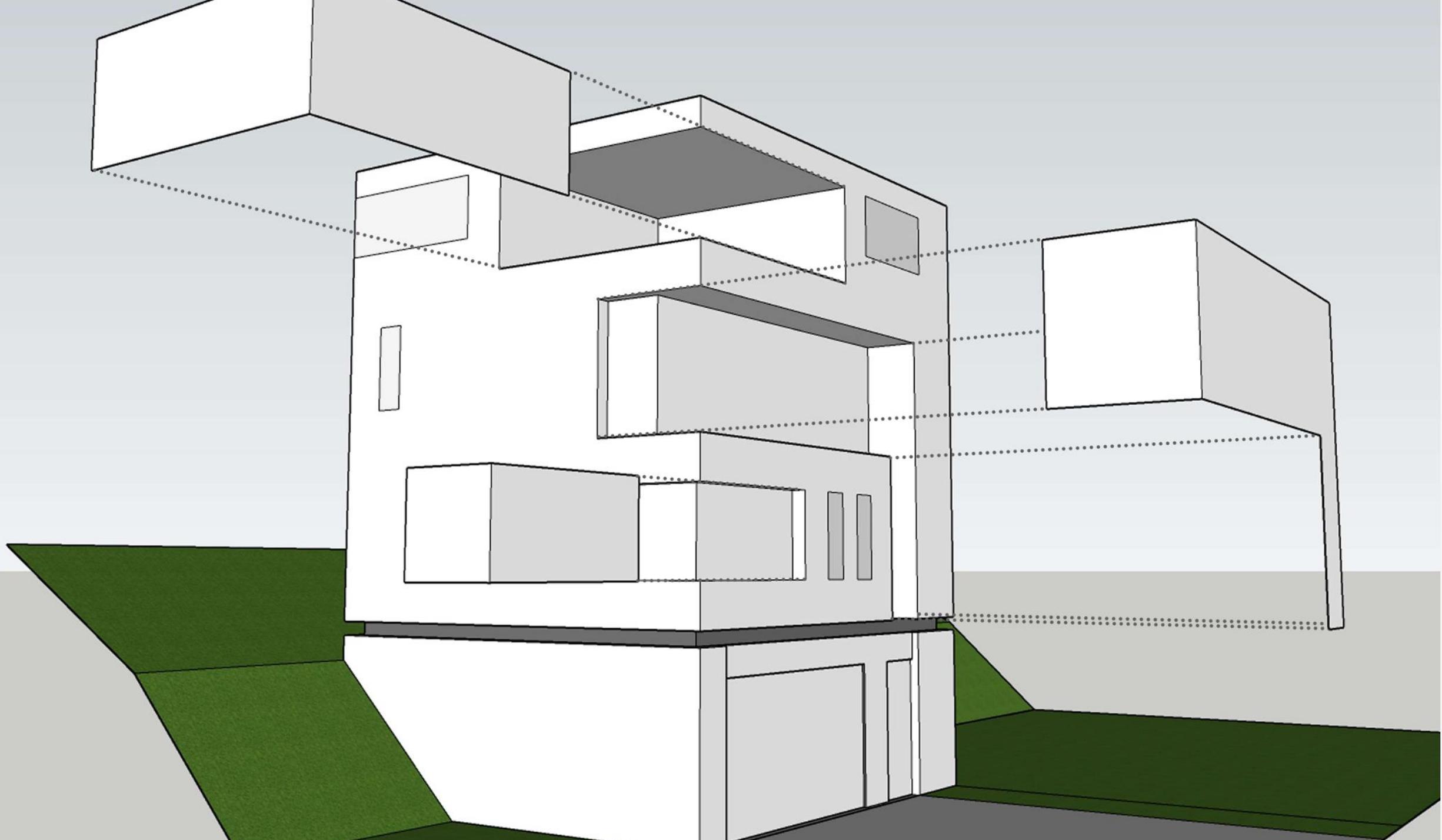
ground : garage / entry



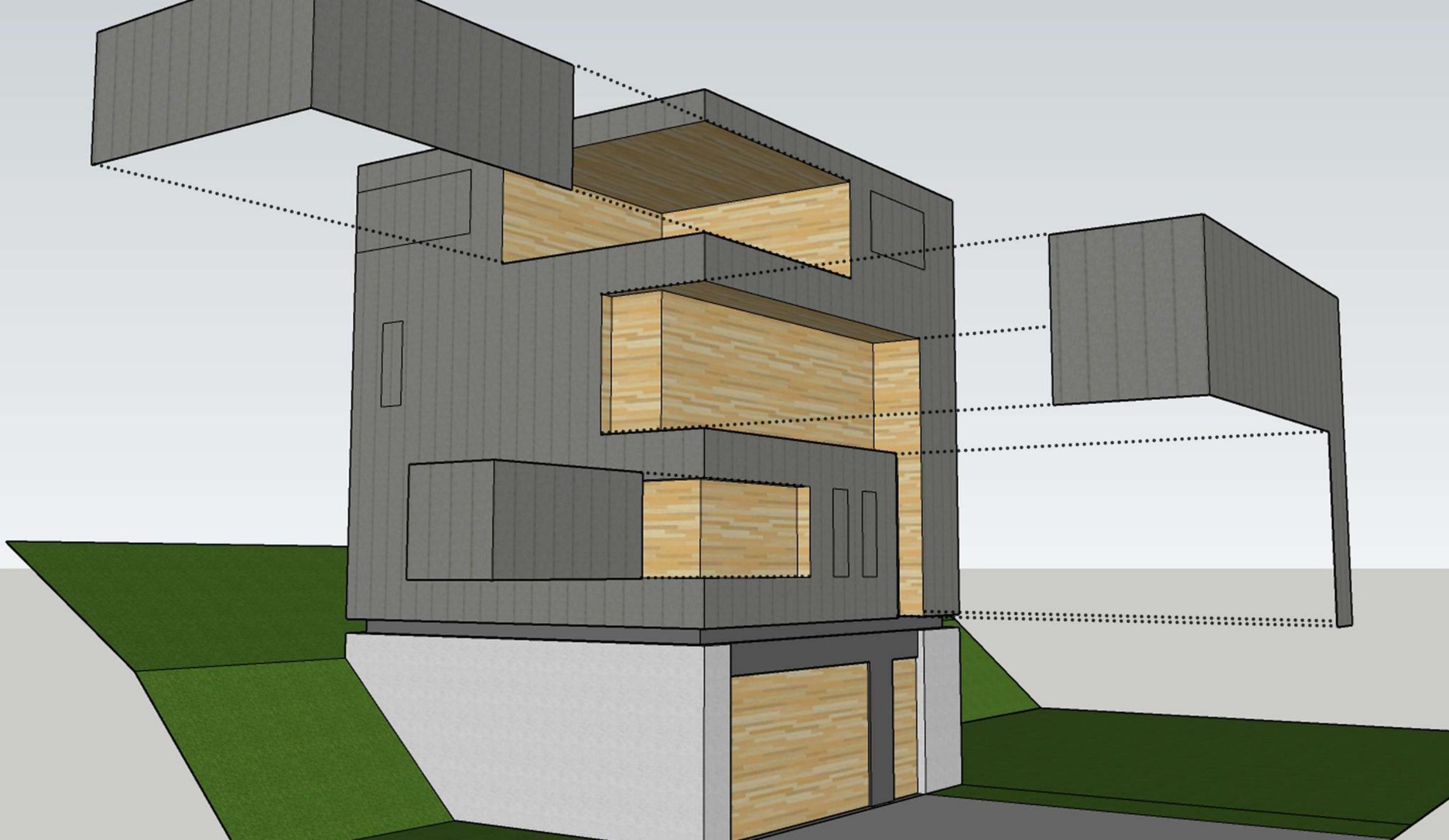


















TRUSS CONNECTOR:

Use Simpson Strong-Tie H2S, H4, or H5 at all truss design bearing points at exterior.

NOTES:

- Contractor to verify truss dimensions prior to ordering / construction.
- Permanent pre-engineered wood truss bracing and anchorage to be provided in accordance with OBC.

TRUSS BRACING NOTES:

- All bracing shown or described shall be minimum 2x4 with [2] - 16D in every truss it crosses.
- All truss top chords shall be continuously braced.
- All truss web members shall be braced at 4'-0" O.C. unless calculations from pre-engineered truss drawings show otherwise.
- All horizontal bracing shall be stiffened @ 20'-0"
 - Diagonal Bracing extended to a shear wall parallel to the original bracing.
 - 1/2" Plywood sheet extended to roof deck.
- All horizontal bracing shall be braced @ 6'-0" O.C. unless calculations from pre-engineered truss draw

NOTE: All truss bracing shall be provided as designed per the pre-engineered truss manufacturer.

GENERAL ROOF NOTES:

- Contractor shall supply all tapered insulation as required to achieve roof slopes as detailed on drawing. Roof to maintain a minimum of R19 at all locations.
- Coordinate mechanical/pumbing equipment such as fans, vent pipe penetrations, roof drains, and other misc. roof penetrations with mechanical drawings.
- Patch roof deck as required by fully welding new roof deck to existing.
- All existing roof drain locations and associated piping are to remain. Refer to pumbing drawings for new work. (DRD) indicates exist. roof drain location. (RD) indicates new roof drain location. (DD) indicates new overflow roof drain locations. (D.S.) indicates new down spouts.
- Slope all rigid insulation positively to drain, minimum slope 1/4" per foot. Slope all roof crickets a minimum of 1/2" per foot. Provide tapered insulation as necessary.
- Dimension of ice and water guard location measured parallel with roof slope, 3'-0" min.
- RUBBER FOOTING**
Membrane roofs to receive firestone "rubbergard" a fully adhered 60 mil EPDM roof with fasteners, plates and sealer, or approved equal. Install per MFG. specifications and recommended details. See details below for typical installation conditions.
EPDM roof to be installed by a firestone approved installer.
EPDM membrane to be fully adhered to min. 1" isoply insulation, mechanically fastened to min. 3/4" T&G plywood with fasteners in compliance with FM4470 for corrosion resistance. Use metal plates profiled to allow fasteners to be recessed. Follow manufacturer's specs and recommendations.
Follow manufacturer's recommendations for edge treatment of installed EPDM membrane.
Installer to provide min 5 year warranty.
- 6" ALUMINUM BOX GUTTER**
D.S. Indicates down spout location.
- ASPHALT SHINGLE ROOFING**
Durostar Asphalt Shingle by Owens Corning;
Color: Dryx Black
- NOTE:** Dimensions of skylight are provided from outside of frame to outside of frame.

ROOF LEGEND:

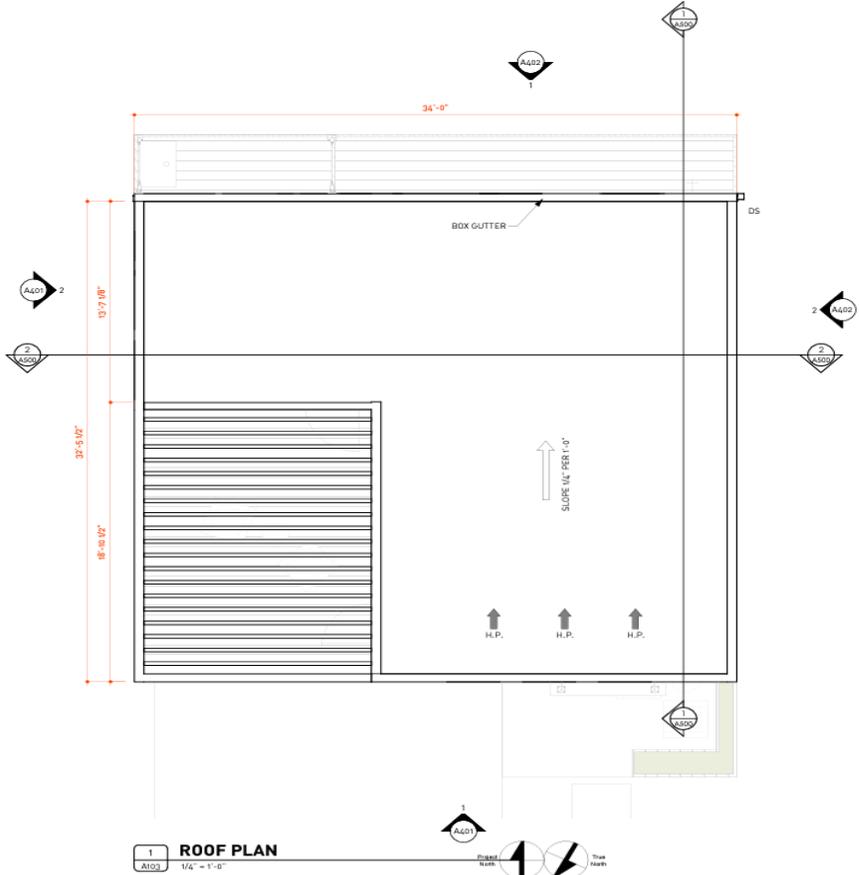
-  NEW MEMBRANE ROOF SYSTEM
-  ICE & WATER GUARD AT EAVES
-  CRICKET/TAPERED ROOF INSULATION
-  ROOF WALKWAY PADS



14394 DETROIT AVE
LAKEWOOD, OH 44107
P. 216.771.1920
W. ADDKINC.COM

PROGRESS SET

CHAPMAN + SUNG RESIDENCE
LOT 12
CARTER ROAD DEVELOPMENT
CLEVELAND, OH 44113



1 ROOF PLAN
A103 1/4" = 1'-0"

REPRICING SET 02.28.2022

PROJECT NUMBER: 2021-03

ROOF PLAN
A103

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Model Home For Reference





















**SITE PLAN
OF
SUBLOT 11
CARTER ROAD**

PERMANENT PARCEL NUMBER 004-026-039
 STREET ADDRESS CARTER ROAD
 PART OF ORIGINAL BROOKLYN TOWNSHIP LOT 70
 IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
 PREPARED FOR CIVIC BUILDERS

T.B.M. ELEVATION 618.41'
 T.B.M. LOCATION TOP NUT HYDRANT
 FN. FIRST FLOOR EL. 618.50' FN. BASEMENT FLOOR EL. _____
 TOP OF FOOTER EL. _____ FN. GARAGE FLOOR EL. 617.50'
 SAN. CONN. EL. FIELD VERIFY STM. CONN. EL. FIELD VERIFY

CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:

A. FN. FLOOR ELEVATION & HOUSE DIMENSIONS
 B. LOCATION & ELEVATIONS OF EXISTING UTILITY CONNECTIONS

SIDEWALKS TO BE 4" THICK CONCRETE EXCEPT AT DRIVE APRON WHICH IS TO BE 6" THICK CONCRETE.

EXISTING SEWER CONNECTIONS CAN ONLY BE USED IF THEY ARE IN GOOD WORKING CONDITION. THE CITY SHALL DECIDE ON THE CONDITION OF EXISTING CONNECTIONS.

- THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF W.P.C., BEFORE PERFORMING THE SEWER WORK.
- THE CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER WORK WITH CLEVELAND WATER DEPARTMENT PRIOR TO CONSTRUCTION. ANY EXISTING INACTIVE WATER CONNECTIONS ALONG PROPERTY FRONTAGE SHALL BE PLUGGED PER CWD STANDARDS. CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES.
- WATER CONNECTION TO BE INSTALLED PER CWD STANDARDS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONNECTION. CONTRACTOR TO COORDINATE WITH DWD.
 - THE CONTRACTOR IS RESPONSIBLE TO VERIFY INVERT OF EXISTING SEWER AT CONNECTION POINT PRIOR TO ANY CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ALL FINDINGS.
 - AREA BETWEEN RETAINING WALL AND NEW HOUSE SHALL BE BACKFILLED WITH GOOD #7 1/2 LIMESTONE AND GEOFORM. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL ELEVATION INFORMATION.

SEWER REFERENCE:
 SEWER PLAN A-1519
 SHEETS 1-4 OF 9

SURVEY NOTE:
 EXISTING CONDITIONS SURVEY WAS COMPLETED ON 12/10/2017 BY POLARIS ENGINEERING AND SURVEYING, INC.

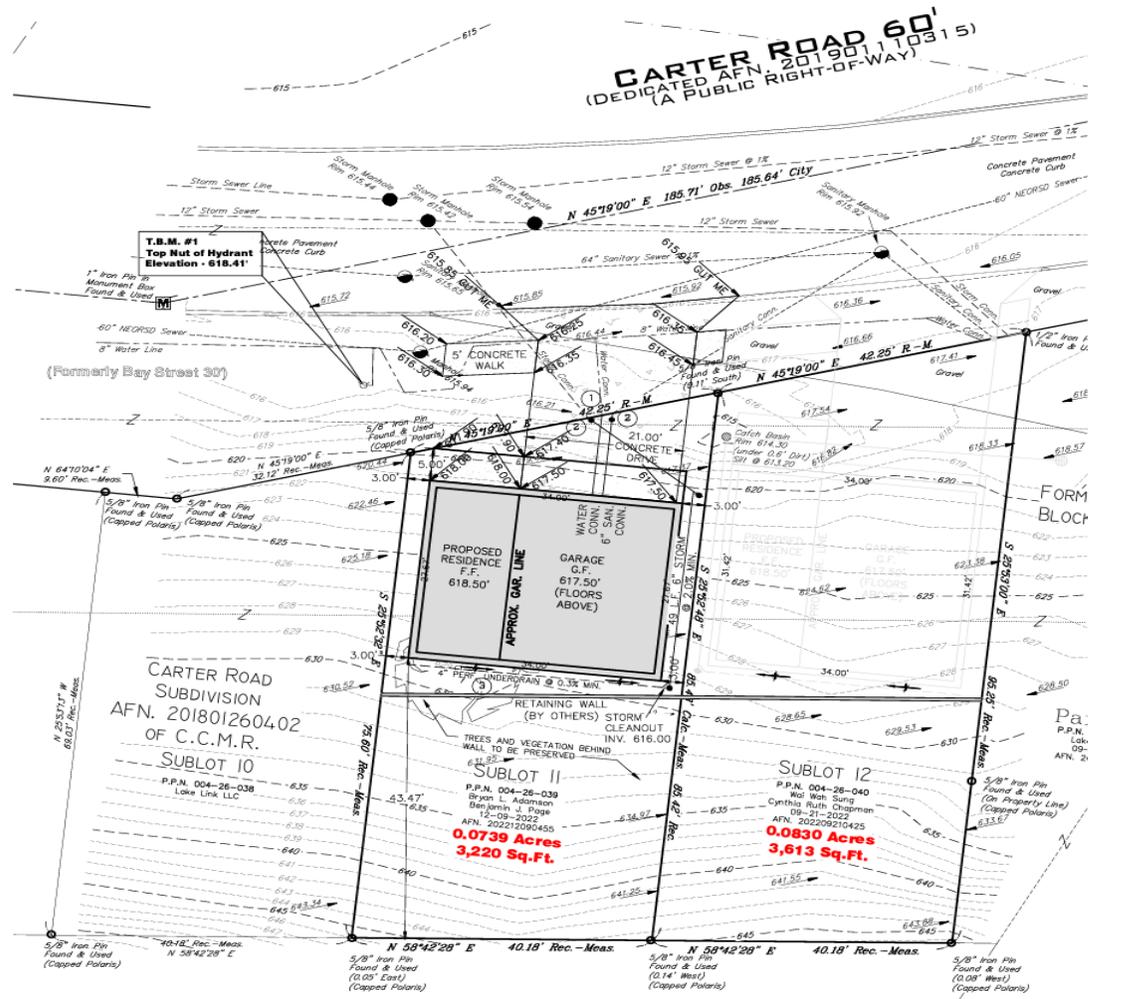


UTILITY PROVIDER SOURCE INFORMATION FROM PLANS PROVIDED BY THE CLIENT, THE TITLE COMPANY AND THE UTILITY PROVIDER AND ON-GROUND UTILITY MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DETERMINED.

DIMENSIONS SHOWN ON THIS PLAN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. BEARINGS ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.

PRELIMINARY
 DAVID A. PIETRANTONE P.E. NO. 61756 DATE _____

REVISIONS:



LEGEND

	Monument Box Found		Spot Elevation Tag
	Iron Pin or Pipe Found		Hydrant
	5/8" Iron Pin Set and Copied Riverstone Company Dudley P56747		Water Service Valve
	P.K. Nail		Water Meter
	Gas Meter		Water Valve
	Gas Valve		Reducer
	Utility Pole		Storm Manhole
	Light Pole		Sanitary Manhole
	Guy Anchor & Line		Catch Basin
	Telephone Box		Property Line
	Electric Box		Centerline
	Cable Box		
	Bollard		
	Clearance / Test Tee		

	Ex. Parcel Line
	Original Sublot Line
	Original Lot Line
	Centerline
	Property Line
	Right-of-way Line
	Easement Line
	Railroad Tracks

	Electric Line	Existing	PROPOSED
	Gas Line	Existing	PROPOSED
	Sanitary/Combination Sewer	Existing	PROPOSED
	Storm Sewer	Existing	PROPOSED
	Waterline	Existing	PROPOSED
	Fence Line (Wooden)	Existing	PROPOSED
	Fence Line (Chain-Link)	Existing	PROPOSED
	Guardrail	Existing	PROPOSED

Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Linear Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Mts./N.	Measured
B.F.	Basement Floor	NH	Manhole
Bot.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Obs.	Observed
CB	Catch Basin	P.P.N.	Permanent Parcel
C.C.M.R.	Cuyahoga County Map	Prop.	Proposed
C.L.F.	Chain-Link Fence	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	Son.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/A.	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water	TBR	To Be Removed
	Main	T/C	Top of Curb
	Electric	T.E.	Telephone
	Elev	T.F.	Top Of Footer
	Emer.	T.T.	Test Tee
	Ex.	TW	Top of Wall
	F.F.	Typ.	Typical
	Fin.	Vol.	Volume
	Ins.	Wat.	Water

SITE PLAN OF SUBLOT 12 CARTER ROAD

PERMANENT PARCEL NUMBER 004-026-040
 STREET ADDRESS CARTER ROAD
 PART OF ORIGINAL BROOKLYN TOWNSHIP LOT 70
 IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
 PREPARED FOR CMD BUILDERS
 T.B.M. ELEVATION 618.41'
 T.B.M. LOCATION TOP NUT HYDRANT
 FIN. FIRST FLOOR EL. 618.50 FIN. BASEMENT FLOOR EL. _____
 TOP OF FOOTER EL. _____ FIN. GARAGE FLOOR EL. 617.50
 SAN. CONN. EL. FIELD VERIFY STM. CONN. EL. FIELD VERIFY

CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:

- A. FIN. FLOOR ELEVATION & HOUSE DIMENSIONS
 - B. LOCATION & ELEVATIONS OF EXISTING UTILITY CONNECTIONS
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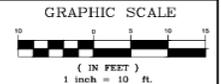
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1. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL CLEAN, FLUSH, AND TRACE EXISTING SEWER AND SHALL NOTIFY ENGINEER OF ALL FINDINGS.
2. WATER CONNECTION TO BE INSTALLED PER CWD STANDARDS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONNECTION. CONTRACTOR TO COORDINATE WITH CWD.
3. THE CONTRACTOR IS RESPONSIBLE TO VERIFY INVERT OF EXISTING SEWER AT CONNECTION POINT PRIOR TO ANY CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ALL FINDINGS.
4. EXISTING STRUCTURE TO BE REPLACED WITH A SOLID LID AND ADJUSTED TO GRADE.
5. AREA BETWEEN RETAINING WALL AND NEW HOUSE SHALL BE BACKFILLED WITH GOOD #57 LIMESTONE AND GEOTEXT. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL ELEVATION INFORMATION.

SEWER REFERENCE:
 SEWER PLAN A-1519
 SHEETS 1-4 OF 9

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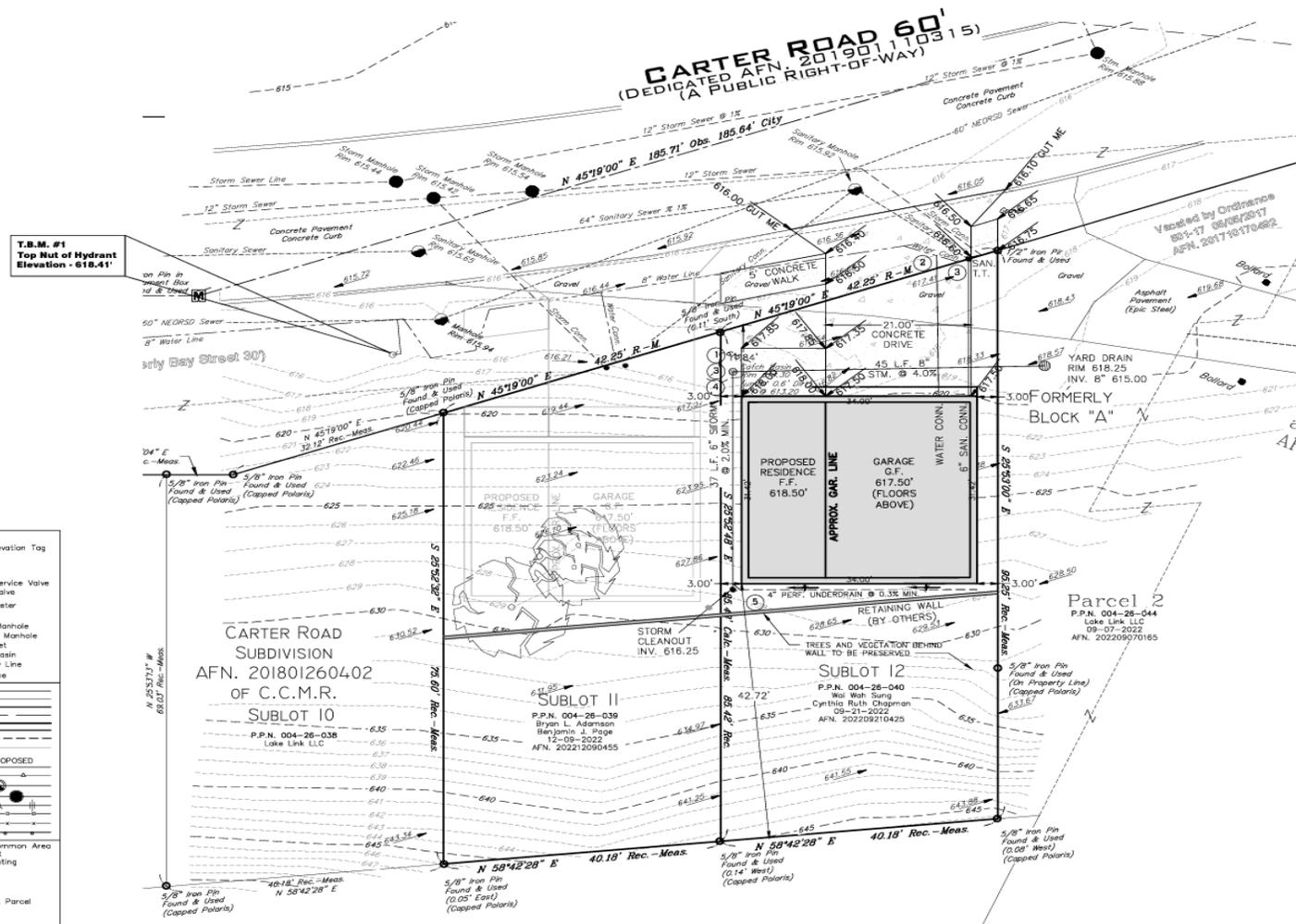
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PRELIMINARY

DAVID A. PIETRANTONE P.E. NO. 61756 DATE _____

REVISIONS:	



LEGEND

<ul style="list-style-type: none"> ⊠ Monument Box Found ○ Iron Pin or Pipe Found ● 5/8" Iron Pin Set and Capped Riverstone Company Dudley P26747 ⊕ P.K. Nail ⊙ Gas Meter ⊕ Gas Valve ⊕ Utility Pole ⊕ Light Pole ⊕ Guy Anchor & Line ⊕ Telephone Box ⊕ Electric Box ⊕ Cable Box ⊕ Bollard ⊕ Cleasit / Test Tee 	<ul style="list-style-type: none"> ○ Spot Elevation Tag ○ Hydrant ○ Water Service Valve ○ Water Valve ○ Water Meter ○ Reducer ○ Storm Manhole ○ Sanitary Manhole ○ Curb Inlet ○ Catch Basin ○ Property Line ○ Centerline
--	--

<ul style="list-style-type: none"> — Ex. Parcel line — Original Sublot Line — Original Lot Line — Centerline — Property Line — Right-of-way Line — Easement Line — Railroad Tracks 	<ul style="list-style-type: none"> — Existing Electric Line — Gas Line — Sanitary/Combination Sewer — Storm Sewer — Waterline — Fence Line (Wooden) — Fence Line (Chain-Link) — Guardrail 	<ul style="list-style-type: none"> — PROPOSED Electric Line — Gas Line — Sanitary/Combination Sewer — Storm Sewer — Waterline — Fence Line (Wooden) — Fence Line (Chain-Link) — Guardrail
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<ul style="list-style-type: none"> A.C. Acres A.J. Adjacent A.F.N. Auditor's File Number Asp. Asphalt B.W. Bottom of Wall Calc./C. Calculated CB Catch Basin C.C.M.R. Cuyahoga County Map C.L.F. Chain-link Fence Cl. Clear C.O. Clean Out Comb. Combination Conc. Concrete Conn. Connection D.H. Drill Hole D.I.W.M. Ductile Iron Water Main Elec Electric Elev Elevation Encr. Encroaches Ex Existing F.F. Finished Floor GUT Gutter Int. Invert 	<ul style="list-style-type: none"> L.C.A. Limited Common Area L.F. Lined Foot M.E. Match Existing Mess./M. Measured Mh Manhole Obs. Observed Pg. Page P.P.N. Permanent Parcel Number Prop. Proposed Rec./R. Record R/W Right-of-way San. Sanitary S.F. Square Feet Sublot. Sublot Str. Storm T.B.M. Temporary Bench Mark TBR To Be Removed T/C Top of Curb Tele Telephone T.F. Top of Footer T.T. Test Tee TW Top of Wall Typ. Typical Vol. Volume Wat. Water
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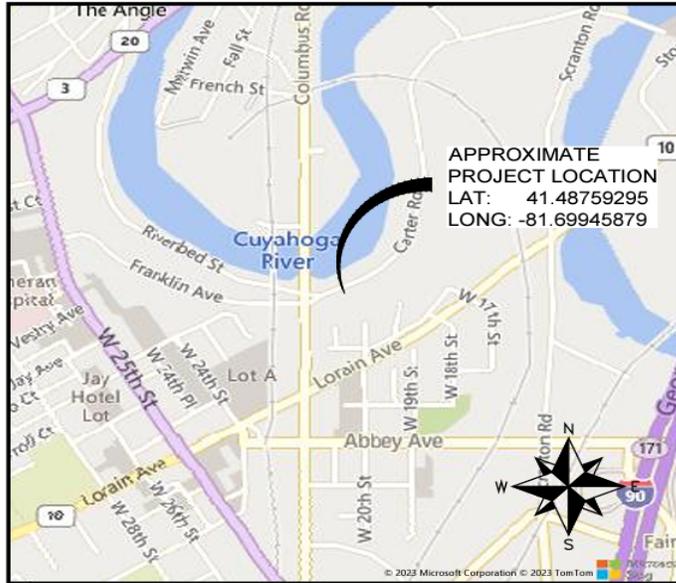
SOIL STABILIZATION PLANS

LAKE LINK DEVELOPMENT LOTS 11 & 12
CLEVELAND, OH

CLIENT:
CIVIC BUILDERS, LLC
& LAKE LINK, LLC

SHEET INDEX

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	SITE PLAN
C-04	PROFILE VIEWS (LOT 12)
C-05	SECTION VIEWS (LOT 12)
C-06	PROFILE VIEWS (LOT 11)
C-07	SECTION VIEWS (LOT 11)
C-08	SUPERNAIL DETAILS
C-09	MICROPILE DETAILS
C-10	NAIL SCHEDULE (LOT 12)
C-11	NAIL SCHEDULE (LOT 11)



VICINITY MAP
(NOT TO SCALE)

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
COVER SHEET



4475 E 74th Ave, Suite 100
Commerce City, CO 80022 USA
Phone: 855.579.0536 | Fax: 970.245.7737
www.geostabilization.com



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DRAWN BY:	DESIGNED BY:	CHECKED BY:	DATE:	PURSUIT NUMBER:	PROJECT NUMBER:	SHEET
SSE	JEH	MWL	11/8/2023	107846593	230XXOH0N	C-01

CONSTRUCTION SEQUENCE/WORK SCHEDULE:

- GSI OR ITS CONTRACTOR WILL PROVIDE TRAFFIC CONTROL.
- GSI OR ITS CONTRACTOR WILL CLEAR, EXCAVATE, AND HAUL OFF EXCAVATED MATERIAL.
- GSI WILL PROVIDE AND INSTALL THE SPECIFIED SOIL NAILS AND SURFACE TREATMENT PER THE CONSTRUCTION DOCUMENTS.

