



Cleveland City Planning Commission

Friday, April 21, 2023

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

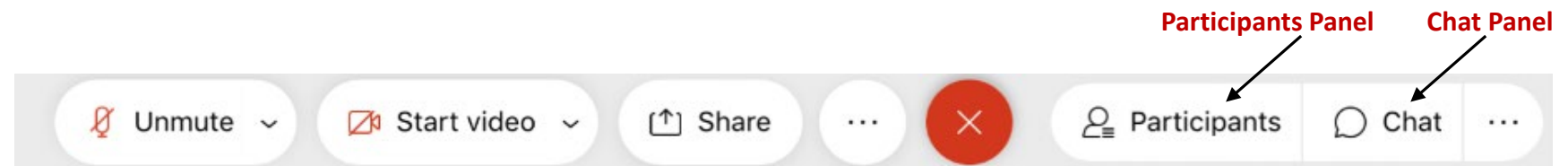
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



April 21, 2023

Cleveland City Planning Commission

P r e a m b l e

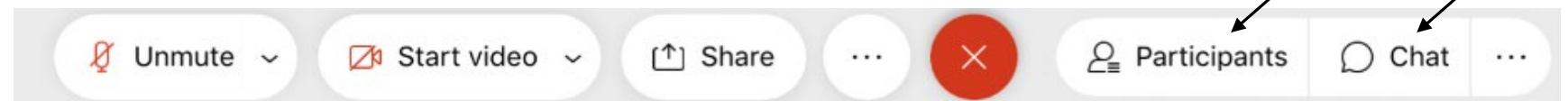
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE, EMAIL AND PHONE NUMBER HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER. PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

ANY AND ALL COMMUNICATIONS WITH MEMEBRS OF THIS BODY THAT ARE NOT COMMUNICATED DURING A MEETING OF THIS BODY AND/OR DO NOT FOLLOW PROCEDURES FOR PUBLIC COMMENT ESTABLISHED BY THIS BODY ARE UNWELCOME AND WILL BE DISREGARDED.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



April 21, 2023

Cleveland City Planning Commission

Call to Order and Roll Call



April 21, 2023

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



April 21, 2023

Cleveland City Planning Commission

Zoning Map Amendments



April 21, 2023



Townhouse Code Update: Seeking Final Approval

Presenter: Shannan Leonard, Staff Planner

2023 Townhouse Code Update

Legislation History

- Updated TH Code Adopted 2018
- 25 + Townhouse Projects Reviewed
- Preparing update since 2020
- Associated CPC Meetings
 - [July 16 2021 1:57:11](#)
 - [December 2 2022 2:08:55](#)
 - [March 31 2023 1:42:22](#)
- December 2022 – Public Comment
- March/April 2023 – Public Comment



Public Comments

- Clarify process and definitions based on user feedback
- Maintain current language regarding “Complimentary” / “Block Sensitive”
- Landscaping Requirements can be arbitrary – add outdoor amenity space
- Address TH fronting Alleys, when appropriate w/ 100 Ft
- Add Minimum Lot Area & Minimum Lot Sizes

Public Comments

- Human Scaled Materials – should apply also to facades in auto Courts
- Differentiating pavers for motor courts – pedestrian vs. vehicle that is snow friendly
- Use words scale, complimentary, compatible
- Balance regulations for context sensitive projects + Allow for new, flexible and different design approaches / architectural style that is in scale w/ existing context

General Feedback & Review

- Architect & Developer Review
- Block Clubs
- Council Review
- Staff review
- Fire Official Review
- Chief Building Official
- Chief Zoning Administrator
- Landmarks
- Various organizations across the city/state
- Review of best practices of other similar cities
- Law Review



Joyce P. Huang
Director, City Planning Commission
601 Lakeside Avenue East
Cleveland, OH 44144

April 18, 2023

Dear Director Huang,

AIA Cleveland would like to commend the City of Cleveland for its continued efforts to improve the built environment by proposing important updates to the Townhouse Code. When defining the codes that govern development, it is no small effort to balance public health, safety and welfare, private property rights, and the desire to create safe, walkable, and equitable communities. While no code can anticipate every interpretation of its language, the City has conducted a collaborative and thoughtful process to the proposed Townhouse Code updates. These updates and continued conversations about the development of our City will continue to propel Cleveland in an exciting direction. AIA Cleveland appreciates you involving our organization and leveraging the design professionals within the Architectural Community to garner feedback throughout the process.

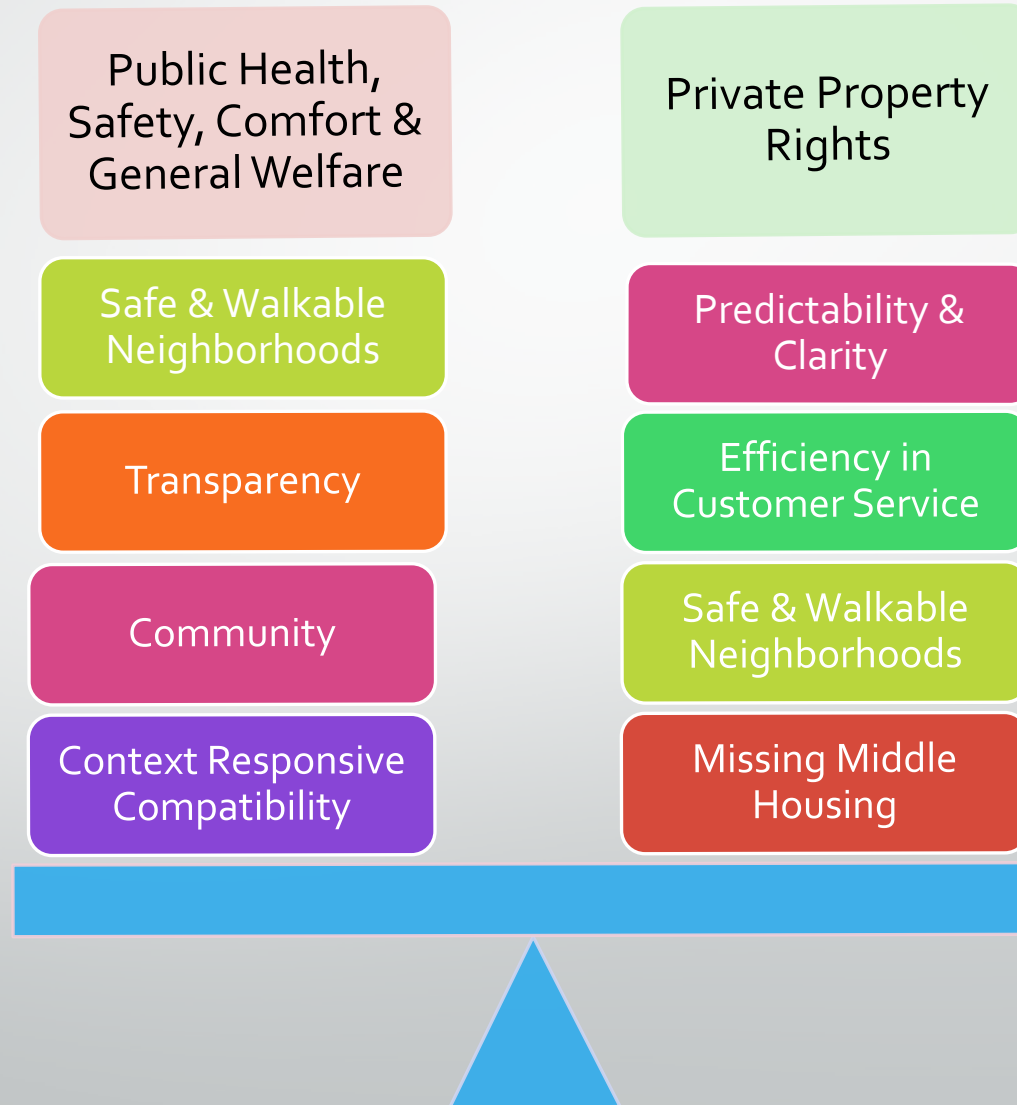
Congratulations again on the culmination of your efforts updating the Townhouse Code and your continued efforts to encourage more contextual design and compatibility within the Cleveland community. AIA Cleveland, and the members of our Architectural Community, are excited to continue collaborating in all efforts to move the City of Cleveland forward.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael Christoff".

Michael Christoff, AIA
President
AIA Cleveland

The Great Balancing Act

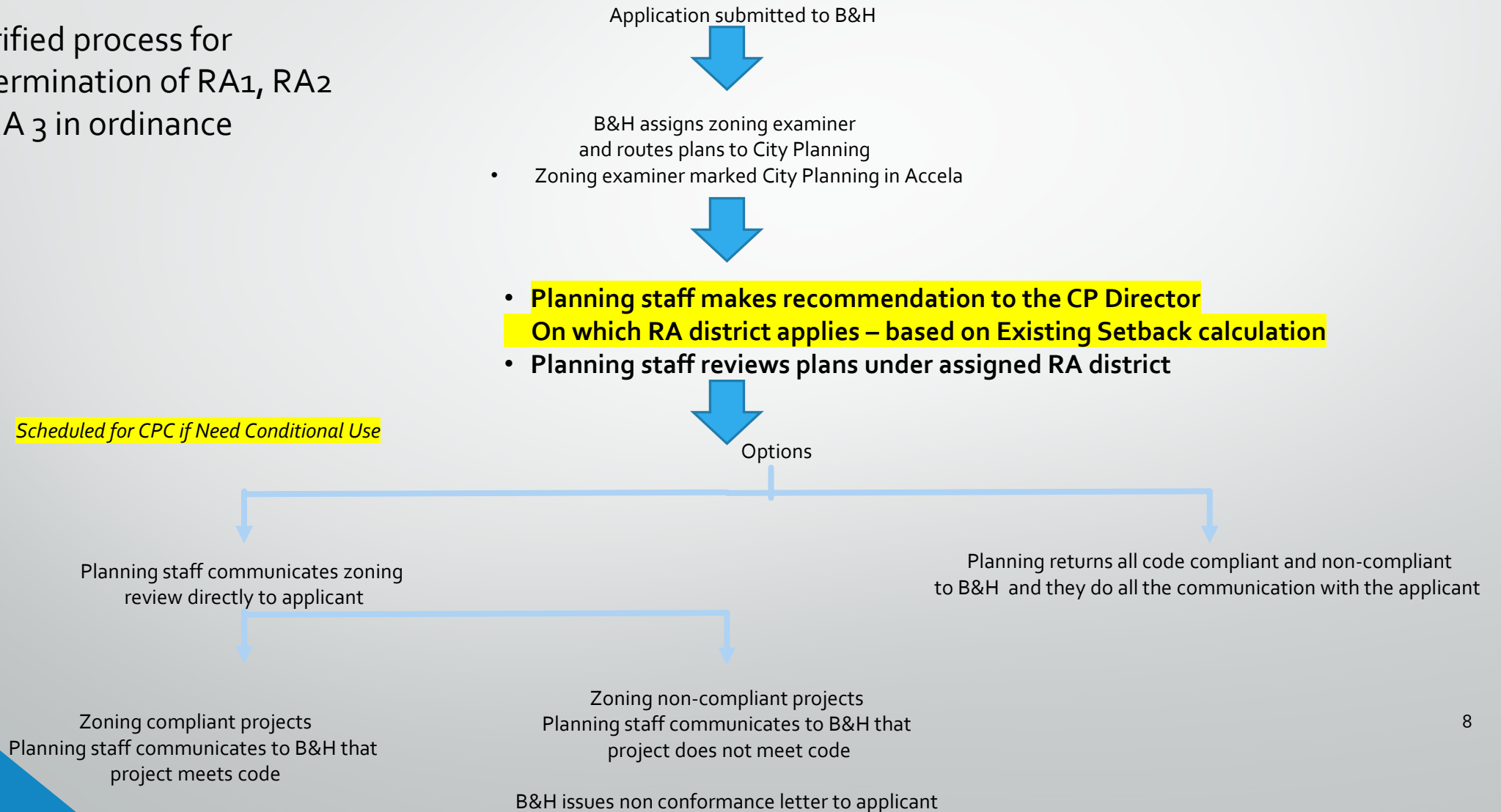


Goals of the Update

- Consider & process public comment
- Clarify process and definitions based on user feedback
- Refine 'Conditional Use in the Single and Two Family' provision
- New definitions and regulations for Motor Courts
- Address interior frontages, especially for interior lots

Townhouse (projects) Application Process

Clarified process for
determination of RA₁, RA₂
or RA₃ in ordinance



Townhouse (projects) Application Process

Clarified process for determination of RA₁, RA₂ or RA₃ in ordinance



(4) *City Planning Director Action.* The City Planning Director, or his/her zoning designee, shall determine which RA District regulations are applicable to a project application. In all zoning districts other than a mapped Townhouse District, proposed townhouse projects shall be reviewed under the RA District whose front yard setback in division (f)(2)A most closely matches or compliments the zoning district of the proposed development. To determine which RA District the projects shall be reviewed under,;

- A. determine the existing typical front yard setback of the zoning district of the proposed development:
- B. For proposals to be constructed at mid-block, the RA District whose front yard setback range most closely aligns with the setback of the existing buildings on the block shall be applied as described in §357.06 (a)
- C. For proposals to be constructed on corners, context from the buildings on the adjacent corners of the intersection as well as those buildings on the specific block should be considered, and the RA District whose front yard setback range most closely aligns with the front yard setback of the existing buildings at the intersection shall be applied.

Example of Townhouse review under the current code:

Townhouse (RA) District Review:

Month, date, 2018

Example Address
Cleveland, OH

		RA-1	RA-2	RA-3	Proposed	Comments
(1) Lot Dimensions		No min				
(2) Setbacks	Where applicable	Requirements				
A. Front Yard Depth ¹ <small>See Section (b)(2) below for Frontage Diagram.</small>	Principal	Min: 20' or, if greater, the average setback of the buildings within 100' on both sides. Max: none	Min: 10' Max: 20'	Min: 0' Max: 10'	Franklin Boulevard Units A-G: 10' -12'	Max. setback of 10' Compliant - Units A, B, E, G Non-compliant - Units C, D, F
	Secondary	Min: 7'	Min: 5'	Min: none	W 32 nd St: Unit A, H 7'-8'	Should align with existing duplex to north
	Interior	Min: 10'	Min: 8'	Min: 6'	Units I-M 10'	Compliant
C. Interior Side Yard Depth ²	Adjoining 1 or 2-Family District	Min: 10'	Min: 5'	Min: 3'	Unit M: 10' Unit G 10'	Unit M & G Compliant Units A-B – 5'5" Units E-F – 5'
	Adjoining Other District	Min: 7'	Min: 5'	Min: none	N/A	N/A

Residents, developers, architects can now easily understand
Conforming and non-conforming elements of any development

D. Rear Yard Depth	Rear lot line adjoining 1 or 2-Family District	Min: 15'	Min: 10'	Min: 6'	Parcel lines not shown; likely does not apply	Unknown
	Rear lot line adjoining Other District	Min: 10'	Min: 10'	Min: none	N/A	N/A
(3) Building Design Features					Most measurements scaled off drawings	
A. First-story glazing % of façade required to be transparent windows and doors between 3' and 7' above finished floor.	Principal	Min: 35% Where the finished first floor is 48" or more above grade: Min. 20% glazing between grade and the finished first floor, less Frontage Feature areas.	Units A-G 30+ sq. ft.		Units A-G Compliant	
	Secondary	Min: 25% Where the finished first floor is 48" or more above grade: Min. 20% glazing between grade and the finished first floor, less Frontage Feature areas.	Unit A – 42sq. ft. req. Unit H – 40sq. ft. req.		Unit A Compliant Unit H – 0' sq. ft. provided non-compliant	
	Interior	Min: 20%	Unit H, M– 16sq req Unit I – 15.2 sq req Units J-L 14.4 sq. req.		All units compliant	
B. Active uses on first story	Principal	Required on 60 % of total Frontage Buildout. Min depth: 9'	Active space provided at all width & at least 9' deep		All units complaint	
	Secondary	No requirement	[No Title]		Compliant	
	Interior	No requirement	N/A		Compliant	
C. Floor Area Ratio	No requirement				No requirement	Compliant

Purpose

Section 337.031

Townhouse (RA) Districts

(a) *Purpose.*

Townhouse Districts (i.e., Residential Attached Districts) are established to set the requirements for the form, site plan and building features of ~~townhouse developments~~ **townhouse projects**.

Safe sidewalks, inviting streets and compelling urban form are essential elements of vibrant, walkable urban neighborhoods. The inherent density of townhouses is a key component of this vision, but without thoughtful site planning and **architectural** design, this goal will not be fully realized. **The provisions and standards of this section are intended to accommodate a variety of innovative housing typologies for infill development and to ensure compatibility of such units** ~~to make these elements the standards for developments~~ in Cleveland's neighborhoods.

The following regulations provide clear guidance for the development and design of high quality Townhouse Projects in Cleveland that protect the health, safety, and general welfare of all citizens. The standards set forth in division (f) of this section are applied uniformly and are the minimum standards for any townhouse project.

Definitions in the Zoning Code

- **Not required to/should NOT be the same as the definitions in Ohio Building Code**
- **Cleveland/Ohio Building Code draws from International Building Code**
- **Zoning Code Definitions are context based to meet a purpose and not general**
- **Zoning Code definitions call out in any chapter are for a specific context (ie: related to townhouse project development or some type of overlay district)**
- **Specific definitions take precedence over general definitions**

Definitions

“Townhouse Unit” is a single or two (2) family dwelling on its own lot, served by its own exclusive exterior pedestrian entrance, and attached to one or more other such units by firewall ore fire separation walls.

“Townhouse Project” is any combination of single family detached dwelling units, townhouse units, and/or Townhouse Buildings submitted to the City as a unified development proposal. **When single family or two family detached Dwelling units are part of a Townhouse Project application, they must be contiguous with Townhouse units and must comply with all requirements for townhouse units for the purposes of this section. Single family and two family detached dwelling units may not exceed 1/3 of the total unit count for a Townhouse Project in order to be reviewed under §337.031”**

“Principal Street Frontage” changed to **“Primary Street Frontage”**

EXISTING BUILDING

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

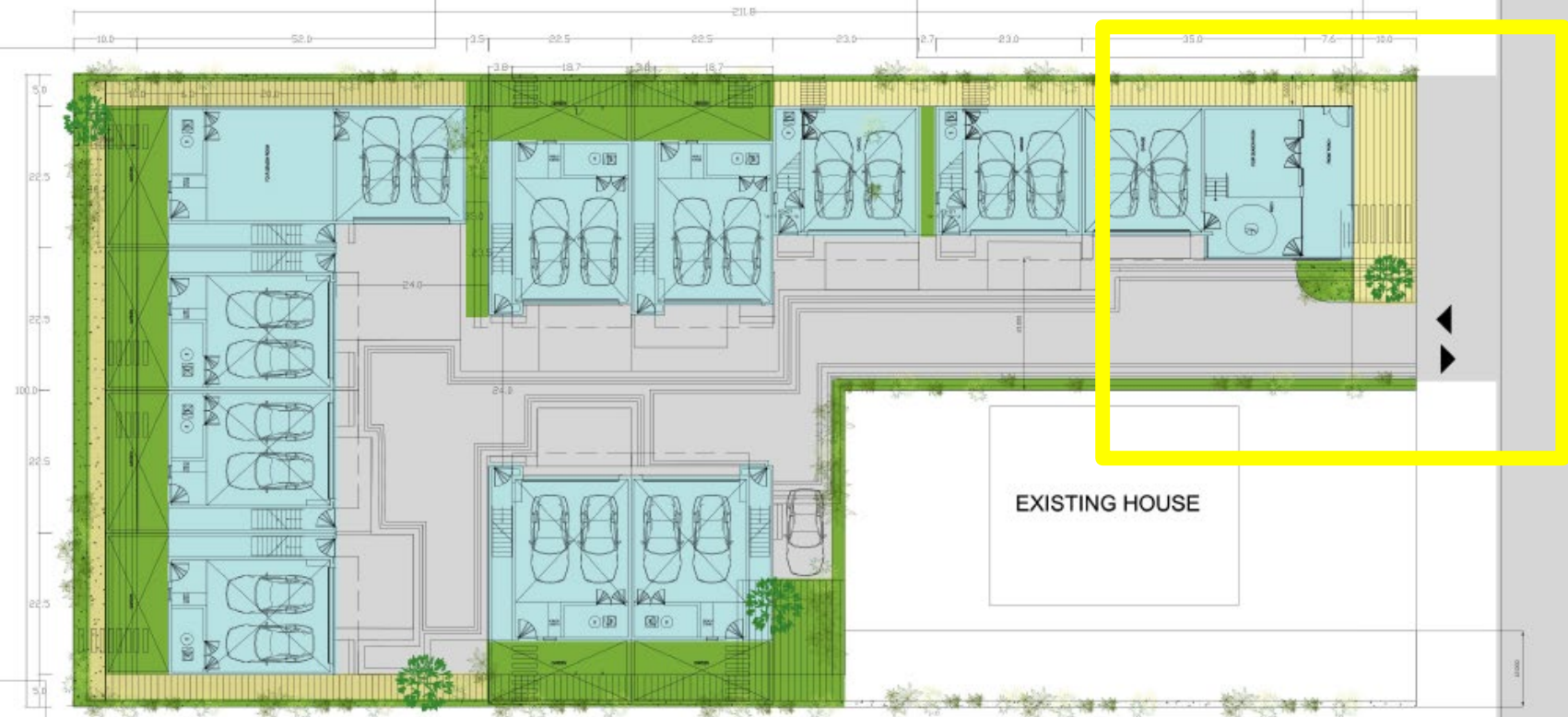
EXISTING HOUSE

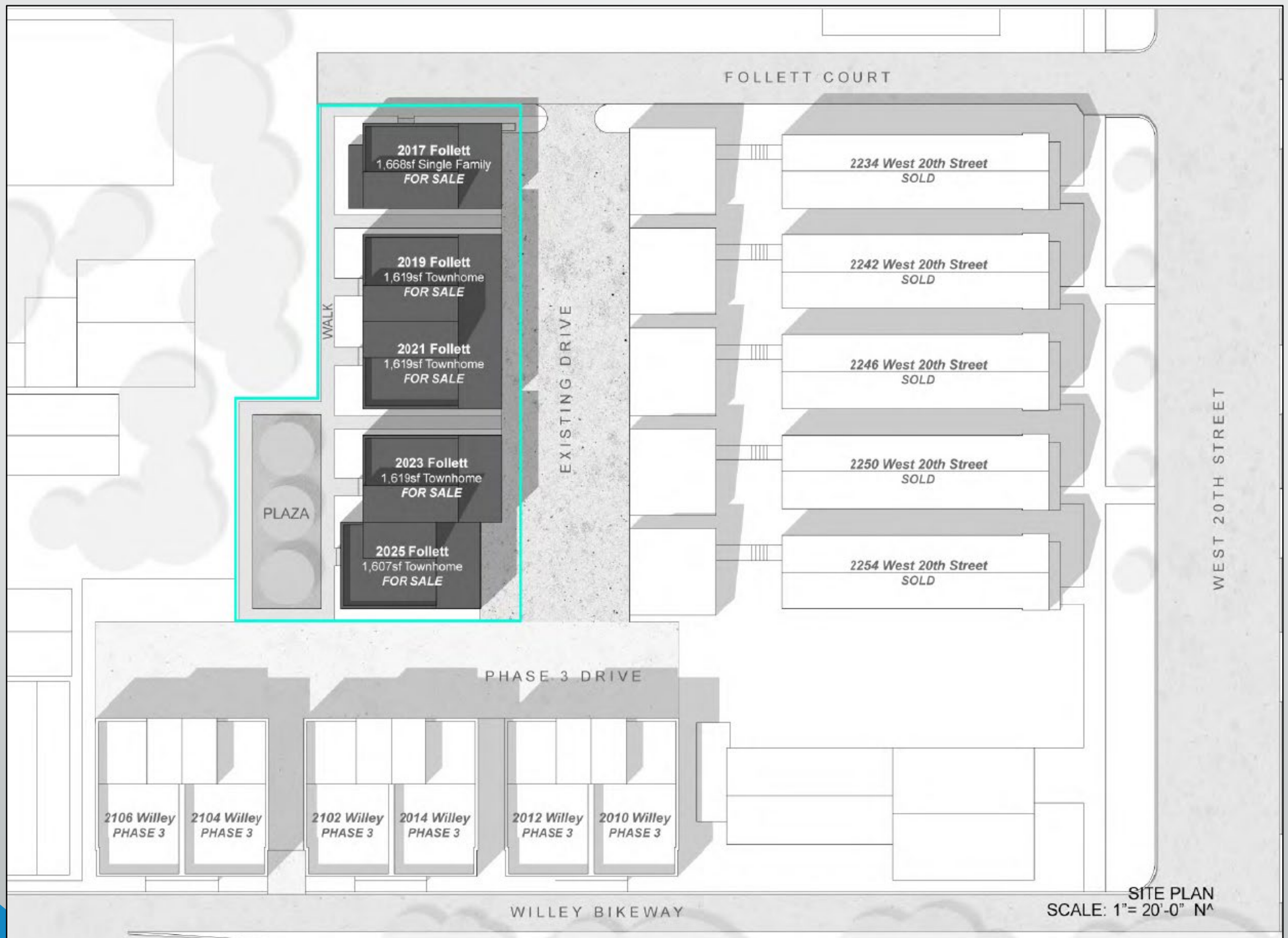
EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

WEST 48TH STREET





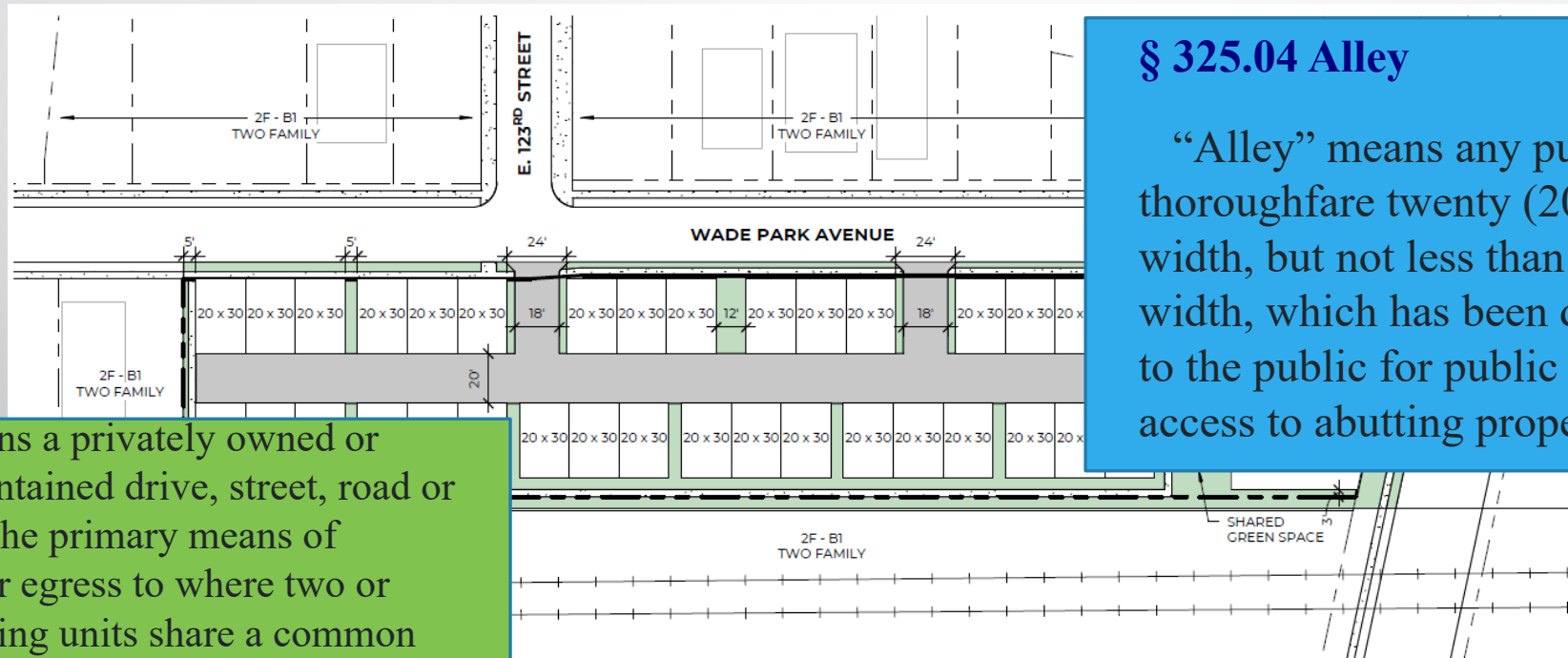
SITE PLAN
SCALE: 1"= 20'-0" N^



AERIAL LOOKING NE

Definitions

“**Motor Court**” is an internal ‘private road’ for a Townhouse Project allowing vehicular, pedestrian, and bicycle access from a public ROW to private garages. Court regulations in §357.16 do not apply to Townhouse Units or Townhouse Projects.



§ 325.04 Alley

“Alley” means any public space or thoroughfare twenty (20) feet or less in width, but not less than ten (10) feet in width, which has been dedicated or deeded to the public for public travel and affords access to abutting proper

Private Road means a privately owned or controlled and maintained drive, street, road or lane that provides the primary means of vehicular ingress or egress to where two or more lots, or dwelling units share a common access drive even if such lot has the required frontage on a public road

Definitions

“Principal Pedestrian Entrance” is the exterior door exclusive to the dwelling unit that offers a pedestrian the most visible and direct means of ingress and to a public right of way **or private walkway”**

“Private walkway” is any sidewalk or passageway located on privately-owned property.

“Mews Unit” is any Townhouse Unit with an Interior Frontage facing a Motor Court

“Transition” is an additional setback, a buffer requirement and reduced height allowance when certain districts abut specifically defined districts with a lower height intensity or more restrictive use.

‘Townhouses & Townhouse Projects in Single or Two Family Districts’

- Townhouses and Townhouse projects are permitted as a Conditional Use in any district where such use is not permitted by right (Single & Two-Family Districts).
- City Planning Commission shall determine whether the proposal meets all applicable *site planning & architectural design standards* established (subsection e) to ensure proper design and compatibility with existing uses
- All Townhouses go through either Housing or Local Design Review (City Planning or Landmarks, respectively)

Existing 'Use in the Single and Two Family' provision

CPC will use these 4 categories to determine if use meets the criteria for conditional use (Compatibility, Site layout, Building Features, Circulation and Parking)

(e) Site Planning and Design.

