



Cleveland City Planning Commission

Friday, May 5, 2023

**** PLEASE MUTE YOUR MICROPHONE ****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

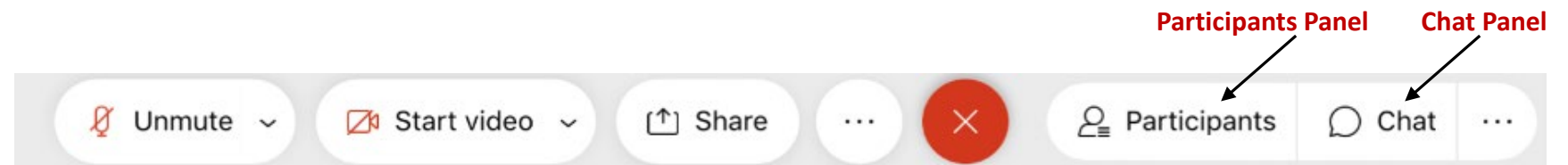
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. RECUSALS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



May 5, 2023

Cleveland City Planning Commission

Preamble

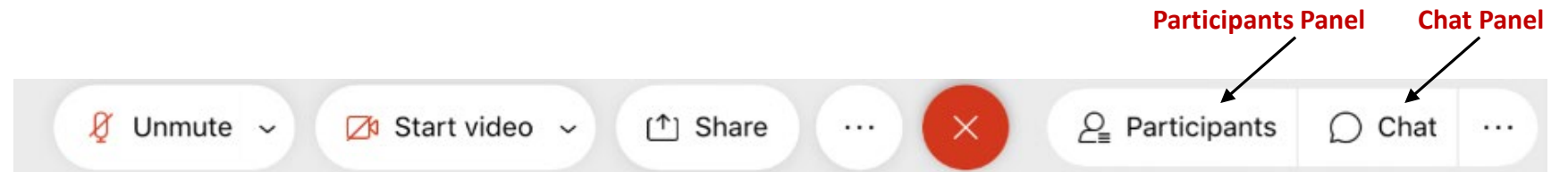
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER SUBMITTED THROUGH PROPER CHANNELS HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER. PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

COMMUNICATION WITH MEMBERS OF THIS BODY MUST FOLLOW PROPER CHANNELS FOR CONSIDERATION. ANY COMMENTS RECEIVED BY THE STATED DEADLINE ARE COLLECTED BY CITY PLANNING STAFF AND DISSEMINATED TO THE COMMISSION MEMBERS PRIOR TO ANY SCHEDULED MEETING.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



May 5, 2023

Cleveland City Planning Commission

Call to Order and Roll Call



May 5, 2023

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



May 5, 2023

Cleveland City Planning Commission

Zoning Map Amendments



May 5, 2023



May 5, 2023

Ordinance No. 220- 2023 (Ward 3/Councilmember McCormack):
Changing the Use, Area & Height Districts of parcels of land north of University Road
between I-90 East and West 3rd Street (Map Change 2666). To be Approved Subject to Stated
Amendment.

Presenter: Shannan Leonard, Staff Planner

Map Change 2666

Cleveland City Planning Commission

May 5, 2023





Proposal

Changing the Use, Area & Height Districts of parcels of land north of University Road between I-90 East and West 3rd Street. (MC 2666)

Purpose

- To remove legacy industrial zoning.
- To correct a split-zoning occurrence.
- To promote a variety of uses – multi-family, townhomes, single family, makers spaces, and neighborhood retail.
- To align with the Vision for the Valley plan and Connecting Cleveland 2020.



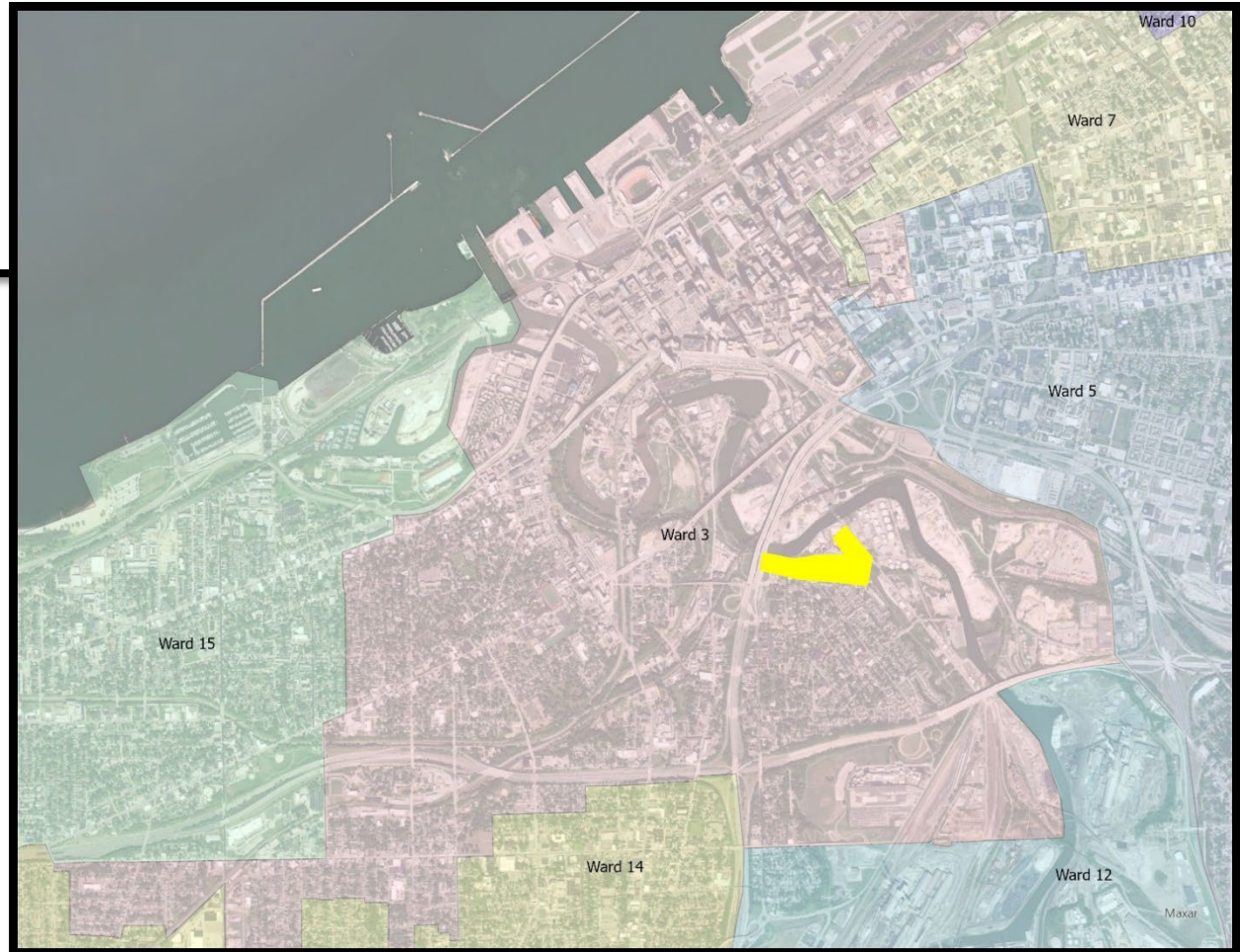
Cleveland Context + Council Support

Matt/Director Huang, please accept this email as my support for moving forward with his rezoning. Thank you for your effort and support here.

Best,

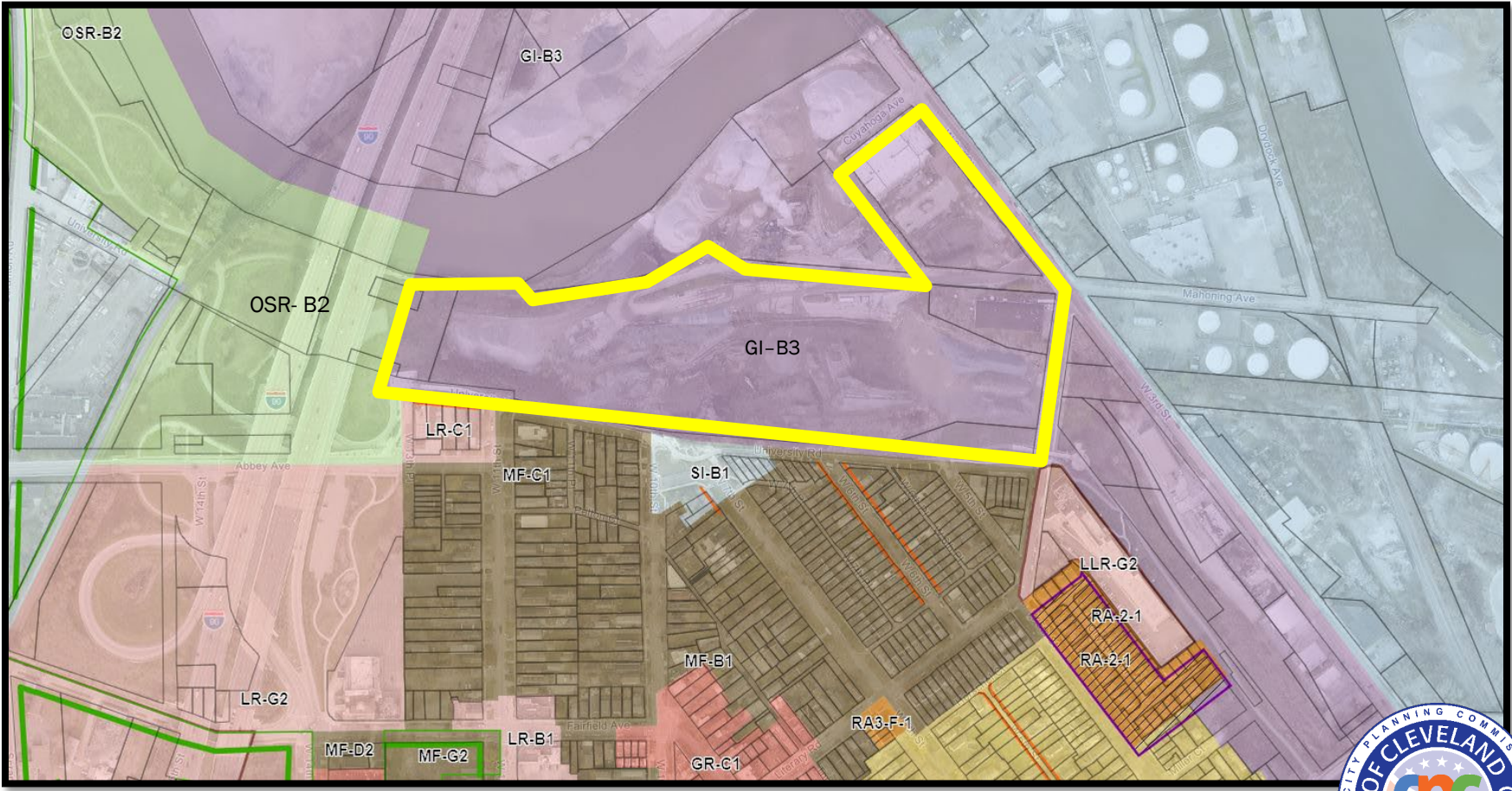
Kerry

Kerry McCormack
Council Member, Ward 3
Majority Leader
Cleveland City Council
(216) 664-2691



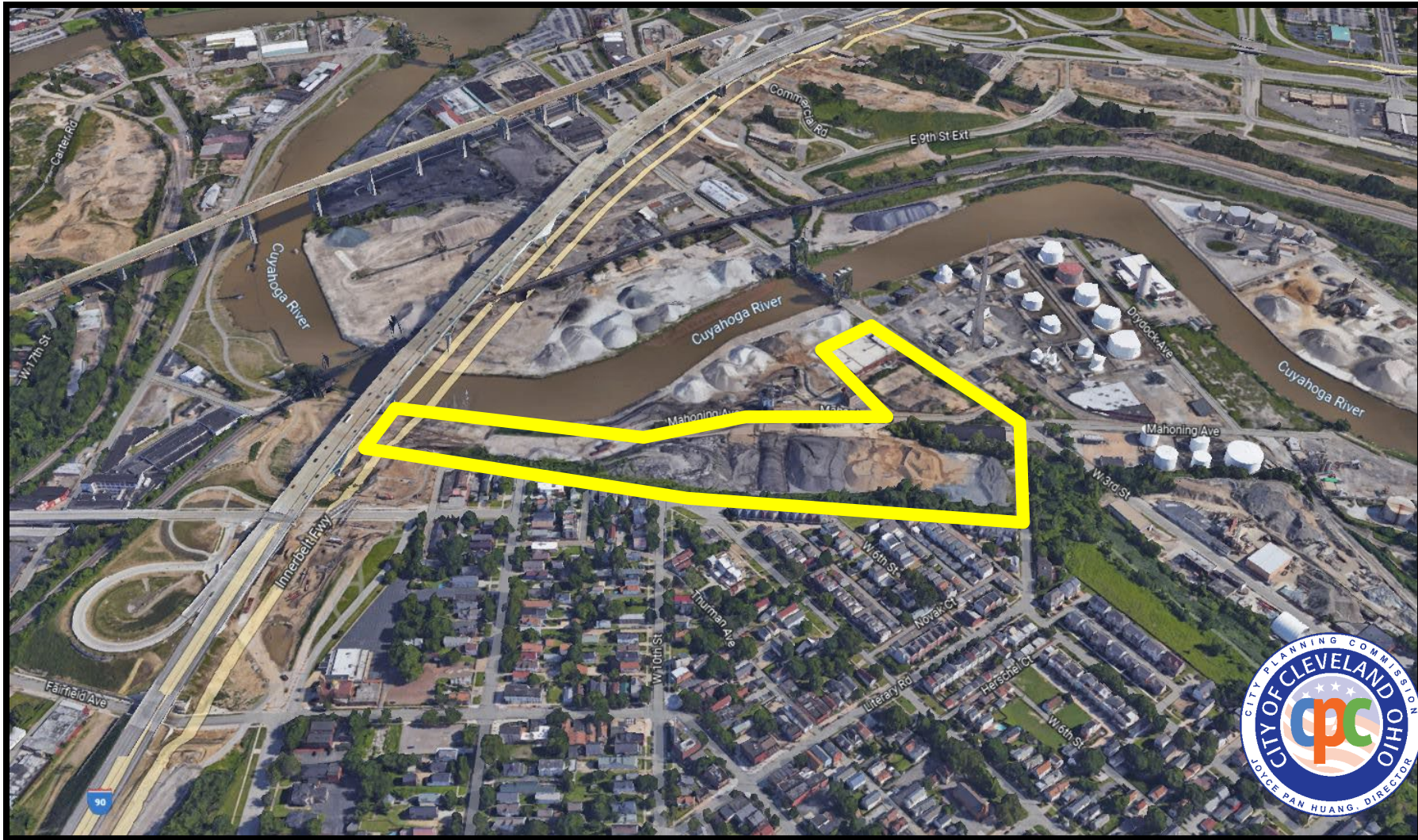
Current Zoning

Map Change 2666



Existing Context

Map Change 2666



SW View

Existing Context



SE View



Map Change 2666

Existing Context

SW View
Literary Rd



SW View
Literary Rd & W 3rd

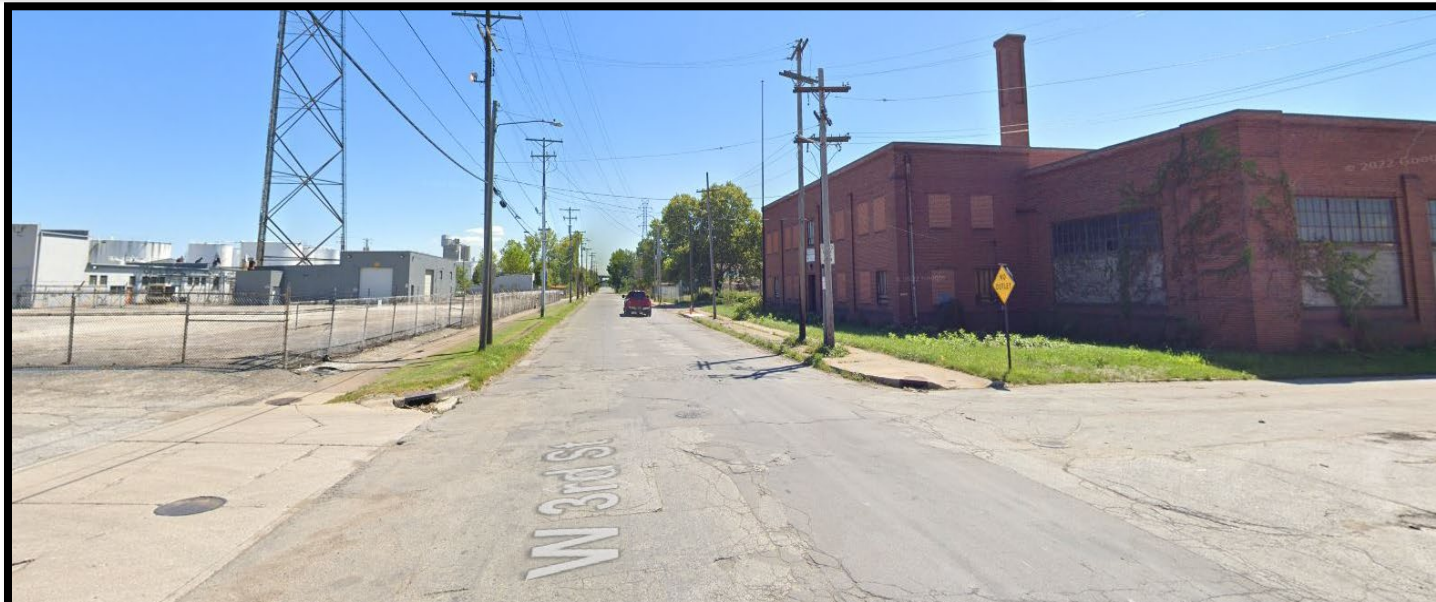


Existing Context

NW View
W 3rd

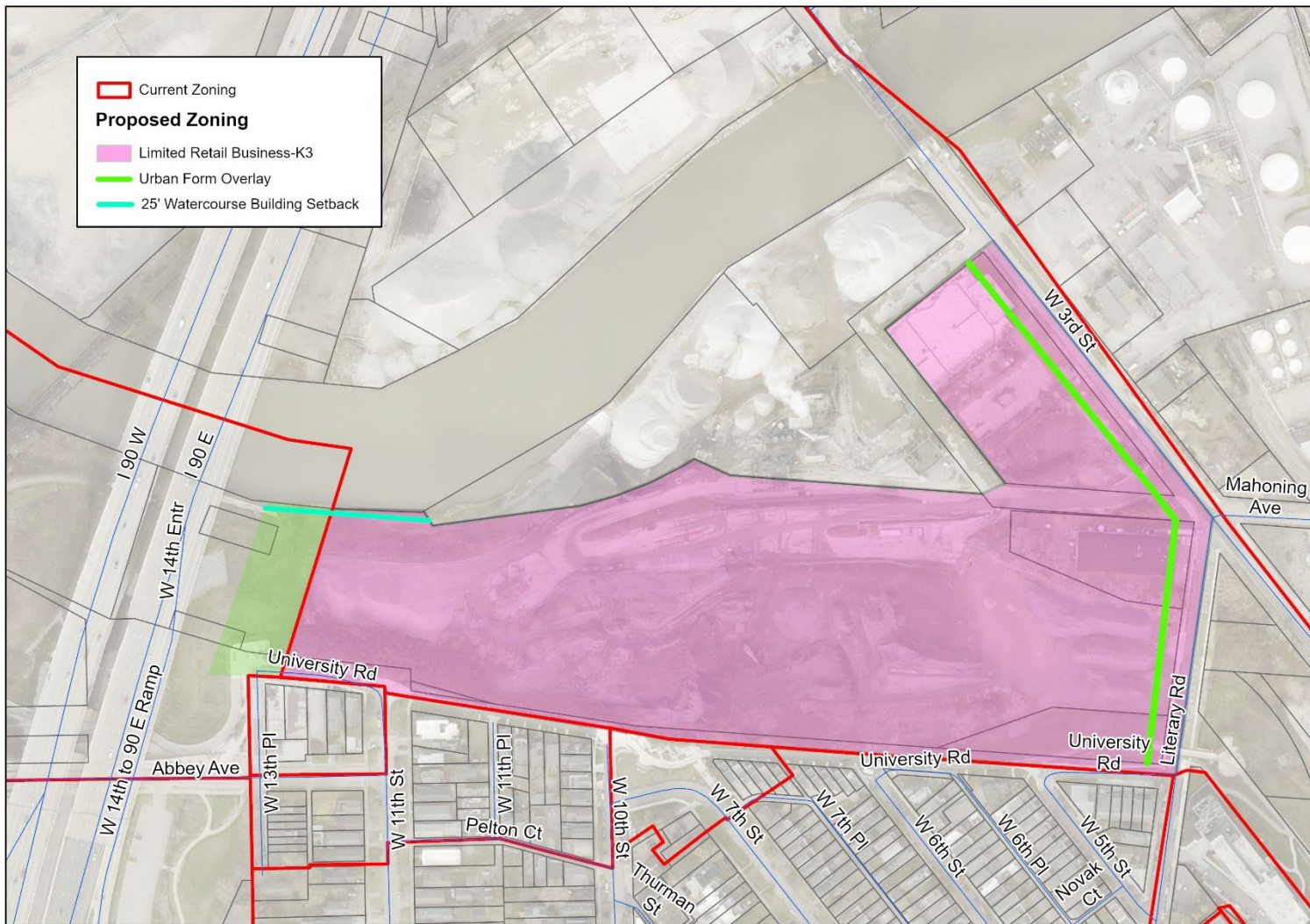


SE View
W 3rd





Original Proposed Zoning (K5 -> K3) Currently B3; No change in Height



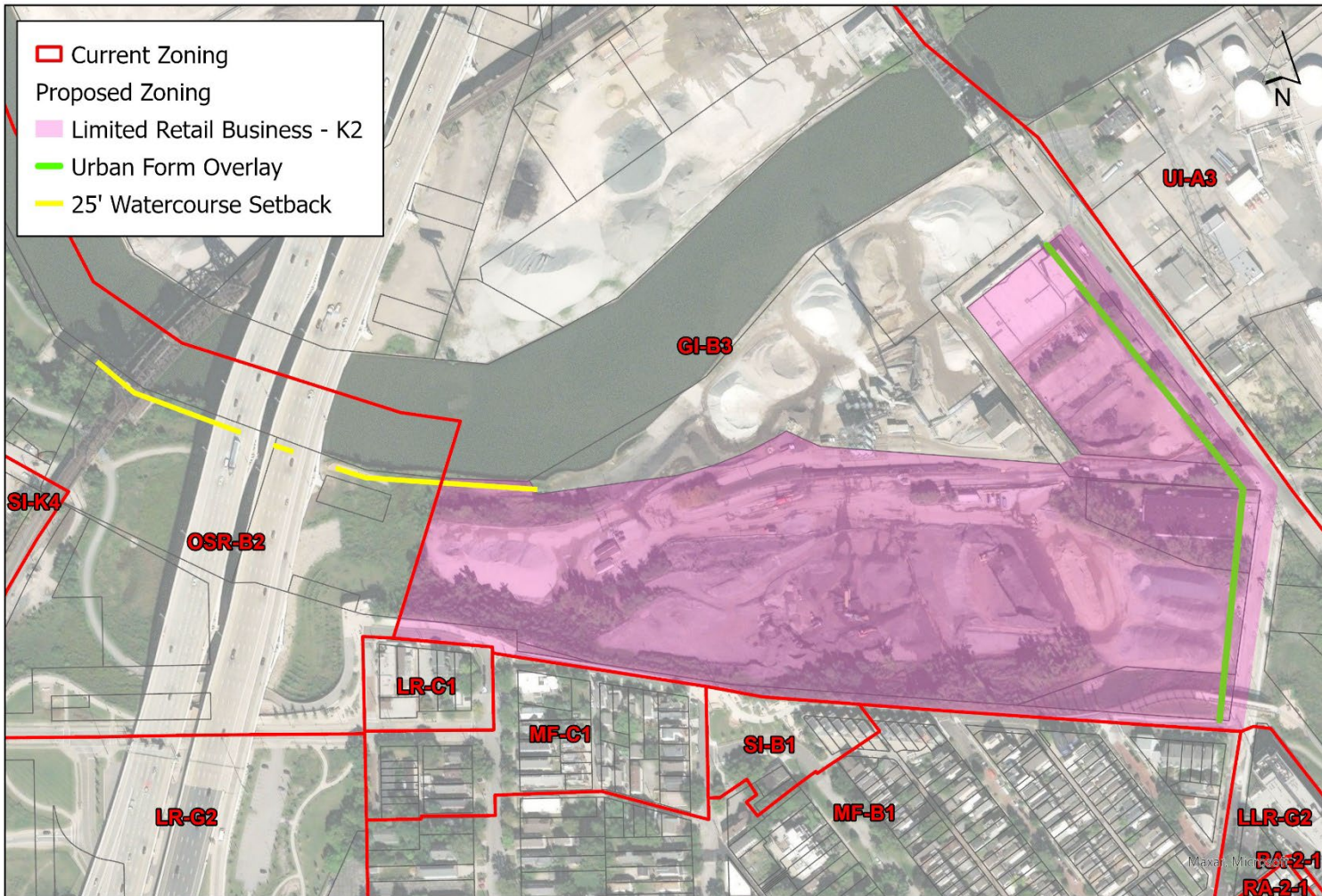
Map Change 2666





Proposed Zoning

General Industry - B3 to Limited Retail Business - K2
Extend Watercourse Setback across public property



Map Change 2666



Map Change 2666
Changing the Use, Area & Height Districts of
parcels of land north of University Road between
I-90 East and West 3rd street.





Connecting Cleveland
2020 Citywide Plan

- Connecting the Tremont Neighborhood to the waterfront.
- Clean up legacy environmental issues within the river valley (this is an industrial site we can remediate as a part of the development process).
- Restore native riparian landscapes along the riverfront to manage stormwater runoff, improve water quality, and improve the aesthetic quality of the River Valley.

VISION FOR THE VALLEY

A TRANSPORTATION FOR LIVABLE COMMUNITIES INITIATIVE PLANNING STUDY
Adopted - July 16, 2021

SPONSORED BY:

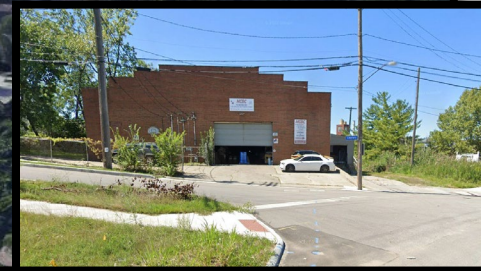
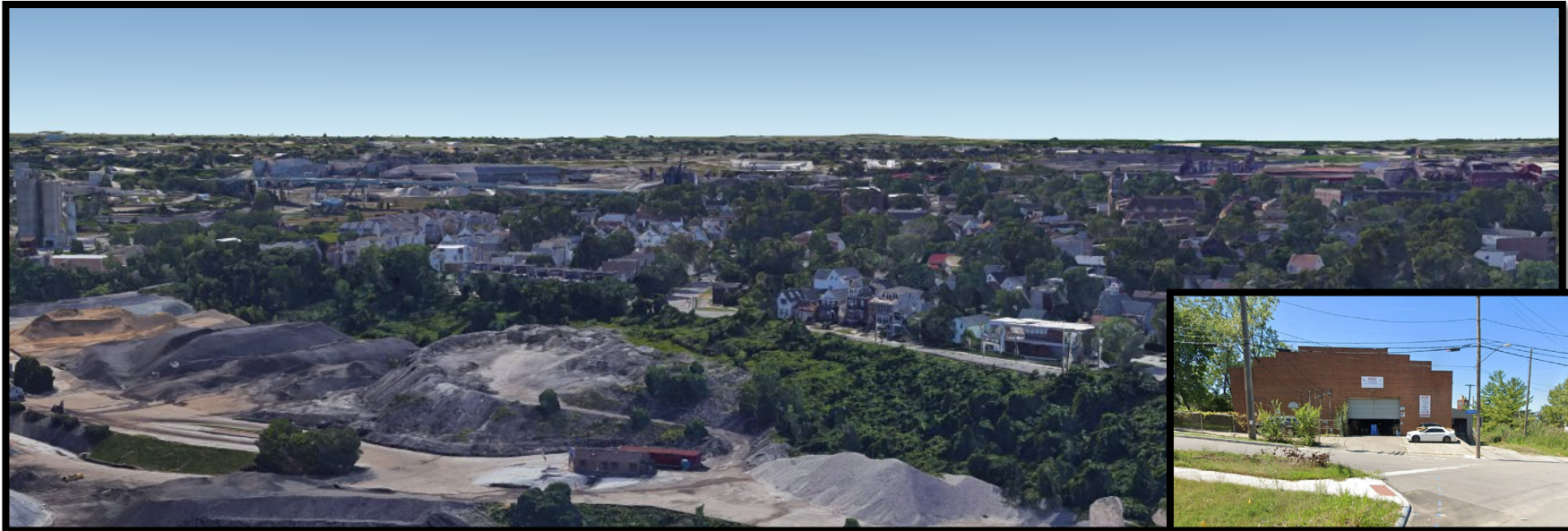
NORTHEAST OHIO DEVELOPMENT COORDINATING AGENCY
CITY OF CLEVELAND Mayor Frank G. Jackson

IN PARTNERSHIP WITH:

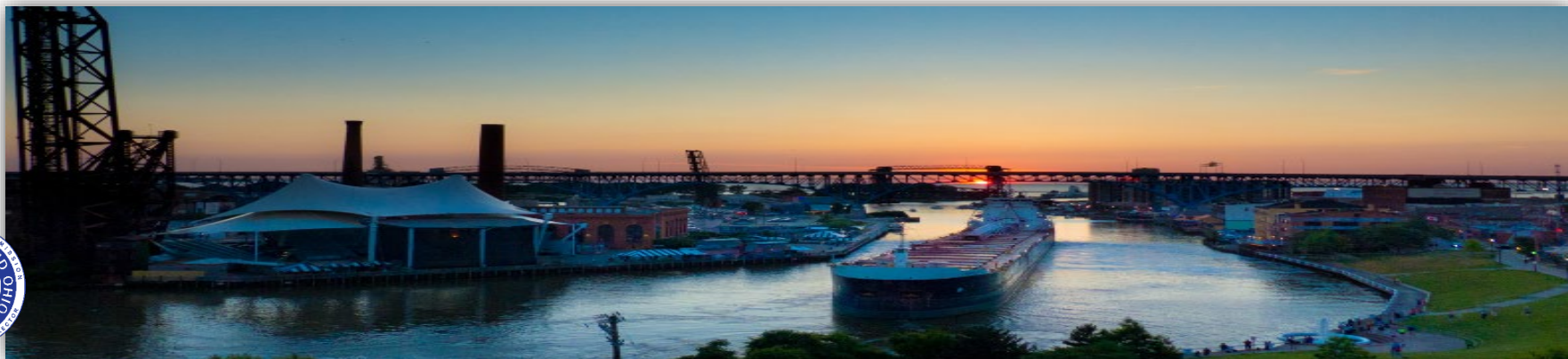
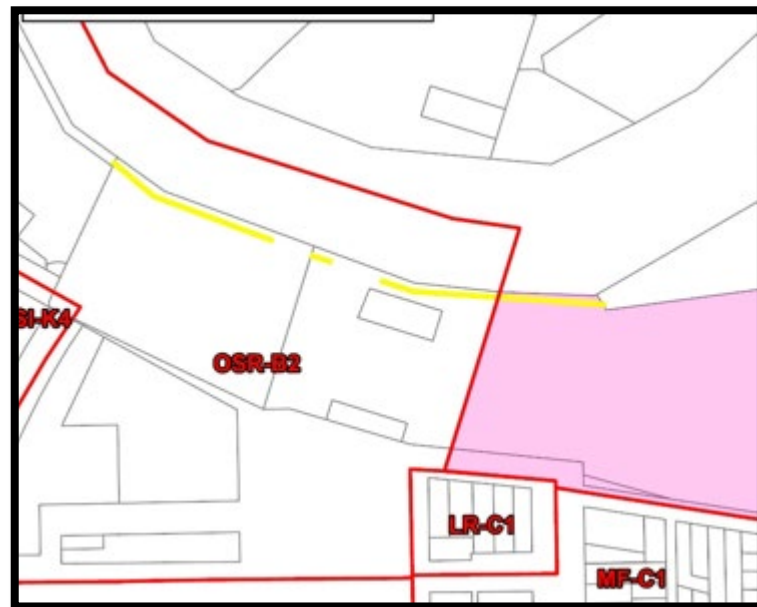
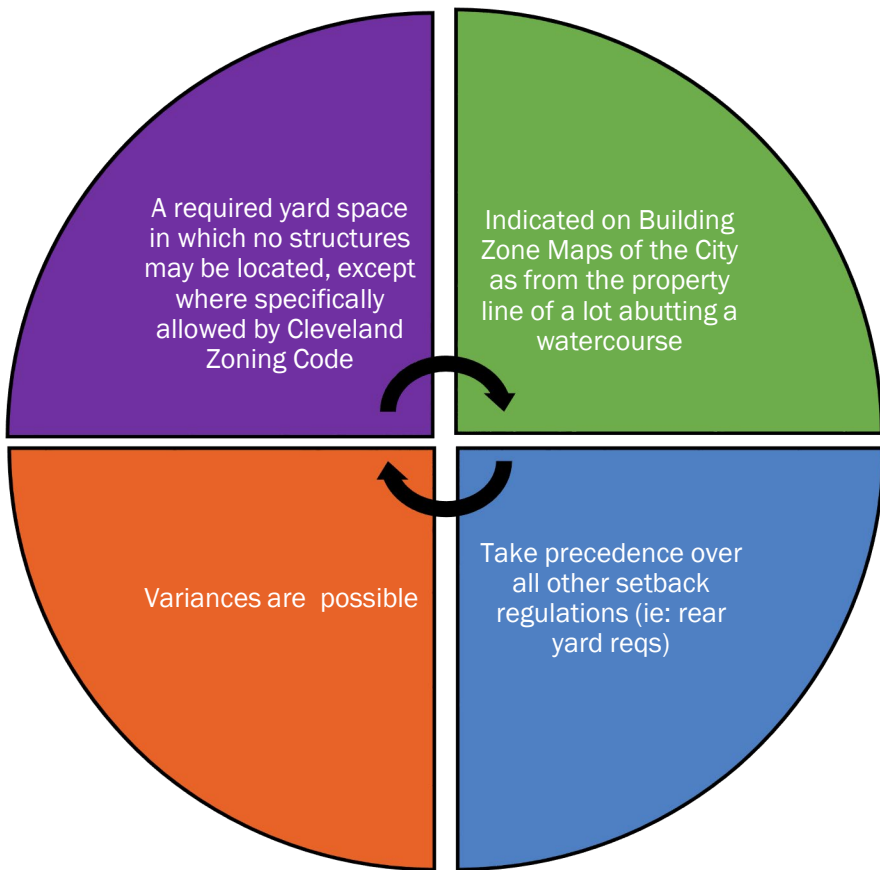
cpc cleveland city planning commission
Cleveland Metroparks
PORT CLEVELAND FLATS FORWARD

Proposed Zoning: Limited Retail Business- K5

Map Change 2666



Proposed Zoning: 25 Ft Watercourse Setback



Proposed Zoning: Watercourse Setback

Map Change 2666



Proposed Zoning

Urban Form Overlay:

To promote equity/safety by encouraging a vibrant pedestrian experience

SetBacks:

- A. Front yard depth; principal street frontage
Single-family, two-family, townhouse: 0 ft. min., 10 ft. max.
- All other building types: 0 ft. min., 8 ft. max.



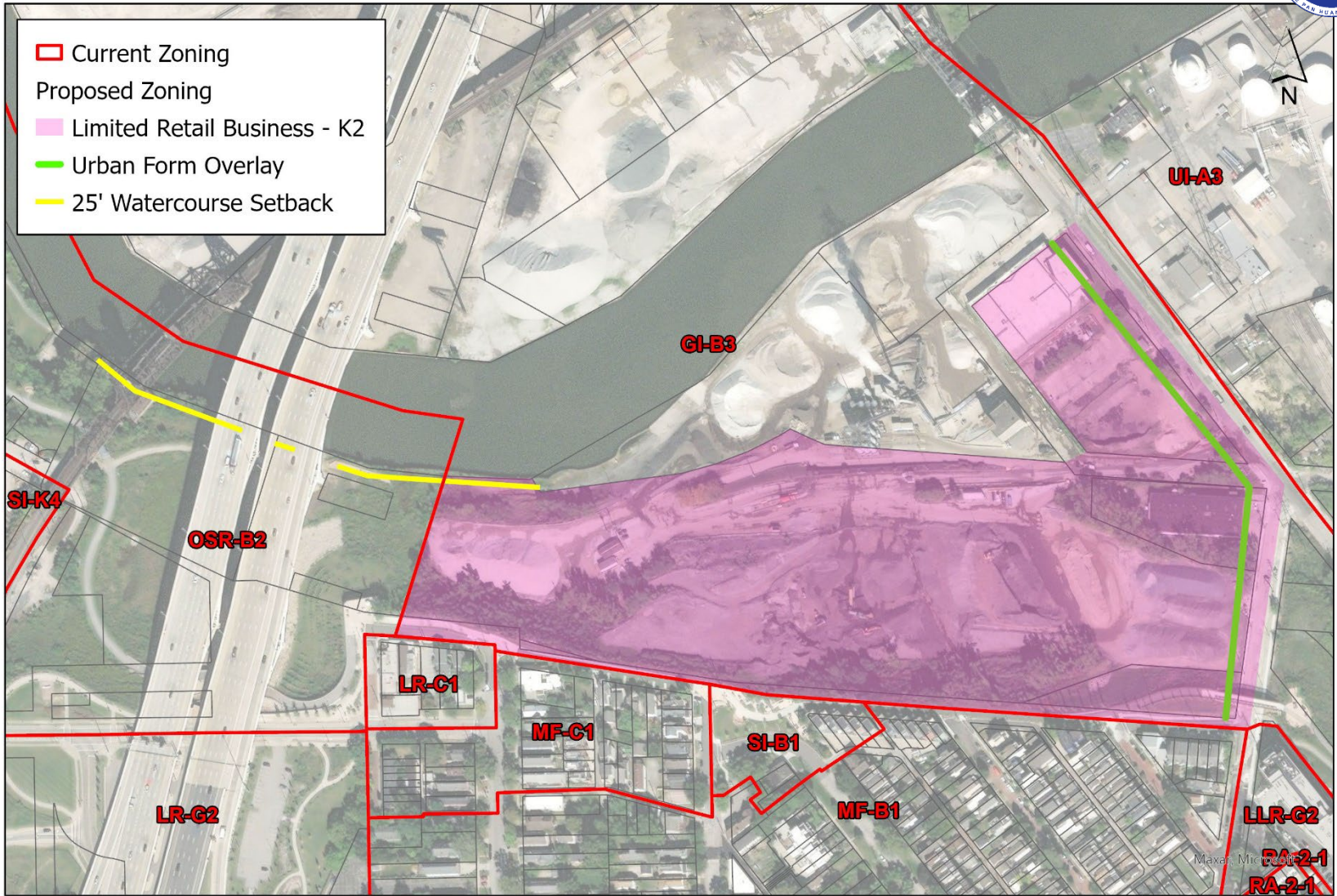
Purpose. The Urban Form Overlay (UF) District is established to foster a high level of walkability and design quality for Cleveland's urban streets. The UF will do this by requiring pedestrian-oriented building features, preserving and enhancing the architectural character of new and existing buildings and protecting public safety by minimizing conflicts between vehicles and pedestrians.



Proposed Zoning



Map Change 2666



Map Change 2666

Changing the Use, Area & Height Districts of parcels of land north of University Road between I-90 East and West 3rd street.

200 Feet

Cleveland City Planning Commission

Lot Consolidation / Splits



May 5, 2023

Lot Consolidation / Split



May 5, 2023

For PPN# 003-26-042

Address: 3405 Clinton Avenue

Representative: Dan McCarthy, Property Owner

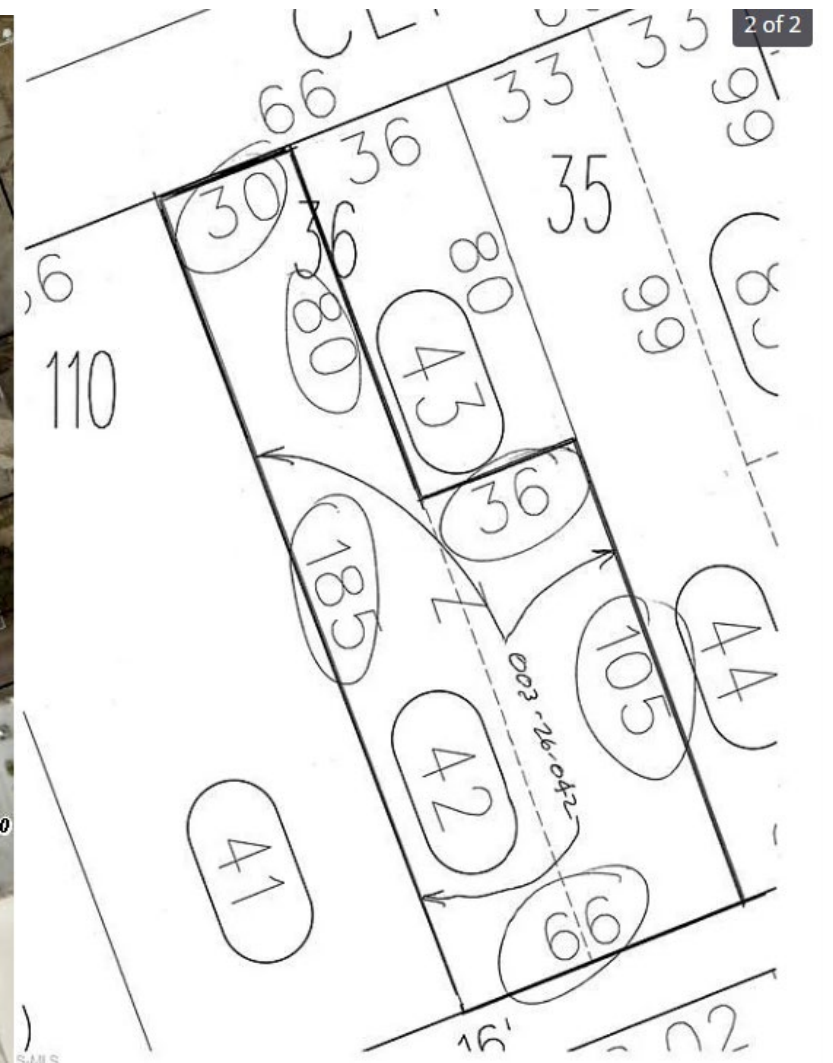
Note: the Planning Commission Tabled this item on February 3, 2023 to allow the neighborhood the opportunity to fully vet the proposal.

3405 Clinton Ave,
Cleveland, OH 44113

LOT SPLIT PLAN & PICTURES

Currently existing...

- House on Clinton Ave.
- Structure in backyard is a 2 car garage on Vine Court.
- Neighboring house to east at 3401 Clinton has no land...Subject 3405 Clinton lot is behind neighboring house.





003-26-063
LYTLE, WILLIAM K
1497 W 38 ST
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	35	Legal Depth	66
Effective Front	35	Avg Depth	66
Lot Size (SqFt.)	2310	Acreage	0.053
Topography	LEVEL	Lot Shape	RECTANGULAR

003-26-062
RYLA PARTNERS, LLC.
1507 W 38 ST
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	35	Legal Depth	66
Effective Front	35	Avg Depth	66
Lot Size (SqFt.)	2310	Acreage	0.053
Topography	LEVEL	Lot Shape	RECTANGULAR

003-26-071
SANDOVAL, LUIS S. & PHILBIN, ANDREW P.
1518 W 32 ST
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	35	Legal Depth	116
Effective Front	35	Avg Depth	116
Lot Size (SqFt.)	4060	Acreage	0.093
Topography	LEVEL	Lot Shape	RECTANGULAR

003-26-045
VANWAGENEN, GLENN J
W 33 ST
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	33	Legal Depth	86
Effective Front	33	Avg Depth	86
Lot Size (SqFt.)	2838	Acreage	0.065
Topography	LEVEL	Lot Shape	RECTANGULAR

003-26-085
VANWAGENEN, GLENN J
3305 CLINTON AVE
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	33	Legal Depth	99
Effective Front	33	Avg Depth	99
Lot Size (SqFt.)	3267	Acreage	0.075
Topography	LEVEL	Lot Shape	RECTANGULAR

003-26-043
UP TO BAT WEST, LLC
3401 CLINTON AVE
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	36	Legal Depth	80
Effective Front	36	Avg Depth	80
Lot Size (SqFt.)	2880	Acreage	0.066
Topography	LEVEL	Lot Shape	RECTANGULAR

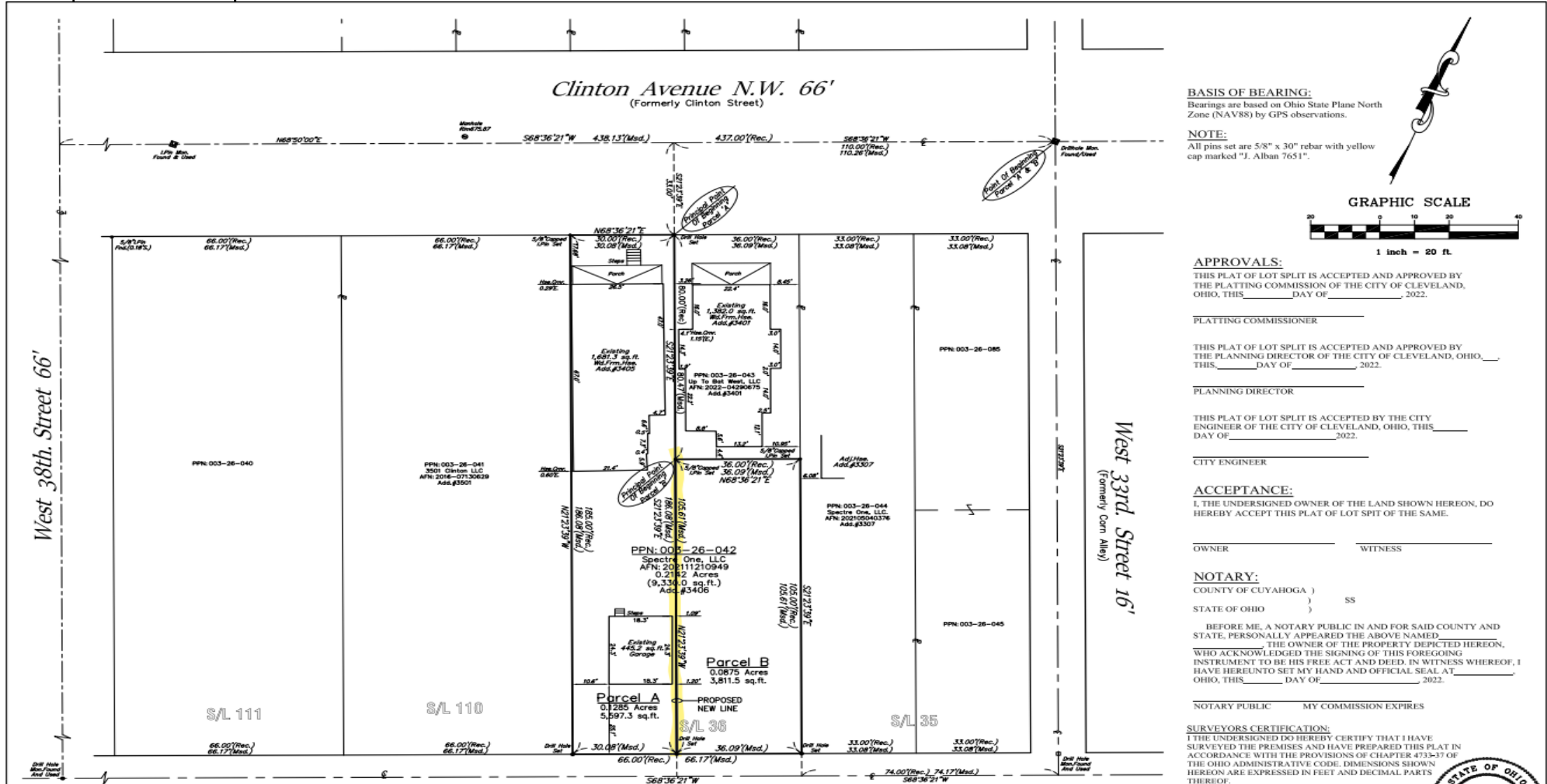
003-26-072
JOHNSEN, ELISABETH & CRAWFORD, DAVID
1522 W 32 ST
CLEVELAND, OH. 44113

Land Record

Record Number	1	Land Type	1
Legal Front	25	Legal Depth	116
Effective Front	25	Avg Depth	116
Lot Size (SqFt.)	2900	Acreage	0.067
Topography	LEVEL	Lot Shape	RECTANGULAR

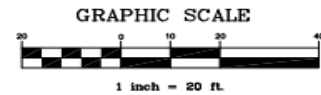
- 7 lots on the same block, all under 4800 square feet.
- Proposed lot would be 3780 square feet, larger than 6 below.
- Making a flag shaped lot into 2 rectangular parcels, making it similar to all below.

Proposed lot split...



BASIS OF BEARING:
Bearings are based on Ohio State Plane North Zone (NAV88) by GPS observations.

NOTE:
All pins set are 5/8" x 30" rebar with yellow cap marked "J. Alban 7651".



APPROVALS:
THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE PLATTING COMMISSION OF THE CITY OF CLEVELAND, OHIO, THIS _____ DAY OF _____, 2022.

PLATTING COMMISSIONER _____
THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO, THIS _____ DAY OF _____, 2022.

PLANNING DIRECTOR _____
THIS PLAT OF LOT SPLIT IS ACCEPTED BY THE CITY ENGINEER OF THE CITY OF CLEVELAND, OHIO, THIS _____ DAY OF _____, 2022.

CITY ENGINEER _____
ACCEPTANCE:
I, THE UNDERSIGNED OWNER OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS PLAT OF LOT SPLIT OF THE SAME.

OWNER _____ WITNESS _____

NOTARY:
COUNTY OF CUYAHOGA)
STATE OF OHIO) SS

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED _____ THE OWNER OF THE PROPERTY DEPICTED HEREON, WHO ACKNOWLEDGED THE SIGNING OF THIS FOREGOING INSTRUMENT TO BE HIS FREE ACT AND DEED, IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____ OHIO, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

SURVEYORS CERTIFICATION:
I THE UNDERSIGNED DO HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND HAVE PREPARED THIS PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.

JOHN R. ALBAN P.S. 7651 11-17-22



PREPARED BY:
ALBAN SURVEYING CO.
Engineers and Surveyors
38052 Euclid Avenue, Suite 200
Willoughby, Ohio 44094
Phone: 440-946-0752

REV.	DESCRIPTION	BY	DATE

3405 Clinton Avenue - PPN:003-26-042
Lands Known As Being Part Of Sublot No.36, In The Taylor Farm Allotment, As Recorded In Vol.2, Pg.22 Of C.C.R., And Further Known As Being Part Of Original Brooklyn Township Lot Number 51, Now In The City Of Cleveland, County Of Cuyahoga In The State Of Ohio.