SIZE AND SPACING OF NAILS:

- GSI WILL MARK THE LOCATIONS OF THE PROPOSED SOIL NAILS WITH SURVEY MARKING PAINT.
- SACRIFICIAL DRILL BITS WILL BE ATTACHED TO THE SOIL NAIL PRIOR TO INSTALLING THE NAIL IN THE GROUND. SACRIFICIAL DRILL BITS ARE NOT PERMANENTLY INCORPORATED INTO THE PROJECT AND MAY BE REMOVED AFTER DRILLING OR LEFT AT THE PROJECT FOR THE CONTRACTOR'S CONVENIENCE. SACRIFICIAL DRILL BITS ARE NOT END PRODUCTS. SACRIFICIAL DRILL BITS ARE NOT PRODUCED IN THE UNITED STATES.
- GSI ENGINEER MAY ELECT TO MODIFY THE NAIL TYPE, LOCATION, AND LENGTH DEPENDING ON ACTUAL DRILLING CONDITIONS.
- SOIL NAIL ELEMENTS SHALL CONSIST OF SELF-DRILLING SOIL NAILS HAVING A 40mm NOMINAL DIAMETER, OR APPROVED EQUIVALENT.

FACING AND DRAINAGE SYSTEM:

- DRAIN STRIPS WILL BE PROVIDED AND INSTALLED BETWEEN THE SOIL NAILS EVERY 6' ALONG THE FACE OF THE EXCAVATION. THE DRAIN STRIPS SHALL BE PLACED WITH THE GEOTEXTILE SIDE AGAINST THE GROUND. DRAIN STRIPS WILL BE CONTINUOUS AND ANY SPLICES SHALL BE MADE WITH A 1' MINIMUM OVERLAP SUCH THAT THE FLOW OF WATER IS NOT IMPEDED. DRAIN STRIPS SHALL EXTEND BEYOND THE FACE OF THE SHOTCRETE AND OUT PAST THE BASE OF THE FOOTING AT THE DOWNHILL FACE.

REINFORCING STEEL PLACEMENT:

- WELDED WIRE MESH WILL BE PLACED ALONG THE FACE OF THE EXCAVATION WITH A SEPARATION OF APPROXIMATELY 2" BETWEEN THE WIRE MESH AND THE SOIL.
- NO. 4 REBAR WILL BE TIED TO THE WIRE MESH. VERTICAL BARS WILL EXTEND FOR APPROXIMATELY 36" AND THE HORIZONTAL BARS WILL BE CONTINUOUS (WITH OVERLAP SPLICES) IN THE SHOTCRETE.

BEARING PLATE PLACEMENT:

- 8" x 8" x 3/8" STEEL BEARING PLATES WILL BE PLACED OVER THE NAILS AND ATTACHED WITH A HEX NUT TO THE NAIL TO SECURE THE WIRE MESH AND REBAR DURING SHOTCRETE PLACEMENT. IF THE SOIL NAILS EXTEND BEYOND THE HEX NUTS THEY WILL BE TRIMMED.

SHOTCRETE APPLICATION:

- SHOTCRETE WILL BE PLACED FROM THE LOWER PART OF THE AREA UPWARDS TO PREVENT ACCUMULATION OF REBOUND. THE NOZZLE WILL BE ORIENTED A PROPER DISTANCE FROM AND APPROXIMATELY PERPENDICULAR TO THE WORKING FACE SO THAT REBOUND WILL BE MINIMAL AND COMPACTION WILL BE MAXIMIZED. CARE WILL BE TAKEN WHILE ENCASING REINFORCING STEEL AND MESH TO KEEP THE FRONT FACE OF THE REINFORCEMENT CLEAN DURING PLACEMENT OPERATIONS, SO THAT SHOTCRETE BUILDS UP FROM BEHIND, TO ENCASE THE REINFORCEMENT AND PREVENT VOIDS OR POCKETS FROM FORMING.

GSI EMPLOYEE CERTIFICATIONS:

- ACI SHOTCRETE NOZZLEMEN CERTIFICATION
- 10-HOUR OCCUPATIONAL SAFETY AND HEALTH TRAINING COURSE IN CONSTRUCTION SAFETY & HEALTH
- AMERICAN RED CROSS STANDARD FIRST AID TRAINING
- AMERICAN RED CROSS BLOODBORNE PATHOGENS TRAINING: PDT

HOUSE KEEPING:

- THE SITE WILL BE ORGANIZED AND CLEAR OF ANY TRASH OR DEBRIS. ALL TRASH WILL BE PLACED IN A PROPER CONTAINER AND REMOVED AT THE END OF EACH WORK DAY.

SAFETY:

- ALL SAFETY PLANS FOR LIFTING, HEARING, DUST CONTROL, PPE ETC. ARE IN PLACE AND WILL BE FOLLOWED ACCORDINGLY. PPE WILL INCLUDE SAFETY VEST, STEEL TOED SHOES, HARD HAT, SAFETY GLASSES, AND GLOVES.

SHOTCRETE MIX DESIGN (4000 PSI @ 28 DAYS):

SHOTCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ACI 506.2, "SPECIFICATIONS FOR MATERIALS, PROPORTIONING AND APPLICATION OF SHOTCRETE", EXCEPT AS OTHERWISE SPECIFIED. SHOTCRETING CONSISTS OF APPLYING ONE OR MORE LAYERS OF CONCRETE CONVEYED THROUGH A HOSE PNEUMATICALLY PROJECTED AT A HIGH VELOCITY AGAINST A PREPARED SURFACE.

THE WET-MIX PROCESS CONSISTS OF THOROUGHLY MIXING ALL THE INGREDIENTS, INTRODUCING THE MIXTURE INTO THE DELIVERY EQUIPMENT AND DELIVERING IT, BY POSITIVE DISPLACEMENT, TO THE NOZZLE. AIR JET THE WET-MIX SHOTCRETE FROM THE NOZZLE AT HIGH VELOCITY ONTO THE SURFACE.

GSI STANDARD SHOTCRETE MIX DESIGN SHALL BE USED UNLESS SHOTCRETE TEMPERATURES ARE ANTICIPATED TO REACH AND/OR

EXCEED 85°F. IN THIS EVENT, GSI HOT WEATHER MIX MAY BE USED. SET TIME CONTROLLING ADDITIVES (I.E. HYDRATION STABILIZERS, RETARDERS) MAY BE USED PER THE MANUFACTURER SPECIFICATIONS AND UNDER THE DIRECTION OF A GSI ENGINEER.

GSI STANDARD SHOTCRETE MIX DESIGN

MATERIAL	WEIGHT PER CU YD
3/8" ROCK	650 LBS
SAND	1800 LBS
CEMENT	750 LBS
WATER	340 LBS
FLY ASH	150 LBS
AIR ENTRAINMENT	6% (1.6 CU FT)
0.40 TO 0.50 WATER/CEMENT RATIO	

GROUT MIX DESIGN (3000 PSI @ 28 DAYS):

THE SOIL NAILS WILL BE INJECTED WITH GROUT. THE GROUT WILL BE A TYPE I,II,OR III PORTLAND CEMENT.

NO ADDITIONAL AGGREGATE OR ADMIXTURES WILL BE ADDED TO THE GROUT.

WATER/CEMENT RATIO= 0.5 TO 0.6

(BATCH WEIGHT PER CU YD)

MATERIAL	WEIGHT	VOLUME
CEMENT	2063 TO 1837 LBS	10.4 TO 9.3 CU FT
WATER	1031.5 TO 1102 LBS	16.6 TO 17.7 CU FT
TOTAL		123.5 TO 132 GAL
		1 CU YD

(PER 94# BAG OF CEMENT)

MATERIAL	WEIGHT	VOLUME
CEMENT	94 LBS	0.48 CU FT
WATER	47 TO 56.4 LBS	0.8 TO 0.9 CU FT
		1 BAG (94#)
		5.6 TO 6.8 GAL

DESIGN PARAMETERS:

DESIGN IS BASED ON INFORMATION PROVIDED IN THE GEOTECHNICAL REPORT TITLED: "UPDATED GEOTECHNICAL ENGINEERING REPORT, CARTER ROAD SUBDIVISION NO. 1 (LAKE LINK HOMES PHASE 1)", PREPARED BY ECS MIDWEST LLC, PROJECT NUMBER 67:1367, AND DATED MARCH 23, 2023. THE SOIL CONDITIONS IN THIS REPORT, IN CONJUNCTION WITH TABLE 4.4A IN FHWA GEC 7, RESULTED IN AN ALLOWABLE SOIL-SOIL NAIL BOND STRENGTH OF 1500 LB/FT. THIS VALUE TAKES INTO ACCOUNT STEEL LOSS IN THE SOIL NAIL DUE TO CORROSION OVER A 75-YEAR SPAN.

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

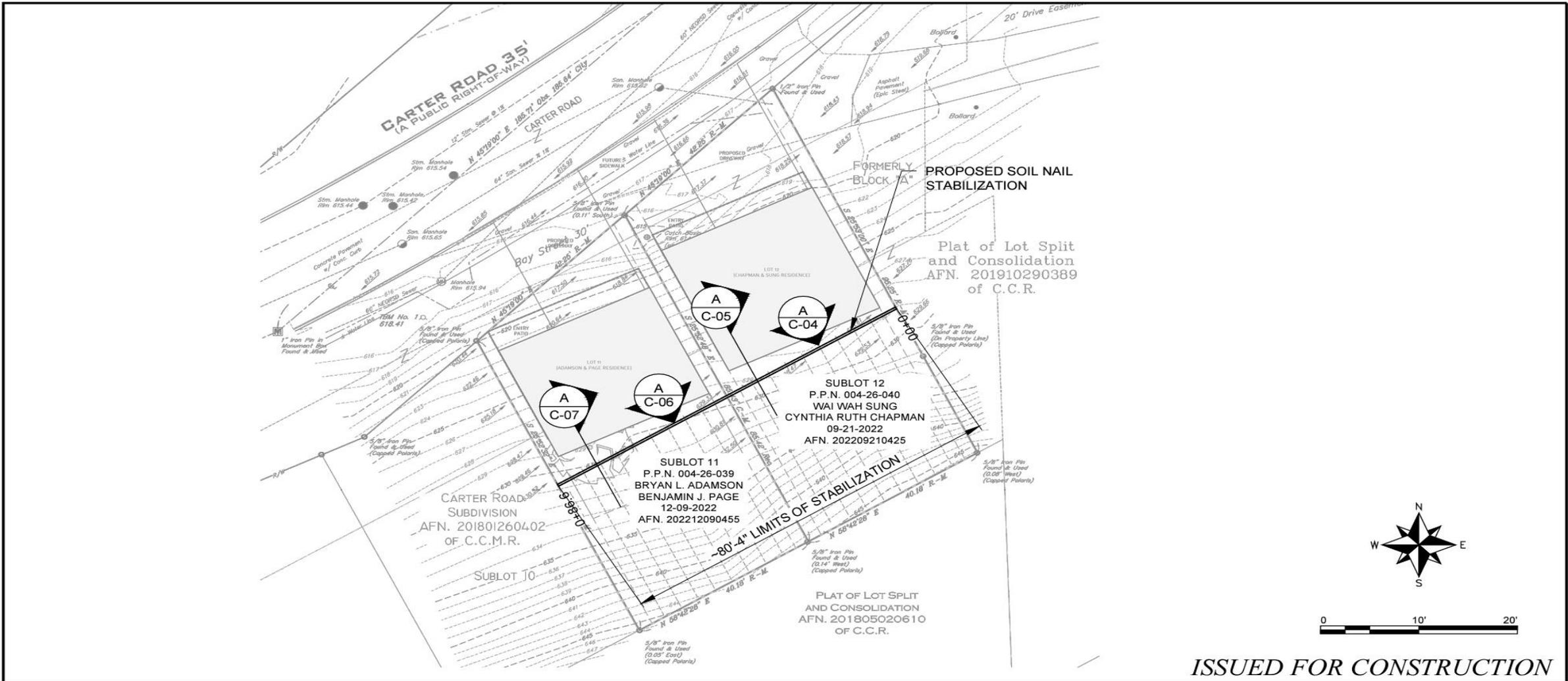
PROJECT NAME: LAKE LINK DEVELOPMENT LOTS 11 & 12						
SHEET TITLE: GENERAL NOTES						
DRAWN BY:	DESIGNED BY:	CHECKED BY:	DATE:	PURSUIT NUMBER:	PROJECT NUMBER:	SHEET
SSE	JEH	MWL	11/8/2023	107846593	230XXOH0N	C-02

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SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
SITE PLAN

DRAWN BY: SSE	DESIGNED BY: JEH	CHECKED BY: MWL	DATE: 11/8/2023	PURSUIT NUMBER: 107846593	PROJECT NUMBER: 230XXXOH0N	SHEET C-03
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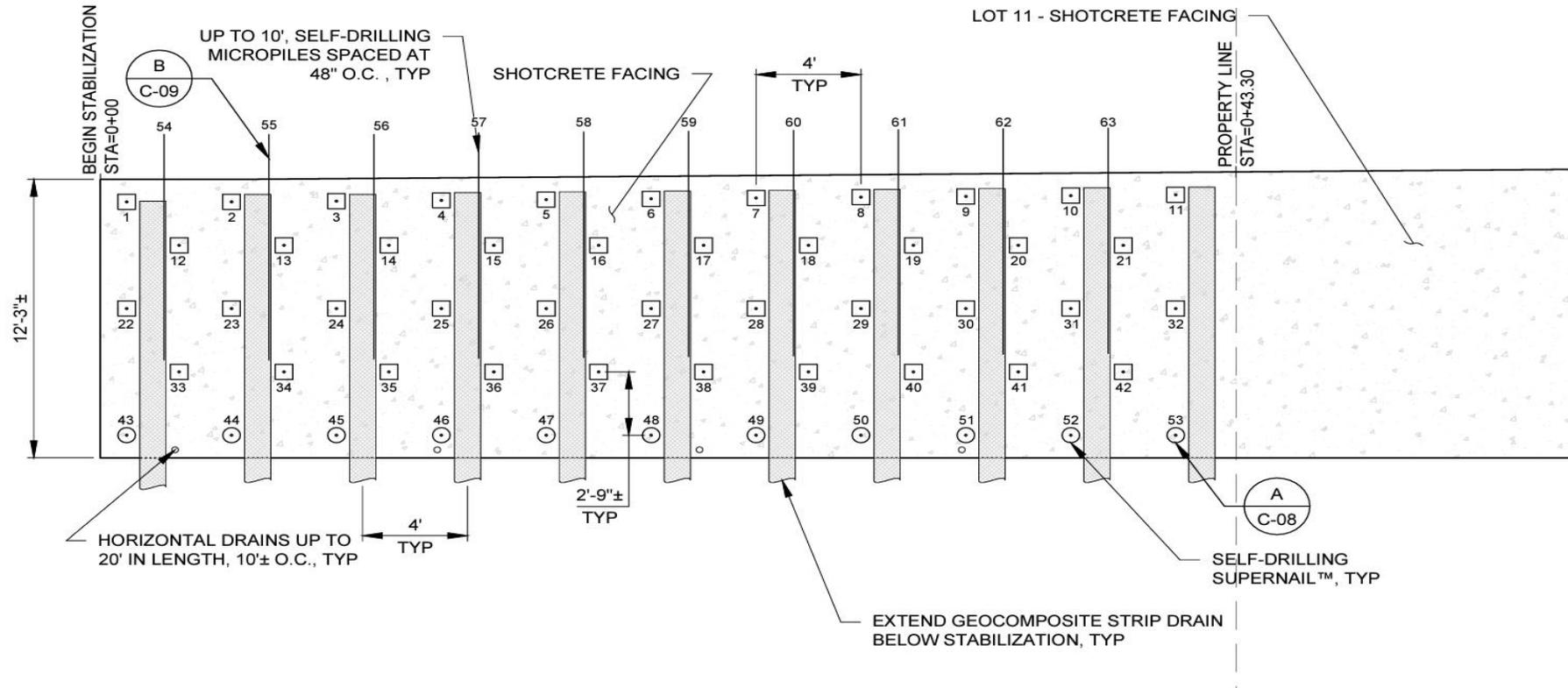


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- NOTES:
- ALL DISTANCES ARE SLOPE DISTANCE UNLESS NOTED OTHERWISE.
 - HORIZONTAL DRAINS MAY BE FIELD FITTED UNDER DIRECTION OF GSI ENGINEERING.



- LEGEND:
- UP TO 30' SELF-DRILLING SUPERNAILS
 - UP TO 40' SELF-DRILLING SUPERNAILS

A LOT 12 - TYPICAL PROFILE
SCALE: 1" = 5'

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SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

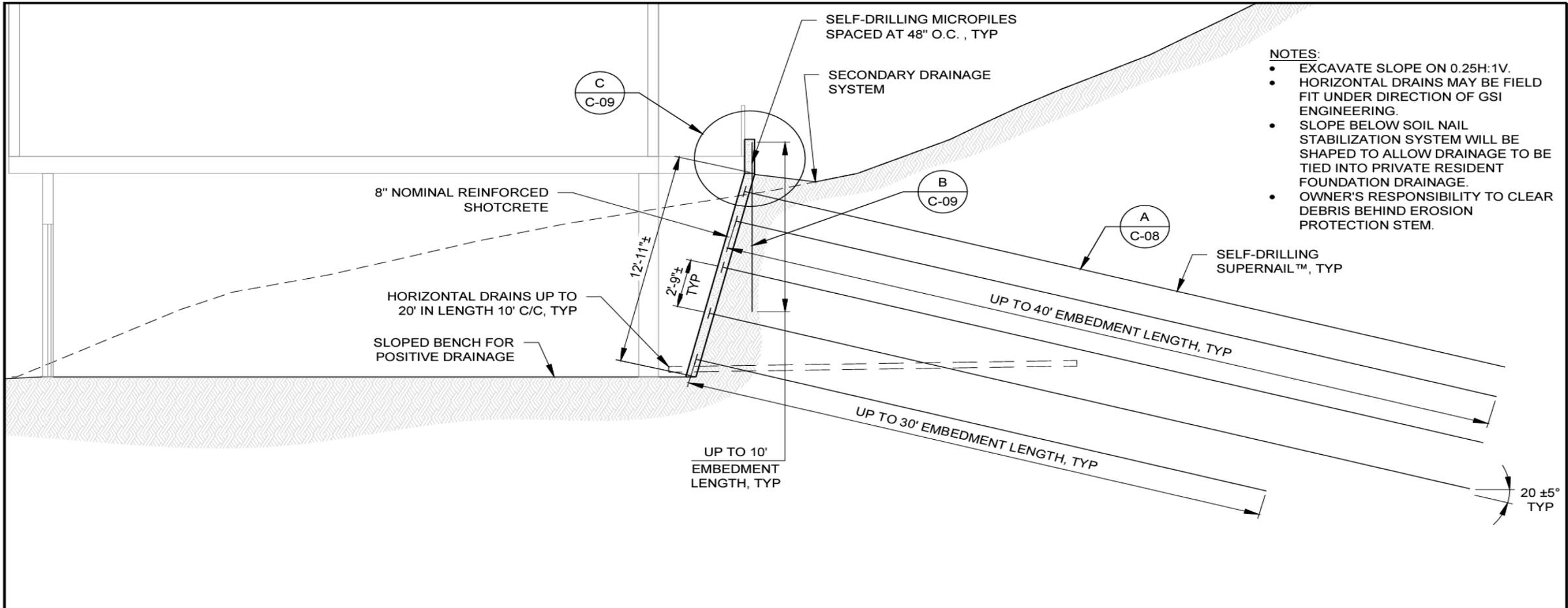
PROJECT NAME: LAKE LINK DEVELOPMENT LOTS 11 & 12						
SHEET TITLE: PROFILE VIEWS (LOT 12)						

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STATE OF OHIO
MICHAEL W. LANEY
E-84540
REGISTERED PROFESSIONAL ENGINEER

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- NOTES:**
- EXCAVATE SLOPE ON 0.25H:1V.
 - HORIZONTAL DRAINS MAY BE FIELD FIT UNDER DIRECTION OF GSI ENGINEERING.
 - SLOPE BELOW SOIL NAIL STABILIZATION SYSTEM WILL BE SHAPED TO ALLOW DRAINAGE TO BE TIED INTO PRIVATE RESIDENT FOUNDATION DRAINAGE.
 - OWNER'S RESPONSIBILITY TO CLEAR DEBRIS BEHIND EROSION PROTECTION STEM.

A LOT 12 - TYPICAL SECTION
SCALE: 1" = 5'

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

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PROJECT NAME: LAKE LINK DEVELOPMENT LOTS 11 & 12						
SHEET TITLE: SECTION VIEWS (LOT 12)						
DRAWN BY: SSE	DESIGNED BY: JEH	CHECKED BY: MWL	DATE: 11/8/2023	PURSUIT NUMBER: 107846593	PROJECT NUMBER: 230XXXOH0N	SHEET C-05



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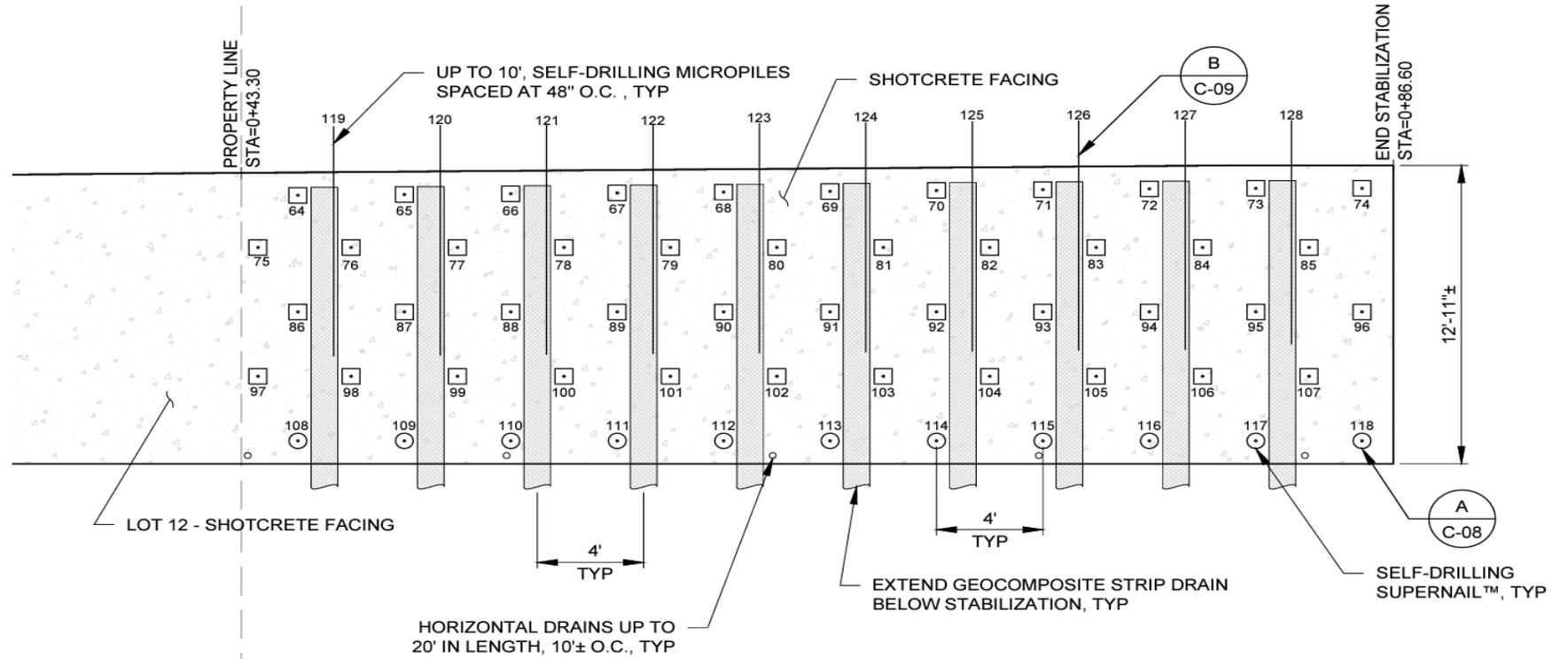
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MICHAEL W. LANEY
E-84540
REGISTERED PROFESSIONAL ENGINEER

NOTES:

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LEGEND:

- UP TO 30' SELF-DRILLING SUPERNAILS
- ◻ UP TO 40' SELF-DRILLING SUPERNAILS



A LOT 11 - TYPICAL PROFILE
SCALE: 1" = 5'

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SHEET REVISIONS		
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11/21/23	ISSUED FOR CONSTRUCTION	IFC

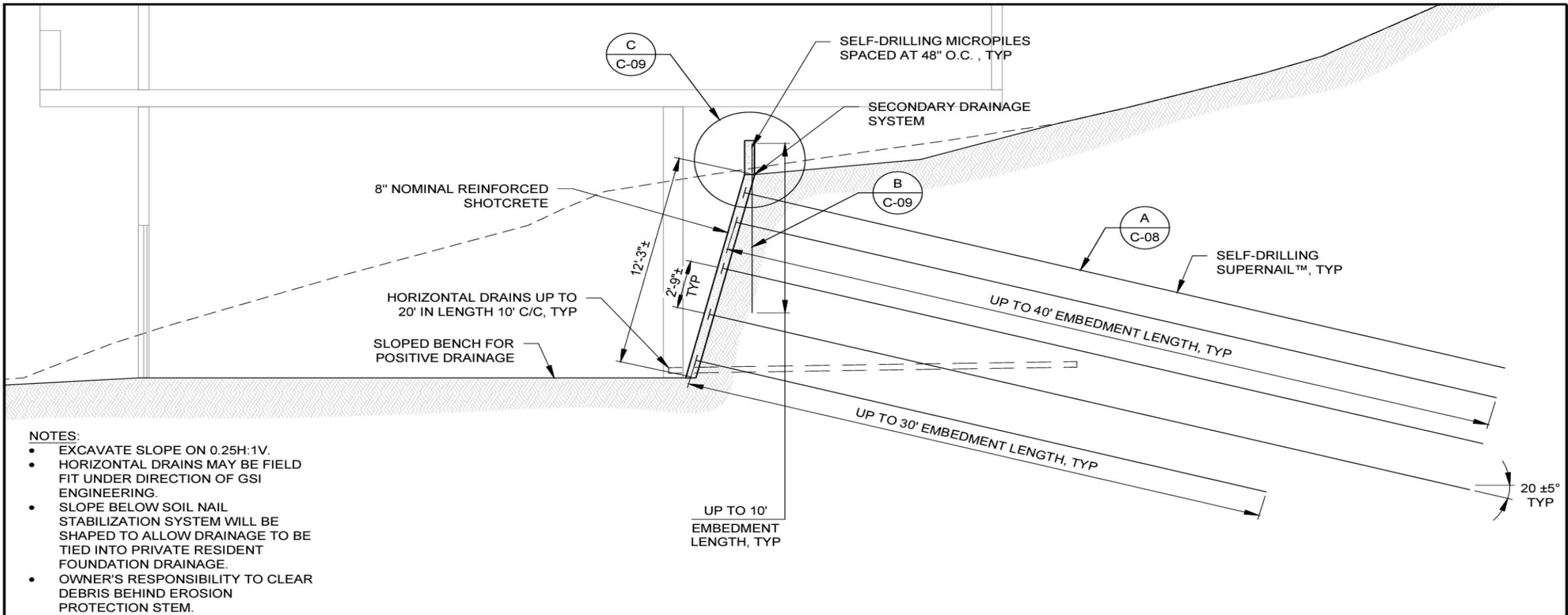
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SHEET TITLE: PROFILE VIEWS (LOT 11)					

DRAWN BY: SSE	DESIGNED BY: JEH	CHECKED BY: MWL	DATE: 11/8/2023	PURSUIT NUMBER: 107846593	PROJECT NUMBER: 230XXOH0N	SHEET: C-06
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- NOTES:**
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 - OWNER'S RESPONSIBILITY TO CLEAR DEBRIS BEHIND EROSION PROTECTION STEM.