No Building Permit shall be issued for the original construction of a townhouse unit or Townhouse Building without design approval by the City Planning Commission, or its Director, who shall seek to ensure that the development meets the spirit and intent of subsection (a) by applying the design and form standards set forth below, except that such approval shall not apply to Townhouse Projects that are designated as Landmarks, or are located in Landmark Districts, for which design approval shall be the responsibility of the Landmarks Commission.

(1) *Compatibility.* The development shall be visually compatible with nearby properties with respect to such **residential** design elements as scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features.

(2) *Site Layout.* Buildings, structures and landscape features shall be arranged so as to create visual interest, promote security and personal safety, promote safe, efficient, and comfortable pedestrian circulation, facilitate safe and efficient vehicular circulation, conserve natural features and provide usable common and private open space.

(3) *Building Features.* Townhouses shall contribute to the character of the public realm by drawing from the best examples of architecture and urbanism. Townhouses shall be designed to create active, attractive, street frontages that promote safety and walkability using the essential elements of traditional urban architecture as regulated in section (g) of this code.

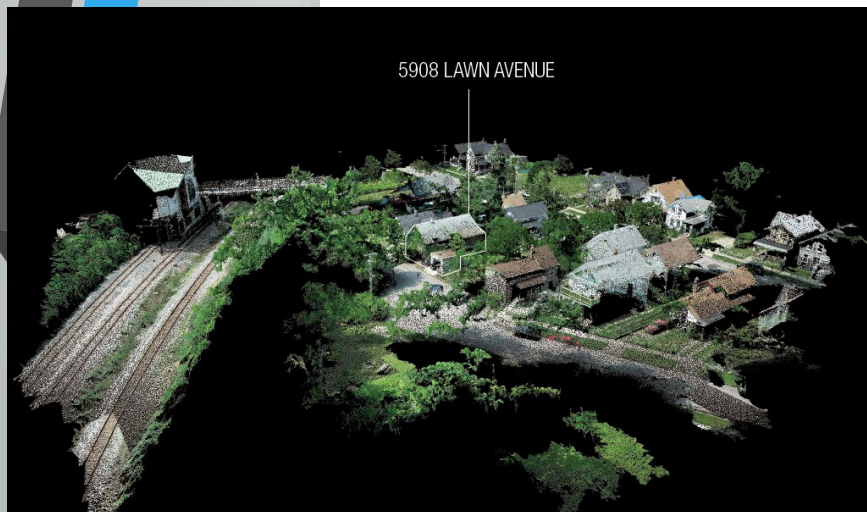
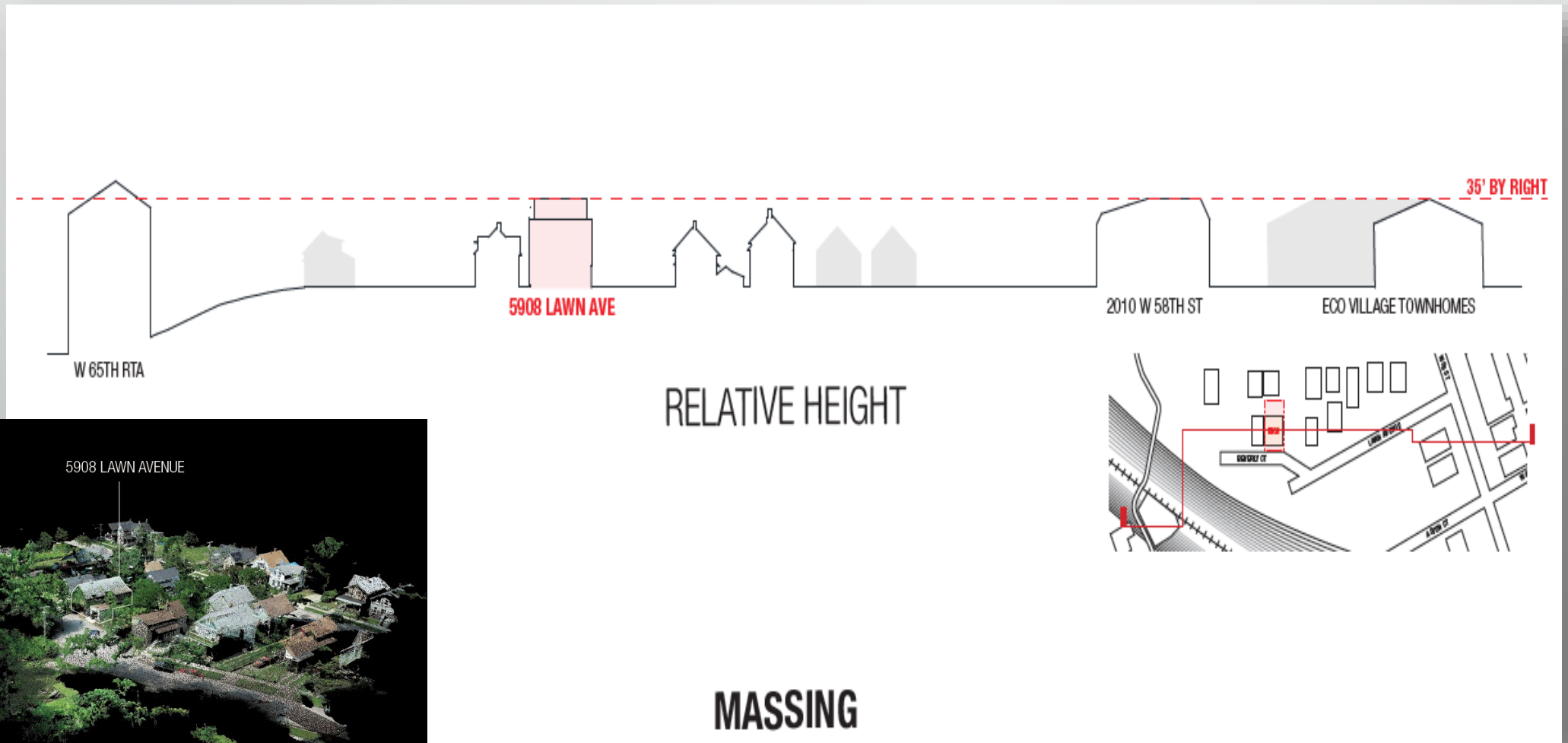
(4) *Circulation and Parking.* Circulation and parking shall be designed to achieve the following:

- A. Provide proper access for service and safety vehicles
- B. Minimize conflicts between pedestrians and vehicles
- C. Minimize the number of curb cuts
- D. Maximize opportunities for on-street parking, **transit waiting environments, bike lanes, drop-off zones, street furniture, public amenities and preserving** street trees by prohibiting front loaded garages and unenclosed parking in front yards
- E. Prohibits placement of garage doors so close to sidewalks as to impair pedestrian safety

Site Planning & Design should meet - Height, Front Yard Setback, Scale, Proportion



Relative Height & Massing + Surrounding Context



Roof Forms & Frontage Features



	RA-1 District	RA-2 District	RA-3 District
Frontage feature (See Figure (h)(1) of this section)	A or B Required Min. porch depth: 6'	B, C or E Required Min. area: 16 sq. ft.	B, C, D or E Required Min. area: 16 sq. ft.

Required Frontage Features

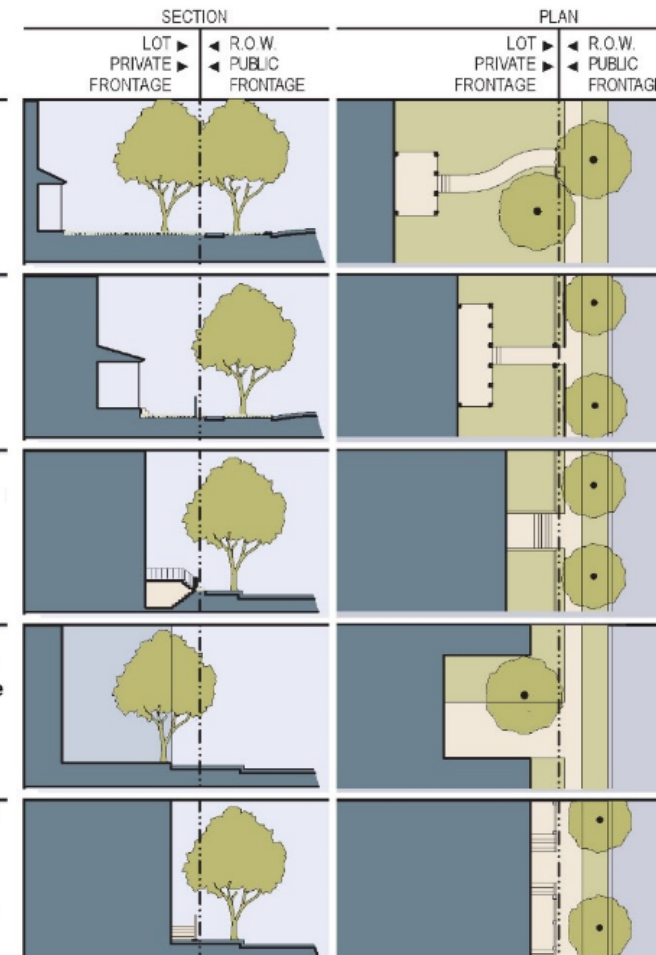
a. Common Yard: A planted frontage wherein the building façade is set back substantially from the right of way line. The front yard created may remain unfenced and be visually continuous with adjacent yards. This frontage is found where deep front yards are consistent with the surrounding context. The deep front yard setback can provide a buffer from higher speed thoroughfares.

b. Porch & Fence: A planted frontage wherein the building façade is set back from the front yard line, with an attached porch as a permitted yard encroachment. A fence at the right of way line maintains the spatial definition of the street and provides delineation between public and private space.

c. Terrace or Lightwell: A frontage wherein the building façade is set back from the right of way line, with an elevated terrace or a sunken lightwell. This frontage feature buffers residential uses from urban sidewalks. Synonym: Dooryard.

d. Forecourt: A frontage wherein a portion of the building façade is set back from the right of way line, and the rest of the facade is set close to the right of way line. This frontage feature is often used in apartment buildings. This frontage feature is usually used in conjunction with other frontage features.

e. Stoop: A frontage wherein the building façade is close to the right of way line. An exterior stair and landing provide access to the main building entrance. The First Story is elevated from the sidewalk level sufficiently to ensure privacy for First Story windows. This frontage feature is recommended for First Story residential uses. The Stoop is a permitted yard encroachment.



Circulation & Parking



Intersection of West 58th and Herman Avenue



Cass Ave and Industrial Context



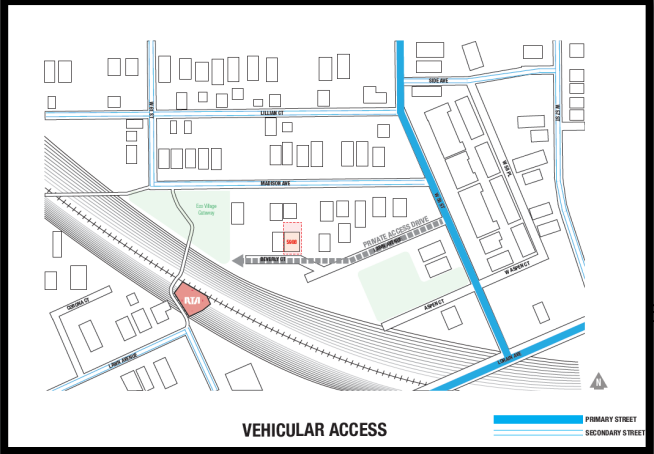
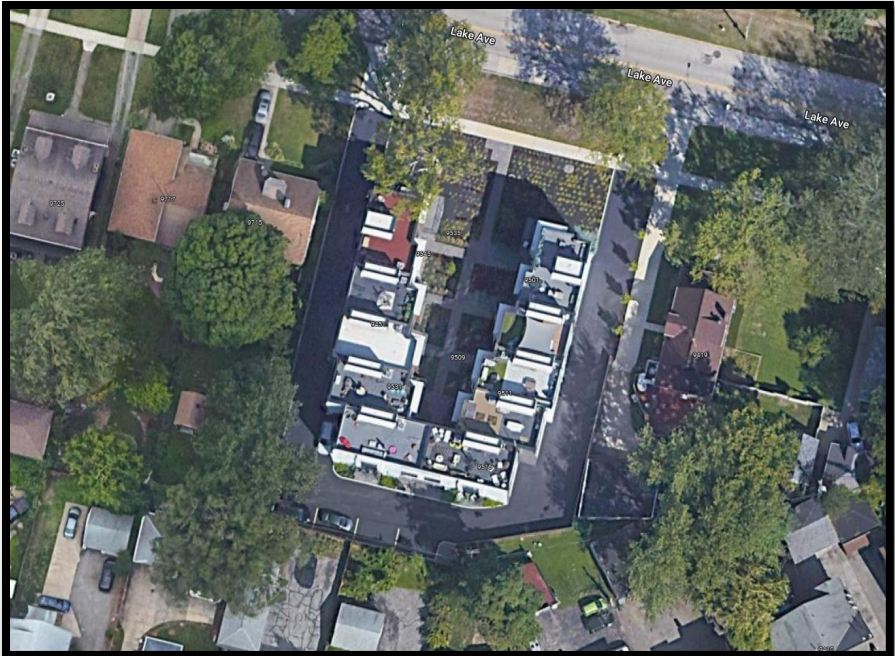
Residential Context (South of Herman Avenue)



Herman Park and Adjacent Single Family Homes



URBAN CONTEXT



Mews Units



Fulton Court



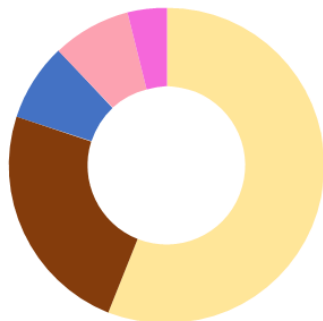
Area, Yard, Siting & Design Standards

	Parcels Less than 4800 SF	Parcels in 1F Districts	33%
1F Districts	13,783	41,512	

	Parcels less than 6000 SF	Parcels in 2F Districts	84%
2F Districts	62,901	75,290	

ZONING DISTRICTS

■ Two Family
 ■ Multi Family
 ■ Local Retail
■ Limited Retail
 ■ Semi Industry



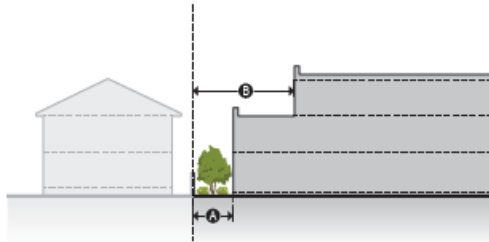
		RA-1	RA-2	RA-3
(1) Lot Dimensions		No min		
(2) Setbacks	Where applicable	Requirements		
A. Front Yard Depth ¹ <small>See Section (h)(2). below for Frontage Diagram.</small>	Principal	Min: 20' or, if greater, the average setback of the buildings within 100' on both sides. Max: none	Min: 10' Max: 20'	Min: 0' Max: 12'
	Secondary	Min: 7'	Min: 5'	Min: 0'
	Interior	Min: 10'	Min: 8' 10'	Min: 7' 10'
	Mews Unit	Min: 10'	Min: 10'	Min: 10'
B. Interior Side Yard Depth ²	Adjoining 1 or 2-Family District	Min: 10'	Min: 5'	Min: 3'
	Adjoining Other District	Min: 7'	Min: 5'	Min: 0' 3'
C. Rear Yard Depth ³	Rear lot line adjoining 1 or 2-Family District	Min: 15'	Min: 10'	Min: 7'
	Rear lot line adjoining Other District	Min: 10'	Min: 10'	Min: 0' 3'

Building Design Features

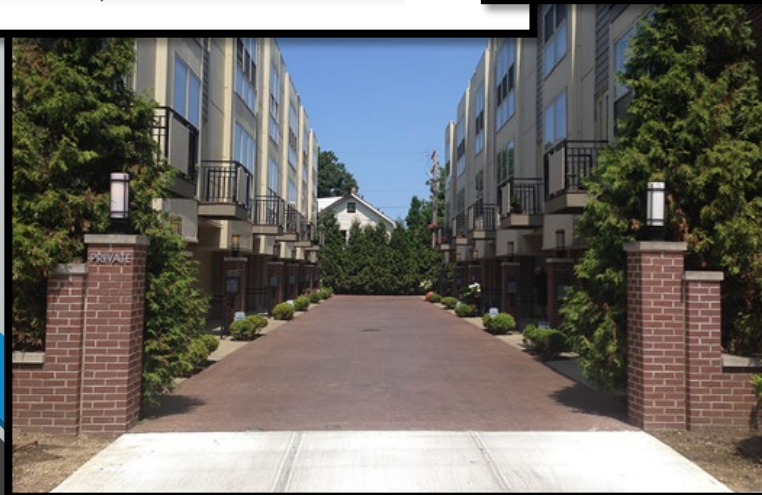


Figure 1: Transition downward in height and scale to lower-scale area.

An applicable site must meet the following transition requirements.



	Above first-story: Materials in any dimension are permitted. Prohibited Materials on Primary and Secondary Street Frontage: plain and split-face concrete masonry units and synthetic stucco.			
I. Transitions	For each story that begins above 24' feet or for each story over the second story, whichever is less, the minimum step back shall be:			
Additional setback above 24'/2 nd story (min) – measured from setback building line most adjacent to common property line	All	Min: 10'	Min: 5'	Min: 3'



	Secondary	No requirement		
	Interior	No Requirement		
	Mews Unit	Required		
C. Floor Area Ratio	No requirement			
D. Entrances	Each unit with a Street Line shall provide a Principal Pedestrian Entrance directly to that Street Line or Interior Frontage. Corner lots are required only one (1) Principal Pedestrian Entrance.			
	Mews Units	Any Mews Unit more than 150' from a Street Line shall provide a pedestrian entrance directly to the Motor Court.		
E. Frontage feature (See Figure (h)(1). of this section)	A or B Required Min. porch depth: 6'	B, C or E Required Min. area: 16 sq. ft.	B, C, D or E Required Min. area: 16 sq. ft.	
F. Height of finished first floor above grade	Principal	Min: 18" Max: 4'	Min: 24" Max: 4'	Min: 28" Max: 5'6"
	Secondary	Min: 18" Max: 4'	Min: 24" Max: 4'	Min: 28" Max: 5'6"
	Interior	Min: 12" Max: 5'6"	Min: 12" Max: 5'6"	Min: 18" Max: 5'6"
	Mews Unit	Min: 12" Max: 5'6"	Min: 12" Max: 5'6"	Min: 18" Max: 5'6"

G. Private Open Space (sq. ft per unit) ²	All	150'	100'	0'
H. First floor materials; Primary, Secondary	Human scaled: ex. brick, stone, lap siding, wood, terra cotta or similar			

Building Design – Townhouses permitted after the code was adopted



E. 120th Street at Ashbury Ave

Garages, Car Openings, Driveways, & Motor Courts



B. Garage or Car Openings perpendicular to a Principal and Secondary Street Frontage	Streetscreen or fence required at actual Principal and Secondary Street setback, minus permitted driveways. Streetscreens or fence shall be a min. 3.5' in height, max. height as allowed by the Zoning Code.
C. Garage or Car Openings within an established front yard setback on a Secondary Street	Streetscreen or fence is required along the shared rear/side yard property line. Streetscreen or fence shall be a min. 3.5' in height, max. height as allowed by the Zoning Code.
D. Alley access ⁶	Where an alley abuts the development, no curb cuts shall be permitted on Principal or Secondary Street Frontage.
E. One-way vehicular driveway width	Max: 11'
F. Two-way vehicular driveway serving multiple units width	Max: 18' 20'
G. Motor Court landscaping	25 sq. ft. of dedicated landscape area in the Motor Court for every 32 linear feet of garage door or garage entry that is visible from a public street immediately adjacent to the property, not including alleys.
H. Motor Court paving material	Any whole or portion of a Motor Court with garage doors or garage entry visible from a public street immediately adjacent to the property, not including alleys, shall have at least 60% of its surface area paved with human-scaled materials or distinctive characteristics to give visual cues to delineate space between pedestrians and vehicles
6 1. Continuous at-grade sidewalk and apron	Required

1 Except that any mapped or established setback shall prevail over the setbacks of this section.

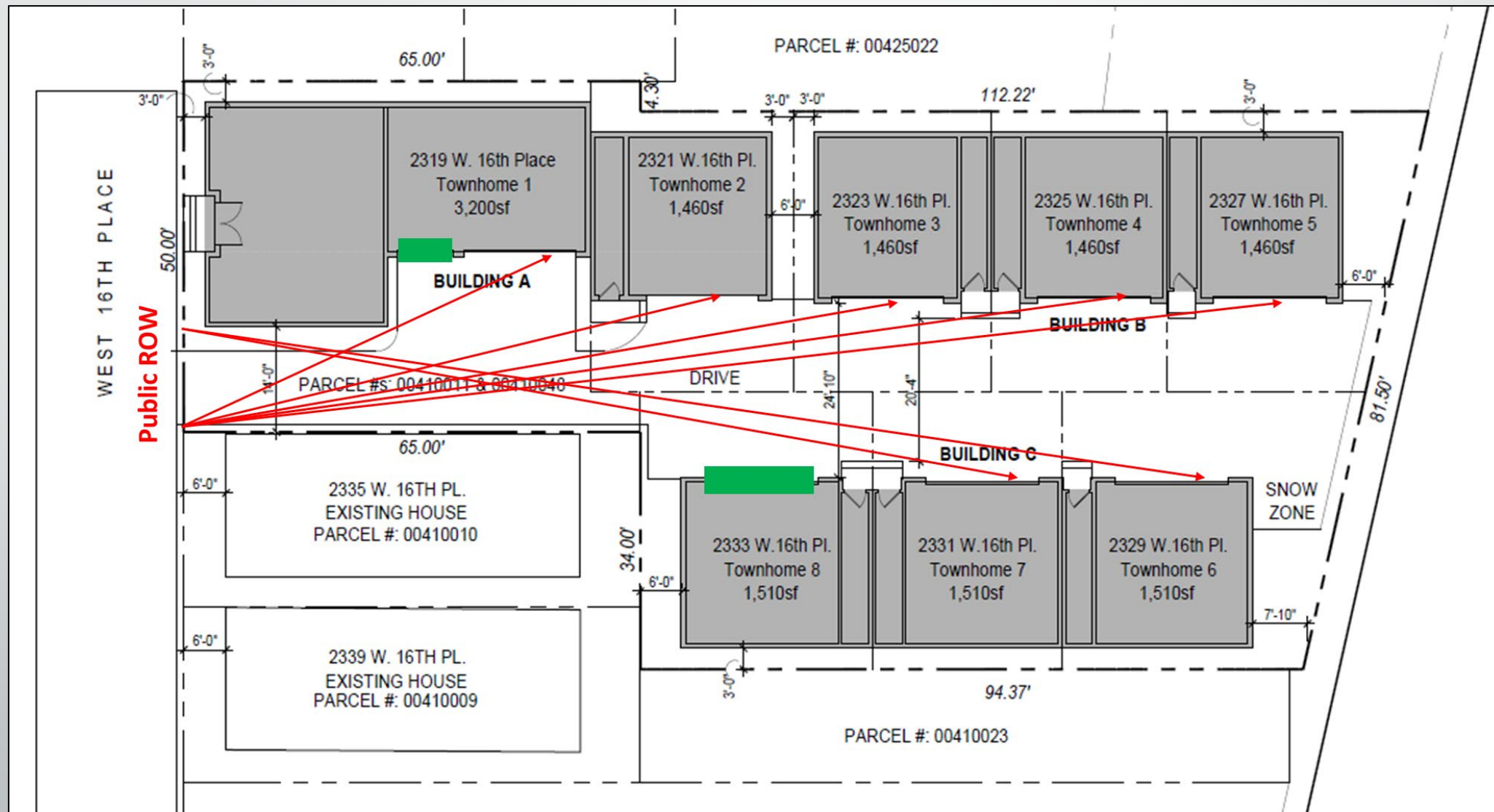
2 Does not apply to lot lines separating attached dwellings as a non-condominium townhouse development

~~3~~ 3 Rear yards or Interior Frontages may be 0' if building is abutting a driveway or Motor Court and an access easement is provided.

~~4~~ 4 For infill townhouses: Height of Finished Floor above grade shall match the typical height found in the adjacent context. Where the Height of Finished Floor above grade in the adjacent context is outside the range set forth in subsection (e) (3) D, the Height of Finished Floor above grade shall be set at the min or max permitted by subsection (e) (3) D.

~~5~~ 5 garden, deck, patio, balcony, solarium or other similar open space adjacent to the residence, for the private use of the resident household

112/32 = 100 sq. ft. of landscaping in Motor Court





Clarify procedures

TH

TOWNHOUSE
ZONING NOTICE

Townhouse Project

ADDRESS:

DESCRIPTION:

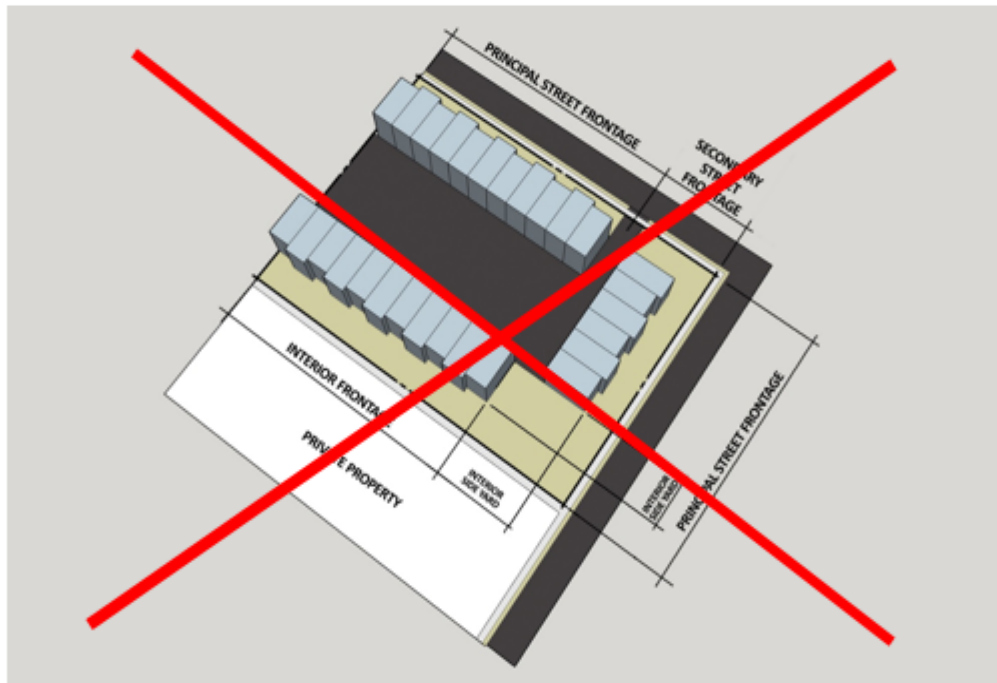
HEARING DATE/TIME:

LOCATION:



<https://planning.clevelandohio.gov/>

(2) Frontage Diagram (to be removed)



(3) *Administrative modifications.* The Director of City Planning may require a numerical standard that is different from the standard under section (f) of up to twenty (20) percent in any direction if it is determined that such relief will result in a townhouse or townhouse building that is more appropriately situated and/or more consistent with its context. This provision shall not apply to section (f)(3)F.

Example application of Director's discretion:

In the RA-3 District the Director may administratively reduce the required Interior Front Yard Depth from the numerical standard of 7' to 5'7" ($7' \times 0.8 = 5'7"$).

(h) Procedures and Appeals.

(1) *Submission of an Application.* An application to construct a townhouse project subject to the regulations of this chapter shall be submitted to the Division of Building & Housing as part of a Building Permit application. The application shall include a scaled site plan with street elevations and photographs showing the proposed construction in either direction, within 250 feet of the site and the relevant area of context.

(2) *Determination of Compliance.* The Division of Building and Housing shall determine if the application conforms to the requirements of this chapter and other applicable regulations of the City of Cleveland, except for those provisions that require a determination by the City Planning Commission or its Director.

(3) *Referral to City Planning Commission.* For proposals subject to approval by the City Planning Commission or Landmarks Commission for design review, under

(5) *City Planning Commission Action.* For townhouse projects located in any zoning district where a townhouse use is not permitted by right (ie.: One-Family or Two-Family District), the City Planning Commission shall review any application subject to conditional approval and shall determine whether the proposal meets all applicable standards established in division (e) of Site Planning & Design to ensure proper design and compatibility with surrounding uses. The City Planning Commission shall take action on the application at a public meeting, subsequent to providing public notice. The Commission may require modifications to the proposal as condition of approval. The Commission may disapprove an application if it determines that the proposed site plan and application does not meet the standards set forth in this chapter. No Building Permit shall be issued without the approval of the City Planning Commission for an application subject to conditional approval.