Plat of Lot Split
Prepared For:
Spectre One, LLC

DATE: Nov.10, 2022
SCALE: 1"= 20'
FIELD M.H.
DRAWN BY: G.S.V.
CHKD.BY: J.R.A.
SHEET 1 of 1



Vine Court

SITE PLAN

- Creating a better Vine Ct with 3 garages and driveways, along with landscaping.
- Single family would be on new parcel.
- Width gives enough room to keep 3'-5' setbacks for side yards.
- Garage on single-family to be Vine Court loaded and in line with all other townhouses, garages, houses on Vine.



Clinton Ave

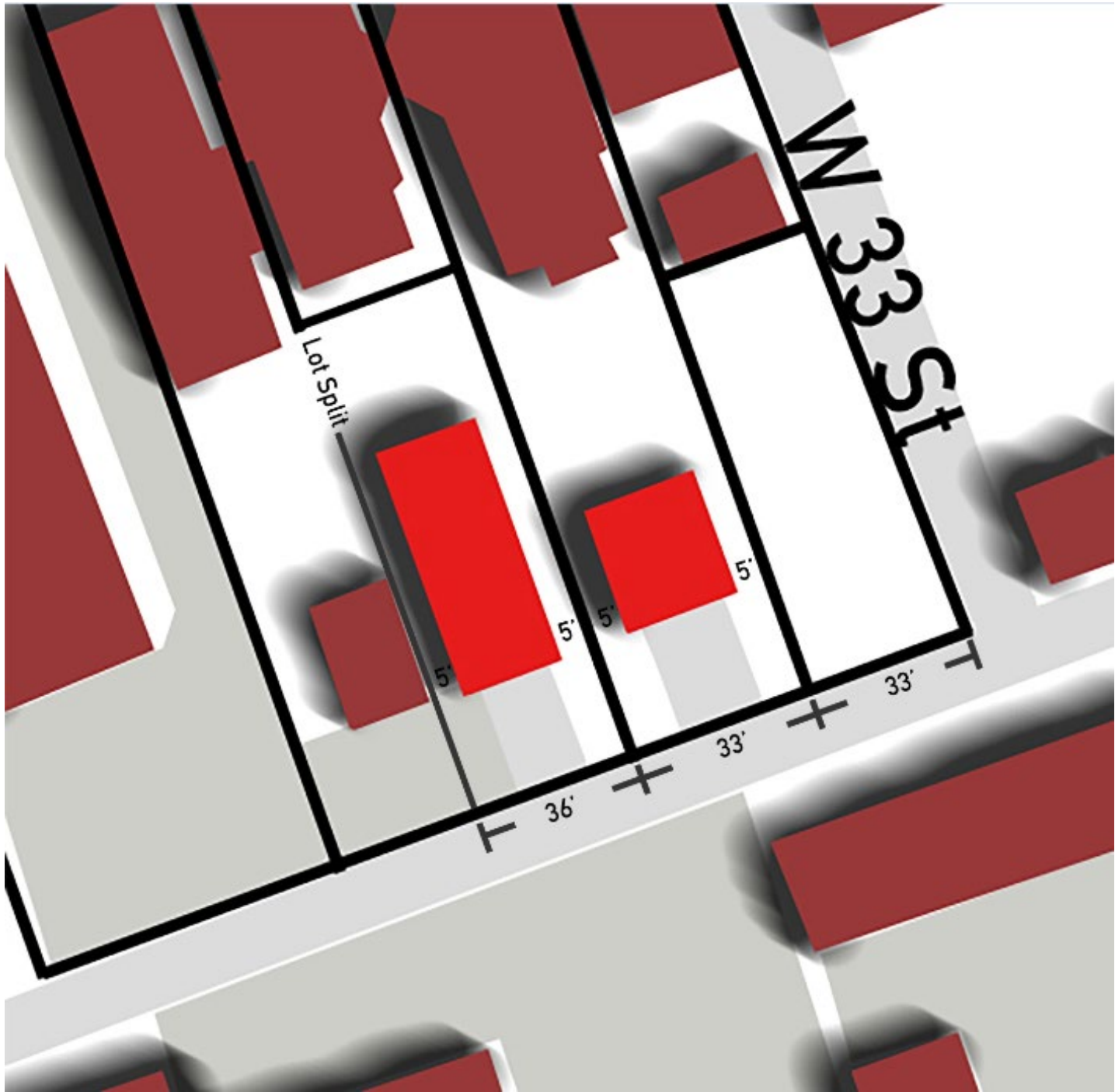


M 32 St

M 33 St

Vine Ct

Dlyd







Street views...









Cleveland City Planning Commission

Staff Report



May 5, 2023

Cleveland City Planning Commission

Design Review Cases



May 5, 2023



May 5, 2023

FW2023-004 – Proposed Demolition of a 1-Story Industrial Building:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 13507 Lakewood Heights Blvd.

Project Representative: Greg Zillich, Contractor

Committee Recommendation: Unanimously **Approved** as Presented.



May 5, 2023

FW2023-005 – New parking lot addition: Seeking Final Approval

Project Address: 13507 Lakewood Heights Blvd.

Project Representative: Greg Zillich, Contractor

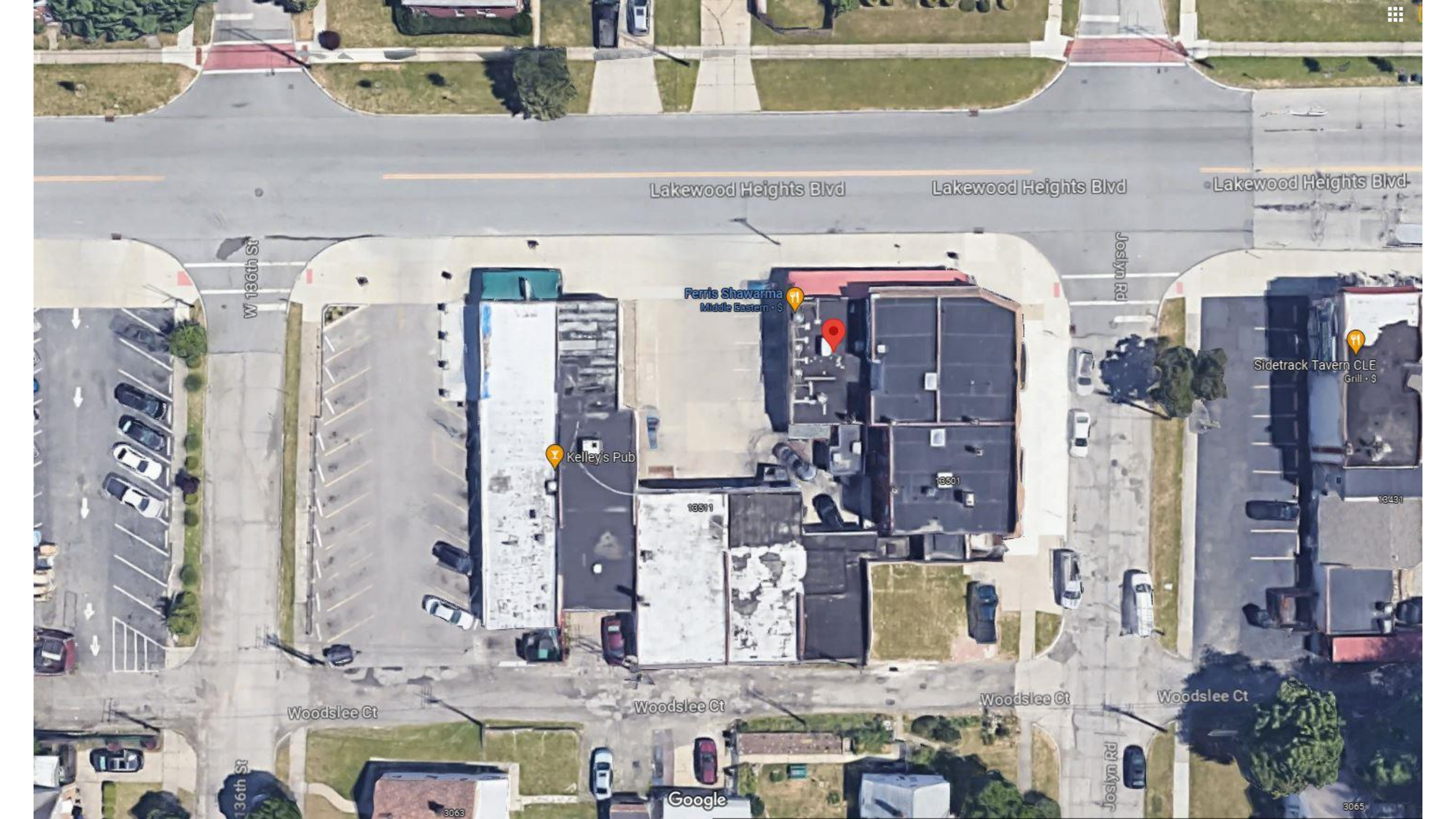
Committee Recommendation:

Unanimously **Approved** for Final Design with **Conditions:**

Revise eastern ADA parking lot to show cross-hatching, the loss of one parking space, and planter area; add information to site plan to show tree placement in planter; omit wheel stops at dumpster access.

New Parking Lot & Demolition – 13507 Lakewood Hts. Blvd

FW 2023-04 & 05



Lakewood Heights Blvd

Lakewood Heights Blvd

Lakewood Heights Blvd

W 136th St

Joslyn Rd

Ferris Shawarma
Middle Eastern • S

Kelley's Pub

Sidetrack Tavern CLE
Grill • S

18511

18501

18431

Woodslee Ct

Woodslee Ct

Woodslee Ct

Woodslee Ct

136th St

Joslyn Rd


Google

3065

3063

← 13507 Lakewood Heights Blvd

Cleveland, Ohio

 Google Street View

Aug 2022

[See more dates](#)

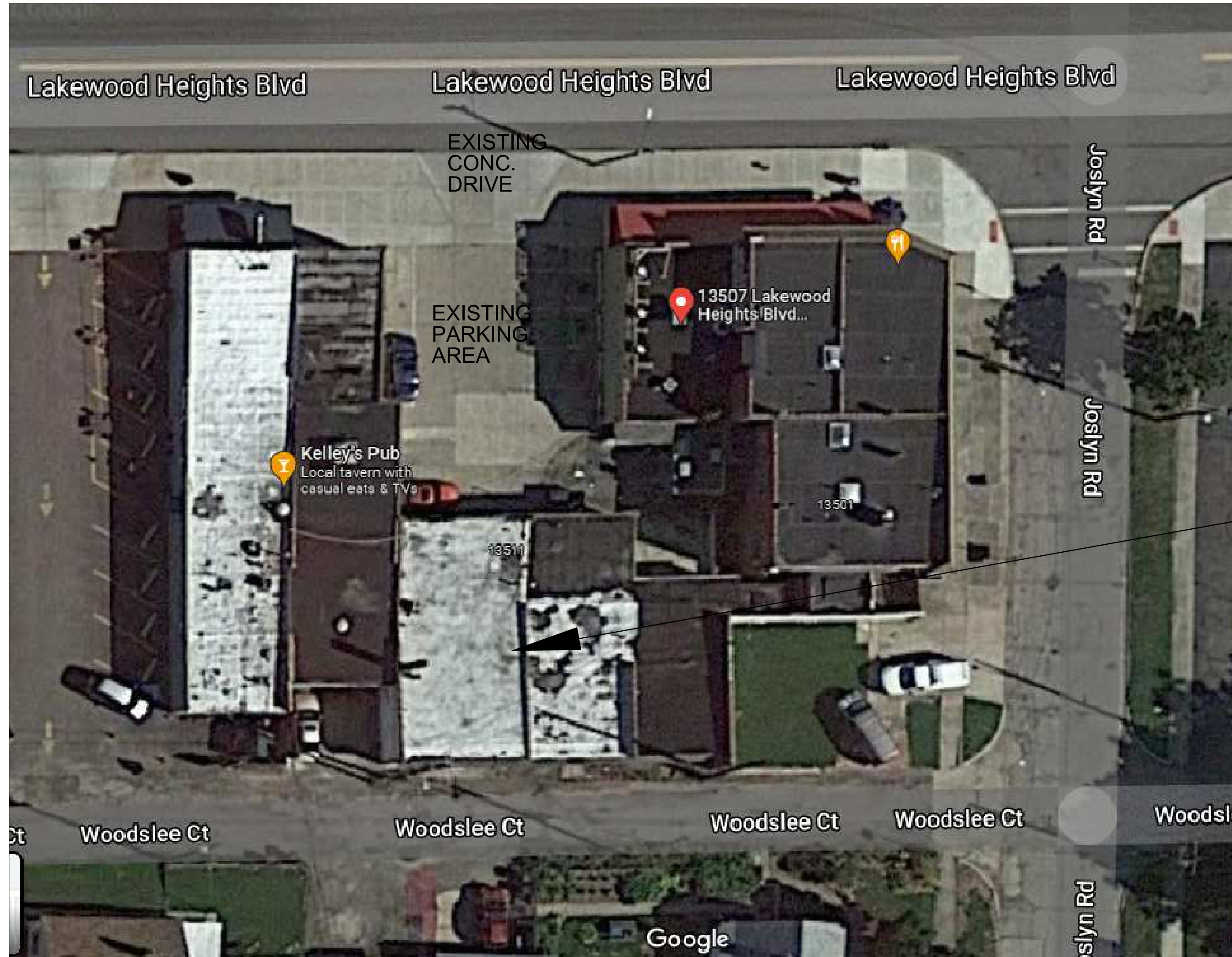






PROPOSED NEW PARKING LOT AREA

13507-21 LAKEWOOD HEIGHTS BLVD

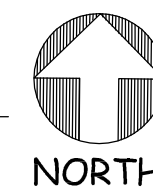


DRAWING INDEX

T-1	TITLE SHEET & LOCATION PLAN
A-1	EXISTING SITE PLAN PLAN
A-2	PROPOSED NEW SITE PLAN
C-1	CIVIL SITE PLAN
C-2	PAVEMENT DETAILS
C-3	DRIVE DETAILS

BUILDING TO BE DEMOLISHED
SEE DWG. A-1

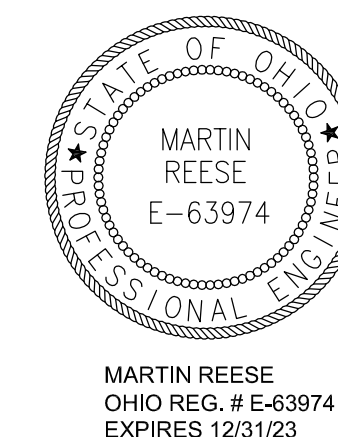
LOCATION PLAN
N.T.S.



PROPOSED NEW
ASPHALT PARKING LOT AREA
13507-21 LAKEWOOD HTS BLVD.

MARTIN REESE - 216-293-0943
3396 MONTICELLO BLVD.
CLEVELAND HEIGHTS, OH. 44118

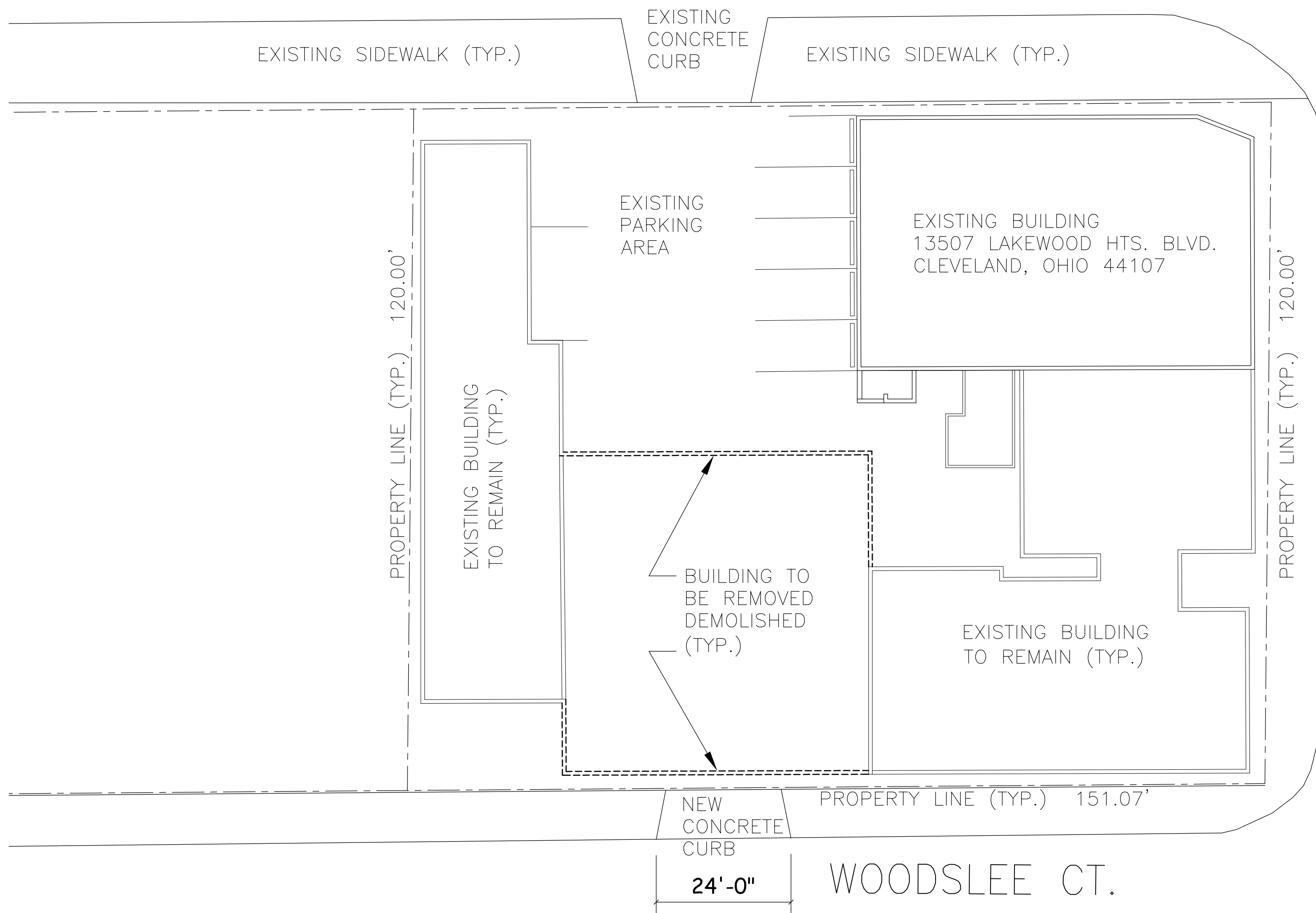
TITLE SHEET AND
LOCATION PLAN



3-14-2023

T-1

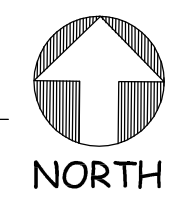
LAKWOOD HTS. BLVD.



JOSLYN RD.

EXISTING SITE PLAN

1"=20'-0"



PROPOSED NEW
 ASPHALT PARKING LOT AREA
 13507-21 LAKEWOOD HTS BLVD.

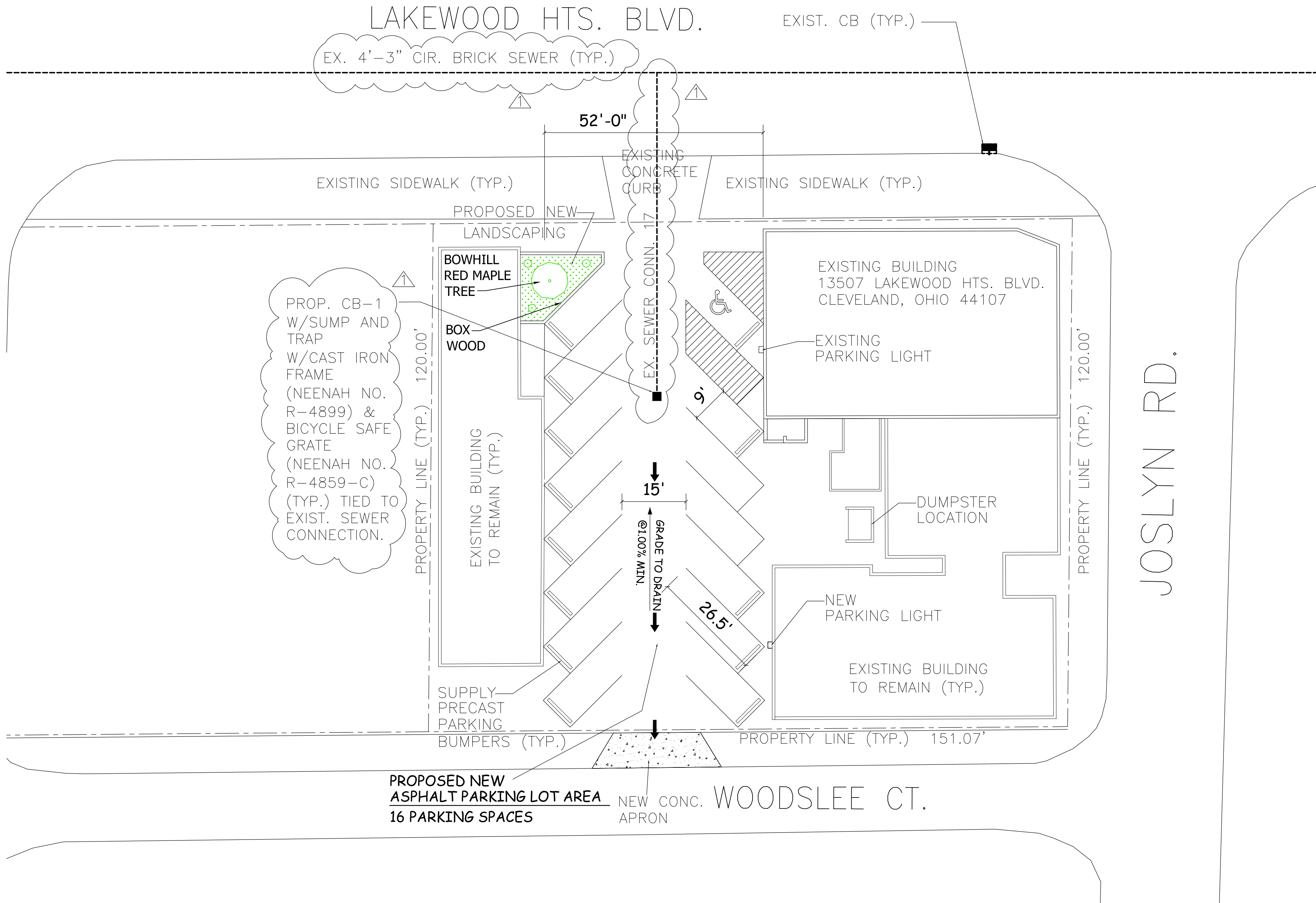
MARTIN REESE - 216-293-0943
 3396 MONTICELLO BLVD.
 CLEVELAND HEIGHTS, OH. 44118

EXISTING
 SITE PLAN



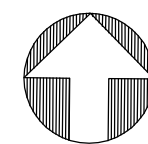
3-14-23

A-1

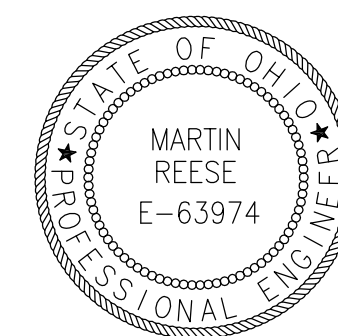


PROPOSED NEW SITE PLAN

1"=20'-0"



NORTH



MARTIN REESE
OHIO REG. # E-63974
EXPIRES 12/31/23

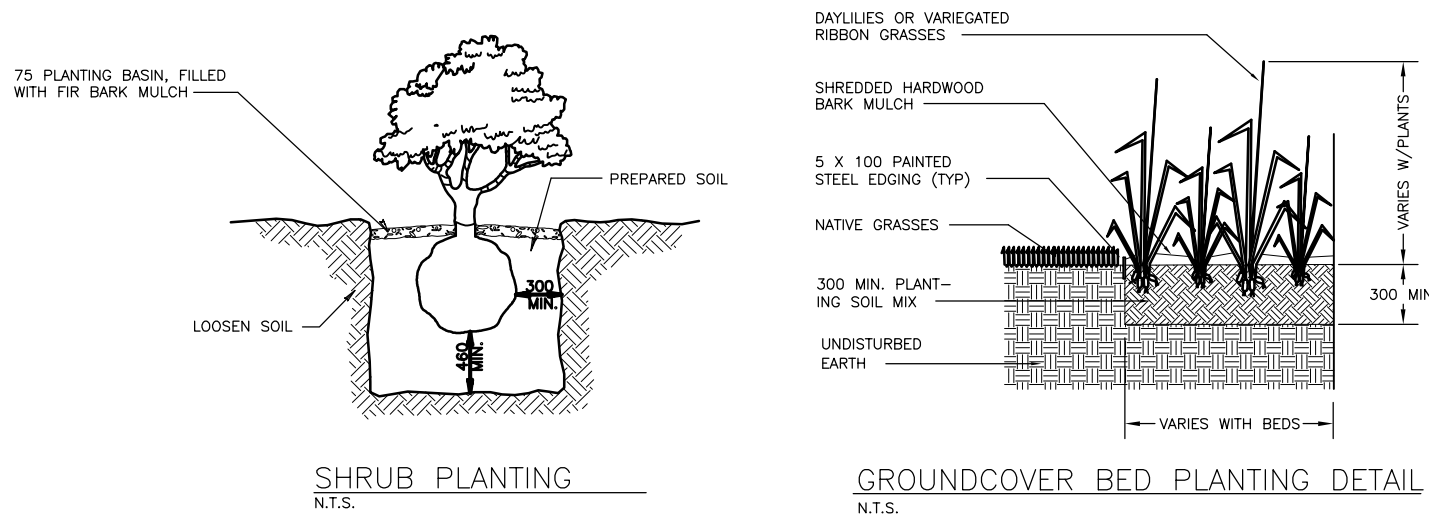
PROPOSED NEW ASPHALT PARKING LOT AREA
13507-21 LAKEWOOD HTS BLVD.

MARTIN REESE - 216-293-0943
3396 MONTICELLO BLVD.
CLEVELAND HEIGHTS, OH. 44118

PROPOSED NEW SITE PLAN

5-1-2023

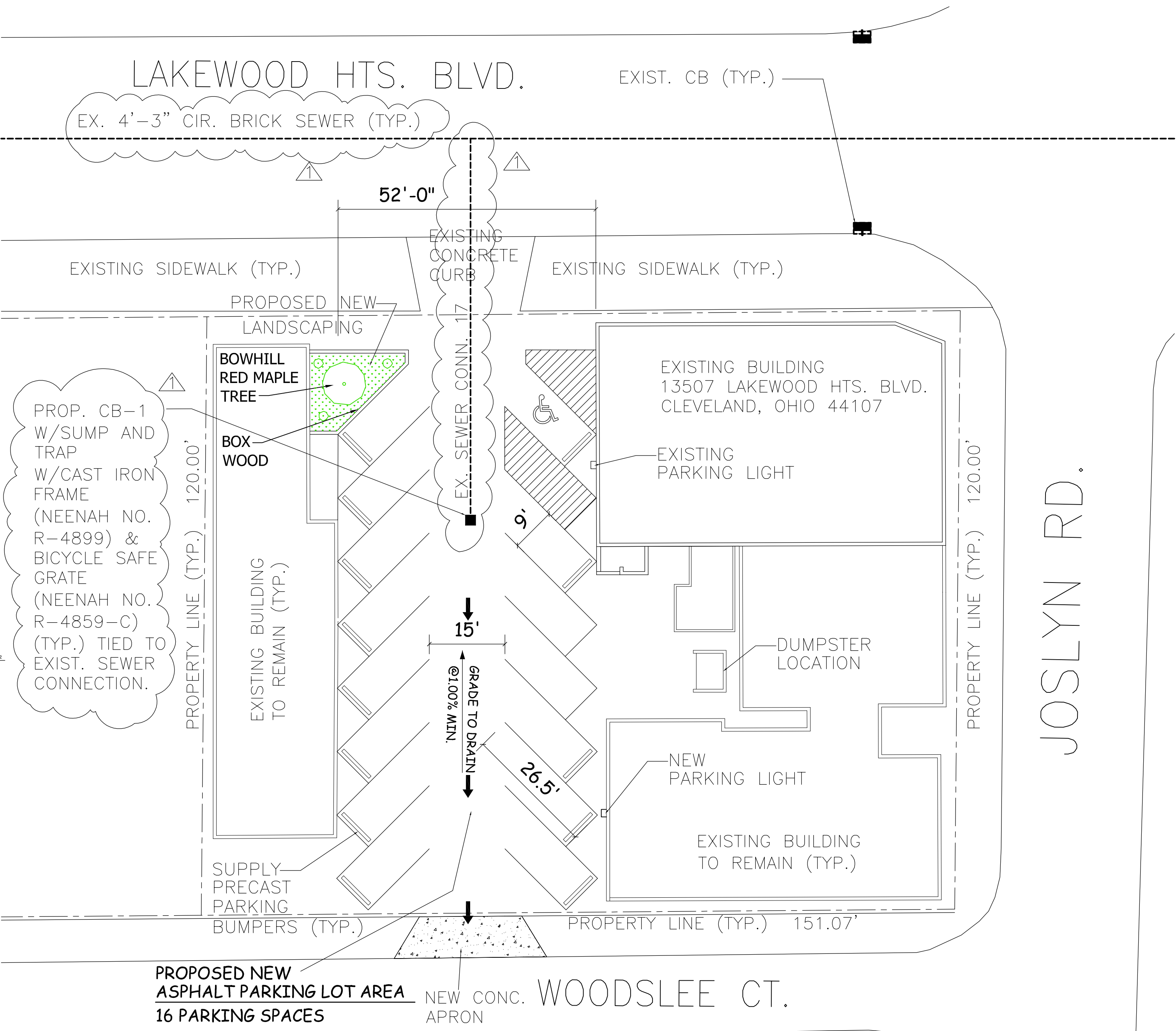
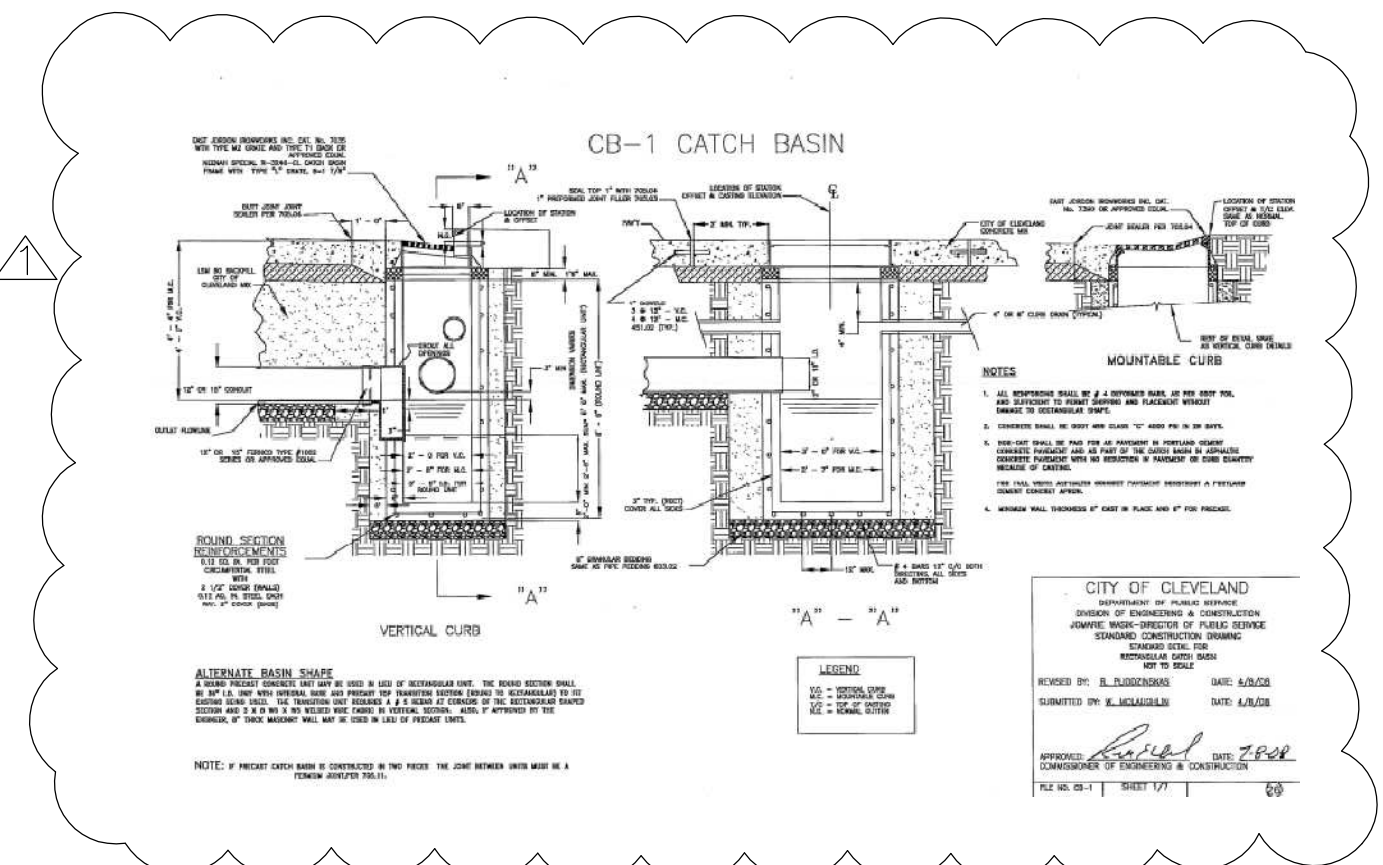
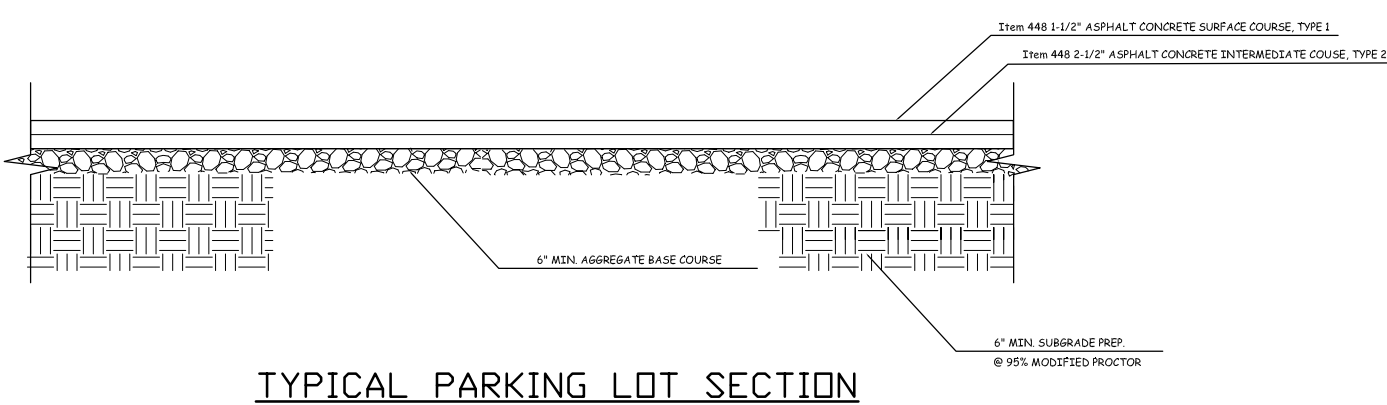
A-2



SYMBOL	#	BOTANICAL NAME	COMMON NAME
PERENNIALS	-	HOSTA + (VARIOUS) AS NEEDED	HOSTA + PERENNIALS
EA	-	EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH

NOTES:

1. THE PARKING SHALL BE DRAINED TO OUTLET TOWARD THE STREET INTO EXISTING STREET CATCH BASINS. VARIANCE MAY BE REQUIRED.
2. CONTRACTOR MUST BE LICENSED WITH THE CITY AND THE BUREAU OF SIDEWALKS.
3. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR REMOVING DIRT AND RUBBISH CAUSED BY THIS WORK. IN THE EVENT AN OWNER OR CONTRACTOR FAILS TO REMOVED DIRT, RUBBISH, BROKEN STONE, THE CITY WILL DO SO, AND THE COST OF HAULING WILL BE CHARGED TO THE PROPERTY OWNER.
4. PEDESTRIAN TRAVEL WILL BE ACCOMMODATED ACROSS ANY SIDEWALK WORK AREA.
5. ALL TRENCHES AND CAVITIES SHALL BE PLATED DURING NON-WORKING HOURS. PLATES ARE TO BE RECESSED FROM NOVEMBER 15TH TO MARCH 15TH AND/OR PINNED AND RAMPED AT ALL OTHER TIMES.
6. SIDEWALK PERMITS ARE REQUIRED FOR ALL SIDEWALKS, DRIVE APRONS & CURB RESTORATIONS.



PROPOSED NEW SITE PLAN

1"=20'-0"



**PROPOSED NEW ASPHALT PARKING LOT AREA
13507-21 LAKEWOOD HTS BLVD.**

**MARTIN REESE - 216-293-0943
3396 MONTICELLO BLVD.
CLEVELAND HEIGHTS, OH. 44118**

PROPOSED NEW CIVIL SITE PLAN



MARTIN REESE
OHIO REG. # E-63974
EXPIRES 12/31/23

5-1-2023

C-1



May 5, 2023

Committee Recommendation:

Unanimously **Approved** for Final Design with **Conditions**:

Revise eastern ADA parking lot to show cross-hatching, the loss of one parking space, and planter area; add information to site plan to show tree placement in planter; omit wheel stops at dumpster access.

Cleveland City Planning Commission

Staff Report



May 5, 2023

FW2023-007 – Vietnamese Temple Addition New Construction:

Seeking Conceptual Design Approval

Project Address: 4724 West 130th Street

Project Representative: Joey Mannarino, TMG

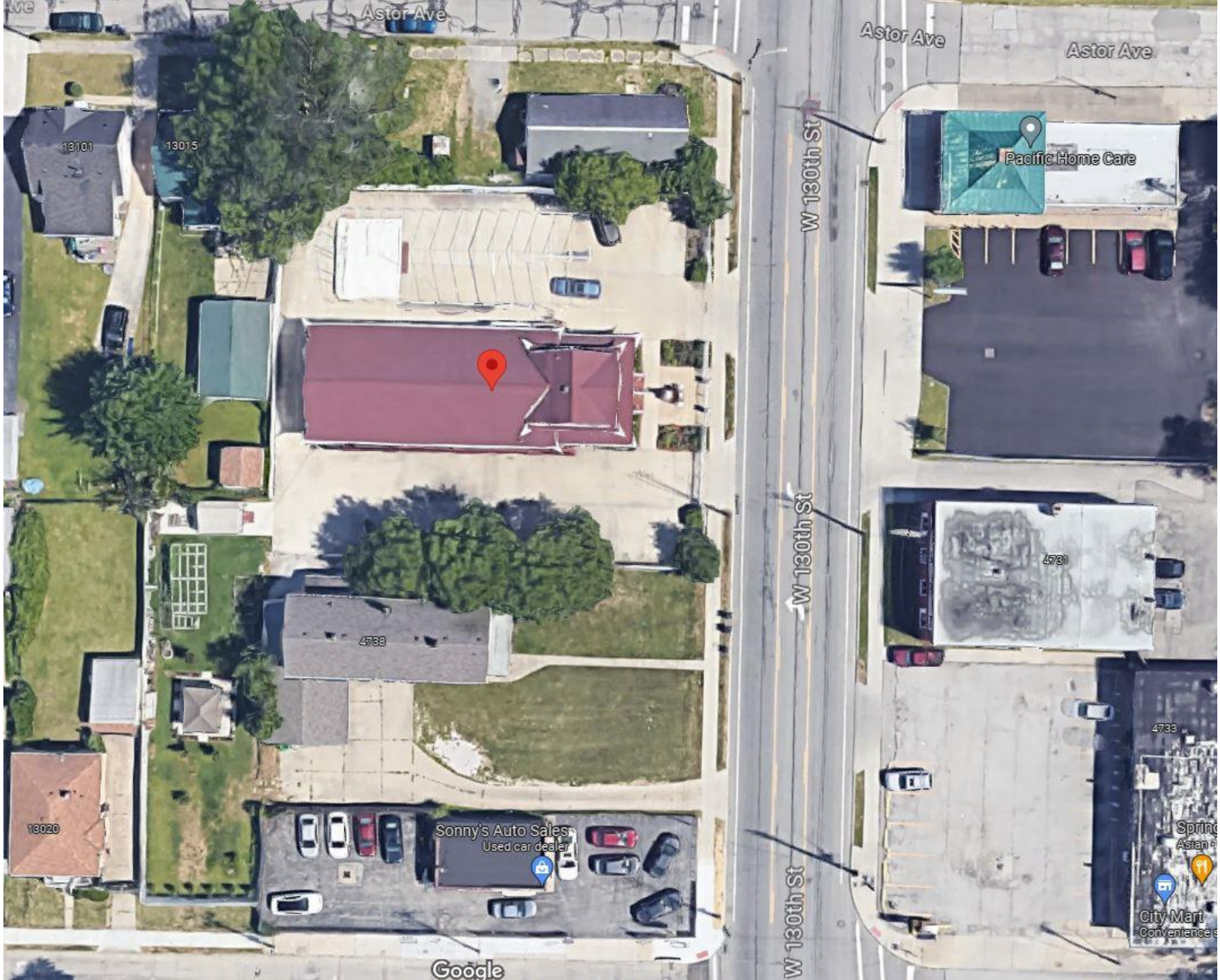
Note: the Planning Commission Tabled this item on April 21, 2023 as applicant did not attend the meeting.

Committee Recommendation:

Unanimously **Approved** Conceptually with **Conditions:**

Need clarity on fence condition; eliminate center curb cut; refine site plan, adding greenspace wherever possible; provide landscaping and lighting plan, also materials, for final approval.

4724 W. 130th Street –
Vietnamese Temple Addition









Other Site Photos



Street Context

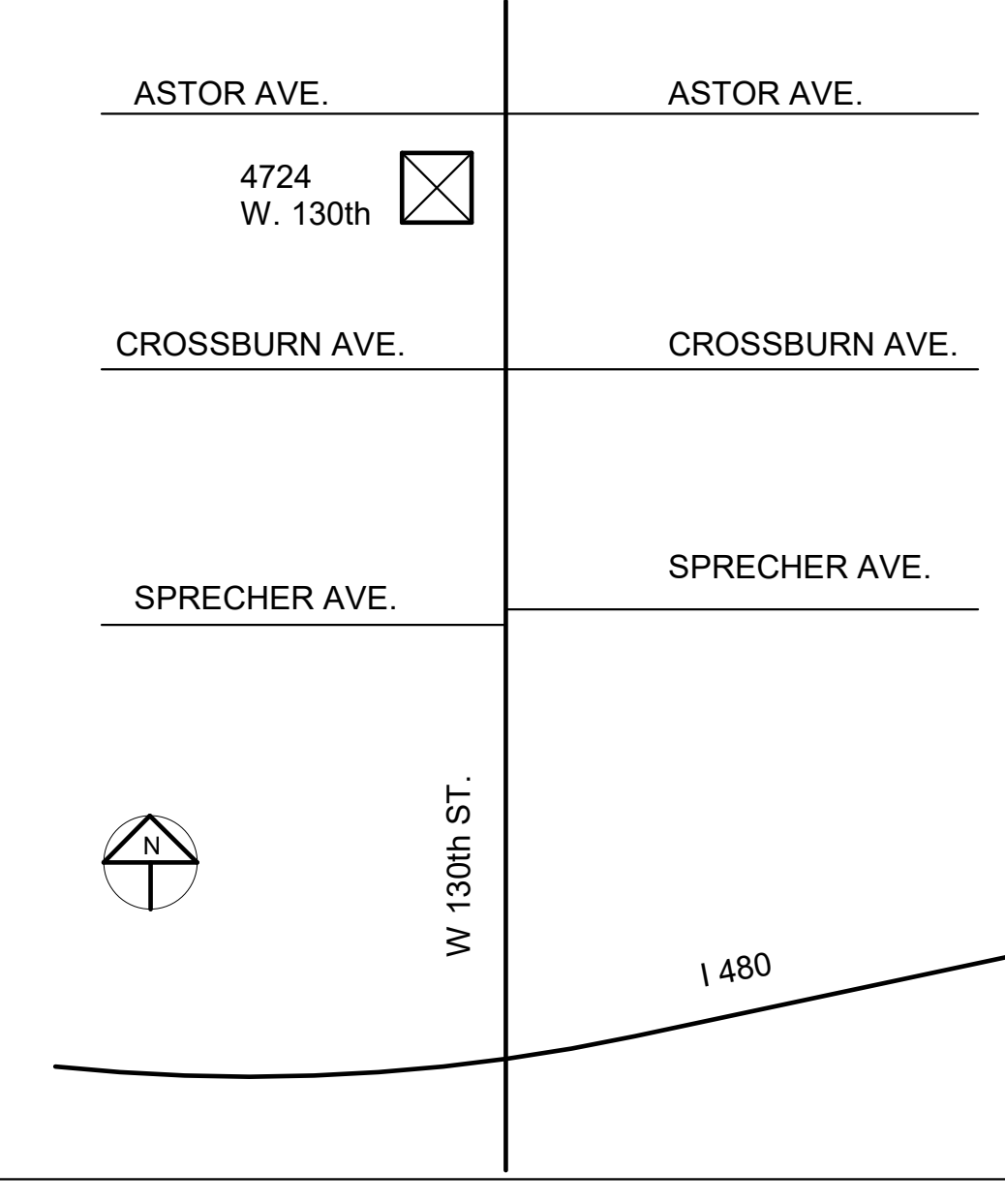
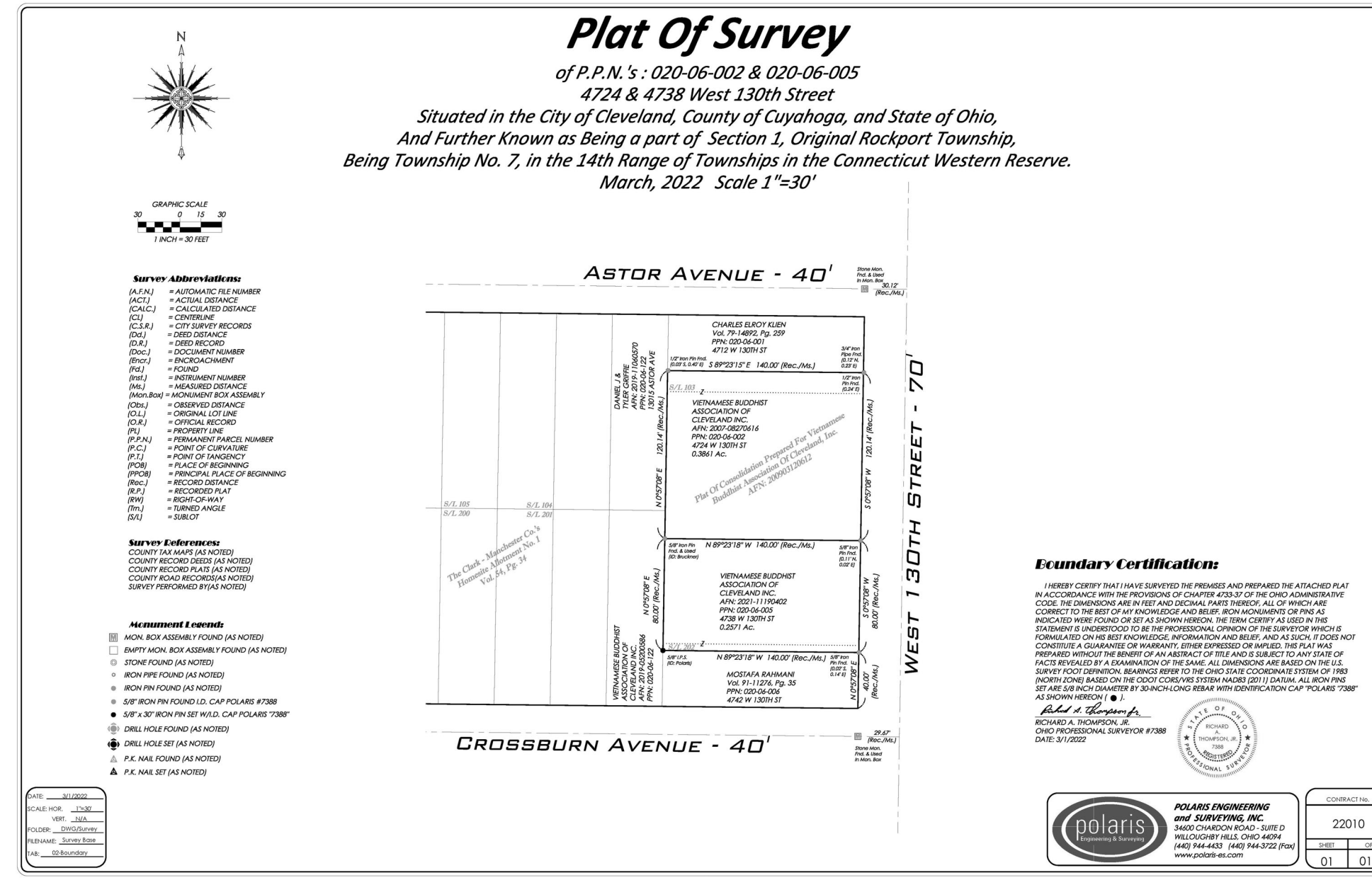


VIEN QUANG TEMPLE ADDITION 4724 WEST 130th STREET CLEVELAND, OHIO 44135



ABBREVIATIONS:

ABV ABOVE	HB HOSE BIB	SS STAINLESS STEEL
AFF ABOVE FINISH FLOOR	HDW HARDWARE	STD STANDARD
ACT ACOUSTICAL TILE	HVAC HEATING, VENTILATING,	STL STEEL
A/C AIR CONDITIONING	AIR CONDITIONING	STO STORAGE
ALT ALTERNATE	HM HOLLOW METAL	SD STORM DRAIN
ALUM ALUMINUM	HGT HEIGHT	STM STORM SEWER
AB ANCHOR BOLT	HORIZ HORIZONTAL	STR STRUCTURAL
ANC ANCHOR	HMW HOT WATER HEATER	
ANOD ANODIZED		TEL TELEPHONE
ARCH ARCHITECT(URAL)	INCL INCLUDE(D)(ING)	TOM TOP OF MASONRY
ASPH ASPHALT	ID INSIDE DIAMETER	T&G TYPICAL
	INSUL INSULATE(D)(ION)	U.N.O. UNLESS NOTED OTHERWISE
BSMT BASEMENT	INT INTERIOR	UR URINAL
BRG BEARING	JC JANITOR'S CLOSET	VERT VERTICAL
B.M. BENCH MARK	JT JOINT	V.T. VINYL TILE
BM BEAM	JST JOIST	WC WATER CLOSET
BLK BLOCK	LAM LAMINATE(D)	WWM WELDED WIRE MESH
BLKG BLOCKING	LL LIVE LOAD	WH WATER HEATER
BOT BOTTOM	MH MANHOLE	W/O WITHOUT
BLDG BUILDING	MFR MANUFACTURE(ER)	W WITH
BRK BRICK	MAS MASONRY	WD WOOD
BUR BUILT UP ROOFING	MATL MATERIAL(S)	
	M.O. MASONRY OPENING	# NUMBER
CAB CABINET	MAX MAXIMUM	@ AT
CB CATCH BASIN	MECH MECHANICAL	
C.C. CENTER TO CENTER	MTL METAL	
CER CERAMIC	MIN MINIMUM	
CLG CEILING	MISC MISCELLANEOUS	
CT CERAMIC TILE	NOM NOMINAL	
COL COLUMN	NIC NOT IN CONTRACT	
CONC CONCRETE	NTS NOT TO SCALE	
CMU CONCRETE MASONRY UNIT	O.C. ON CENTER(S)	
CONST CONSTRUCTION	O/O OUT TO OUT	
CONT CONTINUOUS	OPG OPENING	
CONTR CONTRACT(OR)	OPP OPPOSITE	
CJ CONTROL JOINT	OD OUTSIDE DIAMETER	
C.F. CUBIC FEET	OH OVERHEAD/OVERHANG	
C.Y. CUBIC YARD	OVMT PAVEMENT	
DL DEAD LOAD	PLAST PLASTIC	
DIA DIAMETER	P/L PROPERTY LINE	
DIM DIMENSION	PLYWD PLYWOOD	
DN DOWN	PVC POLYVINYL CHLORIDE	
DR DOOR	PCF POUNDS PER CUBIC FOOT	
DS DOWNSPOUT	PLF POUNDS PER LINEAL FOOT	
DWG DRAWING	PSF POUNDS PER SQUARE FOOT	
DF DRINKING FOUNTAIN	QT QUARRY TILE	
DW DISHWASHER	R RADIUS	
	REF REFRIGERATOR	
ELECT ELECTRIC(AL)	REV REVISION(S), REVISED	
EQ EQUAL	RA RETURN AIR	
EQUIP EQUIPMENT	R/W RIGHT OF WAY	
EXG EXISTING	RD ROOF DRAIN	
EXH EXHAUST	R.O. ROUGH OPENING	
EXP EXPANSION	R.S. ROUGH SAWN	
EXT EXTERIOR	SCH SCHEDULE	
EW EACH WAY	SECT SECTION	
	SHT SHEET	
FE FIRE EXTINGUISHER	SIM SIMILAR	
FIN FINISHED	SC SOLID CORE	
FLR FLOORING	SPEC SPECIFICATION(S)	
FND FOUNDATION	SQ SQUARE	
FT FOOT		
FD FLOOR DRAIN		
F.O. FINISHED OPENING		
FTG FOOTING		
GA GAUGE		
GC GENERAL CONTRACT(OR)		
GL GLASS, GLAZING		
GR GRADE, GRADING		



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THE ZEITGROUP ,LTD.
JOHN H. ZEIT, R.A.
149 SPELL RD.
KENT, OHIO 44240
330-677-5176

CODE ANALYSIS

OHIO BUILDING CODE 2017
RESIDENTIAL CODE OF OHIO FOR R3 LODGING HOUSE (OBC 310.5.4)
USE GROUPS - PLACE OF WORSHIP EXISTING (A3)
A3 COMMUNITY HALL
R3 RESIDENTIAL LODGING HOUSE
CONSTRUCTION TYPES - EXISTING BUILDING = 5B
(OBC TABLE 601) COMMUNITY HALL = 5B
A3/R3 BUILDING = 5B
HEIGHTS & STORIES - COMMUNITY HALL - ALLOWABLE = 40 FEET, 1 STORY
(OBC TABLE 504.3) PROPOSED = 25 FEET, 1 STORY
A3/R3 BUILDING - ALLOWABLE = 40 FEET, 3 STORY
PROPOSED = 26 FEET, 2 STORY
FLOOR AREAS - COMMUNITY HALL - ALLOWABLE = 6000 SF
(OBC TABLE 506.2) PROPOSED = 4537 SF
RESIDENTIAL AREA - ALLOWABLE = UL
PROPOSED = 1969 SF
OCCUPANCY - COMMUNITY HALL (TABLES AND CHAIRS) = 273 OCCUPANTS
RESIDENTIAL = 9 OCCUPANTS (1 PERMANENT, 8 GUESTS)
FIRE SUPPRESSION NOT REQUIRED (OBC 903.2.1.3 -300 OCCUPANTS)
MIXED USE OCCUPANCY A3 & R3 REQUIRES 2 HOUR FIRE SEPARATION
(OBC TABLE 508.4)
NUMBER OF EXITS - COMMUNITY HALL - REQ'D = 2 PROPOSED = 4
R3 - 1 REQ'D (PER ORC) PROPOSED = 1
EXIST ACCESS TRAVEL DISTANCE - COMMUNITY HALL - ALLOWABLE = 200'
PROPOSED = 53'
COMMON PATH OF EGRESS TRAVEL - ALLOWABLE = 200' PROPOSED = 90'

PROJECT DESCRIPTION

THE TEMPLE BUILDING AT 4724 W. 130th ST. IS AN EXISTING BUILDING OF WOOD FRAME CONSTRUCTION. THE OWNER, THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND, OWNS THE PROPERTY TO THE SOUTH (4738 W. 130th) WHICH HAS A RESIDENCE ON IT AND A PIECE OF PROPERTY TO THE SOUTH WEST WHICH HAS STREET ACCESS TO CROSSBURN AVE BUT NO STREET ADDRESS.