A **LOT 11 - TYPICAL SECTION**
SCALE: 1" = 5'

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11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

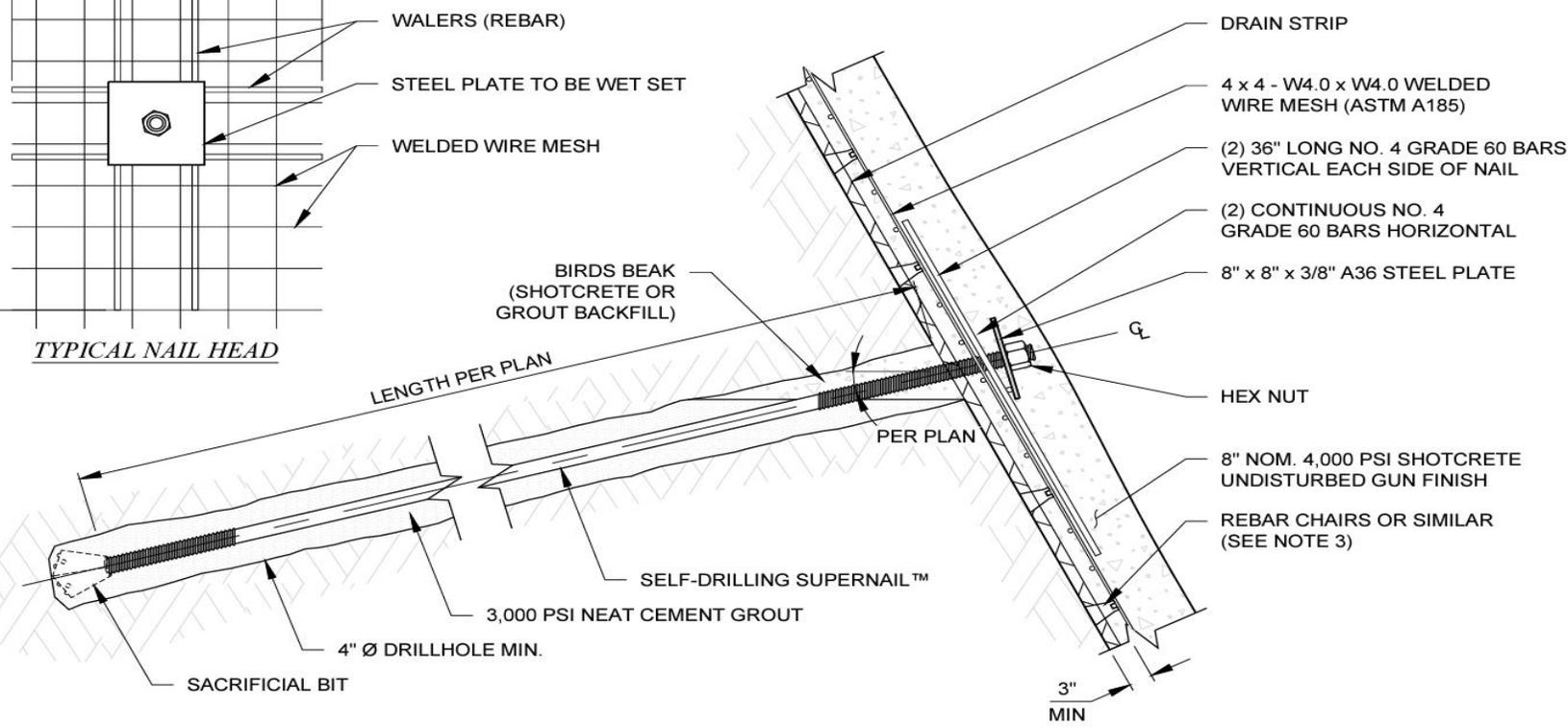
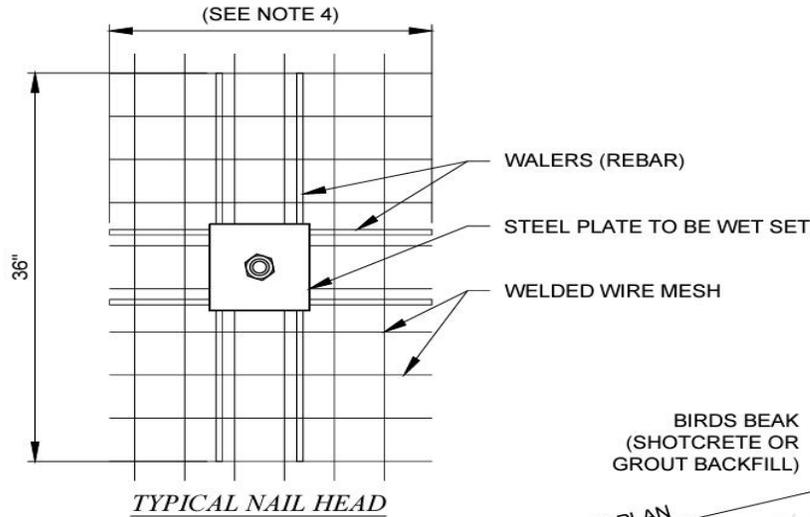
SHEET TITLE:
**SECTION VIEWS
(LOT 11)**

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- NOTES:**
1. LAP SPLICE LENGTH
 - 1.1. NO. 4 REBAR - 24" MINIMUM
 - 1.2. NO. 5 REBAR - 30" MINIMUM
 2. WELDED WIRE MESH TO HAVE A MINIMUM OF 8" OVERLAP (2 SQUARES OVERLAP FOR 4 x 4 MESH).
 3. REBAR CHAIRS OR EQUIVALENT TO BE USED TO ENSURE SUFFICIENT CONCRETE COVER BETWEEN GROUND SURFACE AND REINFORCEMENT. 2 TO 3 DOBIES PER 5' x 10' SHEET OF MESH, TYPICAL.
 4. HORIZONTAL WALERS ARE CONTINUOUS

A TYPICAL SELF-DRILLING SUPERNAIL™ DETAILS
N.T.S.

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11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
SUPERNAIL DETAILS

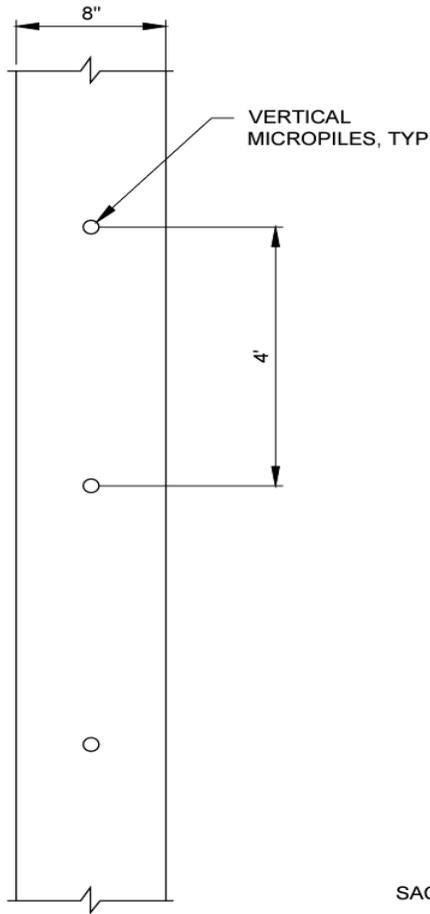
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GSI
Geostabilization International

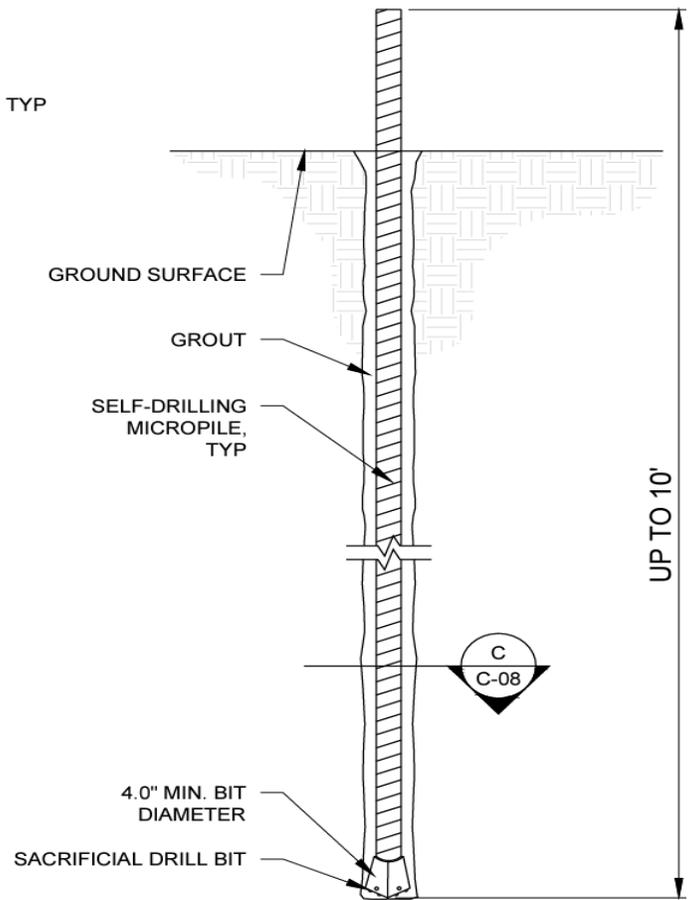
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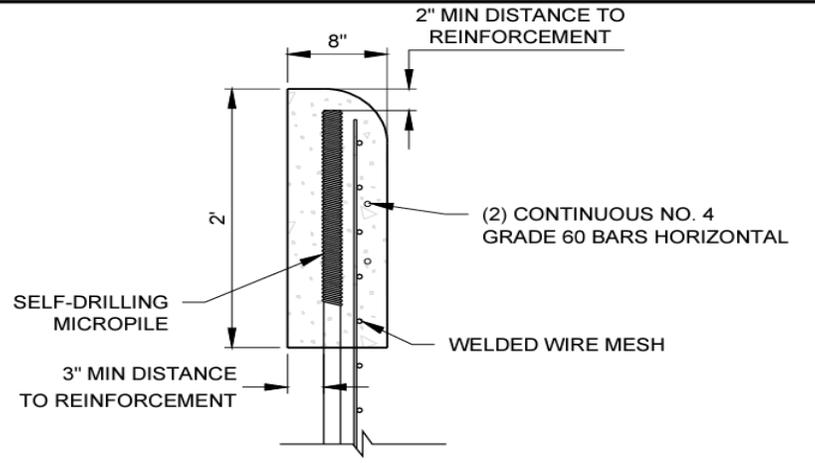
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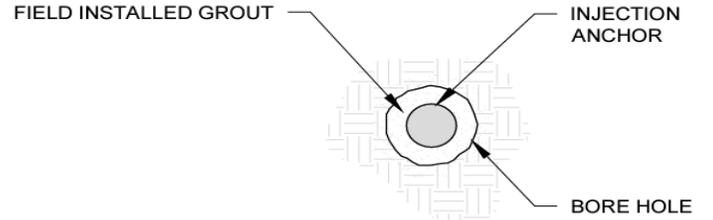
A MICROPILE SPACING
SCALE: 1" = 1'



B TYPICAL MICROPILE
SCALE: 1" = 1'



C MICROPILE EROSION PROTECTION STEM
SCALE: 1" = 1'



D MICROPILE SECTION
SCALE: 1" = 1'

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SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
MICROPILE DETAILS

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THANK YOU!



Downtown | Flats Design Review Advisory Committee

Staff Report

Thursday, Feb 1, 2024 | Cleveland City Hall, Virtual Webex | Begins: 9:00 AM

New Construction – Seeking Schematic Approval, Final Approval for Stabilization & Retaining Wall

- **Project:** DF 2024-003 - Chapman & Sung Residence *C
 New Construction – Residential
 Address: 1971 Carter Rd
 Representative: Lucas Staib, AODK Architecture
- **Staff Report – Recommendation to approve with below conditions:**
 - Further review agreed upon design requirements and refine garages to meet requirements
 - Variance required for front-loaded garages – demonstrate hardship
 - Confirm timeline for river stabilization project
- **Notes:**
 - The City & Progressive Urban have been in coordination for several years on this project, including the coordination of utility construction during the City-led Carter Road rebuild. The City put in place drainage, stormwater, design, and engineering requirements for Progressive Urban, and they have worked in good faith and at an accelerated pace to implement these requirements at each step.

COMMITTEE REPORT D | F Committee, Jeff Bogart (Chair)
ADMINISTRATOR REPORT CPC, Administrator

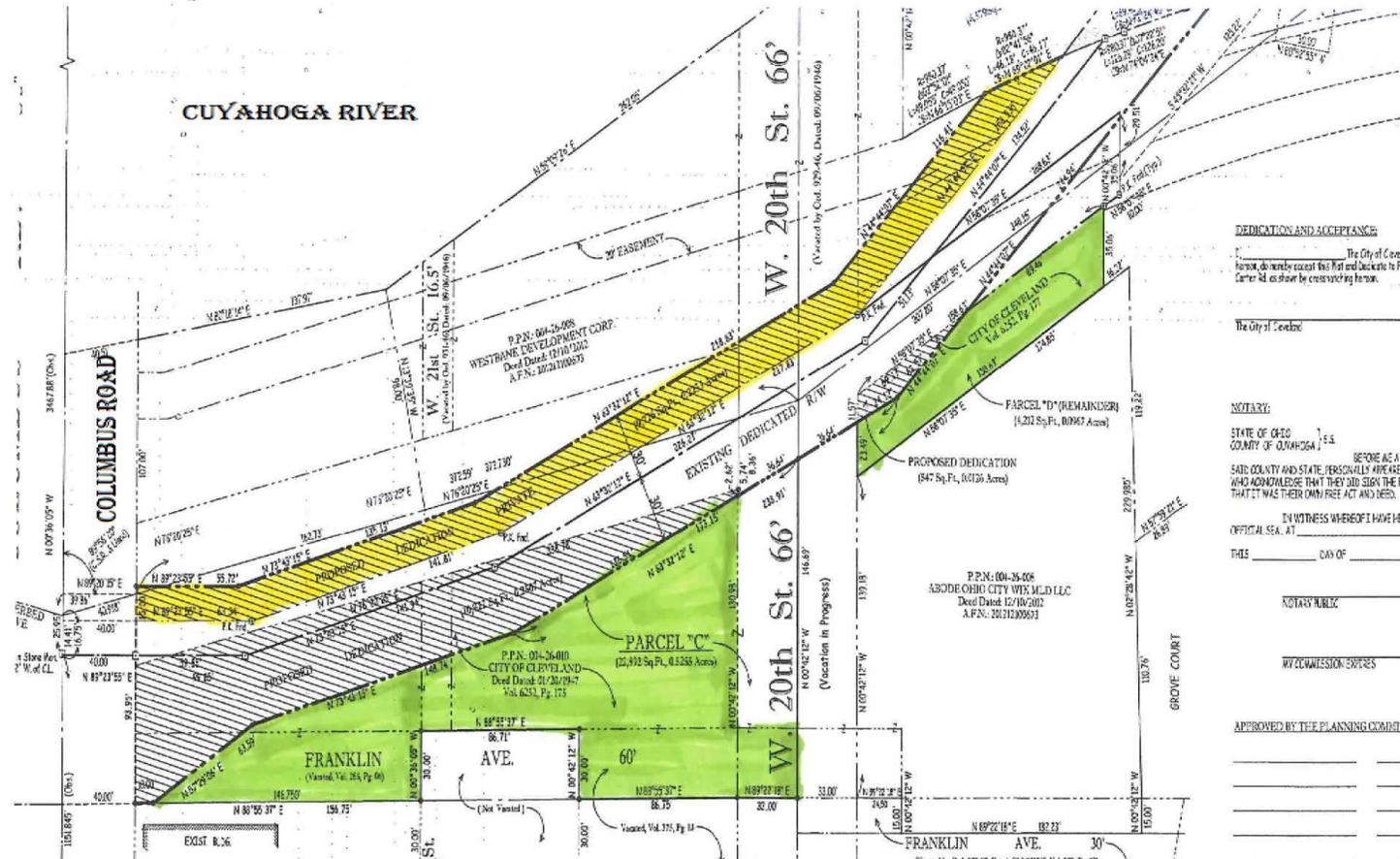
Next scheduled DR meeting: 2/1/24

*C - Goes to City Planning Commission: Agenda Item Pending, *L - Goes to Landmarks Commission



CITY OF CLEVELAND
Mayor Frank G. Jackson

Location Map of PPN 004-26-008 (in yellow) and portions of PPN 004-26-010 (in green)



Land to be purchased by City from Lake Link LLC for Roadway Project

City land to be sold to Lake Link LLC

DEDICATION AND ACCEPTANCE:

The City of Cleveland hereby accepts the Plat and Dedicate to Public Use as shown by this plat.

The City of Cleveland

NOTARY:

STATE OF OHIO
COUNTY OF CUYAHOGA
I, _____, Notary Public, do hereby certify that the foregoing is a true and correct copy of the original as shown to me by the City of Cleveland.

IN WITNESS WHEREOF I HAVE HEREON SET MY HAND AND OFFICIAL SEAL AT _____

THIS _____ DAY OF _____

NOTARY PUBLIC

BY COMMISSION EXPIRES _____

APPROVED BY THE PLANNING COMMITTEE

OWNERS CERTIFICATE

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, AND STATE OF OHIO, KNOWN AS BEING PART OF ORIGINAL BROOKLYN TOWNSHIP LOT 70 AND BEING LAND CONVEYED TO LAKE LINK LLC AND SHOWN AS PARCELS 4 AND 5 OF THE PLAT OF LOT SPLIT, CONSOLIDATION AND VACATION RECORDED IN VOLUME _____ PAGE _____ OF CUYAHOGA COUNTY MAP RECORDS PPN 004-26-_____, AND 004-26-_____.

THE UNDERSIGNED, LAKE LINK LLC, THROUGH ITS AGENT KEITH BROWN, HEREBY CERTIFIES THAT THE ATTACHED PLAT ACCURATELY REPRESENTS ITS CARTER ROAD SUBDIVISION, A SUBDIVISION OF 12 LOTS (SUBLOT NUMBERS 1 THROUGH 12 INCLUSIVE) AND BLOCKS A AND B, AND THAT THE SAME WAS PREPARED AT THEIR INSISTENCE.

THE UNDERSIGNED FURTHER AGREES THAT ANY USE OF IMPROVEMENTS MADE ON THIS LAND SHALL BE IN CONFORMITY WITH ALL EXISTING VALID ZONING, PLATTING, HEALTH OR OTHER LAWFUL RULES AND REGULATIONS INCLUDING THE APPLICABLE OFF-STREET PARKING AND LOADING REQUIREMENTS OF THE CITY OF CLEVELAND, OHIO FOR THE BENEFIT OF THEMSELVES AND ALL OTHER SUBSEQUENT OWNERS OR ASSIGNS TAKING TITLE FROM OR UNDER OR THROUGH THE UNDERSIGNED.

IN WITNESS WHEREOF LAKE LINK LLC, THROUGH ITS AGENT KEITH BROWN, HAS HERETO SET HIS HAND AT _____, OHIO, THIS _____ DAY OF _____, 2017.

BY: _____
LAKE LINK, LLC, THROUGH KEITH BROWN - AGENT

NOTARY PUBLIC

STATE OF OHIO)
COUNTY OF CUYAHOGA)

BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED OWNER(S) WHO ACKNOWLEDGE THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THAT IT WAS THEIR OWN FREE ACT AND DEED. IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

AT _____, OHIO
THIS _____ DAY OF _____, 2017.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

CITY OF CLEVELAND APPROVALS

THIS SUBDIVISION PLAT IS APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO THIS _____ DAY OF _____, 2017.

DIRECTOR OF CITY PLANNING

THIS SUBDIVISION PLAT IS APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO THIS _____ DAY OF _____, 2017.

PLATTING COMMISSIONER

THIS SUBDIVISION PLAT IS IN ACCORDANCE WITH THE RULES OF THE PLANNING COMMISSION AND IS HEREBY APPROVED BY THE DIRECTOR OF CAPITAL PROJECTS OF THE CITY OF CLEVELAND,

OHIO THIS _____ DAY OF _____, 2017.

DIRECTOR OF CAPITAL PROJECTS

THIS SUBDIVISION PLAT IS APPROVED BY THE COUNCIL OF THE CITY OF CLEVELAND, OHIO THIS _____ DAY OF _____, 2017.

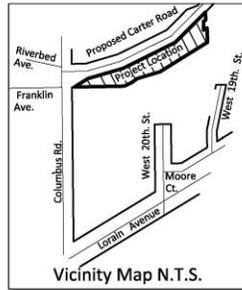
CLERK OF COUNCIL

APPROVED BY THE DEVELOPMENT, PLANNING AND SUSTAINABILITY COMMITTEE

APPROVED BY THE MUNICIPAL SERVICES AND PROPERTY COMMITTEE

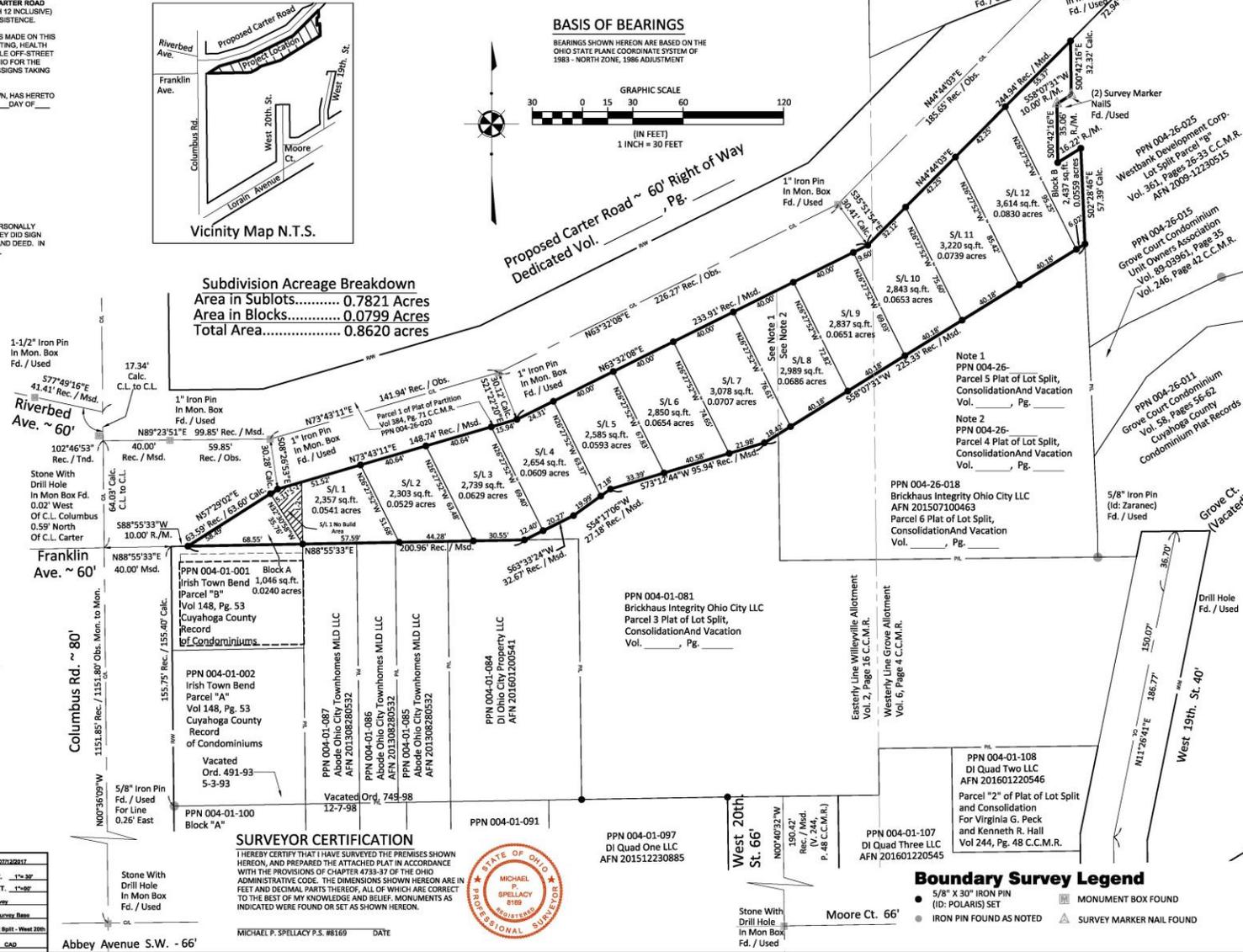
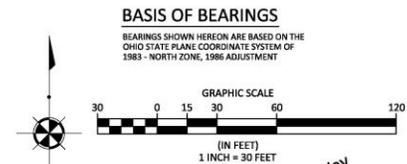
REV. No.	DATE	BY	DATE:
			02/22/2017
			SCALE: HOR. 1"=30'
			VERT. 1"=30'
			FOLDER: Survey
			FILENAME: Survey Base
			TAB: 01 - Lot Split - West 20th
			DRAWN: CAD

Carter Road Subdivision
Sited in the State of Ohio,
County of Cuyahoga and City of Cleveland
And Being Part of Original Brooklyn Township Lot 70
July 12, 2017
Scale 1" = 30'



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C-1 Calc.	62.07	980.37	33.64	62.06	S73°36'36"W	3°37'39"
C-2 Obs.	10.96	980.37	5.48	10.96	S72°09'00"W	0°38'27"
C-3 Calc.	32.92	980.37	16.46	32.92	S73°25'57"W	1°53'27"
C-4 Calc.	18.18	980.37	9.09	18.18	S74°55'33"W	1°03'45"

LINE TABLE		
LINE	LENGTH	BEARING
L-1 (No Build)	14.81	N73°43'11"E
L-2 (No Build)	37.06	S01°04'27"E



SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES SHOWN HEREON, AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE. THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF, ALL OF WHICH ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. MONUMENTS AS INDICATED WERE FOUND OR SET AS SHOWN HEREON.



MICHAEL P. SPELLEY P.S. 8169 DATE _____

Boundary Survey Legend

- 5/8" x 30" IRON PIN (ID: POLARIS) SET
- IRON PIN FOUND AS NOTED
- MONUMENT BOX FOUND
- ▲ SURVEY MARKER NAIL FOUND

Carter Road Subdivision
City of Cleveland - Cuyahoga County - Ohio

POLARIS ENGINEERING & SURVEYING, INC.
2460 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
www.polaris-es.com

Record Plat

CONTRACT No. **17004**

SHEET **1** OF **1**



CITY OF CLEVELAND
Mayor Frank G. Jackson

City Planning Commission
601 Lakeside Avenue, Room 501
Cleveland, Ohio 44114-1071
Phone: 216.664.2210 - Fax: 216.664.3281

Ord. No. 514-2019.

By Council Member McCormack.

An ordinance establishing a zero foot Mapped Building Setback from the property line along the southern side of Carter Road between Riverbed Street and the eastern property line of Permanent Parcel No. 004-26-040 (Map Change 2600).

Be it ordained by the Council of the City of Cleveland:

Section 1. That a Mapped Building Setback of zero (0) feet from the property line shall be established on the northern frontages of parcels of land along the south eastern side of Carter Road between the southwestern line of a parcel of land quit-claimed unto Irishtown Bend Condominium Association on July 2, 2018 and known as being Block A in the Carter Road Subdivision of part of Original Brooklyn Township Lot No. 70, as shown by the plat recorded as Instrument No. 2018011260402 (formerly AFN #201801260382) of Cuyahoga County Records also known as Permanent Parcel No. (PPN) 004-26-041; and the eastern line of a parcel of land conveyed by deed to Lake Link LLC on January 26, 2018 and known as being Sublot No. 12 in said Subdivision, as shown by the afore- mentioned plat of Cuyahoga County Records (PPN: 004-26-040);

And as identified on the attached map, the zero (0) foot mapped building setback from the property line is hereby established on the Building Zone Maps of the City of Cleveland;

Section 2. That the changes described in Section 1 shall be identified as Map Change No. 2600, and shall be made upon the Building Zone Maps of the City of Cleveland on file in the office of the Clerk of Council and on file in the office of the City Planning Commission by the appropriate person designated for this purpose by the City Planning Commission.

Section 3. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed June 3, 2019.

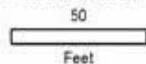
Effective July 3, 2019.



Carter Road Subdivision

Map Change #2600

0' Proposed Mapped Setback is from the property line.