2023 Townhouse Code Update Questions/Comments



cityplanning@clevelandohio.gov

Cleveland City Planning Commission

Lot Consolidation / Splits



April 21, 2023

Lot Consolidation / Split



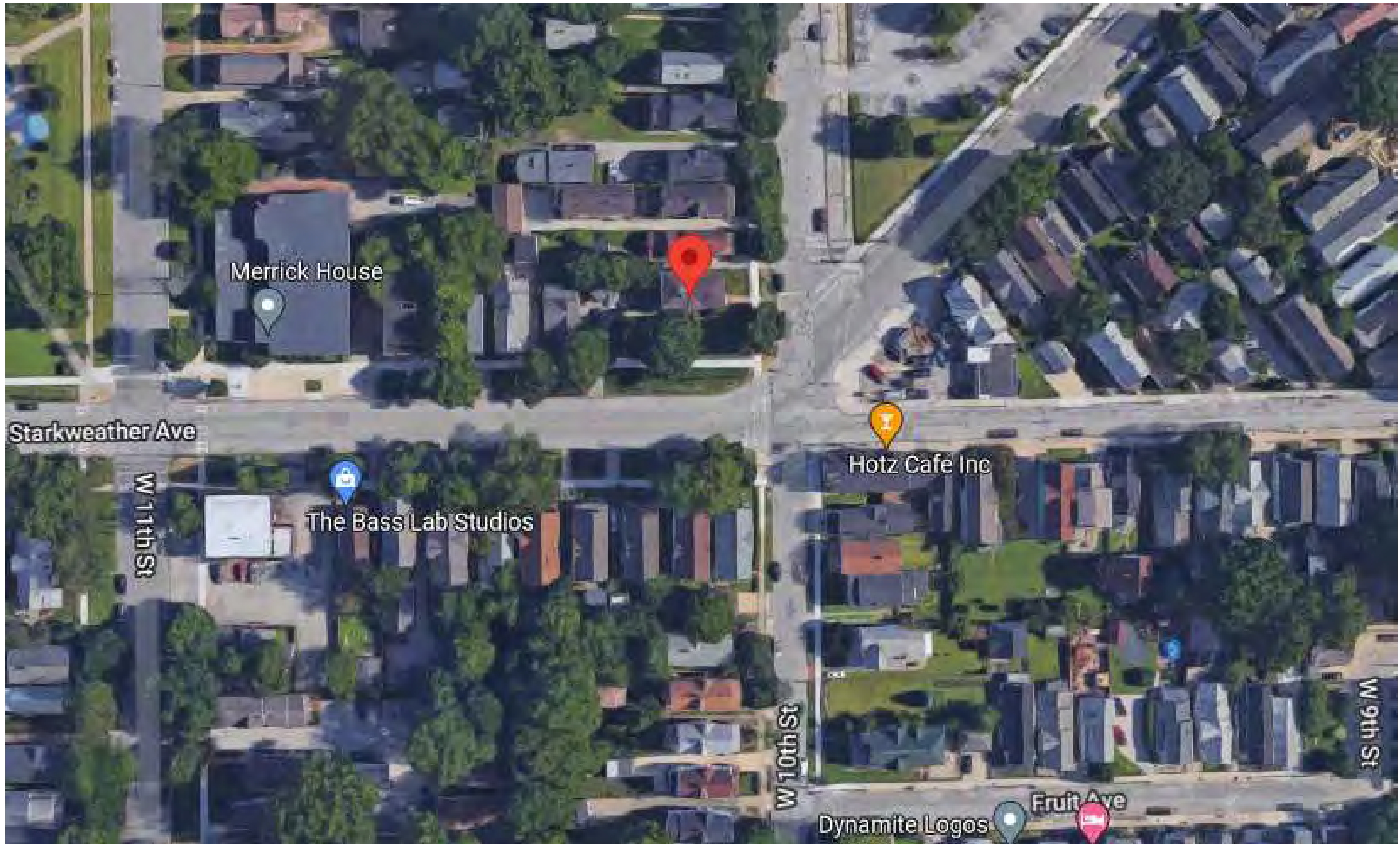
April 21, 2023

For PPN# 004-13-017

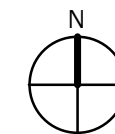
Address: 2504 West 10th Street

Representative: Michael Wellman, Weld Architects

Note: the Planning Commission Tabled this item on February 17, 2023.



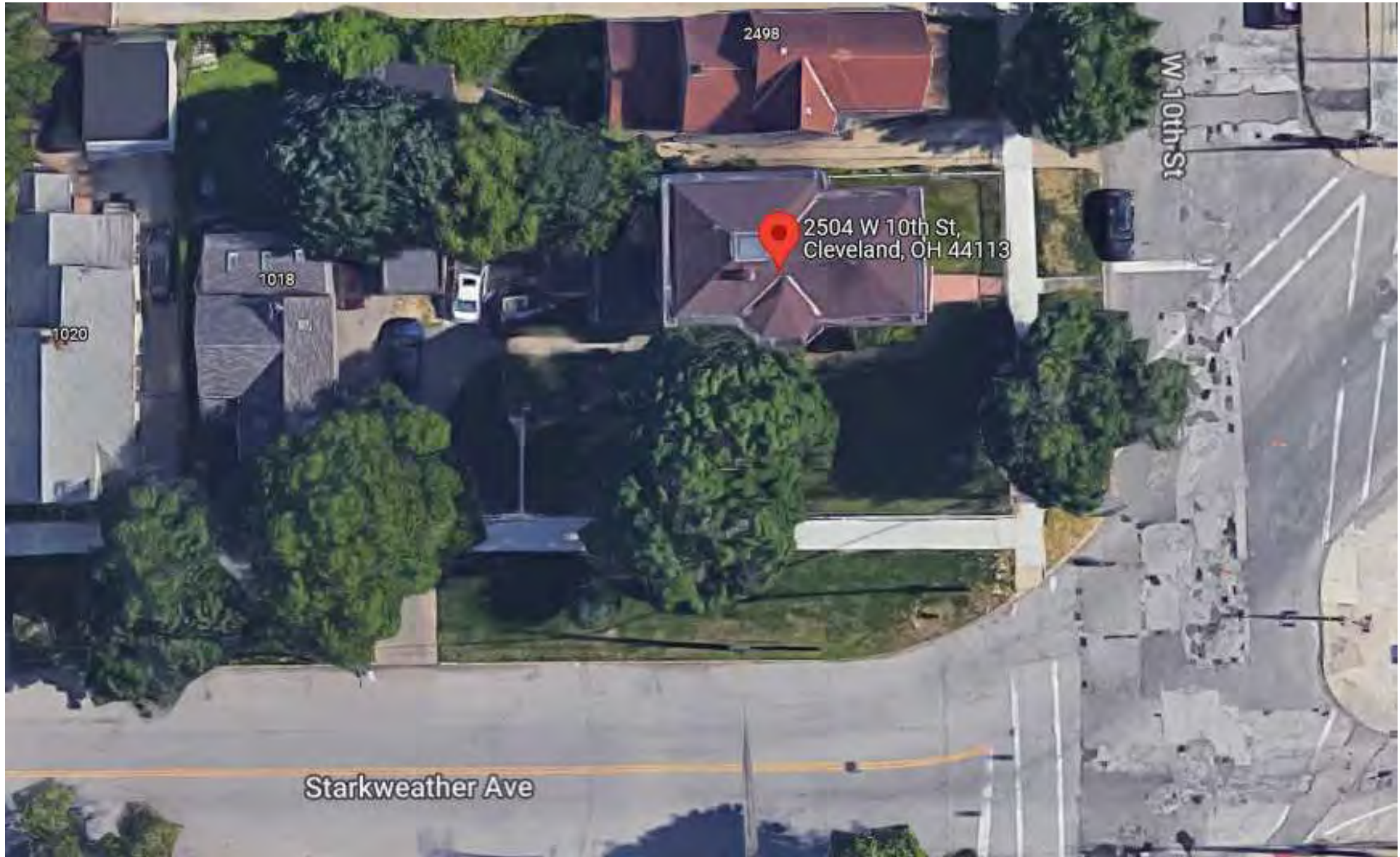
2504 WEST 10TH STREET - AERIAL VIEW 1



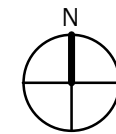
Property Lot Split

January 9, 2023





2504 WEST 10TH STREET - AERIAL VIEW 2



Property Lot Split

January 9, 2023





EXISTING CONDITIONS - 2540 W. 10th STREET

Property Lot Split

David Perkowski

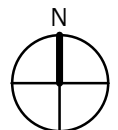
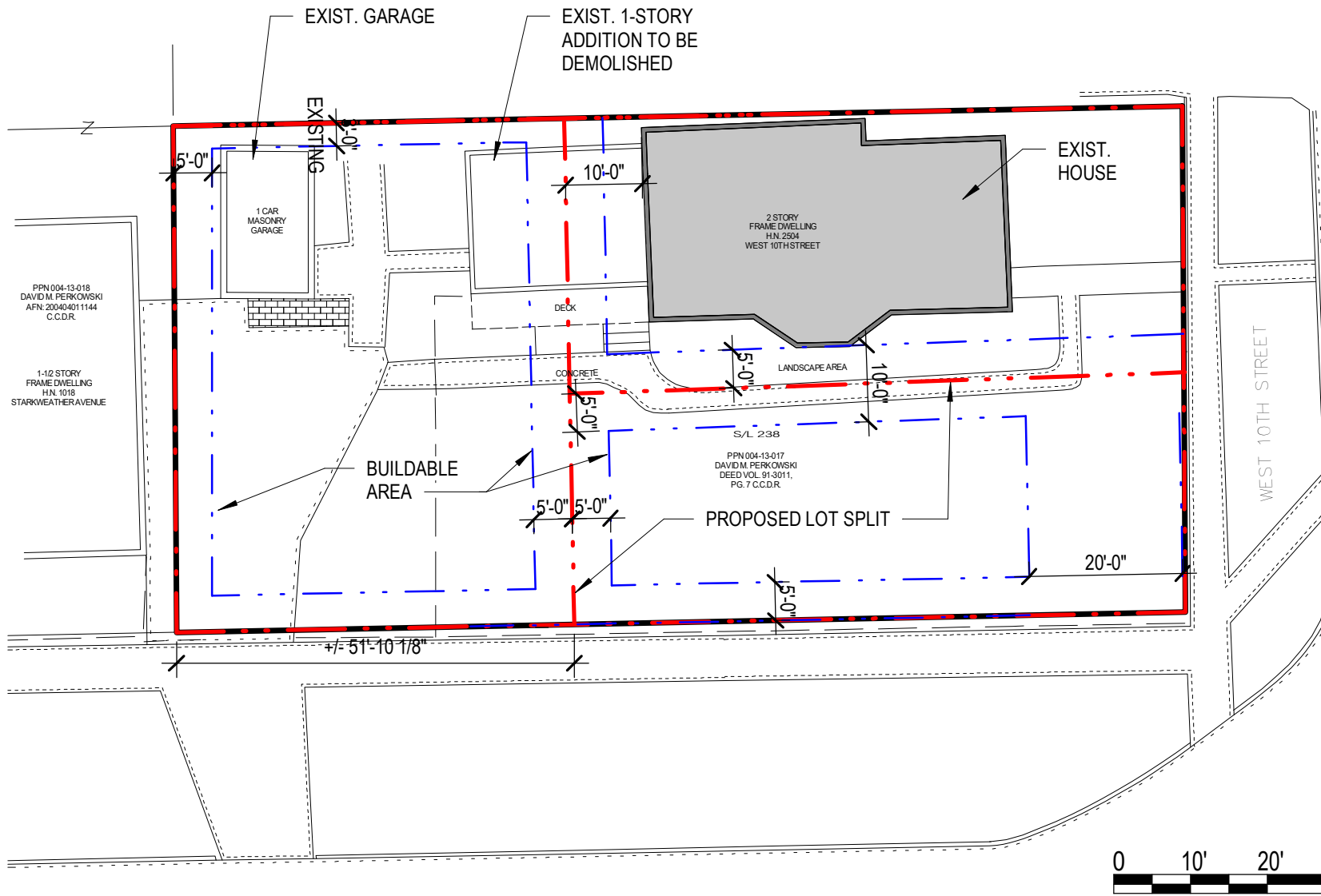
FRONT VIEWS LOOKING NORTHEAST, NORTHWEST

January 9, 2023



2504 West 10th
Property Lot Split
David Perkowski

January 9, 2023





BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATES SYSTEM,
NORTH ZONE (3401), NAD83 (2011), 2010.0 EPOCH, AS DERIVED FROM
GNSS OBSERVATIONS PER THE O.D.O.T. RTN (REAL-TIME-NETWORK).

I, DAVID M. PERKOWSKI, OWNER OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS LOT SPLIT
AS SHOWN HEREON.

SIGNATURE _____ DATE _____

COUNTY OF CUYAHOGA
STATE OF OHIO

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY
APPEARED THE ABOVE NAMED DAVID M. PERKOWSKI, WHO ACKNOWLEDGED THE SIGNING OF
THE FOREGOING INSTRUMENT, AND THAT IT WAS OF _____ FREE ACT AND DEED
PERSONALLY. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL
AT _____, OHIO, THIS _____ DAY OF _____, 202____.

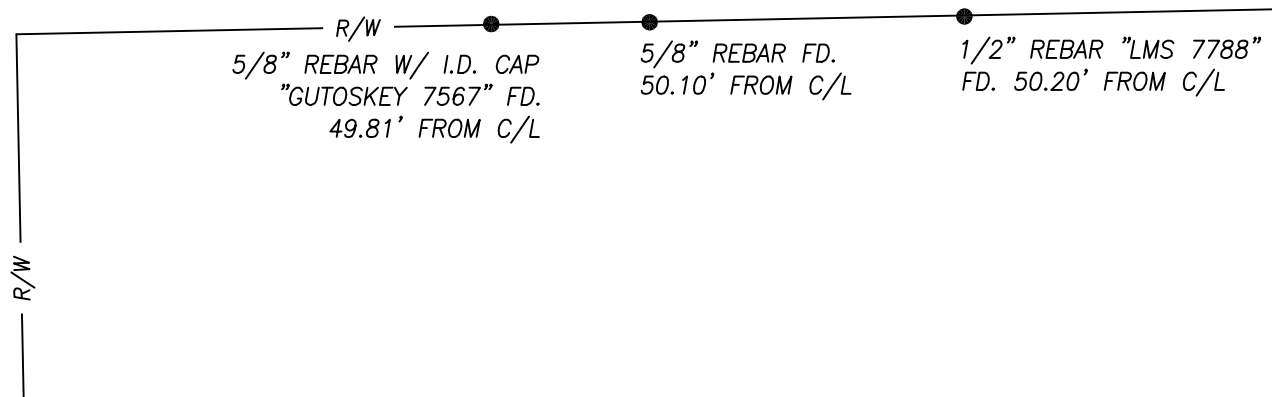
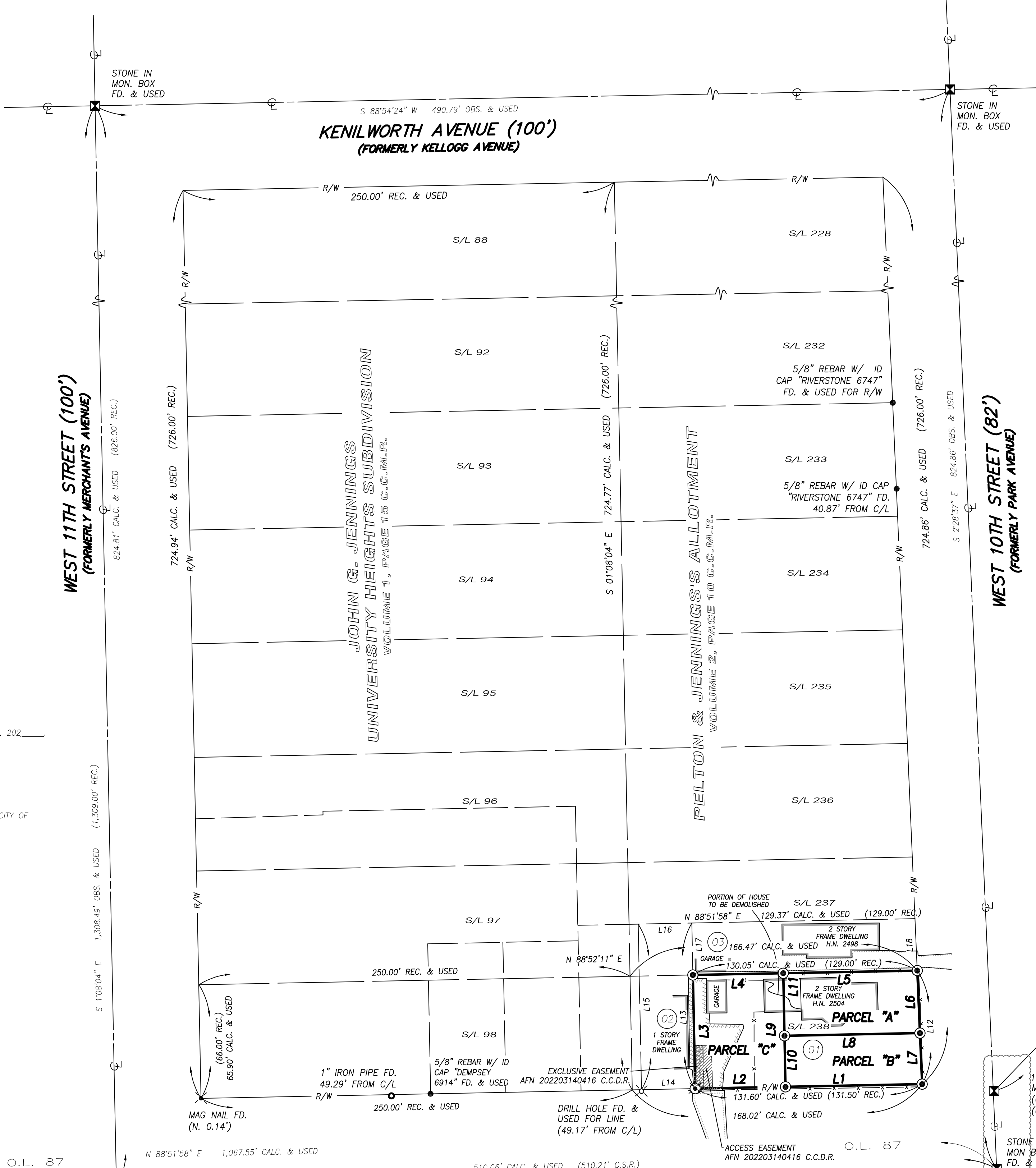
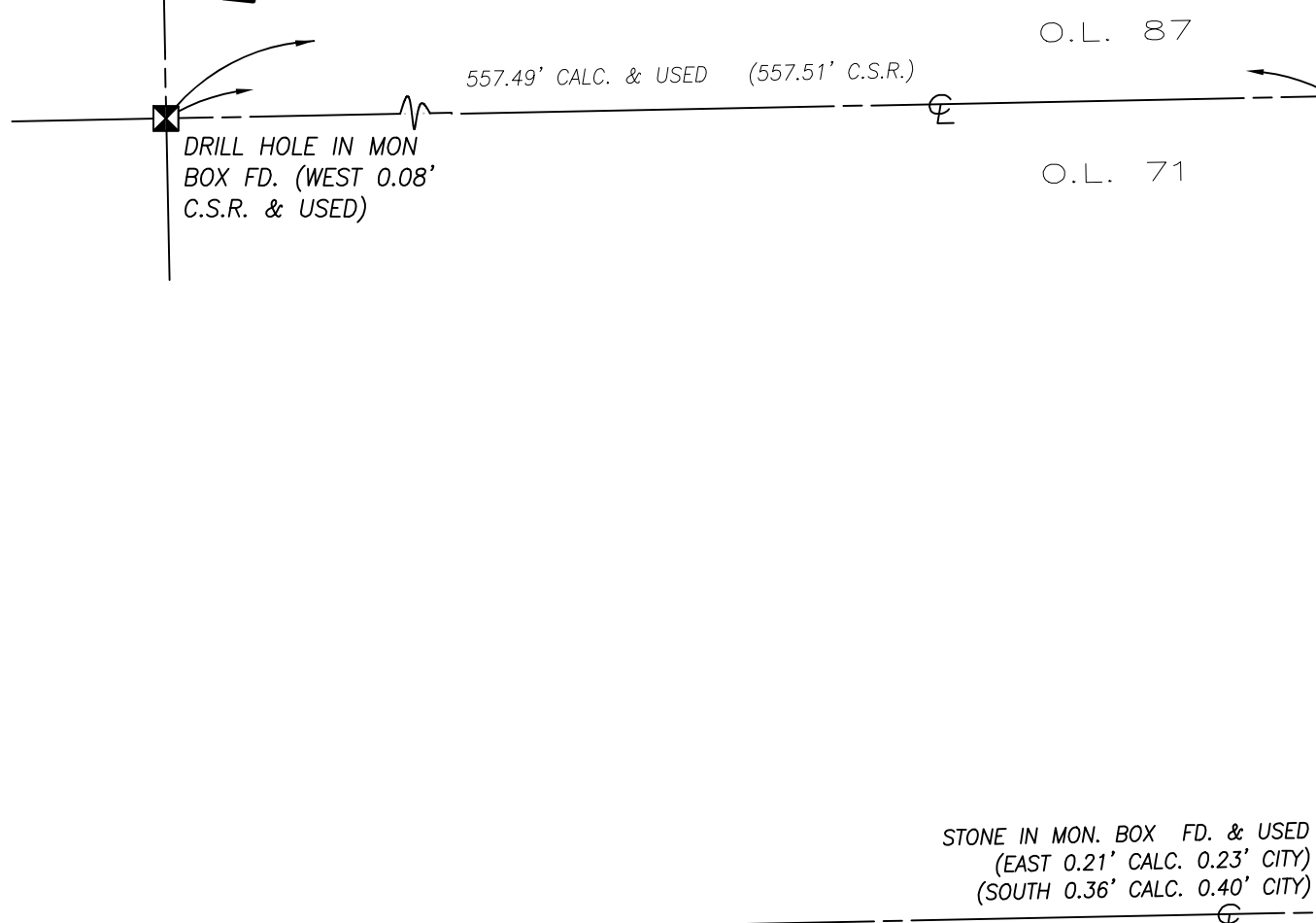
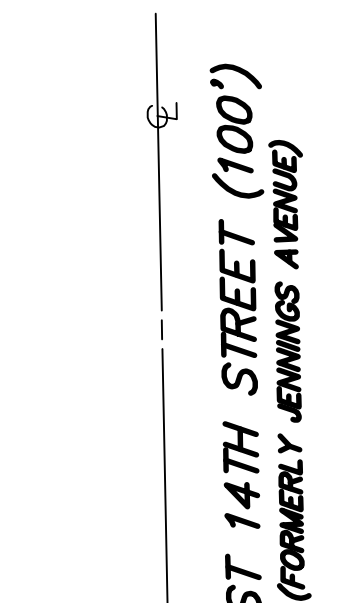
NOTARY PUBLIC MY COMMISSION EXPIRES

THIS LOT SPLIT PLAT IS HEREBY ACCEPTED AND APPROVED BY THE
PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO, THIS _____ DAY OF _____, 202_____

JOYCE PAN HUANG – PLANNING DIRECTOR

THIS LOT SPLIT PLAT IS HEREBY ACCEPTED AND APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO, THIS _____ DAY OF _____, 202_____.

RICHARD SWITALSKI - PLATTING COMMISSIONER



PARCEL "A"	0.0650 ACRES	(2,833 SQ. FT.)
PARCEL "B"	0.0536 ACRES	(2,335 SQ. FT.)
PARCEL "C"	0.0792 ACRES	(3,451 SQ. FT.)

01	PPN 004-13-017 DAVID M. PERKOWSKI DEED VOL. 91-3011, PAGE 7 C.C.D.R.
02	PPN 004-13-018 CHADWICK RYAN PARKS AFN 202204260625 C.C.D.R.
03	PPN 004-13-016 DANIEL R. RENSEL & GREGORY R. MORRIS AFN 201212210458 C.C.D.R.

FOR

KNOWN AS BEING PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NO. 87, RANGE 7,
TOWNSHIP 13 OF THE CONNECTICUT WESTERN RESERVE, AND BEING PART OF SUBLLOT
NO. 238 IN THE PELTON AND JENNINGS ALLOTMENT AS RECORDED IN PLAT VOLUME 2,
PAGE 10 CUYAHOGA COUNTY MAP RECORDS, NOW SITUATED IN THE

McSteen

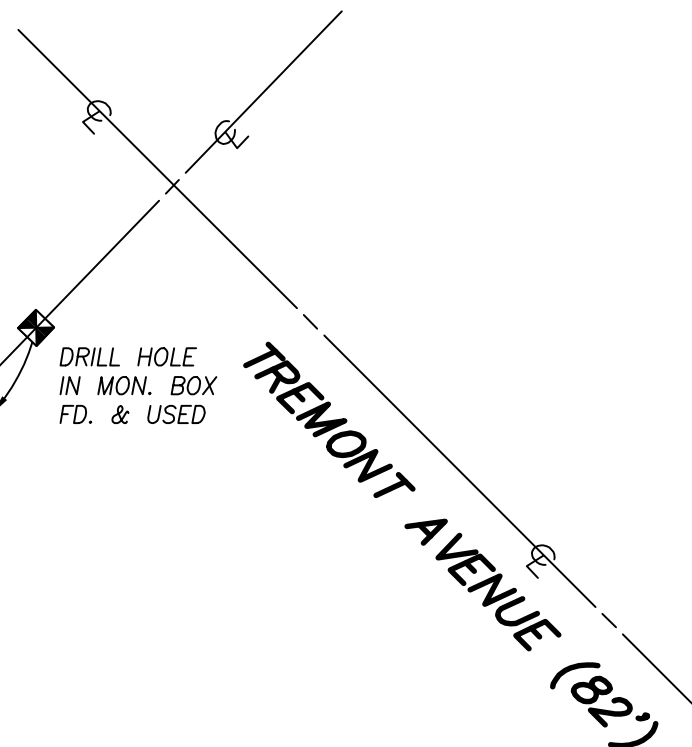
LAND SURVEYORS
1415 East 286th Street Wickliffe, OH 44092
Phone: 440.585.9800 www.mcsteen.com

THIS SURVEY IS A BOUNDARY SURVEY PREPARED IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL IRON PINS SHOWN AS SET ARE 30" LONG 5/8" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN CA 02236".




MATTHEW A. HILDEBRANDT REG. PROF. SURV. No. 8817

Job No.: 22-094
Field Date: May 13, 2022
Survey Date: OCTOBER 13, 2022
REVISED: DECEMBER 6, 2022
Drawn By: TEE & JWW



CITY OF CLEVELAND SURVEY RECORDS

BOOK 34, PAGE	84-96
BOOK 51, PAGE	24
BOOK 55, PAGE	54
BOOK 73, PAGE	29
BOOK 95, PAGE	126-132
BOOK 112, PAGE	134-139
BOOK 116, PAGE	56
BOOK 120, PAGE	42

- "PELTON AND JENNINGS ALLOTMENT" RECORDED IN PLAT VOLUME 2, PAGE 10 C.C.M.R.

- "B. PELTON, TRUSTEE ALLOTMENT" RECORDED IN PLAT VOLUME 2, PAGE 18 C.C.M.R.

- "JOHN G. JENNINGS UNIVERSITY HEIGHTS SUBDIVISION" RECORDED IN PLAT VOLUME 1, PAGE 15 C.C.M.R.

- "LOT SPLIT AND CONSOLIDATION MADE AT THE INSTANCE OF MCM COMPANY, INC." RECORDED IN PLAT VOLUME 377, PAGE 48 C.C.M.R.

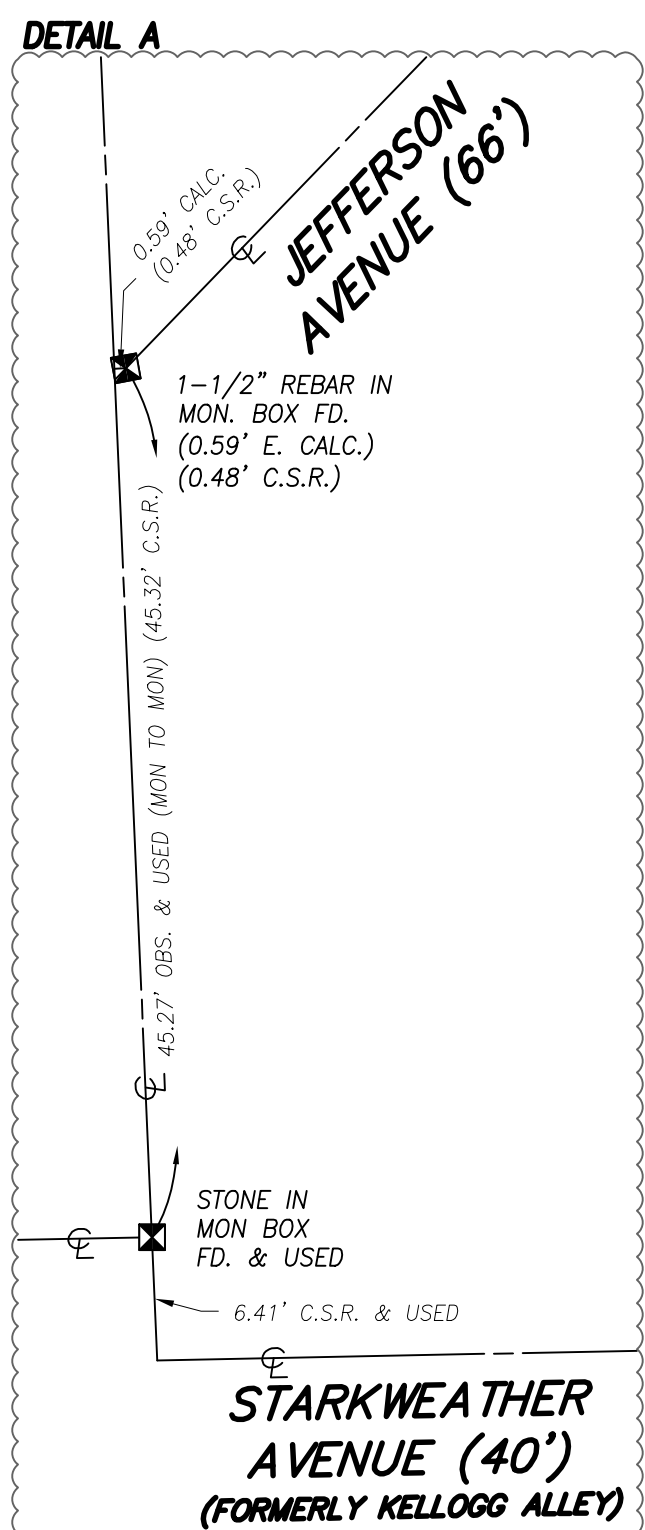
- "LOT SPLIT AND CONSOLIDATION PLAT" RECORDED IN PLAT VOLUME 318, PAGE 90 C.C.M.R.

- "PLAT OF LOT SPLIT OF 1019 STARKWEATHER AVENUE" RECORDED IN PLAT AFN 20190180183 C.C.M.R.

- "BOUNDARY SURVEY FOR MODERN SMART HOMES, LLC" PERFORMED BY MATTHEW A. HILDEBRANDT P.S. 8817 ON BEHALF OF WESTERN LAND SURVEYS UNDER JOB NO. 21-183, DATED AUGUST 2021.