THE OWNER PROPOSES TO DEMOLISH THE HOUSE AT 4738 AND USE THE LAND TO BUILD AN ADDITION TO THE TEMPLE. THE ADDITION WILL CONSIST OF A ONE STORY ASSEMBLY HALL AND A 2 STORY ASSEMBLY AND RESIDENTIAL BUILDING.

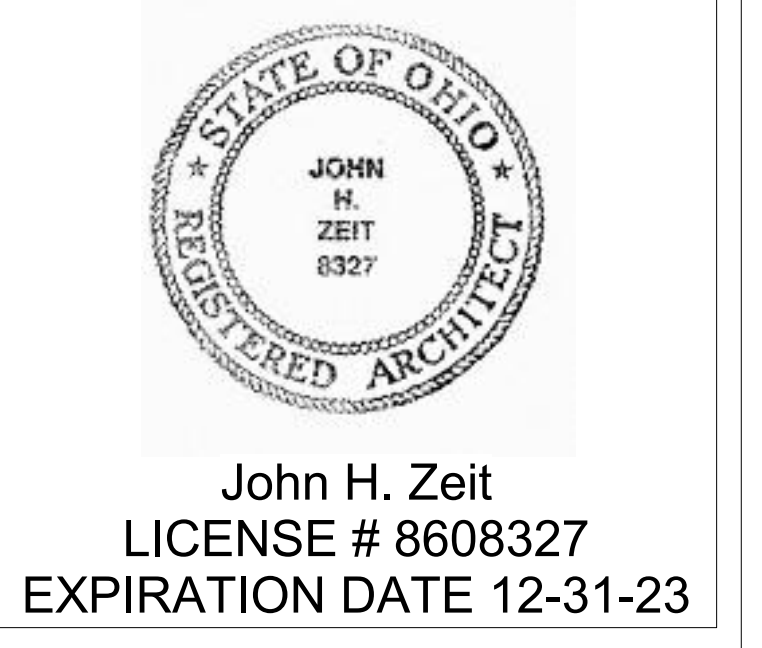
THE 2 STORY BUILDING WILL CONTAIN A COMMERCIAL KITCHEN AND ASSOCIATED TOILET ROOMS FOR THE ASSEMBLY HALL. THE REMAINDER WILL BE A RESIDENTIAL FACILITY.

THE ONE STORY HALL WILL BE APPROXIMATELY 80 FEET X 50 FEET. THE ATTACHED 2 STORY BUILDING WILL BE APPROXIMATELY 20 FEET X 60 FEET.

THE ADJACENT PROPERTY ON THE SOUTH WEST WILL BE USED FOR PARKING AND WILL HAVE A DRIVE TO CROSSBURN AVE.

INDEX OF DRAWINGS

- A1A COVER SHEET
- C1 SITE SURVEY
- C2 SITE PLAN
- LS1 LIFE SAFETY
- A1 3 DIMENSIONAL VIEW
- A2 BLDG B&C FLOOR PLAN
- A3 BLDG B FLOOR PLAN
- A4 BUILDING C FLOOR PLANS
- A5 ELEVATIONS
- A6 REFLECTED CEILING PLANS
- A7 BUILDING SECTIONS
- A8 WALL SECTIONS
- A9 DETAILS
- A10 TOILET ROOM DETAILS
- A11 SCHEDULES
- E0 ELECTRICAL GENERAL INFORMATION
- E1 ELECTRICAL SITE PLAN
- E2 LIGHTING PLANS
- E3 POWER PLANS
- E4 DISTRIBUTION DIAGRAMS
- M0 MECHANICAL GENERAL INFORMATION
- M1 MECHANICAL FLOOR PLANS
- M2 MECHANICAL SCHEDULES & DETAILS
- P0 PLUMBING GENERAL INFORMATION
- P1 SANITARY PLUMBING PLAN
- P2 DOMESTIC PLUMBING PLAN
- P3 PLUMBING SCHEDULES & DETAILS
- S1 FOUNDATIONS & FLOOR FRAMING
- S2 ROOF FRAMING



**VIEN QUANG TEMPLE
ADDITION**

**THE VIETNAMESE
BUDDHIST ASSOCIATION
OF CLEVELAND**
4724 West 130th St
Cleveland, Ohio 44135

COVER	
Project number	2211
Date	Issue Date
Drawn by	Author
Checked by	Checker
A1A	
Scale	



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JOHN H. ZEIT, R.A.
149 SPELL RD.
KENT, OHIO 44240
330-677-5176

No.	Description	Date

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**VIEN QUANG TEMPLE
ADDITION**
THE VIETNAMESE BUDDHIST
ASSOCIATION OF CLEVELAND

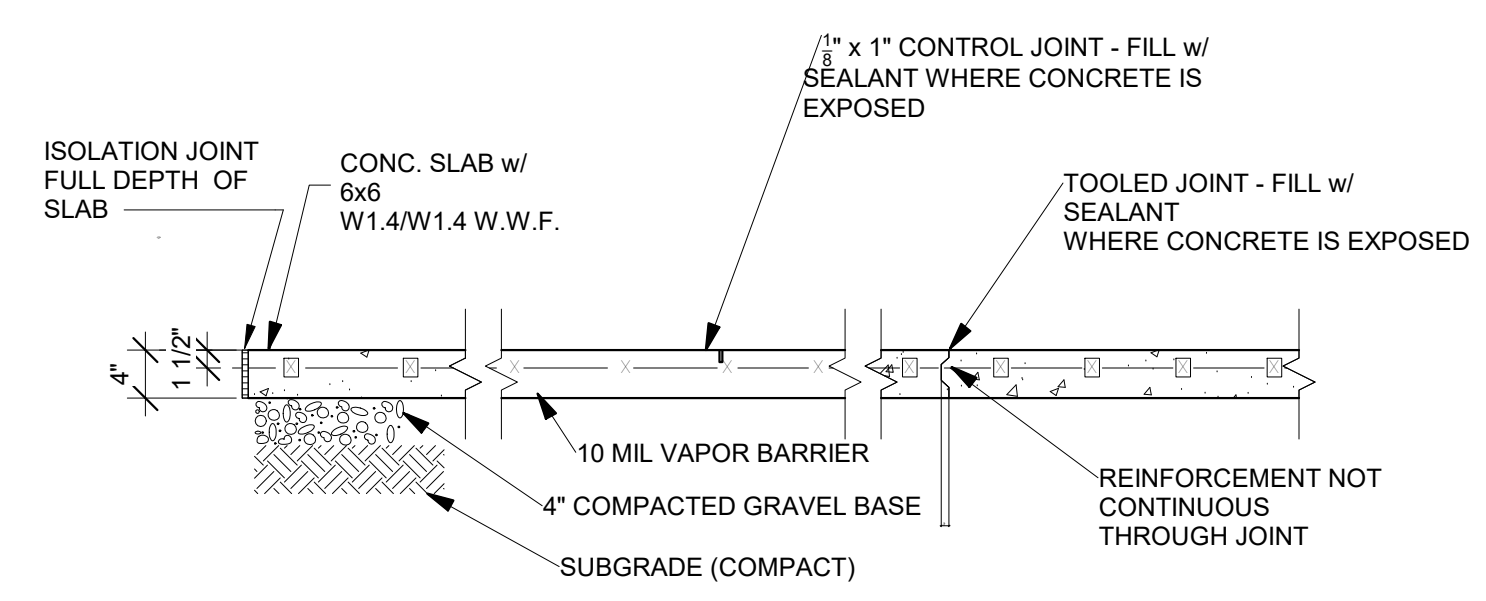
4724 West 130th St
Cleveland, Ohio 44135

FOUNDATIONS & FLOOR FRAMING

Project number	2211
Date	Issue Date
Drawn by	Author
Checked by	Checker

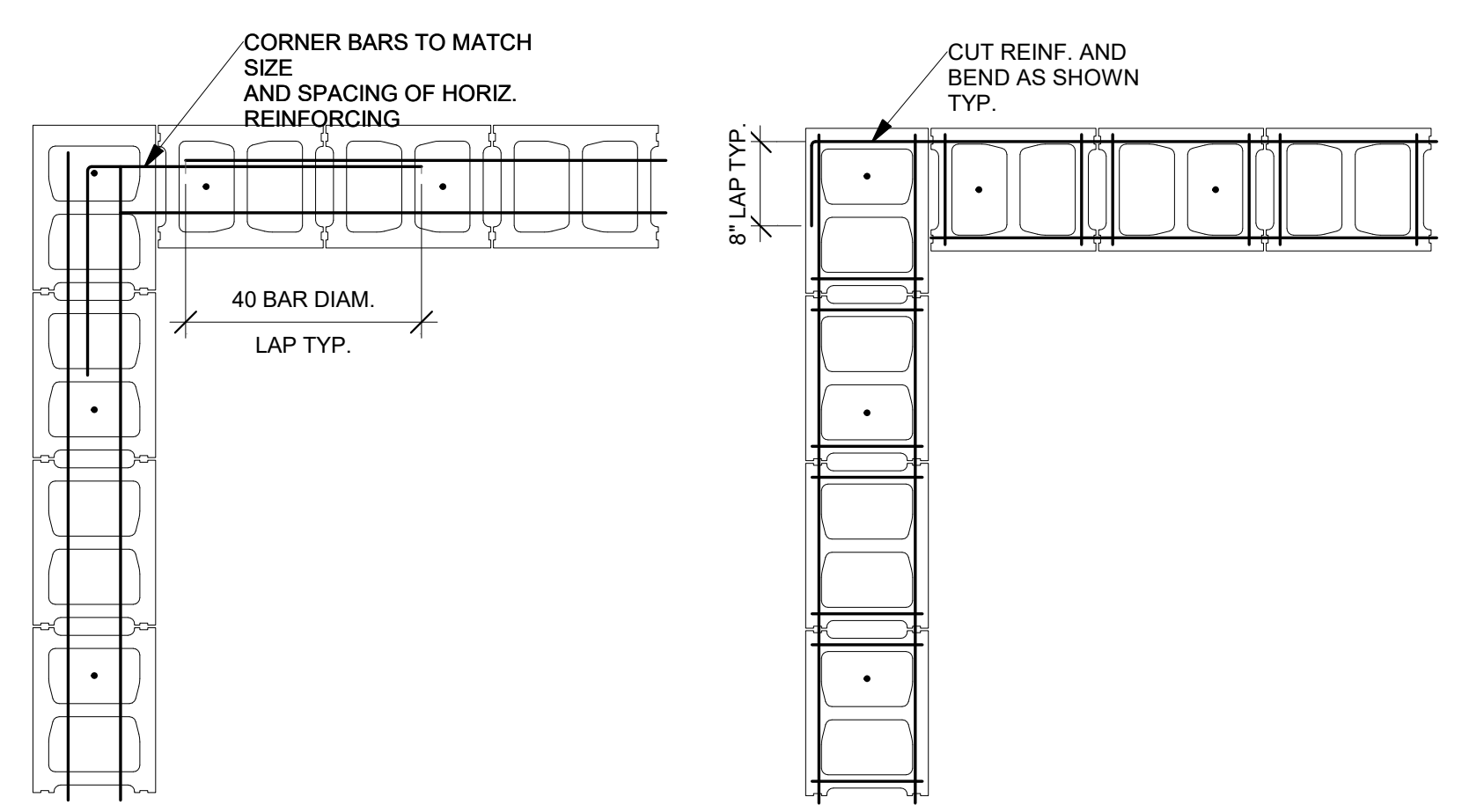
S1

5/3/2023 8:47:51 AM



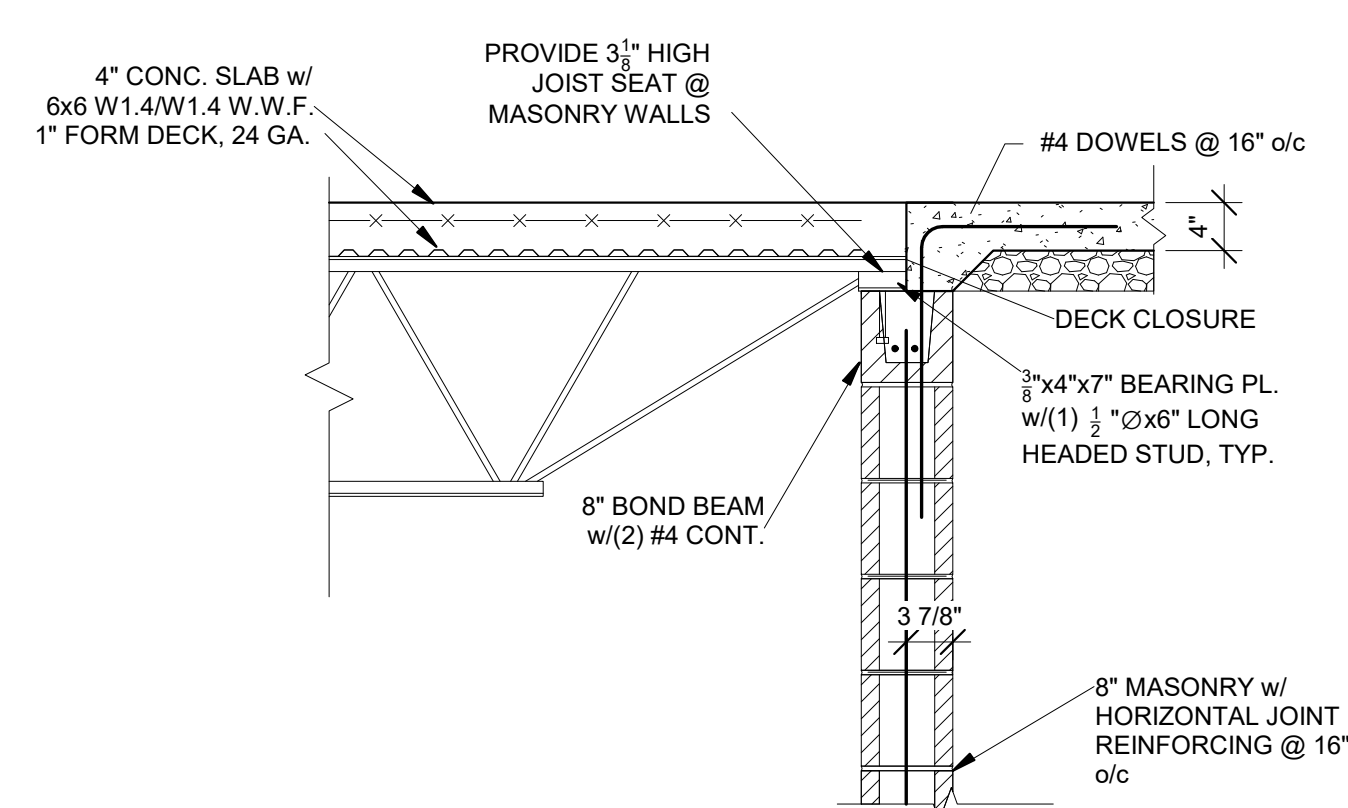
- NOTES:**
- CONSTRUCTION JOINTS SHALL BE LOCATED AT THE END OF ANY SINGLE POUR.
 - CONSTRUCTION JOINT MAY REPLACE A CONTROL JOINT.
 - PROVIDE ISOLATION JOINTS AT THE FACE OF ALL COLUMNS, WALLS, PIERS AND ADJACENT CONSTRUCTION.
 - SPACING OF CONTROL JOINTS SHALL BE BETWEEN 8' TO 12' o/c. SEE PLAN.

4 4" SLAB JOINT DETAILS
S1 3/4" = 1'-0"

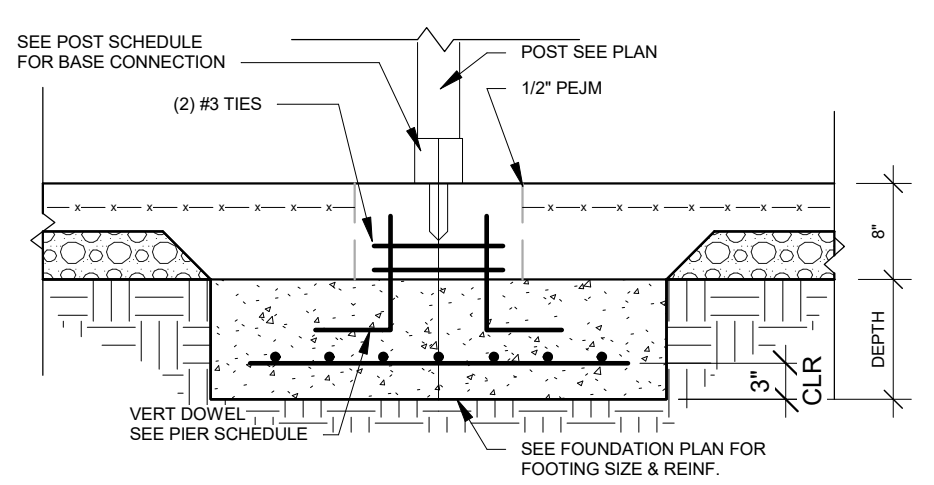


TWO LAYER REINFORCING
LADDER-TYPE JOINT REINFORCEMENT
TYPICAL CORNER REINFORCING FOR MASONRY WALLS

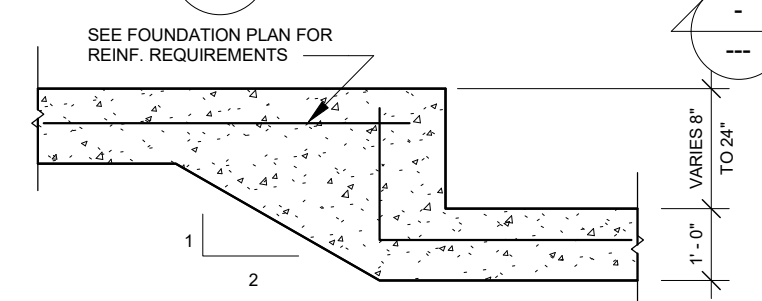
**5 CMU REINFORCING PLAN
DETAIL**
S1 3/4" = 1'-0"



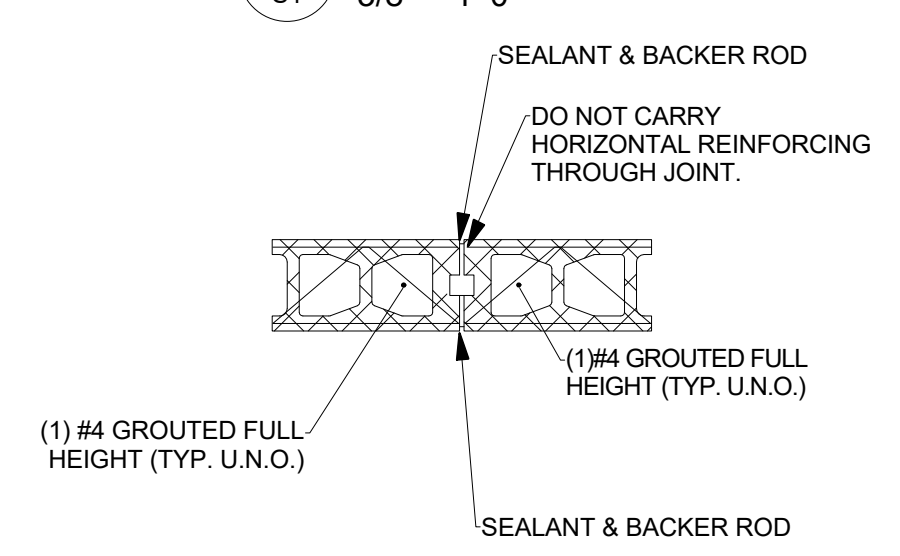
**10 FLOOR SECTION @SOUTH
BSMNT WALL**
S1 3/4" = 1'-0"



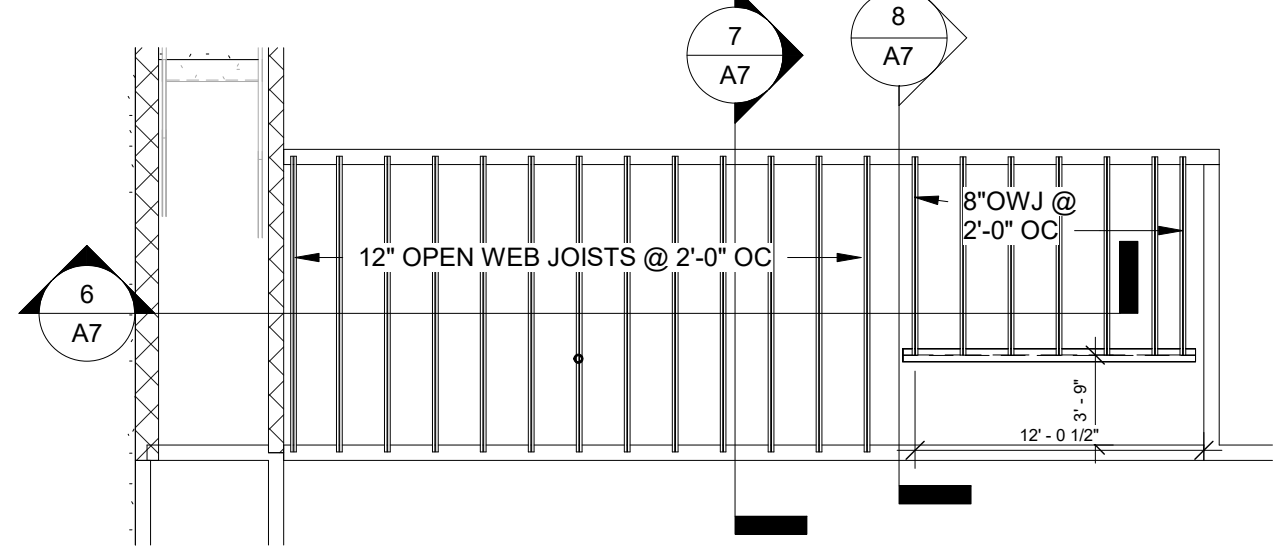
9 INTERIOR FOOTING SECTION
S1 3/4" = 1'-0"



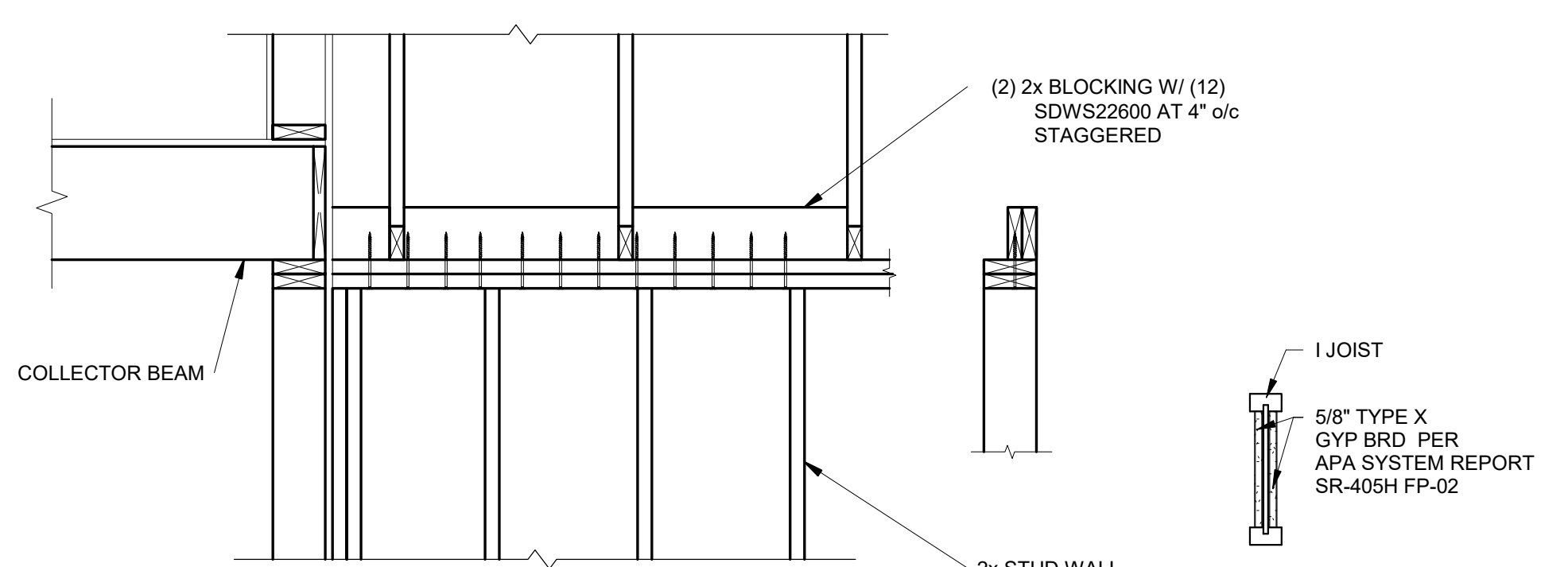
7 STEP FOOTING DETAIL
S1 3/8" = 1'-0"



8 CONTROL JOINT DETAIL
S1 3/4" = 1'-0"

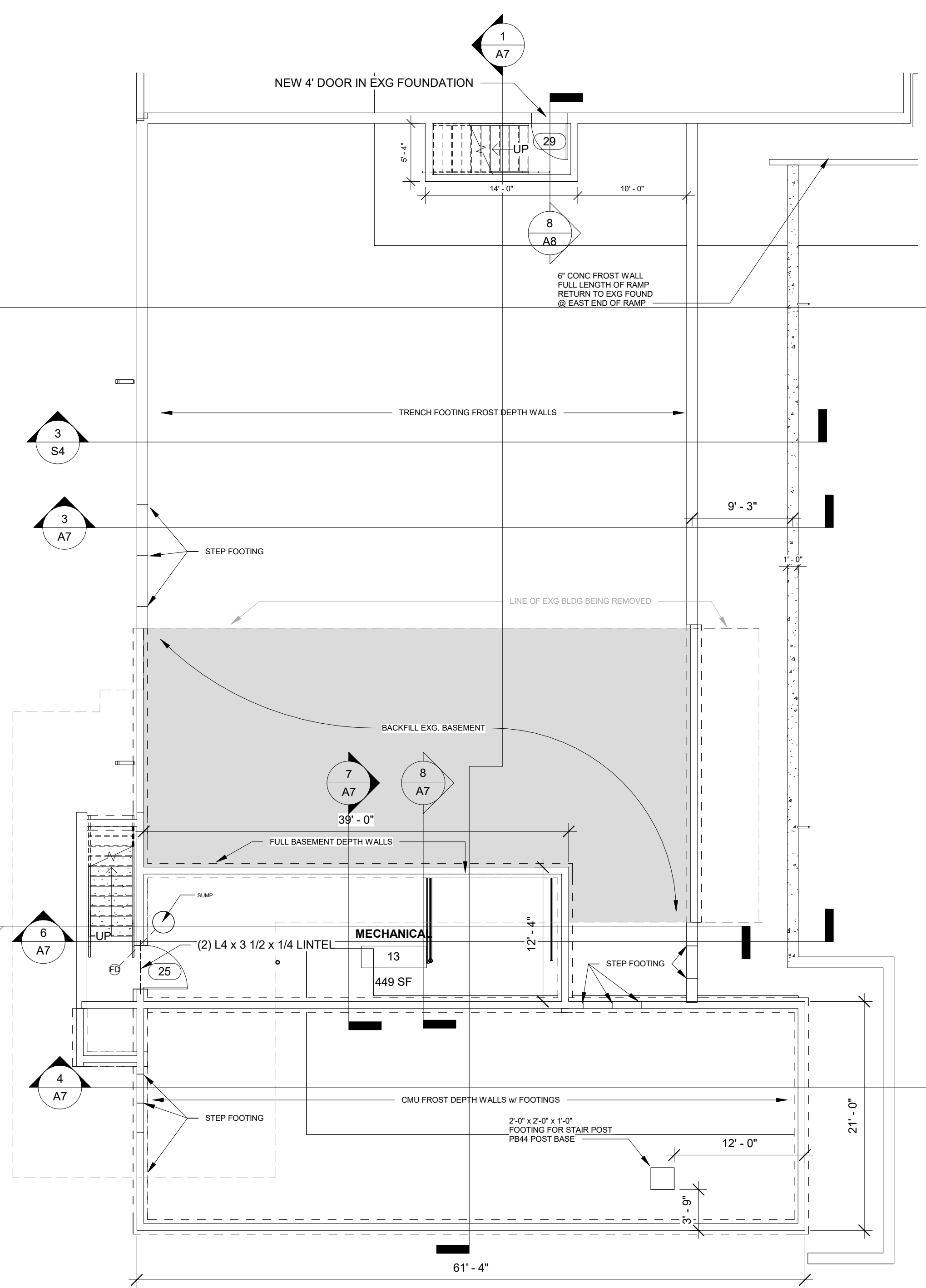


2 FRAMING PLAN @ MECH RM
S1 1/8" = 1'-0"

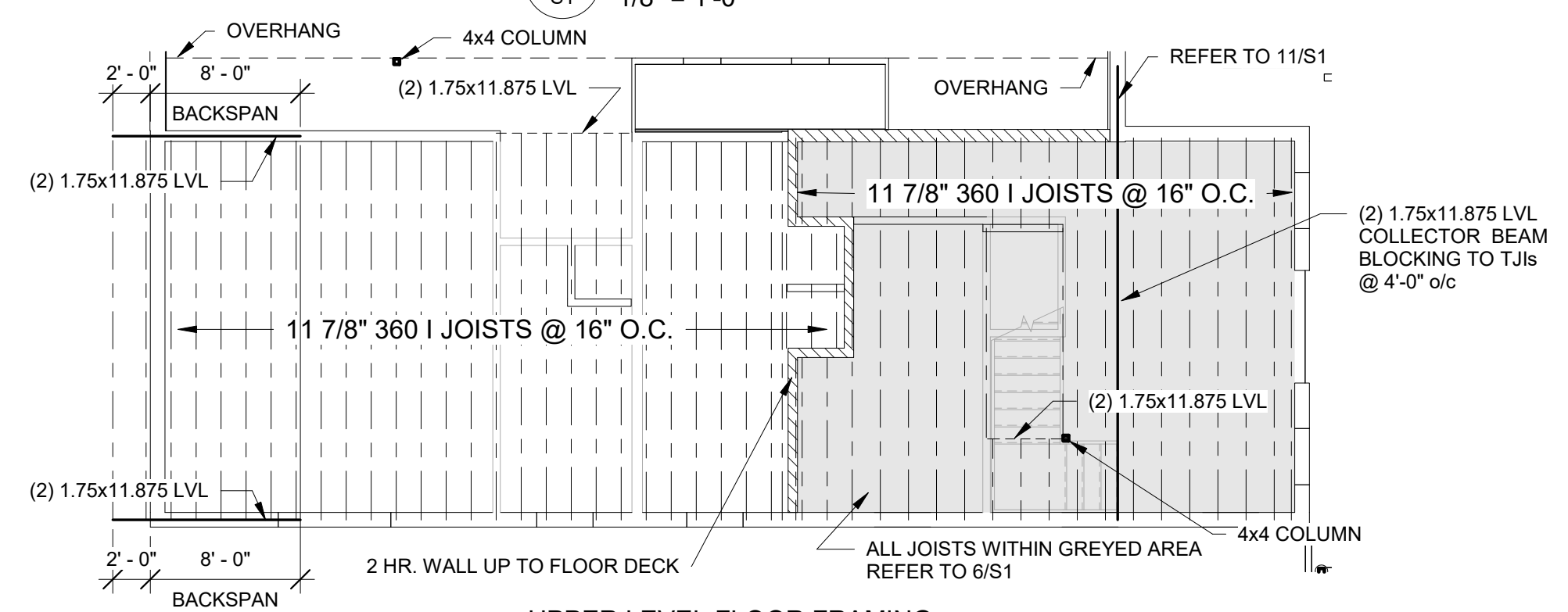


**11 FRAMING @TERMINATION OF
COLLECTOR BEAM**
S1 3/4" = 1'-0"

6 FIRE RESISTANT I JOIST
S1 1" = 1'-0"



1 FOUNDATION PLAN
S1 1/8" = 1'-0"



**3 UPPER LEVEL FLOOR FRAMING
PLAN**
S1 1/8" = 1'-0"





May 5, 2023

Committee Recommendation:

Unanimously **Approved** Conceptually with **Conditions:**

Need clarity on fence condition; eliminate center curb cut; refine site plan, adding greenspace wherever possible; provide landscaping and lighting plan, also materials, for final approval.

Cleveland City Planning Commission

Staff Report



May 5, 2023



May 5, 2023

EAST2023-010 – Proposed Demolition of a 2-Story Multi-Unit Residential Structure:

Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10508 Arthur Avenue

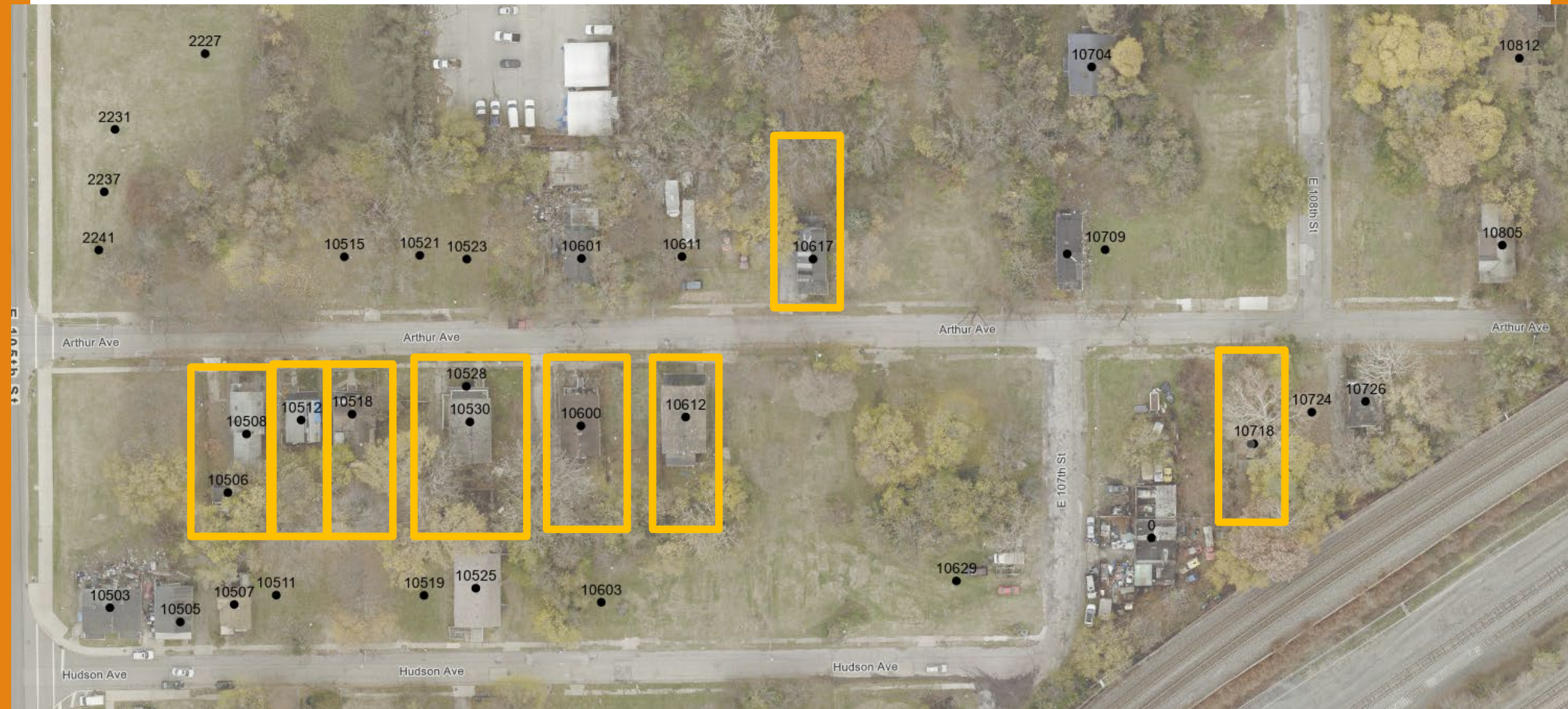
Project Representative: Brett Parsons, City of Cleveland

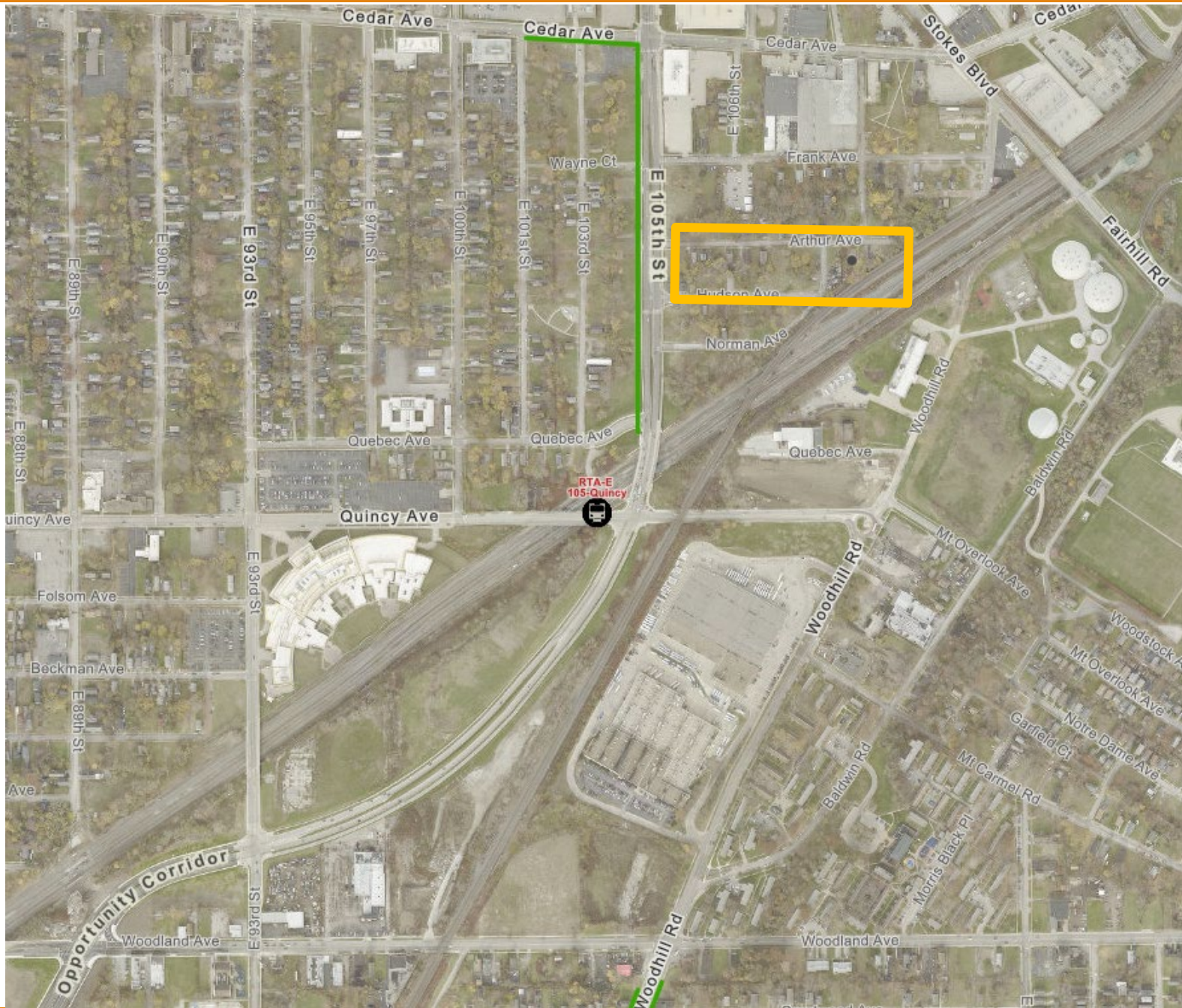
Committee Recommendation: Approved as Presented.

Proposal for demolitions 10508, 10512,
10518, 10528, 10600, 10612, 10617, 10718
Arthur ave

- In Opportunity Corridor Design Review District

Site location and context





10508 Arthur

Demolition: We are seeking the approval of the complete demolition of two 2 story residential properties

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: These structures have been vacant since at least 2022.

Complaints: The City has received 5 formal complaints regarding the structures on this parcel

Board-ups: The city has boarded up these structures 2 times.

Back Taxes: \$0



Front house



Rear house

10508 Arthur Front House



10508 Arthur Front House



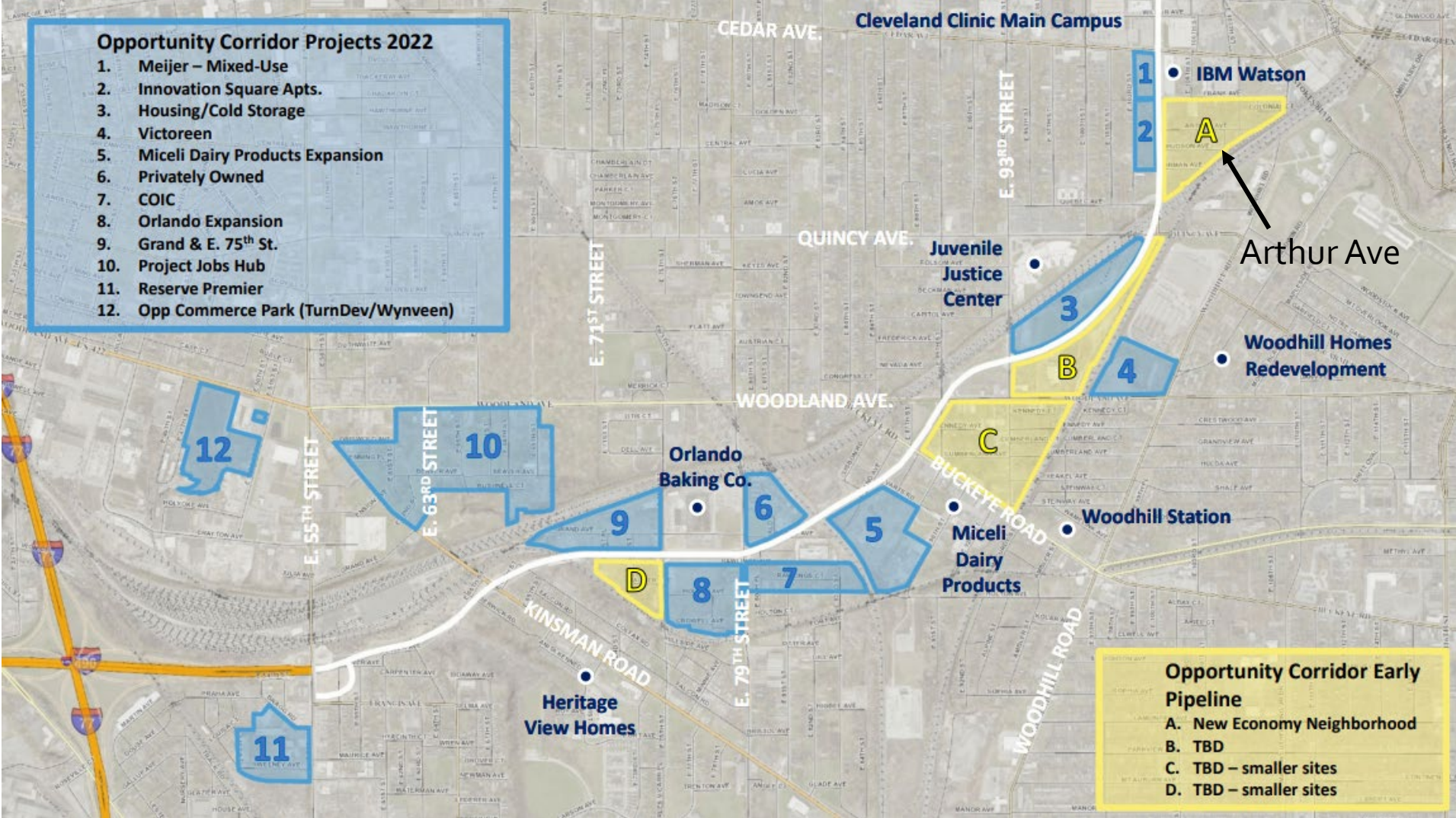
10508 Arthur Rear House



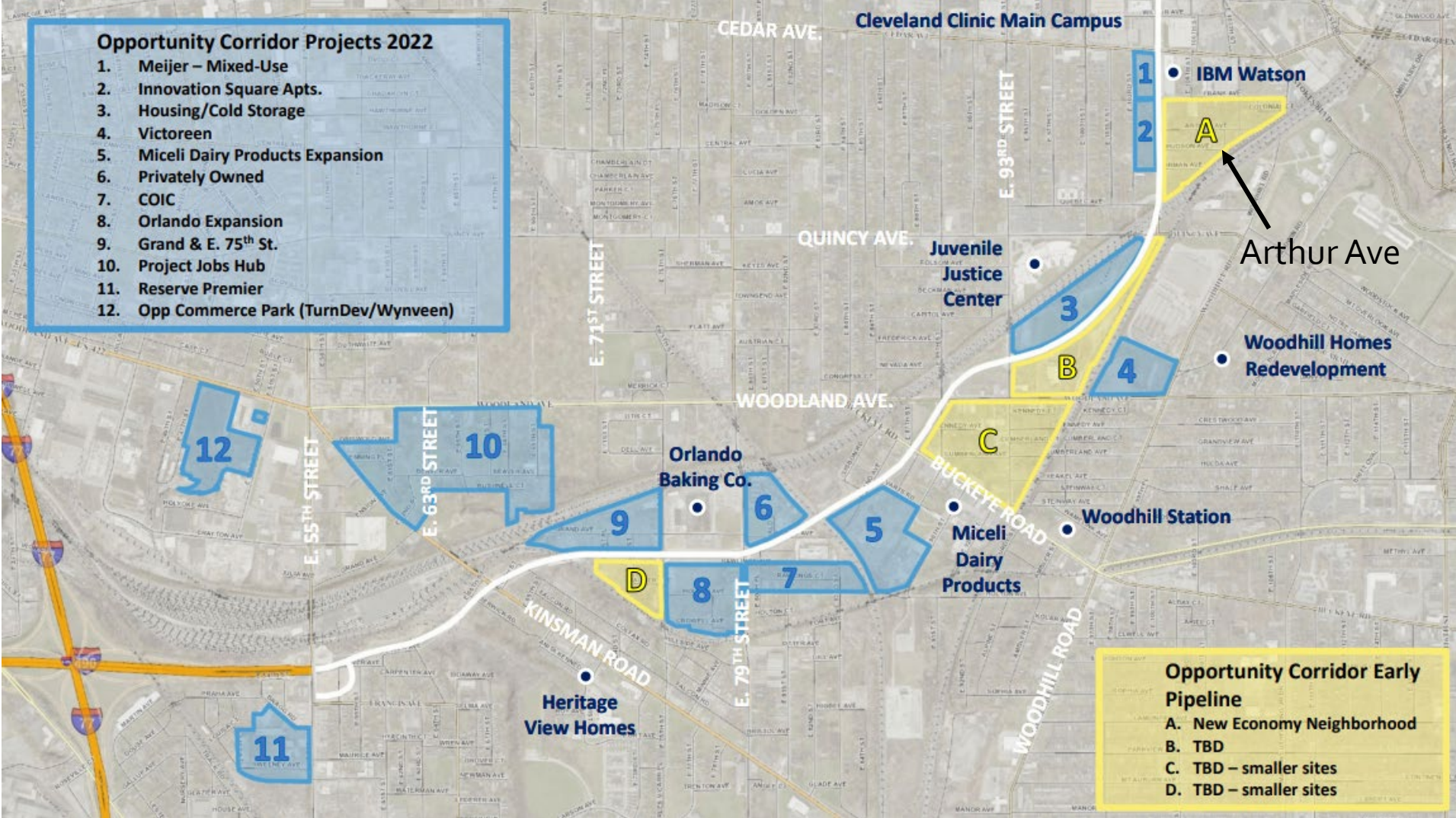
Interior Photos



Site Plan



Site Plan





May 5, 2023

EAST2023-011 – Proposed Demolition of a 2-Story Two-Family Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10518 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10518 Arthur

Demolition: We are seeking the approval of the complete demolition of this 2.5 story residential property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

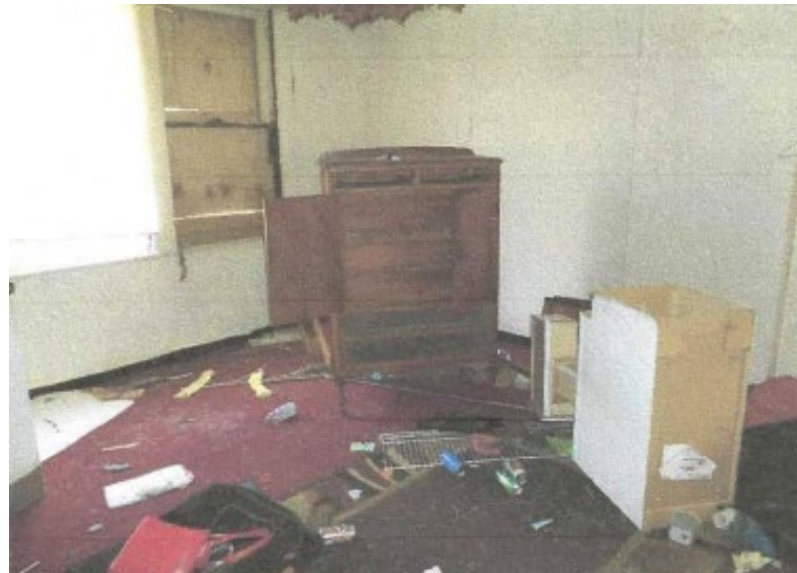
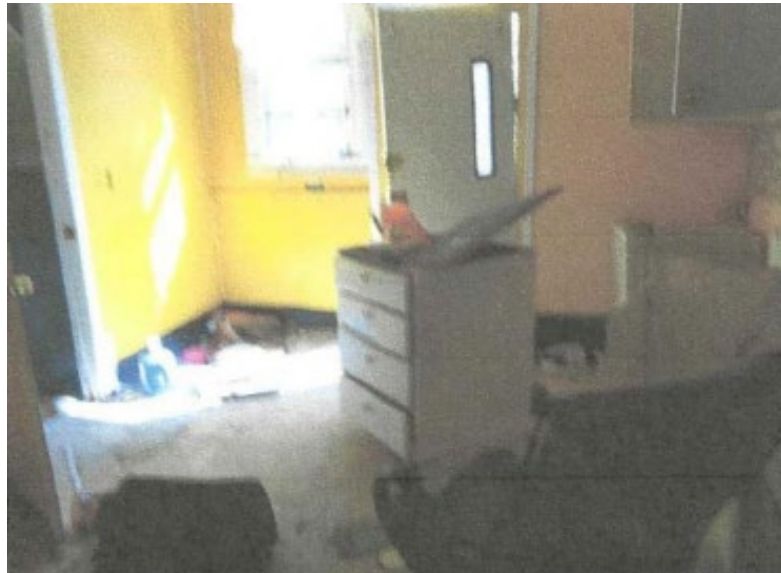
Vacant: This structure has been vacant since at least 2022.