Cleveland City Planning Commission
801 Lakeside Ave. Cleveland, OH 44114



Date: April 11, 2019

**DF2024-004 – Adamson & Page Residence New Construction:
Seeking Schematic Design Approval for building,
Final Approval for Stabilization and Retaining Wall**

February 2, 2024

Project Location: PPN 004-26-039 on Carter Road

Project Representative: Lucas Staib, AoDK Architecture

Adamson & Page



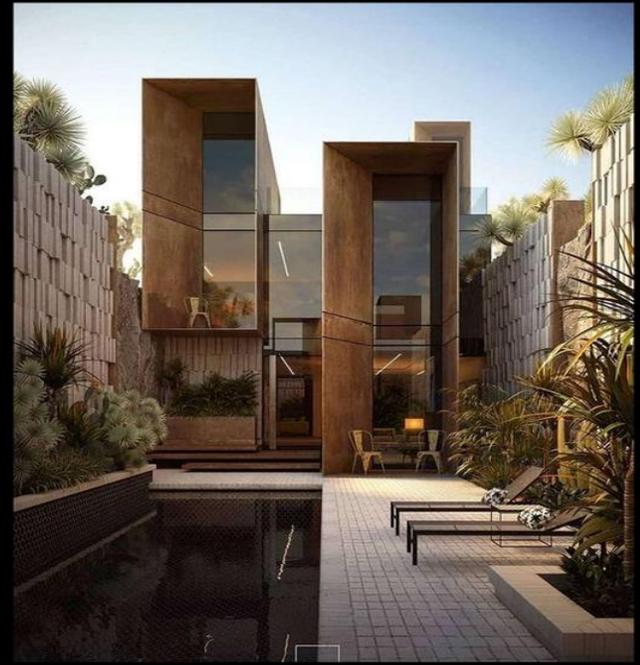
Post Industrial

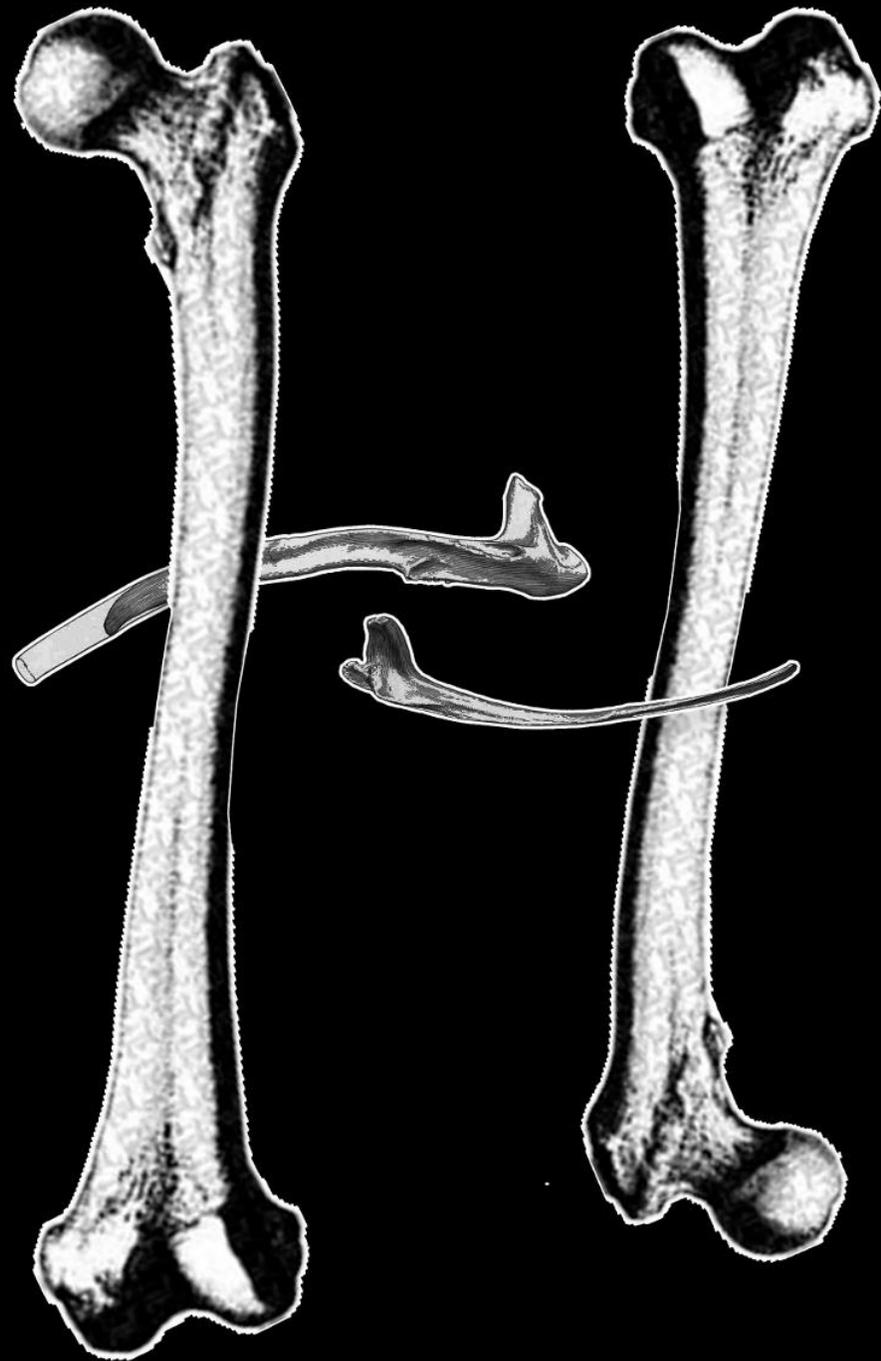


pay homage to cleveland's history

celebrate it's rebirth







Bone Yard

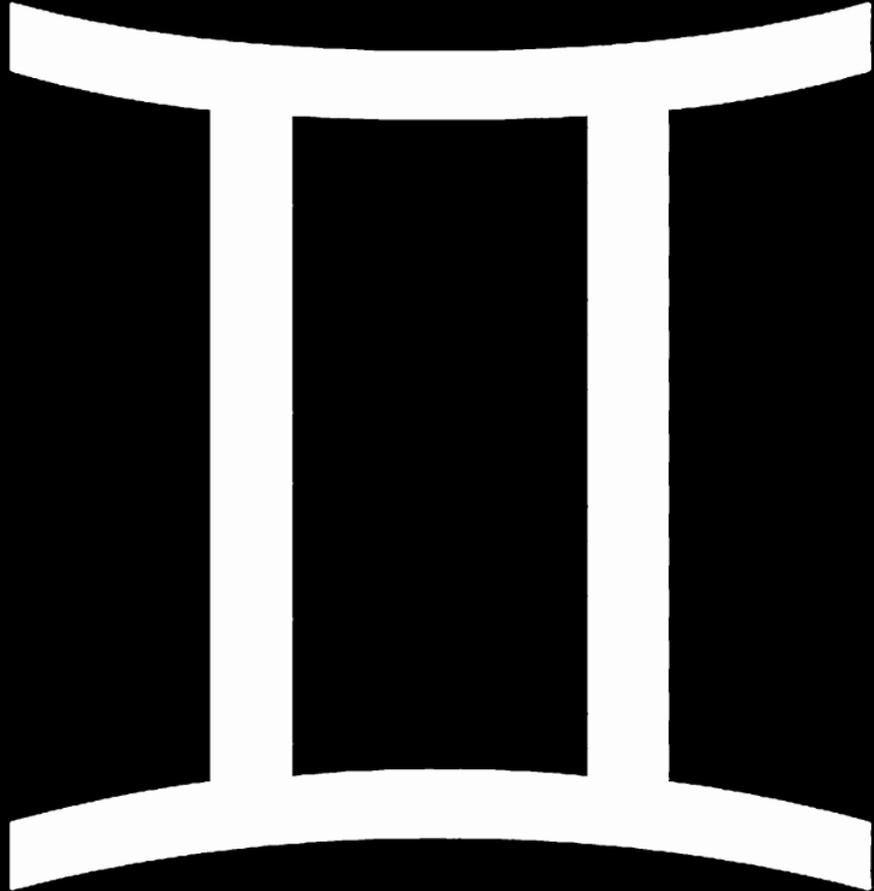


final destination

forever home

a legacy





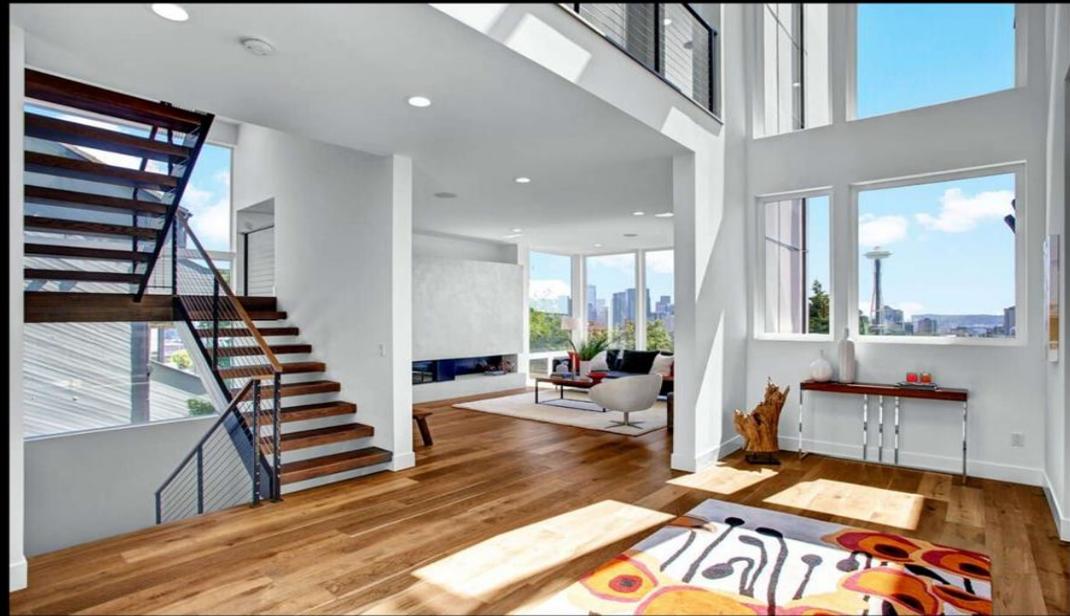
Gemini



room enough for 4

places to be together vs. places to be independent

duality



Happy Hours



full time happiness

socializing / entertainment

different scales / different types / different locations



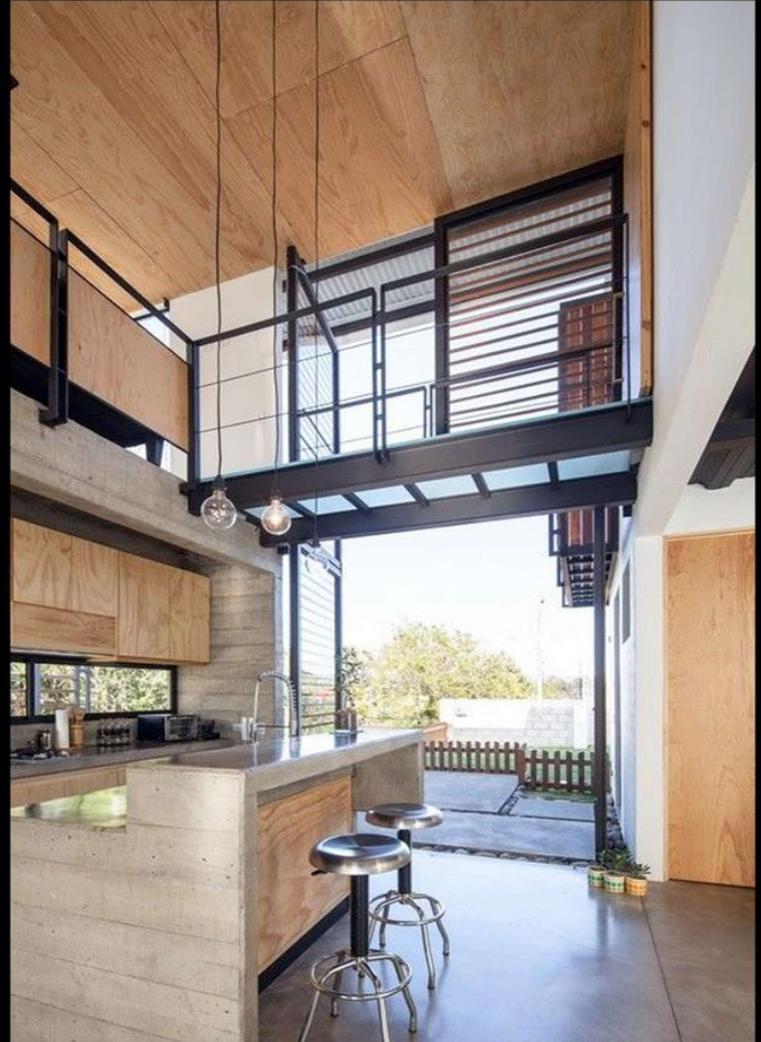
Bridge

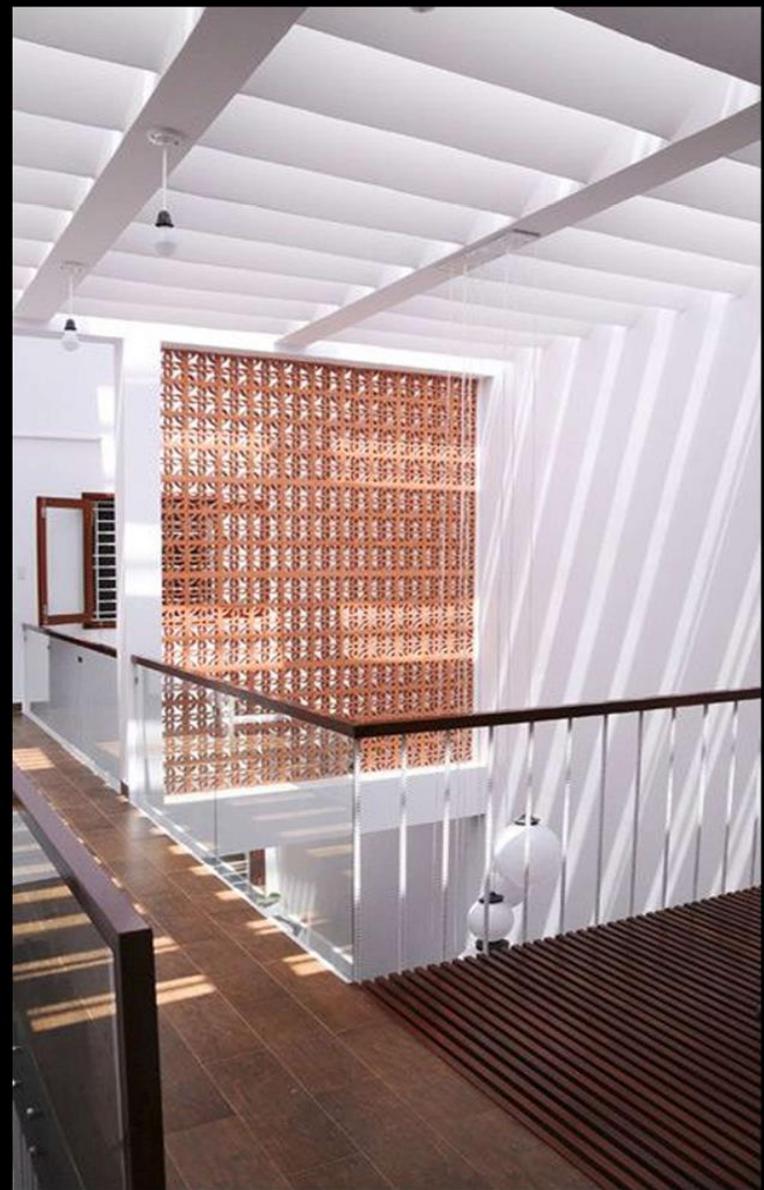
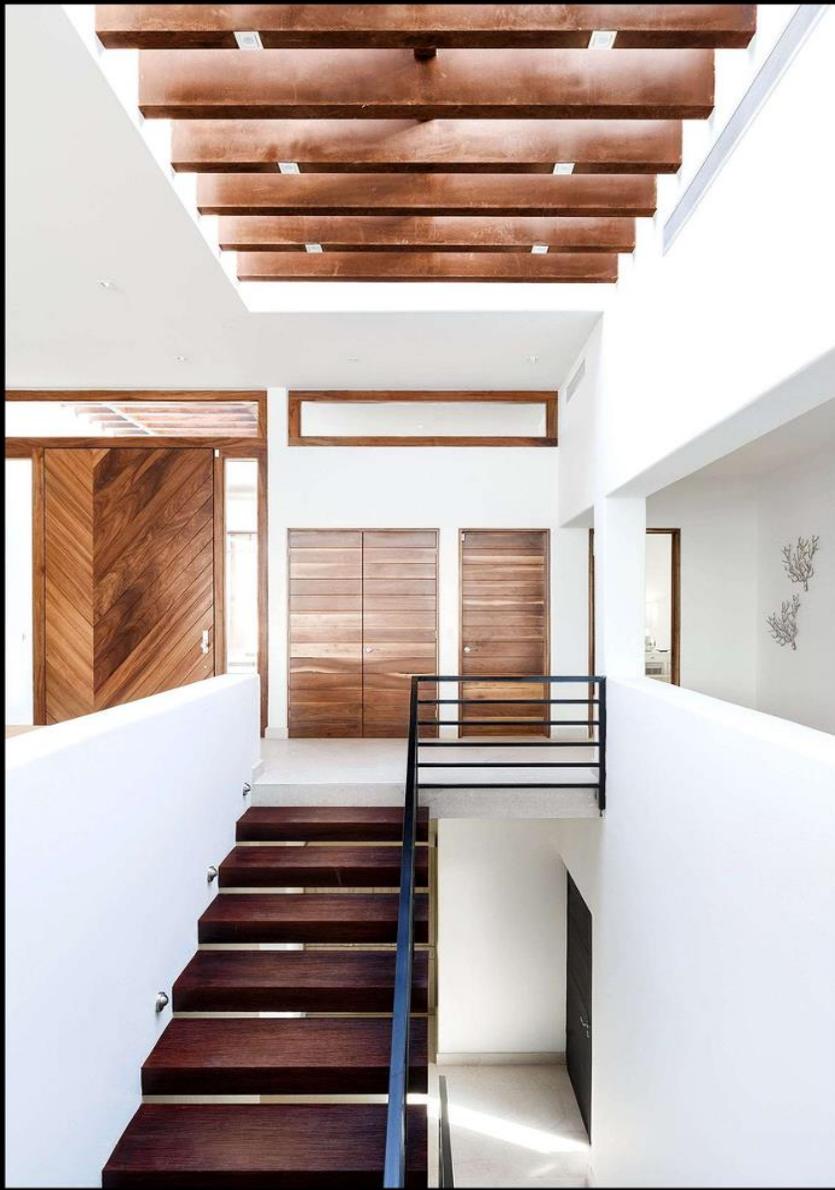


public vs. private

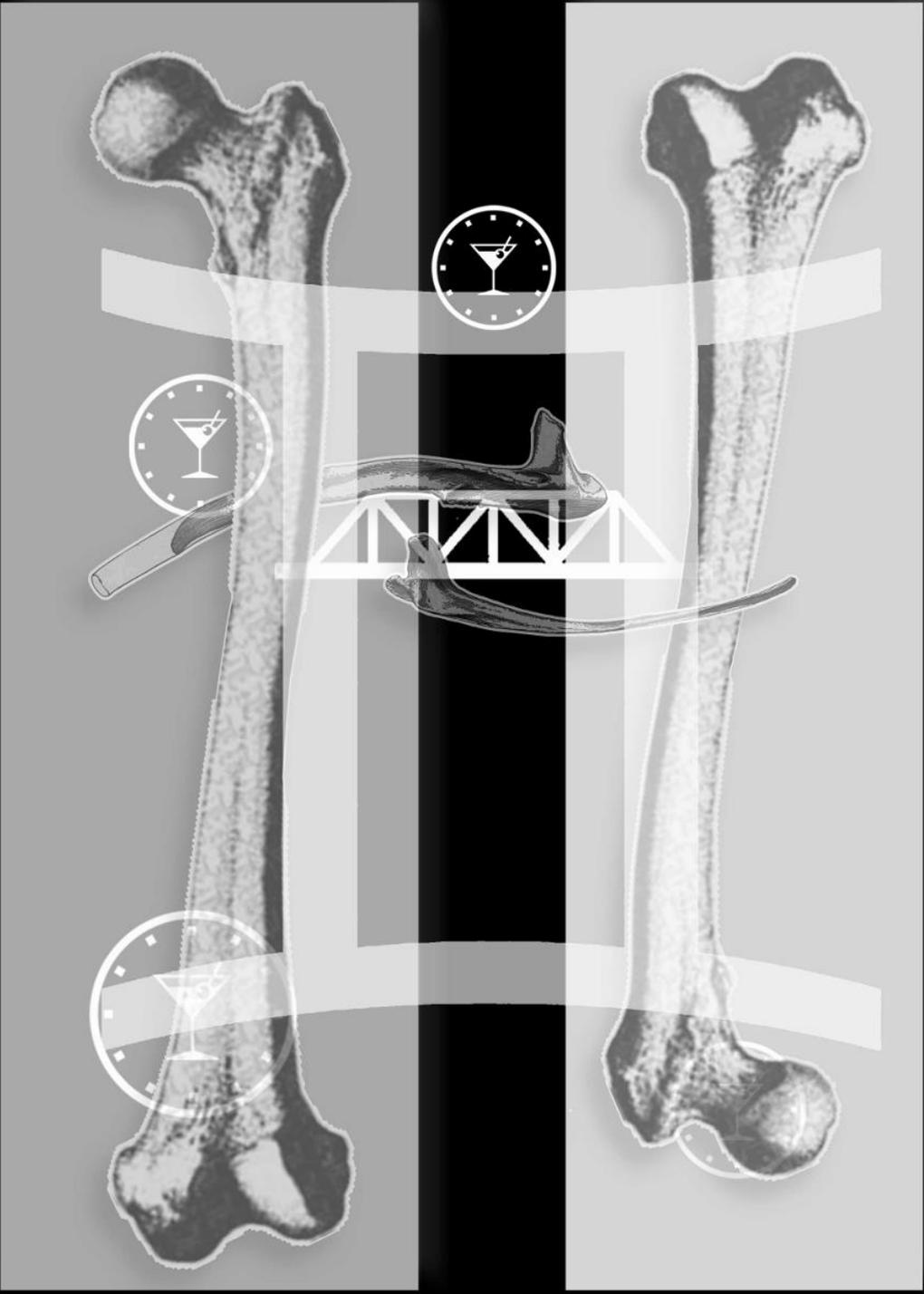
the space between

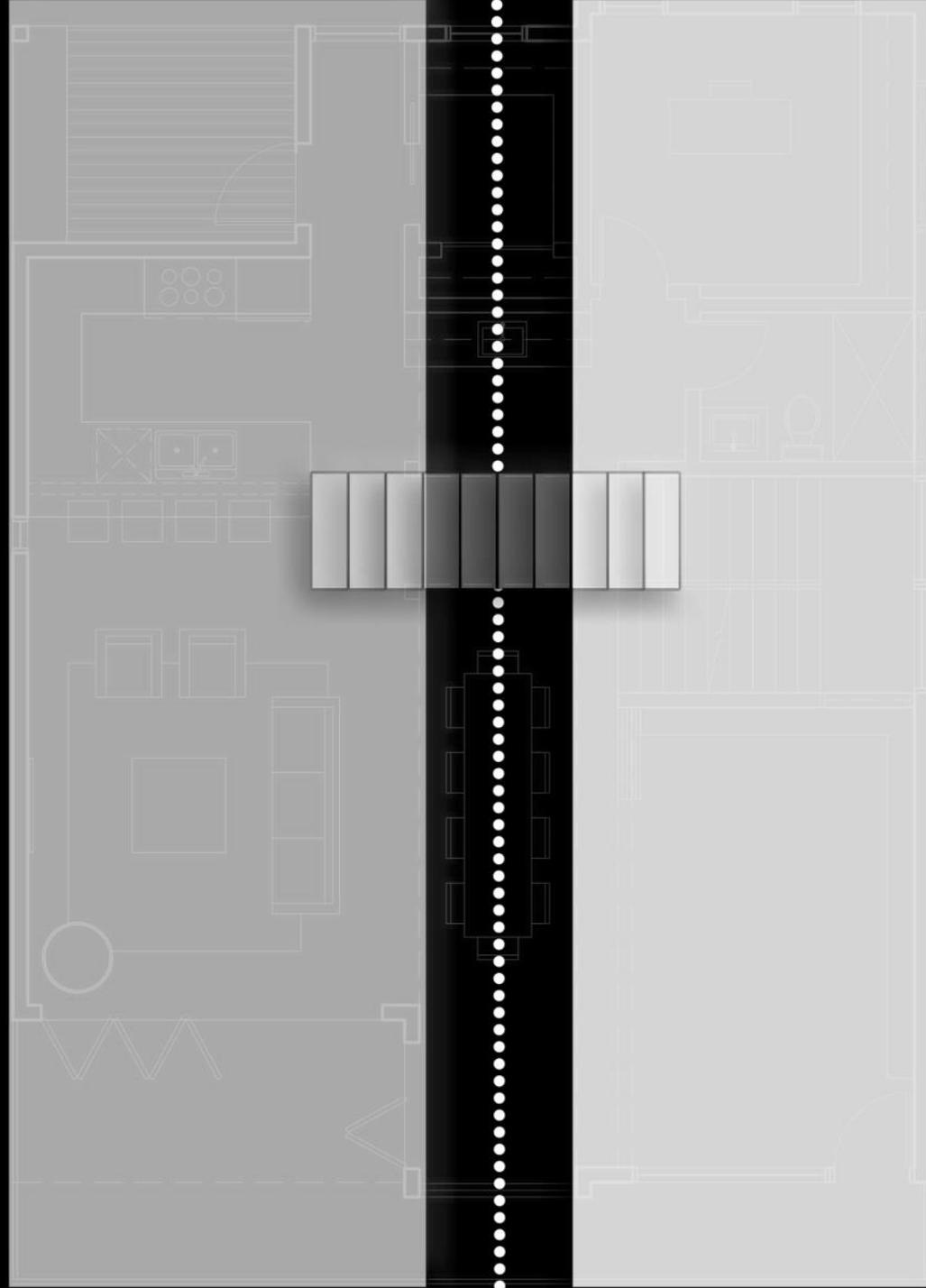
connection - within the house
& to the urban context

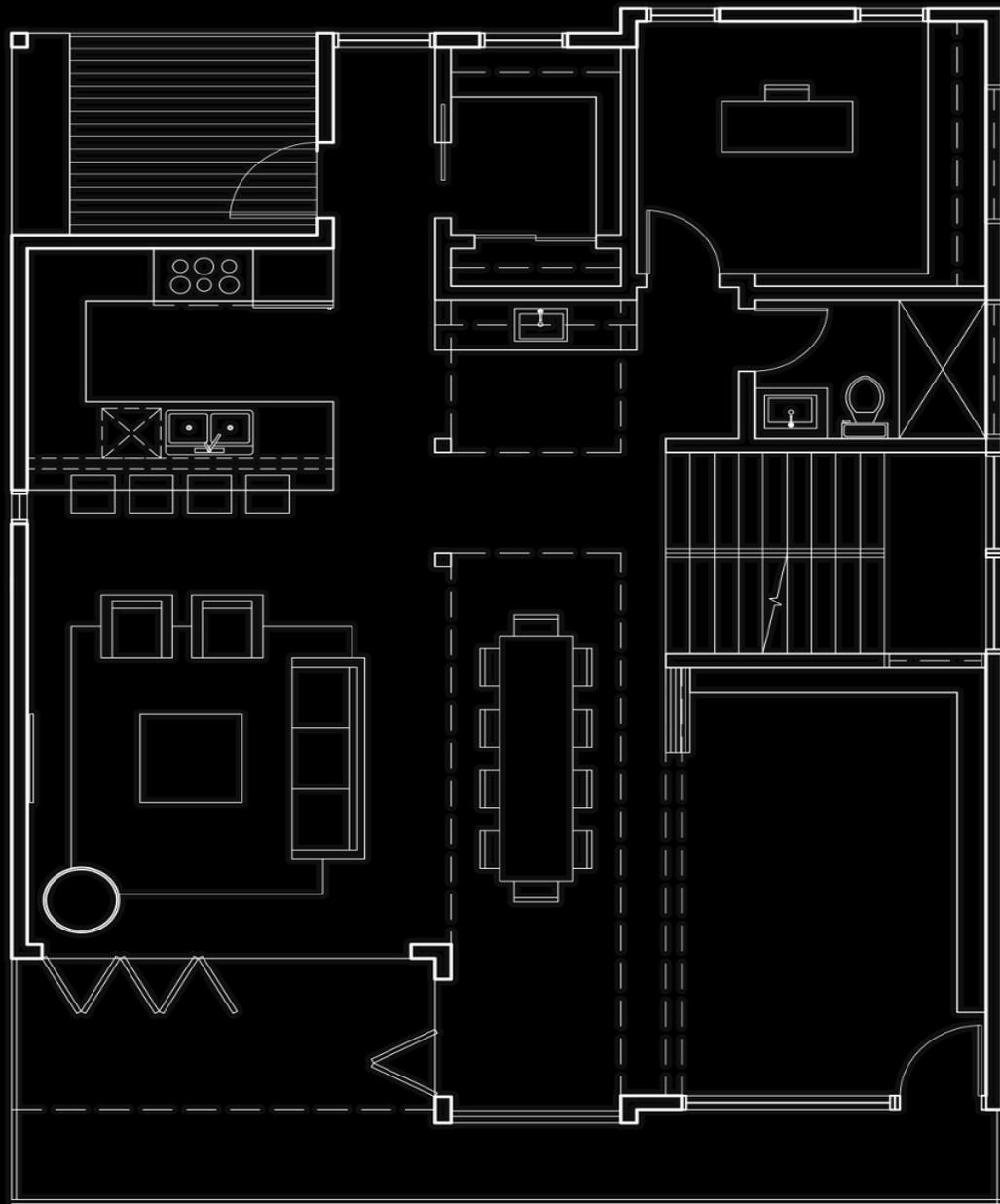




















GENERAL PLAN NOTES

- Civil ground floor finish elev. = XXX' Architectural main level finish floor elev. = XXX'-X".
- Field verify all existing conditions prior to bidding, demolition, and new construction.
- Follow dimensions as noted on the drawings. Do not scale drawings.
- Notify Architect immediately upon discovery of dimensional discrepancies within the drawings. Do not proceed with work until discrepancies are resolved by Architect.
- Construction shall in no way interfere with the day to day operation of the adjacent buildings without prior documented consent of the Owner.
- Coordinate location of equipment and penetrations with mechanical, electrical, and plumbing drawings.
- Provide "J" type drywall trim at all perpendicular intersections with dissimilar materials and at all exposed edges.
- Provide double track deflection joint at all walls which extend to underside of deck above.
- Hinge side of door jamb located in metal stud walls to be 4" from adjacent perpendicular wall u.n.o.

- All doors are dimensioned to the center line of the rough opening or overall rough opening.
- Verify locations of fire extinguishers with local fire department official and Architect prior to placement. All extinguishers to be semi-recessed cabinet mounted type, u.n.o. See specifications.
- All wall dimensions are to outside face of wall, (including mtl. studs, masonry), unless noted otherwise. Wall furring, sheathing and finished materials are not dimensioned on floor plans - see wall legend, plan details, wall sections, etc. for complete wall assembly dimensions.
- Provide blocking behind all avc equipment, wall speakers, monitors, ceiling mounted cameras, screens, projectors, etc. Contractor responsible for misc. steel, unstrut, fit wood blocking, strapping, etc. as required to fully support equipment and accessories indicated in documents.
- All walls to be type 'S/b' unless noted otherwise. See wall types legend sheet for wall types.
- Refer to A900 for wall typical wall types. Refer to A902 for window types.
- All appliances to be provided by owner.

SHEAR WALL SCHEDULE

All shear wall construction & locations shall be compliant with the Ohio Residential Code section 602.10.
 C-WSP - Continuously sheathed wood structural panel
 Typical width - 4'-0", min width 2'-4"
 GB - Gypsum Board
 Typical width - 4'-0"

DOOR LEGEND

All doors to be 1 3/4" solid core mtl. sawn white oak flush doors All doors to be 8" height U.N.O.
 F.H. indicated flush header at full height pocket door

GENERAL FRAMING NOTES

- This structure is designed to resist the following live load conditions:
 First Floor - 40 psf live load
 Second Floor - 40 psf live load
 Roof - 15 psf ground snow load
- Framing members: KD, 19% moisture content or less.
- Unless stated on the drawings, LVL's used shall have the following minimum properties:
 Fv = 285 PSI
 E = 2,900,000 PSI
 E = 1,900,000 PSI
- Where built-up sections of dimensional lumber are indicated, fastening shall be in accordance with nds 15-3.3. multi-ply lvl sections shall be fastened in accordance with manufacturer's instructions.
- Top and bottom plates of stud wall shall be the same grade as studs. Bottom plates at slab shall be treated southern yellow pine. All wood in contact with masonry or concrete shall be pressure treated.
- Use joist hangers designed for given member size to support all rafters and headers framing into sides of other members.
- Provide "Bots @ 16" o.c. in "W" pattern for fitch beams.
- Hangers for all trusses and lvs beams by truss manufacturer.
- Typical truss spacing = 2'-0" except where specifically noted.
- Do not substitute specified material for structural elements without the consent of a qualified design professional.
- Trussist [T/J's] shall be responsible for providing bridging.

- Structure has been designed to meet all bracing requirements of O.R.C. braced wall lines are indicated on plan to comply.
- All steel beams to be anchored w/ steel w/ min. (2) Header studs (beneath application).
- Provide double joists beneath all parallel walls.
- Exterior wall construction, projections, openings or penetrations on exterior walls of dwellings and accessory buildings shall comply w/ table 302.1 of the 2013 Ohio residential code.
- Contractor to provide fasteners which are of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper for all preservative-treated wood connections per 2013 Ohio Residential Code Section 307.5.
- Do not backfill against basement walls until first floor deck is in place and able to resist the imposed forces.
- A mere elaborate foundation and/or waterproofing/damp proofing system may be req'd. Contractor to verify exact conditions.
- Foundation walls shall be back filled with free draining granular materials #57 stone.
- Remove all man-made fill and rubble from the building site.
- Provide 1/2" cement parging, tar & ironite damp proofing on all foundation walls.