- ✂ DRILL HOLE FOUND AS NOTED
- REBAR FOUND AS NOTED
- 5/8" DIAMETER X 30' LONG
REBAR WITH "MCSTEEN CA
02236" ID CAP SET
- ✕ MAG NAIL FOUND AS NOTED
- ✕ MAG NAIL SET
- ☒ MONUMENT BOX FOUND AS NOTED
- PIPE FOUND AS NOTED
- ⊕ CENTERLINE
- ↔ RIGHT-OF-WAY
- R/W CALCULATED DISTANCE OR ANGLE
- REC. RECORD DISTANCE OR ANGLE
- FD. FOUND
- MON. MONUMENT
- C.M.R. CUYAHOGA COUNTY MAP RECORDS
- C.D.R. CUYAHOGA COUNTY DEED RECORDS
- C.S. CLEVELAND SURVEY RECORDS

LINE DATA		
LINE	BEARING	DISTANCE
L1	S 88°51'58" W	79.21' CALC. & USED
L2	S 88°51'58" W	52.38' CALC. & USED
L3	N 01°08'04" W	65.89' CALC. & USED (66.00' REC.)
L4	N 88°52'11" E	52.38' CALC. & USED
L5	N 88°52'11" E	77.67' CALC. & USED
L6	S 02°28'37" E	36.28' CALC. & USED
L7	S 02°28'37" E	29.62' CALC. & USED
L8	N 88°51'58" E	78.52' CALC. & USED
L9	S 01°08'04" E	65.88' CALC. & USED
L10	S 01°08'04" E	29.60' CALC. & USED
L11	S 01°08'04" E	36.28' CALC. & USED
L12	S 02°28'37" E	65.90' CALC. & USED (66.00' REC.)
L13	N 01°08'04" W	96.00' REC. & USED
L14	S 88°51'58" W	31.00' CALC. & USED (31.00' REC.)
L15	N 01°08'04" W	96.00' REC. & USED
L16	S 88°51'58" W	31.10' CALC. & USED (31.00' REC.)
L17	S 01°08'04" E	30.11' CALC. & USED (30.00' REC.)
L18	N 02°28'37" W	30.13' CALC. & USED (30.00' REC.)
L19	N 88°51'58" E	129.37' CALC. & USED (129.00' REC.)



Job No.: 22-094
© 2022 McSteen & Associates, Inc.

DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS

THIS DECLARATION is made as of the _____ day of _____, 202____
by **David M. Perkowski**, with an address of 2504 W 10 St, Cleveland, OH 44113 (referred to herein
as the "Declarant").

RECITALS AND DECLARATION

- A. **WHEREAS**, the Declarant is the current owner of certain real property consisting of three
(3) separate parcels located in Cleveland, Ohio, as further legally described in the attached
EXHIBITS "A", "B", and "C" (hereinafter referred to as the "Parcel" or collectively the
"Parcels"):
- **Parcel A - PPN:** _____ (**"Parcel A"**)
 - **Parcel B - PPN:** _____ (**"Parcel B"**)
 - **Parcel C - PPN:** _____ (**"Parcel C"**)
- B. **WHEREAS**, Parcels A and B require ingress/egress and access to Starkweather Avenue
as depicted on the drawings attached as EXHIBIT "D";
- C. **WHEREAS**, the Declarant desires to create easements and a maintenance agreement for
the benefit of all Parcels;
- D. **NOW, THEREFORE**, Declarant, for itself and its successors and assigns and subsequent
owners of the Parcels, declares, grants, covenants, and agrees that the Parcels shall be
owned, held, transferred, sold, conveyed, used and occupied subject to the following
covenants, conditions, restrictions, and easements provided in this Declaration, which
shall run with the land and shall be binding on and inure to the benefit of all persons
having any right, title or interest in or to any part of the Parcels, and their respective heirs,
personal representatives, successors and assigns.

ARTICLE I.
General Terms

- E. **Easements, Covenants, and Restrictions to run with the land.** All easements, restrictions and rights described herein are appurtenant to the Parcels, shall run with said lands, perpetually and at all times shall inure to the benefit of and be binding upon the Declarant, its successors and assigns, and any owner, tenant, occupant, purchaser, mortgagee, or other person having an interest in the Parcels, or any part or portion thereof.
- a. **Instrument Reference.** Reference to the restrictions and rights described in any part of this Declaration, in any deed of conveyance, lease, mortgage, trust deed, declaration for another type of residential association, or other evidence of obligation, shall be sufficient to grant such easements, restrictions and rights to the respective grantees, lessees, mortgagees or trustees of such property, or any portion thereof as fully and completely as though such easements, restrictions, and rights were recited fully as set forth in their entirety in such document.
- F. **No Merger of Title.** Declarant hereby agrees, for itself and its successors and assigns, and any subsequent owners of the Parcels, that title to the fee simple estates and any easements created herein shall not be merged by reason of the same person or entity acquiring, owning, or holding title to both, whether presently or in the future.
- G. **Severability.** If any term or provision of this Declaration or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Declaration shall not be affected thereby, and each term and provision of this Declaration shall be valid and enforceable to the fullest extent permitted by law.
- H. **Mortgages.** Any mortgages encumbering all or any portion of the Parcels shall at all times be subordinate to the terms of this Declaration and any party foreclosing any such mortgage, or acquiring title by deed in lieu of foreclosure or trustee's sale, shall acquire title subject to all of the terms and provisions of this Declaration.

ARTICLE II.
Easements

- I. **Ingress/Egress Easement.** The Declarant and subsequent owner(s) of all Parcels hereby agree, grant and convey a reciprocal non-exclusive Easement to each other for ingress/egress to access Starkweather Avenue as depicted in EXHIBIT "D" and further legally described in EXHIBIT "E" (the "Access Easement").
- J. **Utility Easement.** The Declarant and subsequent owner(s) of all Parcels agree, grant, and convey a reciprocal non-exclusive perpetual utility easement (the "Utility Easement") which is granted on, over, through, across, and under all Parcels for purposes of installing, operating, using, repairing, maintaining, and replacing any utility lines, wires, cables,

pipes, equipment and related utility facilities, including but not limited to, electric, gas, sewer, telephone, communications, cable and water utility facilities.

- K. **Purpose of Easement(s).** The Parcel owners are authorized to use the Easements for any lawful purpose consistent with the within Grant of Easement, including but not limited to, vehicular and pedestrian ingress and egress to Starkweather Avenue by non-commercial and commercial vehicles, for the benefit of themselves, their heirs, assigns, agents, employees, tenants, visitors, invitees and licensees, and all persons using the same for the benefit of said named persons.
- L. **Reserved Rights.** All Parcel owners reserve the right to use and enjoy their respective property portions affected by the Easement for any and all purposes, provided such use and enjoyment shall not materially interfere with the easement rights and privileges granted herein.
- M. **Emergency/Service Easement.** A non-exclusive easement is granted to all utility providers and the City including all police, fire, and other emergency personnel, ambulance operators, delivery, garbage and trash removal personnel, and to the local governmental authorities, to enter upon the Parcels and Easement areas in the performance of their duties.

ARTICLE III.

Restrictions & Maintenance Covenants

- N. **Shared Maintenance.** All Parcel owners covenant and agree that they shall be jointly and equally responsible for, and shall perform the necessary maintenance and upkeep of the driveway (to be constructed) subject to the Access Easement, including but not limited to, snowplowing and asphalt/resurfacing services, and further agree to equally share/split the cost(s) of any necessary repair and/or maintenance of the driveway. Provided, however, so long as Parcels B and C remain vacant, the owner(s) of Parcel A will be solely responsible for all maintenance and upkeep.
- O. **Restrictions on Use.** The Parcel owners agree to keep the existing driveway unobstructed and to not block the access opening of the driveway. No Parcel owner shall erect any building, fence or other improvement in the Easement areas which interferes with the easement rights granted herein. No Parcel owner shall use or permit any other persons to use the driveway in any manner which would impair its operation and maintenance, constitute a nuisance, hazard or unsanitary condition or be in violation of any local, state, or federal law, ordinance, rule, regulation or statute.
- P. **Workmanlike Manner.** All work done in connection with the installation, maintenance or repair of the driveway shall be performed in an expeditious and workmanlike manner.

- Q. **Insurance.** Each Parcel owner shall obtain and maintain general liability insurance including public liability and property damage in commercially reasonable amounts.
- R. **Default.** In the event that any Parcel owner fails to perform any provision in accordance with the requirements set forth herein, within ten (10) days following written notice thereof, the other Parcel owner(s) (the "Non-Defaulting Party") shall have the right, but not the obligation, to enter upon such other Parcel and perform said maintenance, repair or replacement for the account of the non performing party (the "Defaulting Party").
- a. The foregoing right to cure shall not be exercised if within ten (10) day notice (i) the Defaulting Party cures the default, or (ii) if the default is curable, but cannot reasonably be cured within that time period, the Defaulting Party begins to cure such default within such time period and thereafter diligently pursues such cure to completion.
 - b. The ten (10) day notice period shall not be required if, using reasonable judgment, the Non-Defaulting Party deems that an emergency exists. In the event of such an emergency, the Non-Defaulting Party shall give notice reasonable under the circumstances to the Defaulting Party.
 - c. Within ten (10) days following written demand, including copies of paid invoice, the Defaulting Party shall reimburse the Non-Defaulting Party any sum reasonably expended by the Non-Defaulting Party to cure the default. If such amounts are not paid within thirty (30) days of billing, then such amounts shall accrue interest until paid, and the Defaulting Party shall be responsible for reasonable attorneys' fees and costs in the enforcement and collection thereof.
 - d. Parcel owners shall also have the right to restrain by injunction any violation or threatened violation by the other party hereto of any of the terms, covenants, or conditions hereof, or to obtain a decree to compel performance if any such term, covenant, or condition is not adequate. All remedies are cumulative and shall be deemed additional to any and all other remedies to which any Parcel owner or permittee may have at law or in equity.
- S. **Lien.** In the event a lien is filed against all or any portion of the Parcels in connection with any maintenance obligations, the lien must be bonded, satisfied or removed by the Parcel owner responsible for said maintenance obligations within thirty (30) days following the filing thereof.
- T. **Declarant Not Liable.** All Parcel owners expressly agree to hold the Declarant harmless from any and all liability, costs and/or damages arising out of the Driveway and Easement rights described herein.

IN WITNESS WHEREOF, the Declarant has executed this Declaration as of the day first above written.

David M. Perkowski

Karen Perkowski, *to release dower*

STATE OF _____)
) SS
COUNTY OF _____)

This is an acknowledgment clause. No oath or affirmation was administered to the signer.

The foregoing instrument was acknowledged before me this _____ day of _____, 202____, by **David M. Perkowski and Karen Perkowski**.

NOTARY PUBLIC

Instrument prepared by:

Alina Dukstansky, Esq. (0092197)
ALINA LAW LLC
(440) 681-0004



EXHIBIT "A"

File No. 22-094
August 17, 2022

LEGAL DESCRIPTION

Parcel "A"
West 10th Street
Cleveland, OH

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 87, Range 7, Township 13 of the Connecticut Western Reserve, and being part of Sublot No. 238 in the Pelton and Jennings Allotment as recorded in Plat Volume 2, Page 10 Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by David M. Perkowski as recorded in Deed Volume 91-3011, Page 7 of Cuyahoga County Deed Records, now being further known as **Parcel "A"** in the Lot Split for 2504 West 10th Street as recorded in _____ of Cuyahoga County Map Records, containing **0.065 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in May 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-094



EXHIBIT "B"

File No. 22-094
August 17, 2022

LEGAL DESCRIPTION

Parcel "B"
West 10th Street
Cleveland, OH

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 87, Range 7, Township 13 of the Connecticut Western Reserve, and being part of Sublot No. 238 in the Pelton and Jennings Allotment as recorded in Plat Volume 2, Page 10 Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by David M. Perkowski as recorded in Deed Volume 91-3011, Page 7 of Cuyahoga County Deed Records, now being further known as **Parcel "B"** in the Lot Split for 2504 West 10th Street as recorded in _____ of Cuyahoga County Map Records, containing **0.0536 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in May 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-094



EXHIBIT "C"

File No. 22-094
August 17, 2022

LEGAL DESCRIPTION

Parcel "C"
Starkweather Avenue
Cleveland, OH

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 87, Range 7, Township 13 of the Connecticut Western Reserve, and being part of Sublot No. 238 in the Pelton and Jennings Allotment as recorded in Plat Volume 2, Page 10 Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by David M. Perkowski as recorded in Deed Volume 91-3011, Page 7 of Cuyahoga County Deed Records, now being further known as **Parcel "C"** in the Lot Split for 2504 West 10th Street as recorded in _____ of Cuyahoga County Map Records, containing **0.0792 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in May 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-094

EASEMENT EXHIBIT

FOR

2504 WEST 10TH STREET

KNOWN AS BEING PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NUMBER 87, RANGE 7, TOWNSHIP 13 OF THE CONNECTICUT WESTERN RESERVE, AND BEING PART OF SUBLOT NUMBER 238 IN PELTON AND JENNINGS ALLOTMENT, AS RECORDED IN VOLUME 2, PAGE 10 OF CUYAHOGA COUNTY MAP RECORDS, NOW SITUATED IN THE

CITY OF CLEVELAND
COUNTY OF CUYAHOGA - STATE OF OHIO

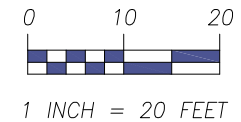
McSteen

LAND SURVEYORS

1415 East 286th Street Wickliffe, OH 44092
Phone: 440.585.9800 www.mcsteen.com



GRAPHIC SCALE



LINE DATA

LINE	BEARING	DISTANCE
L1	N 88°52'11" E	10.00'
L2	S 88°51'58" W	10.00'

PPN 004-13-016
DANIEL R. RENSEL &
GREGORY R. MORRIS
AFN 201212210458 C.C.D.R.

S/L 237

VINYL FENCE

GARAGE

VINYL FENCE

H.N. 2504
2 STORY
FRAME HOUSE

PROPOSED
PARCEL "A"

PELTON & JENNINGS
ALLOTMENT

VOLUME 2, PAGE 10 C.C.M.R.

PROPOSED LOT SPLIT LINE

S/L 238

PPN 004-13-017
DAVID M. PERKOWSKI
VOL. 91-3011, PG. 7 C.C.D.R.
0.1979 ACRE

PROPOSED
PARCEL "B"

POINT OF
COMMENCEMENT

N 88°51'58" E 47.38'

R/W

PLACE OF
BEGINNING

STARKWEATHER AVENUE (100')

CONCRETE
DRIVE

8"

LEGEND

UTILITY POLE

WATER METER

R/W RIGHT-OF-WAY

C.C.M.R CUYAHOGA COUNTY MAP RECORDS

C.C.D.R CUYAHOGA COUNTY DEED RECORDS

FENCE LINE

CONCRETE

ASPHALT

Job No.: 22-094

Drawn By: BRC

Date: February 20, 2023

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EXHIBIT "D"



EXHIBIT "E"

Project No. 22-094
February 20, 2023

LEGAL DESCRIPTION
Access Easement
2504 West 10th Street, Cleveland, Ohio

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot Number 87, Range 7, Township 13 of the Connecticut Western Reserve, and being part of Sublot Number 238 in Pelton and Jennings Allotment, as recorded in Volume 2, Page 10 of Cuyahoga County Map Records, being part of a parcel of land known as Cuyahoga County Auditor's Parcel Number 004-13-017, now or formerly owned by David M. Perkowski, as recorded in Volume 91-3011, Page 7 of Cuyahoga County Deed Records, and being more completely described as follows:

Commencing on the northerly right-of-way line of Starkweather Avenue (100 feet wide), at the southwesterly corner of said Perkowski lands, thence North 88° 51' 58" East, along the northerly right-of-way line of said Starkweather Avenue, 47.38 feet, to the **PLACE OF BEGINNING** for the easement herein described;

Course No. 1: thence **North 1° 08' 04" West, 65.88 feet**, to the southerly line of Sublot 237 in said Pelton and Jennings Allotment;

Course No. 2: thence **North 88° 52' 11" East**, along the southerly line of said Sublot 237, **10.00 feet**;

Course No. 3: thence **South 1° 08' 04" East, 65.88 feet**, to the northerly right-of-way line of said Starkweather Avenue;

Course No. 4: thence **South 88° 51' 58" West**, along the northerly right-of-way of said Starkweather Avenue **10.00 feet**, to the **PLACE OF BEGINNING**, containing **0.0151 acre**, more or less, but subject to all highways, covenants, and easements of legal record as prepared in February 2023 by **McSteen Land Surveyors** under Project No. 22-094.

Cleveland City Planning Commission

Conditional Use Permit



April 21, 2022

Conditional Use Permit



April 21, 2023

For: PPN# 001-24-063

Address: 1407 West 117th Street

Per 343.23 (e)(2)

B. Driveway across a public sidewalk

C. Institutional Use

D. Building-enclosed Use without a public pedestrian entrance from the PRO frontage

Presenter: Shannan Leonard, Staff Planner

1407 West 117th Street: Urgent Care Center

City Planning Commission Hearing
April 21, 2023

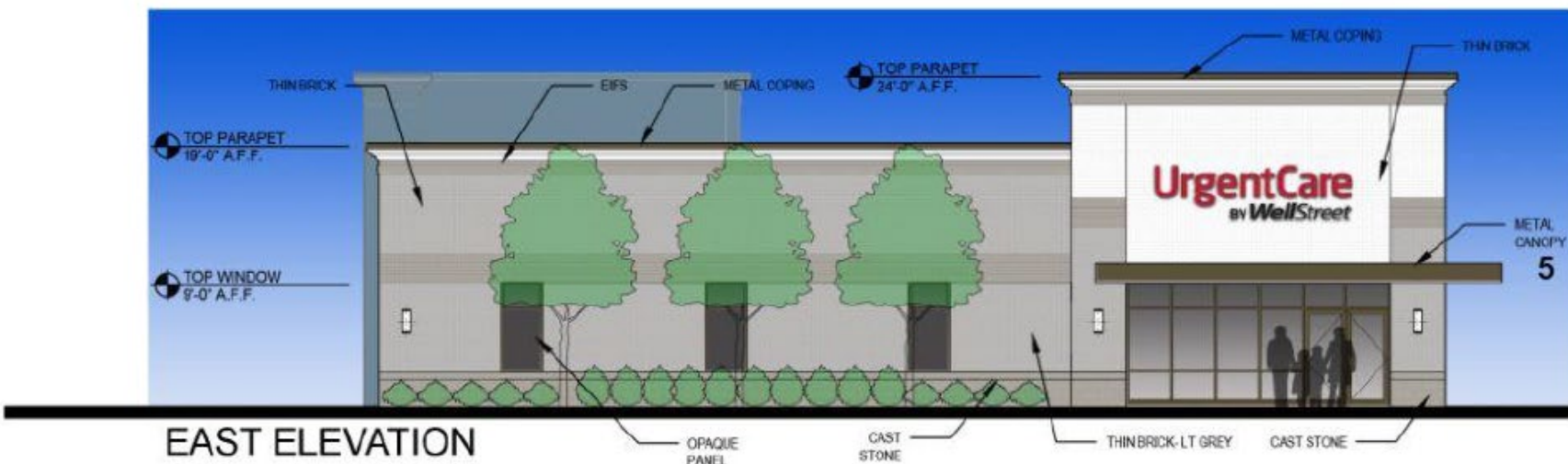


Existing Site



Existing Pizza Hut to be demolished

Proposal



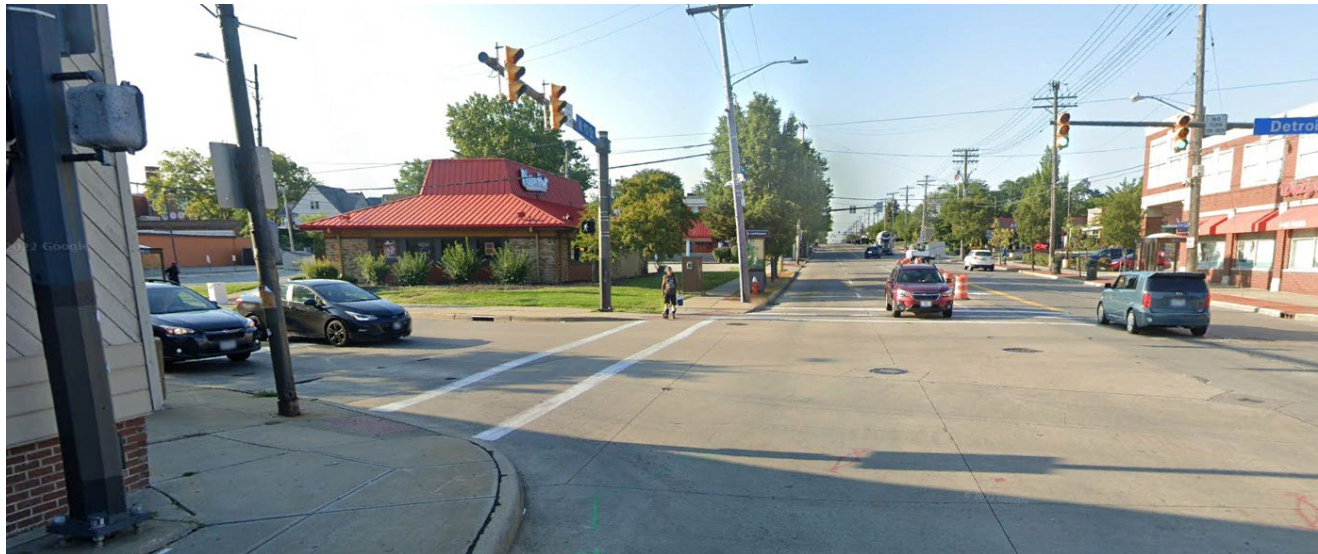
- Under **§343.23 (d)(4)** in Definitions, an *"Institutional Use"* is defined as a school, day care center, place of worship, *place of assembly*, nursing home, residential treatment facility, **hospital or similar use**.

Pedestrian Retail Overlay Conditional Uses & Criteria

(343.23 (e) (2)(C))

C. Residential, Institutional, and Non-Retail Office Uses - *one (1) or more of the following apply:*

- The subject building space was designed specifically for the type of use proposed (Non-retail office space, residential amenity spaces)
- Denial of the application for conditional use would result in long term vacancy of subject property, as demonstrated by applicant
- The proposed use is needed in the immediate area & suitable alternative locations are unavailable

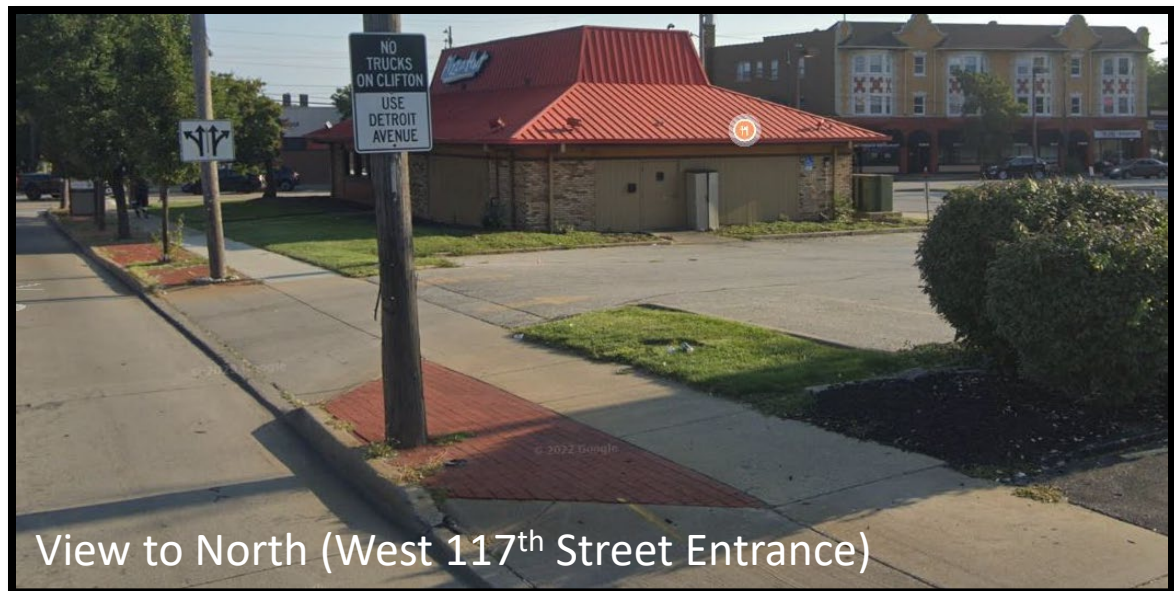
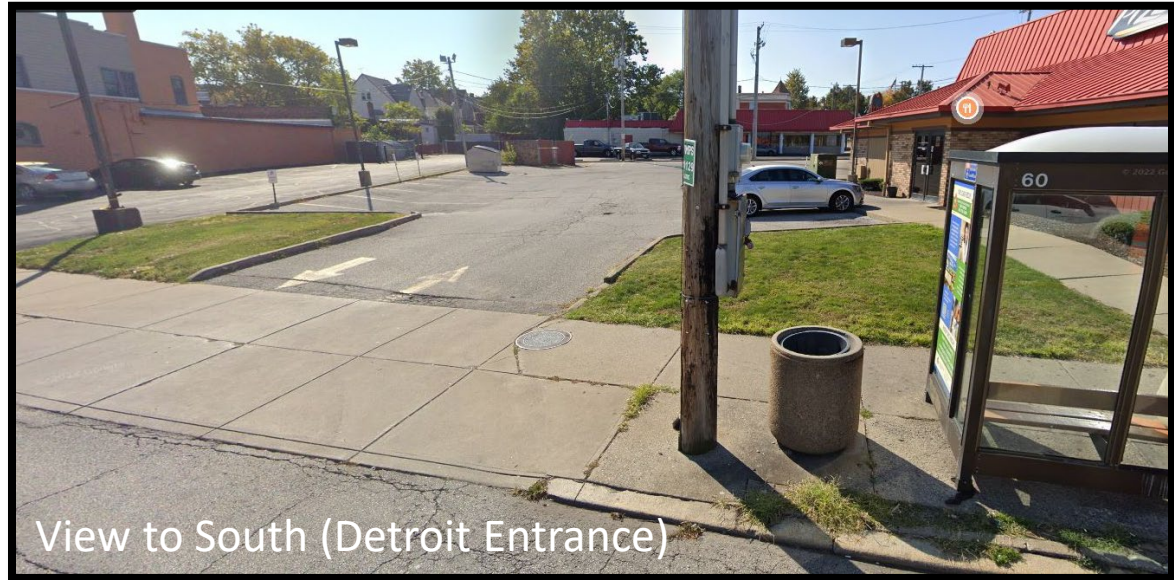


Pedestrian Retail Overlay Conditional Uses & Criteria

(343.23 (e) (2)(A), (B))

A & B. Off-Street Parking or Loading Areas & Driveway Across a Public Sidewalk - One (1) or both conditions apply:

- The size, shape or layout of the subject property does not permit placement of parking, loading or the driveway in a more suitable location.
- It has been demonstrated by the applicant that placement of the parking, loading or driveway in allowed location would jeopardize the continued occupancy of the subject property by uses suited to the PRO district.

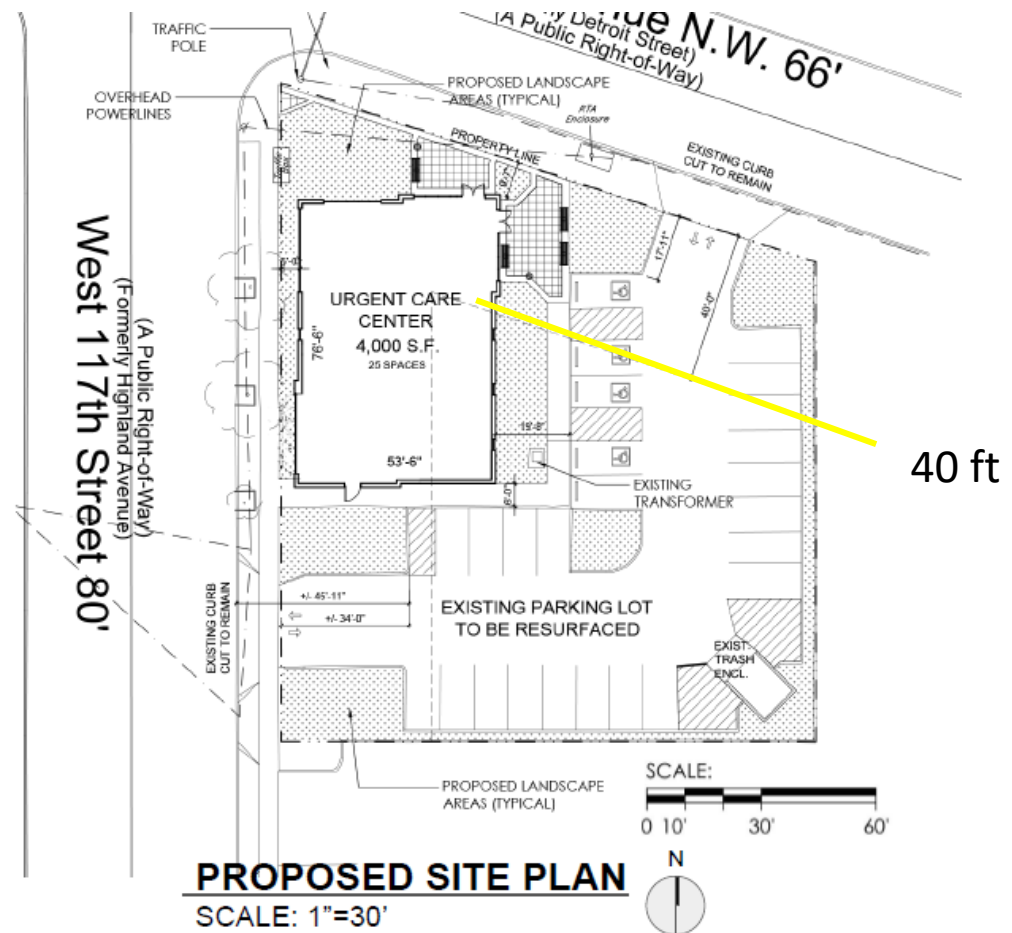


Pedestrian Retail Overlay Conditional Uses & Criteria

(343.23 (e) (2)(A), (B))

A & B(x2). Off-Street Parking or Loading Areas & Driveway Across a Public Sidewalk - One (1) or both conditions apply:

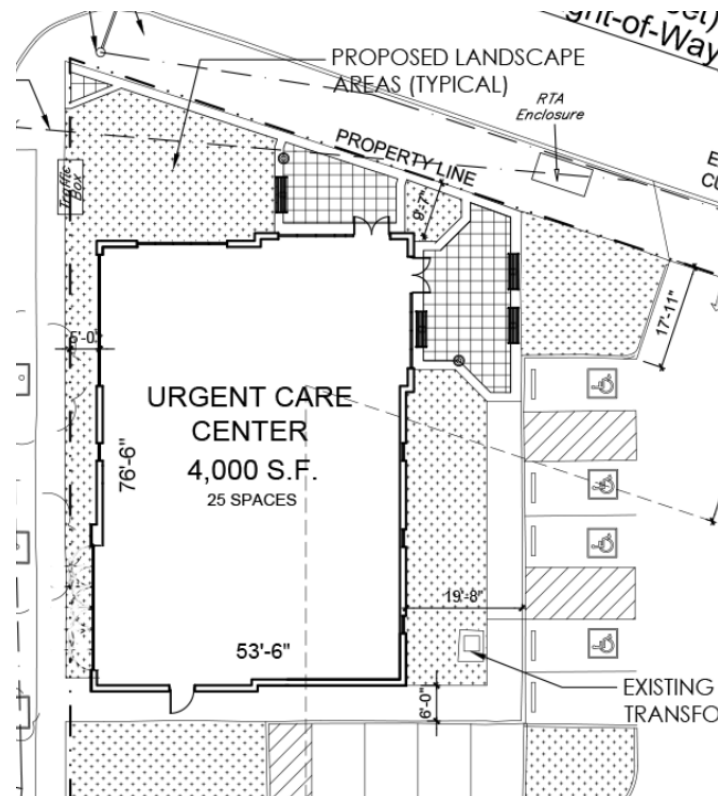
- The size, shape or layout of the subject property does not permit placement of parking, loading or the driveway in a more suitable location.
- It has been demonstrated by the applicant that placement of the parking, loading or driveway in allowed location would jeopardize the continued occupancy of the subject property by uses suited to the PRO district.