Board-ups: The city has boarded up this structure once.

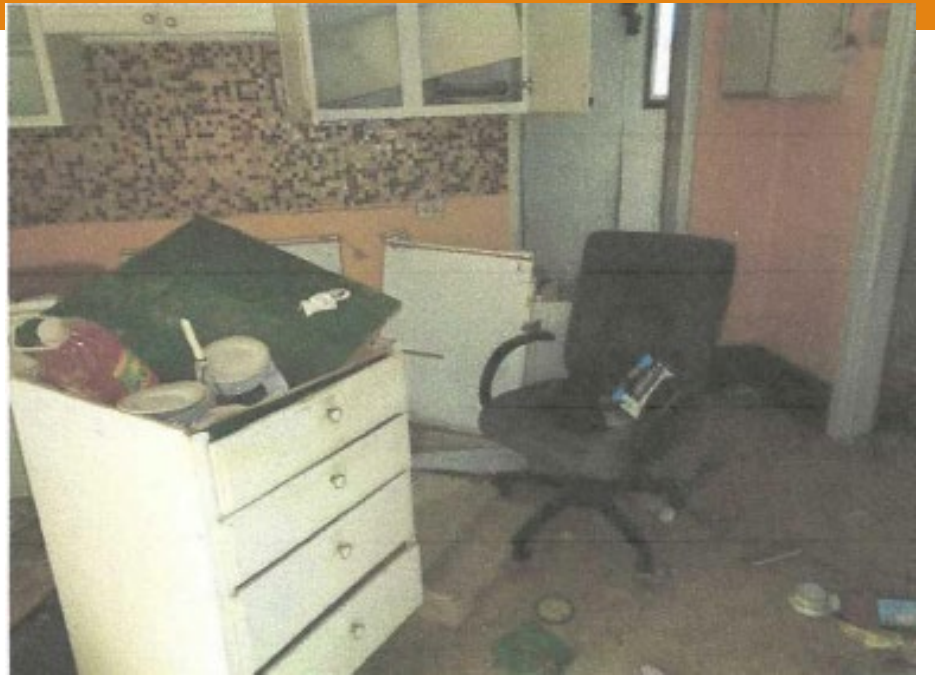
Back Taxes: \$0



Interior Photos



Interior Photos





May 5, 2023

EAST2023-012 – Proposed Demolition of a 2 ½-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10612 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10612 Arthur

Demolition: We are seeking the approval of the complete demolition of this 2 family, 2 story property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

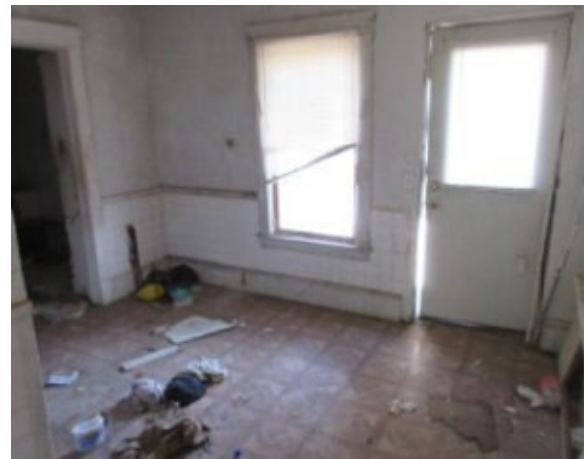
Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received 2 formal complaint regarding the structure on this parcel

Back Taxes: \$0



Interior photos





May 5, 2023

EAST2023-013 – Proposed Demolition of a 2 ½-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10512 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10512 Arthur

Demolition: We are seeking the approval of the complete demolition of this 1 story residential property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure have been vacant since at least 2022.

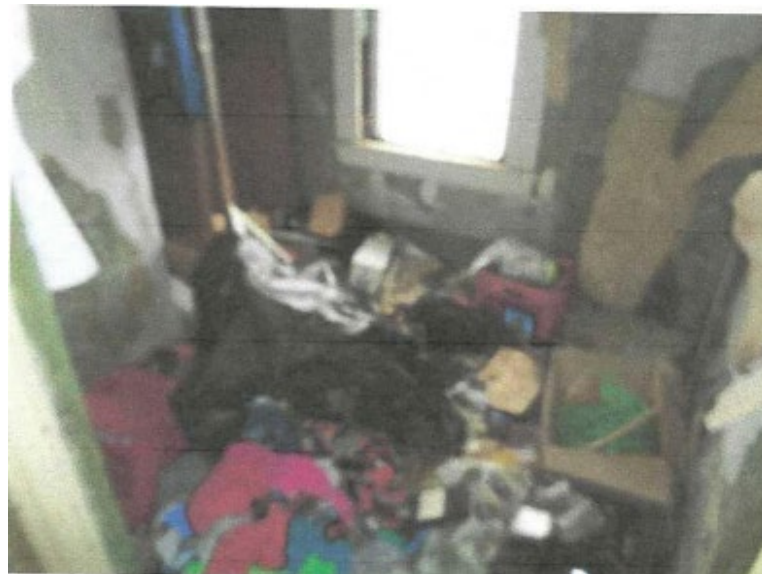
Complaints: The City has received 1 formal complaints regarding the structures on this parcel

Board-ups: The city has boarded up this structure once.

Back Taxes: \$248



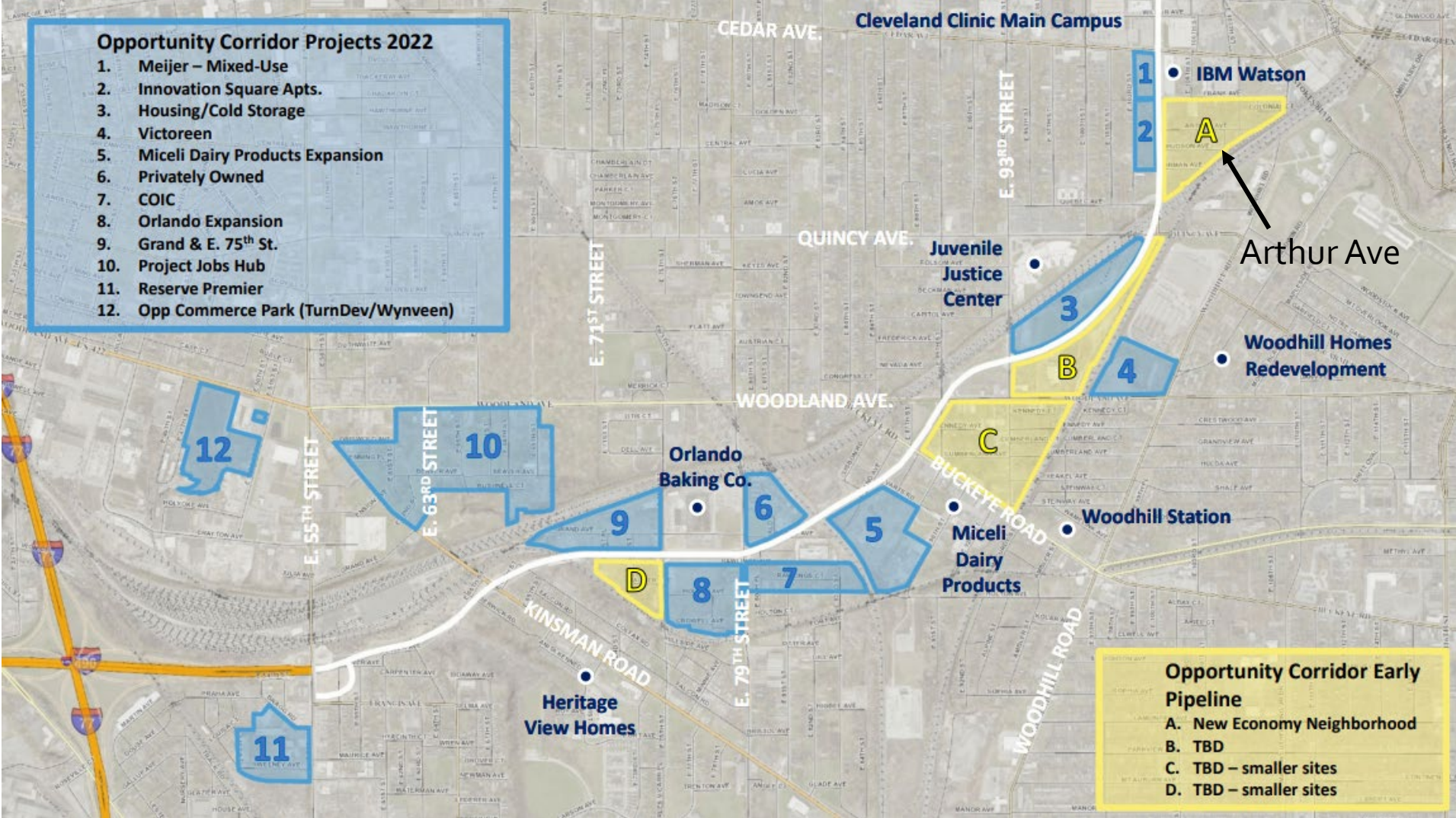
Interior Photos



Interior Photos



Site Plan



New Economic Neighborhood

- The New Economy Neighborhood is a mixed-use technology research district designed for office space, retail, housing, green space, and parking.
- This area is adjacent to the Opportunity Corridor and will bring economic growth
- A conceptual plan for the future of this 42-acre area is completed.
 - The plan calls for creating a campus like setting with new buildings arranged to form a civic edge along Cedar Avenue and E. 105th Street.
 - The west side of East 105th street along the corridor will include the introduction of higher density residential development [Meijer mixed use project, Innovation Square apartments] that will promote housing investment in close proximity to new jobs.
- This approach will increase walkability and lower housing and transportation cost for residents who choose to live in Renaissance Village (new CMHA housing development located at Central and E 82nd).
- Envisioned uses include a mix of high-performance office space in three- to five-story structures with ground floor commercial at key corners. Parking will be accommodated in a mix of surface and structured spaces tucked behind buildings. Green infrastructure is planned to detain and clean storm water.



May 5, 2023

EAST2023-014 – Proposed Demolition of a 2 ½-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10617 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10617 Arthur

Demolition: We are seeking the approval of the complete demolition of this 1 family, 2 story property

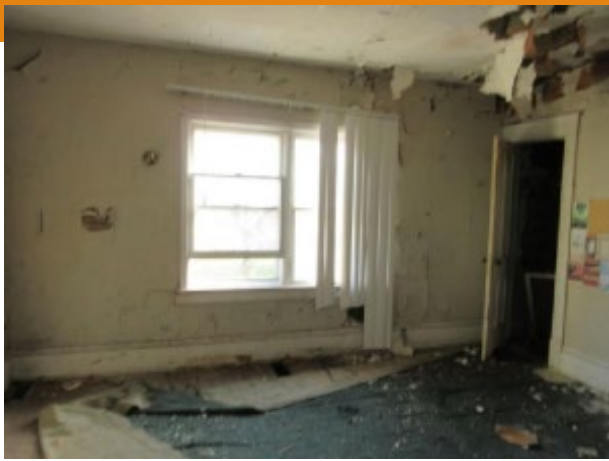
Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure has been vacant since at least 2020.

Back Taxes: \$0



Interior photos





May 5, 2023

EAST2023-015 – Proposed Demolition of a 2 ½-Story Two-Family Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10528 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10528 Arthur

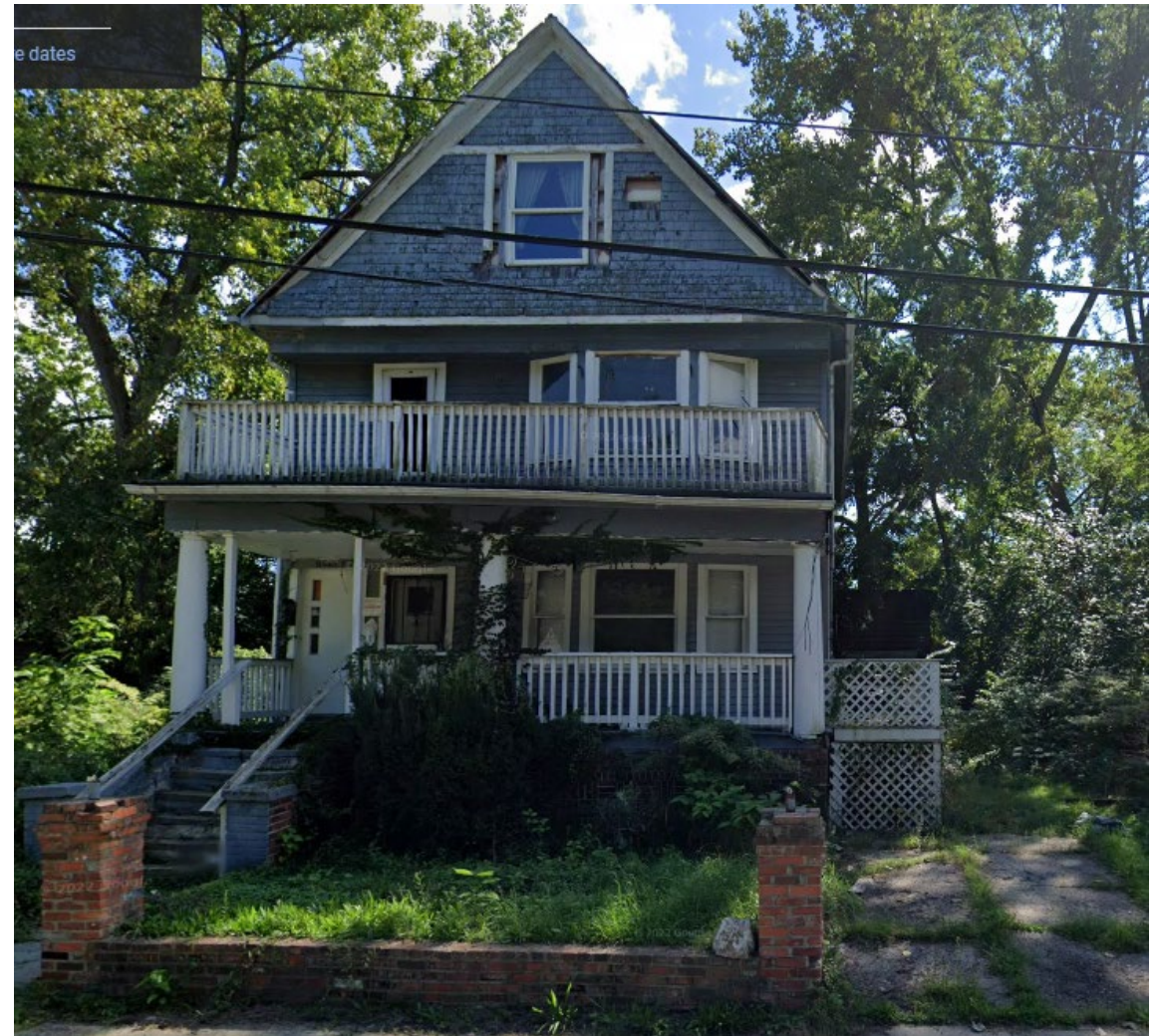
Demolition: We are seeking the approval of the complete demolition of this 2 story apartment unit

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

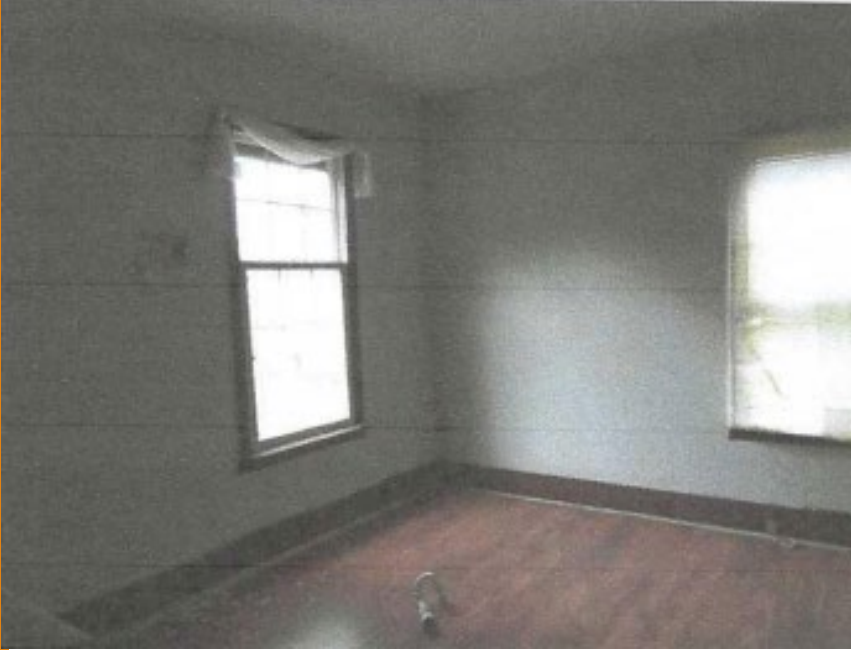
Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received 1 formal complaint regarding the structure on this parcel

Back Taxes: \$193



Interior Photos



More Photos





May 5, 2023

EAST2023-016 – Proposed Demolition of a 1 ½-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10718 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10718 Arthur

Demolition: We are seeking the approval of the complete demolition of this 1 family, 1.5 story property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

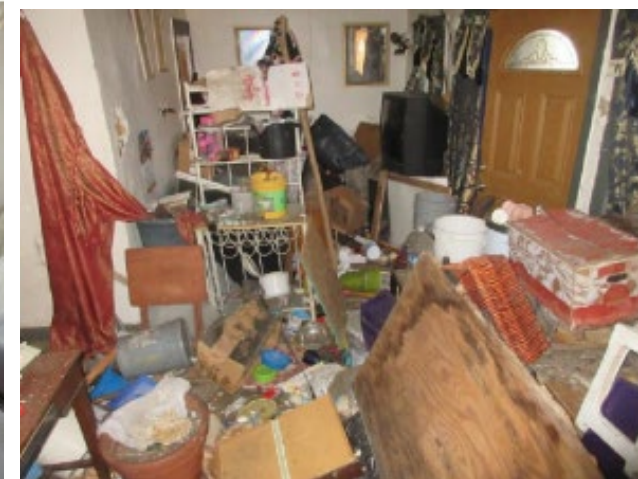
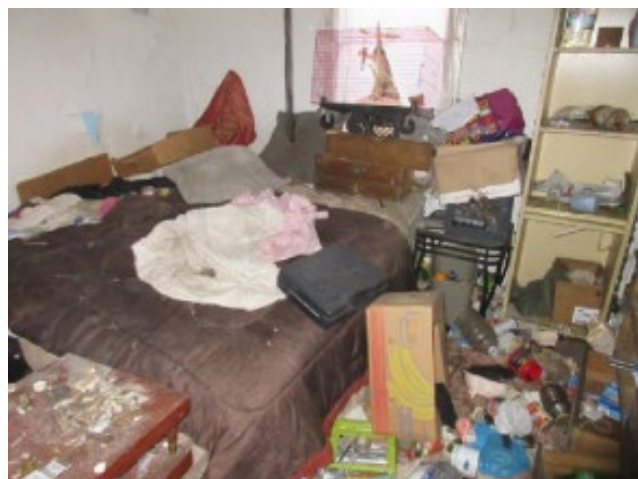
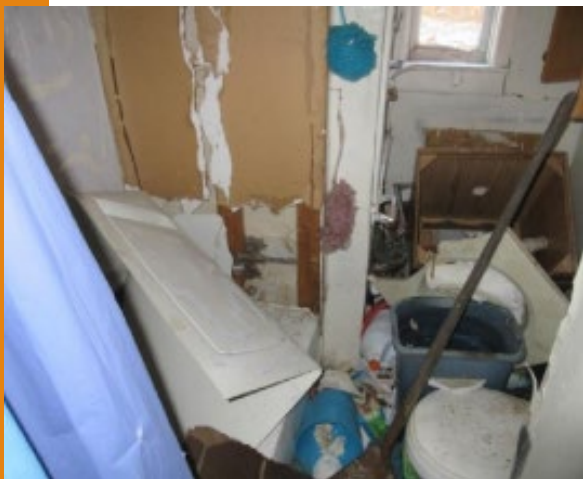
Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received 1 formal complaint regarding the structure on this parcel

Back Taxes: \$0



Interior photos





May 5, 2023

EAST2023-017 – Proposed Demolition of a 2 ½-Story Two-Family Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10600 Arthur Avenue

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented.

10600 Arthur

Demolition: We are seeking the approval of the complete demolition of this 2 family, 2 story property

Current Owner: Owned by City of Cleveland Industrial Commercial Landbank

Vacant: This structure has been vacant since at least 2022.

Complaints: The City has received 2 formal complaint regarding the structure on this parcel

Back Taxes: \$223.94



Interior photos



Cleveland City Planning Commission

Staff Report



May 5, 2023

EC2022-010 – UCI Development | Stokes West New Construction REVISED:
Seeking Final Approval

Project Location: NW corner of Cedar Avenue and Stokes Blvd.

Project Representative: Steve Jennings, LDA Architects

Committee Recommendation: Approved with **Conditions:**

Concerns & Comments:

- 1- Clarify function of new space between the two townhome buildings in landscape plan updates.
- 2- Add some treatment on the wall, just right of entry door on building rear, to add visual interest.
- 3- Main building seems like a large & monolithic structure, and a significant departure from previous iteration.

- 4- Address section of building over front entryway so that, with window sizes and parapet height, it reads differently (e.g. increase window sizes, different material, more glass) so that the building can read as two separate volumes (more similar to previous design).
- 5- The main building is a solid extrusion, from floor to top, occasionally changing colors. The fenestration and articulation of the building's size feels incomplete, e.g. the balconies appear to be a system just hanging off of flat surfaces.
- 6- Compilation & assembly of materials feels patched.
- 7- Insure that landscape design in public realm is well designed and treated, not just mowed lawn.
- 8- Insure proper screening of electrical equipment near the corner of Stokes & Cedar.
- 9- Return with complete lighting plan.
- 10- Material on building ends appear not to enhance the quality of the building.

UCI Development | Stokes West

Cleveland, Ohio



DESIGN REVIEW

05.04.2023



Rent Comparables				Studio	One Bedroom	Two Bedroom
#	Property Name	Year Built	Total Units	Rent	Rent	Rent
1	One University	2018	276	\$1,940	\$2,210	\$3,581
2	Innova	2015	247	\$1,573	\$1,820	\$2,650
3	INTRO	2022	297	\$1,571	\$2,209	\$3,873
4	Ascent at Top of the Hill	2022	258	\$1,501	\$1,969	\$3,138
5	Centric	2018	272	\$1,495	\$1,766	\$2,568
Total / Weighted Avg.		2019	270	\$1,616	\$1,995	\$3,162
Stokes West - proforma		2024	261	\$1,395	\$1,595	\$2,495
<i>percent below comp set</i>				-13.7%	-20.0%	-21.1%

- PROJECT WILL INCLUDE **12 DEDICATED LOW INCOME RESTRICTED UNITS.**
- **66%** OF THE PROJECTS UNITS WILL BE **FURNISHED STUDIOS** WITH RENTS THAT WILL BE **AFFORDABLE AT 80% AML.**
- DEVELOPMENT WILL **NOT** INCLUDE AIRBNBS.



TWO MOSAIC BENCHES INCORPORATING PHOTOS OF HISTORIC MOMENTS IN QUINCY PARK (FAIRFAX NEIGHBORHOOD), WITH DESCRIPTIONS OF NOTEWORTHY PEOPLE, BUILDINGS AND EVENTS OVER THE PAST 100 YEARS.



- LOCAL ARTISTS AND COMMUNITY ENGAGEMENT FOR PUBLIC ART













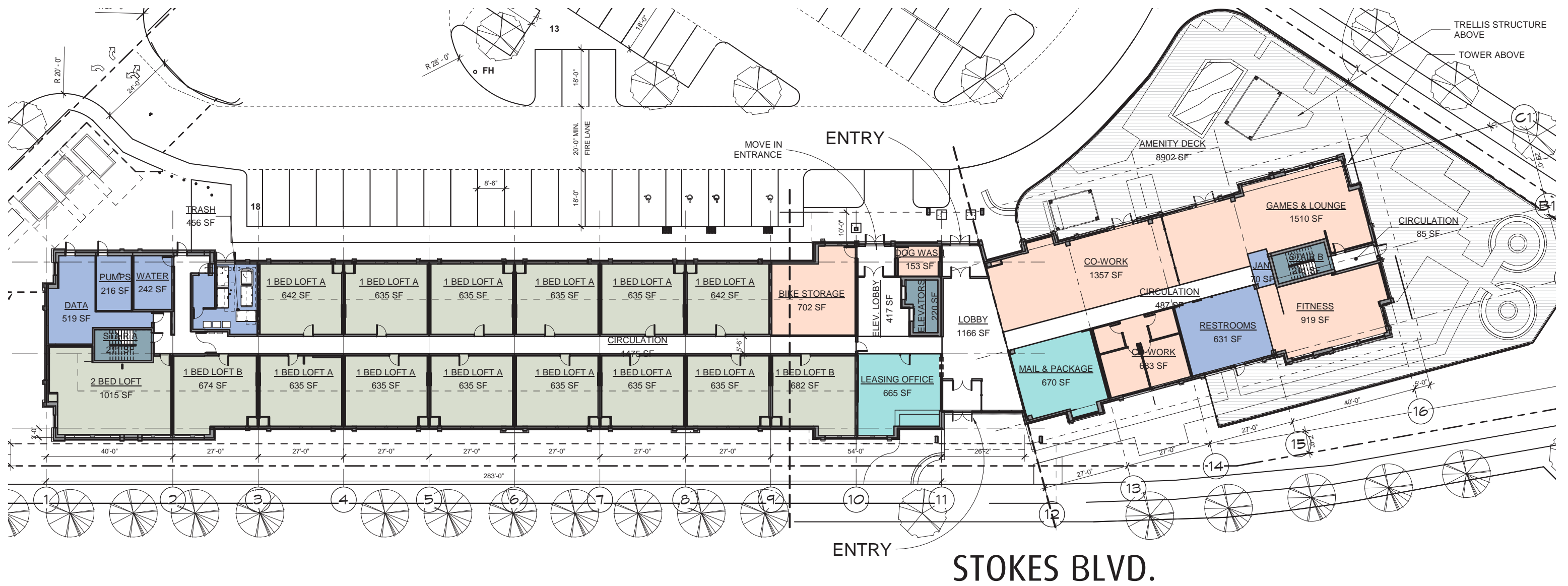




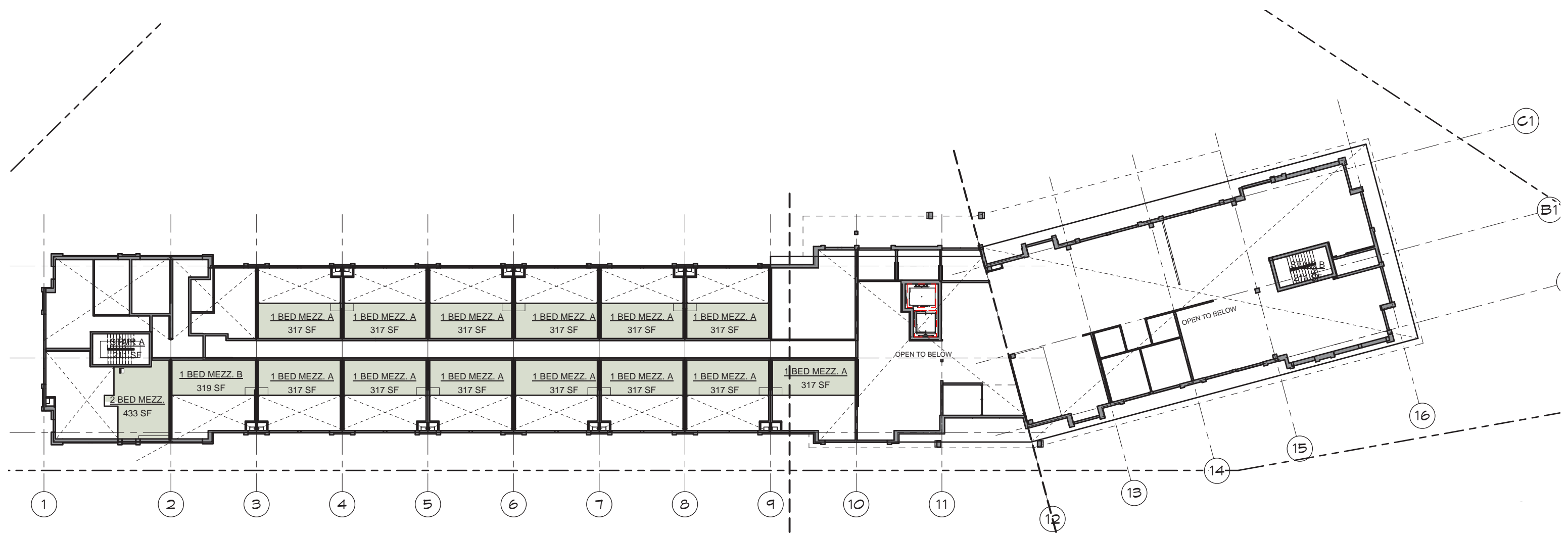








1ST FLOOR PLAN | SCALE: 1/32" = 1'-0"



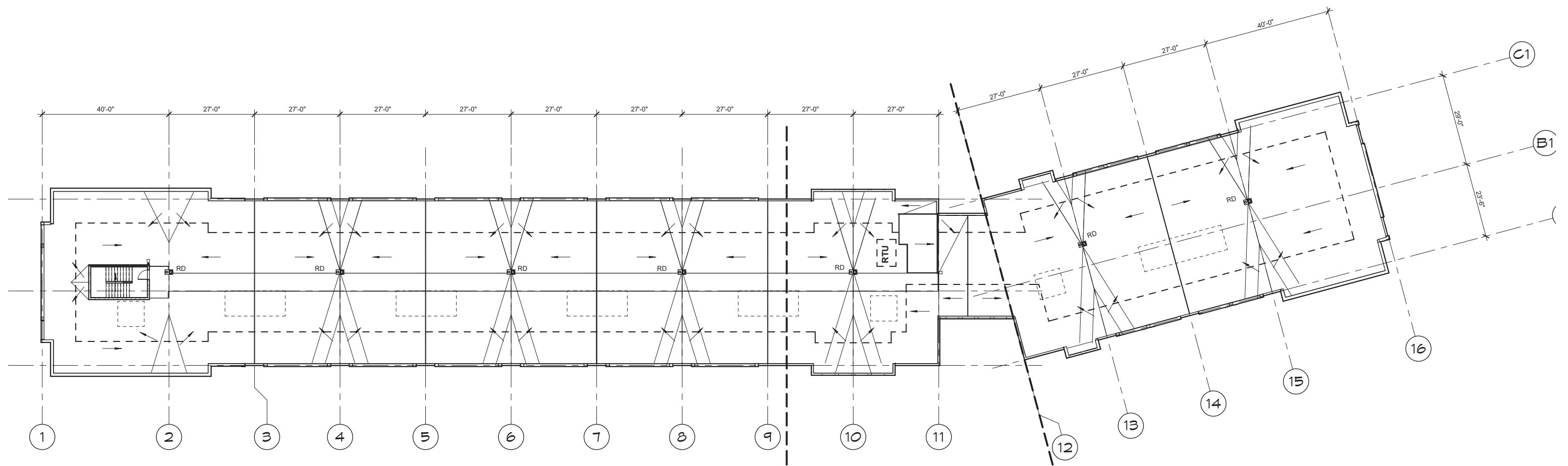


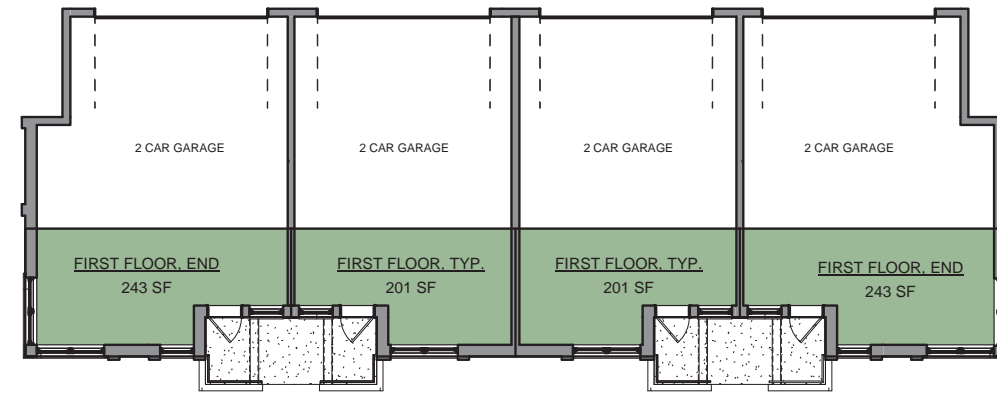
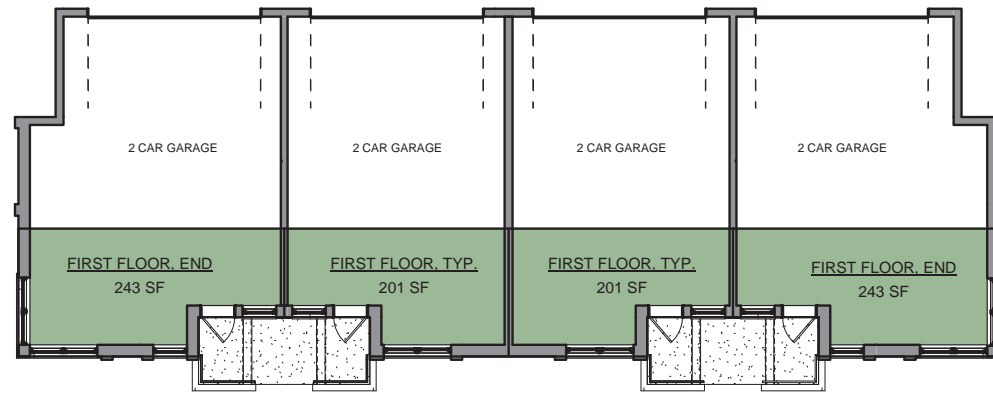




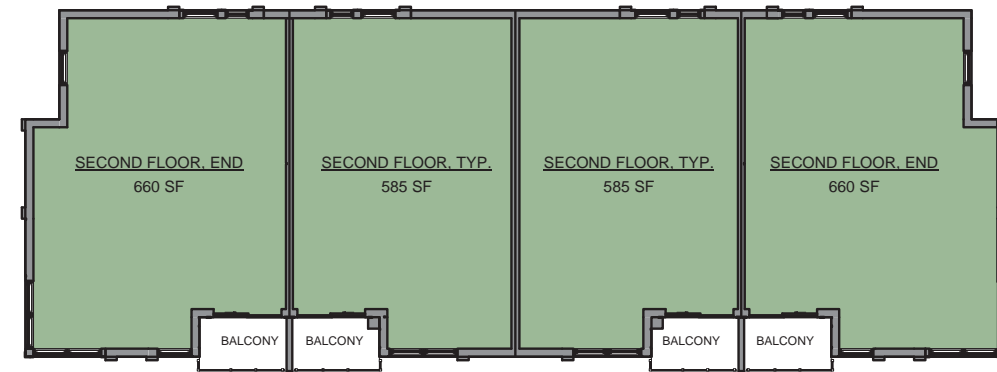
5TH FLOOR PLAN | SCALE: 1/32" = 1'-0"



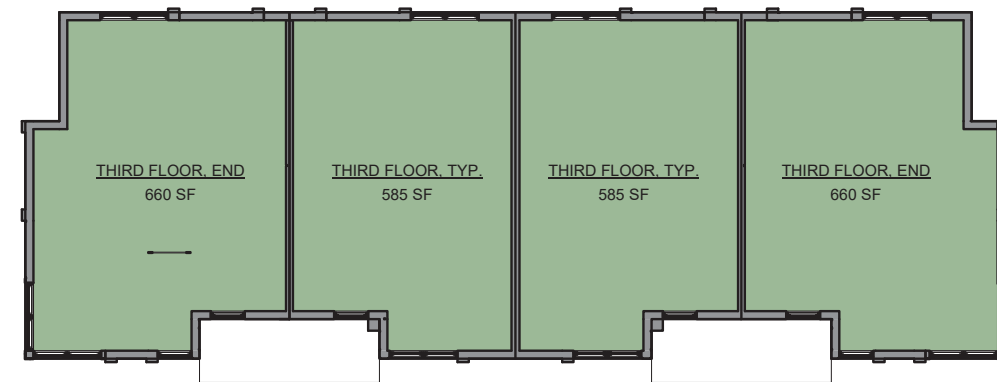
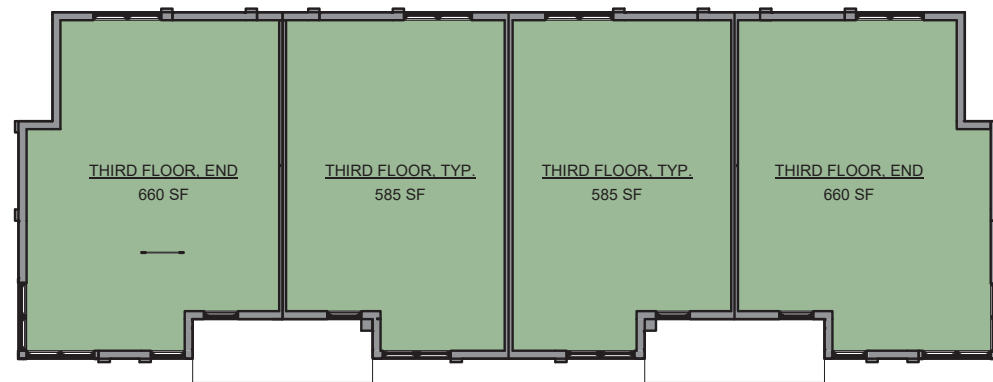




1ST FLOOR PLANS



2ND FLOOR PLANS

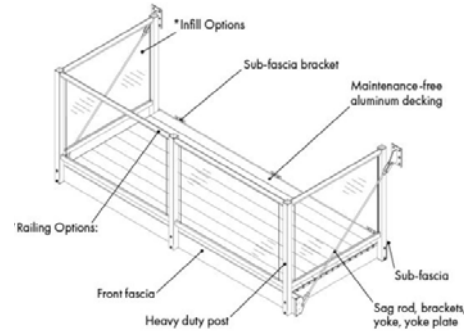


3RD FLOOR PLANS





PAC CLAD - GRAPHITE



AS&D PREFAB JULIET BALCONY SYSTEM



PAC CLAD - CHARWOOD



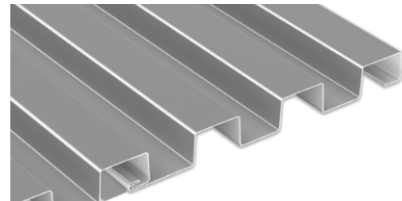
PAC CLAD - SLATE GRAY



PAC CLAD - SIAMESE BAMBOO

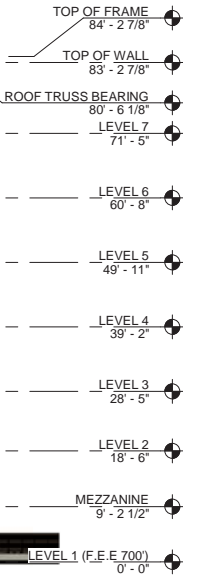


VINTAGE BLACK VELOUR BRICK



PAC CLAD - BOX RIB - SLATE GRAY

FIBERGLASS ANDERSEN WINDOWS



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION - TOWNHOMES



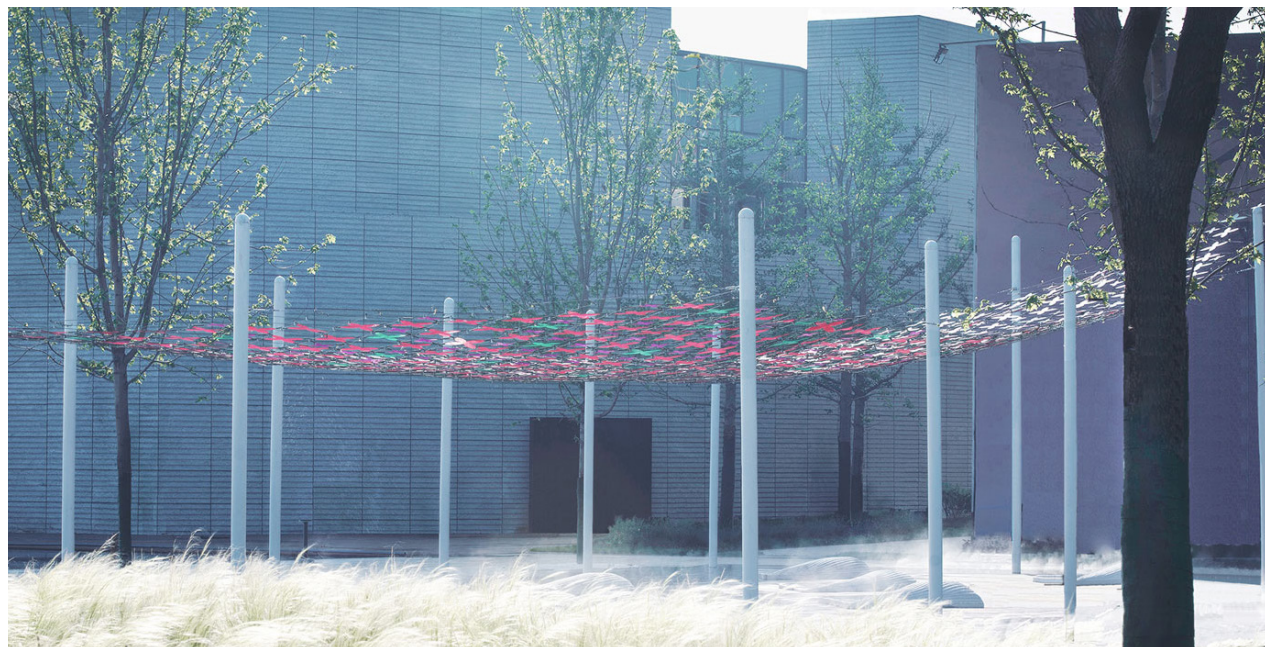
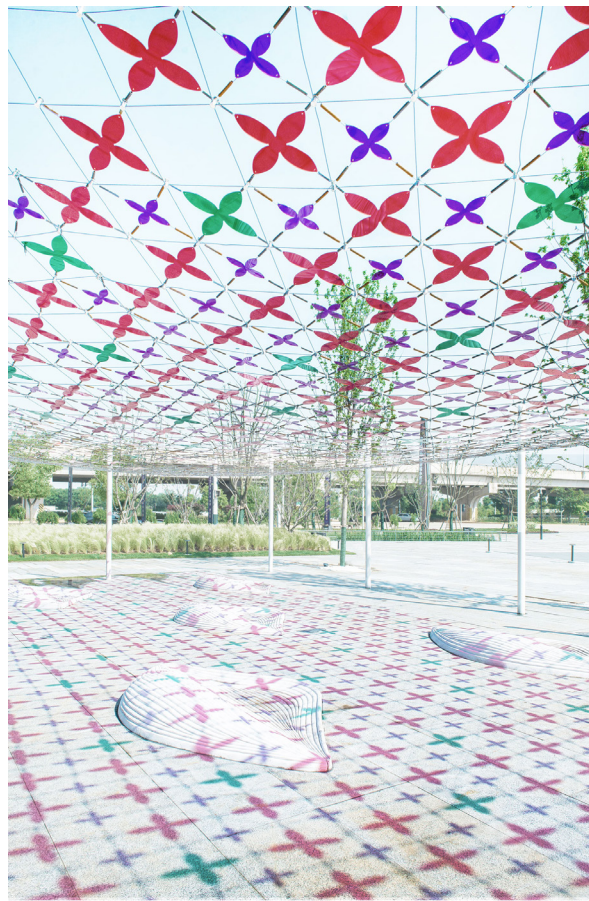
EAST ELEVATION - TOWNHOMES



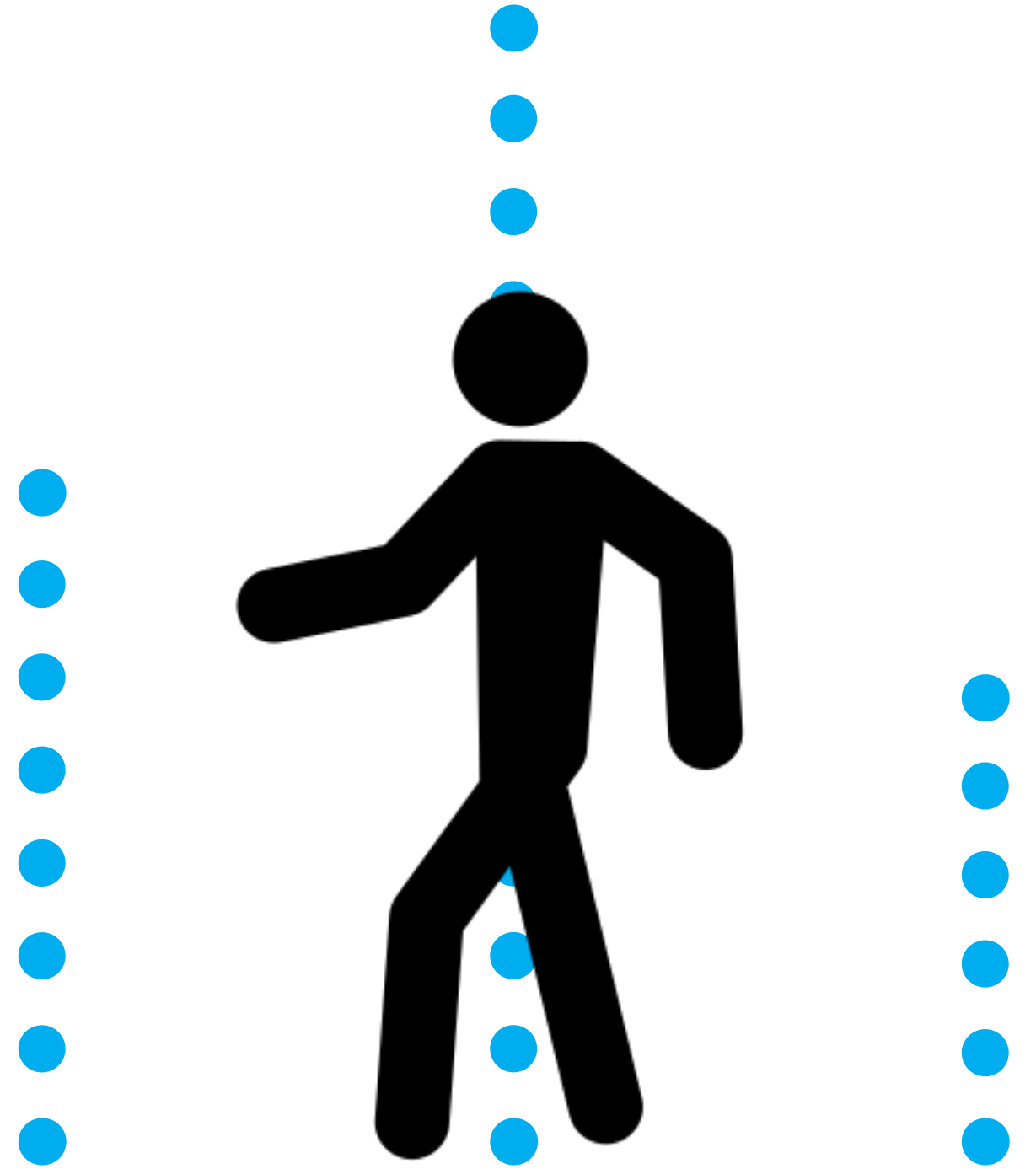
NORTH ELEVATION - TOWNHOMES



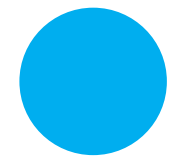
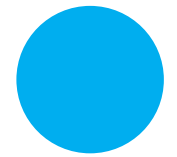
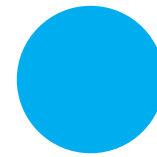
WEST ELEVATION - TOWNHOMES



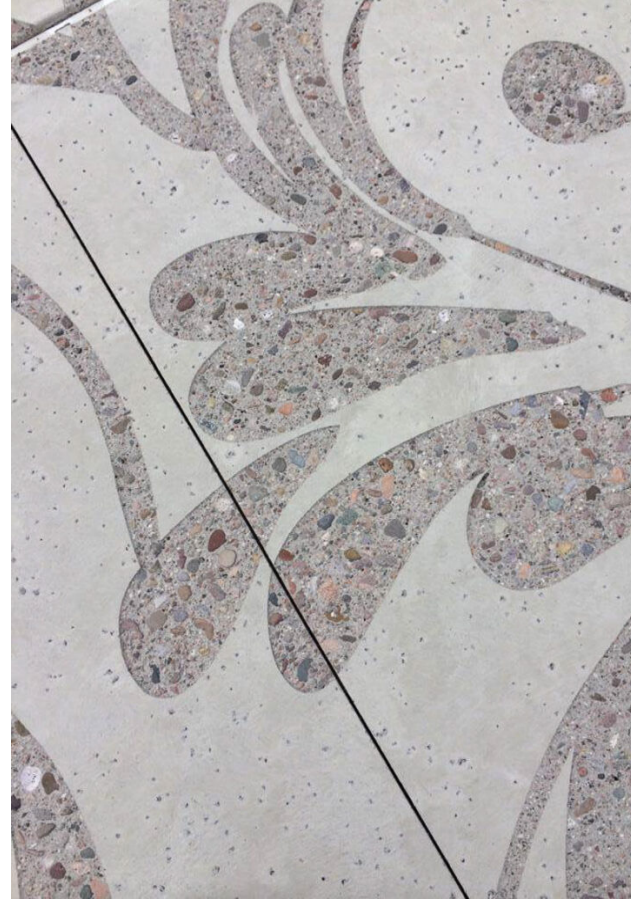
OVERHEAD CANOPY



HISTORY PLAZA



DOT THE MAP



GROUND FLOOR



INSTAGRAMABLE MOMENT

Committee Recommendation: Approved with **Conditions:**

Concerns & Comments:

- 1- Clarify function of new space between the two townhome buildings in landscape plan updates.
- 2- Add some treatment on the wall, just right of entry door on building rear, to add visual interest.
- 3- Main building seems like a large & monolithic structure, and a significant departure from previous iteration.
- 4- Address section of building over front entryway so that, with window sizes and parapet height, it reads differently (e.g. increase window sizes, different material, more glass) so that the building can read as two separate volumes (more similar to previous design).