FOUNDATION NOTES

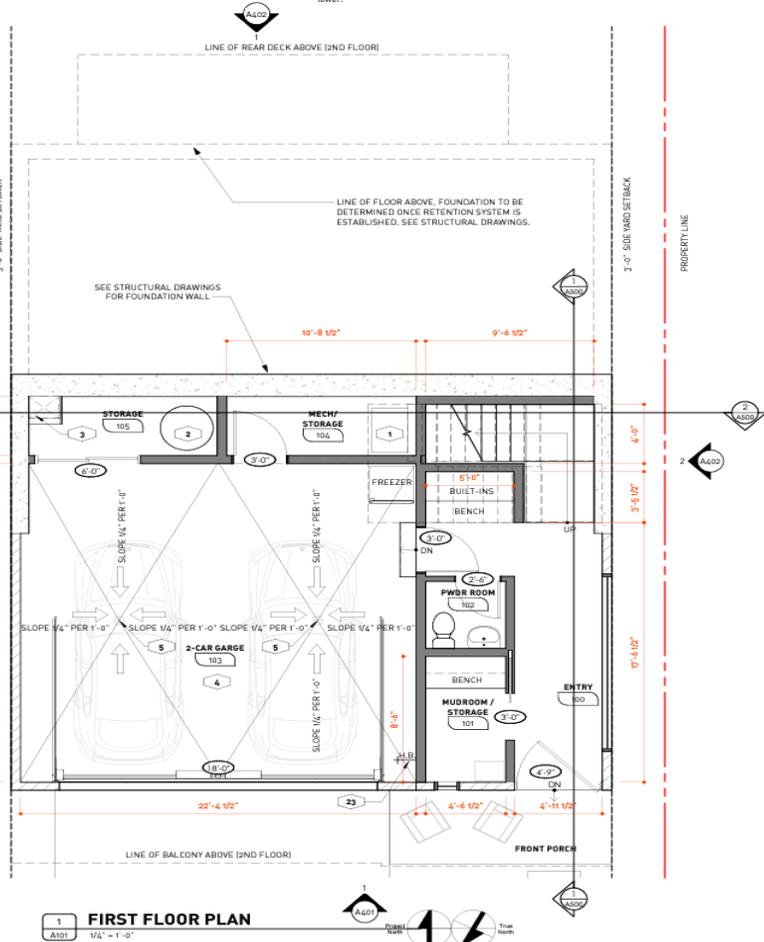
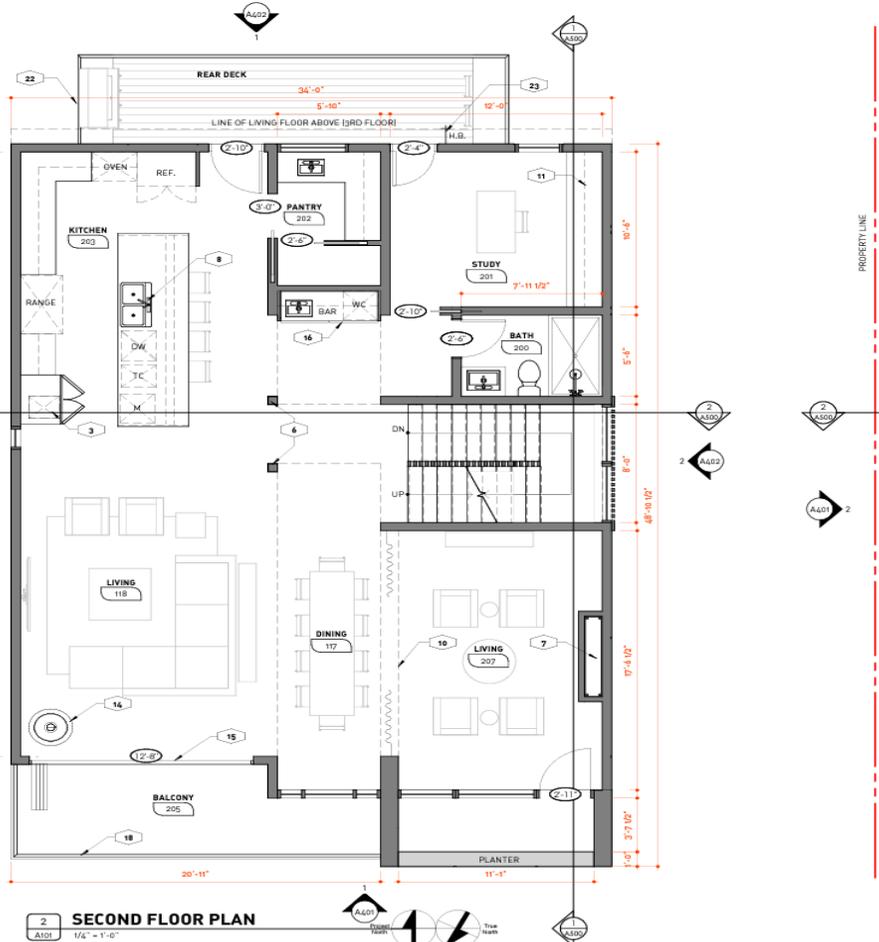
- Step footings as required to maintain 3'-6" min. frost depth and provide continuous reinforced concrete footings at all step conditions.
- Provide (1) #5 steel reinforcing bar (full height) @ 4'-0" o.c. grouted solid. See structural drawings for locations.
- Provide (1) #5 steel reinforcing bar (full height) @ all corners (grout solid). See structural drawings for locations.
- Provide dur-o-wall or eq. horizontal joint reinforcing vertically every other course.
- Soil bearing capacity to be 3000 psf min. the assumed bearing pressure shall be confirmed before any foundation are concreted.
- Minimum concrete strength to be 3000 psi at 28 days.
- Contractor to field verify all existing conditions and dimensions and notify architect of any discrepancies or unusual soil conditions before proceeding with work.
- Foundation design is based on soil bearing capacity to be verified in field by testing agency, prior to placing foundations, submit verification by geotechnical engineer.
- Footing elevations shown on plan are to bottom of footing.
- Place footings at elevations shown or to undisturbed soil of design capacity, whichever is lower.
- Footing depths shown are minimum. all footings to bear on firm undisturbed earth, at least 3'-4" below finish grade.
- Footing excavations to have flat bottoms with bearing surfaces undisturbed by method of excavations and protected from water accumulation and freezing.
- Footing steps may be 1 vertical to 2 horizontal with a maximum step of 2'-0"
- Compact fill to 98% maximum dry density at optimum moisture content (+2%) when tested in accordance with ASTM D-698. Deposit fill in 8" loose lifts.

PLAN LEGEND

- NEW FOUNDATION WALL**
8" or 12" poured concrete wall w/ vertical & horizontal rebar per structural drawings on concrete footer (min 3'-4" below grade) w/ continuous rebar per structural drawings. Step footer as req'd.
- NEW FOUNDATION WALL W/ FINISHED BASEMENT**
8" or 12" poured concrete wall w/ vertical & horizontal rebar per structural drawings on concrete footer (min 3'-4" below grade) w/ continuous rebar per structural drawings. Step footer as req'd. Provide 2x4 stud wall @ 16" o.c. w/ 1" gap between stud wall & masonry wall. Provide closed cell spray foam insulation light along foundation wall & between studs & provide 5/8" drywall @ interior. Provide pressure treated bottom plate.
- EXTERIOR WALL**
2x4 Stud wall @ 16" o.c. w/ 5/8" drywall at interior. Provide 7/16" oak sheathing @ exterior w/ "vapor shield" breathable membrane system house wrap & min R-22 insulation in walls. See elevations on sht A3.0 & A3.1 for exterior finish.
- INTERIOR WALL**
2x4 Stud wall @ 16" o.c. w/ 5/8" drywall at both sides. Provide 2x4 stud wall @ 16" o.c. @ all plumbing wall & pocket door locations w/ moisture resistant drywall. Provide sound deadening drywall @ all bathrooms, master suite & mechanical room.

NUMBER	FLOOR PLAN KEYNOTES	DESCRIPTION
1		MECHANICAL FURNACE
2		WATER HEATER
3		DUMB WAITER
4		4" CONCRETE SLAB W/ W/VPF PER STRUCTURAL ON 6 MIL VAPOR BARRIER ON 4" COMPACT GRAVEL FILL. TYP. PROVIDE SMOOTH TROWEL FINISH W/ CONTROL JOINTS AS REQ'D. PROVIDE EPOXY FINISH.
5		6" DIAMETER GARAGE DRAIN
6		COLUMN REQUIREMENTS TBD BY STRUCTURAL ENGINEER
7		FIREPLACE - LINE ITEM
8		POT FILLER
9		FROSTED GLASS
10		CURTAIN IN RECESSED TRACK
11		BOOKSHELVES OVER BUILT-INS
12		CLOSET SYSTEM TO BE PROVIDED BY OWNER
13		ART NICHE
14		FIREPLACE
15		FOLDING GLASS NANAWALL
16		BUILT-IN BAR W/ (2) RETRACTABLE MILLWORK PANELS
17		RECESS FOR MOTORIZED WINDOW BLINDS
18		OPEN CABLE RAIL
19		42" HIGH PLANTER
20		DECORATIVE PENDANT PROVIDED BY OWNER
21		ELECTRIC HEAT MATS IN PROVIDED
22		PROVIDE GAS LINE FOR GRILLS AND FIRE FEATURES
23		FROST PROOF HOSE BIBB

First Floor	315 sf
Second Floor	1,387 sf
Third Floor	1,271 sf
Fourth Floor	113 sf
TOTAL	3,886 sf
Garage	652 sf
Second Floor Balcony	180 sf
Third Floor Balcony	93 sf
Fourth Floor Deck	524 sf



PROGRESS SET

ADAMSON + PAGE RESIDENCE
 LOT 11
 CARTER ROAD DEVELOPMENT
 CLEVELAND, OH 44113

1	PRELIM PRICING SET	07-29-2021
2	REV. PRICING SET	12-31-2021
3	CONTRACT SET	06-05-2022

PROJECT NUMBER: 001-00

FIRST + SECOND FLOOR PLANS

A101

GENERAL PLAN NOTES

- Civil ground floor finish floor elev. = XXX'. Architectural main level finish floor elev. = XXX'-X".
- Field verify all existing conditions prior to bidding, demolition, and new construction.
- Follow dimensions as noted on the drawings. Do not scale drawings.
- Notify Architect immediately upon discovery of dimensional discrepancies within the drawings. Do not proceed with work until discrepancies are resolved by Architect.
- Construction shall in no way interfere with the day to day operation of the adjacent buildings without prior documented consent of the Owner.
- Coordinate location of equipment and penetrations with mechanical, electrical, and plumbing drawings.
- Provide "J" type drywall trim at all perpendicular intersections with dissimilar materials and at all exposed edges.
- Provide double top track deflection joint at all walls which extend to underside of deck above.
- Hinge side of door jamb located in metal stud walls to be 4" from adjacent perpendicular wall u.n.o.

- All doors are dimensioned to the center line of the rough opening or overall rough opening.
- Verify locations of fire extinguishers with local fire department official and Architect prior to placement. All extinguishers to be semi-recessed cabinet mounted type, u.n.o. (see specifications).
- All wall dimensions are to outside face of wall, including mtl, studs, masonry, unless noted otherwise. Wall framing, sheathing and finished materials are not dimensioned on floor plans - see wall legend, plan details, wall sections, etc. for complete wall assembly dimensions.

- Provide blocking behind all a/v equipment, wall speakers, monitors, ceiling mounted cameras, screens, projectors, etc. Contractor responsible for misc. steel, unistrut, firt wood blocking, strapping, etc. as required to fully support equipment and accessories indicated in documents.
- All walls to be type "S48" unless noted otherwise, see wall types legend sheet for wall types.
- Hinge side of door jamb located in metal stud walls to be 4" from adjacent perpendicular wall u.n.o.
- All appliances to be provided by owner.

GENERAL FRAMING NOTES

- This structure is designed to resist the following live load conditions:
First Floor - 40 psf live load
Second Floor - 40 psf live load
Roof - 15 psf ground snow load
- Framing members: KD, 19% moisture content or less.
- Unless stated on the drawings, LVL's used shall have the following minimum properties:
Fv = 285 PSI
Fb = 2500 PSI
E = 1,900,000 PSI

- Where built-up sections of dimensional lumber are indicated, fastening shall be in accordance with nbs 15.3.3; multi-gly ty sections shall be fastened in accordance with manufacturer's instructions.
- Top and bottom plates of stud wall shall be the same grade as studs. Bottom plates at slab shall be treated southern yellow pine. All wood in contact with masonry or concrete shall be pressure treated.
- Use just hangers designed for given member size to support all rafters and headers framing into sides of other members.

- Provide "Bolts @ 16" o.c. in "W" pattern for flitch beams.
- Hangers for all trusses and lvl beams by truss manufacturer.
- Typical truss spacing = 2'-0" except where specifically noted.
- Do not substitute specified material for structural elements without the consent of a qualified design professional.
- Trussist (TJI's) shall be responsible for providing bridging.

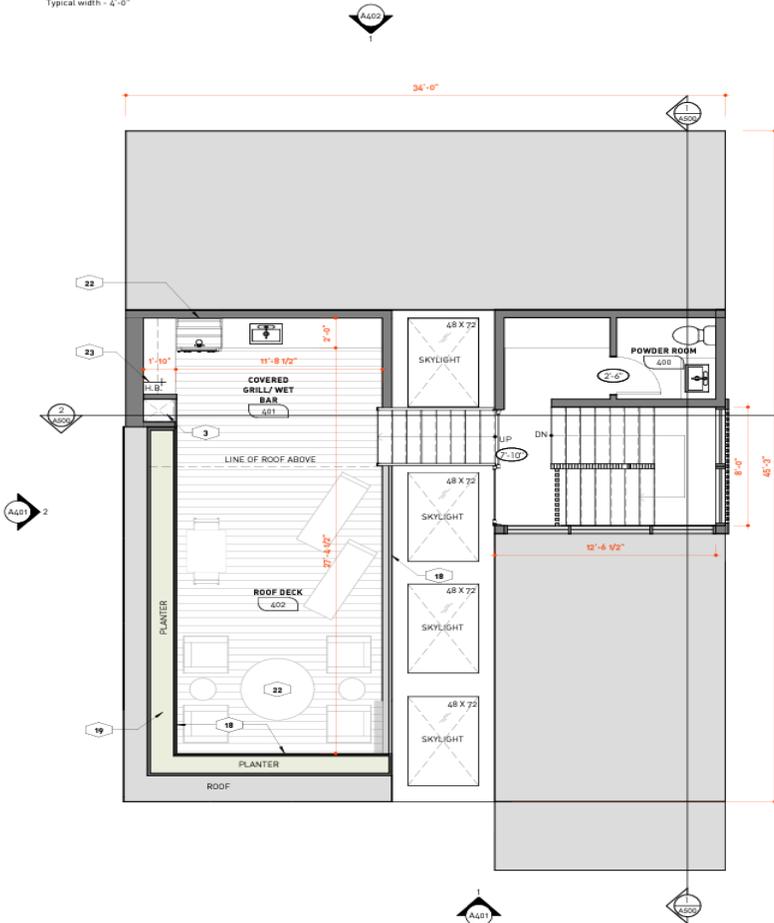
- Structure has been designed to meet all wall bracing requirements of O.R.C. braced wall lines are indicated on plan to comply.
- All steel beams to be anchored w/ steel p w/ min. (2) Header studs (level) applied below.
- Provide double joists beneath all parallel walls.
- Exterior wall construction, projections, openings or penetrations or exterior walls of dwellings and accessory buildings shall comply w/ table 302.1 of the 2013 Ohio residential code.
- Contractor to provide fasteners which are of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper for all preservative-treated wood connections per 2013 Ohio Residential Code Section 317.3.

SHEAR WALL SCHEDULE

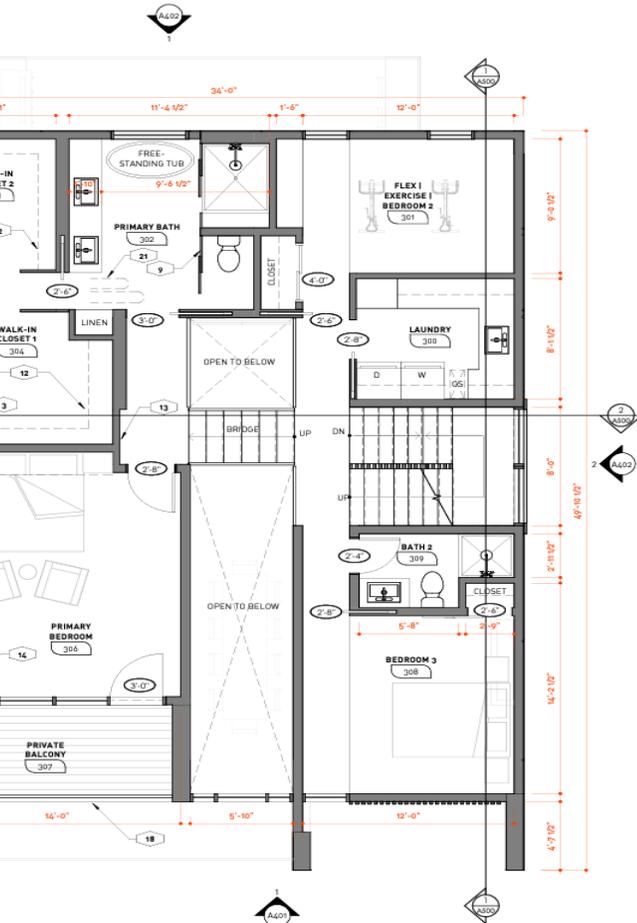
All shear wall construction & locations shall be compliant with the Ohio Residential Code section 602.10.
C-WSP : Continuously sheathed wood structural panel
Typical width = 4'-0", min width 2'-4"
GB : Gypsum Board
Typical width = 4'-0"

DOOR LEGEND

All doors to be 1 3/4" solid core nt, sawn white oak flush doors
All doors to be 8" height U.N.O.
F.H. indicated flush header at full height pocket door



2 FOURTH FLOOR PLAN
1/4" = 1'-0"



1 THIRD FLOOR PLAN
1/4" = 1'-0"

PLAN LEGEND

- NEW FOUNDATION WALL**
8" or 12" poured concrete wall w/ vertical & horizontal rebar per structural drawings on concrete footer lmin 3'-0" below grade/w/ continuous rebar per structural drawings. Step footer as req'd.
- NEW FOUNDATION WALL W/ FINISHED BASEMENT**
8" or 12" poured concrete wall w/ vertical & horizontal rebar per structural drawings on concrete footer lmin 3'-6" below grade/w/ continuous rebar per structural drawings, step footer as req'd. Provide 2x6 stud wall @ 16" o.c. w/ 1" gap between stud wall & masonry wall, provide closed cell spray foam insulation tight along foundation wall & between studs & provide 5/8" drywall @ interior. Provide pressure treated bottom plate.
- EXTERIOR WALL**
2x6 Stud wall @ 16" o.c. w/ 5/8" drywall at interior. Provide 2"x6" osh sheathing @ exterior w/ vapor shield/ breathable membrane system house wrap & min R-22 insulation in walls. See elevations on sht A3.0 & A3.1 for exterior finish.
- INTERIOR WALL**
2x4 Stud wall @ 16" o.c. w/ 5/8" drywall at both sides. Provide 2x6 stud wall @ 16" o.c. @ all plumbing wall & pocket door locations w/ moisture resistant drywall. Provide sound deadening drywall @ all bathrooms, master suite & mechanical room.

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1	MECHANICAL FURNACE	
2	WATER HEATER	
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4	4" CONCRETE SLAB W/ WVF PER STRUCTURAL ON 6 MIL VAPOR BARRIER ON 4" COMPACT GRAVEL FILL. TYP. PROVIDE SMOOTH TROWEL FINISH W/ CONTROL JOINTS AS REQ'D. PROVIDE EPOXY FINISH.	
5	6" DIAMETER GARAGE DRAIN	
6	COLLIM REQUIREMENTS TBD BY STRUCTURAL ENGINEER	
7	FIREPLACE - LINE ITEM	
8	POT FILLER	
9	FROSTED GLASS	
10	CURTAIN IN RECESSED TRACK	
11	BOOKSHELVES OVER BUILT-INS	
12	CLOSET SYSTEM TO BE PROVIDED BY OWNER	
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PROGRESS SET

ADAMSON + PAGE RESIDENCE
LOT 11
CARTER ROAD DEVELOPMENT
CLEVELAND, OH 44113

1	PRELIM PRICING SET	07-29-2021
2	REV. PRICING SET	12-31-2021
3	CONTRACT SET	06-05-2022

TRUSS CONNECTOR:

Use Simpson Strong-Tie H25, H4, or H5 at all truss design bearing points at exterior.

NOTES:

- Contractor to verify truss dimensions prior to ordering / construction.
- Permanent pre-engineered wood truss bracing and anchorage to be provided in accordance with OBC.

TRUSS BRACING NOTES:

- All bracing shown or described shall be minimum 2x4 with [2] - 16D in every truss it crosses.
- All truss top chords shall be continuously braced.
- All truss web members shall be braced at 4'-0" O.C. unless calculations from pre-engineered truss drawings show otherwise.
- All horizontal bracing shall be stiffened @ 20'-0"
 - Diagonal Bracing extended to a shear wall parallel to the original bracing.
 - 1/2" Plywood sheet extended to roof deck.
- All horizontal bracing shall be braced @ 4'-0" O.C. unless calculations from pre-engineered truss draw

NOTE: All truss bracing shall be provided as designed per the pre-engineered truss manufacturer.

GENERAL ROOF NOTES:

- Contractor shall supply all tapered insulation as required to achieve roof slopes as detailed on drawing. Roof to maintain a minimum of R19 at all locations.
- Coordinate mechanical/pumbing equipment such as fans, vent pipe penetrations, roof drains, and other misc. roof penetrations with mechanical drawings.
- Patch roof deck as required by fully welding new roof deck to existing.
- All existing roof drain locations and associated piping are to remain. Refer to pumbing drawings for new work. (RSD) indicates exist. roof drain location. (RDI) indicates new roof drain location. (ODI) indicates new overflow roof drain locations. (D.S.) indicates new down spouts.
- Slope all rigid insulation positively to drain, minimum slope 1/4" per foot. Slope all roof crickets a minimum of 1/2" per foot. Provide tapered insulation as necessary.
- Dimension of ice and water guard location measured parallel with roof slope, 3'-0" min.

RUBBER ROOFING

Membrane roofs to receive firestone "subergard" a fully adhered 60 mill EPDM roof with fasteners, plates and sealer, or approved equal. Install per MFG. specifications and recommended details. See details below for typical installation conditions.

EPDM roof to be installed by a firestone approved installer.

EPDM membrane to be fully adhered to min 1" isoply insulation, mechanically fastened to min. 3/4" T&G plywood with fasteners in compliance with FM4470 for corrosion resistance. Use metal plates profiled to allow fasteners to be recessed. Follow manufacturer's specs and recommendations.

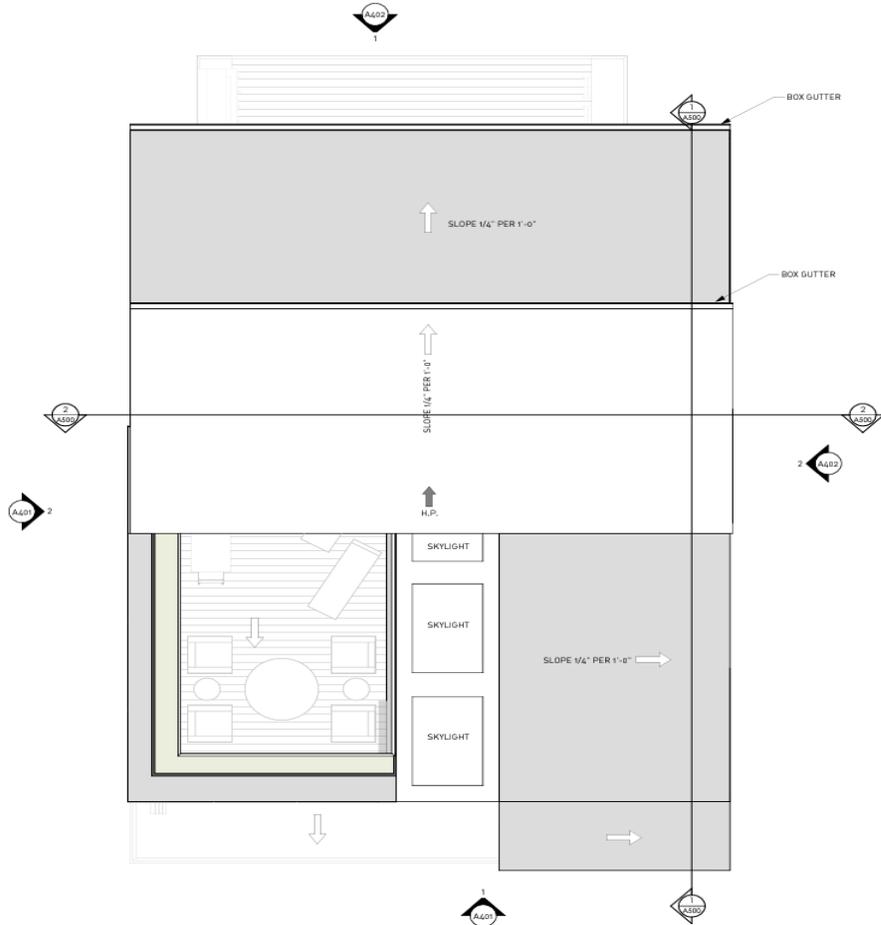
Follow manufacturer's recommendations for edge treatment of installed EPDM membrane.

Installer to provide min 5 year warranty.

- 6" ALUMINUM BOX GUTTER**
D.S. Indicates down spout location
- ASPHALT SHINGLE ROOFING**
Duration Asphalt Shingle by Owens Corning;
Color: Dryx Black
- NOTE:** Dimensions of skylight are provided from outside of frame to outside of frame.

ROOF LEGEND:

-  NEW MEMBRANE ROOF SYSTEM
-  ICE & WATER GUARD AT EAVES
-  CRICKET/TAPERED ROOF INSULATION
-  ROOF WALKWAY PADS



1 ROOF PLAN
A103 1/4" = 1'-0"



FLOOR PLAN KEYNOTES	
NUMBER	DESCRIPTION
1	MECHANICAL FURNACE
2	WATER HEATER
3	DUMB WAITER
4	4" CONCRETE SLAB W/ 1/4" MIN PER STRUCTURAL ON 6 MIL VAPOR BARRIER ON 4" COMPACT GRAVEL FILL. TYP. PROVIDE SMOOTH TROWEL FINISH W/ CONTROL JOINTS AS REQ'D. PROVIDE EPOXY FINISH.
5	6" DIAMETER GARAGE DRAIN
6	COLUMN REQUIREMENTS TBD BY STRUCTURAL ENGINEER
7	FIREPLACE - LINE ITEM
8	POT FILLER
9	FROSTED GLASS
10	CURTAIN IN RECESSED TRACK
11	BOOKSHELVES OVER BUILT-IN
12	CLOSET SYSTEM TO BE PROVIDED BY OWNER
13	ART NICHE
14	FIREPLACE
15	FOLDING GLASS NANAWALL
16	BUILT-IN BAR W/ (2) RETRACTABLE MILLWORK PANELS
17	RECESS FOR MOTORIZED WINDOW BLINDS
18	OPEN CABLE RAIL
19	42" HIGH PLANTER
20	DECORATIVE PENDANT PROVIDED BY OWNER
21	ELECTRIC HEAT MATTS IN FLOOR
22	PROVIDE GAS LINE FOR GRILLS AND FIRE FEATURES
23	FROST PROOF HOSE BIBB



14394 DETROIT AVE
LAKEWOOD, OH 44107
P. 216.771.1920
W. AODKINC.COM

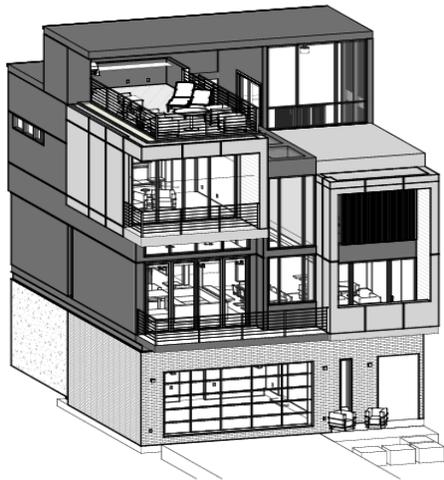
PROGRESS SET

ADAMSON + PAGE RESIDENCE
LOT 11
CARTER ROAD DEVELOPMENT
CLEVELAND, OH 44113

- 1. PRELIM PRICING SET 07.28.2021
- 2. REV. PRICING SET 12.31.2021
- 3. CONTRACT SET 06.05.2022

PROJECT NUMBER: 1017-19

ROOF PLAN
A103



3 **NORTHEAST EXTERIOR AXON**

EXTERIOR FINISH LEGEND				
Mark	Description	Material/Comments	Manufacturer	Color
BR-1	Masonry Veneer		TBD	TBD
CONC-1	Concrete	Smooth Finish Architectural	TBD	Grey
MTL-1	Composite or Porcelain Rainscreen	Corten Look	TBD	Dark Tan
MTL-2	Vertical Corrugated Metal Panels as Rainscreen		TBD	Black
WD-1	Wood Panel Siding		TBD	Blonde

PROGRESS SET

ADAMSON + PAGE RESIDENCE

LOT 11

CARTER ROAD DEVELOPMENT
CLEVELAND, OH 44113

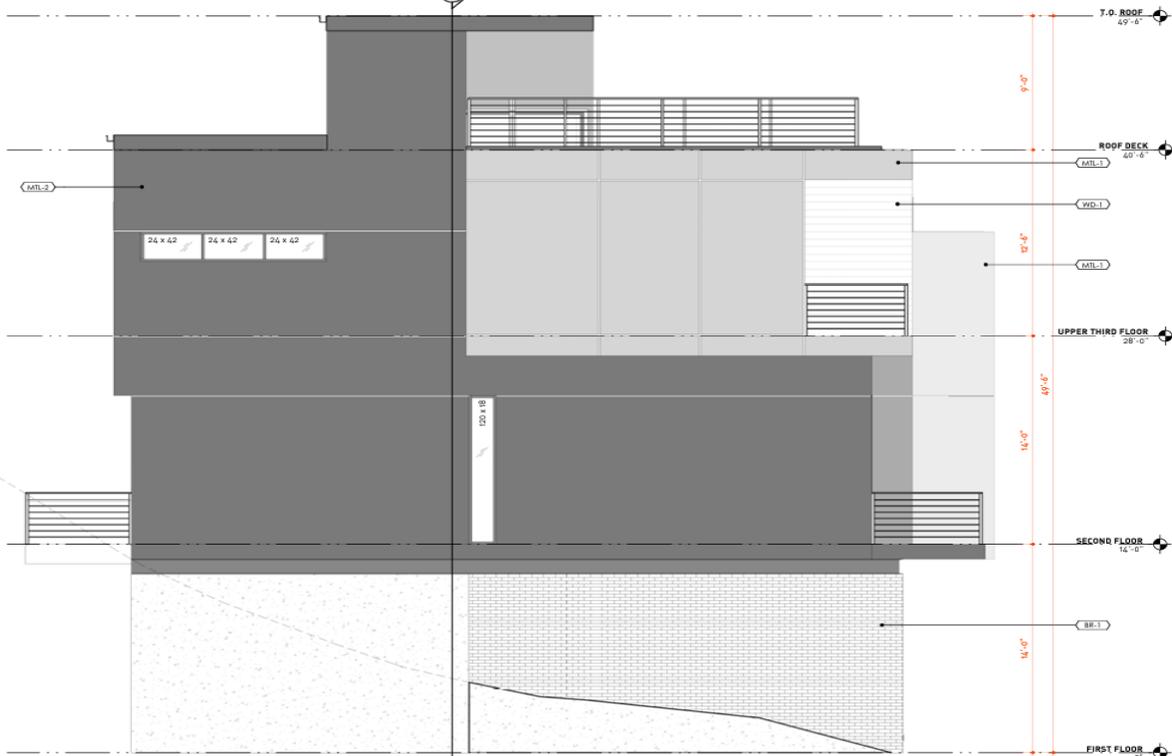
1	PRELIM PRICING SET	07-29-2021
2	REV. PRICING SET	09-31-2021
3	CONTRACT SET	08-05-2022