Proposal

D. Any building-enclosed use that does not have a public pedestrian entrance from the Pedestrian Retail Street Frontage, one or BOTH conditions apply:

- The proposed use will occupy an existing building that lacks such pedestrian entrance, and the ADDITION of such conforming pedestrian entrance is made INFEASIBLE by the configuration of the interior space or other factors related to the design and placement of the building
- Placement of the pedestrian entrance in a location other than on the Pedestrian Retail Street Frontage will result in a more suitable pedestrian access.



Pedestrian Retail Overlay Conditional Uses

A.) Off-street parking or loading areas

B.) Driveways Extending Across a Public Sidewalk

C.) Institutional, and Non-Retail Office Uses

D.) Any building-enclosed use that does not have a public pedestrian entrance from the Pedestrian Retail Street Frontage

Cleveland City Planning Commission

Design Review Cases



April 21, 2023

FW2023-002 - West 117th Urgent Care New Construction: Seeking Final Approval

Project Address: 1407 West 117th Street

Project Representative: Dave Sambor, Rare Design Studio

Note: the Planning Commission granted this item Schematic Design Approval with Conditions on February 17, 2023. Incorporate the DRAC's comments.

Committee Recommendation: Approved with **Conditions:**

1. Parapet on main roofline be increased at least 8" higher.
2. Parapet on cornices – extend the EFIS detailing around the back of the cornice so it cannot be seen from the street with the same coloring as the front so as to look intentional

PROPOSED URGENT CARE

CITY OF CLEVELAND
DESIGN REVIEW-FINAL APPROVAL
APRIL 5, 2023

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SITE INFORMATION

Parcel #: 00124063

Address: 1407 W 117 ST, CLEVELAND, OH, 44102

Legal Front: 50'

Lot Size: 21050 (SqFt.), 0.483 Acres

Topography: LEVEL

Legal Description: 9 MARSHALL S/L 2 NP & 3 NWP 0001 NP

Zoning: Local Retail Business with PRO Street Frontage

Use: Urgent Care Center

Area: 4,000 S.F.

Height: Single story, 24'-4"

Parking Provided: 25 Existing Spaces to Remain

Conditional Use:

1. No building entry along 117th
2. Curb cuts on both 117th and Detroit
3. Parking within 40' of the Pedestrian Retail Overlay
4. Allowance for Institutional Use in a Pedestrian Retail Overlay

Variance:

1. Building setback greater than 5' along Detroit

CS

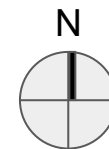
REGION:
FAR WEST REGION

DESIGN REVIEW DISTRICT:
WEST 117TH ST.

SITE →

The map displays a grid of streets in the Far West Region. Key streets include Edgewater Dr, Clifton Blvd, West Blvd, West 117th St, West 116th St, West 115th St, West 114th St, West 113th St, West 112th St, West 111th St, West 110th St, West 109th St, West 108th St, West 107th St, West 106th St, West 105th St, West 104th St, West 103rd St, West 102nd St, West 101st St, West 100th St, West 99th St, West 98th St, West 97th St, West 96th St, West 95th St, West 94th St, West 93rd St, West 92nd St, West 91st St, West 90th St, West 89th St, West 88th St, West 87th St, West 86th St, West 85th St, West 84th St, West 83rd St, West 82nd St, West 81st St, West 80th St, West 79th St, West 78th St, West 77th St, West 76th St, West 75th St, West 74th St, West 73rd St, West 72nd St, West 71st St, West 70th St, West 69th St, West 68th St, West 67th St, West 66th St, West 65th St, West 64th St, West 63rd St, West 62nd St, West 61st St, West 60th St, West 59th St, West 58th St, West 57th St, West 56th St, West 55th St, West 54th St, West 53rd St, West 52nd St, West 51st St, West 50th St, West 49th St, West 48th St, West 47th St, West 46th St, West 45th St, West 44th St, West 43rd St, West 42nd St, West 41st St, West 40th St, West 39th St, West 38th St, West 37th St, West 36th St, West 35th St, West 34th St, West 33rd St, West 32nd St, West 31st St, West 30th St, West 29th St, West 28th St, West 27th St, West 26th St, West 25th St, West 24th St, West 23rd St, West 22nd St, West 21st St, West 20th St, West 19th St, West 18th St, West 17th St, West 16th St, West 15th St, West 14th St, West 13th St, West 12th St, West 11th St, West 10th St, West 9th St, West 8th St, West 7th St, West 6th St, West 5th St, West 4th St, West 3rd St, West 2nd St, West 1st St. A green dot marks the site location on West 117th St. The map also shows the location of the 90th Street Bridge and the 117th Street Bridge.

SCALE: N.T.S.



1

**CONCEPTUAL/SCHEMATIC DESIGN
PROPOSED URGENT CARE CENTER**

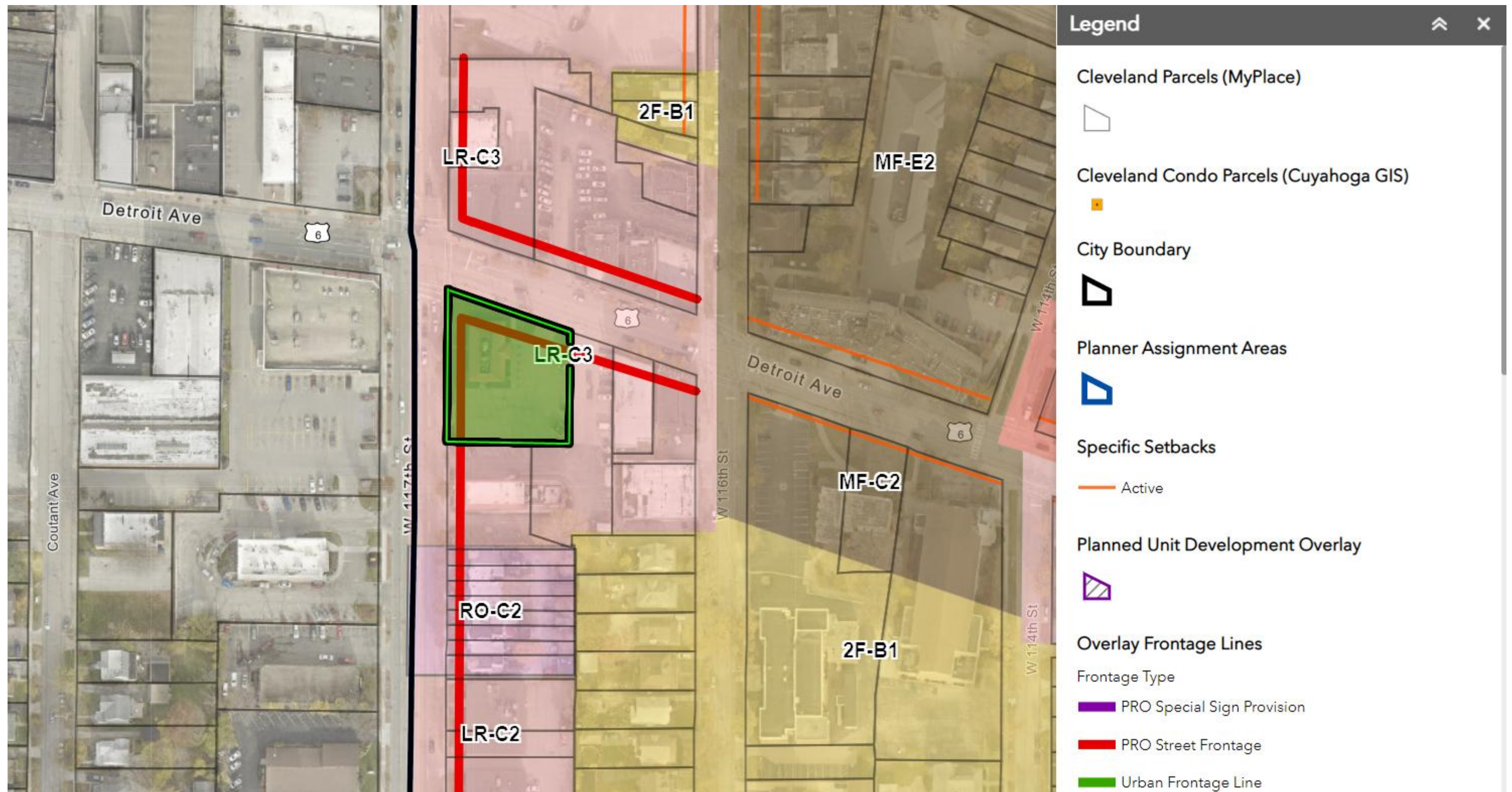
RARE DESIGN
STUDIO

RESPONSIVE • ACCOUNTABLE • RELIABLE • EXPERIENCED

March 29, 2023

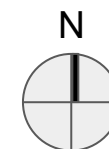
RDS #2023001

1407 WEST 117TH ST. CLEVELAND, OHIO 44102



ZONING MAP

SCALE: N.T.S.



2

The Niki Group, LLC

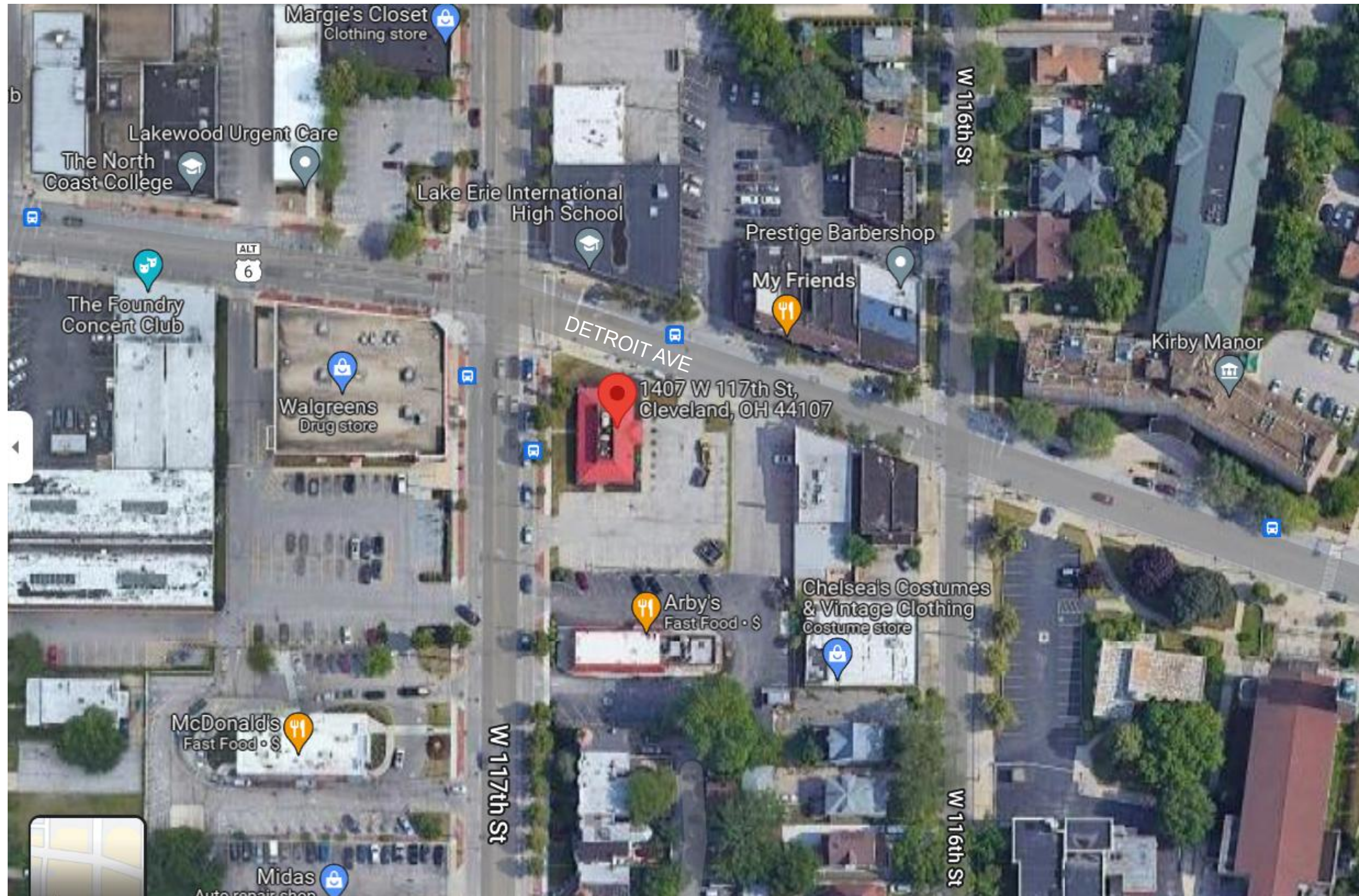
CONCEPTUAL/SCHEMATIC DESIGN PROPOSED URGENT CARE CENTER

RARE DESIGN
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RDS #2023001

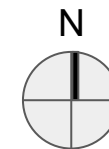
1407 WEST 117TH ST. CLEVELAND, OHIO 44102

March 29, 2023



LOCATION MAP

SCALE: N.T.S.



3

The Niki Group, LLC

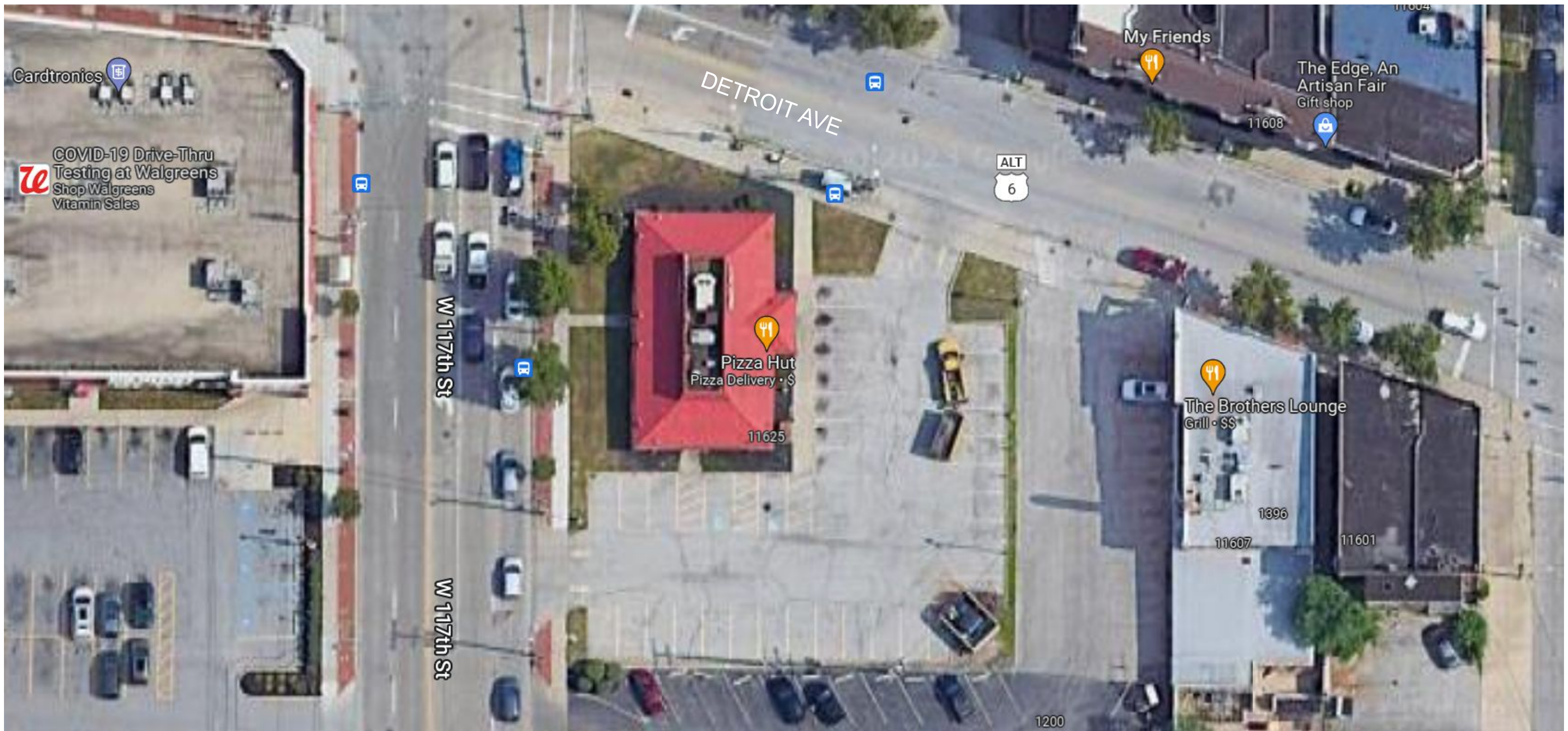
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RDS #2023001

1407 WEST 117TH ST. CLEVELAND, OHIO 44102

March 29, 2023



EXISTING SITE MAP

SCALE: N.T.S.



4

The Niki Group, LLC

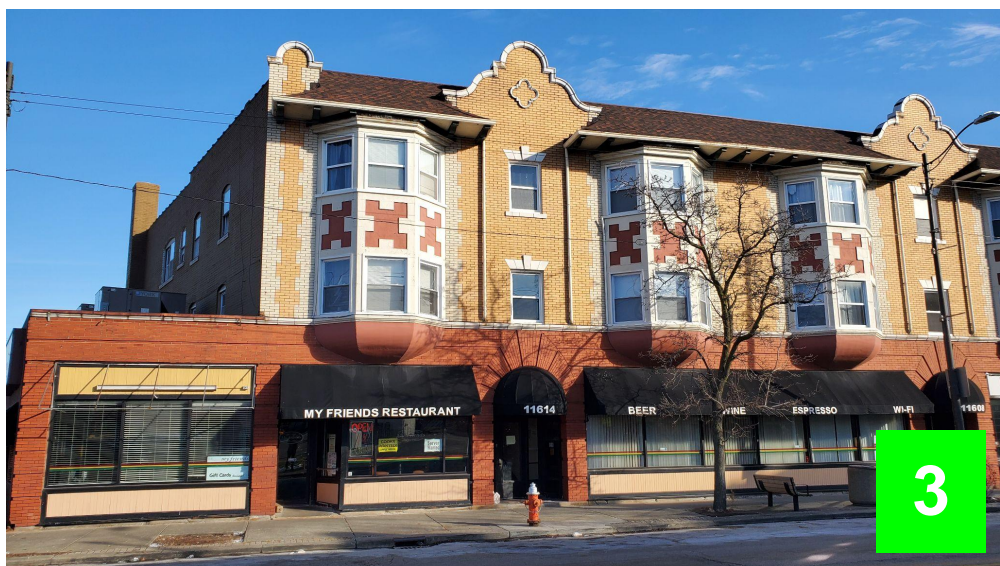
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RDS #2023001

1407 WEST 117TH ST. CLEVELAND, OHIO 44102

March 29, 2023



EXISTING CONDITIONS PHOTOS

5

The Niki Group, LLC

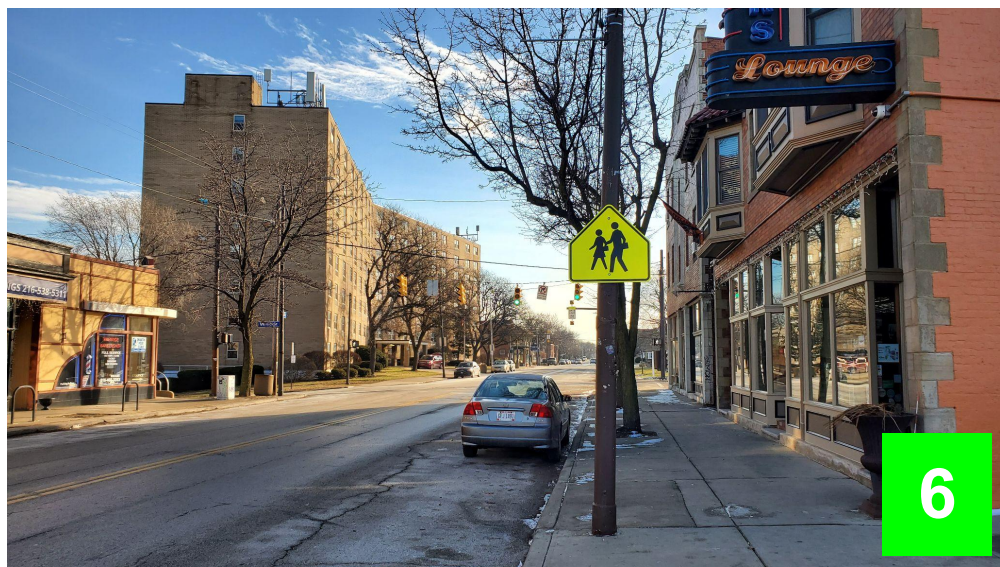
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1407 WEST 117TH ST. CLEVELAND, OHIO 44102

March 29, 2023



6



7



8



9



10

EXISTING CONDITIONS PHOTOS

6

The Niki Group, LLC

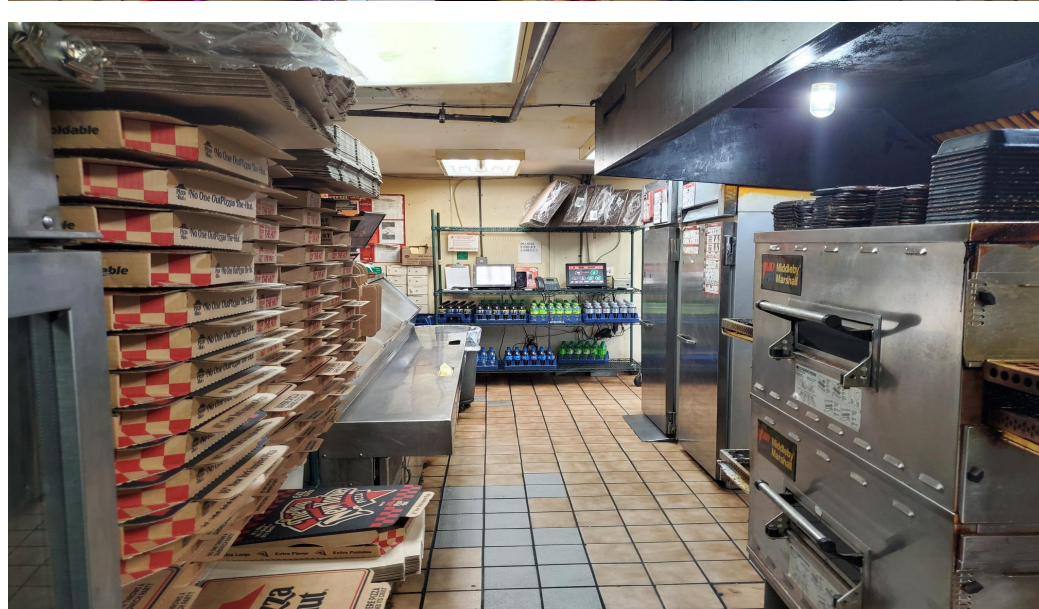
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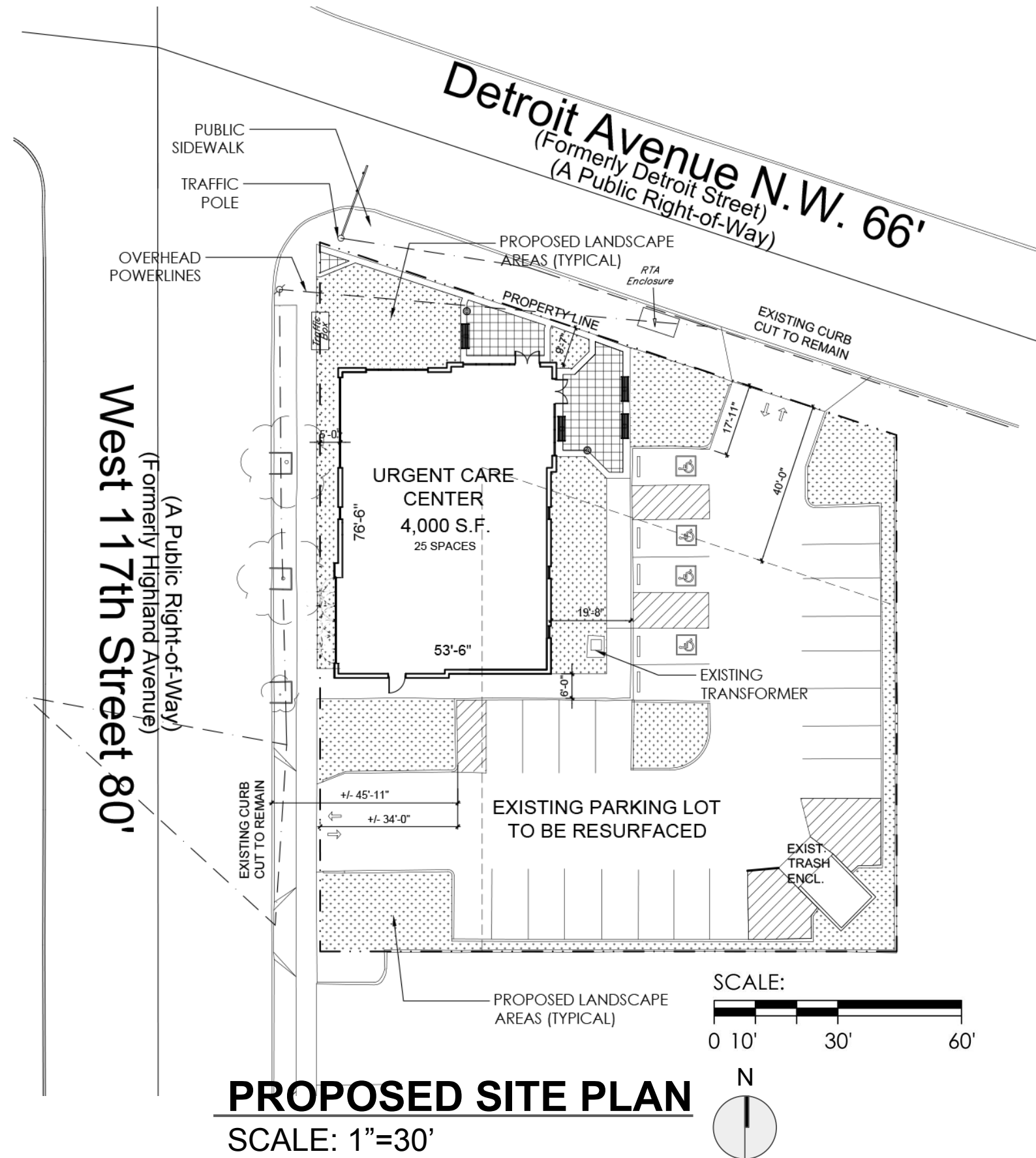
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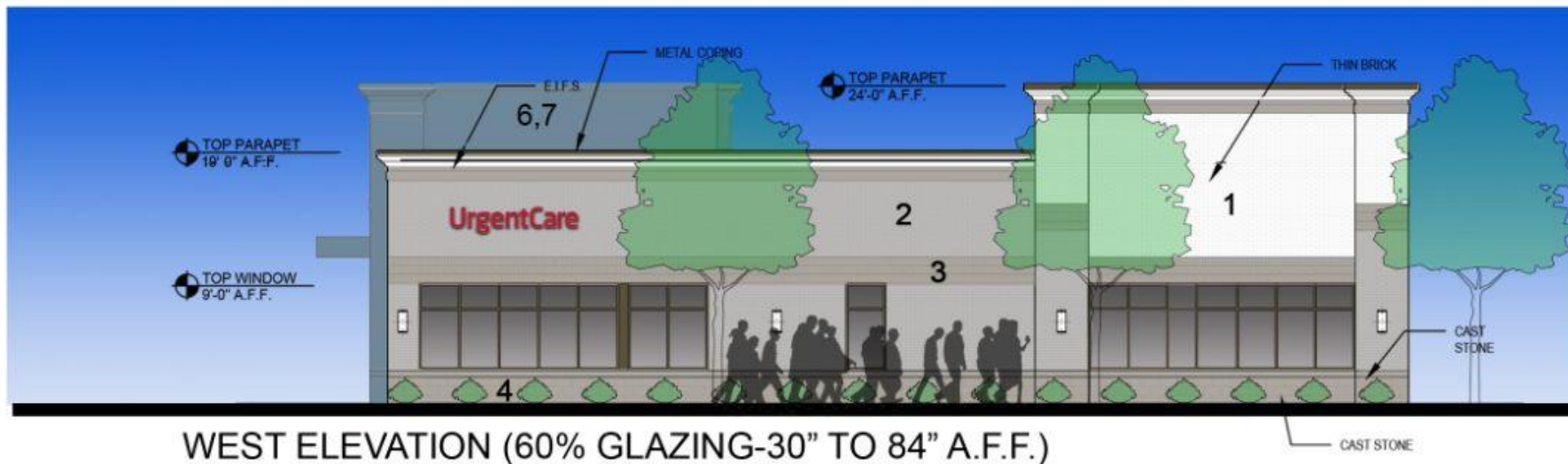
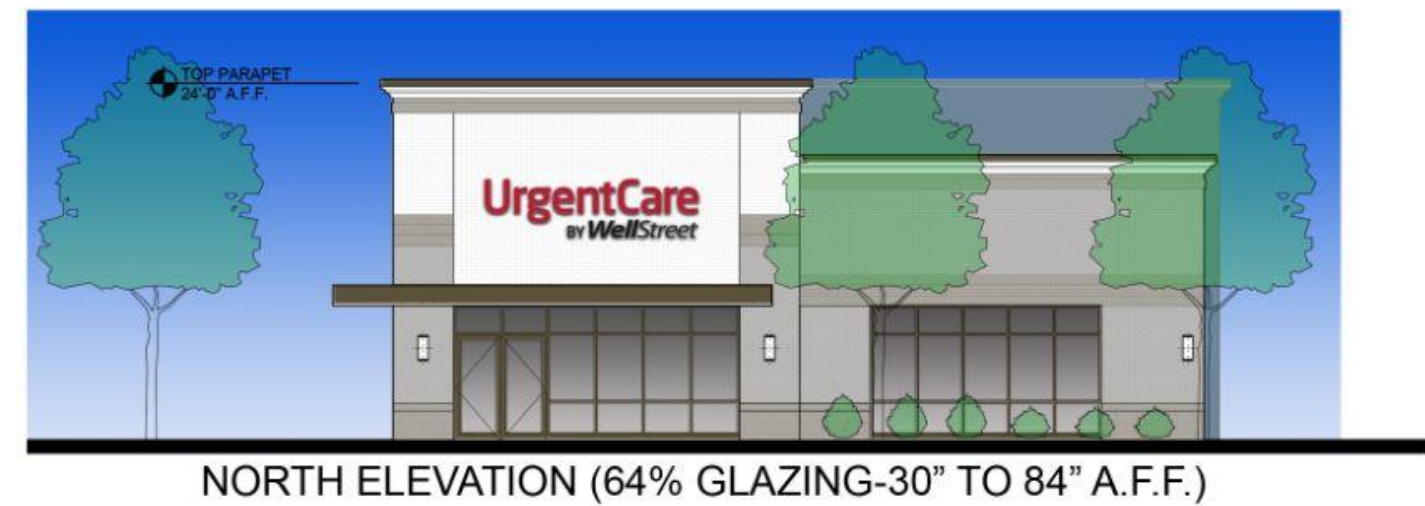
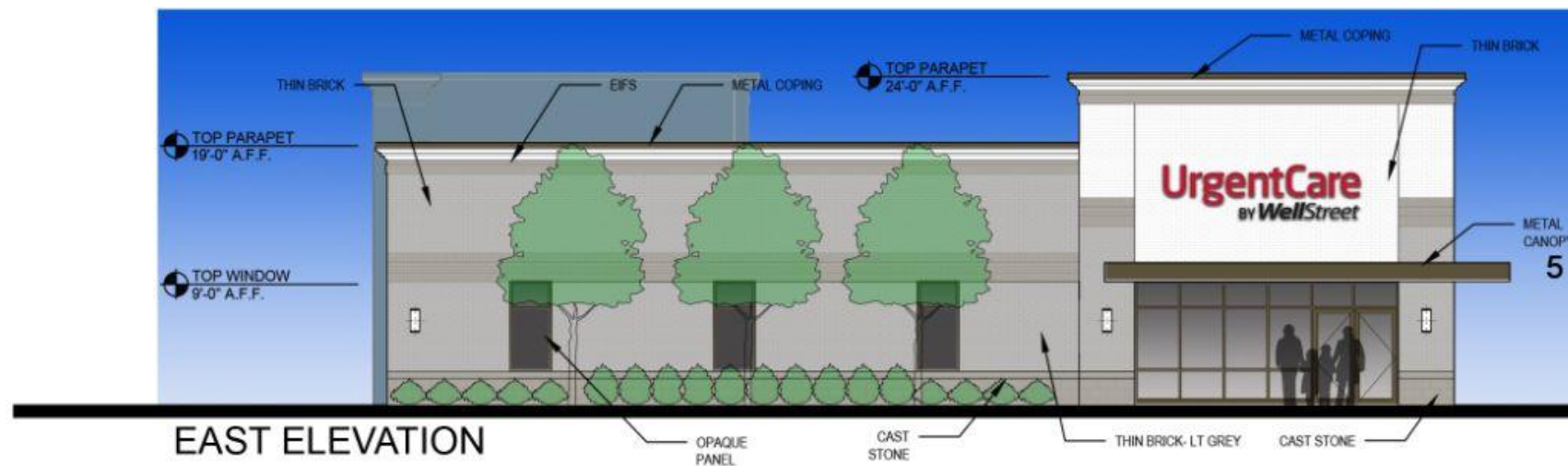
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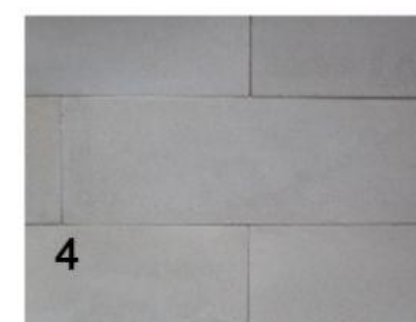
March 29, 2023