- 5- The main building is a solid extrusion, from floor to top, occasionally changing colors. The fenestration and articulation of the building's size feels incomplete, e.g. the balconies appear to be a system just hanging off of flat surfaces.
- 6- Compilation & assembly of materials feels patched.
- 7- Insure that landscape design in public realm is well designed and treated, not just mowed lawn.
- 8- Insure proper screening of electrical equipment near the corner of Stokes & Cedar.
- 9- Return with complete lighting plan.
- 10- Material on building ends appear not to enhance the quality of the building.

Cleveland City Planning Commission

Staff Report



May 5, 2023



May 5, 2023


DF2023-022 – Playhouse Square Video Ribbon Sign: Seeking Final Approval

Project Address: 1309 Euclid Avenue

Project Representative: Tom Einhouse, Playhouse Square

Committee Recommendation: Approved with **Conditions:**

- Raise signage above the entablature.
- Study extending signage to entire length of façade to better incorporate it into the architecture of the building



PLAYHOUSE SQUARE RIBBON SIGN
CITY PLANNING COMMISSION
MAY 5, 2023

Proposal

Applicant is proposing business identification signage for Euclid Avenue & E 13th Street



Why City Planning Commission?

- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: (*Administrative approval does not apply*)
 - **Design Compatibility:** may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
 - **Design Guidelines:** any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
 - **Minimum Variation:** Any variation shall be the **MINIMUM** necessary to ensure design compatibility





Euclid Ave.



East 13th St.

Business identification wall & window signage for a single business is permitted to have a maximum sign face area as regulated by formula:

- Linear feet of building unit frontage (L x 1.5 + 25) = Max sf permitted
- (80ft) x 1.5 + 25 = 145 sf Max bussines identification wall signage permitted

Permitted 50% additional of max sign area permitted for Secondary Frontages.

Euclid 388.34 sf proposed (145 sf permitted)

- **243.3 sf variance needed**

E 13th Street 98 sf proposed (72.5 sf permitted)

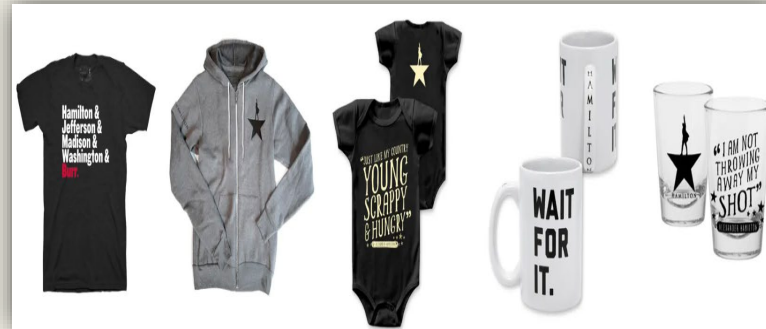
- **25.5 sf variance needed**

Major Public Assembly Facilities (or w/i 500 feet) In Central Business District (§347.20)

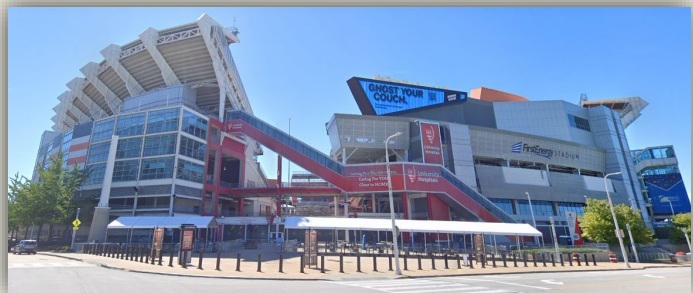
City Planning Commission may authorize variations beyond the required Sign Code & Design Review Regulations for Electronic Changeable Copy Signs that Identify:



Events at facility or nearby



Products for Sale on Site

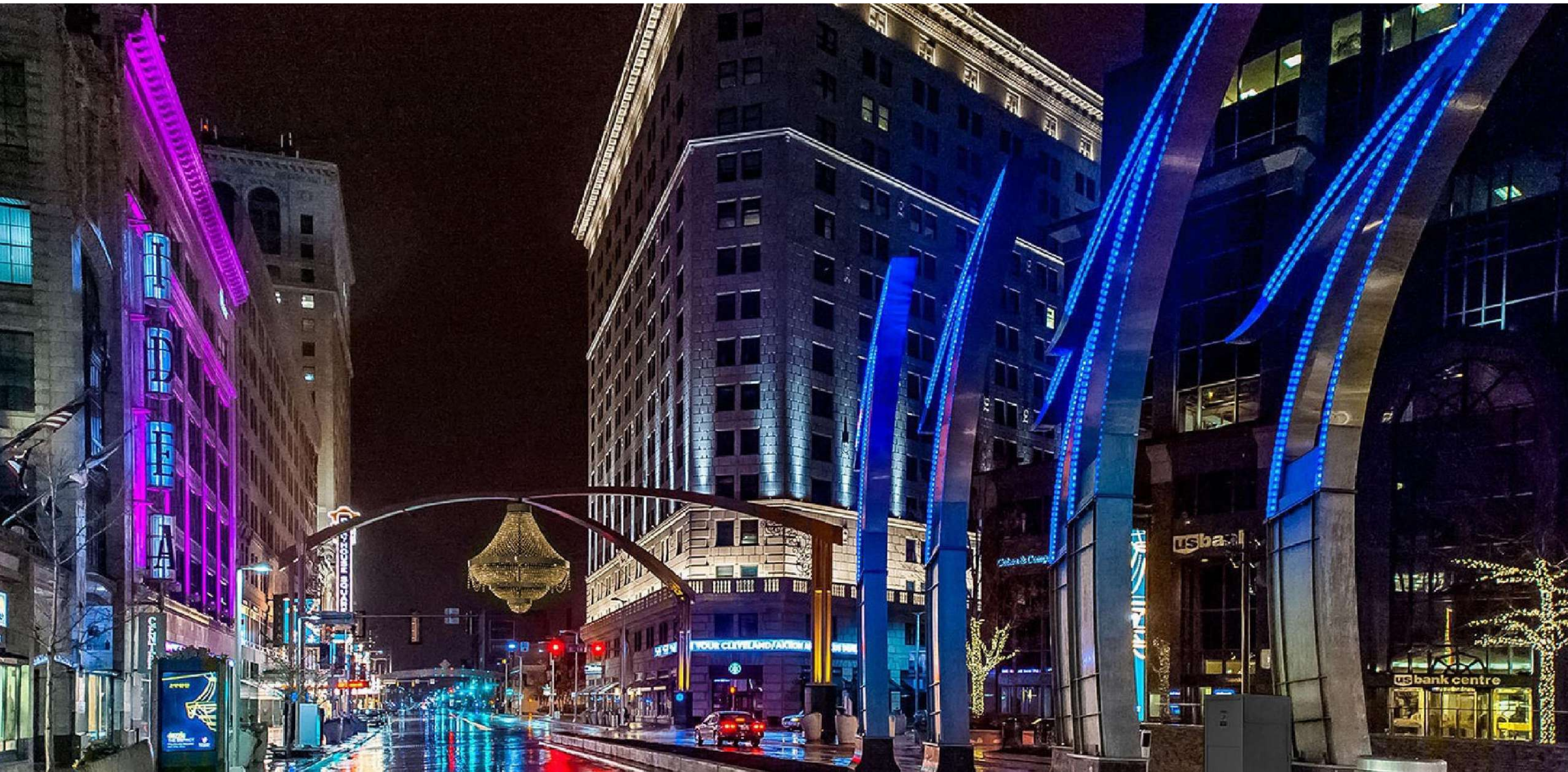


Sponsor/Partnership Signage

Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?





1309 Euclid Video Ribbon

April 2023

AGENDA

- APPLICATION FORM
- PROJECT SUMMARY
- SITE LOCATION/CONTEXT PLANS
- EXISTING CONDITIONS PHOTOS
- PROPOSED RENDERINGS
- DRAWINGS
- PRODUCT INFORMATION

APPLICATION FORM



1309 Euclid Video Ribbon



City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F:

216/664-3281

www.planning.clevelandohio.gov

Planning Commission/Design Review Application

DATE: April 12, 2023

PROJECT NAME: 1309 Euclid Video Ribbon

PROJECT ADDRESS: 1309 Euclid Ave, Cleveland, Ohio 44115

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review): Tom Einhouse

COMPANY: Playhouse Square Foundation

PHONE: 216-832-5121

EMAIL: tom.einhouse@playhousesquare.org

OWNER: Playhouse Square Foundation

ARCHITECT/ CONTRACTOR: Design - Barnycz Group and DLR, Contractor - DCL

PROJECT TYPE: New Building Rehabilitation Addition Sign Fence Parking

USE TYPE: Residential Commercial Industrial Institutional Mixed-Use

Review Level: Storefront Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project.

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

PROJECT SUMMARY



1309 Euclid Video Ribbon



Playhouse Square 1309 Euclid Video Ribbon

Playhouse Square Foundation owns 1309 Euclid, which is a 2 story building located on the corner of E13th and Euclid. It stands at a prominent corner of the Theatre District. As such, it helps to define the entry into a unique and vibrant district. We propose to add an artistically designed video board that will fit within the architectural design of the building and will compliment the vibrancy of the west end of the district. The use of the building will include a new space for traveling exhibits, a restaurant, and the current occupancy of the Kent State Urban Design Center. The abutting sister building at 1317 Euclid will be the new home of the City Club of Cleveland. The ribbon will also be used to promote activity for the City Club.

Background:

Until the construction Cleveland's Music Hall and Public Auditorium, E13th was the home of the Wigmore Coliseum, which served as the City's convention center. That building is now known as the Middough Building and houses the CSU performing and visual arts studios and classrooms as well as the offices, rehearsal studios and costume shop for the Cleveland Play House. As the Wigmore Coliseum it added incredible vibrancy to the street as evidenced by historic photos showing lights strung across the street for an electricity exposition. This project in many ways celebrates that history.

Current Conditions:

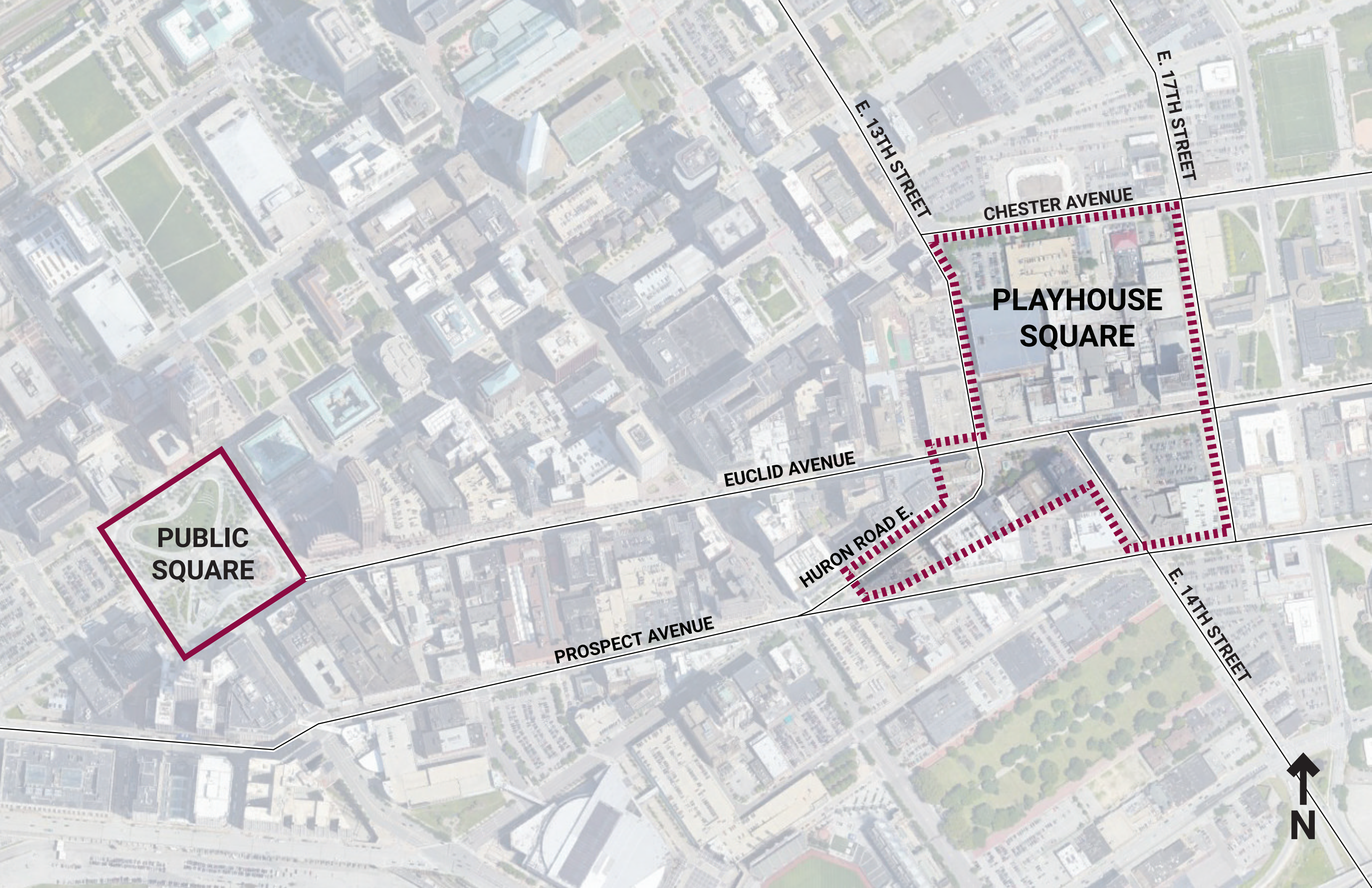
1309 Euclid is currently occupied on the second floor by the Kent State Urban Design Collaborative, and by an art gallery run by Cleveland State University. Cleveland State will be moving the gallery to a new location this year. The building is in sound condition, and the façade was completely restored around 2010.

Tom Einhouse
Vice President of Facilities and Capital
1501 Euclid Avenue
Suite 200
Cleveland, Ohio 44115

SITE LOCATION MAP



1309 Euclid Video Ribbon



**PUBLIC
SQUARE**

**PLAYHOUSE
SQUARE**

E. 13TH STREET

E. 17TH STREET

CHESTER AVENUE

EUCLID AVENUE

HURON ROAD E.

PROSPECT AVENUE

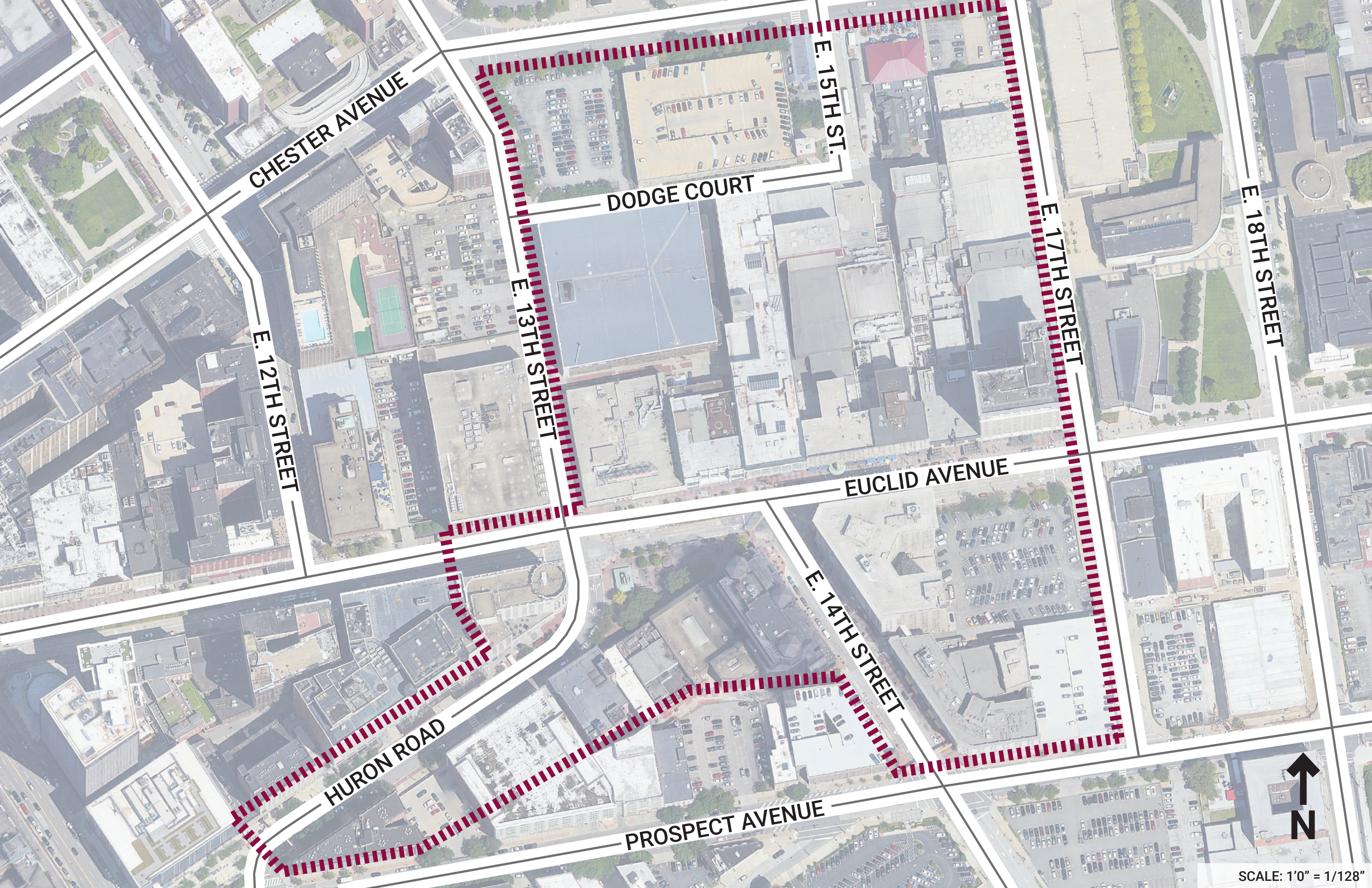
E. 14TH STREET



SITE CONTEXT MAP



1309 Euclid Video Ribbon



CHESTER AVENUE

E. 15TH ST.

DODGE COURT

E. 18TH STREET

E. 17TH STREET

E. 13TH STREET

E. 12TH STREET

EUCLID AVENUE

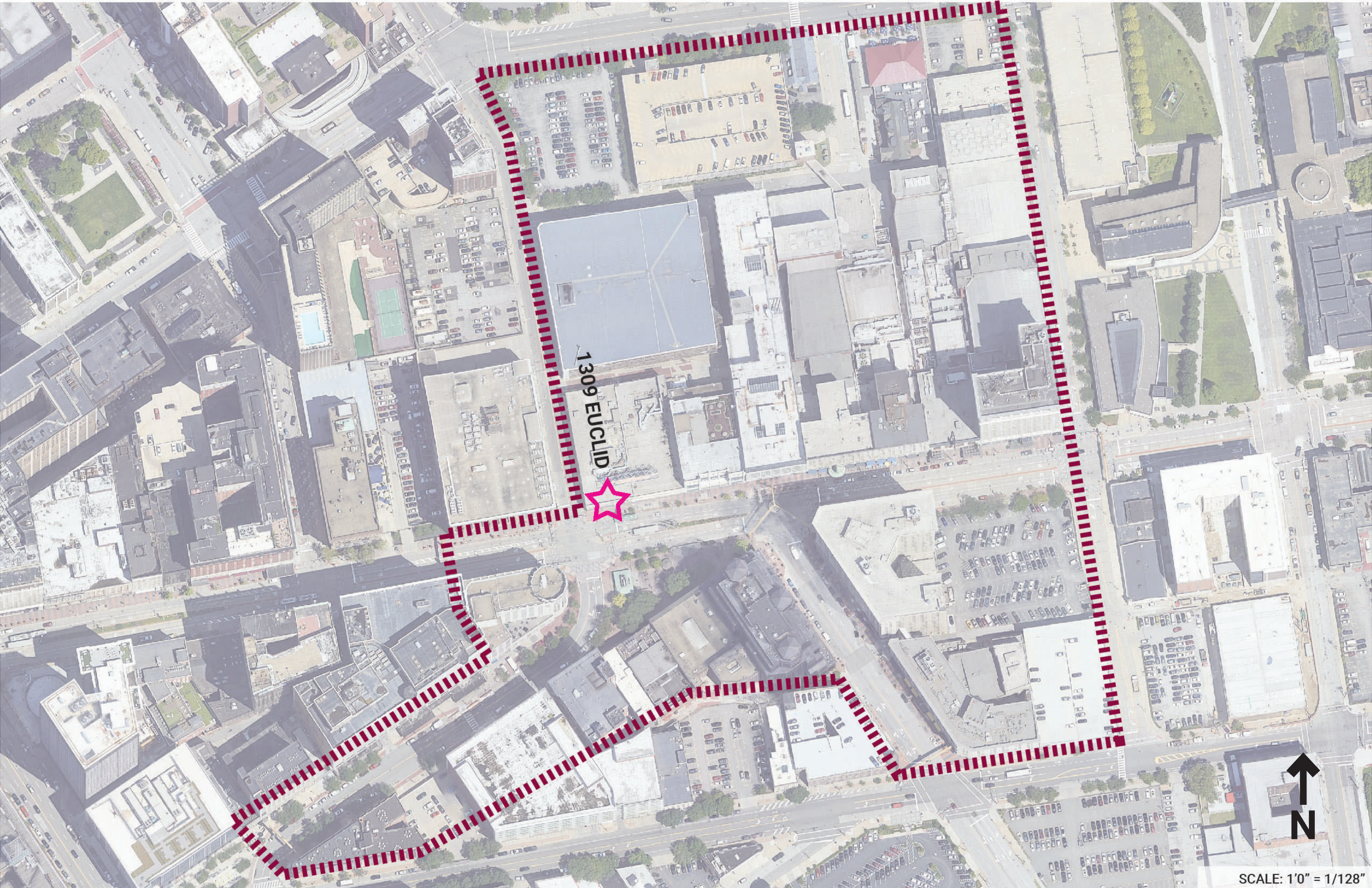
E. 14TH STREET

HURON ROAD

PROSPECT AVENUE



SCALE: 1"0" = 1/128"



1309 EUCLID



SCALE: 1"0" = 1/128"

EXISTING CONDITIONS PHOTOS



1309 Euclid Video Ribbon

VIEW NORTH EAST
ALONG HURON RD E



VIEW NORTH
ALONG EUCLID AVE



PROPOSED RENDERINGS



1309 Euclid Video Ribbon

KENT STATE UNIVERSITY

CLEVELAND URBAN DES

TREASURES
of the TITANIC





TREASURES
of the

TITANIC

CLEVELAND STATE UNIVERSITY

TREASURES
of the
TITANIC

TITANIC

KENT STATE UNIVERSITY

CLEVELAND URBAN DESIGN COLLABORATIVE

TREASURES
of the TITANIC





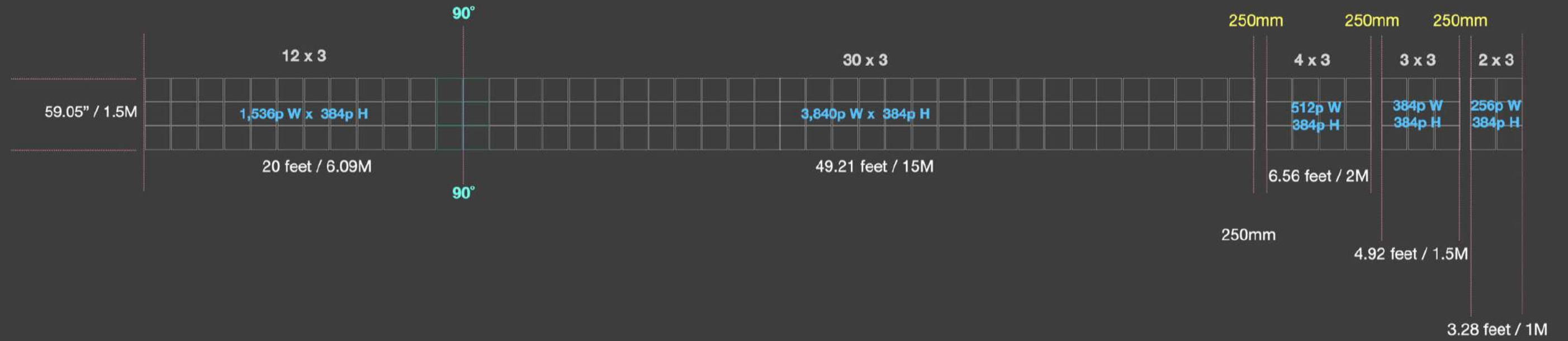
DIMENSIONED SIGN DRAWINGS



1309 Euclid Video Ribbon

☐ (Tiles are 500mm x 500mm)

51 x 3 Tiles = 153 Tiles Total



PRODUCT INFORMATION



1309 Euclid Video Ribbon

VIDEO PANELS

LED DISPLAYS



Offering a brightness up to 4500 nits with high contrast, the video experience of the Tulip 3.9mm display is second to none on a screen of this resolution for outdoor applications.

The Tulip delivers physical resolution of 66K pixels per square meter and accurate reproduction of 281 trillion colors at a wide viewing angle of 160 degrees.

The Quick Connect cabinet incorporates a special latch design for speed and ease of installation. This family of products is designed with enough durability for 24/7 operation but also offers the full elegance and high color fidelity required for close viewing.

Key features

- For outdoor applications
- 4500 nits high brightness
- Quick Connect cabinet design



PRODUCT INFORMATION



Playhouse Square®



May 5, 2023

Committee Recommendation: Approved with **Conditions:**

- Raise signage above the entablature.
- Study extending signage to entire length of façade to better incorporate it into the architecture of the building

Cleveland City Planning Commission

Special Presentations



May 5, 2023



May 5, 2023

Fairfax Strategic Investment Plan Update

Presenter: Denise Van Leer, Fairfax Renaissance DC





December 2022



**FAIRFAX STRATEGIC
INVESTMENT PLAN
2022-2027**

Cleveland, Ohio

FAIRFAX STRATEGIC INVESTMENT PLAN 2022—2027

PREPARED FOR

Fairfax Renaissance Development
Corporation

FUNDED BY

Cuyahoga County
The Enterprise Foundation

CONSULTANT TEAM

Urban Design Associates



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PROCESS

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Strengths, Weaknesses, & Opportunities	11
Framework and Strategy for Investment	15

STRATEGIC INITIATIVES

2022-2027 FRDC Priorities	18
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Focusing on the Public Realm	20
Refresh the Cedar Commercial District	22
A Growing District on Cedar Avenue	22
Strategy for Attractive Pedestrian Connections Through Vacant Lots	24
Breaking Down the Long Blocks	24
Creating a Consistent Brand Identity	26
Creating Artist Focused Housing	28





INTRODUCTION

EXECUTIVE SUMMARY

The 2022-2027 Fairfax Strategic Investment Plan is about celebrating the victories that have been achieved in the neighborhood despite obstacles while acknowledging the road ahead.

The 2022 Fairfax Strategic Investment Plan (SIP) is a document that outlines the next chapter for the Fairfax community over the next five years. The 2014 plan outlined initiatives to advance community goals into 2019, and planning began for the 2020 plan in January 2020. Soon after, the COVID-19 pandemic began, creating major shifts in the community. Even with these seismic changes, Fairfax Renaissance Development Corporation (FRDC) continued advancing the goals outlined in the 2014 plan. With resident and stakeholder input, as well as FRDC guidance, new objectives for 2022 through 2027 were defined and refined to enhance and support the work already being done in the neighborhood. The SIP is about celebrating the victories that have brought the neighborhood to this point, despite obstacles, while recognizing the work still to be done.

Document Overview

This document is organized into two primary sections: Process and Strategic Initiatives. The process section will describe FRDC’s and Urban Design Associates’ (UDA) collaboration with the community and neighborhood stakeholders to gather critical feedback on what is working in the neighborhood today and what can be improved upon to inform FRDC’s focus over the next five years. The Strategic Initiatives section will illustrate how key priorities identified by residents can be transformed into actionable plans, improving the quality of life for all residents of Fairfax.

Process

FRDC and UDA have worked together since the mid-1990s to create a comprehensive vision for the revitalization and sustained success of Fairfax. During this time, FRDC and UDA have collaborated closely with the community, listening with intention, and striving to create actionable and realistic proposals, such as Griot Village, new grocers like Meijer, and a variety of other neighborhood supporting uses. For the 2022 SIP, there were neighborhood tours and two public outreach events to gather community and stakeholder feedback. In the following pages, you will find a recap of these engagement efforts and how they informed the Strategic Initiatives recommendations.



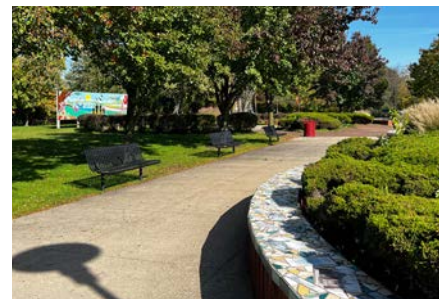
Portrait of Existing Conditions



Residents at a Community Meeting



New mixed-income housing at Innovation Square

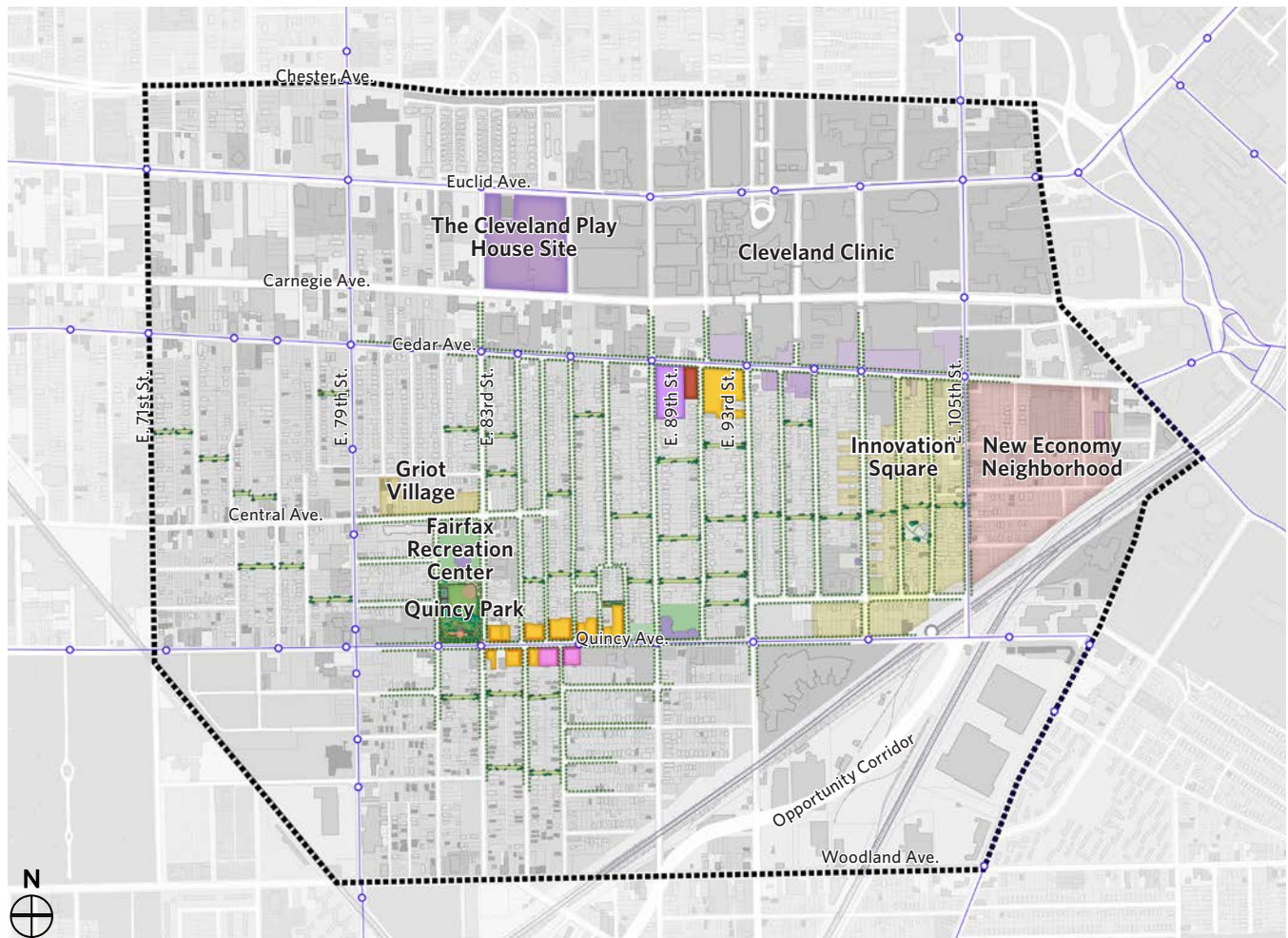


Quincy Park

Strategic Initiatives

During the two public outreach events, residents provided invaluable feedback about things in the community they liked and were working well, such as access to new grocery options, and things in the community that need work, such as improved communication about training, jobs, and services. In the end, five themes were consistently mentioned:

- Develop design principles for the Cleveland Clinic's Cleveland Play House Site
- Refresh the plan for the Cedar Avenue Commercial District
- Create a strategy for attractive pedestrian connections through vacant lots
- Improve communication-related to available training, jobs, services, and events
- Advance the Quincy Avenue Arts District



2022 Initiative Areas

BACKGROUND

CREATING A MASTER PLAN FOR FAIRFAX

In the mid-1990s, FRDC initiated a comprehensive master planning effort to be a catalyst for sustainable neighborhood and economic development in the Fairfax neighborhood. The process brought together residents and stakeholders to create a comprehensive neighborhood revitalization vision. UDA led the master planning process with community meetings, stakeholder meetings, and design workshops. The plan that was developed focused on:

- Revitalizing the heart of the Fairfax community
- Developing strong new centers around community anchors
- Reconnecting Fairfax with adjacent communities, both physically and through more effective relationships

1998-2002

- Updating the original Master Plan
- Building 200 new and rehabilitated 500 existing houses
- Developing Quincy Place, an 85,000 sq. ft. building housing community services

2002-2008

- Envisioning the first 5-year SIP
- Perpetuating the rehabilitation of houses through the Model Block Program
- Assembling property for the Emmanuel Square mixed-use development
- Groundbreaking for the Global Cardiovascular Innovation Center and Juvenile Justice Center
- Implementing streetscape improvements along many commercial and residential properties, including the reconstruction of Quincy Avenue
- Developing Quincy Park, the neighborhood's largest green space at that time
- Transforming the vacant Langston Hughes Library into the new home of Senior Outreach Services, a longstanding Fairfax neighborhood stakeholder



The Winding Wall of Fairfax History is a community art installation located in Quincy Park that charts the history of the Fairfax Neighborhood.

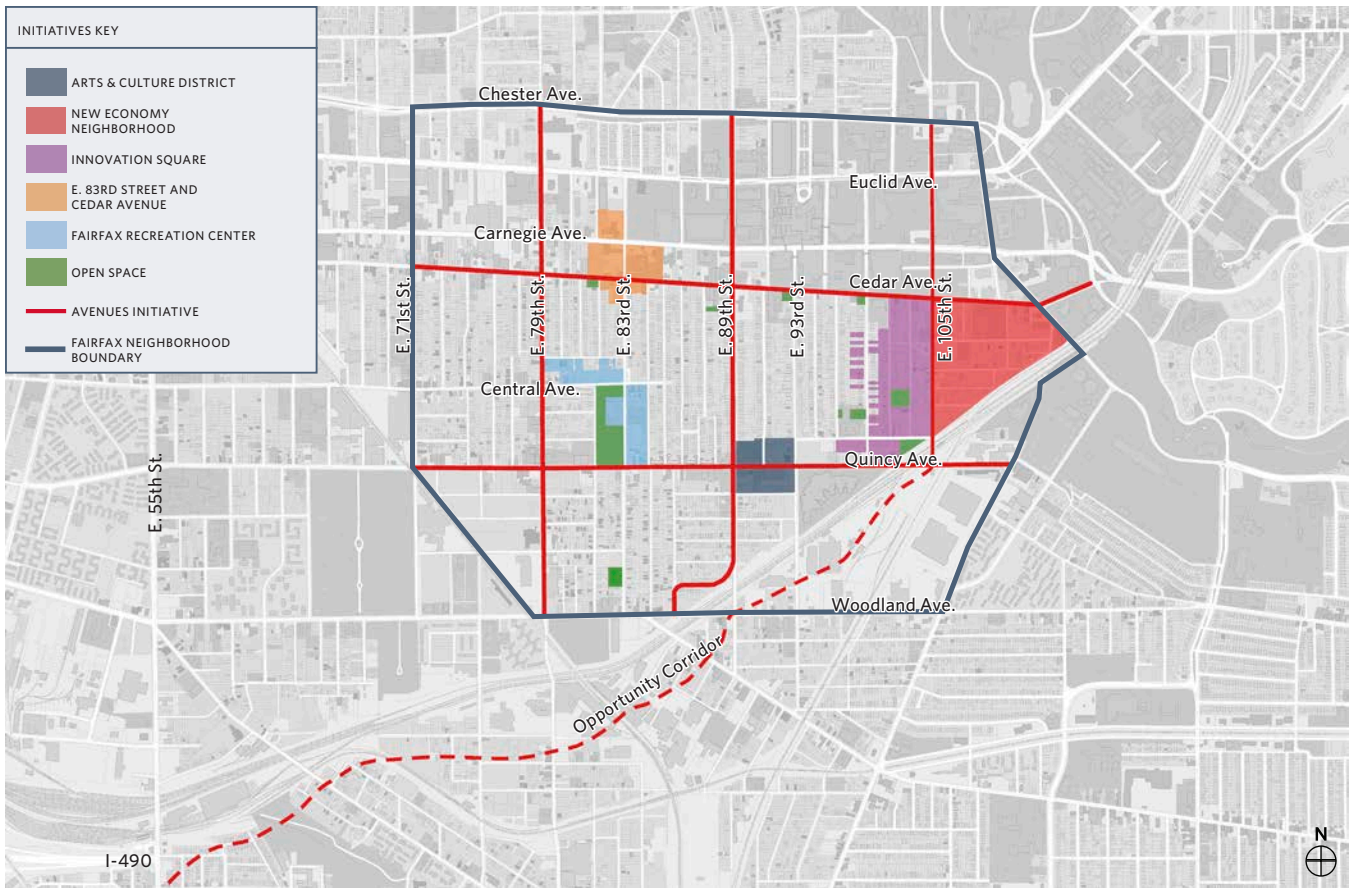


Quincy Place is an 85,000 sq. ft. office building that houses a large number of community services in the Fairfax Neighborhood.



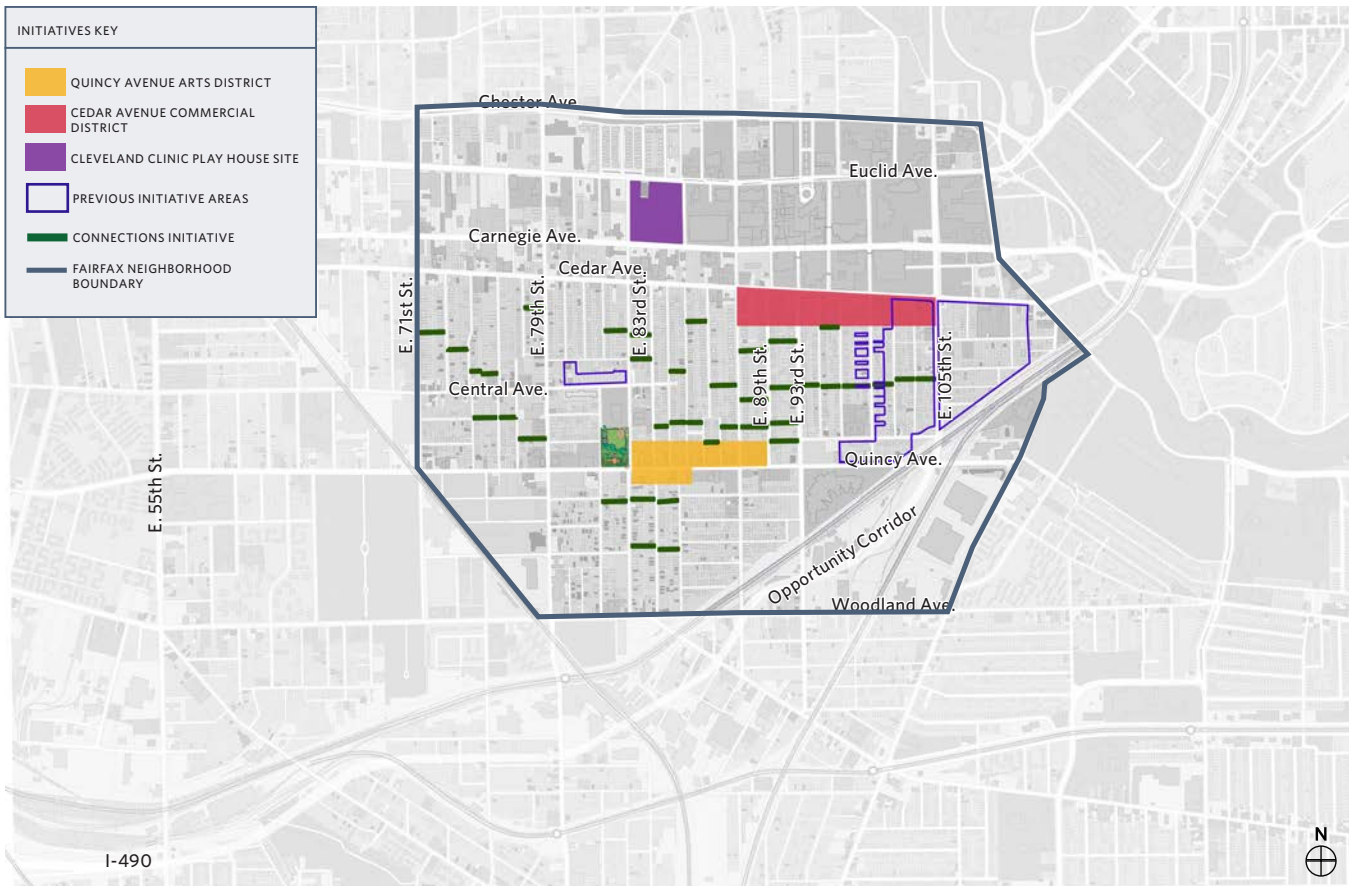
The Langston Hughes Health and Education Center is a community health anchor primary care, social services, health education, and more all under one roof.

INITIATIVES KEY	
	ARTS & CULTURE DISTRICT
	NEW ECONOMY NEIGHBORHOOD
	INNOVATION SQUARE
	E. 83RD STREET AND CEDAR AVENUE
	FAIRFAX RECREATION CENTER
	OPEN SPACE
	AVENUES INITIATIVE
	FAIRFAX NEIGHBORHOOD BOUNDARY



2014 Strategic Development Initiatives

INITIATIVES KEY	
	QUINCY AVENUE ARTS DISTRICT
	CEDAR AVENUE COMMERCIAL DISTRICT
	CLEVELAND CLINIC PLAY HOUSE SITE
	PREVIOUS INITIATIVE AREAS
	CONNECTIONS INITIATIVE
	FAIRFAX NEIGHBORHOOD BOUNDARY



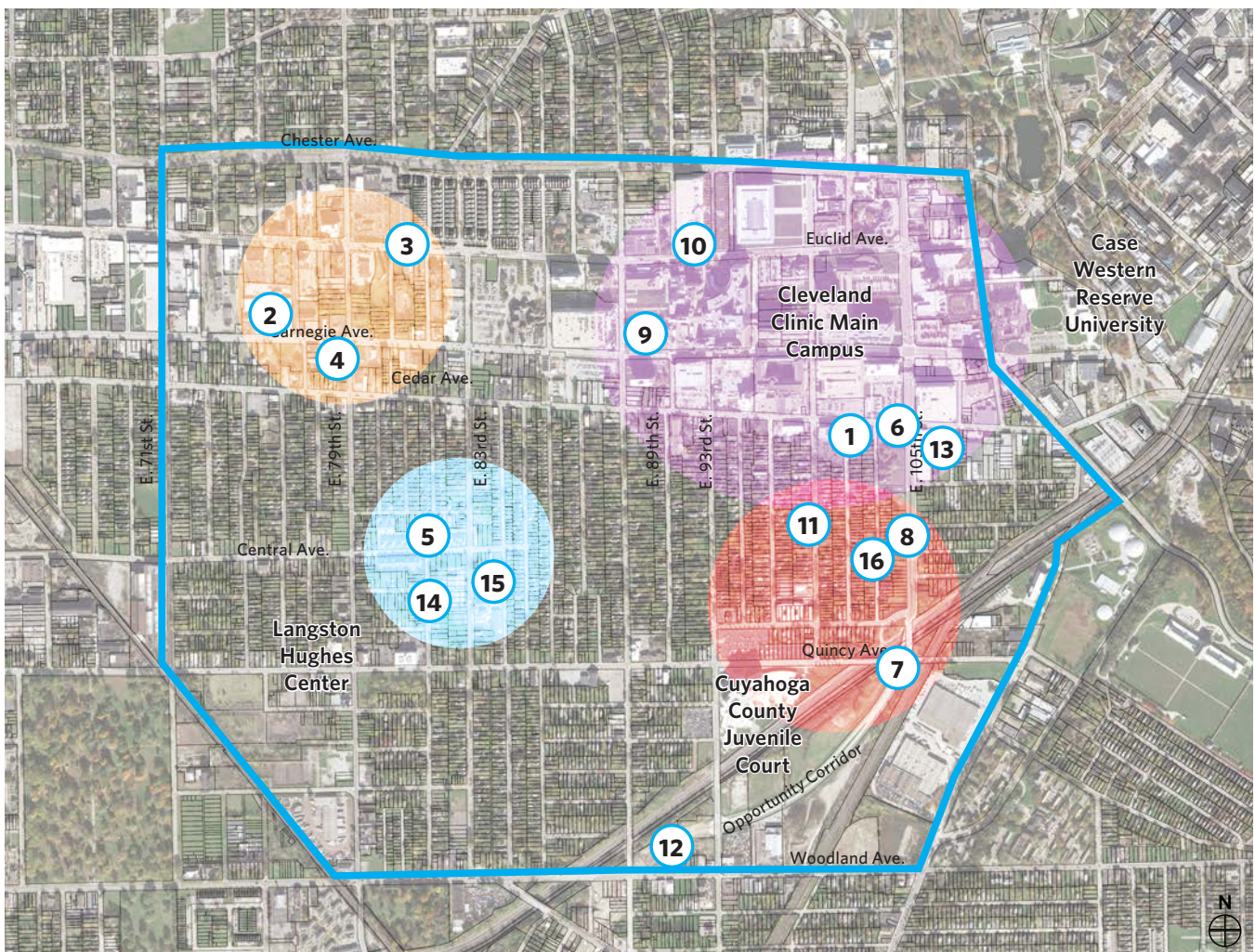
2022 Strategic Development Initiatives

2009-2014 (The Great Recession)

- Envisioning the first 5-year SIP update
- Led with partners the Opportunity Corridor planning process
- Perpetuating rehabilitation through the Model Block Program
- Consolidating vacant property for future infill
- Building of the new Cuyahoga County Juvenile Center
- Developing Rumi's Market and Deli
- Implementation of PNC Fairfax Connection
- Reconstructing Cedar and Central Avenues
- Groundbreaking for Griot Village, Fairfax's intergenerational housing



PNC Fairfax Connection Provides a variety of community resources and programs with a focus on financial literacy



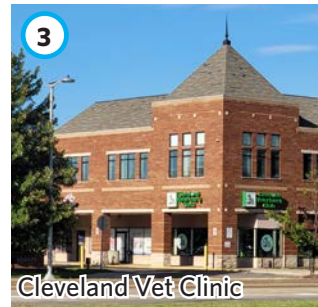
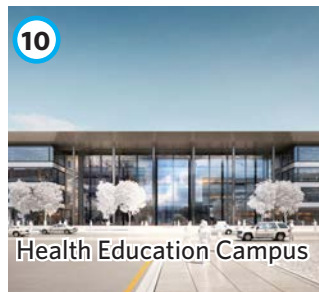
Key Initiatives since 2014

2014-2022

- Emerging new, small, and Black-owned businesses
- Expanding Cleveland Clinic services and campus
- Building of Opportunity Corridor and Griot Village
- Implementing new transit investments
- Creation of green spaces like Playwright Park
- Developing new housing featuring a mixed-use/mixed-income model in Innovation Square



New Meijer Grocery Store Under Construction







PROCESS

 Fairfax

THE THREE STEP PROCESS

Updating the FRDC SIP for 2022 started with listening to residents and stakeholders, testing ideas, and prioritizing a course of action for the next five years.