PROJECT NUMBER: 2001-19

NORTH AND EAST EXTERIOR ELEVATIONS

A401

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2 **EAST EXTERIOR ELEVATION**
A401 1/4" = 1'-0"

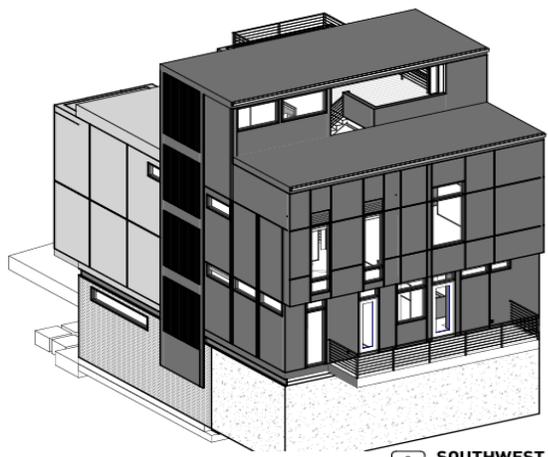


1 **NORTH EXTERIOR ELEVATION**
A401 1/4" = 1'-0"

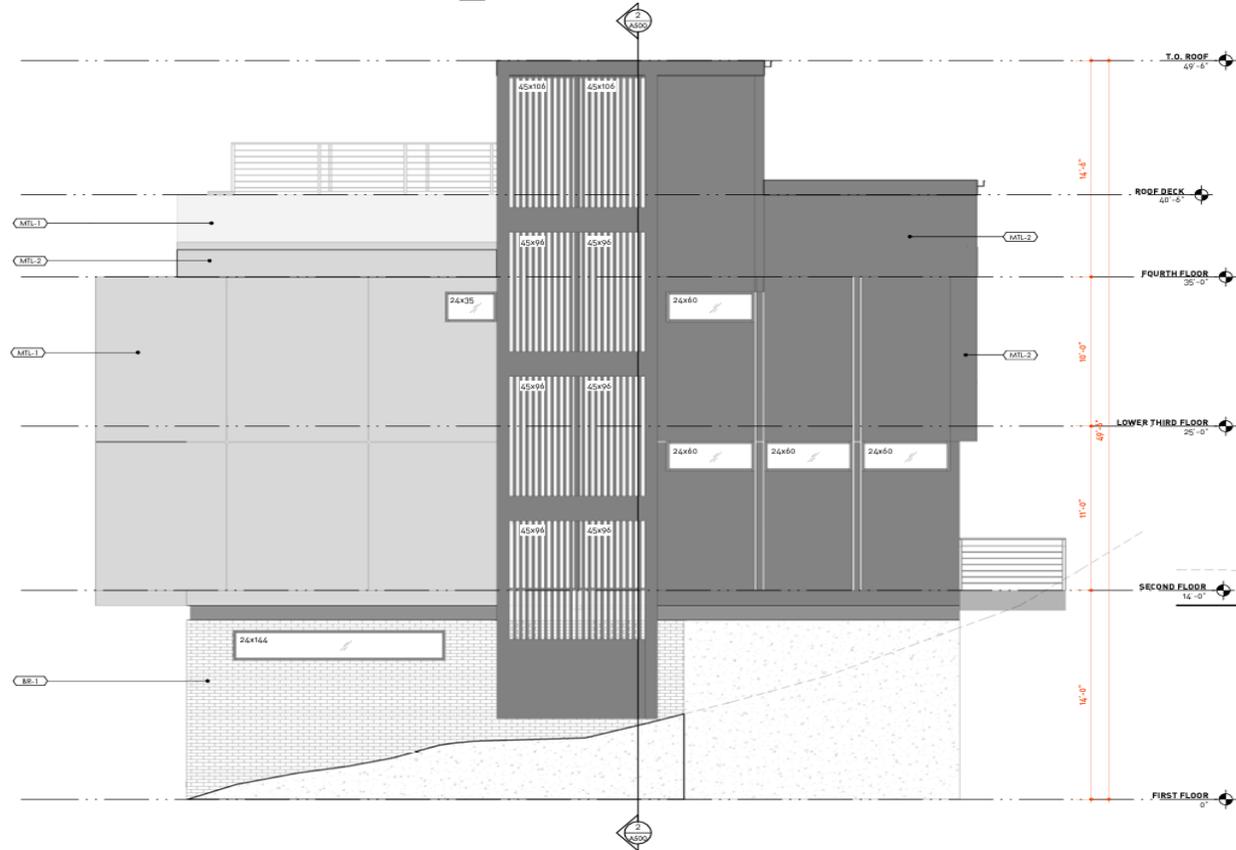
GARAGE DOOR DESIGN TO BE APPROVED BY OWNERS

4'-11" SOLID WOOD ENTRY PIVOT DOOR. DESIGN TO BE APPROVED BY OWNERS

EXTERIOR FINISH LEGEND				
Mark	Description	Material/Comments	Manufacturer	Color
BR-1	Masonry Veneer		TBD	TBD
CDNC-1	Concrete	Smooth Finish Architectural	TBD	Grey
MTL-1	Composite or Porcelain Rainscreen	Certen Look	TBD	CarTen
MTL-2	Vertical Corrugated Metal Panels as Rainscreen		TBD	Black
WD-1	Wood Panel Siding		TBD	Blonde



3 **SOUTHWEST EXTERIOR AXON**
A402



2 **WEST EXTERIOR ELEVATION**
A402 1/4" = 1'-0"



1 **SOUTH EXTERIOR ELEVATION**
A402 1/4" = 1'-0"

FOUNDATION TO BE DETERMINED ONCE RETENTION SYSTEM IS ESTABLISHED. SEE STRUCTURAL DRAWINGS.



SITE PLAN OF SUBLOT 11 CARTER ROAD

PERMANENT PARCEL NUMBER 004-026-039
 STREET ADDRESS CARTER ROAD
 PART OF ORIGINAL BROOKLYN TOWNSHIP LOT 70
 IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
 PREPARED FOR CIVIC BUILDERS
 T.B.M. ELEVATION 618.41'
 T.B.M. LOCATION TOP NUT HYDRANT
 FIN. FIRST FLOOR EL. 618.50' FIN. BASEMENT FLOOR EL.
 TOP OF FOOTER EL. 617.50' FIN. GARAGE FLOOR EL. 617.50'
 SAN. CONN. EL. FIELD VERIFY STM. CONN. EL. FIELD VERIFY

CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:

- A. FIN. FLOOR ELEVATION & HOUSE DIMENSIONS
- B. LOCATION & ELEVATIONS OF EXISTING UTILITY CONNECTIONS

SIDEWALKS TO BE 4" THICK CONCRETE EXCEPT AT DRIVE APRON WHICH IS TO BE 6" THICK CONCRETE.

EXISTING SEWER CONNECTIONS CAN ONLY BE USED IF THEY ARE IN GOOD WORKING CONDITION. THE CITY SHALL DECIDE ON THE CONDITION OF EXISTING CONNECTIONS.

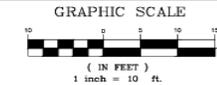
THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF W.P.C., BEFORE PERFORMING THE SEWER WORK.

THE CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER WORK WITH CLEVELAND WATER DEPARTMENT PRIOR TO CONSTRUCTION. ANY EXISTING INACTIVE WATER CONNECTIONS ALONG PROPERTY FRONTAGE SHALL BE PLUGGED PER CWD STANDARDS. CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES.

- 1 WATER CONNECTION TO BE INSTALLED PER CWD STANDARDS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONNECTION. CONTRACTOR TO COORDINATE WITH CWD.
- 2 THE CONTRACTOR IS RESPONSIBLE TO VERIFY INVERT OF EXISTING SEWER AT CONNECTION POINT PRIOR TO ANY CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ALL FINDINGS.
- 3 AREA BETWEEN RETAINING WALL AND NEW HOUSE SHALL BE BACKFILLED WITH DODD #57 LIMESTONE AND GEOFORM. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL ELEVATION INFORMATION.

SEWER REFERENCE:
 SEWER PLAN A-1519
 SHEETS 1-4 OF 9

SURVEY NOTE:
 EXISTING CONDITIONS SURVEY WAS COMPLETED ON 12/10/2017 BY POLARIS ENGINEERING AND SURVEYING, INC.



UTILITY PROVIDER SOURCE INFORMATION FROM PLANS PROVIDED BY THE CLIENT, THE TITLE COMPANY AND THE UTILITY PROVIDER AND ON-GROUND UTILITY MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

DIMENSIONS SHOWN ON THIS PLAN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. BEARINGS ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.

PRELIMINARY

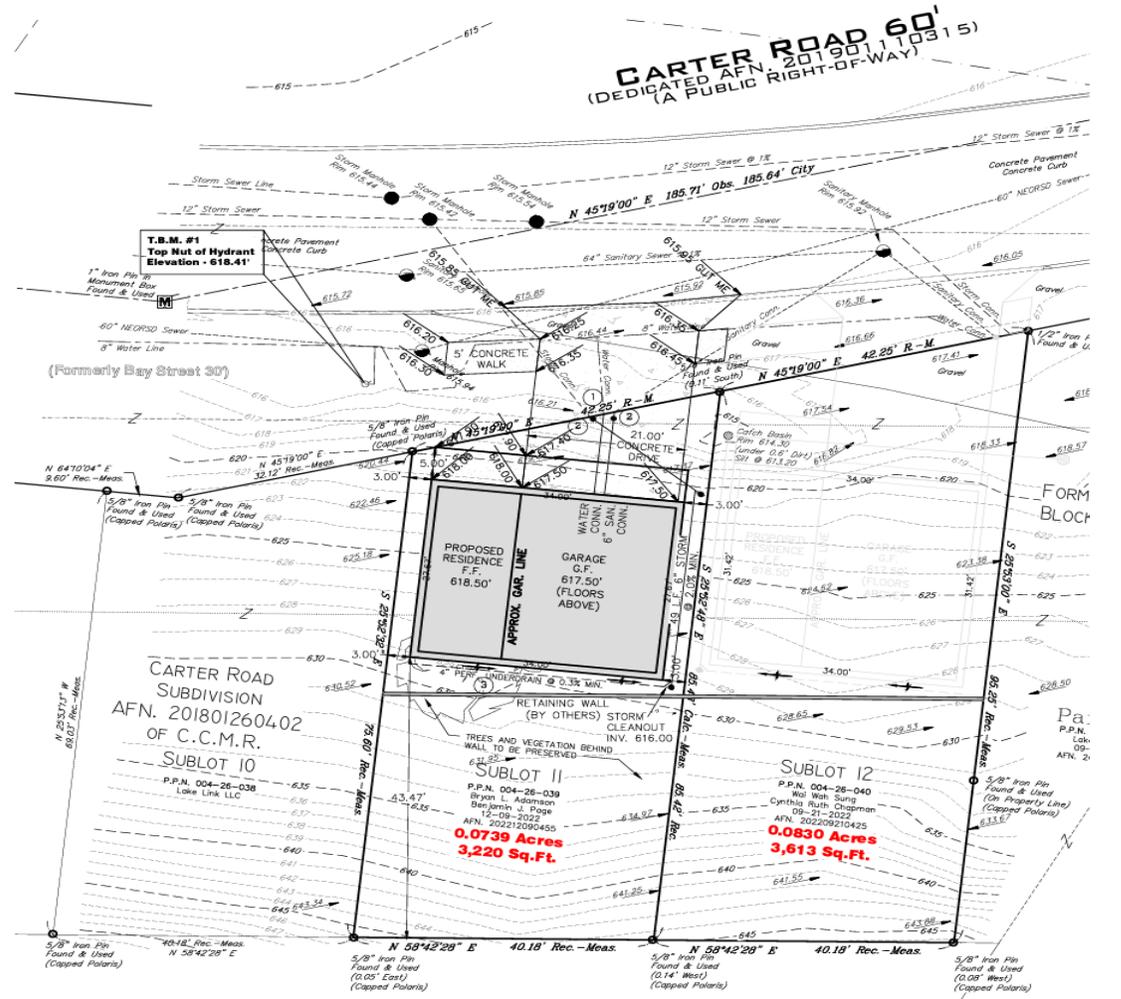
DAVID A. PIETRANTONE P.E. NO. 61756 DATE

REVISIONS:

- .
- .
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- .
- .
- .
- .
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LAND SURVEYING, ENGINEERING, DESIGN
 2640 BUCKINGHAM AVENUE, SUITE 100
 CLEVELAND, OHIO 44114-2640
 PHONE: (216) 461-2000 FAX: (216) 461-9440
 WWW.RIVERSTONESURVEY.COM



LEGEND

	Monument Box Found		Spot Elevation Top
	Iron Pin or Pipe Found		Hydrant
	5/8" Iron Pin Set and Capped Riverstone Company Dudley P56747		Water Service Valve
	P.C. Nail		Water Meter
	Gas Valve		Water Meter
	Utility Pole		Reducer
	Light Pole		Storm Manhole
	Guy Anchor & Line		Sanitary Manhole
	Telephone Box		Curb Inlet
	Electric Box		Catch Basin
	Cable Box		Property Line
	Ballard		Centerline
	Classpost / Test Tee		

	Ex. Parcel Line		Original Sublot Line
	Original Lot Line		Centerline
	Property Line		Right-of-way Line
	Easement Line		Railroad Tracks

	Electric Line		Gas Line
	Sanitary/Combination Sewer		Storm Sewer
	Waterline		Fence Line (Wooden)
	Fence Line (Chain-Link)		Guardrail

Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Mess./M.	Measured
B.F.	Basement Floor	MH	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Obs.	Observed
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map	Prop.	Proposed
C.L.F.	Records	Rec./R.	Record
Ch.	Chain-Link Fence	R/W	Right-of-way
Cl.	Clears	S	Sanitary
C.O.	Clean Out	S.F.	Square Feet
Comb.	Combination	S/A	Sublot
Conc.	Concrete	Stm.	Storm
Conn.	Connection	T.B.M.	Temporary Bench Mark
D.H.	Drill Hole	TBR	To Be Removed
D.I.W.M.	Ductile Iron Water Main	T/C	Top of Curb
Elec.	Electric	T.F.	Top of Footer
Elev.	Elevation	T.T.	Top of Footer
Engr.	Encroachments	T.T.	Test Tee
Ex.	Existing	TW	Top of Wall
F.F.	Finished Floor	Typ.	Typical
G.U.T.	Gutter	Vol.	Volume
Inv.	Invert	Wat.	Water

SITE PLAN OF SUBLOT 12 CARTER ROAD

PERMANENT PARCEL NUMBER 004-026-040
 STREET ADDRESS 42155 CARTER ROAD
 PART OF ORIGINAL BROOKLYN TOWNSHIP LOT 70
 IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
 PREPARED FOR CMB BUILDERS
 T.B.M. ELEVATION 618.41'
 T.B.M. LOCATION TOP NUT HYDRANT
 FIN. FIRST FLOOR EL. 619.50 FIN. BASEMENT FLOOR EL. _____
 TOP OF FOOTER EL. _____ FIN. GARAGE FLOOR EL. 617.50
 SAN. CONN. EL. _____ STM. CONN. EL. _____ FIELD VERIFY

CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:
A. FIN. FLOOR ELEVATION & HOUSE DIMENSIONS
B. LOCATION & ELEVATIONS OF EXISTING UTILITY CONNECTIONS

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THE CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER WORK WITH CLEVELAND WATER DEPARTMENT PRIOR TO CONSTRUCTION. ANY EXISTING INACTIVE WATER CONNECTIONS ALONG PROPERTY FRONTAGE SHALL BE PLUGGED PER CWD STANDARDS. CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES.

1. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL CLEAN, FLUSH, AND TRACE EXISTING SEWER AND SHALL NOTIFY ENGINEER OF ALL FINDINGS.
2. WATER CONNECTION TO BE INSTALLED PER CWD STANDARDS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONNECTION. CONTRACTOR TO COORDINATE WITH CWD.
3. THE CONTRACTOR IS RESPONSIBLE TO VERIFY INVERT OF EXISTING SEWER AT CONNECTION POINT PRIOR TO ANY CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ALL FINDINGS.
4. EXISTING STRUCTURE TO BE REPLACED WITH A SOLID LID AND ADJUSTED TO GRADE.
5. AREA BETWEEN RETAINING WALL AND NEW HOUSE SHALL BE BACKFILLED WITH 6007 #57 LIMESTONE AND GEOTEX. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL ELEVATION INFORMATION.

SEWER REFERENCE:
 SEWER PLAN A-1519
 SHEETS 1-4 OF 9

SURVEY NOTE:
 EXISTING CONDITIONS SURVEY WAS COMPLETED ON 12/10/2017 BY POLARIS ENGINEERING AND SURVEYING, INC.

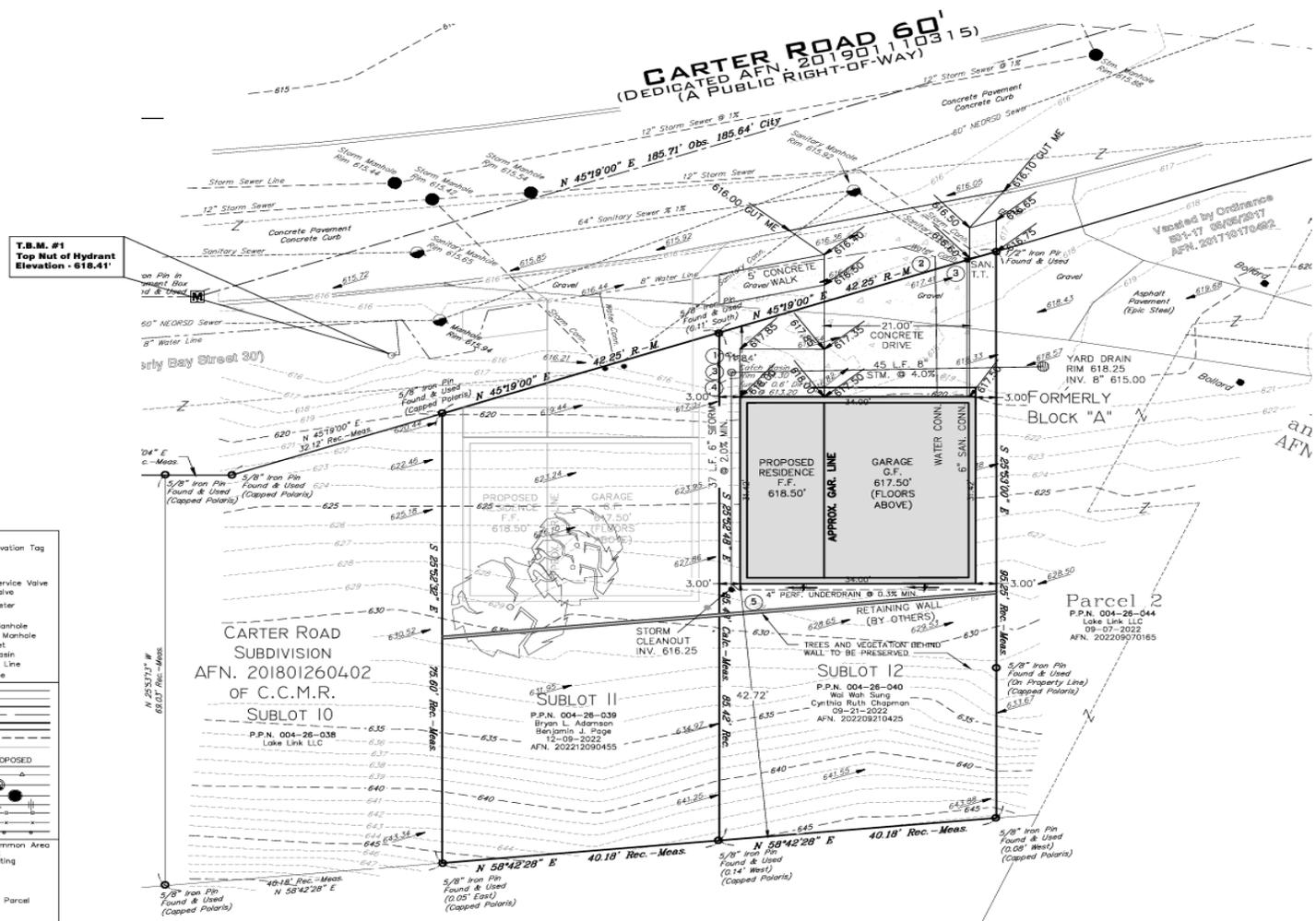


UTILITY PROVIDER SOURCE INFORMATION FROM PLANS PROVIDED BY THE CLIENT, THE TITLE COMPANY AND THE UTILITY PROVIDER AND ON GROUND UTILITY MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

DIMENSIONS SHOWN ON THIS PLAN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. BEARINGS ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.

PRELIMINARY
 DAVID A. PIETRANTONE P.E. NO. 61756 DATE _____

REVISIONS:	



LEGEND

<ul style="list-style-type: none"> ⊕ Monument Box Found ○ Iron Pin or Pipe Found ⊕ 5/8" Iron Pin Set and Capped Riverstone Company Dudley P28747 ⊕ P.C. Nut ⊕ Gas Meter ⊕ Gas Valve ⊕ Utility Pole ⊕ Light Pole ⊕ Guy Anchor & Line ⊕ Telephone Box ⊕ Electric Box ⊕ Cable Box ⊕ Bolard ⊕ Cleasout / Test Tee 	<ul style="list-style-type: none"> ⊕ Spot Elevation Tag ⊕ Hydrant ⊕ Water Service Valve ⊕ Water Valve ⊕ Water Meter ⊕ Reducer ⊕ Storm Manhole ⊕ Sanitary Manhole ⊕ Curb Inlet ⊕ Catch Basin ⊕ Property Line ⊕ Centerline
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<ul style="list-style-type: none"> — Ex. Parcel line — Original Sublot Line — Centerline — Property Line — Right-of-way Line — Easement Line — Railroad Tracks 	<table border="0"> <tr> <th>Existing</th> <th>PROPOSED</th> </tr> <tr> <td>⊕ Electric Line</td> <td>⊕ Electric Line</td> </tr> <tr> <td>⊕ Gas Line</td> <td>⊕ Gas Line</td> </tr> <tr> <td>⊕ Sanitary/Combination Sewer</td> <td>⊕ Sanitary/Combination Sewer</td> </tr> <tr> <td>⊕ Storm Sewer</td> <td>⊕ Storm Sewer</td> </tr> <tr> <td>⊕ Waterline</td> <td>⊕ Waterline</td> </tr> <tr> <td>⊕ Fence Line (Wooden)</td> <td>⊕ Fence Line (Wooden)</td> </tr> <tr> <td>⊕ Fence Line (Chain-Link)</td> <td>⊕ Fence Line (Chain-Link)</td> </tr> <tr> <td>⊕ Guardrail</td> <td>⊕ Guardrail</td> </tr> </table>	Existing	PROPOSED	⊕ Electric Line	⊕ Electric Line	⊕ Gas Line	⊕ Gas Line	⊕ Sanitary/Combination Sewer	⊕ Sanitary/Combination Sewer	⊕ Storm Sewer	⊕ Storm Sewer	⊕ Waterline	⊕ Waterline	⊕ Fence Line (Wooden)	⊕ Fence Line (Wooden)	⊕ Fence Line (Chain-Link)	⊕ Fence Line (Chain-Link)	⊕ Guardrail	⊕ Guardrail
Existing	PROPOSED																		
⊕ Electric Line	⊕ Electric Line																		
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⊕ Guardrail	⊕ Guardrail																		

Ac.	Acre	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	M.	Measured
B.F.	Basement Floor	Mh	Manhole
Bk	Bottom of Wall	Obs	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map	Prop	Proposed
C.L.F.	Chain-Link Fence	Rec./R.	Record
Cl.	Clear	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	Sublot	Sublot
Conn.	Connection	T.B.M.	Temporary Bench Mark
D.H.	Drill Hole	Stm	Storm
D.I.W.M.	Ductile Iron Water Main	T/C	To Be Removed
Elec	Electric	T/C	Top of Curb
Elev	Elevation	T.F.	Telephone
Emr.	Encroachment	T.F.	Top of Footer
Ex.	Existing	T.T.	Test Tee
F.F.	Finished Floor	T.W.	Top of Wall
GUT	Gutter	Typ.	Typical
Inv.	Invert	Vol.	Volume
		Wat.	Water

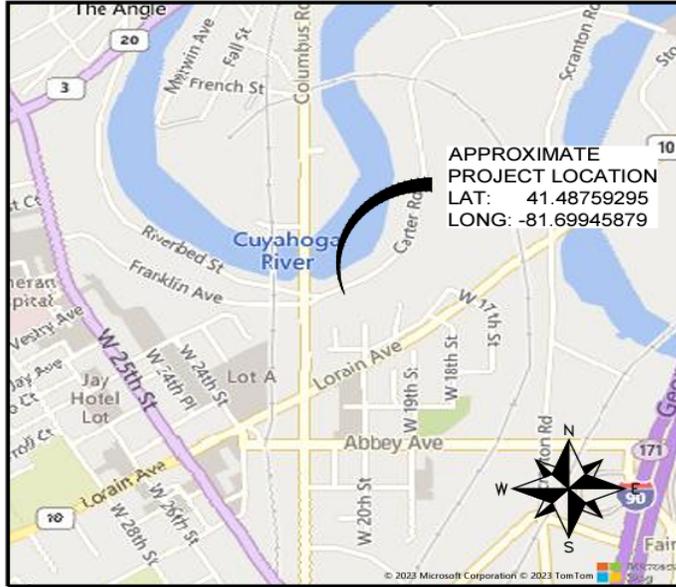
SOIL STABILIZATION PLANS

LAKE LINK DEVELOPMENT LOTS 11 & 12
CLEVELAND, OH

CLIENT:
CIVIC BUILDERS, LLC
& LAKE LINK, LLC

SHEET INDEX

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	SITE PLAN
C-04	PROFILE VIEWS (LOT 12)
C-05	SECTION VIEWS (LOT 12)
C-06	PROFILE VIEWS (LOT 11)
C-07	SECTION VIEWS (LOT 11)
C-08	SUPERNAIL DETAILS
C-09	MICROPILE DETAILS
C-10	NAIL SCHEDULE (LOT 12)
C-11	NAIL SCHEDULE (LOT 11)



VICINITY MAP
(NOT TO SCALE)

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
COVER SHEET



4475 E 74th Ave, Suite 100
Commerce City, CO 80022 USA
Phone: 855.579.0536 | Fax: 970.245.7737
www.geostabilization.com



THIS DRAWING IS FURNISHED SOLELY FOR THE USE OF OR IN CONNECTION WITH THIS PROJECT AND THE PROPRIETARY INFORMATION SHOWN HEREON IS NOT TO BE TRANSMITTED TO ANY OTHER ORGANIZATION WITHOUT SPECIFIC AUTHORIZATION BY GEOSTABILIZATION INTERNATIONAL (GSI). THE DESIGN IS ONLY VALID IF CONSTRUCTED AND SUPERVISED BY GSI OR ITS AUTHORIZED SUBCONTRACTOR.

DRAWN BY:	DESIGNED BY:	CHECKED BY:	DATE:	PURSUIT NUMBER:	PROJECT NUMBER:	SHEET
SSE	JEH	MWL	11/8/2023	107846593	230XXXOH0N	C-01

CONSTRUCTION SEQUENCE/WORK SCHEDULE:

- GSI OR ITS CONTRACTOR WILL PROVIDE TRAFFIC CONTROL.
- GSI OR ITS CONTRACTOR WILL CLEAR, EXCAVATE, AND HAUL OFF EXCAVATED MATERIAL.
- GSI WILL PROVIDE AND INSTALL THE SPECIFIED SOIL NAILS AND SURFACE TREATMENT PER THE CONSTRUCTION DOCUMENTS.

SIZE AND SPACING OF NAILS:

- GSI WILL MARK THE LOCATIONS OF THE PROPOSED SOIL NAILS WITH SURVEY MARKING PAINT.
- SACRIFICIAL DRILL BITS WILL BE ATTACHED TO THE SOIL NAIL PRIOR TO INSTALLING THE NAIL IN THE GROUND. SACRIFICIAL DRILL BITS ARE NOT PERMANENTLY INCORPORATED INTO THE PROJECT AND MAY BE REMOVED AFTER DRILLING OR LEFT AT THE PROJECT FOR THE CONTRACTOR'S CONVENIENCE. SACRIFICIAL DRILL BITS ARE NOT END PRODUCTS. SACRIFICIAL DRILL BITS ARE NOT PRODUCED IN THE UNITED STATES.
- GSI ENGINEER MAY ELECT TO MODIFY THE NAIL TYPE, LOCATION, AND LENGTH DEPENDING ON ACTUAL DRILLING CONDITIONS.
- SOIL NAIL ELEMENTS SHALL CONSIST OF SELF-DRILLING SOIL NAILS HAVING A 40mm NOMINAL DIAMETER, OR APPROVED EQUIVALENT.

FACING AND DRAINAGE SYSTEM:

- DRAIN STRIPS WILL BE PROVIDED AND INSTALLED BETWEEN THE SOIL NAILS EVERY 6' ALONG THE FACE OF THE EXCAVATION. THE DRAIN STRIPS SHALL BE PLACED WITH THE GEOTEXTILE SIDE AGAINST THE GROUND. DRAIN STRIPS WILL BE CONTINUOUS AND ANY SPLICES SHALL BE MADE WITH A 1' MINIMUM OVERLAP SUCH THAT THE FLOW OF WATER IS NOT IMPEDED. DRAIN STRIPS SHALL EXTEND BEYOND THE FACE OF THE SHOTCRETE AND OUT PAST THE BASE OF THE FOOTING AT THE DOWNHILL FACE.

REINFORCING STEEL PLACEMENT:

- WELDED WIRE MESH WILL BE PLACED ALONG THE FACE OF THE EXCAVATION WITH A SEPARATION OF APPROXIMATELY 2" BETWEEN THE WIRE MESH AND THE SOIL.
- NO. 4 REBAR WILL BE TIED TO THE WIRE MESH. VERTICAL BARS WILL EXTEND FOR APPROXIMATELY 36" AND THE HORIZONTAL BARS WILL BE CONTINUOUS (WITH OVERLAP SPLICES) IN THE SHOTCRETE.

BEARING PLATE PLACEMENT:

- 8" x 8" x 3/8" STEEL BEARING PLATES WILL BE PLACED OVER THE NAILS AND ATTACHED WITH A HEX NUT TO THE NAIL TO SECURE THE WIRE MESH AND REBAR DURING SHOTCRETE PLACEMENT. IF THE SOIL NAILS EXTEND BEYOND THE HEX NUTS THEY WILL BE TRIMMED.

SHOTCRETE APPLICATION:

- SHOTCRETE WILL BE PLACED FROM THE LOWER PART OF THE AREA UPWARDS TO PREVENT ACCUMULATION OF REBOUND. THE NOZZLE WILL BE ORIENTED A PROPER DISTANCE FROM AND APPROXIMATELY PERPENDICULAR TO THE WORKING FACE SO THAT REBOUND WILL BE MINIMAL AND COMPACTION WILL BE MAXIMIZED. CARE WILL BE TAKEN WHILE ENCASING REINFORCING STEEL AND MESH TO KEEP THE FRONT FACE OF THE REINFORCEMENT CLEAN DURING PLACEMENT OPERATIONS, SO THAT SHOTCRETE BUILDS UP FROM BEHIND, TO ENCASE THE REINFORCEMENT AND PREVENT VOIDS OR POCKETS FROM FORMING.