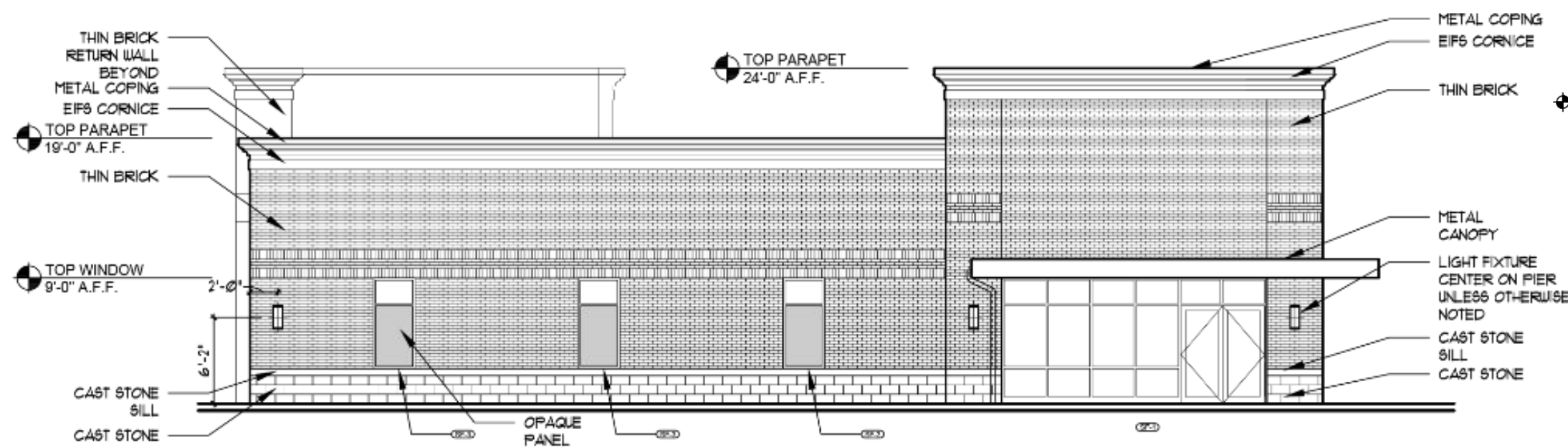
MATERIAL PALLETTE:

- 1 WHITE BRICK: BELDEN BRICK: ALASKAN WHITE
- 2 LIGHT BRICK: BELDEN BRICK SMOKEY GREY
- 3 DARK BRICK: METRO 505
- 4 CAST STONE: CUSTOM CAST STONE: SLATE
- 5 STOREFRONT, COPING, CANOPY: MEDIUM BRONZE
- 6 E.I.F.S.: 158 STO LIMESTONE 9433 STO WHITE
- 7 E.I.F.S.: DORIAN GRAY SW 7017



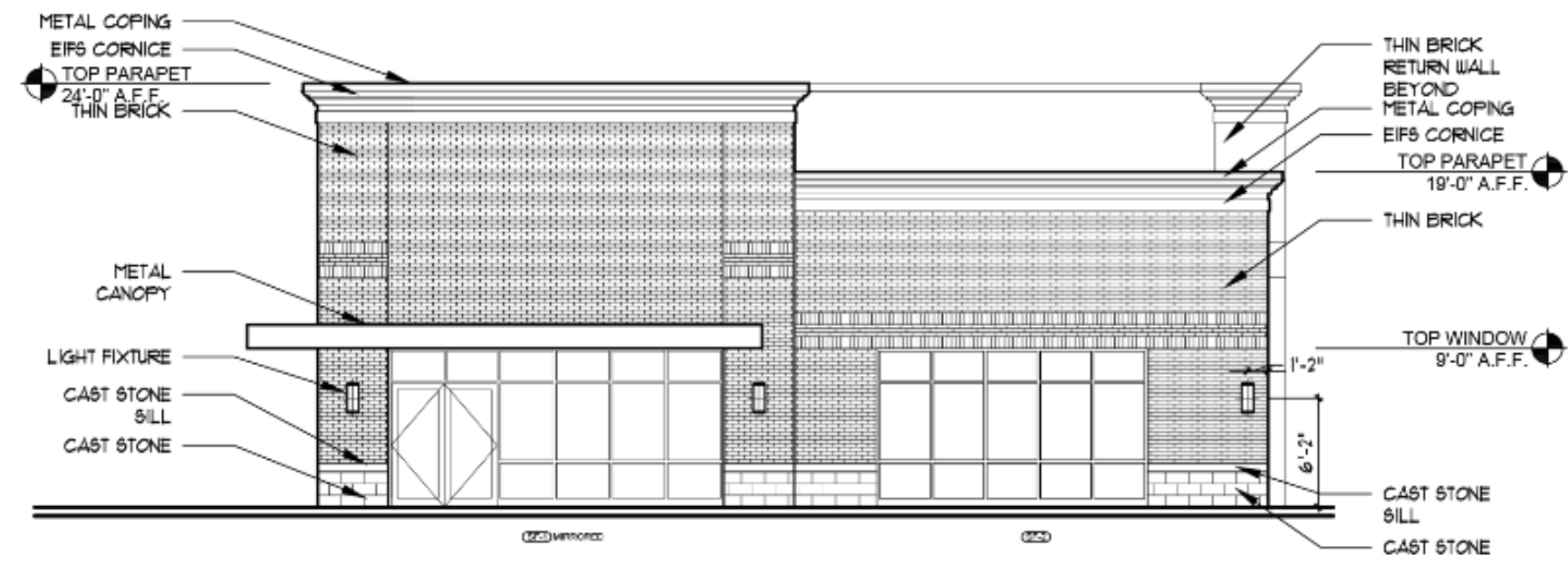
TYPICAL LIGHT
FIXTURE





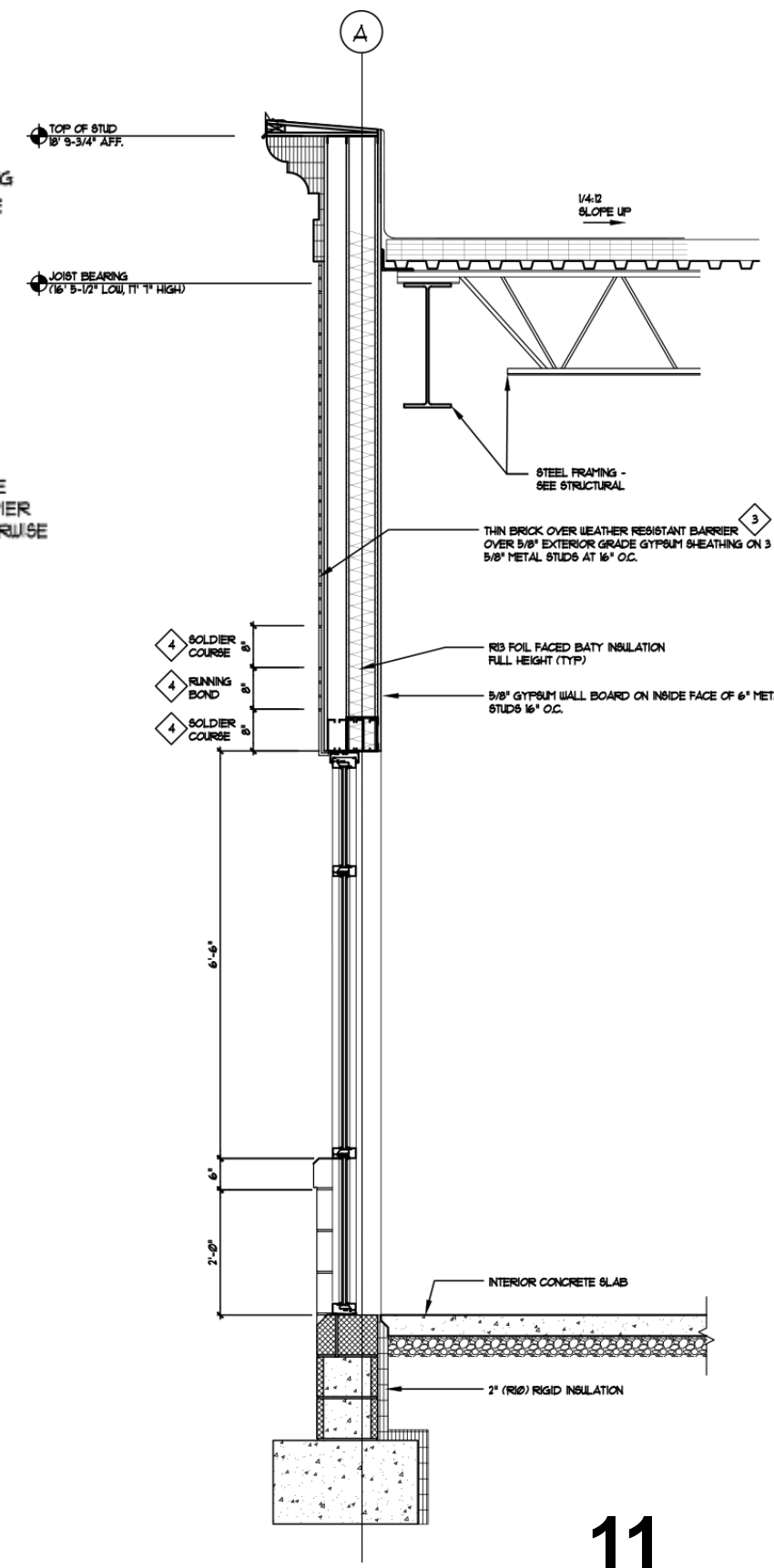
EAST ELEVATION

SCALE: 1/8"=1'-0"

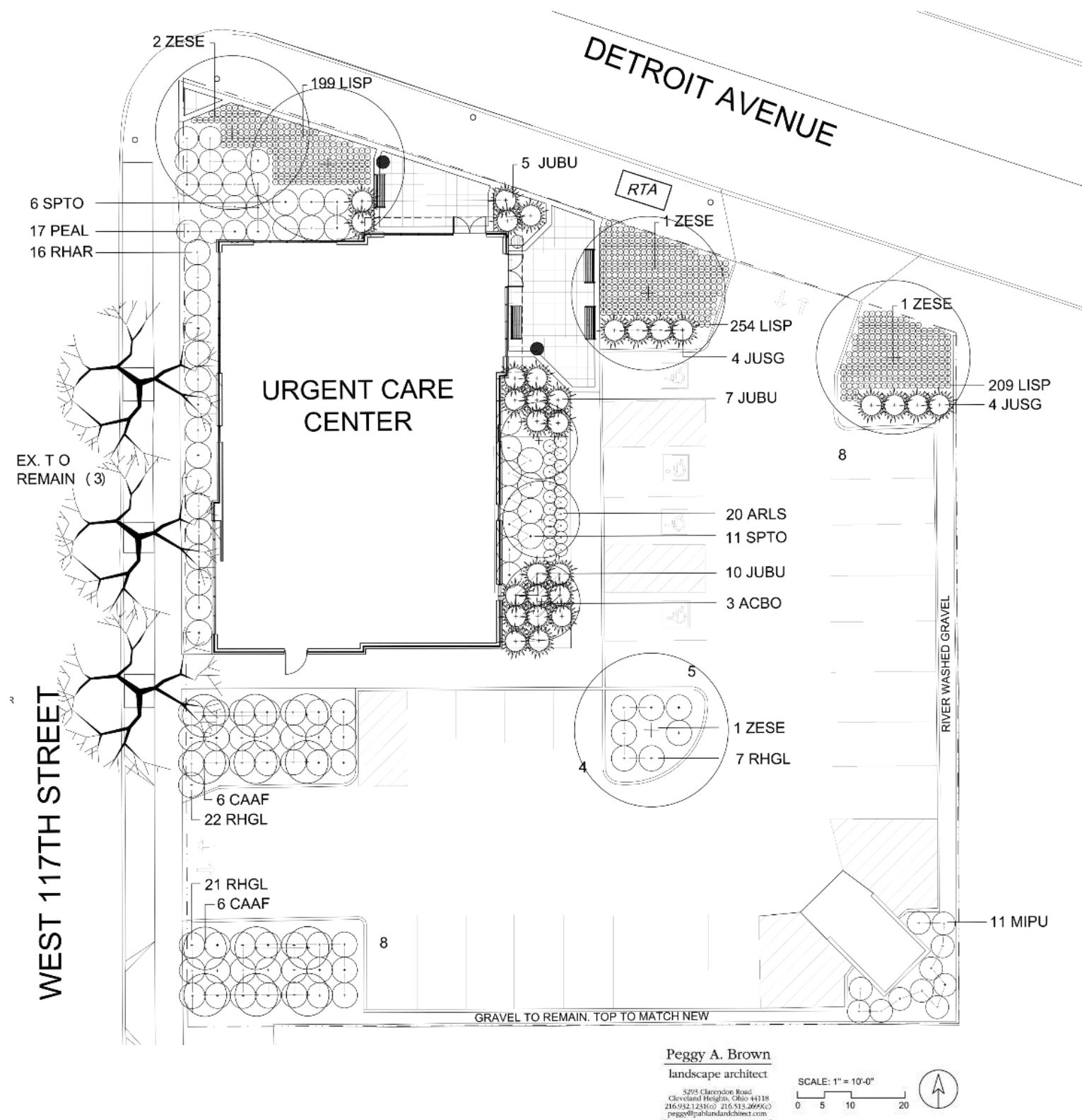


NORTH ELEVATION (DETROIT AVE)

SCALE: 1/8"=1'-0"



*DRAWING IS FORMATTED FOR PRESENTATION ONLY AND IS NOT TO SCALE



PROPOSED LANDSCAPE PLAN

12

The Niki Group, LLC

CONCEPTUAL/SCHEMATIC DESIGN
PROPOSED URGENT CARE CENTER

RARE DESIGN
STUDIO
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1407 WEST 117TH ST. CLEVELAND, OHIO 44102

March 29, 2023



AUTUMN FIRE AMERICAN HORNBEAM BOWHALL RED MAPLE JAPANESE ZELKOVA



LOW SCAPE MOUND BLACK CHOKEBERRY FRAGRANT SUMAC GRO-LOW FRAGRANT SUMAC FRAGRANT SUMAC FALL COLOR



TOR SPIRAEA TOR SPIRAEA FALL COLOR SEA GREEN JUNIPER



BUFFALO JUNIPER FOUNTAIN GRASS CREEPING LIRIOPE



FLAME GRASS

SITE PLANT LIST

SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARK	NATIVE AND/OR ADAPTIVE
DECIDUOUS TREES						
ACBO	3	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" C	B&B; MATCHING	Y
CAAF	12	CARPINUS CAROLIANA 'AUTUMN FIRE'	AUTUMN FIRE AMERICAN HORNBEAM	1.75" C	B&B; MATCHING	Y
ZESE	5	ZELKOVA SERRATA	JAPANESE ZELKOVA	2.5" C	B&B	Y
SHRUBS						
ARLS	20	ARONIA MELANOCARPA 'LOW SCAPE MOUND'	LOW SCAPE MOUND BLACK CHOKEBERRY	15"	CONT	Y
JUSG	9	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24"	CONT	Y
JUBU	22	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	18"	CONT	Y
RHAR	18	RHUS AROMATICA	FRAGRANT SUMAC	24"	CONT	Y
RHGL	50	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	12"	CONT	Y
SPTO	17	SPIRAEA BETULIFOLIA 'TOR'	TOR SPIRAEA	24"	CONT	Y
GRASSES AND PERENNIALS						
LISP	662	LIRIOPE SPICCATA	CREEPING LIRIOPE	NO. 1	CONT	Y
MIPU	11	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	NO. 2	CONT	Y
PEAL	17	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	NO. 2	CONT	Y



ARCATA BENCH BY LANDSCAPE FORMS



POE LITTER RECEPTACLE BY LANDSCAPE FORMS

COLOR: SILVER

PROPOSED PLANT LIST



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone - Site	+	1.2 fc	4.1 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A		4	Lithonia Lighting	KAD LED 40C 1000 40K R4 MVOLT	KAD LED, 40 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 4 OPTICS.	1	14907	1	141

Max: 9660cd

PHOTOMETRIC WITH NEW LAMPS

PHOTOMETRICS DO NOT INCLUDE ANY EXISTING PUBLIC LIGHTING



Committee Recommendation: Approved with **Conditions:**

1. Parapet on main roofline be increased at least 8" higher.
2. Parapet on cornices – extend the EFIS detailing around the back of the cornice so it cannot be seen from the street with the same coloring as the front so as to look intentional

Cleveland City Planning Commission

Staff Report



March 21, 2023

FW2023-007 – Vietnamese Temple Addition New Construction:

Seeking Conceptual Design Approval

Project Address: 4724 West 130th Street

Project Representative: Joey Mannarino, Joey Transitions Management

Committee Recommendation: Approved with **Conditions**

1. Clarity on fence condition. Will it remain? Will it be extended to enclose new parcel, etc.?
2. Eliminate center curb cut
3. Refining site plan: try to add greenspace wherever possible as site largely paved or building area
4. For final approval provide landscaping and lighting plan, as well as specific materials

VIEN QUANG TEMPLE ADDITION
4724 WEST 130th STREET
CLEVELAND, OHIO 44135



ABBREVIATIONS:

ABV	ABOVE	HB	HOSE BIB	SS	STAINLESS STEEL
AFF	ABOVE FINISH FLOOR	HDW	HARDWARE	STD	STANDARD
ACT	ACOUSTICAL TILE	HVAC	HEATING, VENTILATING,	STL	STEEL
A/C	AIR CONDITIONING		AIR CONDITIONING	STO	STORAGE
ALT	ALTERNATE	HM	HOLLOW METAL	SD	STORM DRAIN
ALUM	ALUMINUM	HGT	HEIGHT	STM	STORM SEWER
AB	ANCHOR BOLT	HORIZ	HORIZONTAL	STR	STRUCTURAL
ANC	ANCHOR	HWI	HOT WATER HEATER		
ANOD	ANODIZED			TEL	TELEPHONE
ARCH	ARCHITECT(URAL)	INCL	INCLUDE(D)(ING)	TOM	TOP OF MASONRY
ASPH	ASPHALT	ID	INSIDE DIAMETER	T&G	
		INSUL	INSULATE(D)(ION)	TYP	TYPICAL
		INT	INTERIOR		
BSMT	BASEMENT			U.N.O.	UNLESS NOTED OTHERWISE
BRG	BEARING	JC	JANITOR'S CLOSET	UR	URINAL
B.M.	BENCH MARK	JT	JOINT		
BM	BEAM	JST	JOIST	VERT	VERTICAL
BLK	BLOCK			V.T.	VINYL TILE
BLKG	BLOCKING	LAM	LAMINATE(D)		
BOT	BOTTOM	LL	LIVE LOAD	WC	WATER CLOSET
BLDG	BUILDING			WWM	WELDED WIRE MESH
BRK	BRICK	MH	MAN-HOLE	WH	WATER HEATER
BUR	BUILT UP ROOFING	MFR	MANUFACTURE(ER)	W/O	WITHOUT
		MAS	MASONRY	W/	WITH
CAB	CABINET	MATL	MATERIAL(S)	WD	WOOD
CB	CATCH BASIN	M.O.	MASONRY OPENING		
C.C.	CENTER TO CENTER	MAX	MAXIMUM	#	NUMBER
CER	CERAMIC	MECH	MECHANICAL	@	AT
CLG	CEILING	MTL	METAL		
CT	CERAMIC TILE	MIN	MINIMUM		
COL	COLUMN	MISC	MISCELLANEOUS		
CONC	CONCRETE				
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL		
CONST	CONSTRUCTION	NIC	NOT IN CONTRACT		
CONT	CONTINUOUS	NTS	NOT TO SCALE		
CONTR	CONTRACT(OR)	O.C.	ON CENTER(S)		
CJ	CONTROL JOINT	O/O	OUT TO OUT		
C.F.	CUBIC FEET	O/V	ON, OVER		
C.Y.	CUBIC YARD	OPG	OPENING		
DL	DEAD LOAD	OPP	OPPOSITE		
DIA	DIAMETER	OD	OUTSIDE DIAMETER		
DIM	DIMENSION	OH	OVERHEAD/OVERHANG		
DN	DOWN	PVMT	PAVEMENT		
DR	DOOR	PLAST	PLASTIC		
DS	DOWNSPOUT	P/L	PROPERTY LINE		
DWG	DRAWING	PLYWD	PLYWOOD		
DF	DRINKING FOUNTAIN	PVC	POLYVINYL CHLORIDE		
DW	DISHWASHER	PCF	POUNDS PER CUBIC FOOT		
		PLF	POUNDS PER LINEAL FOOT		
ELECT	ELECTRIC(AL)	PSF	POUNDS PER SQUARE FOOT		
EQ	EQUAL	PSI	POUNDS PER SQUARE INCH		
EQUIP	EQUIPMENT				
EXG	EXISTING	QT	QUARRY TILE		
EXH	EXHAUST				
EXP	EXPANSION	R	RADIUS		
EXT	EXTERIOR	REF	REFRIGERATOR		
EW	EACH WAY	REV	REVISION(S), REVISED		
		RA	RETURN AIR		
FE	FIRE EXTINGUISHER	R/W	RIGHT OF WAY		
FIN	FINISHED	RD	ROOF DRAIN		
FLR	FLOORING	R.O.	ROUGH OPENING		
FND	FOUNDATION	R.S.	ROUGH SAWN		
FT	FOOT	SCH	SCHEDULE		
FD	FLOOR DRAIN	SECT	SECTION		
F.O.	FINISHED OPENING	SHT	SHEET		
FTG	FOOTING	SIM	SIMILAR		
GA	Gauge	SC	SOLID CORE		
GC	GENERAL CONTRACT(OR)	SPEC	SPECIFICATION(S)		
GL	GLASS, GLAZING	SQ	SQUARE		
GR	GRADE, GRADING				

CODE ANALYSIS

OHIO BUILDING CODE 2017		
RESIDENTIAL CODE OF OHIO FOR R3 LODGING HOUSE (OBC 310.5.4)		
USE GROUPS - PLACE OF WORSHIP EXISTING (A3)		
A3 COMMUNITY HALL		
R3 RESIDENTIAL LODGING HOUSE		
CONSTRUCTION TYPES -	EXISTING BUILDING = 5B	
(OBC TABLE 601)	COMMUNITY HALL = 5B	
	A3/R3 BUILDING = 5B	
HEIGHTS & STORIES -	COMMUNITY HALL - ALLOWABLE = 40 FEET, 1 STORY	
(OBC TABLE 504.3)	PROPOSED = 25 FEET, 1 STORY	
	A3/R3 BUILDING - ALLOWABLE = 40 FEET, 3 STORY	
	PROPOSED = 28 FEET, 2 STORY	
FLOOR AREAS -	COMMUNITY HALL -	ALLOWABLE = 6000 SF
(OBC TABLE 506.2)	PROPOSED = 4537 SF	
	RESIDENTIAL AREA -	ALLOWABLE = UL
	PROPOSED = 1969 SF	
OCCUPANCY -	COMMUNITY HALL (TABLES AND CHAIRS) = 273 OCCUPANTS	
	RESIDENTIAL = 9 OCCUPANTS (1 PERMANENT, 8 GUESTS)	
FIRE SUPPRESSION NOT REQUIRED (OBC 903.2.1.3 ~300 OCCUPANTS)		
MIXED USE OCCUPANCY A3 & R3 REQUIRES 2 HOUR FIRE SEPARATION		
(OBC TABLE 508.4)		
NUMBER OF EXITS -	COMMUNITY HALL - REQ'D = 2	PROPOSED = 4
	R3 - 1 REQ'D (PER ORC)	PROPOSED = 1
EXIST ACCESS TRAVEL DISTANCE -	COMMUNITY HALL - ALLOWABLE = 200'	PROPOSED = 53'
		PROPOSED = 90'
COMMON PATH OF EGRESS TRAVEL - ALLOWABLE = 200' PROPOSED = 90'		

PROJECT DESCRIPTION

THE TEMPLE BUILDING AT 4724 W. 130th ST. IS AN EXISTING BUILDING OF WOOD FRAME CONSTRUCTION. THE OWNER, THE VIETNAMESE BUDDHIST ASSOCIATION OF CLEVELAND, OWNS THE PROPERTY TO THE SOUTH (4738 W. 130th) WHICH HAS A RESIDENCE ON IT AND A PIECE OF PROPERTY TO THE SOUTH WEST WHICH HAS STREET ACCESS TO CROSSBURN AVE BUT NO STREET ADDRESS.