Resident and stakeholder input was critical to FRDC framing the top priorities for the next five years. The process included three steps:

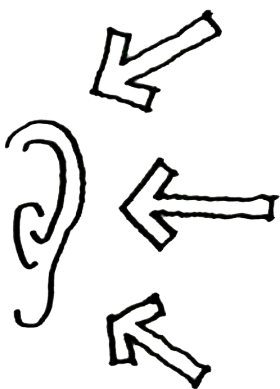
- **Listening:** Hearing community voices through community meetings and stakeholder meetings
- **Testing:** Studying multiple options to find the balance of what is achievable with what is desired
- **Deciding:** Narrowing down alternatives to top priorities for the update

The listening step began with the UDA and FRDC team convening in Cleveland to tour the neighborhood, discuss investments since 2014, and meet with the community and stakeholders to solicit input. Following the listening events, UDA documented initial draft priorities. FRDC then met with UDA to refine the priorities and rank their community needs and FRDC's capacity. Once the top initiatives were identified, UDA returned to Cleveland to discuss the proposed plans with residents to ensure their input was accurately reflected. Specifics from this meeting are reflected in the final SIP.

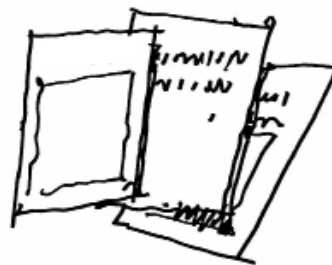


Community Meetings were held during the process to discuss what residents wanted to see as top priorities over the next five years.

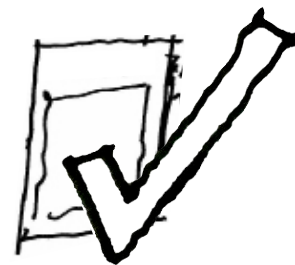
Listening



Testing



Deciding

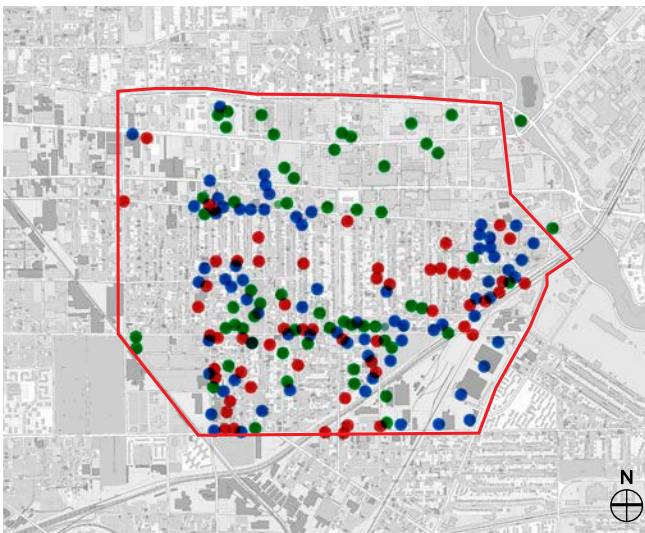


Listen, Test, Decide is the three step process that was used to refine the 2022 FRDC SIP

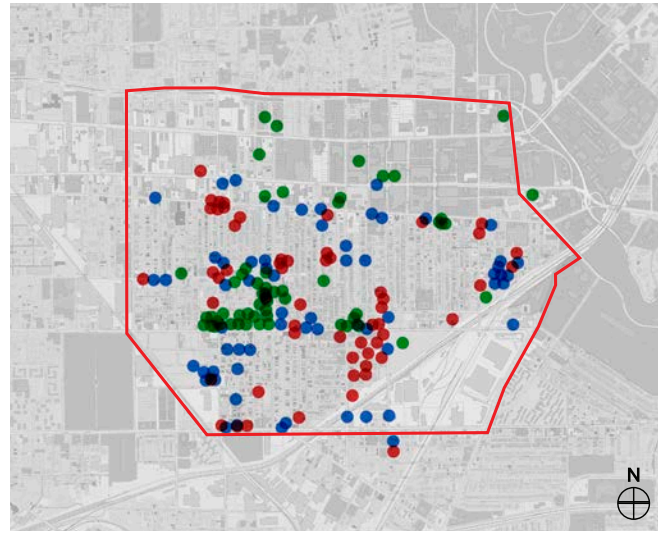
STRENGTHS, WEAKNESSES, & OPPORTUNITIES

The Dot Exercise

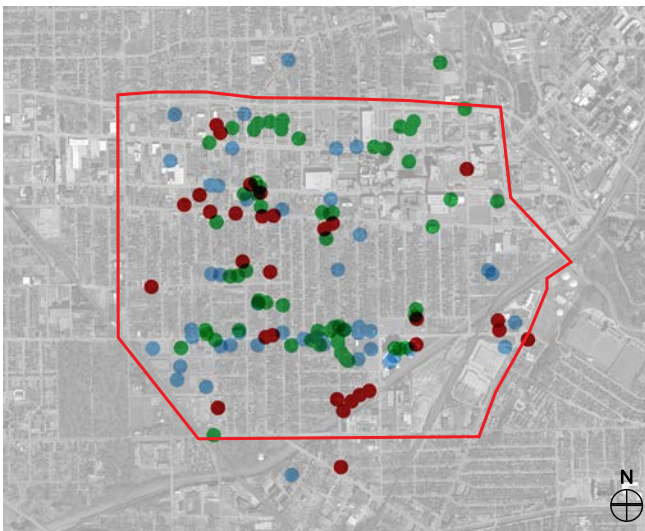
Community members were asked about the current strengths, weaknesses, and opportunities in the neighborhood, as well as if they had a single top priority for FRDC moving forward, and what would it be. The dot exercise has been an important tool to document change in neighborhood needs and sentiments over the years. Visions, like Opportunity Corridor, grocery options, and new housing have become realities, while weaknesses, like vacant lots, continue to be a challenge.



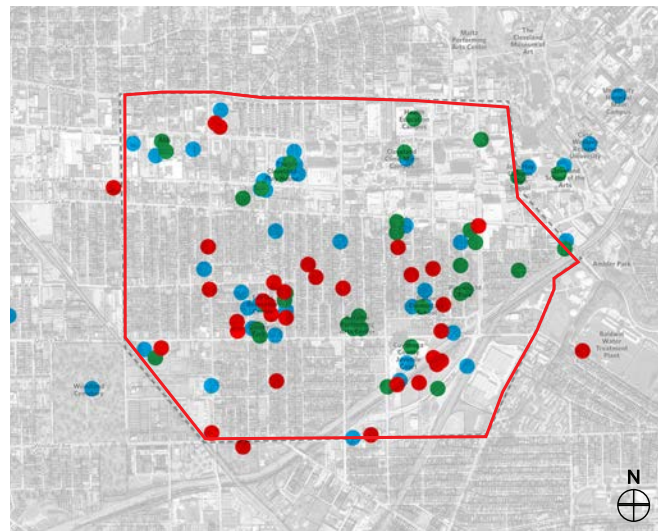
2003 Dot Exercise Residents placed dots on locations they perceived as strengths (green), weaknesses (red), and visions (blue) in the neighborhood.



2008 Dot Exercise Several very dense areas of dots make apparent the progress and changes within the community in the past half-decade.



2013 Dot Exercise Pockets of weaknesses have been identified, but great opportunity and strength are seen along the east-west avenues.



2022 Dot Exercise Weaknesses focused on inequity in new development and the large number of vacant lots in the neighborhood, but opportunity clustered around the former Play House site and connections outside of the neighborhood.

PROCESS

Engagement Summary

The listening process began with a community meeting that helped set the tone for the SIP update. The findings were broken down into five topic areas, housing, jobs and job training, parks and recreation, community culture and history, and local retail and community services.

Housing

- Preserve existing housing & provide support for homeowners looking to make improvements to their residence
- Ensure new housing developments are equitable & affordable
- Re-purpose vacant land with new housing

Jobs & Job Training

- Leverage the numerous educational & medical jobs in the neighborhood to provide employment opportunities for Fairfax residents
- Support residents with job training to ensure that current and future employees can have access to the workforce

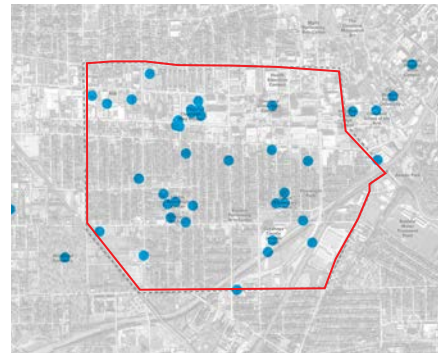
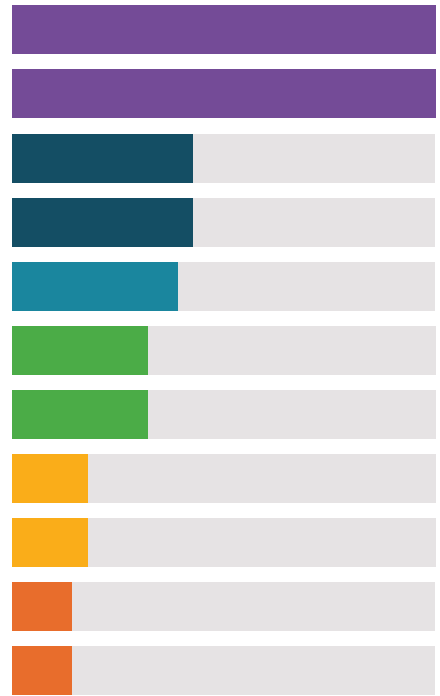
Parks & Recreation

- Reinvest in aging parks & recreational facilities in the neighborhood
- Community, Culture, & History
- Preserve and celebrate Fairfax's rich history and culture
- Prioritize bringing the community together to celebrate the rich history and culture

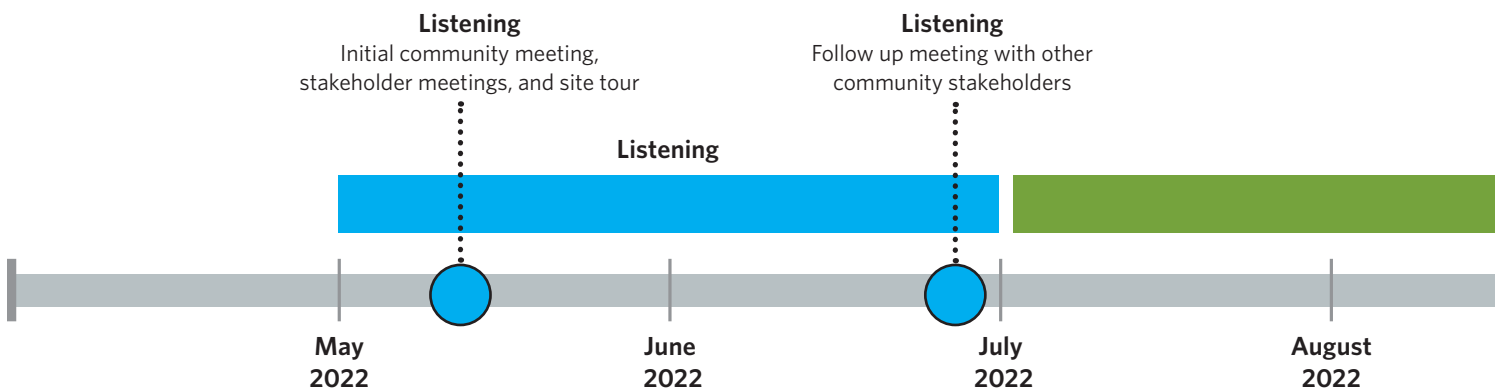
Local Retail & Community Services

- Support a variety of needs, such as local retail, food, & community-serving resources as new development occurs

- Create new housing with local retail, food, + entertainment
- Program consistent community events + youth support services
- Improve parks + open space to better serve resident needs
- Create pedestrian friendly streets with improved public transit
- Develop financial programs that can support homeowners
- Provide more educational opportunities for the youth
- Increase job opportunities with local health + educational institutions
- Celebrate the arts + culture with public programming
- Foster collaboration between the community + institutions
- Provide better access to fresh + healthy foods
- Beautify vacant land or make available to nearby residents



Opportunities the most opportunity was highlighted at the former Cleveland Play House site, the Fairfax Rec Center, Quincy Park, and around the schools.



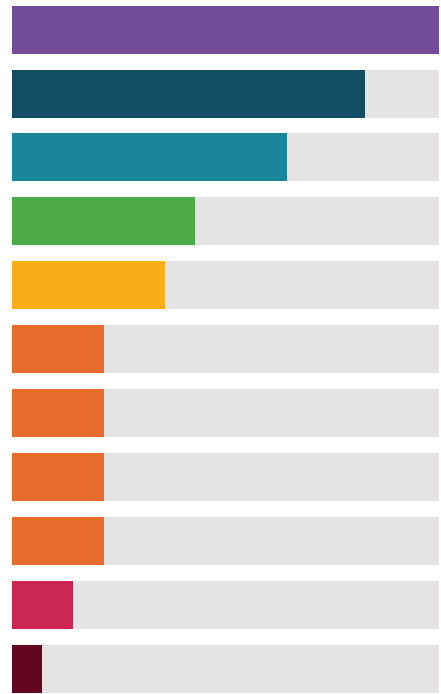
Opportunities

The greatest opportunity was highlighted as creating new housing with local retail, food, and entertainment. This was paired with programming consistent community events and supportive services and improving parks and open spaces. Pedestrian-friendly streets with improved public transit options were also highlighted as opportunities.

Strengths

The top strengths in the neighborhood focused on the people and community, as well as the strong institutions that make Fairfax a unique place to live, work, and thrive. Some highlights of the strengths during this SIP update were the "great selection of grocery options," an amenity that has been a long time coming in the Fairfax neighborhood.

- The people create a strong sense of community
- Several arts, cultural, religious, + medical institutions
- New + existing developments with quality residential + commercial uses
- Great public + private schools
- Many neighborhoods have rich history + historical buildings
- Recreational facilities + public parks
- Great selection of grocery options
- Centrally located to other neighborhoods + regional destinations
- Reliable local government + non-profit support services
- Upgrades to transportation improved connectivity
- Neighborhoods are very walkable

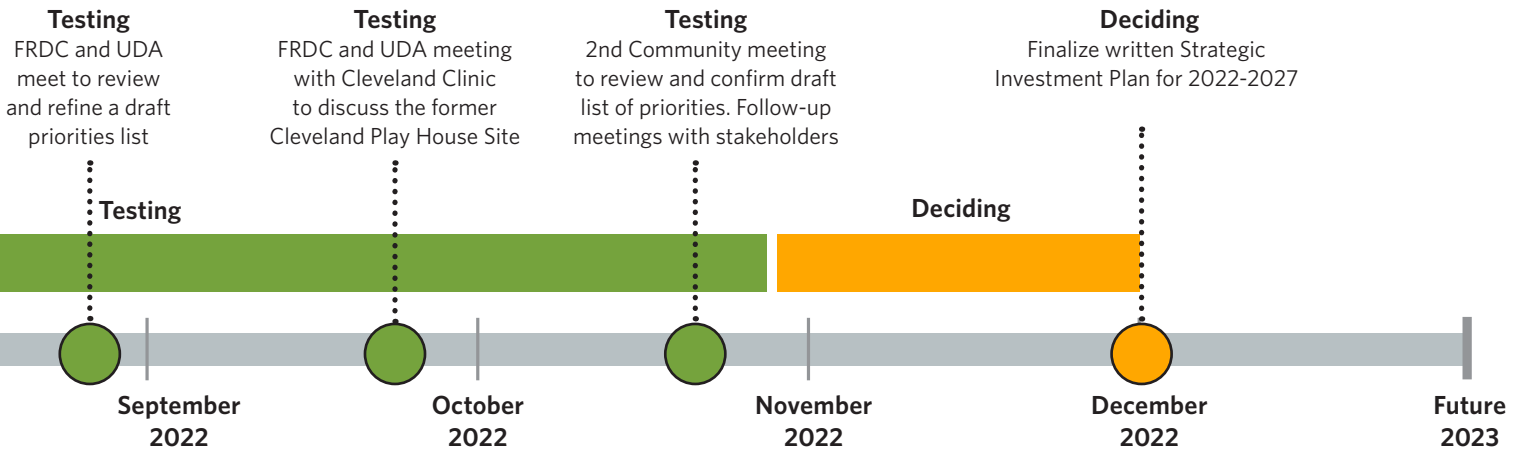


Strengths The Langston Hughes Center was highlighted as a neighborhood strength



Strengths Innovation Square, Quincy Park, and Karamu Performing Arts Theatre were some of the neighborhood locations to receive several green dots.

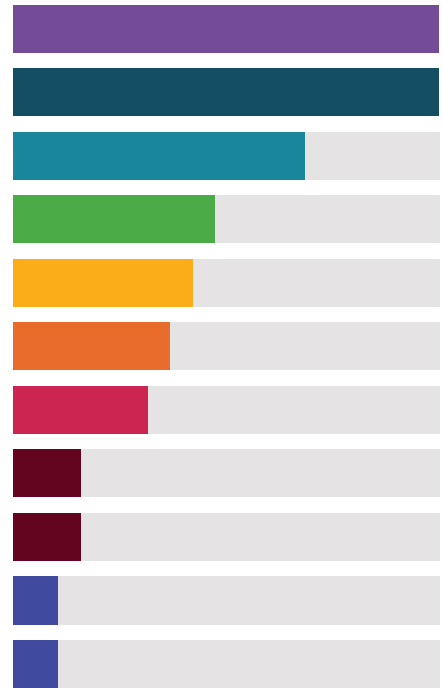
PROCESS



Weaknesses

The most significant weaknesses discussed in the neighborhood included inequity in new housing and commercial development. This was particularly important in the context of a large number of vacant lots and abandoned properties. While FRDC owned lots are maintained, other vacancies were criticized for their physical appearance, lack of maintenance, and general upkeep. The community also expressed a desire for more public events to bring the community together. During the testing phase, residents raised concerns about financial support for small repairs and maintenance to help existing residents stay in their homes. There was also strong continued community concern about the decline of the Fairfax Recreation Center.

- Inequity in new housing + commercial development
- Vacant + abandoned property negatively effects quality of life
- Lack of public events that bring the community together
- Poor commercial property maintenance + dumping issues
- Traffic issues such as speeding + congestion
- Outdated + unimproved public recreational facilities
- Lack of assistance to maintain homes
- New developments are erasing the culture
- Crime is a huge safety issue
- Poor accessibility to medical institutions
- Lack of job training + education

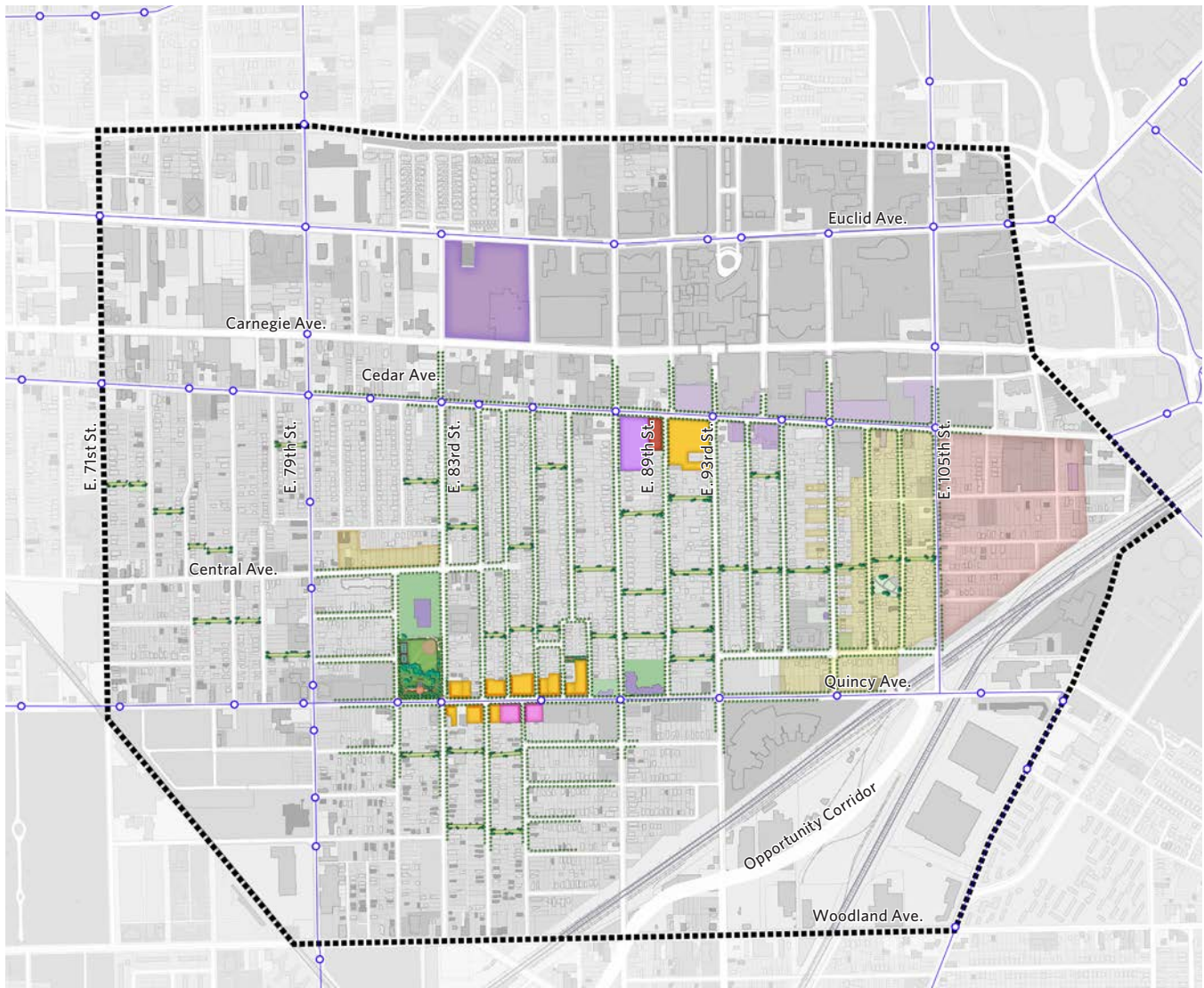


Weaknesses vacant lots were one of the most cited weaknesses in the neighborhood. The missing teeth makes it difficult to keep the neighborhood character intact.



Weaknesses the primary weaknesses focused on inequity around new development, the amount of vacant property, and a lack of events bringing the community together

FRAMEWORK AND STRATEGY FOR INVESTMENT



PROCESS

INITIATIVES KEY	
	RESIDENTIAL DEVELOPMENT
	LIVE-WORK DEVELOPMENT
	COMMERCIAL DEVELOPMENT
	COMMUNITY-SERVING DEVELOPMENT
	OPPORTUNITY SITE
	NEW ECONOMY NEIGHBORHOOD
	INNOVATION SQUARE
	GRIOT VILLAGE
	INSTITUTIONS
	BUS ROUTES/STOPS
	CONNECTIONS INITIATIVE
	FAIRFAX NEIGHBORHOOD BOUNDARY

How to Approach the Initiatives

The strategy for the SIP is to focus on where there is momentum and capacity. With so many existing efforts underway for housing, economic development, planning, and more, it is critical to focus on initiatives that will further strengthen these efforts. Leveraging the momentum from current initiatives and the feedback from the community, there are five priorities for 2022-2027:

- Develop design principles for the Cleveland Clinic's Cleveland Play House Site
- Refresh the plan for the Cedar Avenue Commercial District (E. 89th to E. 105th)
- Create a strategy for attractive pedestrian connections through vacant lots
- Improve communication-related to available training, jobs, services, and events
- Advance the Quincy Avenue Arts District





STRATEGIC INITIATIVES

2022-2027 FRDC PRIORITIES

The priorities for the next five years are more than initiatives, they are designed to build on current momentum and organizational capacity.

Uniting Priorities and Input

During the listening phase, five categories captured much of the input, housing, jobs and jobs training, parks and recreation, community culture and history, and local retail and community services. Social Determinants of Health became a key consideration when studying Fairfax, a neighborhood with health and educational anchors nearby. Critical drivers of the SIP are accessible and quality healthcare and education in the neighborhood core, economic stability, the built environment, and social and community context.

- Develop design principles for the Cleveland Clinic’s Cleveland Play House Site (**Jobs & Job Training**)
- Refresh the plan for the Cedar Commercial District (**Local Retail & Community Services**)
- Create a strategy for attractive pedestrian connections through vacant lots (**Parks & Recreation**)
- Improve communication-related to available training, jobs, services, and events (**Community Culture & History**)
- Advance the Quincy Avenue Arts District (**Housing**)



SOCIAL DETERMINANTS OF HEALTH

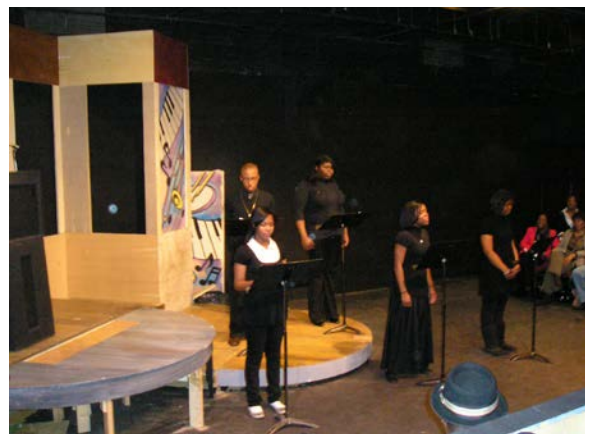
The five social determinants of health are

- Education Access and Quality
- Health Care Access and Quality
- Economic Stability
- Social and Community Context
- Neighborhood and Built Environment

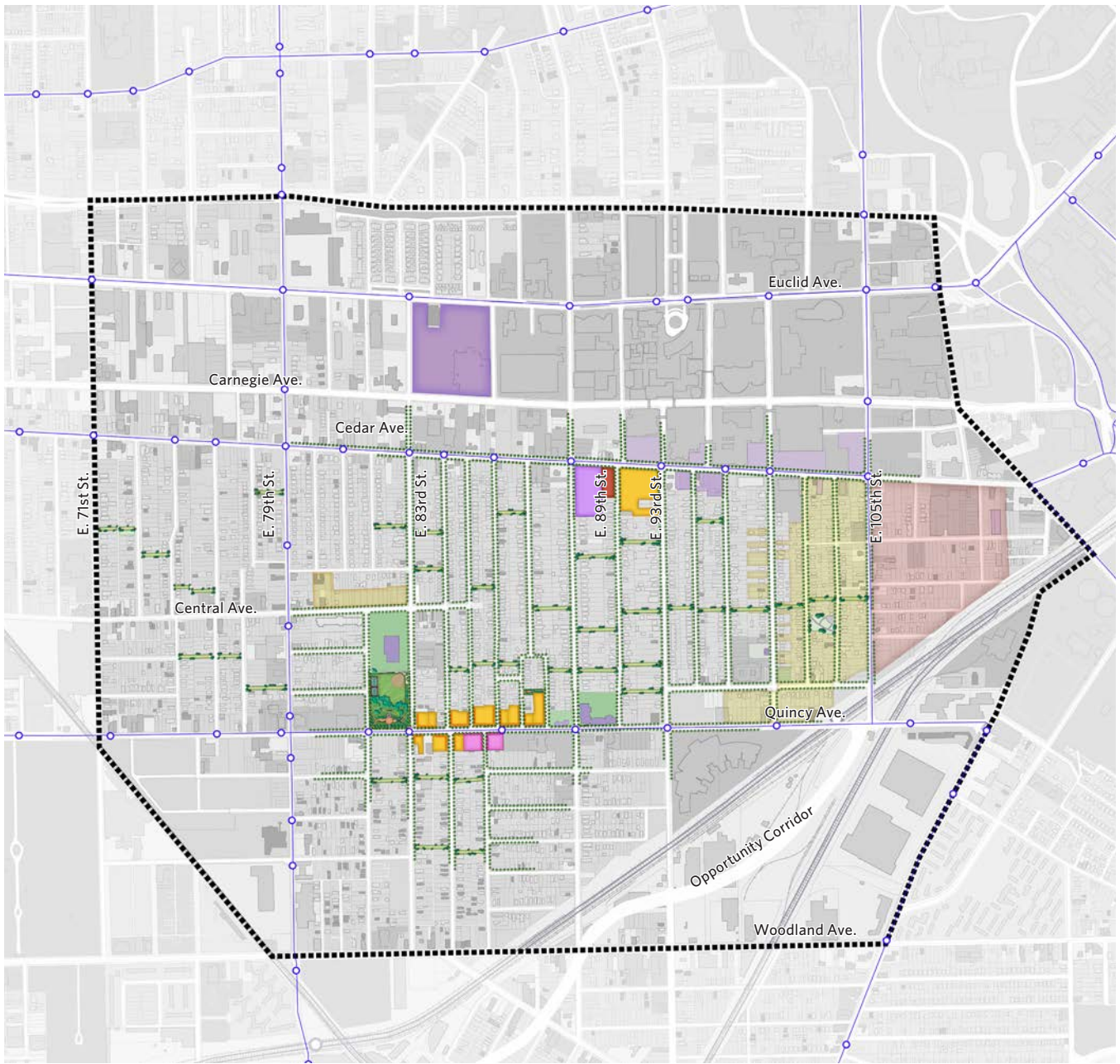
In a neighborhood with several key educational and healthcare anchors, it was important to frame the top priorities with these drivers of health.



Residents working in a community garden in Fairfax



Performance at Karamu House



INITIATIVES KEY	
	RESIDENTIAL DEVELOPMENT
	LIVE-WORK DEVELOPMENT
	COMMERCIAL DEVELOPMENT
	COMMUNITY-SERVING DEVELOPMENT
	OPPORTUNITY SITE
	NEW ECONOMY NEIGHBORHOOD
	INNOVATION SQUARE
	GRIOT VILLAGE
	INSTITUTIONS
	BUS ROUTES/STOPS
	CONNECTIONS INITIATIVE
	FAIRFAX NEIGHBORHOOD BOUNDARY

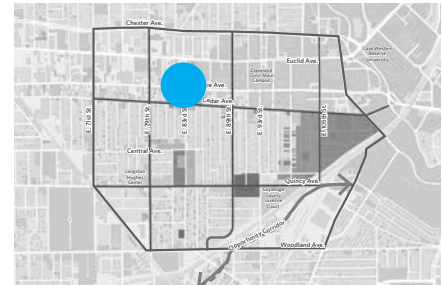
Initiatives Plan

DESIGN PRINCIPLES FOR THE CLEVELAND CLINIC PLAY HOUSE SITE

FOCUSING ON THE PUBLIC REALM

In 2022, Cleveland Clinic announced the planned demolition of the former Cleveland Play House, a theater complex featuring three theaters around a central rotunda, currently located on Cleveland Clinic property west of the main campus. A 1984 renovation of and addition to the former Sears department store created the largest regional theater complex in the United States. In 2009, ownership was transferred from the Cleveland Play House to the Cleveland Clinic. In 2012, the Cleveland Play House moved to the Allen Theater in Downtown Cleveland, and the Clinic struggled to find a viable use for the property, using it for storage, logistics, and police training. Over a decade later, the demolition and subsequent redevelopment of the site could create a joint opportunity for meeting the Clinic's needs while also responding to neighborhood desires that emerged during the planning process. These needs and goals were combined into a series of design principles:

- **Maintain the existing Street Grid** The existing street grid is important to neighborhood circulation and should therefore be maintained.
- **Line the block perimeter with active uses** While care should be taken to keep the block permeable, the perimeter of the block should integrate visible active uses. The Cleveland Clinic has expressed a desire to highlight "science on display," showcasing what goes on with critical infrastructure and building services.
- **Extend and strengthen the "Green Spine"** A main organizing element down the center of the Clinic's campus is the "green spine." This east-to-west park is the primary greenspace and pedestrian corridor. The "green spine" should be extended west with access to other outdoor spaces that support the healing power of nature.
- **Create architecture that complements the existing streets** In addition to focusing on active uses, new buildings on the site should address and enhance the street, particularly the commercial hub of Carnegie Avenue and Euclid. Ground-level transparency and clear points of entry should be prioritized, with minimal blank walls to the street.
- **Enhance the public realm with landscaping, street furniture, and pedestrian lighting** The public realm should be designed with generous sidewalks, plantings, street furniture, and lighting to make it a welcoming outdoor space.



STEPS TO IMPLEMENTATION

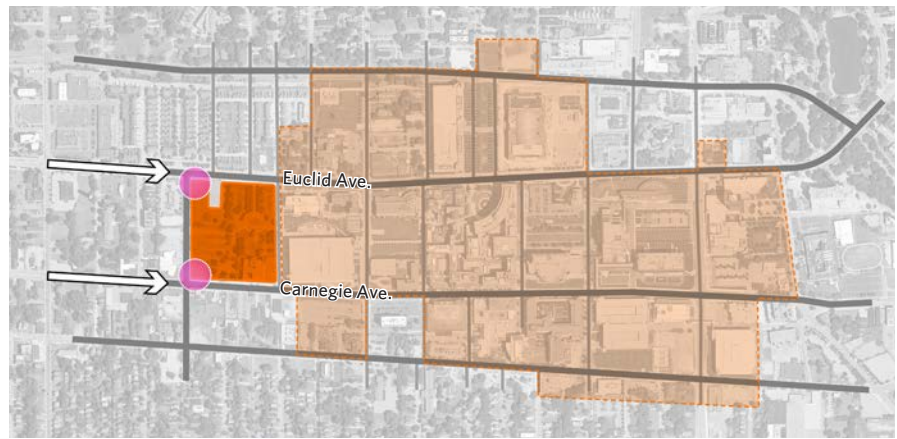
- Confirm clear design principles with the Cleveland Clinic
- Establish clear benchmarks to see if the principles are being met
- Implement a review process to determine guarantee alignment



Future Needs

The exact development program is undetermined, but future development provides a unique opportunity to create a meaningful impact on the community. A primary desire for residents of Fairfax is for new development to not only serve the Clinic's needs but also to connect outward to the neighborhood. Potential uses being considered by the Clinic include:

- Enhanced healing environments
- Parking
- Central energy plan
- Clinical expansion
- Research and technology partners
- Mixed-Use Development for neighbors and caregivers



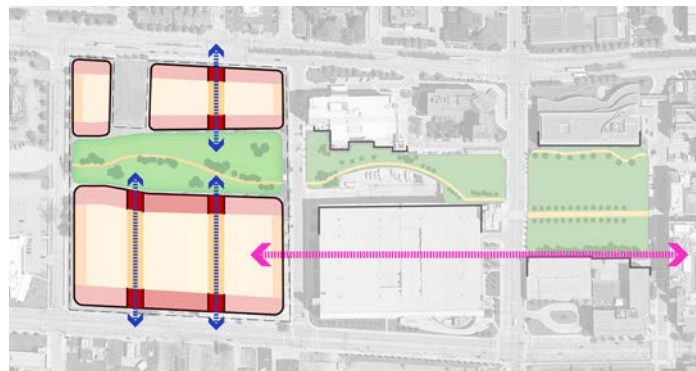
West Campus Entry The Play House Site is located on the western edge of the existing Campus and will provide a new entry point for commuters arriving from the Downtown Cleveland area



Strengthen and enhance the "Green Spine" The green spine is an important organizing east-to-west pedestrian connector in the Cleveland Clinic Campus



Focus primary active frontage along Carnegie Ave and Euclid Ave



The site design should emphasize pedestrian access from both the north and south direction, as well as the east and west

REFRESH THE CEDAR COMMERCIAL DISTRICT

A GROWING DISTRICT ON CEDAR AVENUE

Cedar Avenue has always been the commercial main street of the Fairfax Community. Carnegie Avenue, immediately to the north is also a commercial hub. With the completion of Opportunity Corridor and new development in Innovation Square, interest will continue to grow in the property along Cedar Avenue from 89th to 105th Street. The new Meijer grocery store at E. 105th has 192 units of housing above, with additional housing under development immediately south in Innovation Square. Paired with the vision for New Economy Neighborhood, which will be focused on education, medicine, and technology, the uses, and form of what is built on Cedar Avenue becomes even more critical. Refreshing the plan of the commercial district will help create a framework for future infill.

Design Principles

Design principles for the Cedar Commercial District focus on the public realm.

- **Prioritize active uses** Cedar is the neighborhood's commercial main street and as such, it should have continuous ground floor activation in buildings. Blank walls and pedestrian unfriendly uses are discouraged.
- **Focus on transparent architecture** Buildings along Cedar should emphasize transparency with windows, openings, and transparent glass at the street level so that pedestrians are visually connected with indoor spaces.
- **Create an engaging street wall** New development should be positioned close to the street with wide landscaped sidewalks in front to create an engaging street wall, which focuses activity in the public realm.

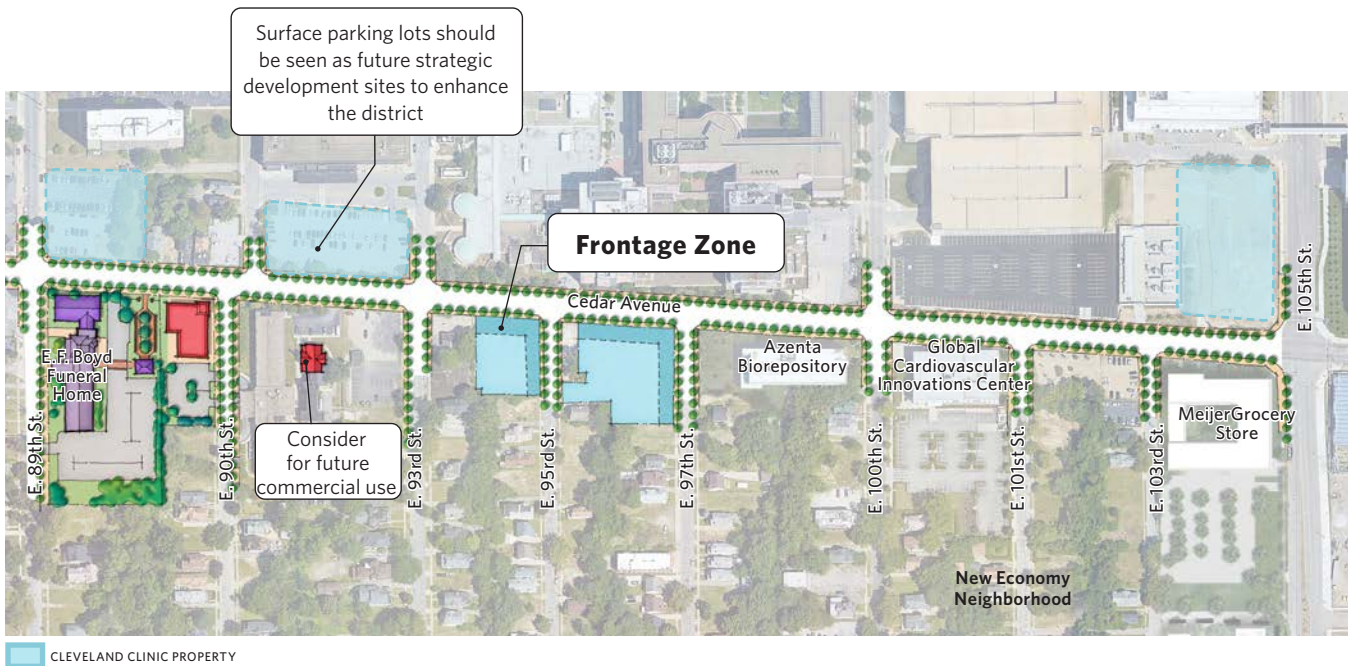


STEPS TO IMPLEMENTATION

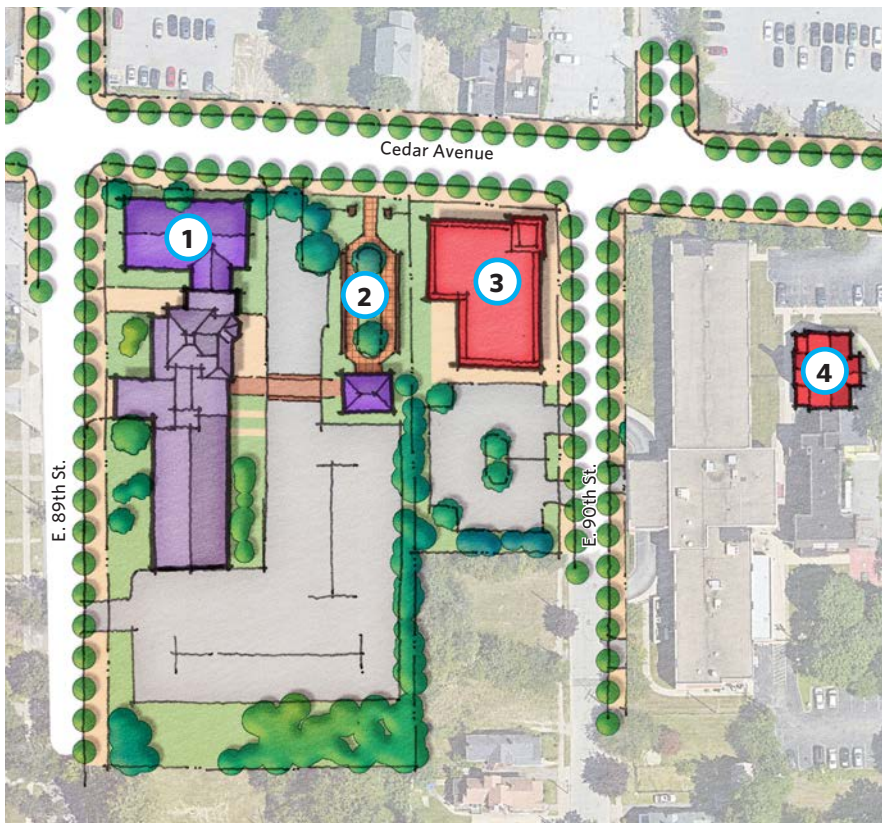
- Identify planned projects
- Focus on design principles and how these impact the public realm experience on Cedar Ave.
- Consider most desired commercial uses
- Emphasize the importance of the public realm to future developers using the design principles.



Focusing on Active Uses Power plants and parking garages, while necessary infrastructure should be screened by active uses to allow for a more compelling commercial hub.



The Cedar Avenue Commercial District Several pieces of property along Cedar Avenue are owned by the Cleveland Clinic. Care should be taken to place active uses on these parcels to enhance the commercial district.



- 1 EXPANDED CREMATORIUM WITH WITNESSING FACILITY
- 2 MEMORIAL GARDEN OFF CEDAR AVENUE
- 3 FUTURE COMMERCIAL SPACE
- 4 POTENTIAL FUTURE COMMERCIAL SPACE



Azenta Biorepository

KEY	
■	COMMERCIAL
■	EXISTING INSTITUTION
■	PROPOSED EXPANSION

E.F. Boyd & Son Funeral Home has operated since 1905. As they continue operations into the future, they have expressed interest in a new crematorium with a witnessing facility and a memorial garden for loved ones to have an outdoor moment to grieve.

STRATEGY FOR ATTRACTIVE PEDESTRIAN CONNECTIONS THROUGH VACANT LOTS

BREAKING DOWN THE LONG BLOCKS

The Fairfax neighborhood has long, narrow blocks that run north to south, especially at the core of the neighborhood between Cedar Avenue and Quincy Avenue where blocks can be nearly half a mile in length. These long stretches between cross streets, and by extension long stretches between pedestrian connections, can discourage walking as a primary mode of transportation. One of the challenges in Fairfax is the significant number of vacant lots, however, some of these vacancies in strategic locations can be seen as an opportunity to create pedestrian midblock crossings to improve pedestrian circulation.

What Makes a Good Connection?

Midblock connections should:

- Be on property that FRDC owns or can control; this may require acquisition from the Cuyahoga County Land Bank
- Cut through the entire width of a block
- Shorten the walking distance to key destinations like transit stops or neighborhood amenities
- Be well-lit and clear of visual obstructions
- Be paved to prevent erosion



Example Connection Using FRDC or Cuyahoga County Land Bank parcels for connections can help break down long blocks with well lit paseos



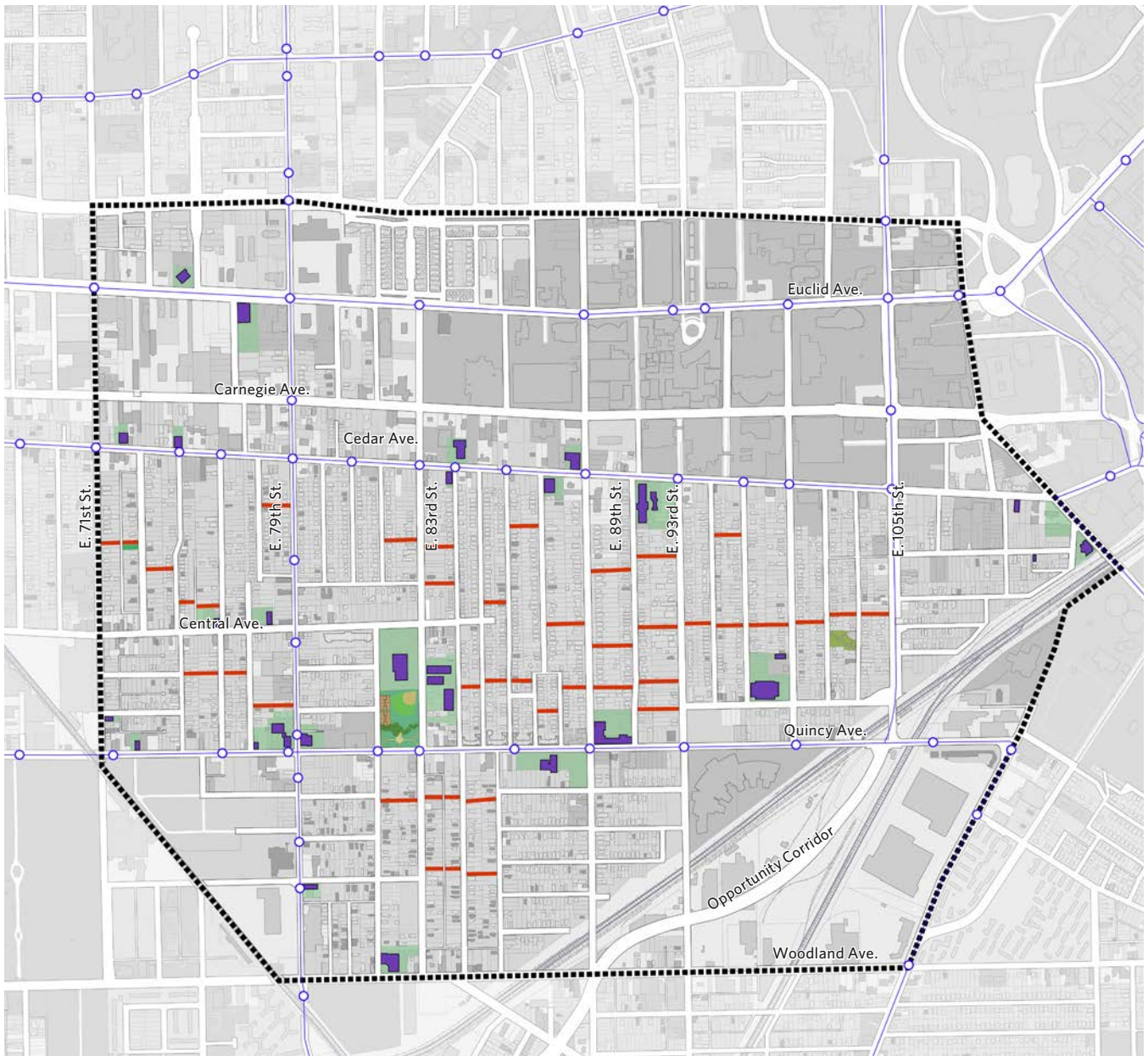
STEPS TO IMPLEMENTATION





- Identify preferred locations for connections
- Consolidate key Cuyahoga County Land Bank and FRDC parcels together to establish key connections
- Focus efforts on keeping these lots well maintained
- Begin with low-cost tactical urbanism solutions to add walking surfaces, lighting, and potentially seating

- 1 SOLAR POWERED LIGHTING
- 2 DECOMPOSED GRANITE OR MULCH WALKWAY
- 3 SPACE FOR ART OR NATURAL LEARNING
- 4 TREES
- 5 TRASHCAN FOR MAINTENANCE



Lucia Green Pathway is an example of a connection that already exists in the neighborhood



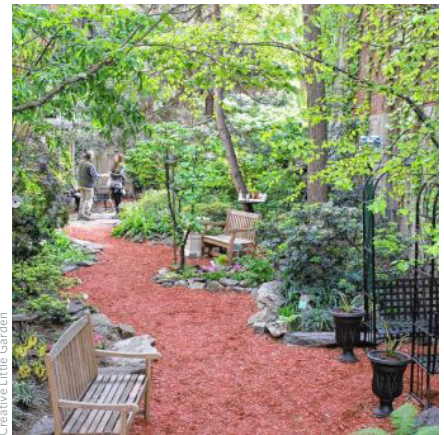
KEY	
	INSTITUTIONS
	BUS ROUTES/STOPS
	CONNECTIONS INITIATIVE
	FAIRFAX NEIGHBORHOOD BOUNDARY

Vacant Lot Connection Strategy



nashvillepublicart.com

Public Art The paseos can also house unexpected art installations that can direct residents and visitors to the Quincy Avenue Arts District



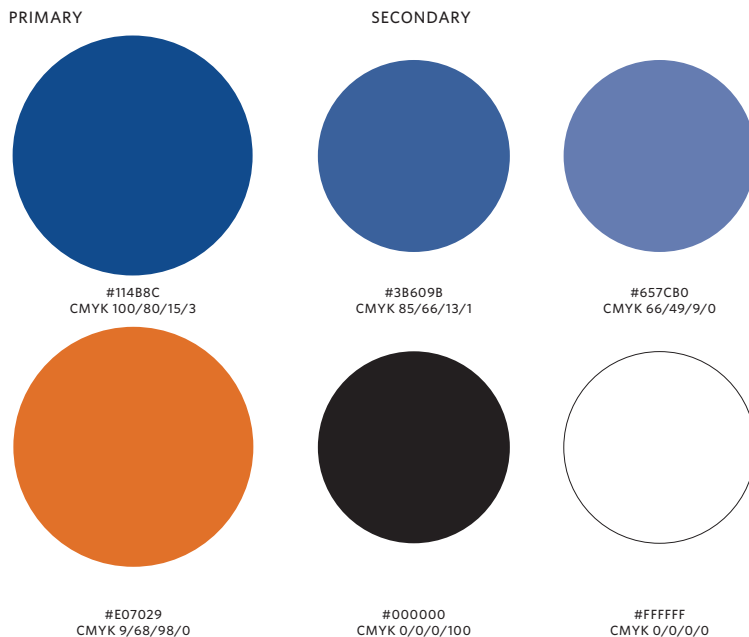
Creative Little Garden

Little Gardens Adding low cost walkways, benches for seating, and additional landscape can make the paseos little oases in the neighborhood

IMPROVE COMMUNICATION-RELATED TO AVAILABLE TRAINING, JOBS, SERVICES, AND EVENTS

CREATING A CONSISTENT BRAND IDENTITY

One of the primary comments in community feedback related to the lack of events that bring the community together. Digging deeper revealed underlying frustration from residents about limited participation in engagement from the wider community, and what was perceived as a lack of communication, especially to reach younger residents of the neighborhood. Church leaders and business owners expressed the need for easier access to information about jobs, job training, and services. Tools that FRDC currently maintains, such as the Programs and Services Brochure, Community Resource Guide, and newsletter could use an update to better help the community see and understand the wealth of programs and services available. The community also expressed a strong desire for additional online and social media presence. Updating the information and access tools provides a high-level template and roadmap to help simplify what is currently provided while allowing the FRDC staff to have a tool kit to use for branding and sharing the word about events and resources available to the public.