GSI EMPLOYEE CERTIFICATIONS:

- ACI SHOTCRETE NOZZLEMEN CERTIFICATION
- 10-HOUR OCCUPATIONAL SAFETY AND HEALTH TRAINING COURSE IN CONSTRUCTION SAFETY & HEALTH
- AMERICAN RED CROSS STANDARD FIRST AID TRAINING
- AMERICAN RED CROSS BLOODBORNE PATHOGENS TRAINING: PDT

HOUSE KEEPING:

- THE SITE WILL BE ORGANIZED AND CLEAR OF ANY TRASH OR DEBRIS. ALL TRASH WILL BE PLACED IN A PROPER CONTAINER AND REMOVED AT THE END OF EACH WORK DAY.

SAFETY:

- ALL SAFETY PLANS FOR LIFTING, HEARING, DUST CONTROL, PPE ETC. ARE IN PLACE AND WILL BE FOLLOWED ACCORDINGLY. PPE WILL INCLUDE SAFETY VEST, STEEL TOED SHOES, HARD HAT, SAFETY GLASSES, AND GLOVES.

SHOTCRETE MIX DESIGN (4000 PSI @ 28 DAYS):

SHOTCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ACI 506.2, "SPECIFICATIONS FOR MATERIALS, PROPORTIONING AND APPLICATION OF SHOTCRETE", EXCEPT AS OTHERWISE SPECIFIED. SHOTCRETING CONSISTS OF APPLYING ONE OR MORE LAYERS OF CONCRETE CONVEYED THROUGH A HOSE PNEUMATICALLY PROJECTED AT A HIGH VELOCITY AGAINST A PREPARED SURFACE.

THE WET-MIX PROCESS CONSISTS OF THOROUGHLY MIXING ALL THE INGREDIENTS, INTRODUCING THE MIXTURE INTO THE DELIVERY EQUIPMENT AND DELIVERING IT, BY POSITIVE DISPLACEMENT, TO THE NOZZLE. AIR JET THE WET-MIX SHOTCRETE FROM THE NOZZLE AT HIGH VELOCITY ONTO THE SURFACE.

GSI STANDARD SHOTCRETE MIX DESIGN SHALL BE USED UNLESS SHOTCRETE TEMPERATURES ARE ANTICIPATED TO REACH AND/OR

EXCEED 85°F. IN THIS EVENT, GSI HOT WEATHER MIX MAY BE USED. SET TIME CONTROLLING ADDITIVES (I.E. HYDRATION STABILIZERS, RETARDERS) MAY BE USED PER THE MANUFACTURER SPECIFICATIONS AND UNDER THE DIRECTION OF A GSI ENGINEER.

GSI STANDARD SHOTCRETE MIX DESIGN

MATERIAL	WEIGHT PER CU YD
3/8" ROCK	650 LBS
SAND	1800 LBS
CEMENT	750 LBS
WATER	340 LBS
FLY ASH	150 LBS
AIR ENTRAINMENT	6% (1.6 CU FT)
0.40 TO 0.50 WATER/CEMENT RATIO	

GROUT MIX DESIGN (3000 PSI @ 28 DAYS):

THE SOIL NAILS WILL BE INJECTED WITH GROUT. THE GROUT WILL BE A TYPE I,II,OR III PORTLAND CEMENT.

NO ADDITIONAL AGGREGATE OR ADMIXTURES WILL BE ADDED TO THE GROUT.

WATER/CEMENT RATIO= 0.5 TO 0.6

(BATCH WEIGHT PER CU YD)

MATERIAL	WEIGHT	VOLUME
CEMENT	2063 TO 1837 LBS	10.4 TO 9.3 CU FT
WATER	1031.5 TO 1102 LBS	16.6 TO 17.7 CU FT
TOTAL		123.5 TO 132 GAL 1 CU YD

(PER 94# BAG OF CEMENT)

MATERIAL	WEIGHT	VOLUME
CEMENT	94 LBS	0.48 CU FT
WATER	47 TO 56.4 LBS	0.8 TO 0.9 CU FT
		1 BAG (94#) 5.6 TO 6.8 GAL

DESIGN PARAMETERS:

DESIGN IS BASED ON INFORMATION PROVIDED IN THE GEOTECHNICAL REPORT TITLED: "UPDATED GEOTECHNICAL ENGINEERING REPORT, CARTER ROAD SUBDIVISION NO. 1 (LAKE LINK HOMES PHASE 1)", PREPARED BY ECS MIDWEST LLC, PROJECT NUMBER 67:1367, AND DATED MARCH 23, 2023. THE SOIL CONDITIONS IN THIS REPORT, IN CONJUNCTION WITH TABLE 4.4A IN FHWA GEC 7, RESULTED IN AN ALLOWABLE SOIL-SOIL NAIL BOND STRENGTH OF 1500 LB/FT. THIS VALUE TAKES INTO ACCOUNT STEEL LOSS IN THE SOIL NAIL DUE TO CORROSION OVER A 75-YEAR SPAN.

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
GENERAL NOTES

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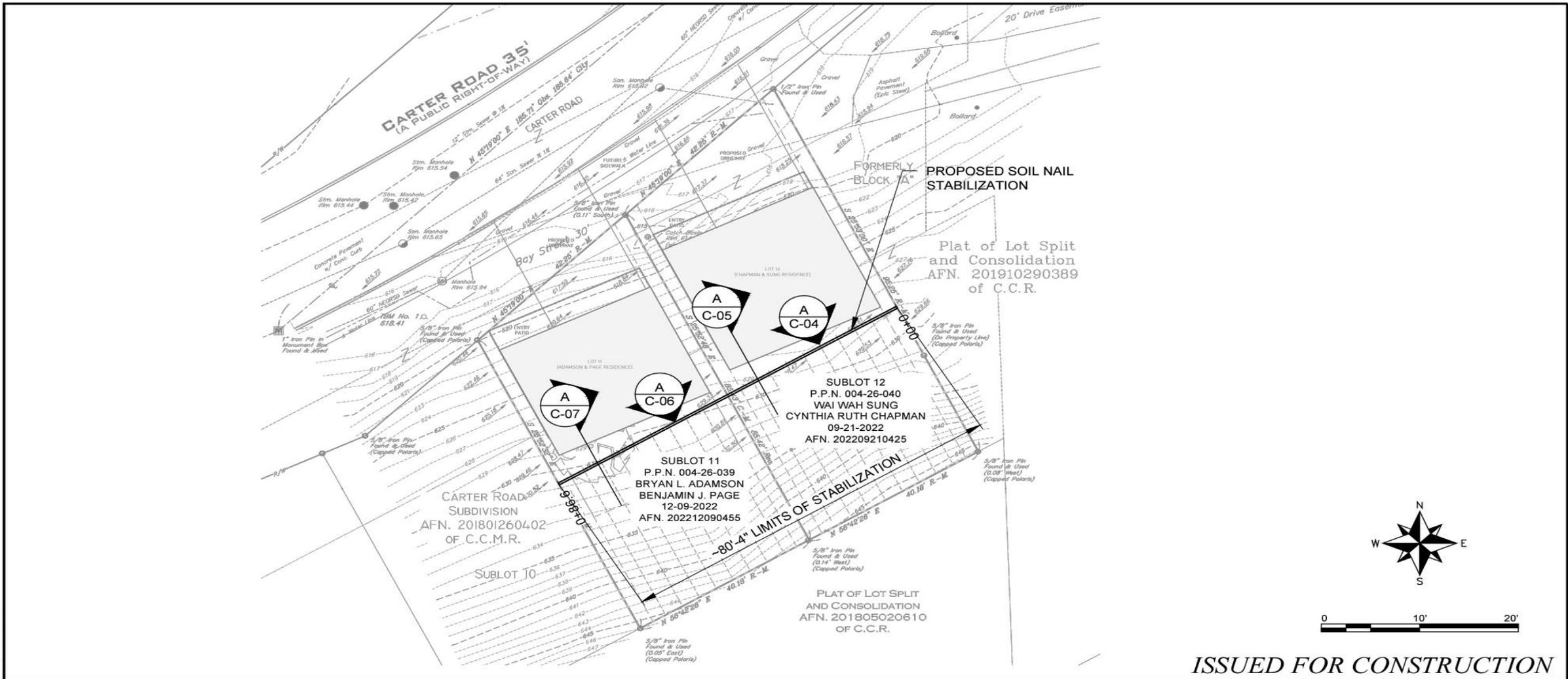
DRAWN BY: SSE	DESIGNED BY: JEH	CHECKED BY: MWL	DATE: 11/8/2023	PURSUIT NUMBER: 107846593	PROJECT NUMBER: 230XXOH0N	SHEET C-02
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Phone: 855.579.0536 | Fax: 970.245.7737
www.geostabilization.com



STATE OF OHIO
MICHAEL W LANEY
E-84540
REGISTERED
PROFESSIONAL ENGINEER



ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

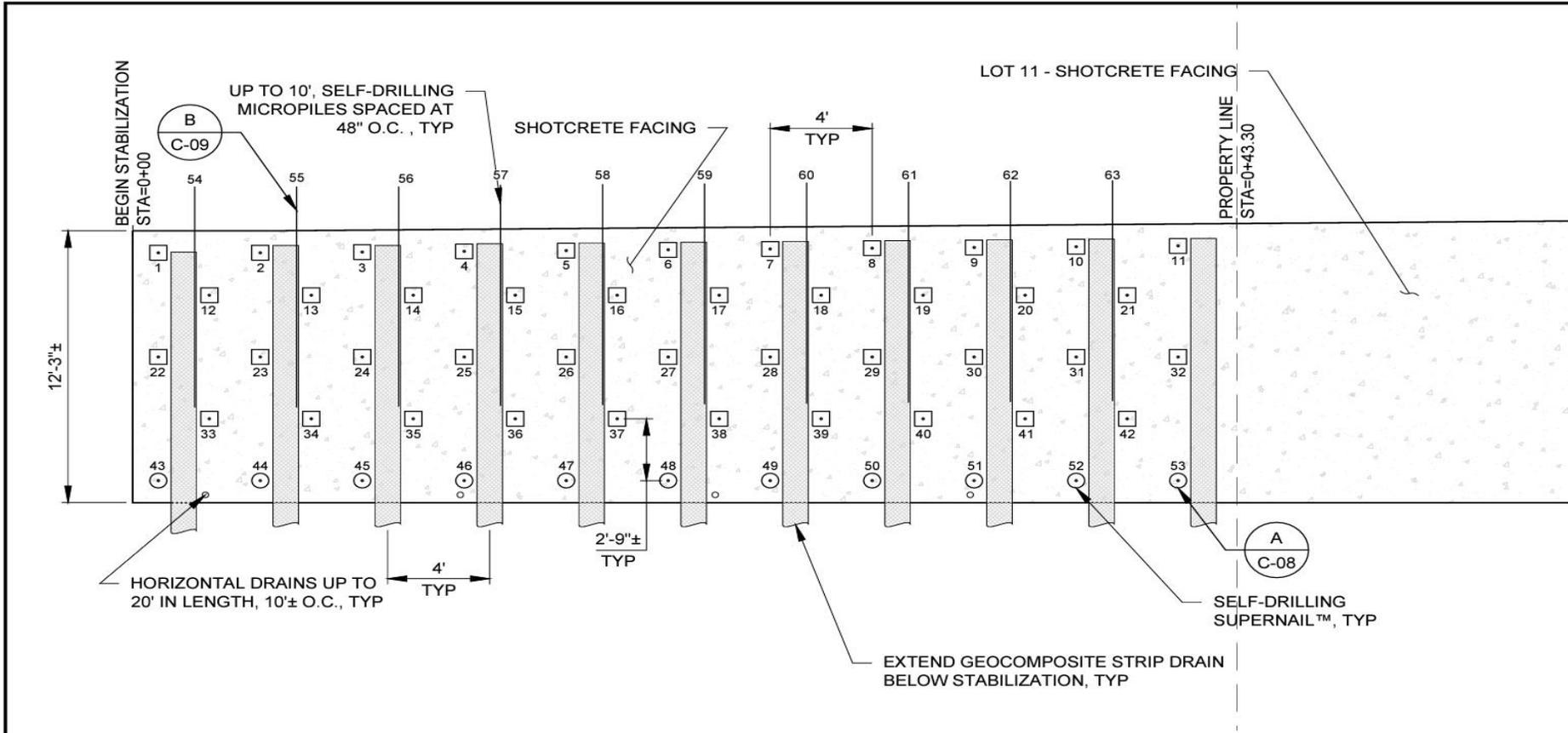
PROJECT NAME: LAKE LINK DEVELOPMENT LOTS 11 & 12						
SHEET TITLE: SITE PLAN						
DRAWN BY: SSE	DESIGNED BY: JEH	CHECKED BY: MWL	DATE: 11/8/2023	PURSUIT NUMBER: 107846593	PROJECT NUMBER: 230XXOH0N	SHEET C-03

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STATE OF OHIO
MICHAEL W LANEY
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- NOTES:
- ALL DISTANCES ARE SLOPE DISTANCE UNLESS NOTED OTHERWISE.
 - HORIZONTAL DRAINS MAY BE FIELD FITTED UNDER DIRECTION OF GSI ENGINEERING.

- LEGEND:
- UP TO 30' SELF-DRILLING SUPERNAILS
 - UP TO 40' SELF-DRILLING SUPERNAILS

A LOT 12 - TYPICAL PROFILE
SCALE: 1" = 5'

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

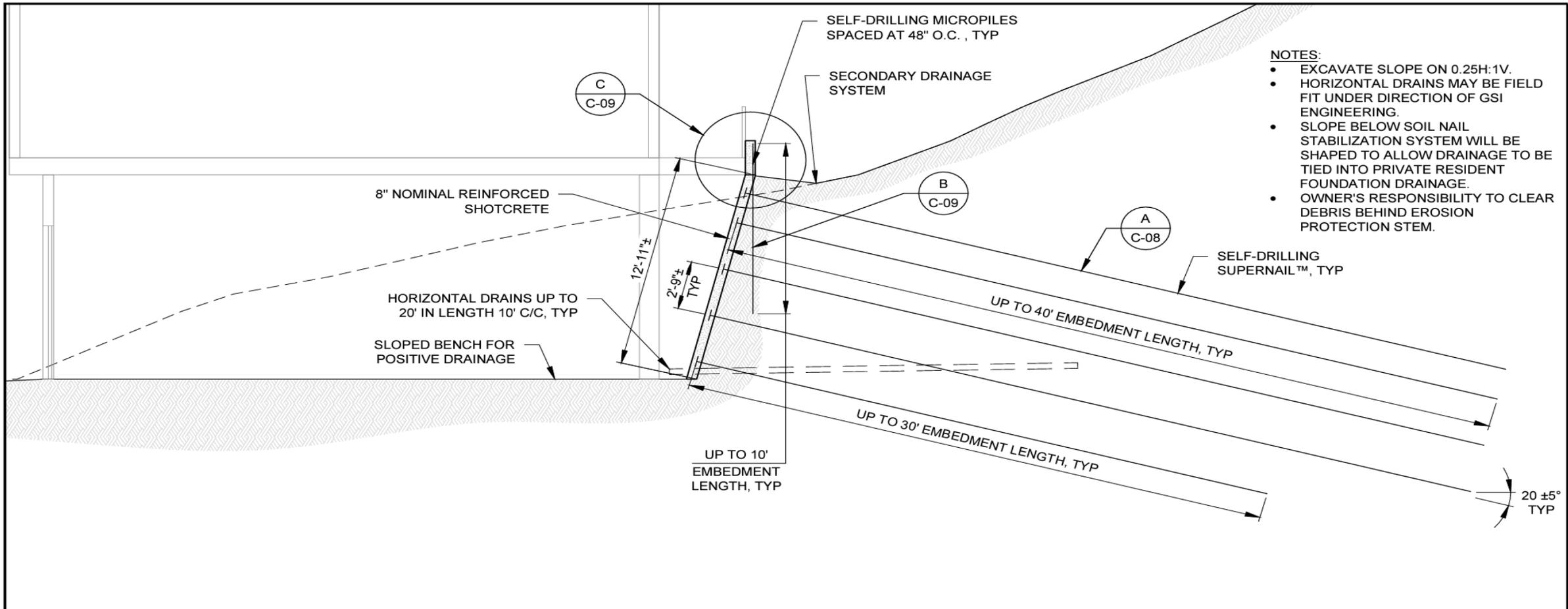
SHEET TITLE:
**PROFILE VIEWS
(LOT 12)**

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- NOTES:**
- EXCAVATE SLOPE ON 0.25H:1V.
 - HORIZONTAL DRAINS MAY BE FIELD FIT UNDER DIRECTION OF GSI ENGINEERING.
 - SLOPE BELOW SOIL NAIL STABILIZATION SYSTEM WILL BE SHAPED TO ALLOW DRAINAGE TO BE TIED INTO PRIVATE RESIDENT FOUNDATION DRAINAGE.
 - OWNER'S RESPONSIBILITY TO CLEAR DEBRIS BEHIND EROSION PROTECTION STEM.

A **LOT 12 - TYPICAL SECTION**
SCALE: 1" = 5'

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
**SECTION VIEWS
(LOT 12)**

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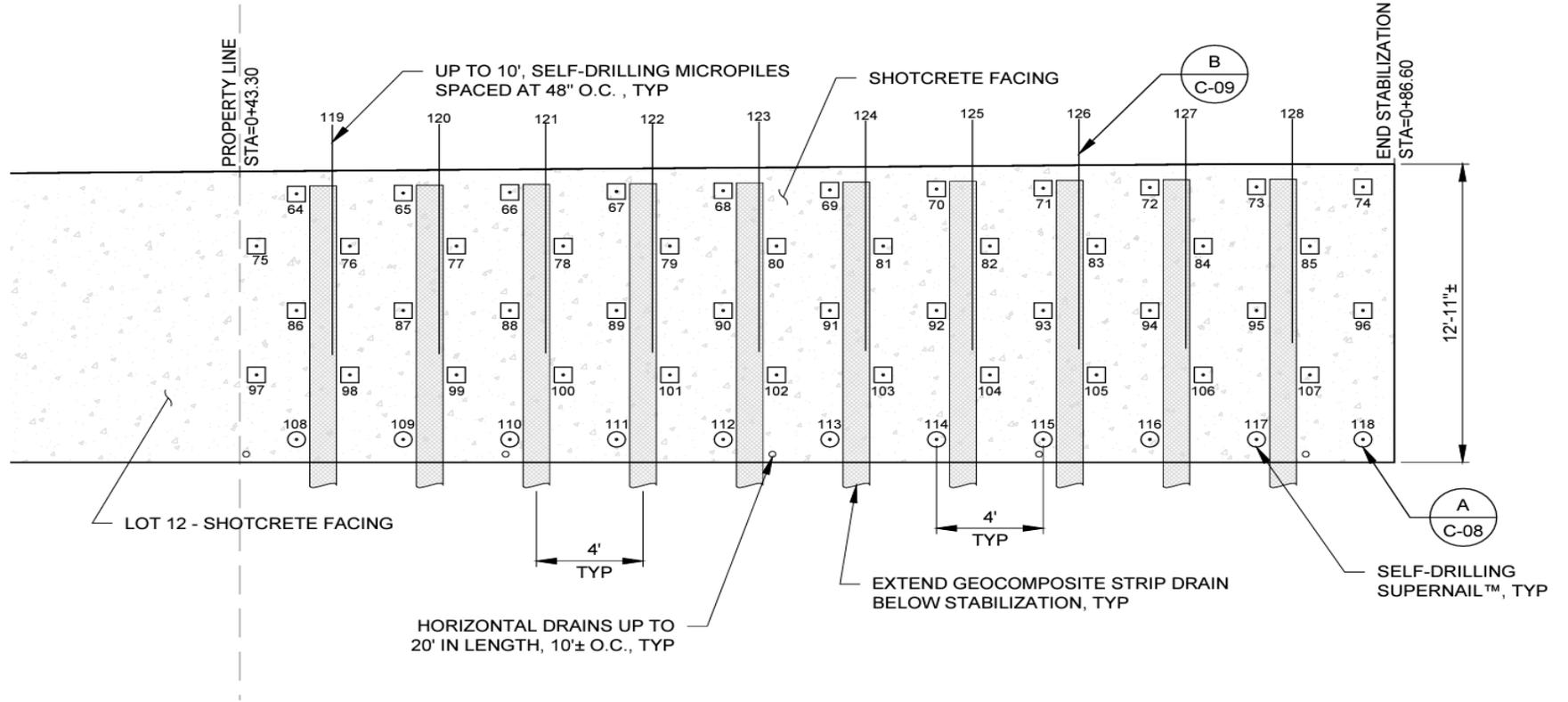
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MICHAEL W. LANEY
E-84540
REGISTERED PROFESSIONAL ENGINEER

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LEGEND:

- UP TO 30' SELF-DRILLING SUPERNAILS
- ◻ UP TO 40' SELF-DRILLING SUPERNAILS



A **LOT 11 - TYPICAL PROFILE**
SCALE: 1" = 5'

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
**PROFILE VIEWS
(LOT 11)**

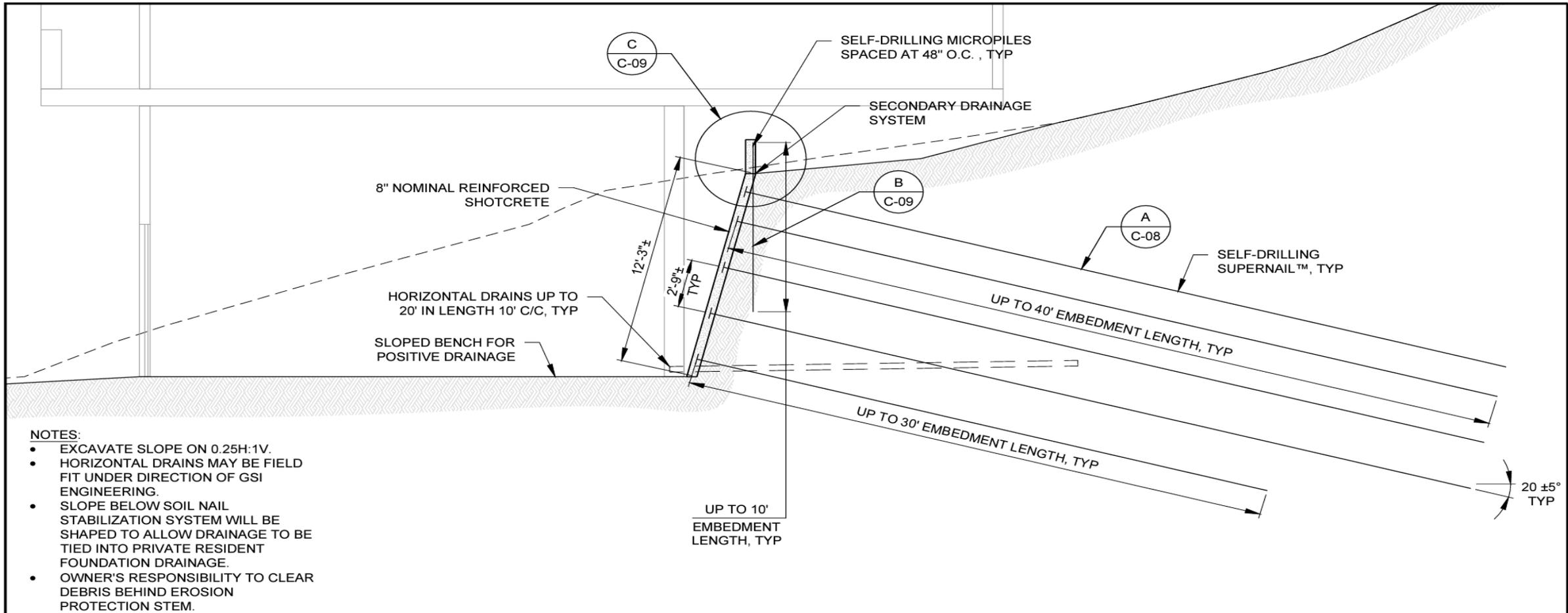
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- NOTES:**
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 - OWNER'S RESPONSIBILITY TO CLEAR DEBRIS BEHIND EROSION PROTECTION STEM.

A LOT 11 - TYPICAL SECTION
SCALE: 1" = 5'

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

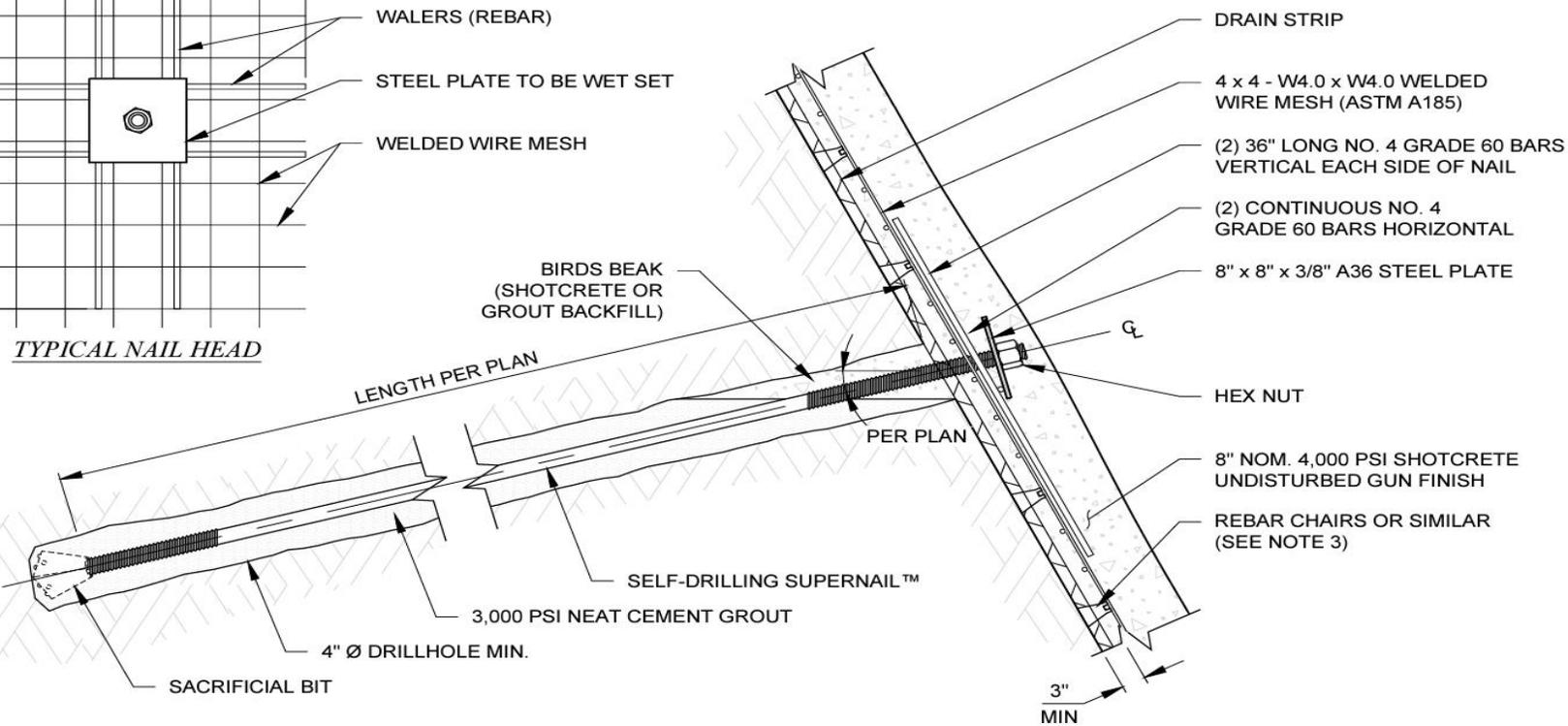
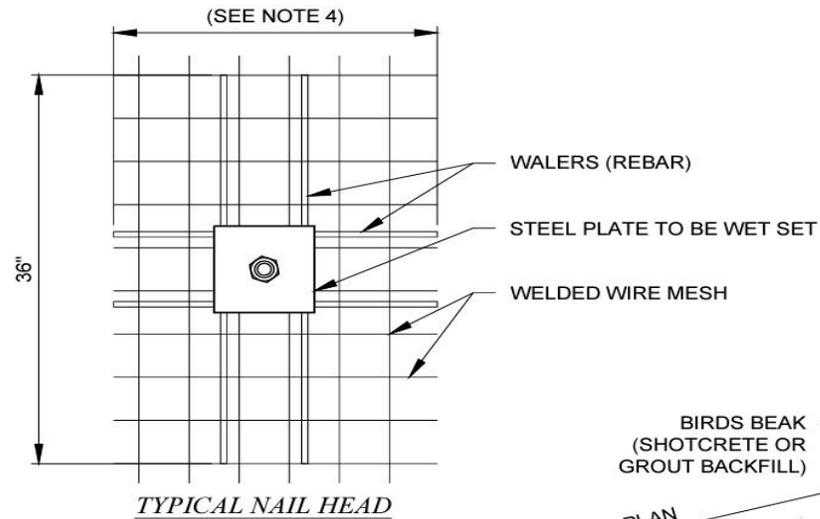
SHEET TITLE:
**SECTION VIEWS
(LOT 11)**

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- NOTES:**
- LAP SPLICE LENGTH
 - NO. 4 REBAR - 24" MINIMUM
 - NO. 5 REBAR - 30" MINIMUM
 - WELDED WIRE MESH TO HAVE A MINIMUM OF 8" OVERLAP (2 SQUARES OVERLAP FOR 4 x 4 MESH).
 - REBAR CHAIRS OR EQUIVALENT TO BE USED TO ENSURE SUFFICIENT CONCRETE COVER BETWEEN GROUND SURFACE AND REINFORCEMENT. 2 TO 3 DOBIES PER 5' x 10' SHEET OF MESH, TYPICAL.
 - HORIZONTAL WALERS ARE CONTINUOUS

A **TYPICAL SELF-DRILLING SUPERNAIL™ DETAILS**
N.T.S.