THE OWNER PROPOSES TO DEMOLISH THE HOUSE AT 4738 AND USE THE LAND TO BUILD AN ADDITION TO THE TEMPLE. THE ADDITION WILL CONSIST OF A ONE STORY ASSEMBLY HALL AND A 2 STORY ASSEMBLY AND RESIDENTIAL BUILDING.

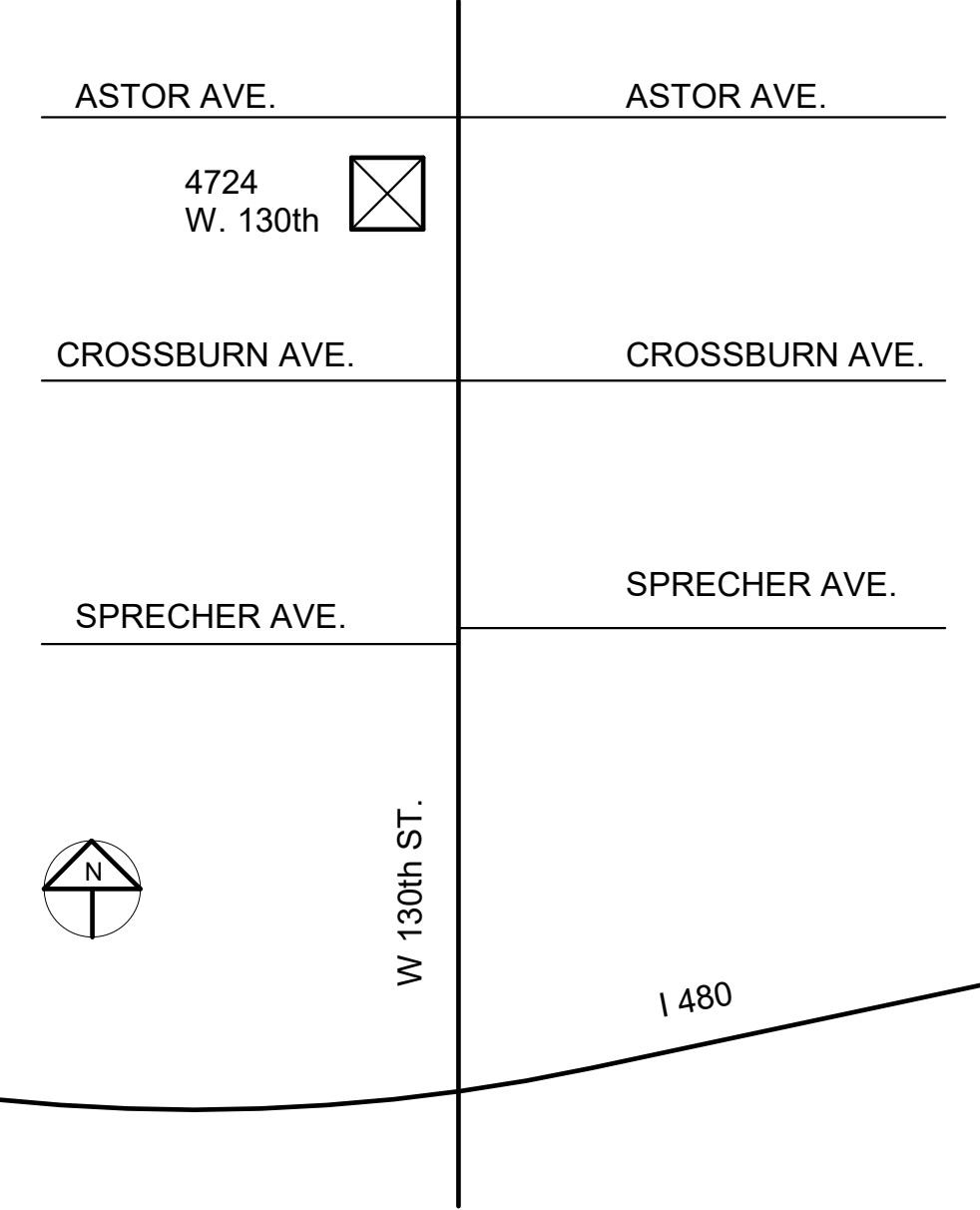
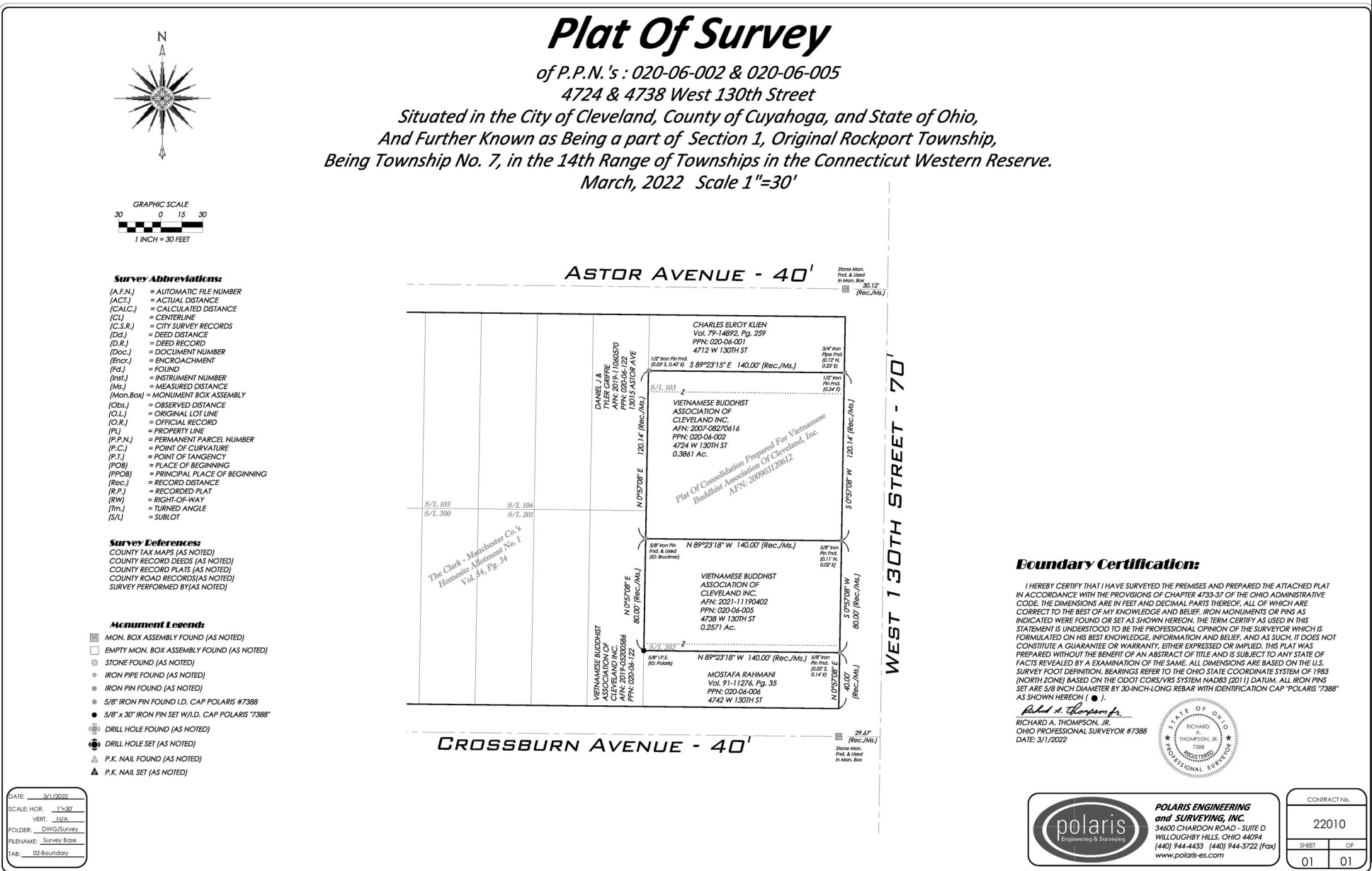
THE 2 STORY BUILDING WILL CONTAIN A COMMERCIAL KITCHEN AND ASSOCIATED TOILET ROOMS FOR THE ASSEMBLY HALL. THE REMAINDER WILL BE A RESIDENTIAL FACILITY.

THE ONE STORY HALL WILL BE APPROXIMATELY 80 FEET x 50 FEET. THE ATTACHED 2 STORY BUILDING WILL BE APPROXIMATELY 20 FEET x 60 FEET.

THE ADJACENT PROPERTY ON THE SOUTH WEST WILL BE USED FOR PARKING AND WILL HAVE A DRIVE TO CROSSBURN AVE.

INDEX OF DRAWINGS

A1A	COVER SHEET
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C2	SITE PLAN
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A2	BLDG B&C FLOOR PLAN
A3	BLDG B FLOOR PLAN
A4	BUILDING C FLOOR PLANS
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A6	REFLECTED CEILING PLANS
A7	BUILDING SECTIONS
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A9	DETAILS
A10	TOILET ROOM DETAILS
A11	SCHEDULES
E0	ELECTRICAL GENERAL INFORMATION
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P1	SANITARY PLUMBING PLAN
P2	DOMESTIC PLUMBING PLAN
P3	PLUMBING SCHEDULES & DETAILS
S1	FOUNDATIONS & FLOOR FRAMING
S2	ROOF FRAMING



LOCATION MAP

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LICENSE # 8608327
EXPIRATION DATE 12-31-23

VIEN QUANG TEMPLE
ADDITION

THE VIETNAMESE
BUDDHIST ASSOCIATION
OF CLEVELAND
4724 West 130th St
Cleveland, Ohio 44135

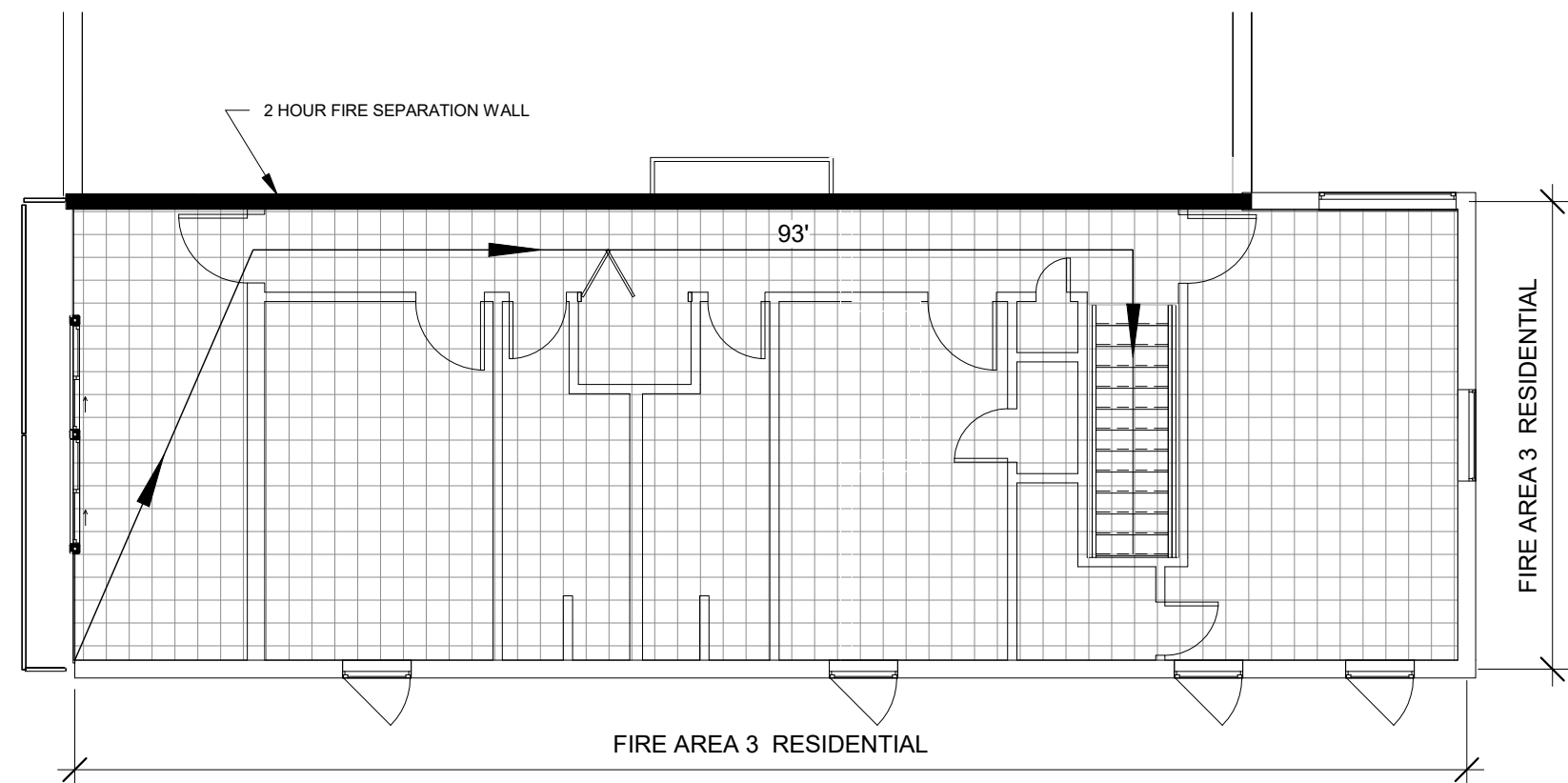
COVER

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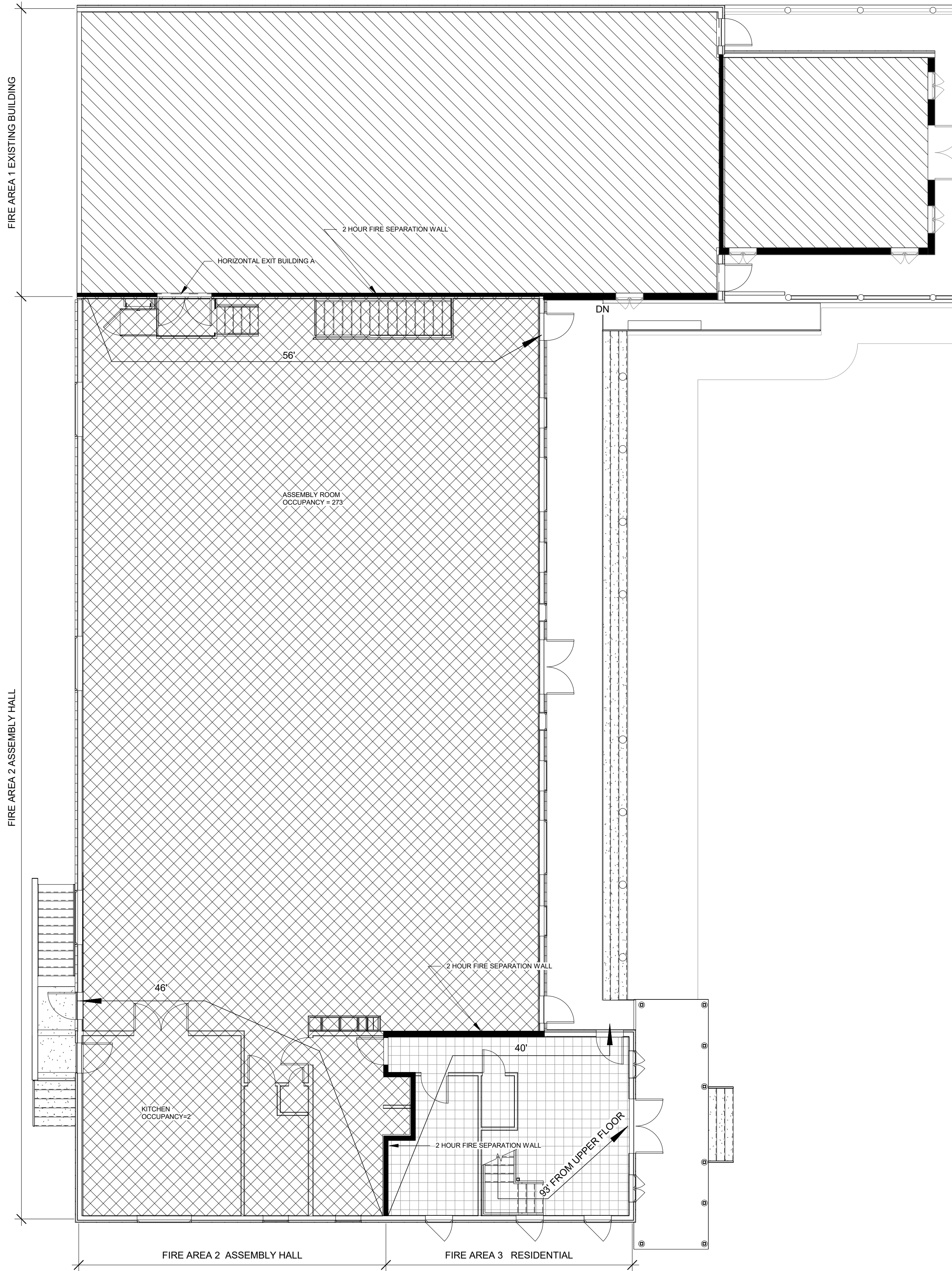
A1A

Scale





② UPPER LIFE SAFETY PLAN
1/8" = 1'-0"



① LIFE SAFETY PLAN 1
1/8" = 1'-0"



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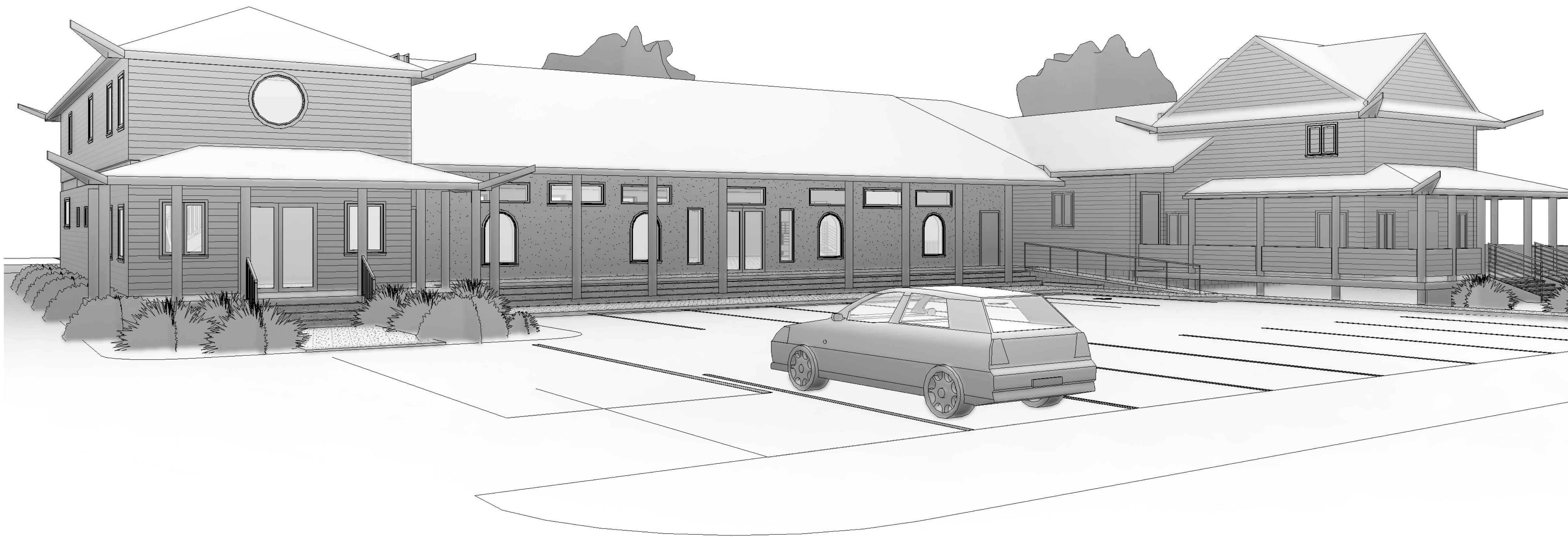
VIEN QUANG TEMPLE
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LIFE SAFETY	
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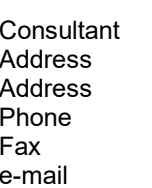
VIEN QUANG TEMPLE
ADDITION

THE VIETNAMESE BUDDHIST
ASSOCIATION OF CLEVELAND

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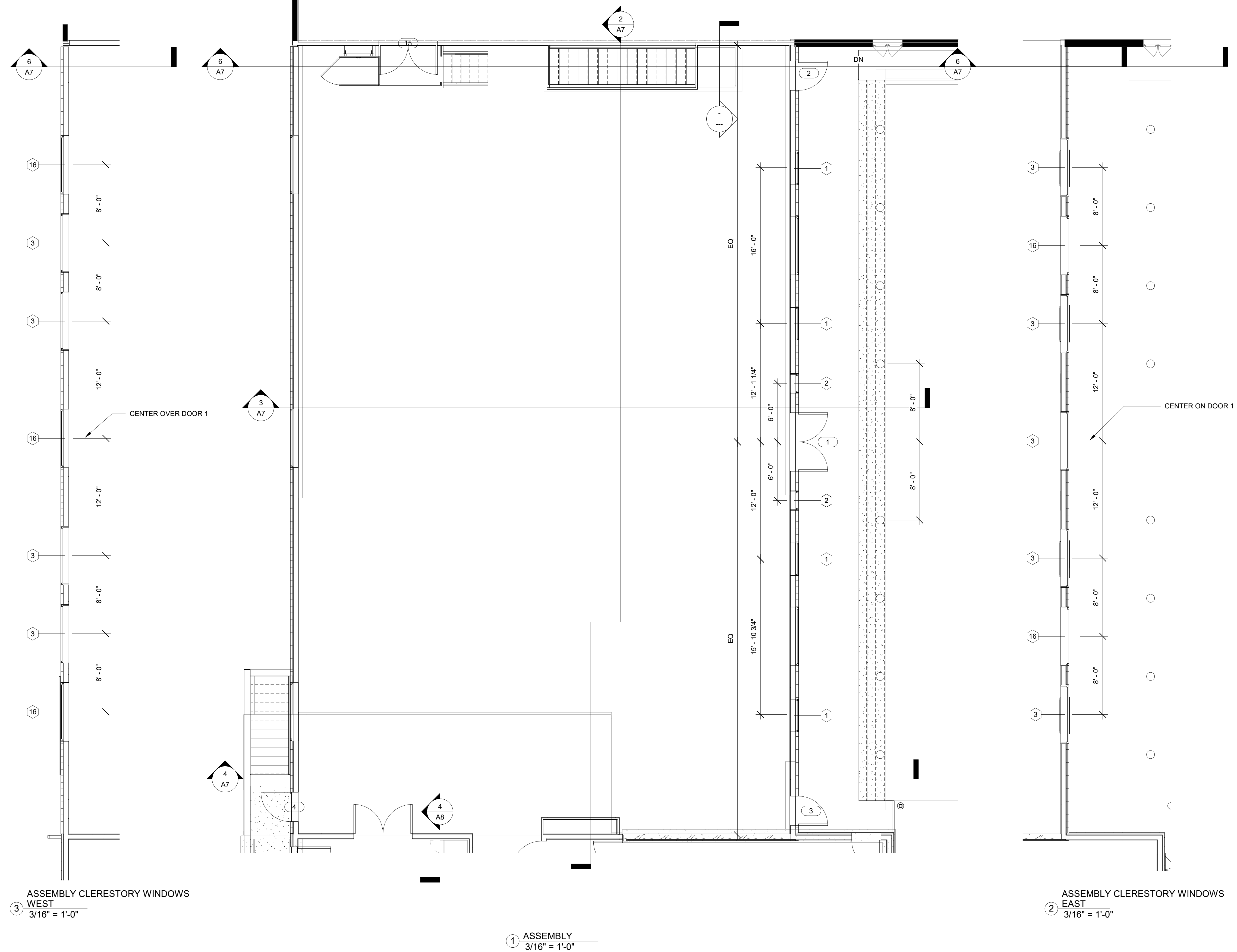
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Project number	2211
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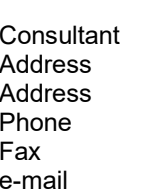
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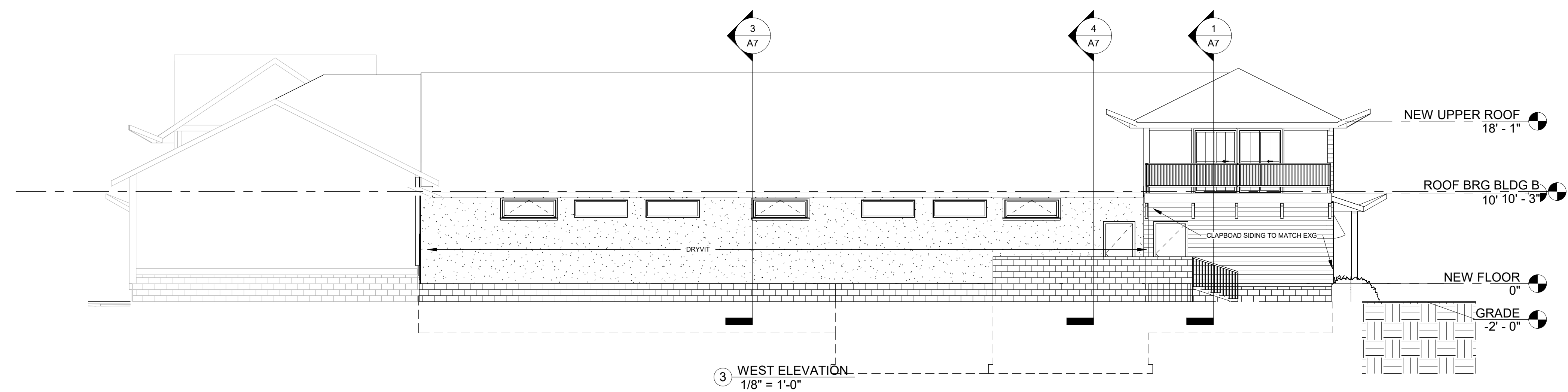
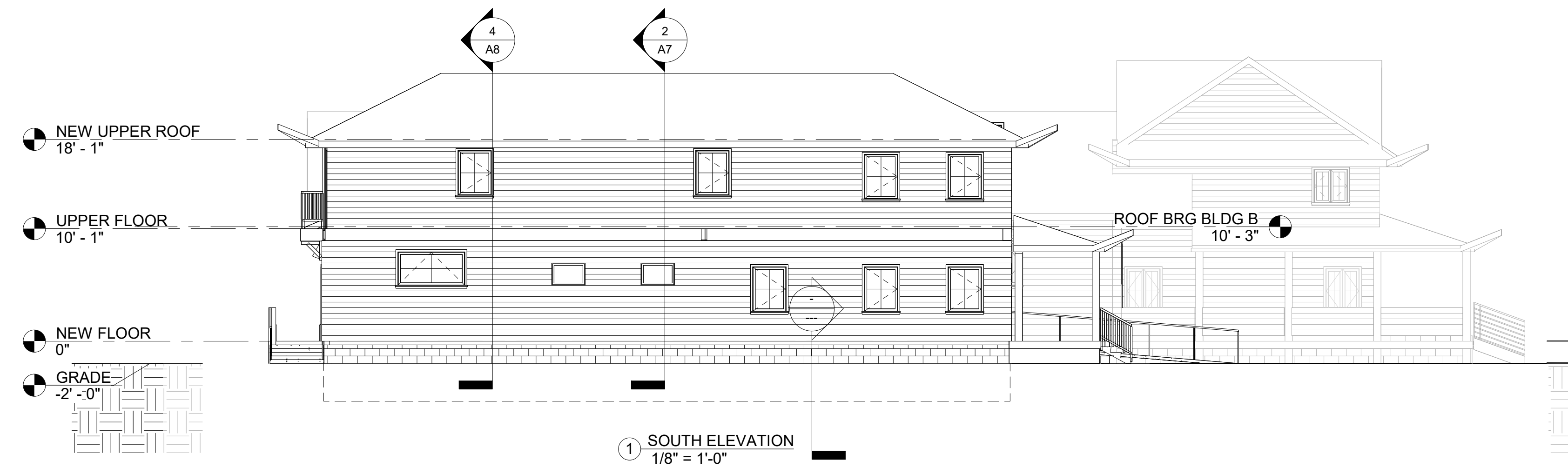
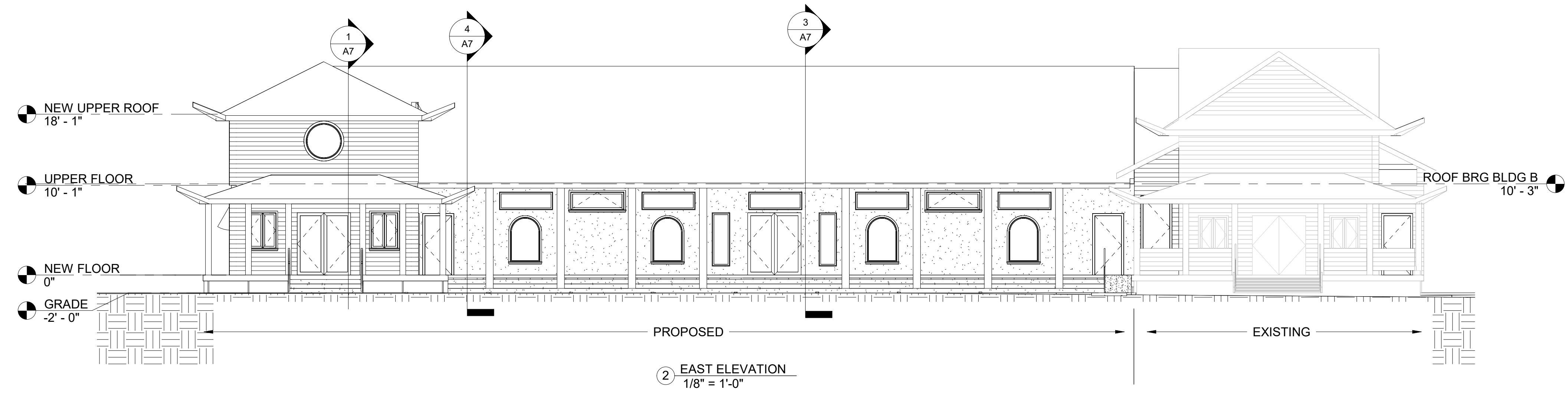


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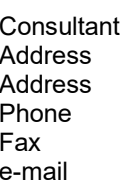