AaBbCc
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz
 0123456789!@%&()*

Gill Sans Regular

STEPS TO IMPLEMENTATION

- Focus on a consistent package of colors and fonts to help every piece of media from FRDC graphically coordinate
- Use a consistent package of fonts and colors to enhance a balanced social media presence
- Highlight information from the volunteer club in the newsletter and on social media

Primary COLOR



Primary GRAYSCALE



Vector Based Logos Rebuilding FRDC's logo into vector form makes it easier to rescale onto print media and use in digital form.

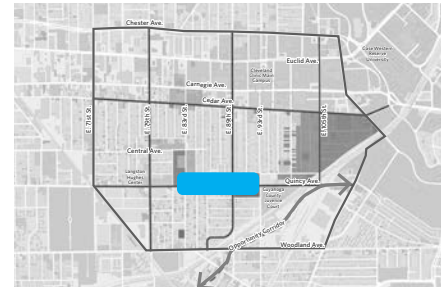
ADVANCE THE QUINCY AVENUE ARTS DISTRICT

CREATING ARTIST FOCUSED HOUSING

The aspiration for an arts and culture district near Karamu is not new, and in fact, grows out of ideas in the 2014 plan and beyond. The concept for the Quincy Avenue Arts District focuses on the potential for artist housing between Karamu's current location and the Langston Hughes Center. Providing focused housing opportunities geared toward local and visiting artists will help infuse the community with creative power. Emphasizing the connection to the arts with an Arts Walk and space for permanent and pop-up art installations helps reinforce the idea of a community tied together through the arts.

Artist Live-Work Spaces

A live-work project assumes a bit of extra space, either within units or on a separate ground level, that can be used for studio or gallery space. Ideally, these spaces are designed with artists in mind with consistent design elements, such as high ceilings, large windows, durable surfaces, and wide doorways to accommodate many different types of creative processes. Buildings can also include common spaces such as shops, meeting rooms, and green spaces that encourage artist collaboration and community engagement.



STEPS TO IMPLEMENTATION

- Consolidate Cuyahoga County Land Bank parcels with FRDC-owned parcels to prepare for infill housing.
- Partner with mixed-income and artist-focused developers, such as Artspace, and other partners to implement artist-focused affordable housing
- Emphasize streetscape improvements that highlight art, like special tiles in the sidewalk, or banners on light poles
- Provide opportunities for art in Quincy Park and Quincy Gardens, including pop-up installations and community and community history-focused arts events



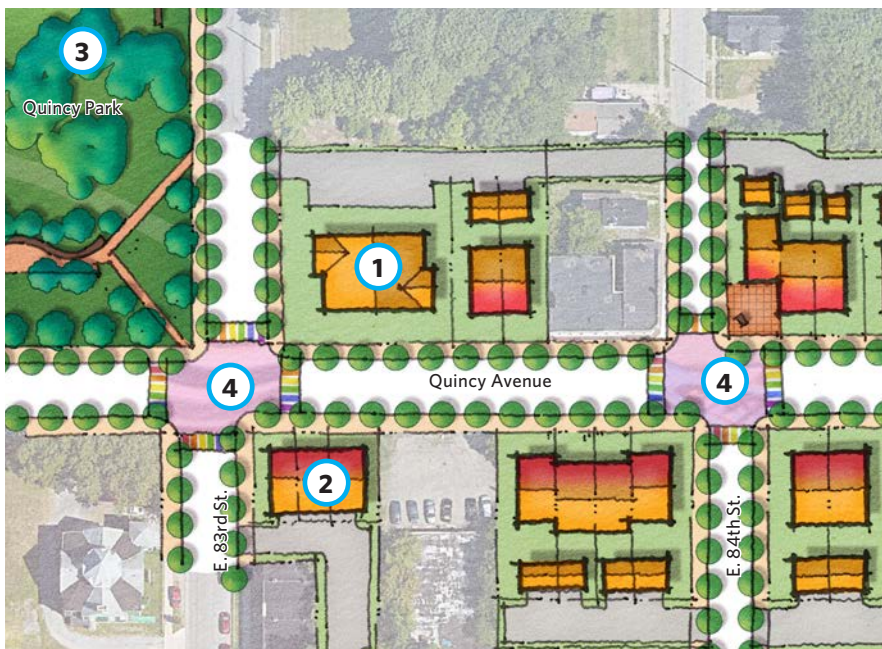
Ruby Dee Mural Sankofa Fine Art Plus commissioned muralist Kent Twitchell to work with select local artists and community members to honor one of Karamu House's most successful alums, Ruby Dee. The 40 foot tall mural was officially unveiled in 2013 but has since fallen into disrepair. It's restoration could be a component of a Quincy Avenue Arts District.



Artspace Artspace is a nonprofit arts organization specializing in creating, owning, and operating affordable spaces for artists and creative businesses. These spaces include live/work apartments for artists and their families, working artist studios, arts centers, commercial space for arts-friendly businesses, and other projects. Artspace and similar organizations could be key partners in an effort for sustainable artist housing.



Quincy Avenue Arts District While Karamu continues to grow and expand as a community anchor, it is doing so primarily on land that it currently owns. While other sites on Quincy Avenue aren't large enough for performing arts uses, the lots are perfect for artist focused housing and live-work artist spaces, which could include workshop and gallery space.

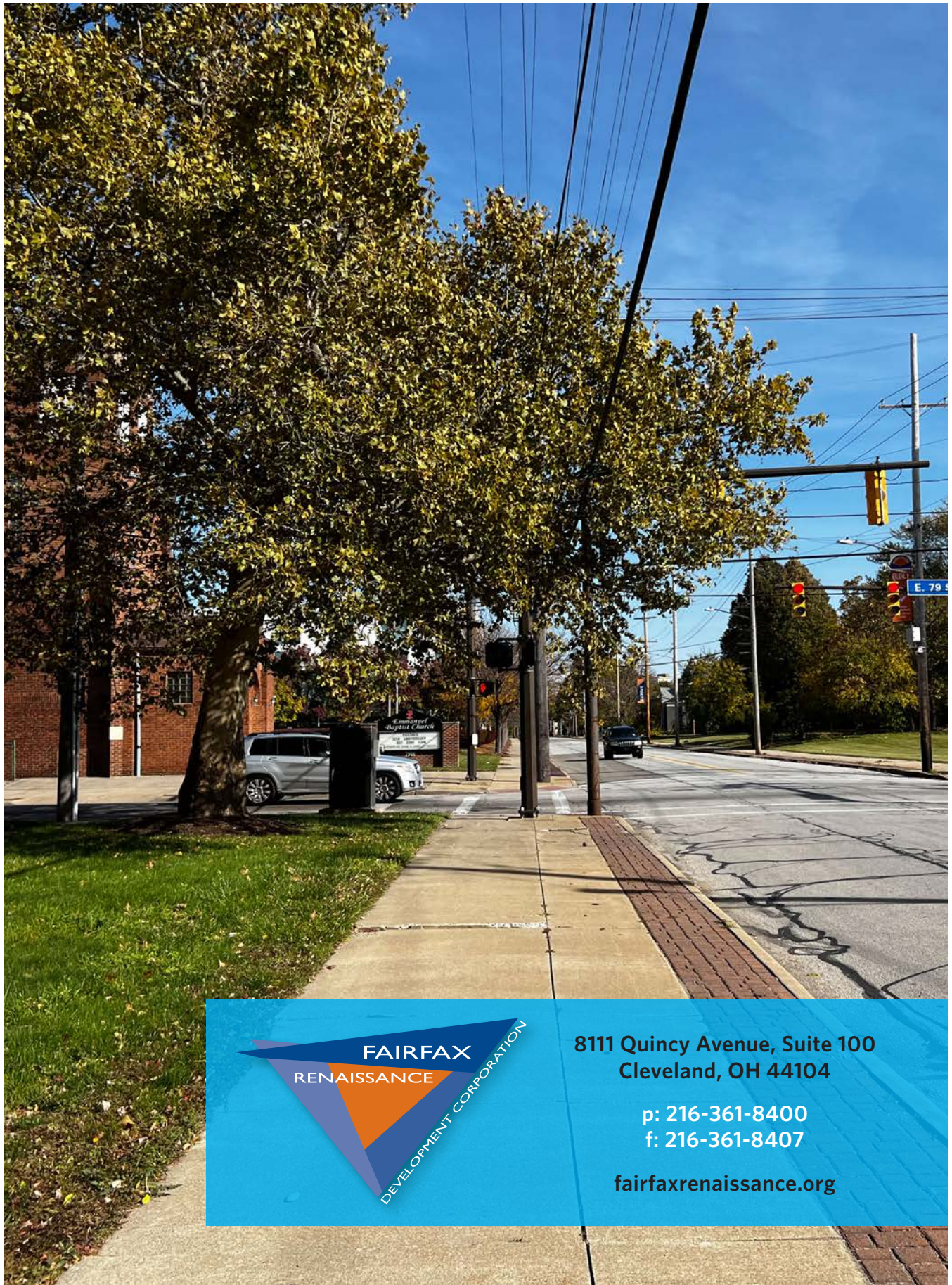


KEY	
	MULTIFAMILY RESIDENTIAL
	LIVE-WORK SPACE
	INSTITUTION
	PARK
	OPPORTUNITY SITE

- 1** ARTIST FOCUSED 8-UNIT HOUSING
- 2** LIVE-WORK UNITS WITH GROUND FLOOR GALLERIES, SHOPS, OR WORKSHOPS
- 3** NEW ART INSTALLATIONS IN QUINCY PARK
- 4** ART CROSSWALKS
- 5** NEW ART INSTALLATIONS IN QUINCY GARDENS



89th Rising The 89th Rising Housing Initiative is moving forward on E. 89th Street with the construction of multiple 8-unit stacked flats buildings designed to look like the large Victorian houses that were once on 89th street. This example serves as a useful model for artist focused housing on Quincy Avenue.



8111 Quincy Avenue, Suite 100
Cleveland, OH 44104

p: 216-361-8400
f: 216-361-8407

fairfaxrenaissance.org

Cleveland City Planning Commission

Special Presentations – Public Art



May 5, 2023



May 5, 2023

SE2023-009 – Ubuntu Gathering Place Murals: Seeking Final Approval

Location: 10299 Shaker Blvd.

Representative: Jeremy Ousley, Environmental Design Group

Committee Recommendation:

Approved as Presented by Southeast Design Review Advisory Committee.



The Ubuntu Gathering Place

Design Review Advisory Committee April 2021

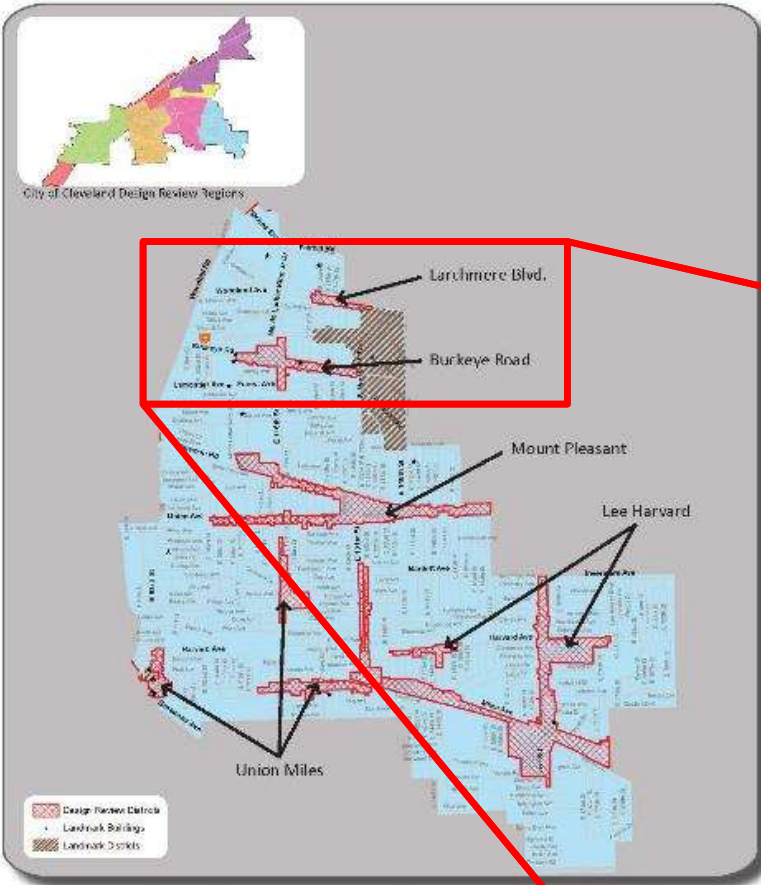


SINCE 1907
East End
Neighborhood House

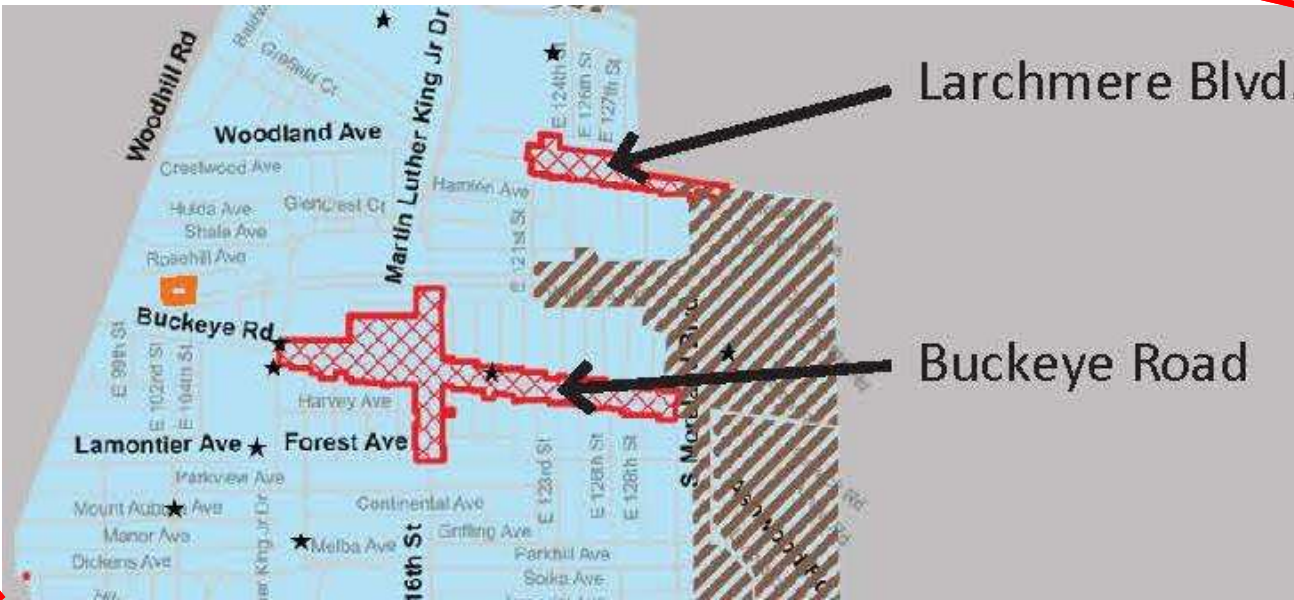


Western Reserve Land Conservancy
land • people • community

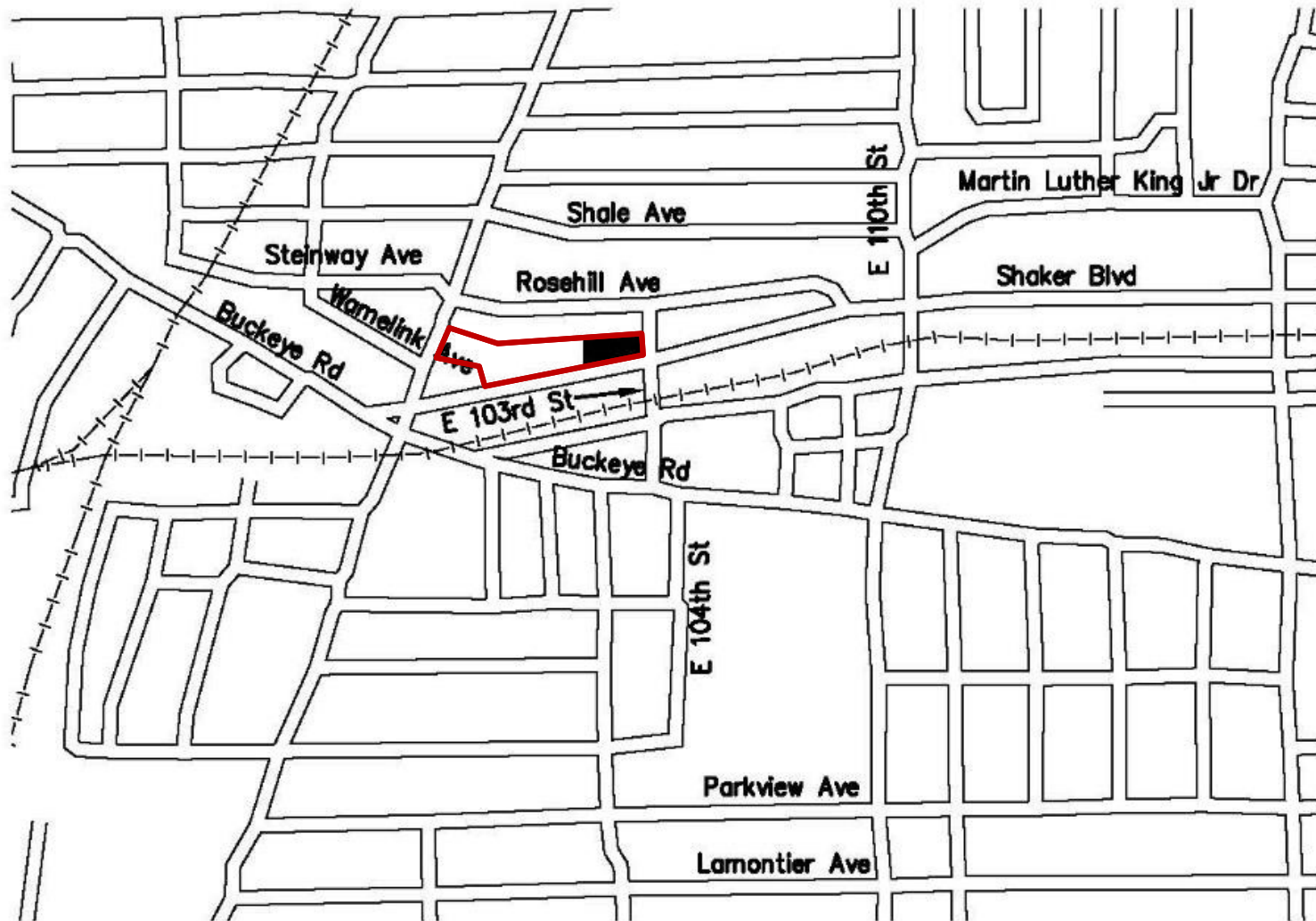




Southeast Design Review Region & Districts



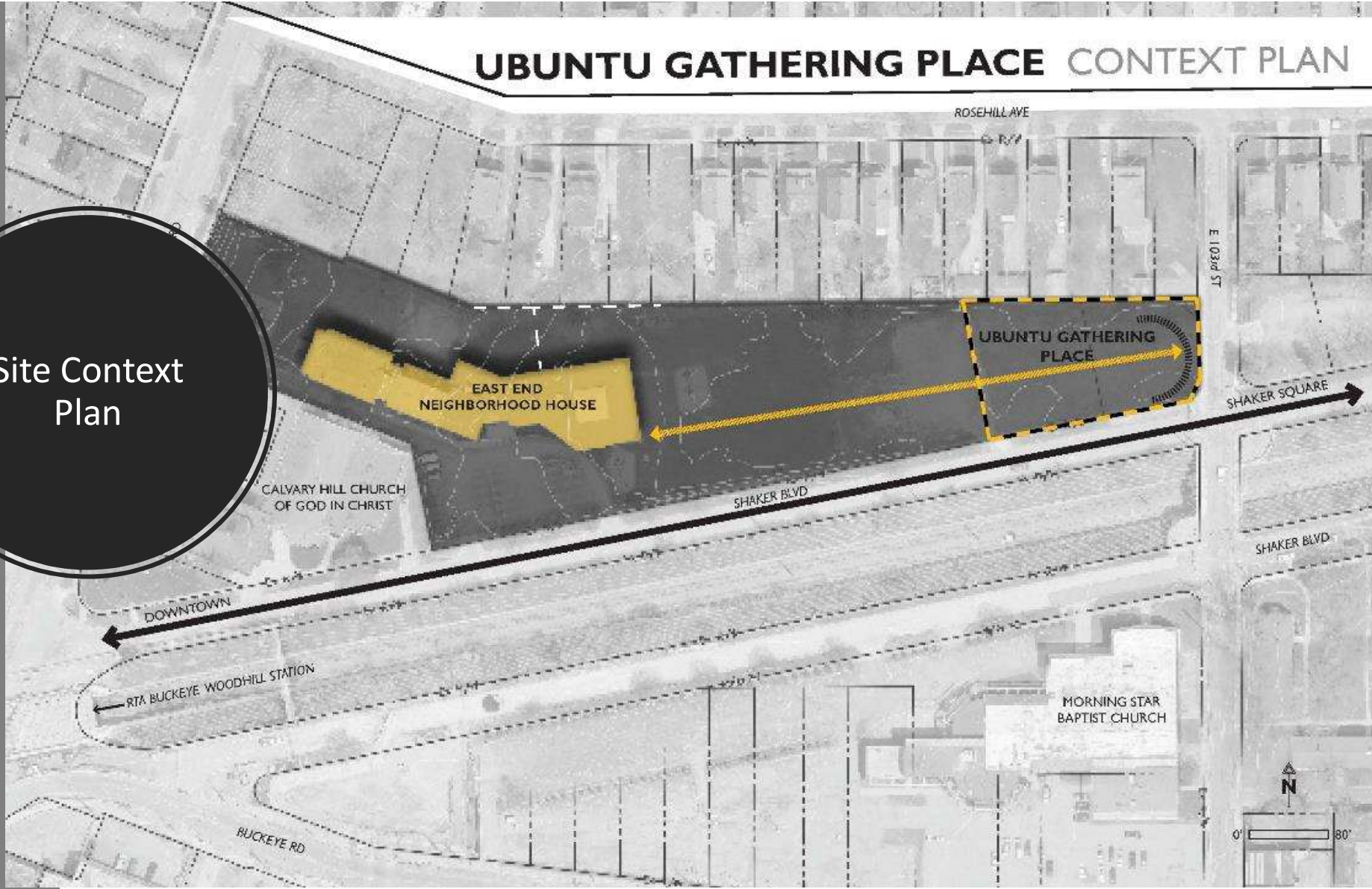
Location Map



Location Map

UBUNTU GATHERING PLACE CONTEXT PLAN

Site Context Plan





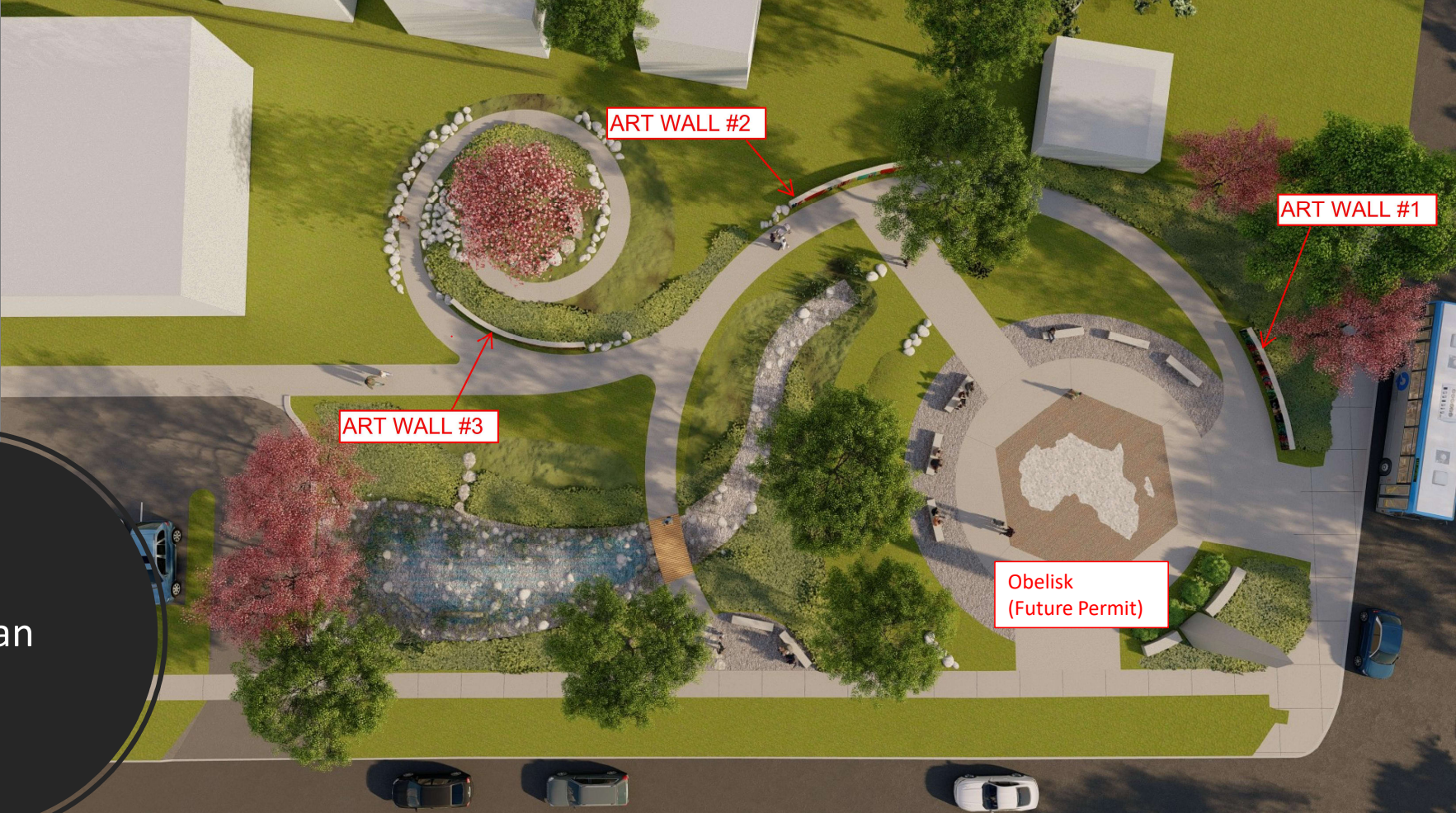
Phase 1 Completed – December, 2021



SINCE 1907

**East End
Neighborhood House**

Site Plan

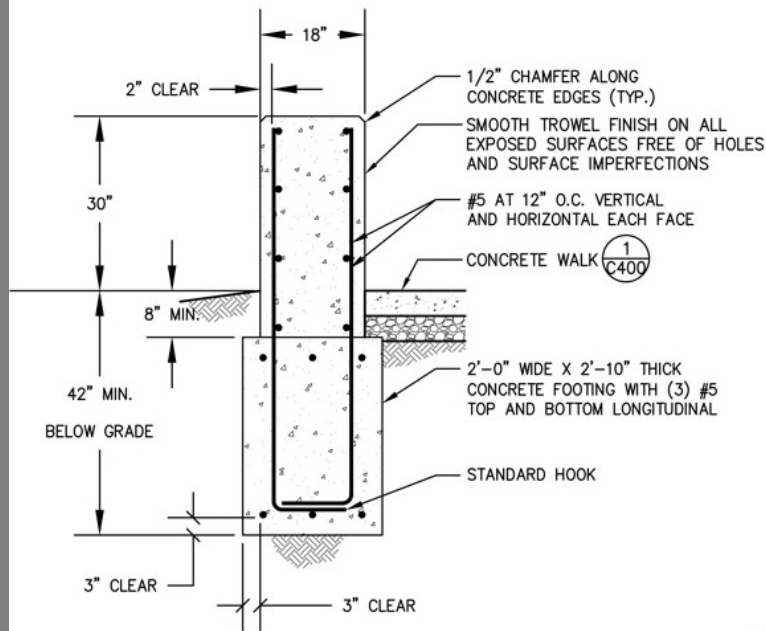


ART WALL #2

ART WALL #1

ART WALL #3

Obelisk
(Future Permit)



*The face of each wall is approximately 27'9"

Art Wall
Section

CODES AND STANDARDS

- NEW CONSTRUCTION HAS BEEN DESIGNED TO, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING BUILDING CODES AND STANDARDS:
 - 2017 OHIO BUILDING CODE (OBC 2017)
 - CITY OF CLEVELAND, OHIO, CODE OF ORDINANCES
 - ASCE 7-10, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- UNLESS EXPLICITLY MODIFIED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH PROVISIONS OF:
 - ACI 301-10, SPECIFICATIONS FOR STRUCTURAL CONCRETE
 - ACI 318-14, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

DESIGN LOADS (OBC 2017)

WIND DESIGN DATA

MINIMUM WIND LOAD (CITY OF CLEVELAND - ALLOWABLE)	
LESS THAN 50'	20 psf
ULTIMATE DESIGN WIND SPEED (ASCE 7, FIGURE 26.5-1)	$V_{ult} = 115$ mph
NOMINAL DESIGN WIND SPEED (OBC 1609.3.1)	$V_{nom} = 90$ mph
RISK CATEGORY (ASCE 7, TABLE 1.5-1)	II
EXPOSURE CATEGORY (ASCE 7, 26.7.3)	B

DESIGN STRESSES

CONCRETE MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS	$F'_c = 5,000$ PSI
REINFORCING BARS (ASTM A615, GRADE 60)	$F_y = 60,000$ PSI
SOIL BEARING PRESSURE FOR FOUNDATIONS PRESUMED	2,000 PSF

CONCRETE CONSTRUCTION

- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE ACI 318 AND ACI DETAILING MANUAL, EXCEPT THAT CONSTRUCTION AND REMOVAL OF FORMS AND RESHORING SHALL BE INSPECTED BY THE CONTRACTOR'S ENGINEER.
- REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM COVERAGE. PLACE BARS AS NEAR TO THE CONCRETE SURFACE AS THESE MINIMA PERMIT WHEREVER POSSIBLE, UNLESS NOTED OTHERWISE:
 - CONCRETE POURED AGAINST EARTH: 3"
 - FORMED CONCRETE IN CONTACT WITH EARTH: 2"
- FURNISH BAR SUPPORTS WHERE NECESSARY DURING CONSTRUCTION.
- ALL EXPOSED CORNERS OF CONCRETE ARE TO BE CHAMFERED 45°. MINIMUM CHAMFER TO BE 1/2".
- UNLESS NOTED OTHERWISE IN PROJECT SPECIFICATIONS OR DRAWINGS, ALL EXPOSED CONCRETE SUBJECTED TO FREEZING AND THAWING SHALL HAVE A MINIMUM CEMENT CONTENT OF 610 POUNDS PER YARD, A MAXIMUM WATER/CEMENT RATIO OF 0.40, AND 6%±1.5% OF ENTRAINED AIR.
- BAR BENDS SHALL BE MADE COLD. BARS SHALL NOT BE BENT AFTER ANY PORTION OF THE BAR IS ENCASED IN CONCRETE.
- LAP #5 BAR = 36"



MATCH BELOW



MATCH ABOVE

Art Wall #1
Octavio Logo
Ubuntu
Theme



MATCH BELOW



MATCH ABOVE

Art Wall #2
Nathalie
Bermudez
Ancestral/
Reflective Theme



Art Wall #3
Christa Childs
Literacy
Theme

Installation
Details

	ART WALL #1 OCTAVIO LOGO	ART WALL #2 NATHALIE BERMUDEZ	ART WALL #3 CHRISTA CHILDS
MATERIALS	Nova Color acrylic paint with long-lasting exterior premium colors A clear coat of varnish will be applied for protection	A combination of acrylic and aerosol paints	A combination of acrylic paint and aerosol paints
INSTALLATION METHOD	A white layer of base paint will be applied, and the mural will be painted over this white base. Only the front face of the wall will be painted	Paint will be applied directly onto wall Only the front face of the wall will be painted	Paint will be applied directly onto wall Only the front face of the wall will be painted
MAINTENANCE	The mural can be protected every two years with a clear coat of exterior varnish (Nova Color exterior flat varnish)	The mural can be protected every two years with a clear coat of exterior varnish (Nova Color exterior flat varnish)	The mural can be protected every two years with a clear coat of exterior varnish (Nova Color exterior flat varnish)

*Each art wall will include an embedded plaque on the top with a QR Code linking the artists website

ART SHOWN DOES NOT REFLECT ACTUAL ART TO BE INSTALLED



ART WALL #3

ART WALL #2

ART WALL #1

Obelisk
(Future Permit)

Perspective
View

ART SHOWN DOES NOT REFLECT ACTUAL ART TO BE INSTALLED

ART WALL #2

ART WALL #1

Obelisk
(Future Permit)

Perspective
View



ART SHOWN DOES NOT REFLECT ACTUAL ART TO BE INSTALLED



ART WALL #2

ART WALL #1

Obelisk
(Future Permit)

Perspective
View

ART SHOWN DOES NOT REFLECT ACTUAL ART TO BE INSTALLED



ART WALL #3

ART WALL #2

Obelisk
(Future Permit)

ART WALL #1

Perspective
View

ART SHOWN DOES NOT REFLECT ACTUAL ART TO BE INSTALLED



ART WALL #2

ART WALL #1

ART WALL #3

Perspective
View

ART SHOWN DOES NOT REFLECT ACTUAL ART TO BE INSTALLED



ART WALL #2

ART WALL #3

Perspective
View

ART SHOWN DOES NOT REFLECT ACTUAL ART TO BE INSTALLED



Perspective
View



Questions

Cleveland City Planning Commission

Staff Report



May 5, 2023



May 5, 2023

Cleveland Hopkins International Airport **“Picket Fences”** Artwork Relocation:
Seeking Final Approval

Location: CLE Ground Transportation Center Exterior

Representatives: Tarra Petras, Public Art Coordinator, City of Cleveland

Shari Cloud, City of Cleveland



**City of Cleveland Public Art Program
(Chapter 186)
Artwork Approval – Cleveland Hopkins
Ground Transportation Center**

City Planning Commission
May 6, 2023



CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland Hopkins Ground Transportation Center

Artist: Mark Howard

REQUEST FOR FINAL APPROVAL OF ARTIST RENDERING

Location: Exterior of newly renovated Ground Transportation Center at CLE (ENTRANCE RAMP)

Budget: \$36,000

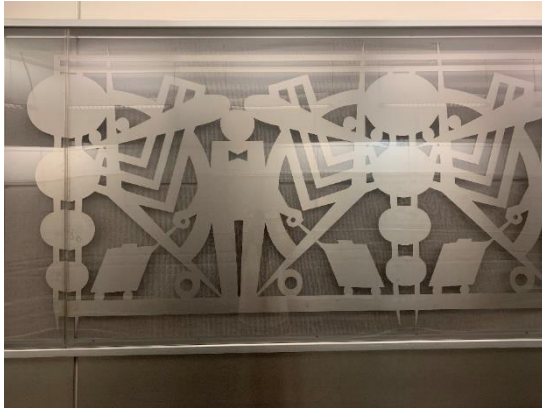
Artwork type: Stainless Steel Laser-cut Mural

ADDITIONAL INFORMATION:

Rather than issuing an RFQ for new artwork, the decision of the Public Art Committee and CLE was an invitation to the original artist to repurpose existing artwork from (the closed) Concourse D and reconfigure a portion of it to be affixed to an exterior wall at the recently renovated Ground Transportation Center at the airport.

LOCATION EXPLORATION: Current Location of Artwork, Concourse D Tunnel

Picket Fences by Mark Howard



13'



13' 9"



15' 4"



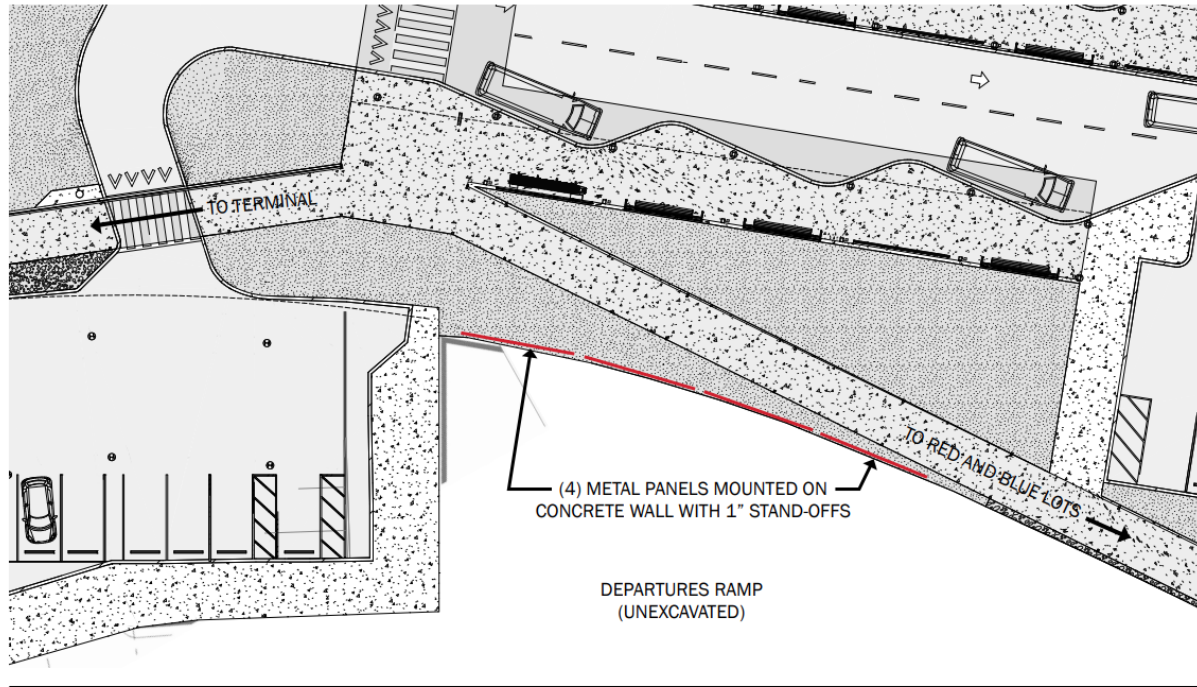
15' 3"

Picket Fences, designed by Cleveland Artist Mark Howard is a laser cut stainless steel mural that once adorned the Continental Airlines underground walkway (Concourse D). Each piece represents an aspect of travel – *Man with Luggage, Runway, Time Flies and Airplane*. The total linear feet is approximately 57'.

MATERIAL INFORMATION:

The artwork consists of four (4) laser cut, stainless steel panels approximately 57 linear feet to be affixed to a 65 foot concrete wall with 1" standoffs. Solar or electrical in-ground lighting will also be installed

SITE PLAN & LOCATION



ARTWORK INSTALLATION
SITE PLAN (FEBRUARY 2023)

CLEVELAND HOPKINS INTERNATIONAL AIRPORT - GROUND TRANSPORTATION CENTER



LOCATION – ADDITIONAL CONTEXTUAL VIEWS



ARTIST CONCEPT/RENDERING



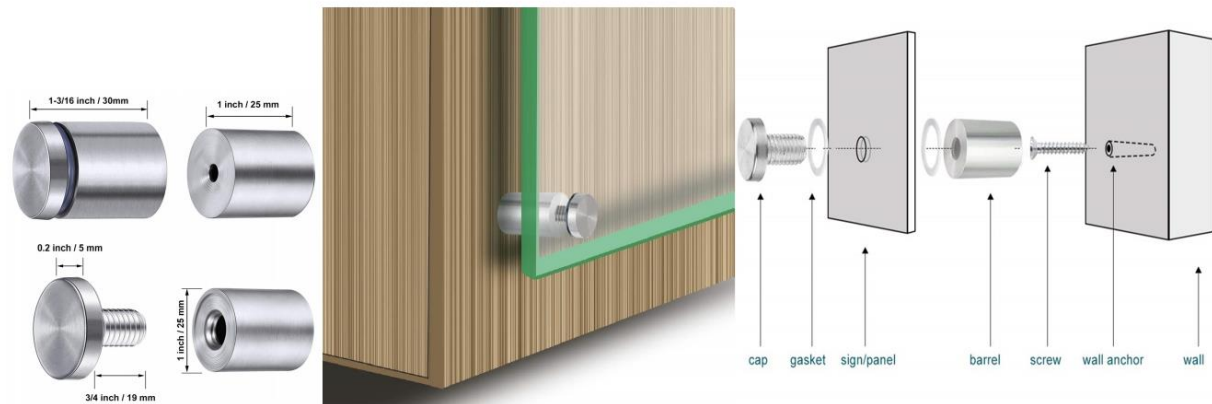
ARTWORK INSTALLATION
PHOTO MONTAGE (FEBRUARY 2023)

CLEVELAND HOPKINS INTERNATIONAL AIRPORT - GROUND TRANSPORTATION CENTER



RECOMMENDED INSTALATION & MATERIAL OVERVIEW

Stainless Steel Standoff Screws



Cleveland City Planning Commission

Mandatory Referrals



May 5, 2023



May 5, 2023

Resolution No. 516-2023

(Introduced by Councilmembers McCormack, Bishop and Hairston – by departmental request):
Declaring the intent to vacate all of the remaining portion of an unnamed alley, from the northerly line of PPN 003-23-019 to the centerline of Gould Court.

City Planning Commission

Friday, May 5th, 2023

Richard J. Switalski, PE

Administrative Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

MOCAP

Building Cleveland

Resolution No. 516-2023

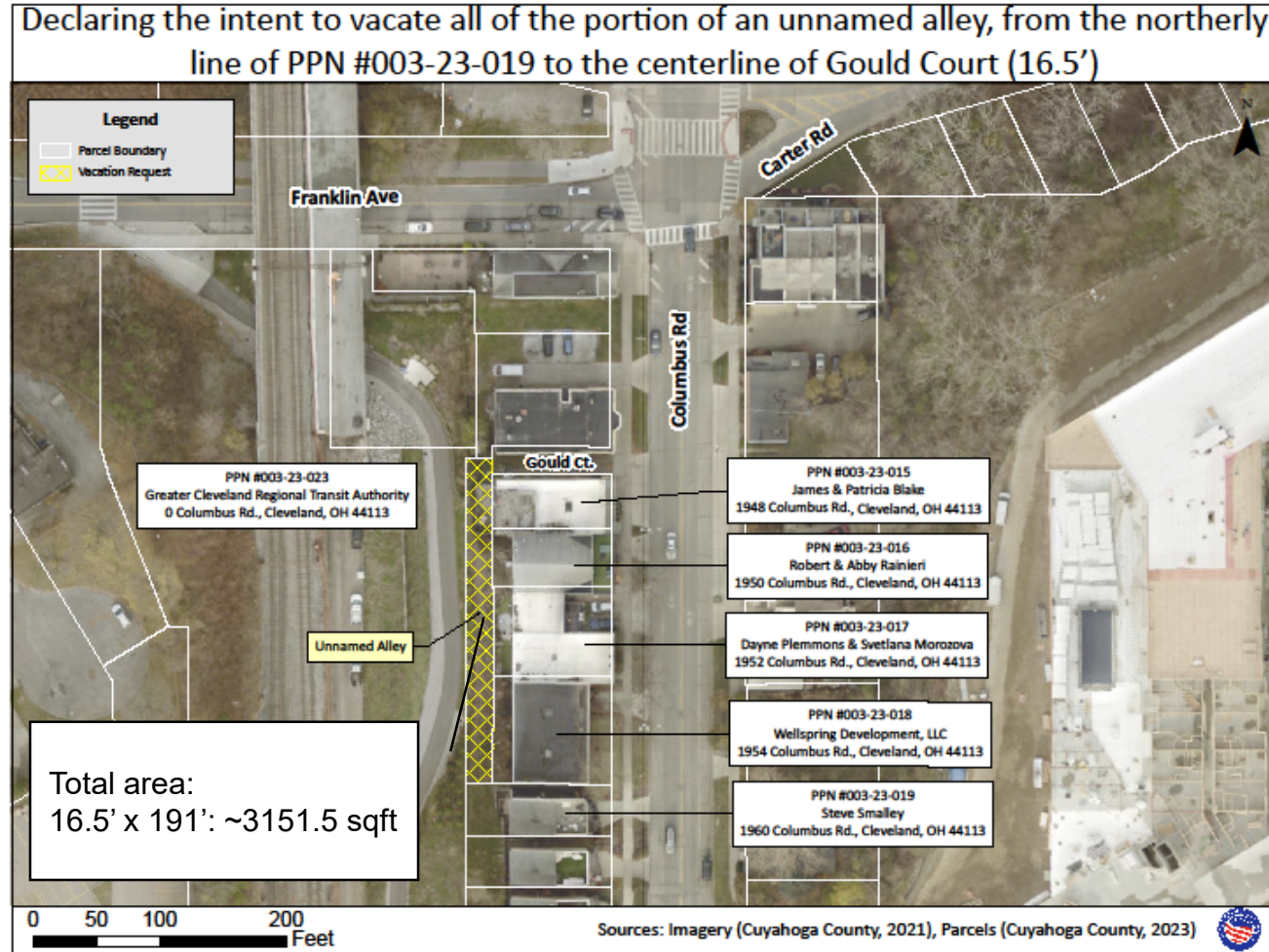
Declaring the intent to vacate all of the remaining portion of an unnamed alley, from the northerly line of PPN 003-23-019 to the centerline of Gould Court

- The purpose of the proposed vacation is to facilitate future development by individual parcel owners

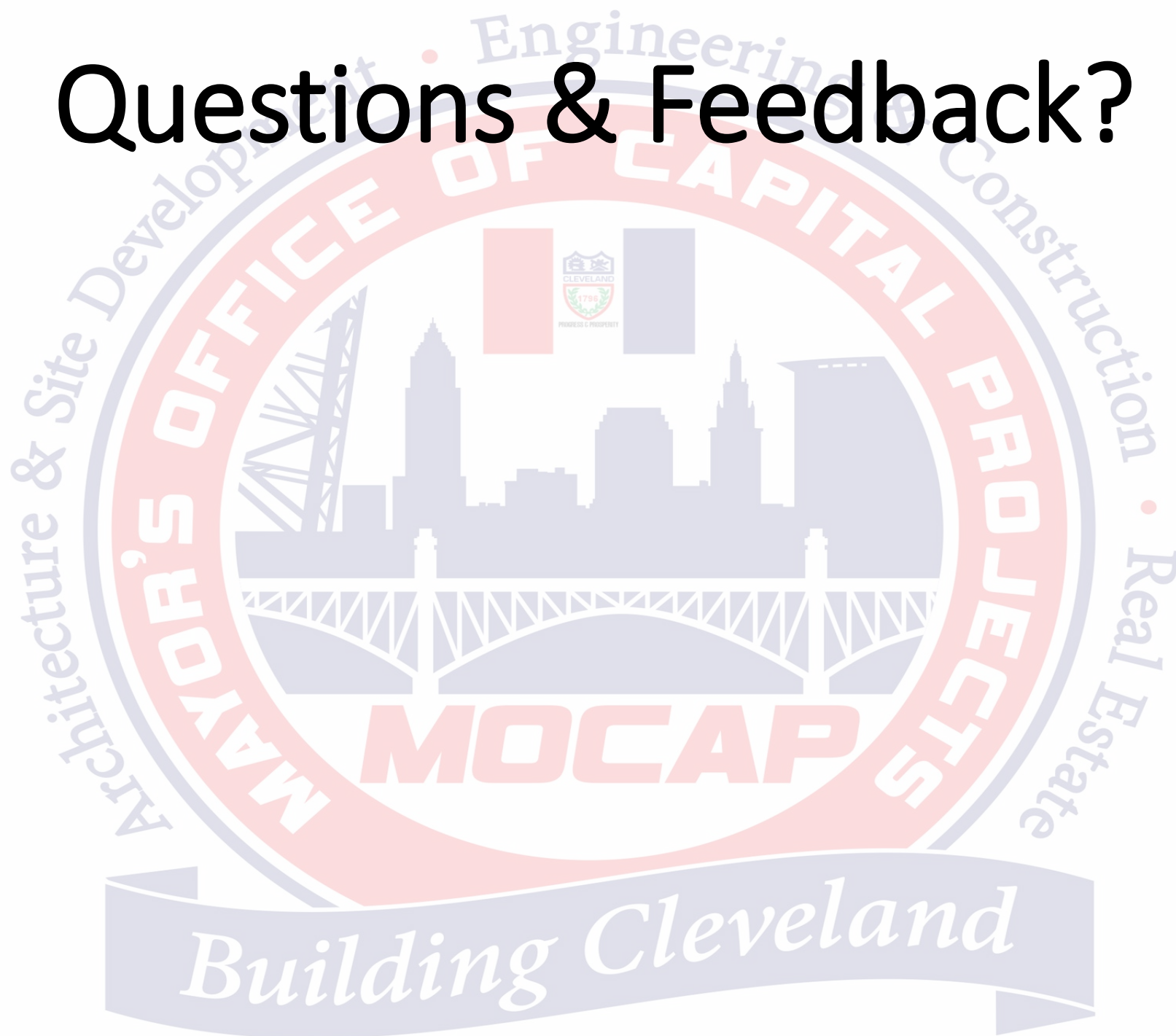
Building Cleveland

Resolution No. 516-2023

Limits of proposed vacation



Questions & Feedback?





May 5, 2023

Resolution No. 517-2023

(Introduced by Councilmembers Howse, Bishop and Hairston – by departmental request):
Declaring the intent to vacate a portion of Curtis Avenue N.E., east of East 59th Street.