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SHEET REVISIONS		
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11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

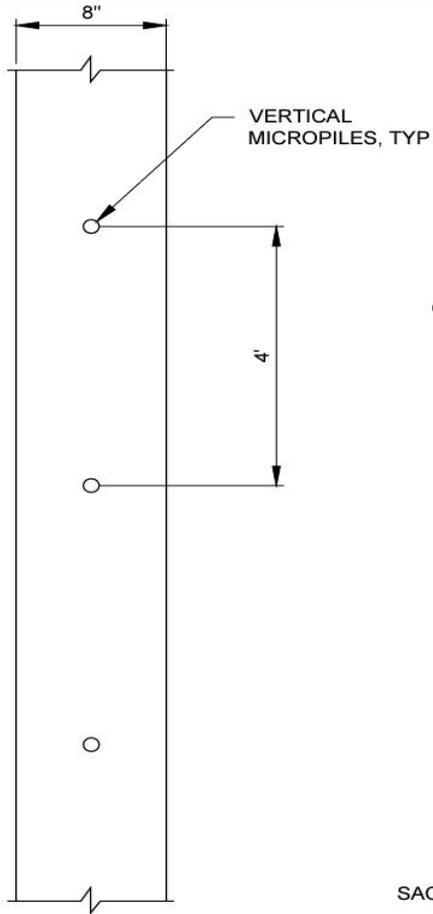
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SUPERNAIL DETAILS

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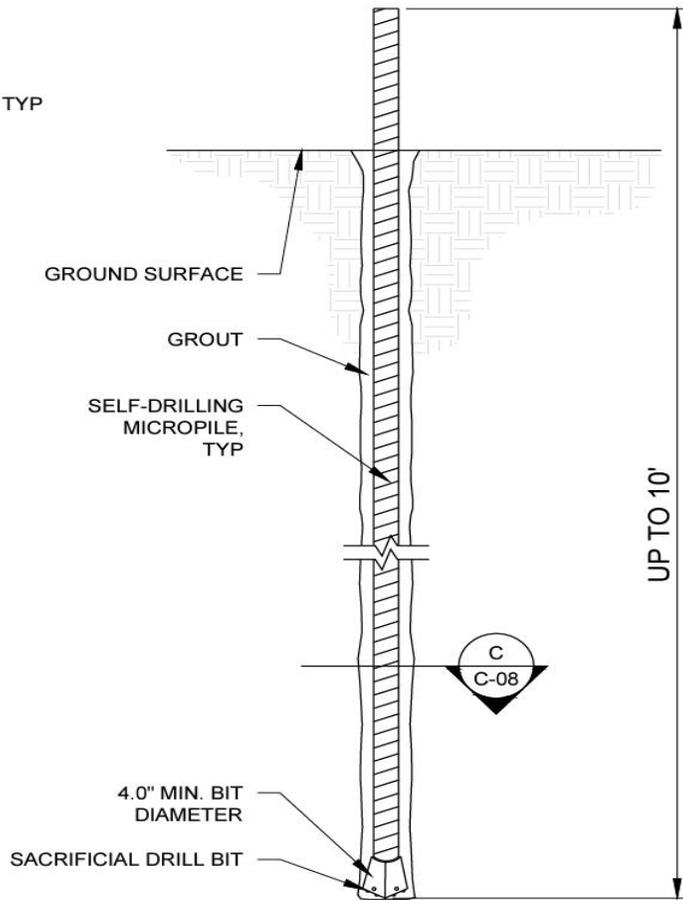


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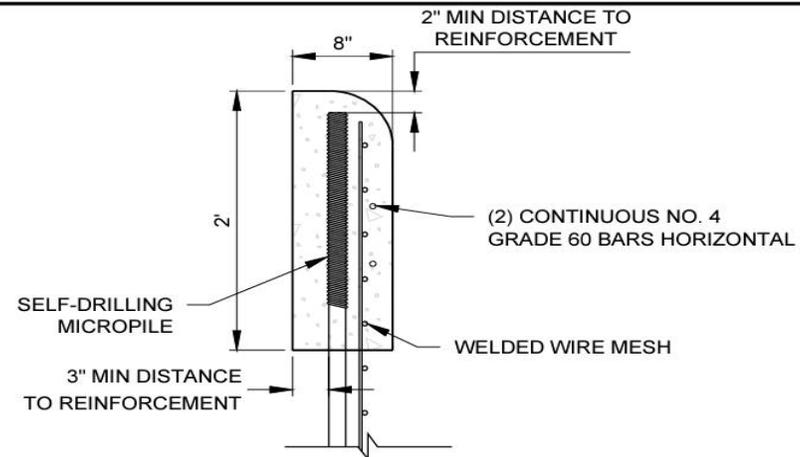
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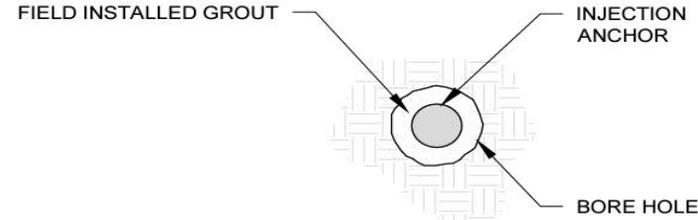
A MICROPILE SPACING
SCALE: 1" = 1'



B TYPICAL MICROPILE
SCALE: 1" = 1'



C MICROPILE EROSION PROTECTION STEM
SCALE: 1" = 1'



D MICROPILE SECTION
SCALE: 1" = 1'

ISSUED FOR CONSTRUCTION

SHEET REVISIONS		
DATE	DESCRIPTION	NO
11/20/23	ISSUED FOR REVIEW	IFR
11/21/23	ISSUED FOR CONSTRUCTION	IFC

PROJECT NAME:
LAKE LINK DEVELOPMENT LOTS 11 & 12

SHEET TITLE:
MICROPILE DETAILS

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STATE OF OHIO
MICHAEL W. LANEY
E-84540
REGISTERED PROFESSIONAL ENGINEER



THANK YOU!



Downtown | Flats Design Review Advisory Committee

Staff Report

Thursday, Feb 1, 2024

Cleveland City Hall, Virtual Webex

Begins: 9:00 AM

New Construction – Seeking Schematic Approval, Final Approval for Stabilization & Retaining Wall

- **Project:** DF 2024-004 - Adamson & Page Residence *C
 New Construction – Residential
Address: 1979 Carter Rd
Representative: Lucas Staib, AODK Architecture
- **Staff Report – Recommendation to approve with below conditions:**
 - Further review agreed upon design requirements and refine garages to meet requirements
 - Variance required for front-loaded garages – demonstrate hardship
 - Confirm timeline for river stabilization project
- **Notes:**
 - The City & Progressive Urban have been in coordination for several years on this project, including the coordination of utility construction during the City-led Carter Road rebuild. The City put in place drainage, stormwater, design, and engineering requirements for Progressive Urban, and they have worked in good faith and at an accelerated pace to implement these requirements at each step.

COMMITTEE REPORT D | F Committee, Jeff Bogart (Chair)
ADMINISTRATOR REPORT CPC, Administrator

Next scheduled DR meeting: 2/1/24

*C - Goes to City Planning Commission: Agenda Item Pending, *L - Goes to Landmarks Commission

Cleveland City Planning Commission

Mandatory Referrals



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

Ordinance No. 73-2024 (Introduced by Councilmembers McCormack, Bishop and Hairston – by departmental request):

February 2, 2024

Authorizing the Director of Capital Projects to issue a permit to 4116 Lorain, LLC to encroach into the public right-of-way above Lorain Avenue by installing, using and maintaining a new entry canopy.

Cleveland City Planning Commission

Special Presentations



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

Public Art Program for Frederick Douglass – Lobby Artwork & Pool Artwork: Seeking Final Approval

Location: 15701 Miles Road

Presenter: Tarra Petras, City of Cleveland

February 2, 2024

AND

Public Art Program for Frederick Douglass – Exterior Artwork: Seeking Conceptual Approval

Location: 15701 Miles Road

Presenter: Tarra Petras, City of Cleveland



CITY OF CLEVELAND

Mayor Justin M. Bibb

Public Art Program

February 2, 2024

Approvals of Artwork at Frederick Douglass Recreation &
Family Resource Center
15701 Miles Avenue

Tarra Petras, Public Art Project Coordinator

CITY of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CITY PLANNING



Public Art Program

Lobby Artwork

Artist: **Evan Laisure**

For Final Approval



CITY OF CLEVELAND

Mayor Justin M. Bibb

February 2, 2024

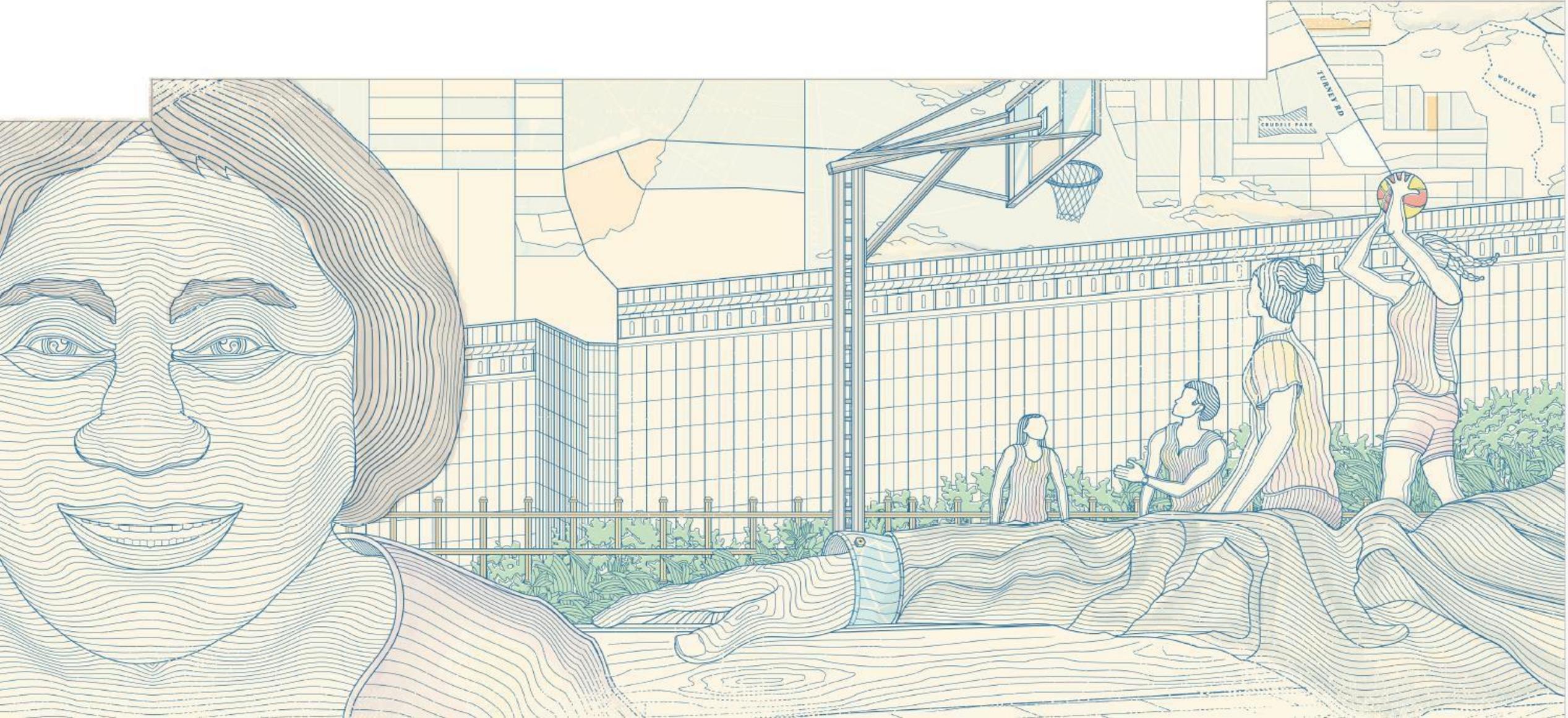
**EXISTING
CONDITIONS**







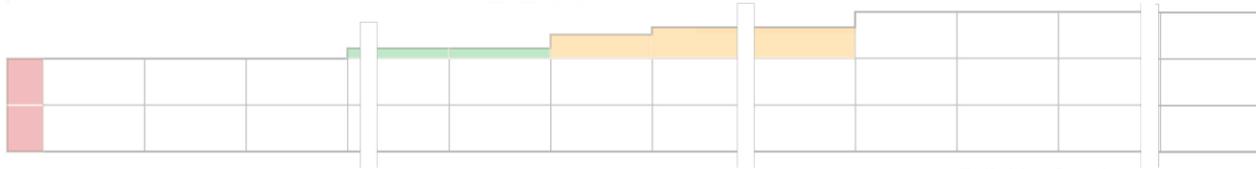
FREDERICK DOUGLASS
AMERICAN ABOLITIONIST



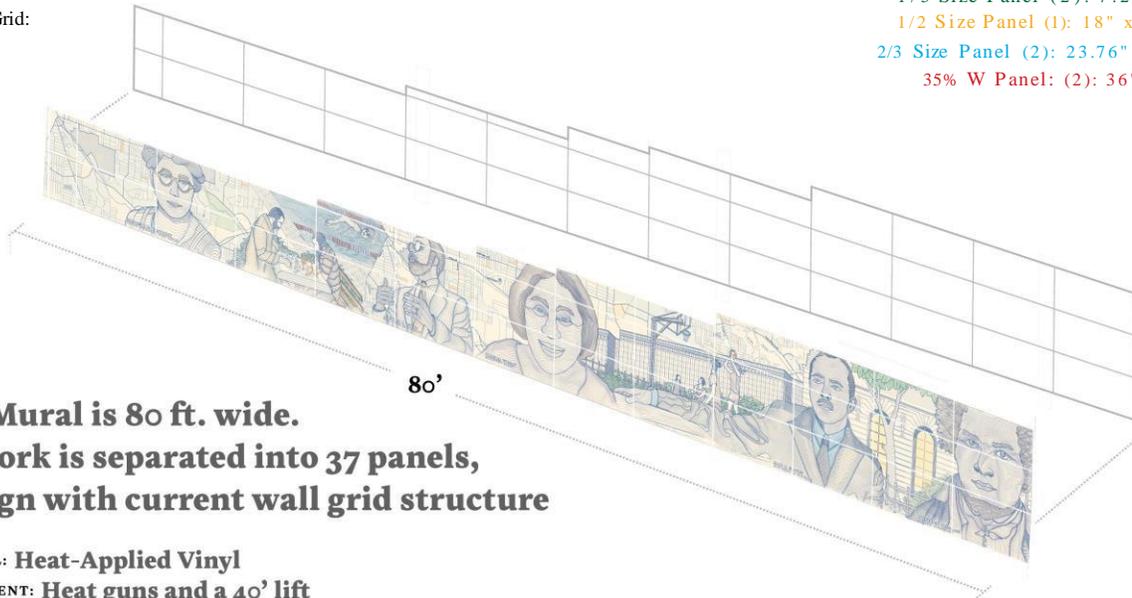




5'9"H



Wall Grid:



- Full Size Panel (30): 36" x 80"
- 1/5 Size Panel (2): 7.2" x 80"
- 1/2 Size Panel (1): 18" x 80"
- 2/3 Size Panel (2): 23.76" x 80"
- 35% W Panel: (2): 36" x 28"

Full Mural is 80 ft. wide.
Artwork is separated into 37 panels,
to align with current wall grid structure

MATERIAL: Heat-Applied Vinyl

EQUIPMENT: Heat guns and a 40' lift

APPLICATION TIMELINE: 5-10 Business Days



Public Art Program

Pool Artwork

Artist: **Sankofa Fine Art Plus/Robin Robinson**

For Final Approval



CITY OF CLEVELAND

Mayor Justin M. Bibb

February 2, 2024

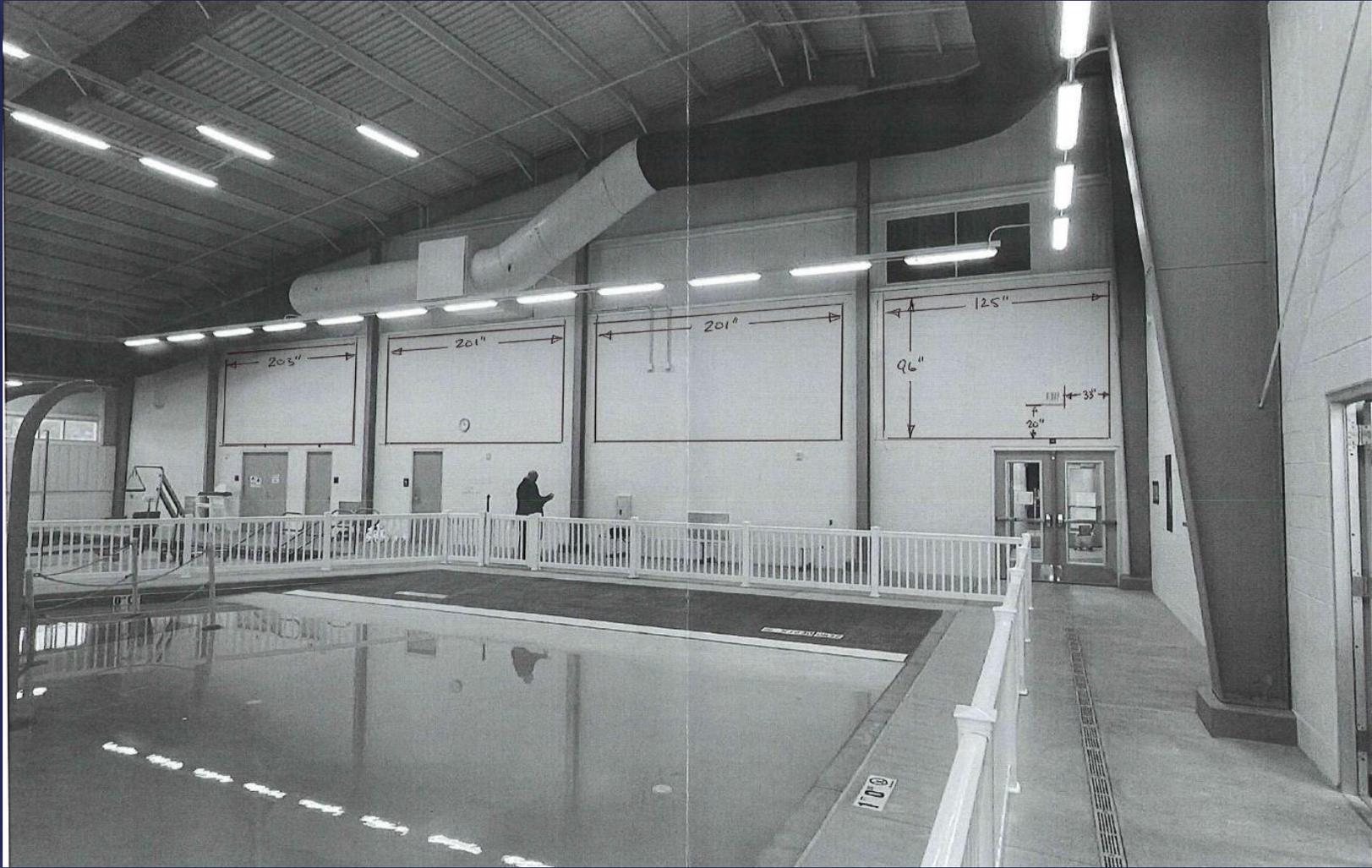
EXISTING CONDITIONS



EXISTING CONDITIONS



PRIMARY WALL MURALS MEASUREMENTS



SECONDARY WALL MURAL MEASUREMENTS



Wall Dimensions

- Primary Wall (4 Panels)

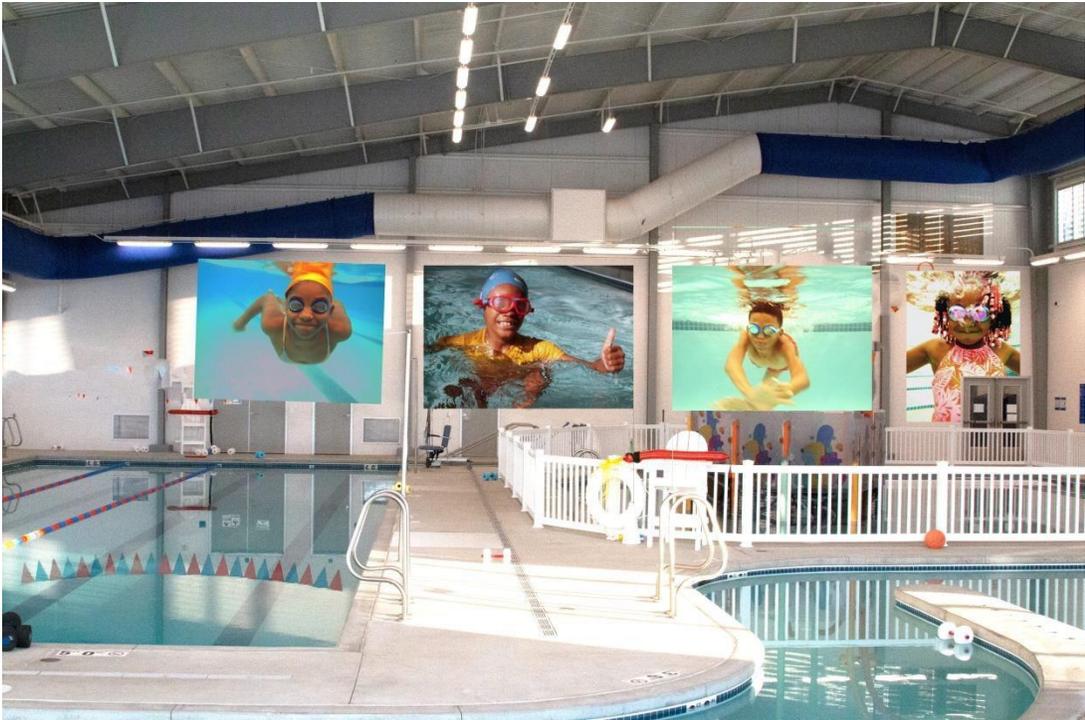
- 1 Mural at 96" x 125" (8' x approx. 10.5')
- 2 Murals at 96" x 201" (8' x 16.75')
- 1 Mural at 96" x 203" (8' x approx. 17')

Secondary Wall

(1 Panel)

1 Mural at 96" x 227" (8' x approx. 19')

The images that will surround the pool are of community members that utilize the recreation center.



Public Art Program

Exterior Artwork
Artist: **Darius Steward**
For Conceptual Approval



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

**EXISTING
CONDITIONS**



EXISTING CONDITIONS

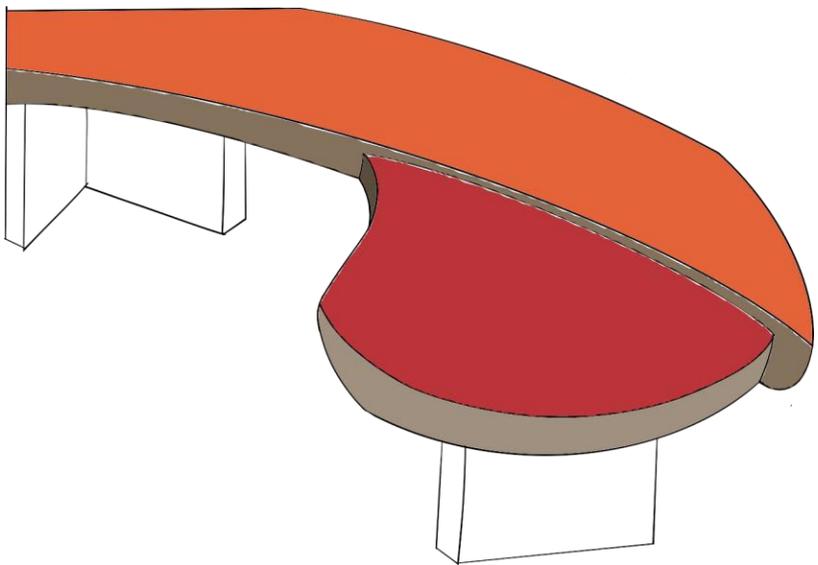


I imagined making a sculpture of a motherly figure overseeing kids playing happily. She's the trusted adult you'd feel at ease leaving your things with and talking to. Other adults also feel reassured when their kids are around her. Next to her on a bench, there's a pile of backpacks, representing how teens can leave their burdens behind and have a carefree time here. It's important for these teens to have a moment to let go of worries and stress. This sculpture symbolizes a safe and comforting space.

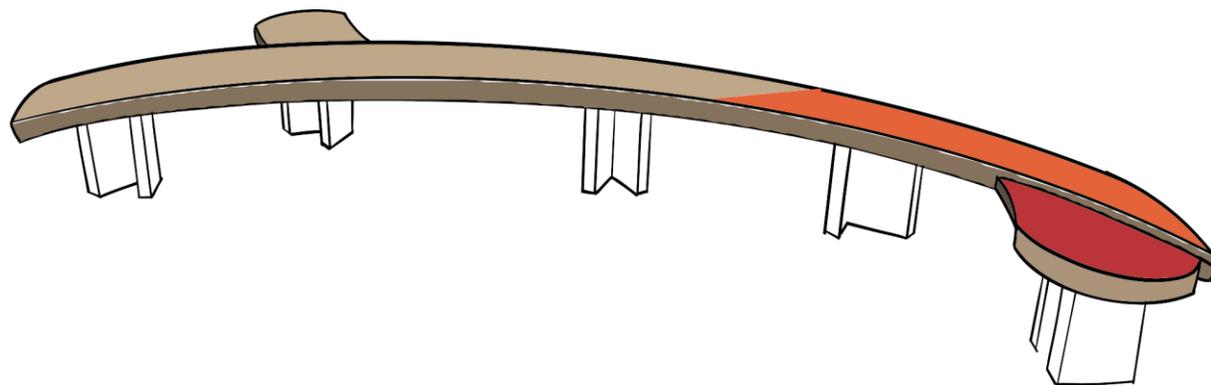
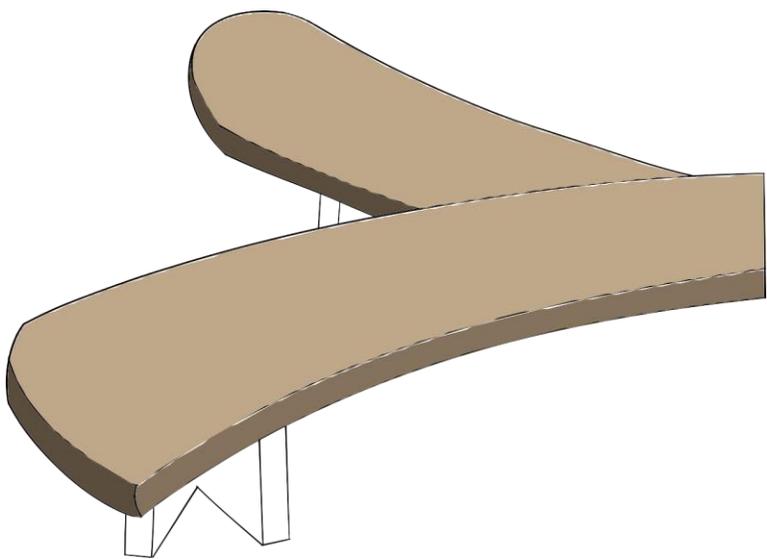


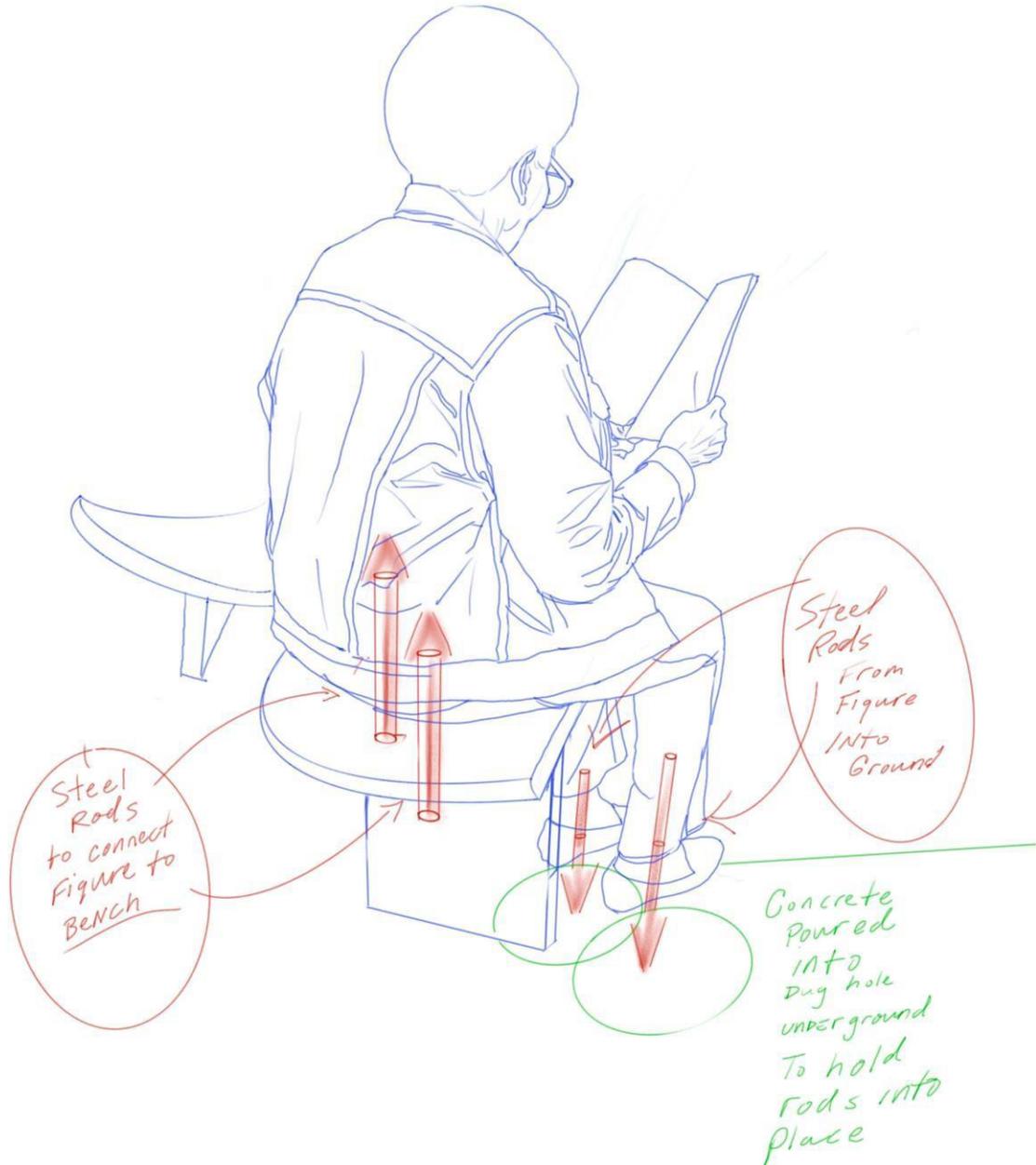


Bench size would be approximately 24in height by 18in deep by 10ft wide. The figure would be about 62in (about 38in from bench up)



VIEWS OF
THE BENCH





Steel rods connect sculpture to concrete poured underground

Public Art Program

Thank you for your time!



CITY OF CLEVELAND

Mayor Justin M. Bibb

February 2, 2024

Cleveland City Planning Commission

Director's Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024

Bibb Administration Launches Transformative Arts Fund, Nearly \$3 Million in Grants Now Available to Local Artists

Wednesday, Jan 31, 2024

Between 6 to 12 Cleveland-Centric Projects Will Receive Awards Ranging from \$250,000 to \$500,000

Wednesday, January 31, 2024 – Cleveland – Mayor Justin M. Bibb announced nearly \$3 million is now available for local artists through the [City's Transformative Arts Fund \(TAF\) grant program](#). The program will provide funding for projects and initiatives led by Cleveland-based artists. The [application portal opened](#) today and those who are interested have until 11:59 p.m. on Saturday, March 30 to apply.



Job Postings

- **Senior Planner, Zoning & Technology**
 - **City Planner, Zoning & Technology**
-

Cleveland City Planning Commission

Adjournment



CITY OF CLEVELAND
Mayor Justin M. Bibb

February 2, 2024