City Planning Commission

Friday, May 5th, 2023

Richard J. Switalski, PE

Administrative Manager

Mayor's Office of Capital Projects

Division of Engineering & Construction

MOCAP

Building Cleveland

Resolution No. 517-2023

Declaring the intent to vacate a portion of Curtis
Avenue, east of East 59th Street

- The purpose for this vacation request is to allow Manufacturing Advocacy & Growth Network Inc. (MAGNET) to install greenspace in the present Curtis Avenue right of way

Building Cleveland

Resolution No. 517-2023

Existing site conditions



Building Cleveland

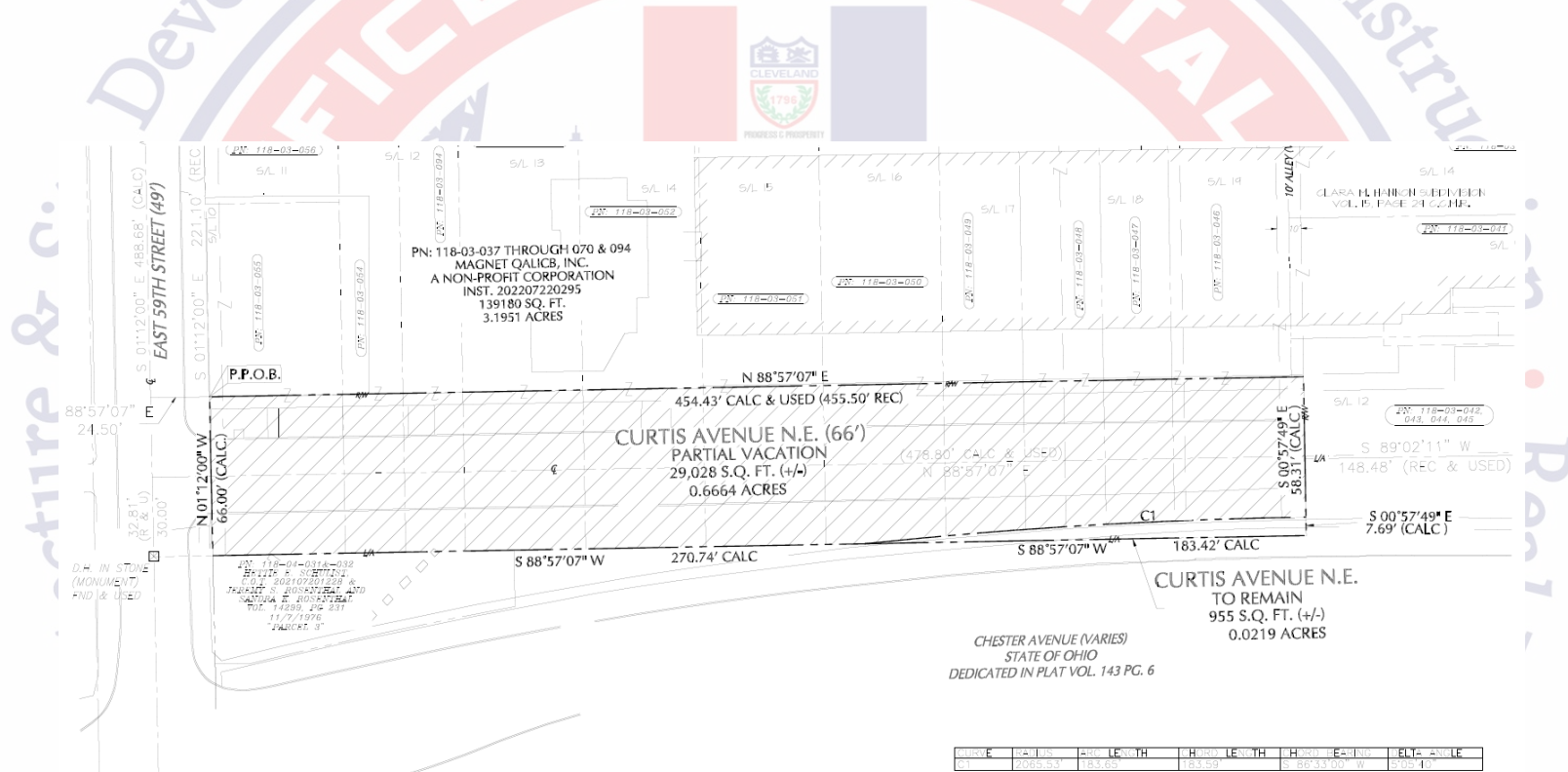
Resolution No. 517-2023

Proposed site plan

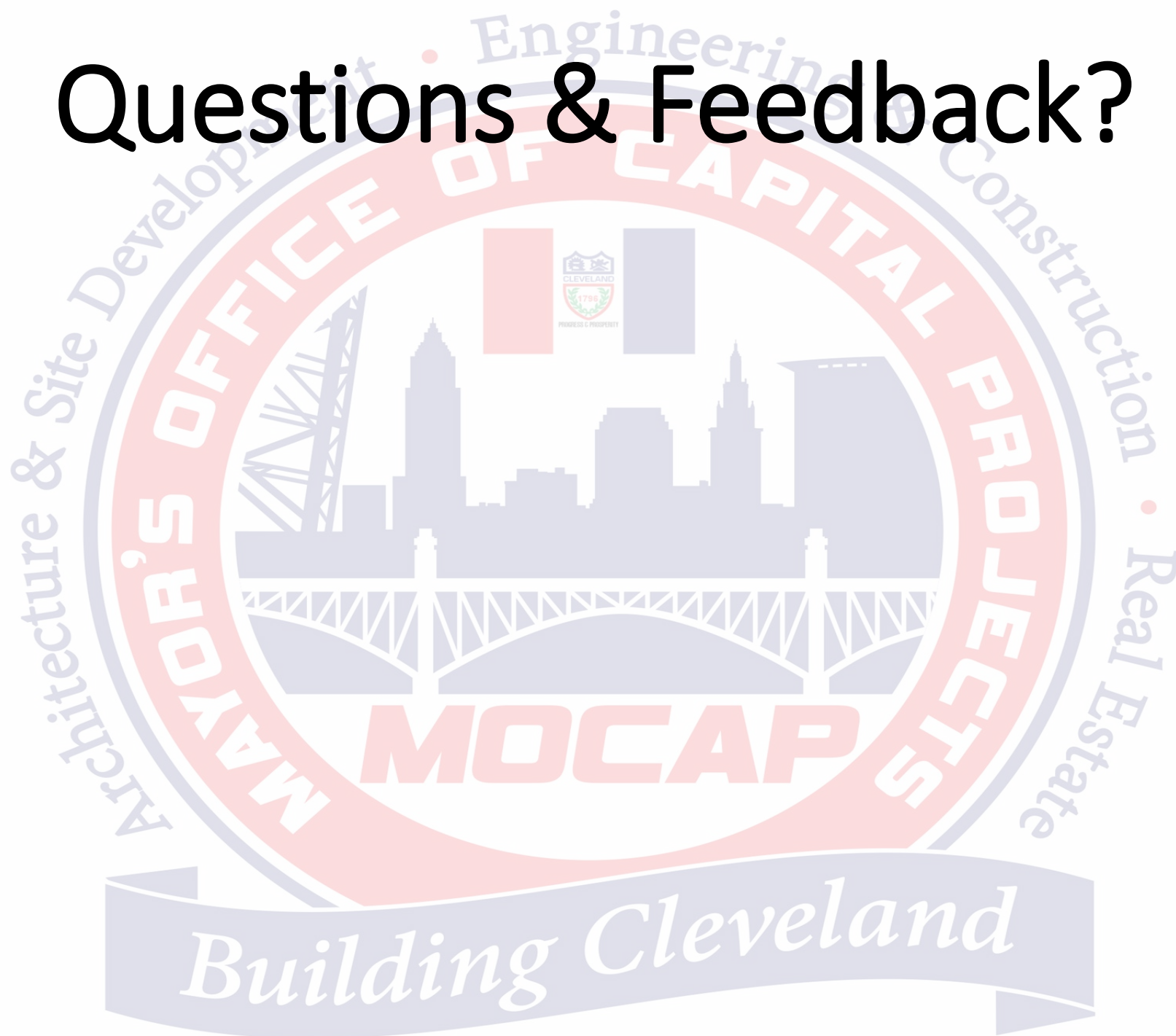


Resolution No. 517-2023

Limits of proposed vacation



Questions & Feedback?





May 5, 2023

Ordinance No. 488-2023

(Introduced by Councilmember McCormack and Griffin – by departmental request):

Determining the method of making the public improvement of constructing improvements to the North Coast Harbor identified under the Capital Improvement Plan; and authorizing the Director of Port Control to enter into one or more public improvement contracts for the making of the improvement; and authorizing the Director of Port Control to enter into various written standard purchase and requirement contracts needed for the purchase of lighting, signage, landscaping, and other outdoor furnishings and amenities, including labor and installation, to implement the Capital Improvement Plan, for the Department of Port Control.

North Coast Harbor Project Area



Surface Ponding & Paver Settling



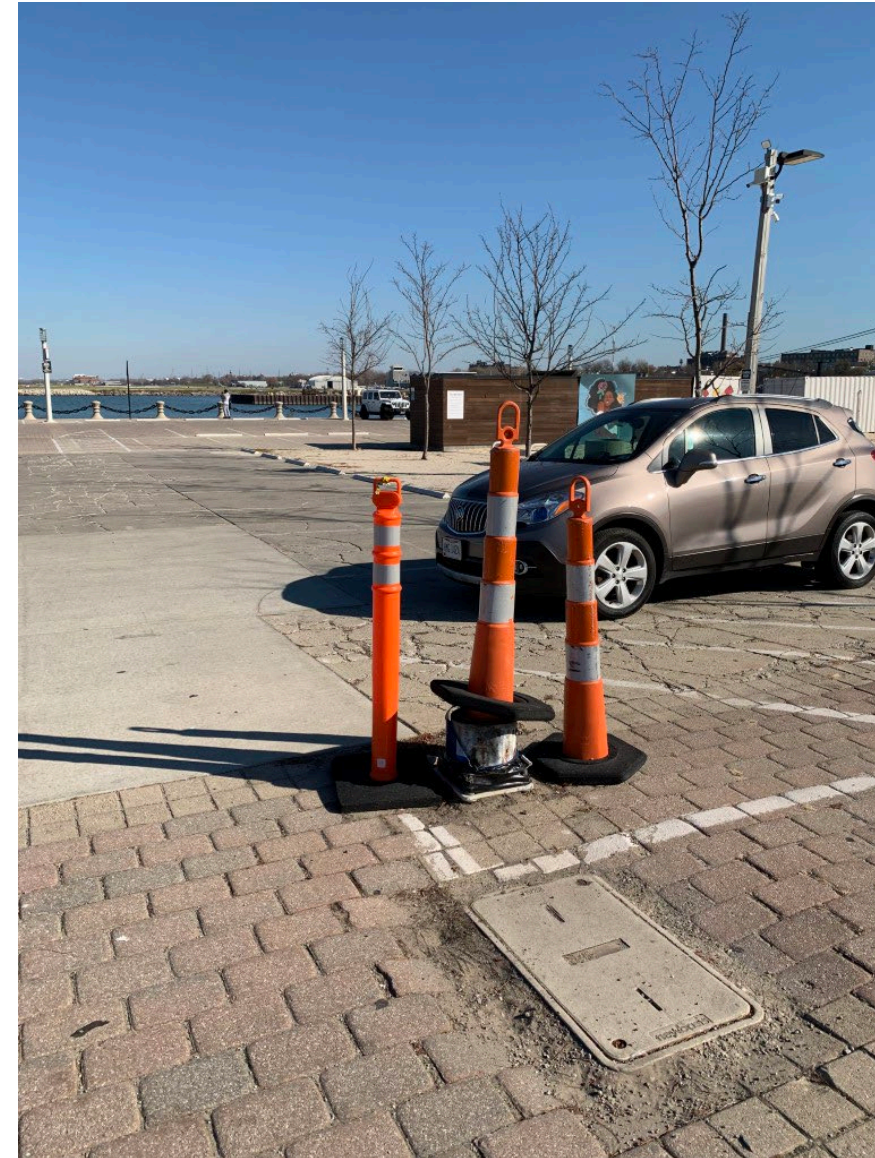
North Coast Harbor Tree Pit Failures & Missing Trees



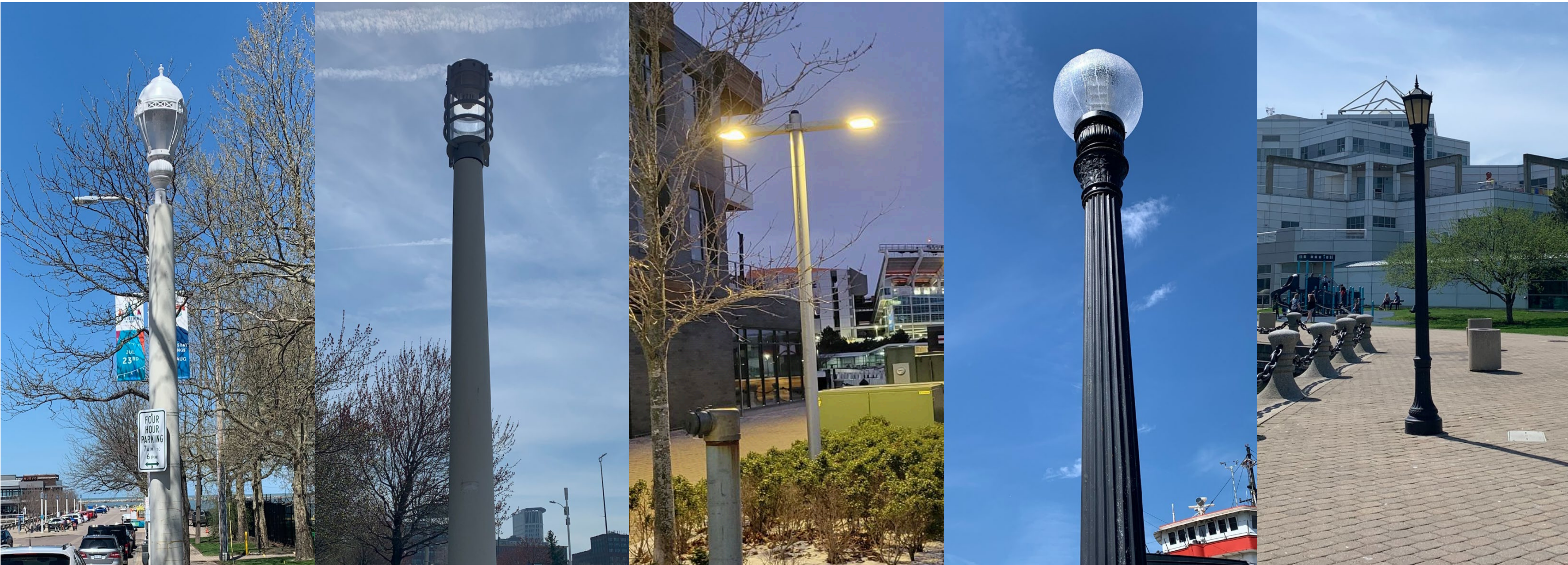
Failed Electrical Pull Boxes



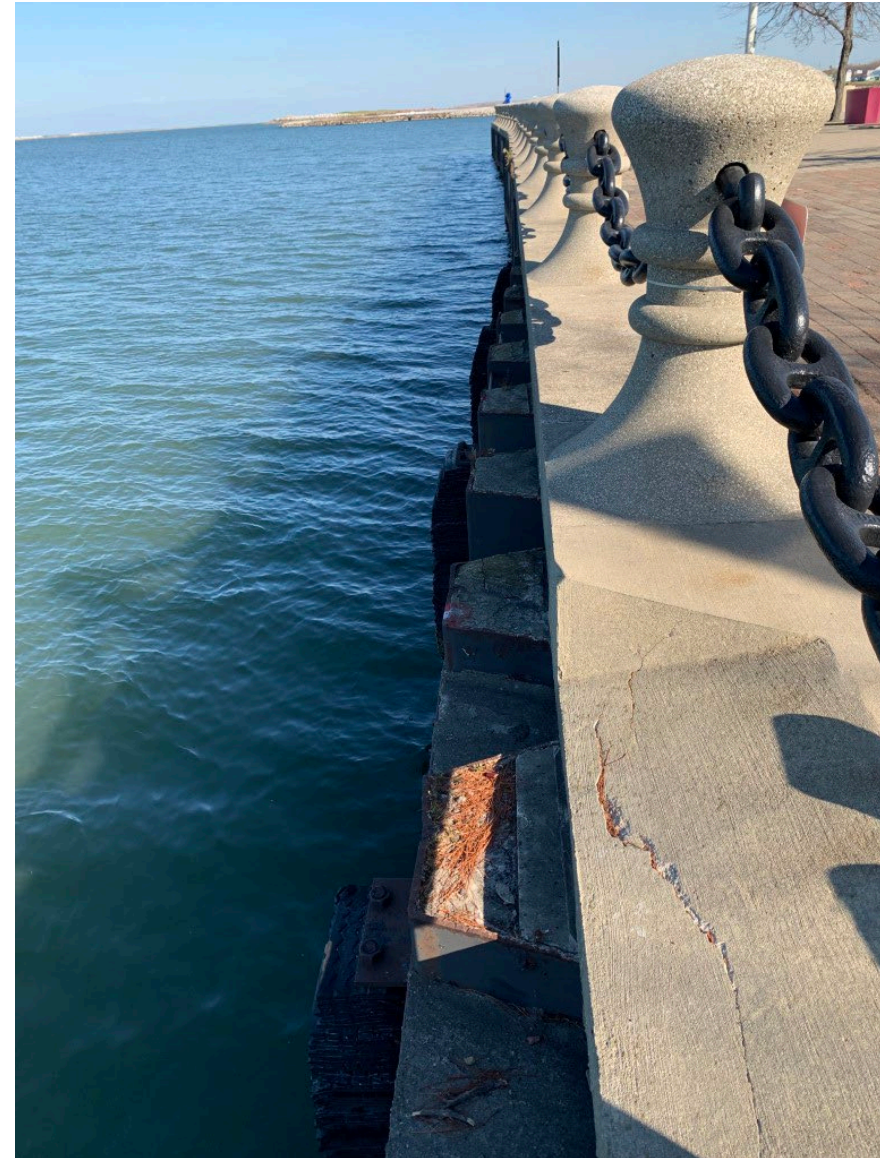
Areas of Insufficient Lighting



Inconsistent Poles and Fixtures



Concrete Parking Pad & Bulkhead



Dated Furniture & Poor Landscaping





May 5, 2023

Ordinance No. 520-2023

(Introduced by Councilmembers Bishop, Hairston and Griffin – by departmental request):
Authorizing the Directors of City Planning and/or Public Works, as appropriate, to enter into one or more agreements with The Convention and Visitors Bureau of Greater Cleveland, Inc. dba Destination Cleveland for professional services for the design, programming, and project management of several experiential light installations on or benefitting City properties and to accept the donation of any equipment, materials, supplies, and services for lighting on such properties; authorizing other agreements; and authorizing the appropriate director to apply for and accept any gifts, grants or services from any public or private entity.



May 5, 2023

Ordinance No. 526-2023

(Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin – by departmental request): Authorizing the Director of Capital Projects to enter into one or more agreements with Bedrock Management Services, LLC, or its designees, to provide, or cause to provide, professional services for the detailed design of various public improvements and to accept the donation of the construction of the improvements and to purchase any equipment, materials, supplies, and services for the making of the improvements; authorizing other agreements; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.



May 5, 2023

Ordinance No. 528-2023

(Introduced by Councilmembers Polensek, Bishop and Griffin – by departmental request):
Authorizing the Director of Capital Projects to enter into one or more contracts with the County of Cuyahoga to contribute funding for the construction of the Euclid Beach Trail Connector; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.



May 5, 2023

Ordinance No. 529-2023

(Introduced by Councilmembers Polensek, Hairston, Bishop and Griffin): Authorizing the Director [of] Capital Projects to enter into one or more contracts with the Board of Park Commissioners of the Cleveland Metropolitan Park District for the detailed design of Euclid Creek Greenway Phase 2 North project; and to apply for and accept any gifts, grants or services from any public or private entity.

Waterfront Activation Fund

Mayor Bibb's ARPA Initiatives to Transform our Waterfront

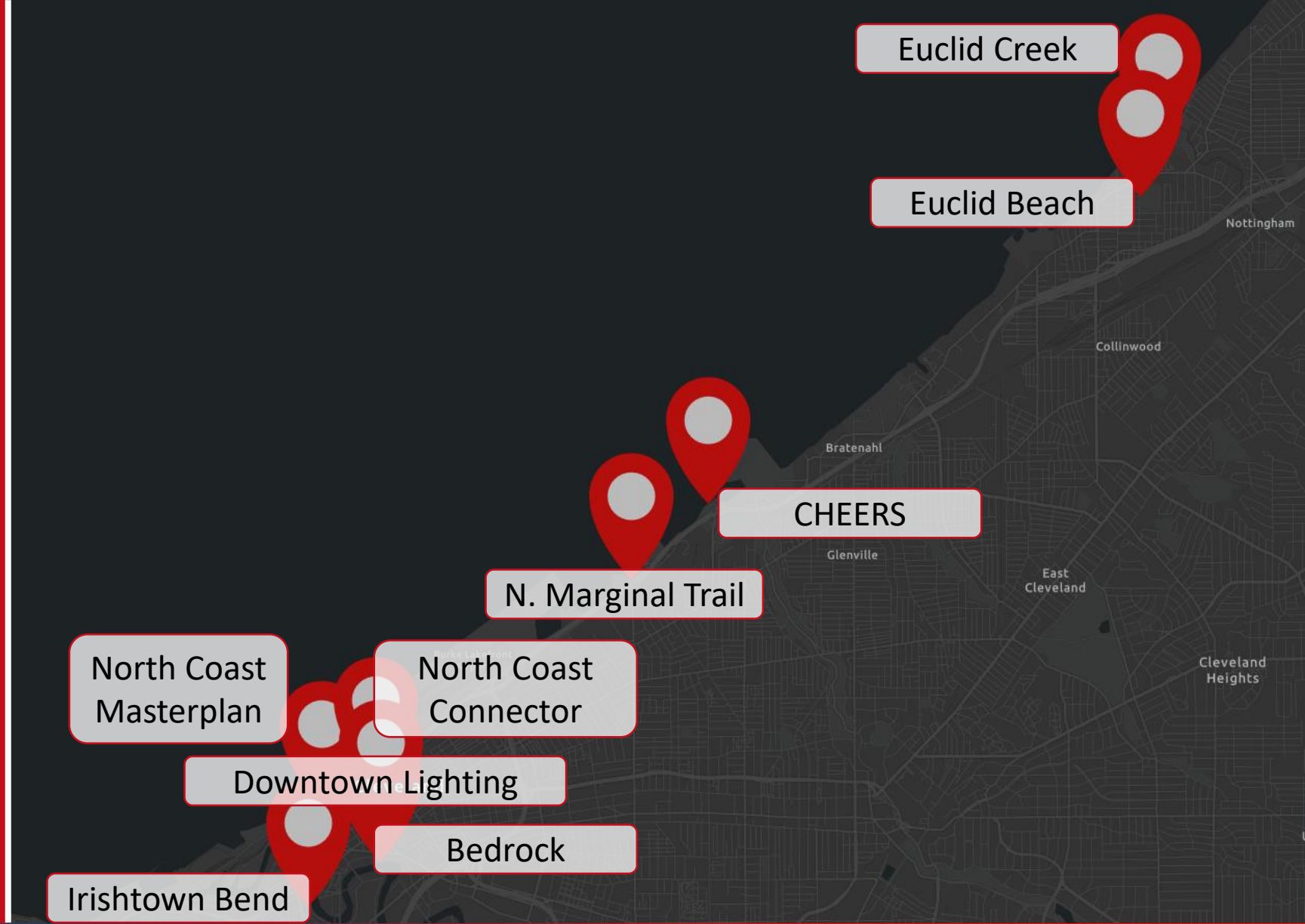
Cleveland City Planning Commission
May 5, 2023



CITY OF CLEVELAND
Mayor Justin M. Bibb

Waterfront Activation

*is taking place along
the river and
lakefronts from
Collinwood to
Downtown.*



“The Lakefront *belongs to all of us* and therefore must be a place for all of us.”

-Mayor Justin Bibb

Waterfront Values

Equity

**Economic Opportunity
through Redevelopment**

Sustainability

Downtown Experiential Lighting

ARPA funding: **\$1M**

Leverage/total cost: **\$6.75M**

Timeline: Construction and installation will begin in Summer 2023, with a launch in Spring, 2024

Key Partners: Destination Cleveland, Downtown Cleveland Alliance, Group Plan Commission

Project:

A striking display of experiential lighting in Downtown Cleveland will create a unique and memorable experience for residents, workers and visitors. Destination Cleveland proposes a bold experiential lighting project to help make Public Square, Euclid Avenue and the Malls safer, more vibrant and more interesting spaces at night.

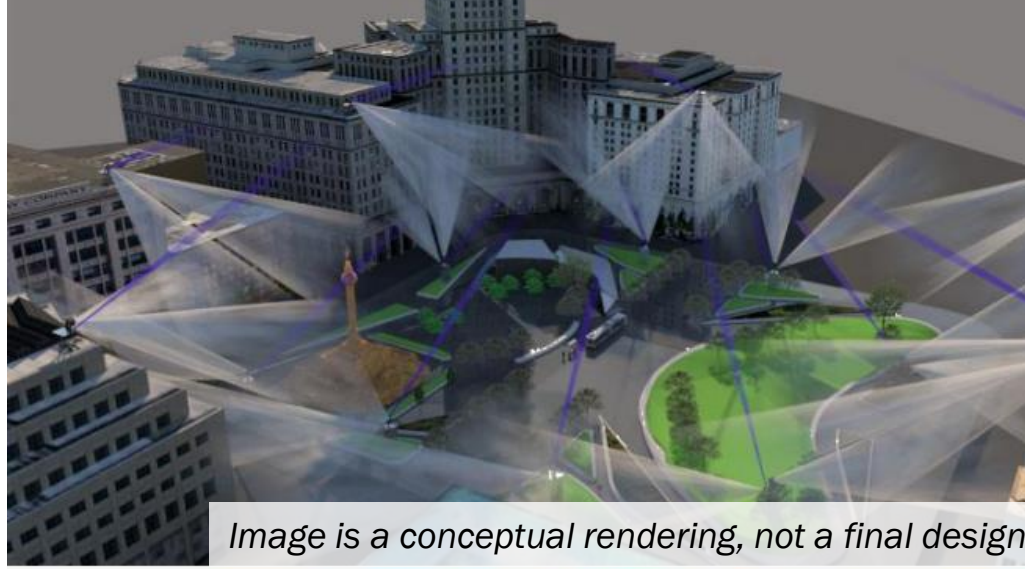


Image is a conceptual rendering, not a final design



(Examples of comparable technology applied in other locations)

Inspiration



Bedrock Riverfront Infrastructure

ARPA funding: **\$3M**

Leverage/total cost: **\$7.2M**

Timeline: 2023 -2026 - Construction

Key Partners: Bedrock, NEORS, RTA, Port of Cleveland, Metroparks, NOACA, Downtown Cleveland Alliance, Greater Cleveland Partnership, Flats Forward



Project:

In alignment with the Cuyahoga Riverfront Masterplan, Bedrock proposes to use ARPA funding in coordination with other public and private resources to advance critical public infrastructure, right of way and public space investments. Funds will be used for:

- Initial W. 3rd Street Improvements, inclusive of paving, street amenities, and utility improvement work
- Sewer and sewer facility improvements/relocation including force mains and pump station.
- Demolition of current Eagle Ramp facilities from W. 3rd to Ontario

Anticipated budget for these 3 initial public utility and infrastructure project components is estimated at \$7.2 million.

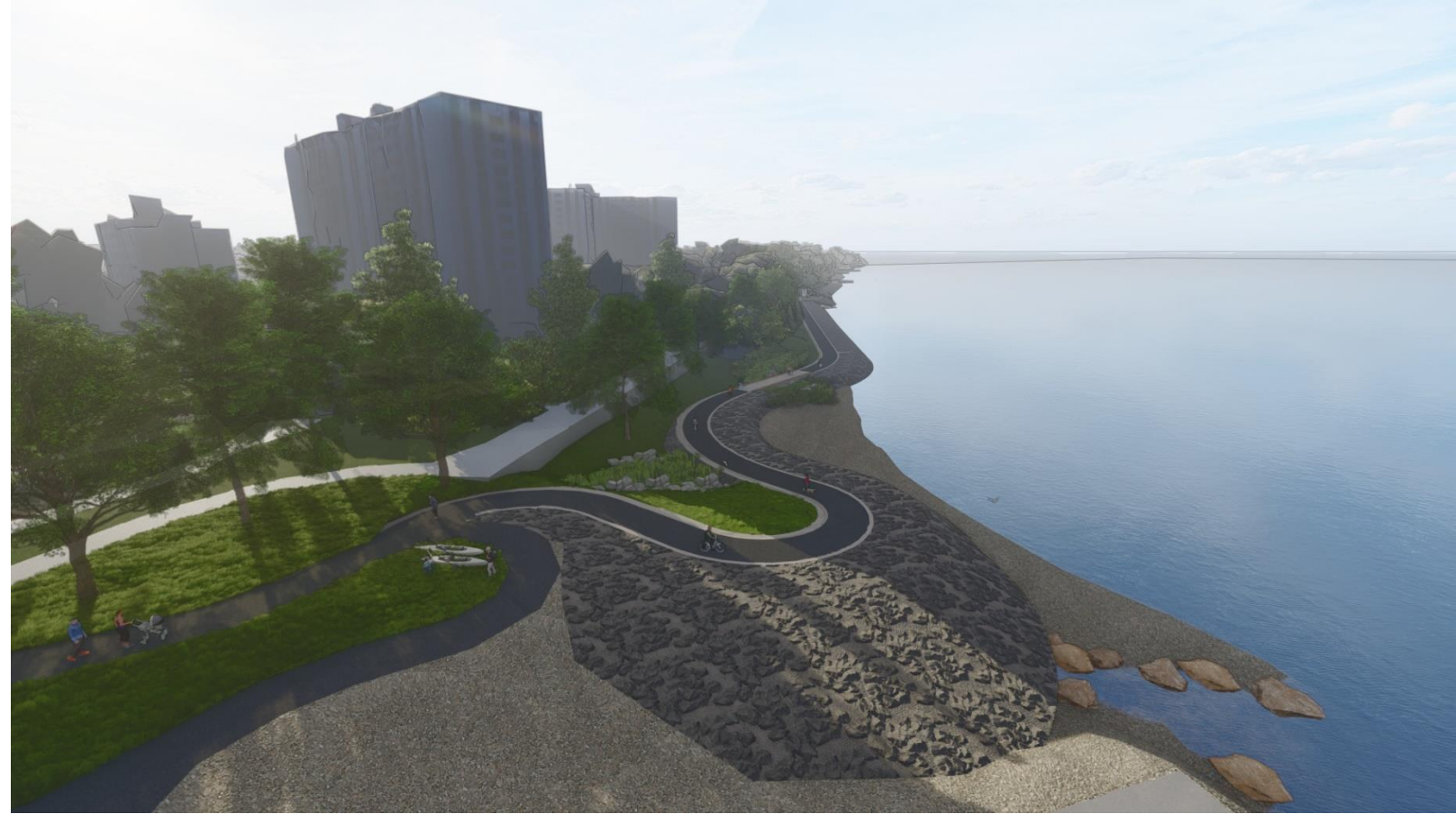
Euclid Beach Trail Connector

ARPA funding: **\$3M**

Leverage/total cost: **\$16M**

Timeline: Construction in 2024

Key Partners: Cuyahoga County,
Metroparks

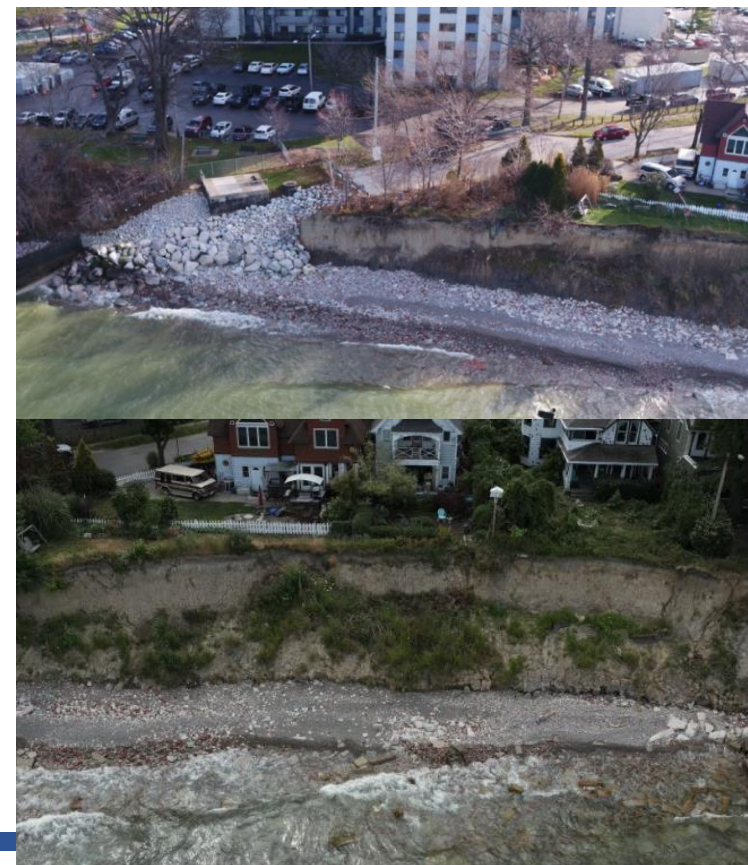


Project:

The Euclid Beach Trail Connector will expand public lakefront access from the Metroparks' Euclid Creek Reservation west along the neighborhoods of Beulah Park, Villa Beach and a small portion of Shore Acres. The Euclid Beach Trail Connector will be an approx. 0.44 mile bike/pedestrian trail. The project includes erosion control and public access along the waterfront.

Euclid Beach Trail Connector

EXISTING CONDITIONS



APPROXIMATE PROJECT AREA



CITY OF CLEVELAND
Mayor Justin M. Bibb

CONFIDENTIAL

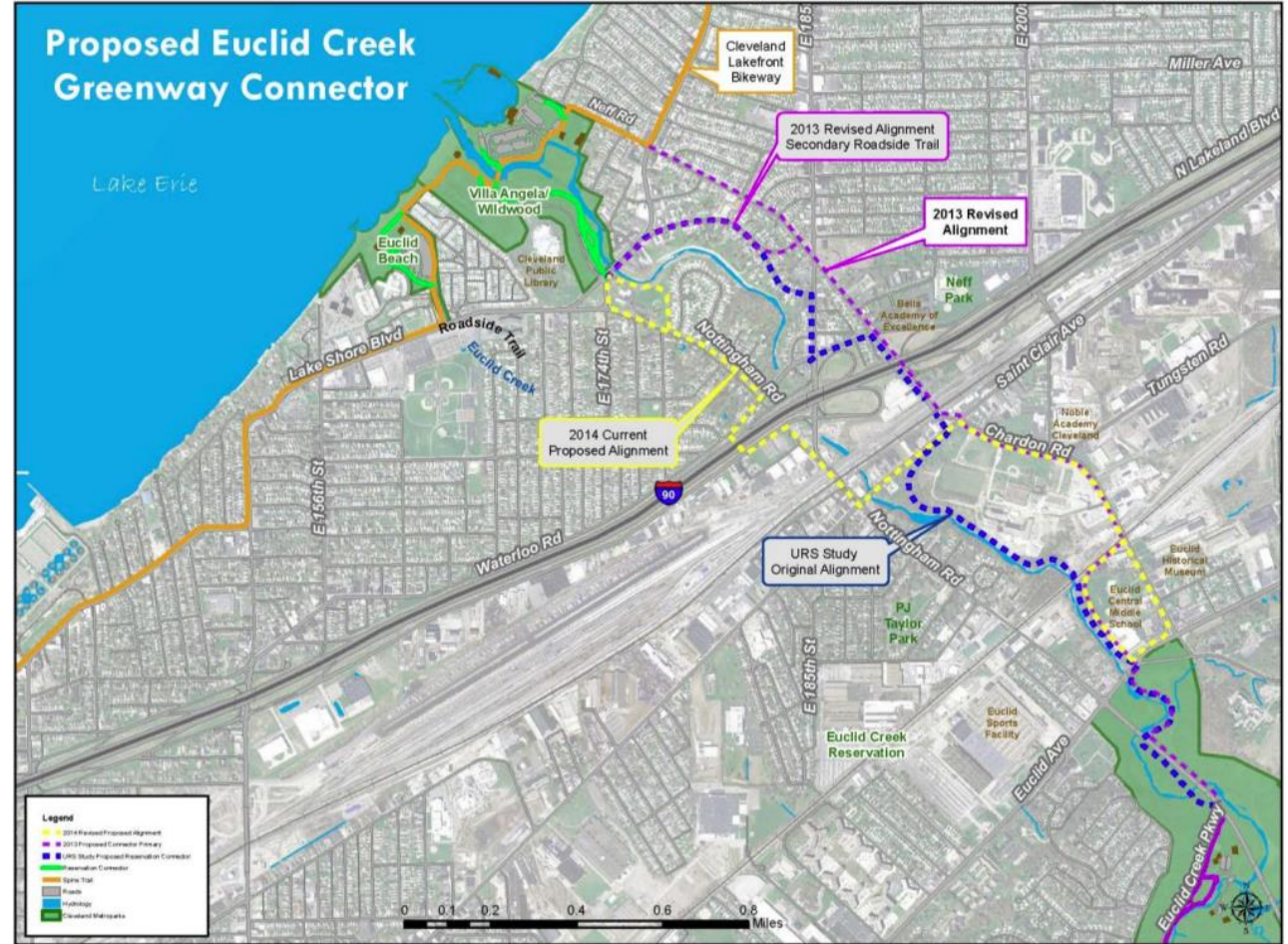
Euclid Creek Greenway

ARPA funding: **\$500,000**

Leverage/total cost: **\$800,000**

Timeline: 2023 – preliminary design;
2024 – detailed design and engineering

Key Partners: Cuyahoga County, Metroparks



Project:

The Euclid Creek Greenway is a multi-phased trail project to improve connections to the lakefront on the east side of Cleveland. The project will close a critical transportation gap in the region and connect the lower portion of Euclid Creek Reservation to its northern portion along the lakefront that includes Euclid Beach, Villa Angela and Wildwood parks in the city of Cleveland. The Euclid Creek Greenway Phase 2 North will be an approx. 2.0 mile trail to provide residents a low stress route to the parks on Lake Erie.

Downtown Lakefront Masterplan (near term interventions)

Inspiration

ARPA funding: **\$1M**

Timeline: Installations in 2023 and 2024, which will last 3-5 years

Key Partners: Greater Cleveland Partnership, Field Operations

Project:

Near term interventions demonstrate commitment and the city's promise that redevelopment of the lakefront for the benefit of all Clevelanders is a priority. Demonstrating the projects through semi-temporary means are great ways to analyze their value to Clevelanders. Bike lanes, racks, benches, shade structures, stages, pop-up vendors, fishing area enhancements, ADA docks for kayak launches, winter warming huts, play equipment, screens for movie nights, public art can be responsive to the community's input and serve to continue to solicit input and shape the final lakefront vision.



CITY OF CLEVELAND
Mayor Justin M. Bibb

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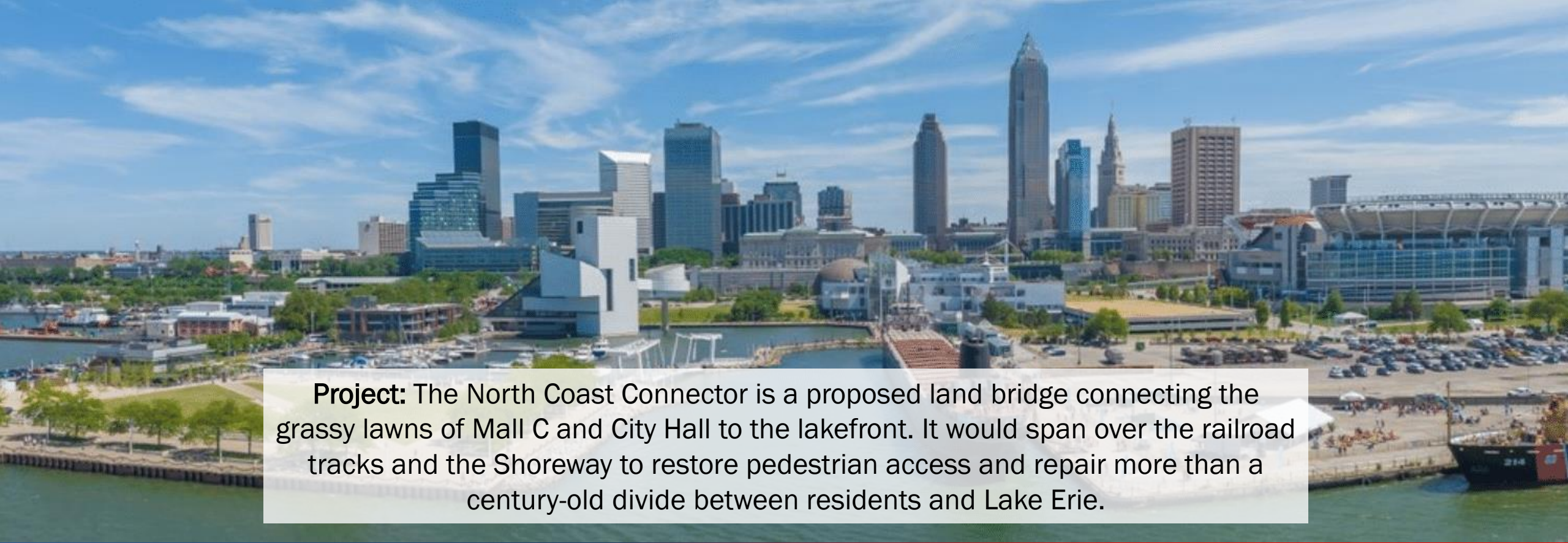
North Coast Connector

ARPA funding: **\$3M**

Leverage/total cost: **\$50M**

Timeline: 2023-Feasibility Study;
2024-Detailed Design and Engineering

Key Partners: Greater Cleveland
Partnership, Field Operations



Project: The North Coast Connector is a proposed land bridge connecting the grassy lawns of Mall C and City Hall to the lakefront. It would span over the railroad tracks and the Shoreway to restore pedestrian access and repair more than a century-old divide between residents and Lake Erie.

Irishtown Bend Park

ARPA funding: **\$5M**
Leverage/total cost: **\$95M**
Timeline: 2023-Bulkhead construction; 2023-24-Utility work; 2025-2026-Park Construction
Key Partners: Port Authority, LAND Studio, Metroparks, Ohio City, Inc.



Project:

\$5 million will support bulkhead and hillside stabilization and development of Irishtown Bend Park. Project partners will pursue federal support for these projects. City contribution will support local match requirements.

CHEERS Fishing Pier

ARPA funding: **\$1.5M**

Leverage/total cost: **\$14.5M**

Timeline: 2024 for design; permits secured in 2025; and construction in 2026

Key Partners: Port Authority, CHEERS!

Project:

The Cleveland Harbor Eastern Embayment Resilience Strategy (CHEERS) project is a concept that emerged from a yearlong study to determine how to transform Cleveland's lakeshore through reconnecting communities to the lake, improving public health, bolstering the economy, and benefiting the environment and natural habitat. The Early Implementation Phase of the CHEERS project will replace failing breakwall to maintain protected marina infrastructure, alter breakwall to facilitate paddle access, and expand nearshore habitat and provide additional 4-6 acres of parkland with enhanced fishing areas for residents.



Image is a conceptual rendering, not a final design

Waterfront Development Authority

ARPA funding: **\$3M**

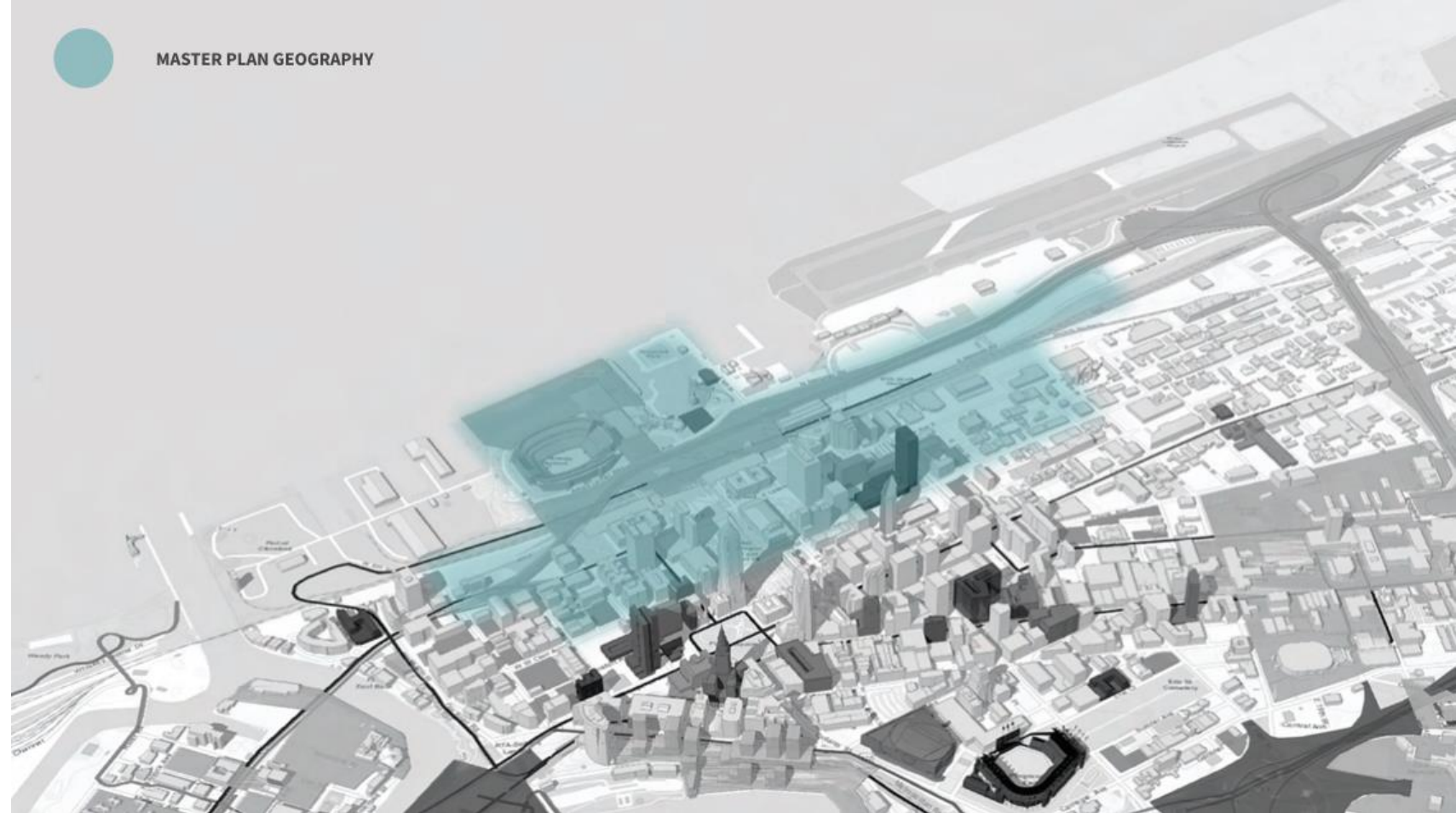
Leverage/total cost: **\$4.5M**

Timeline: NCDC Operational in 2023

Key Partners: Cuyahoga County,
Greater Cleveland Partnership

Project:

The City of Cleveland and Cuyahoga County will form a waterfront development authority, which will be a quasi-public entity with the sole purpose to plan and implement transformational projects on the waterfront. The entity will be known as the “North Coast Development Corporation” (NCDC), and will assist the City of Cleveland and its partners with the equitable development of the North Coast Lakefront as a destination for residents, businesses, and recreation. This funding will be directed toward the creation, staffing, and operations of the NCDC. This initial investment will lay the foundation and provide shared leadership for a decade or more of transformative development on the lakefront.



Questions?



CITY OF CLEVELAND
Mayor Justin M. Bibb

601 Lakeside Avenue • Cleveland, Ohio, 44114

216.664.2000 | mayor.clevelandohio.gov





CITY OF CLEVELAND
Mayor Justin M. Bibb

601 Lakeside Avenue • Cleveland, Ohio, 44114

216.664.2000 | mayor.clevelandohio.gov



Cleveland City Planning Commission

Administrative Approvals



May 5, 2023



May 5, 2023

Ordinance No. 469-2023

(Introduced by Councilmembers Kazy and Griffin – by departmental request):

Determining the method of making the public improvement of the demolition and removal of the existing security guard station at 12302 Kirby Avenue, installing a new security guard station, and making site improvements; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.



May 5, 2023

Ordinance No. 483-2023

(Introduced by Councilmembers Jones, Bishop, Gray, Hairston and Griffin – by departmental request): Authorizing the Directors of Community Development and Economic Development, as appropriate, to enter into one or more agreements for professional services necessary to prepare several vacant sites for development and authorizing other agreements; authorizing the directors to apply for and accept any gifts, grants or services from any public or private entity; authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire, accept, and record all real property and permanent and temporary easements to implement this ordinance; and authorizing other contracts.



May 5, 2023

Ordinance No. 489-2023

(Introduced by Councilmembers Bishop, Hairston and Griffin – by departmental request):
Determining the method of making the public improvement of constructing roadway, traffic calming, and park and recreation improvements under the Back to Basics City-wide Infrastructure Improvement Program, including making site improvements and appurtenances; and authorizing the Director of Public Works or Capital Projects, as appropriate, to enter into one or more public improvement contracts, professional services, and other contracts; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Department of Public Works and the Office of Capital Projects.

Citywide



May 5, 2023

Ordinance No. 505-2023

(Introduced by Councilmembers McCormack, Hairston, Bishop and Griffin – by departmental request): To amend Sections 1, 2 and 3 of Ordinance No. 995-2021, passed November 29, 2021, relating to granting to the Northeast Ohio Regional Sewer District certain easement rights at or under several City properties near South Marginal Road for the NEORSD's Shoreline Consolidation Sewer Project.



May 5, 2023

Ordinance No. 522-2023

(Introduced by Councilmembers Bishop, Hairston and Griffin – by departmental request):
Authorizing the Director of City Planning to employ one or more consultants to provide professional services for the design, programming, management and/or fabrication of interactive arts, activities, sculptures, and/or other amenities in downtown Cleveland; and to enter into other contracts; authorizing contracts to implement; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.



May 5, 2023

Ordinance No. 527-2023

(Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin – by departmental request):

Authorizing the appropriation of \$3,000,000 from Fund No. 10 SF 400 for the detailed design of the North Coast Connector; and authorizing the Director of Capital Projects to apply for and accept any gifts, grants, or services from any public or private entity.



May 5, 2023

Ordinance No. 530-2023

(Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin):

Authorizing the Director of Capital Projects to enter into one or more contracts with the Cleveland-Cuyahoga County Port [Authority] and LAND Studio, Inc. or their designees, related to the Irishtown Bend project; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.



May 5, 2023

Ordinance No. 531-2023

(Introduced by Councilmembers Hairston, Bishop and Griffin – by departmental request):
Authorizing the Director of Capital Projects and/or Port Control, as appropriate, to enter into one or more contracts with the Cleveland-Cuyahoga County Port Authority for the detailed design of the Early Implementation Phase of the Cleveland Harbor Eastern Embayment Resilience Strategy project; and authorizing the appropriate director to apply for and accept any gifts, grants or services from any public or private entity.

Cleveland City Planning Commission

Director's Report



May 5, 2023

Cleveland City Planning Commission

Adjournment



May 5, 2023