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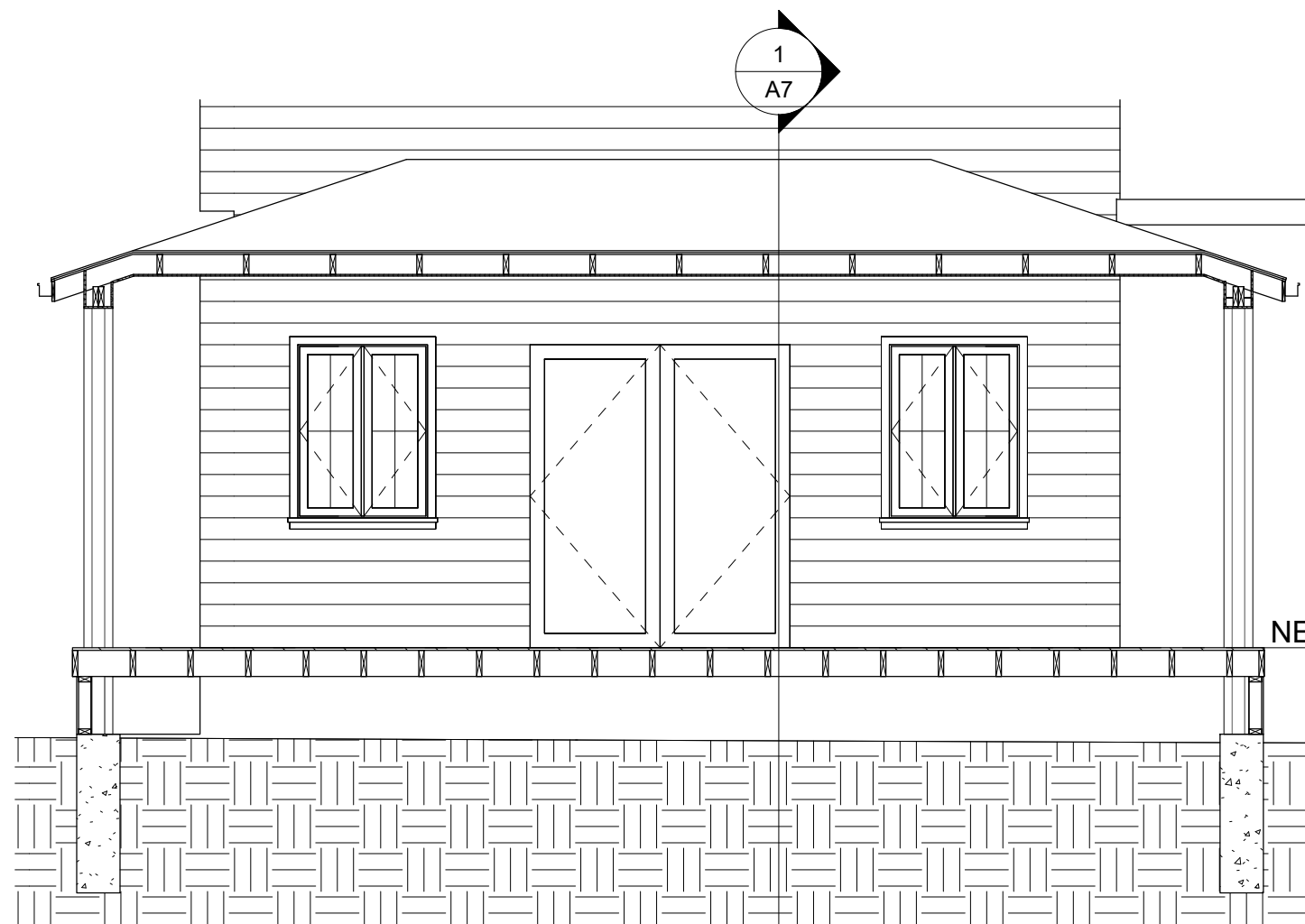
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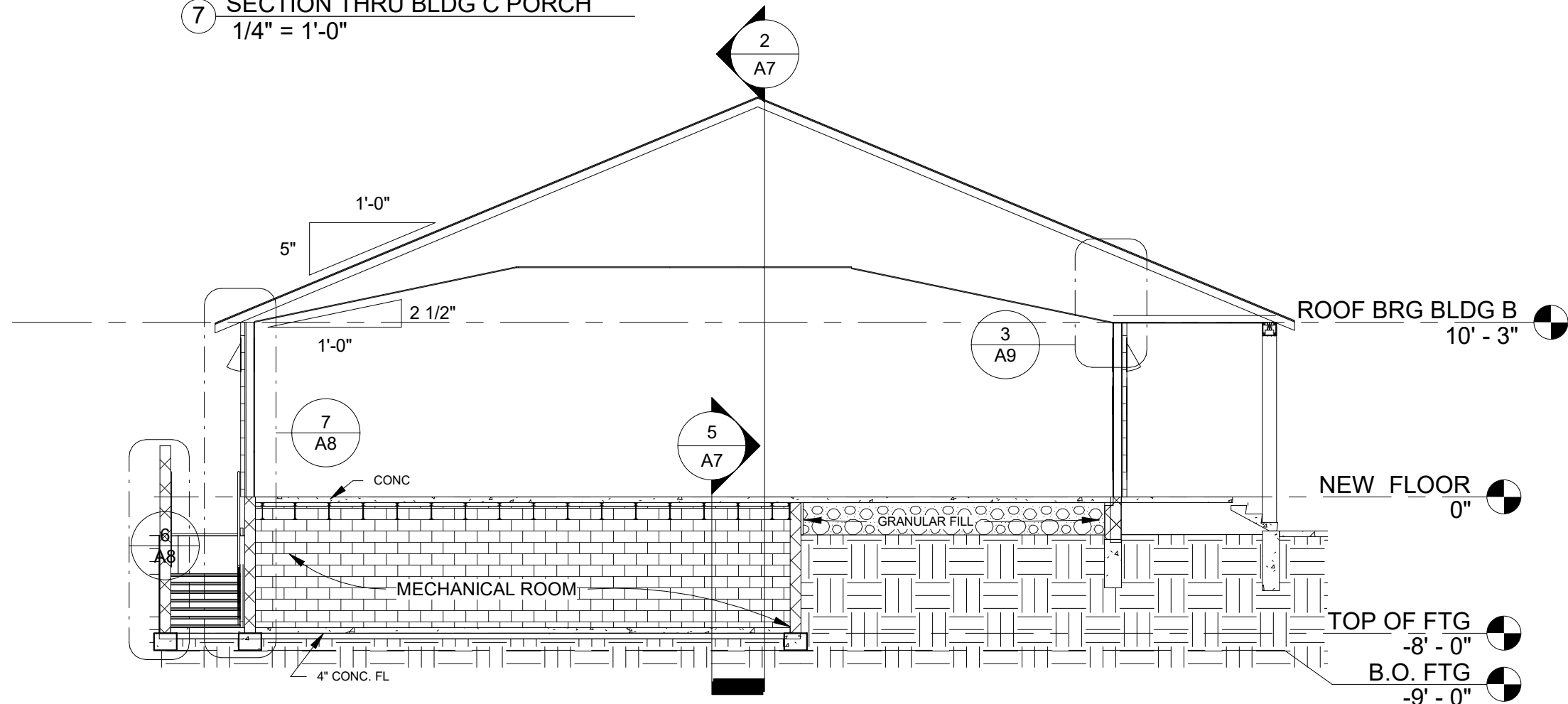


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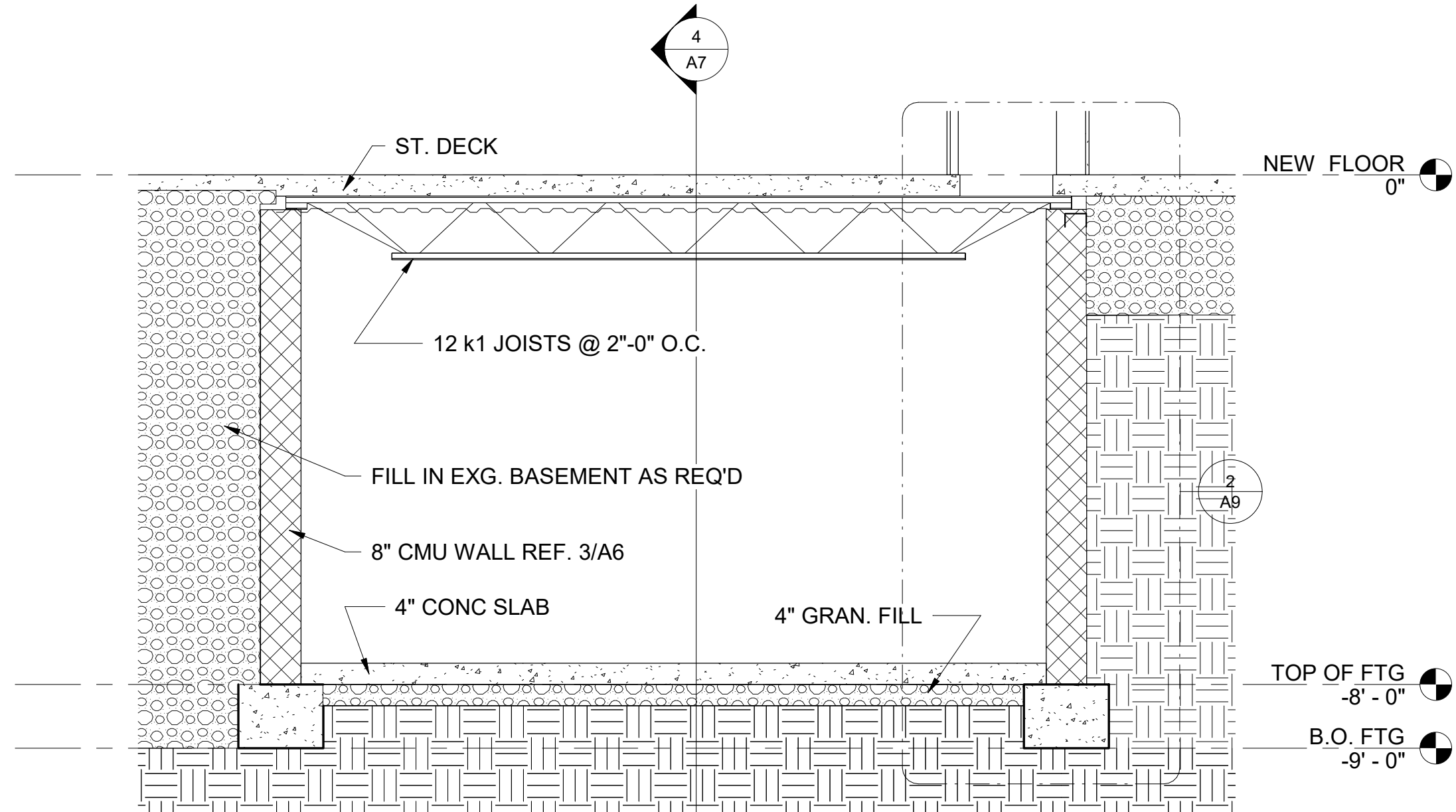
1 BLDG B CLG PLAN
3/16" = 1'-0"



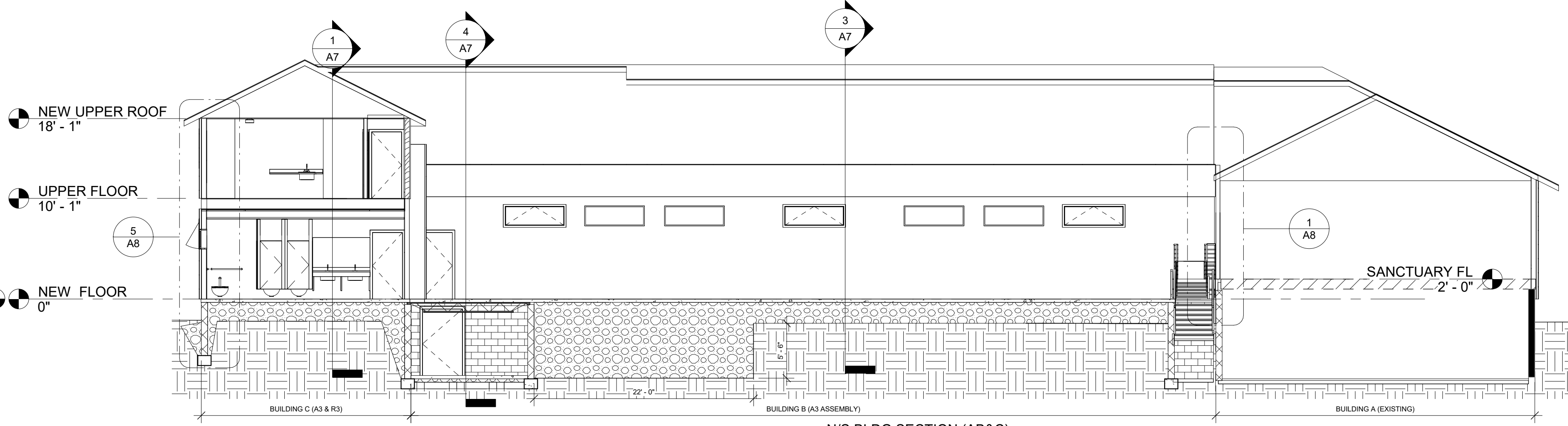
7 SECTION THRU BLDG C PORCH
1/4" = 1'-0"



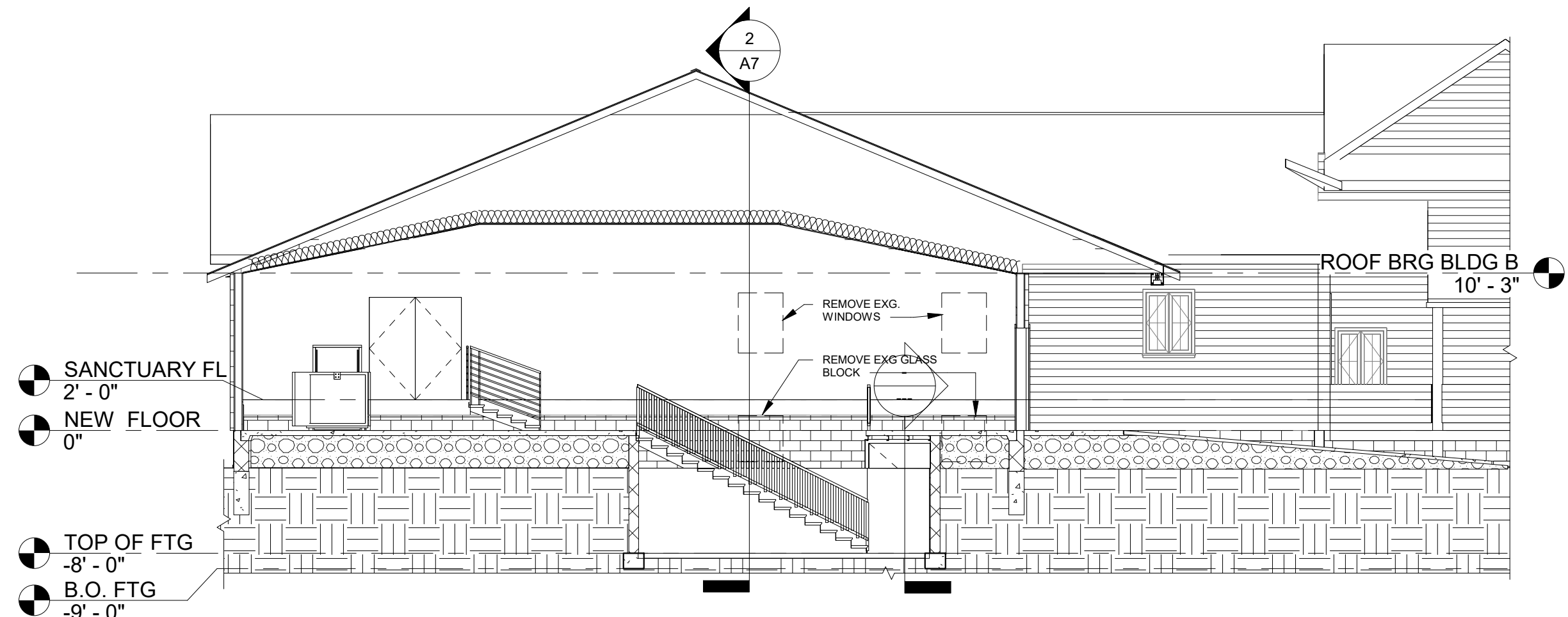
4 E/W SECTION THRU BLDG B @ MECH RM
1/8" = 1'-0"



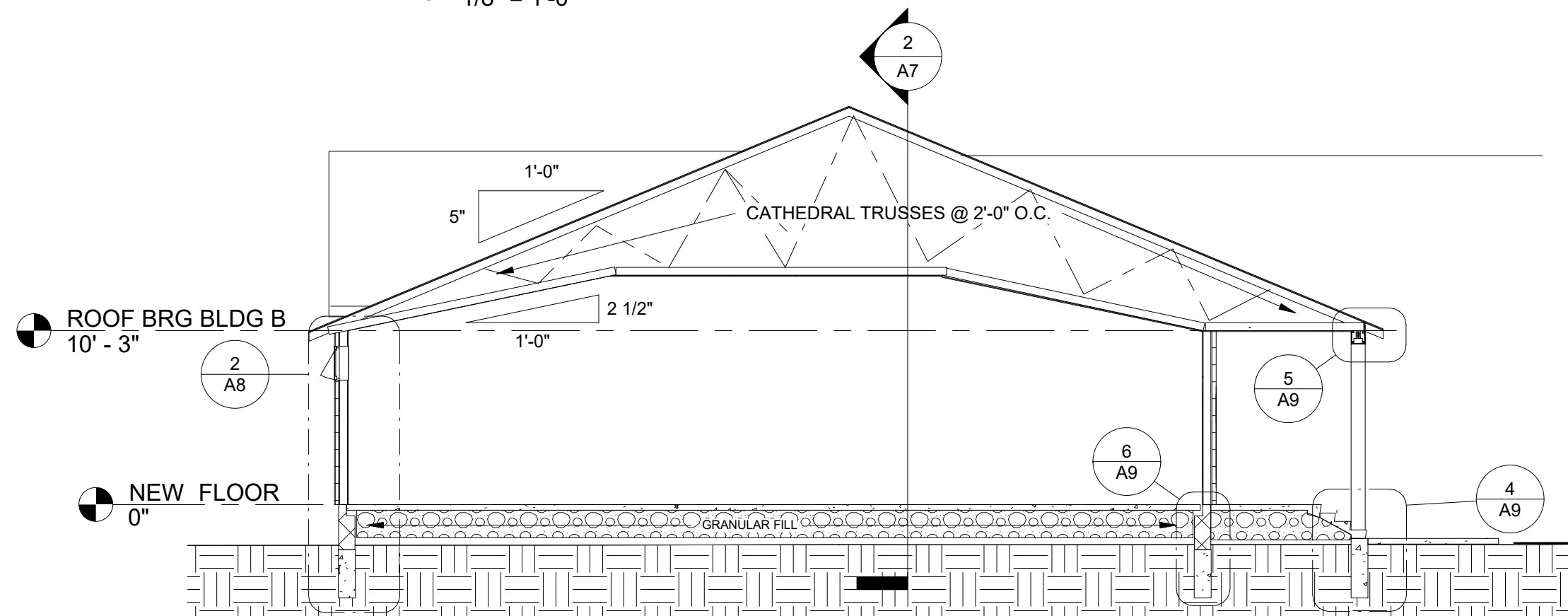
5 N/S SECTION THRU MECH RM
1/2" = 1'-0"



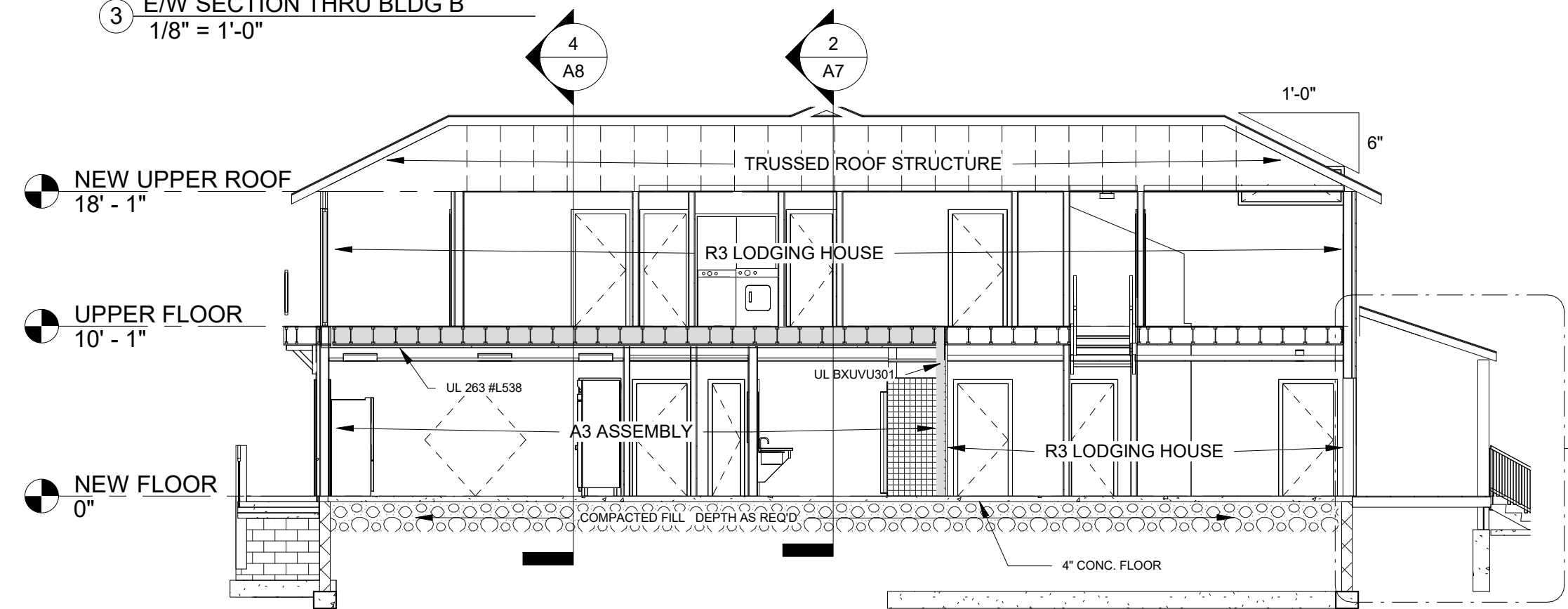
2 N/S BLDG SECTION (AB&C)
1/8" = 1'-0"



6 E/W SECTION THRU BLDG B @ BLDG A
1/8" = 1'-0"



3 E/W SECTION THRU BLDG B
1/8" = 1'-0"



1 E/W SECTION THRU BLDG. C
1/8" = 1'-0"



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VIEN QUANG TEMPLE ADDITION

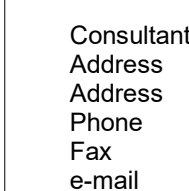
THE VIETNAMESE BUDDHIST
ASSOCIATION OF CLEVELAND

4724 West 130th St
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BUILDING SECTIONS

Project number	2211
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A7



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[illegible]VIEN QUANG TEMPLE
ADDITION

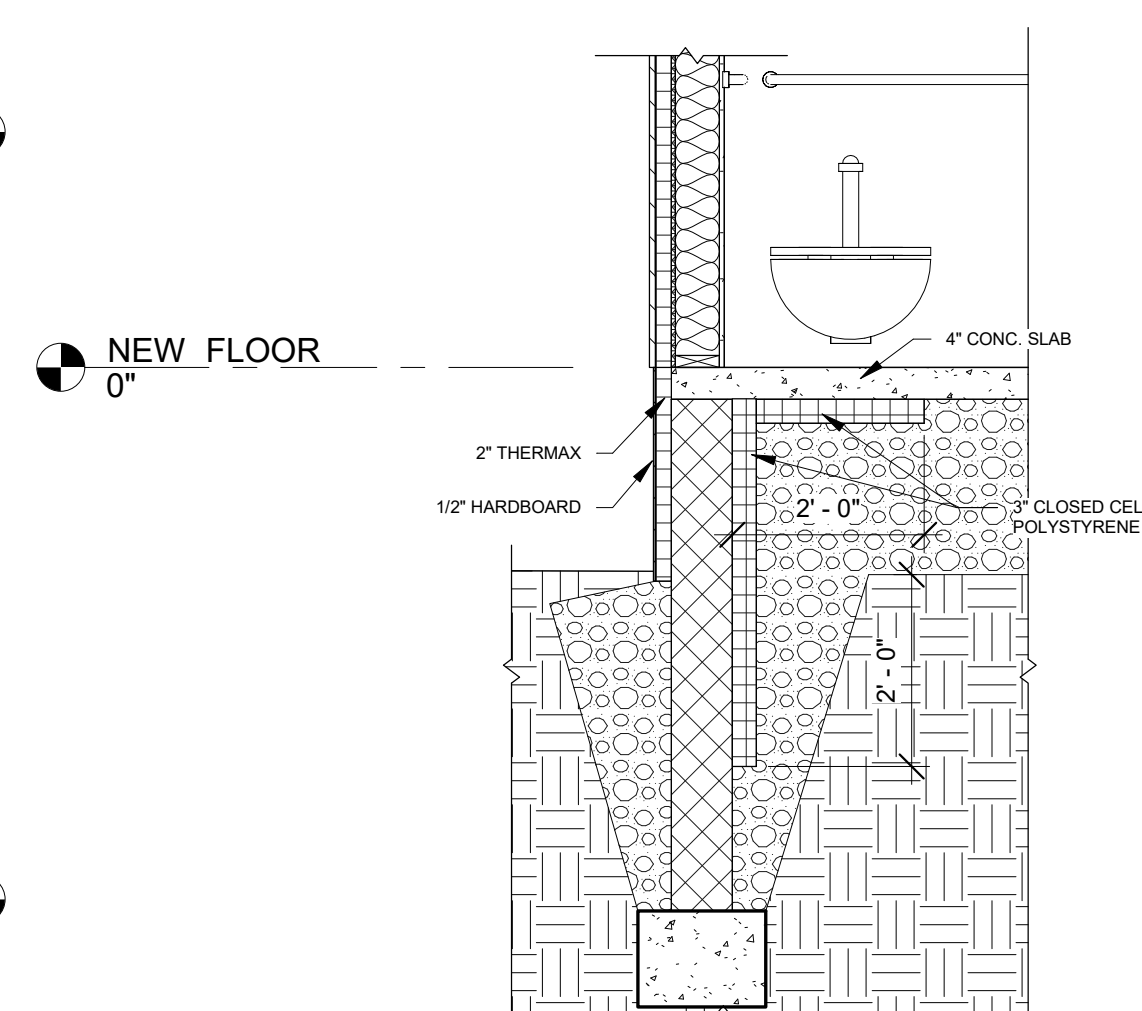
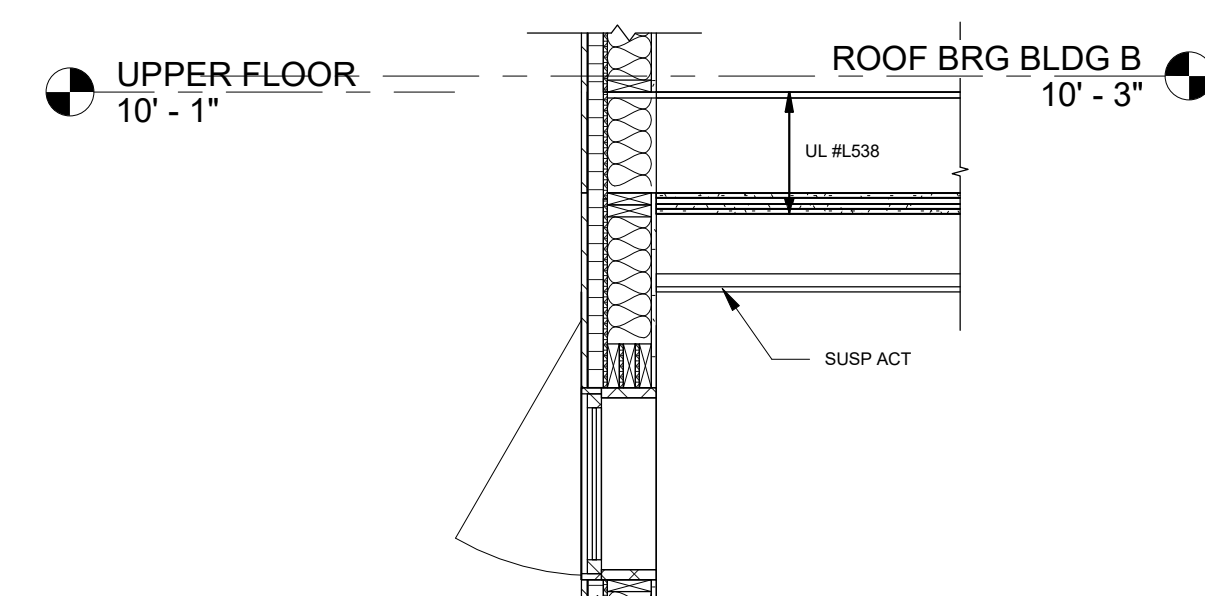
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WALL SECTIONS

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A8



ROOF BRG BLDG B
10' - 3"
1
A9

Architectural section drawing showing the roof and floor assembly details.

Roof Assembly (Top):

- TRUSS
- 5/8" GYP BRD
- 10' - 0"
- 10' - 3"

Floor Assembly (Middle):

- R-4 DRYVIT SYSTEM OR APPROVED EQUAL
- 1/2" OSB BOARD
- 5/8" GYP. BOARD
- 2x6 STUDS @ 16" OC
- R-21 FIBERGLASS BATT INSUL
- 4" CONC SLAB
- 6" CMU
- 12" CMU
- 8" CONC.
- 10' - 0"
- 0"

Labels:

- ROOF BRG BLDG B
- NEW FLOOR
- GRADE

Architectural drawings showing cross-sections of a building addition. The left side shows a vertical section of the existing building (BLDG B) with a roof and foundation. The right side shows a vertical section of the new addition (BLDG A) with a roof, walls, and foundation. Key features include a 24x30 2-hour rated access door, new UL 1301 wall, 2 layers of 5/8 inch type X drywall, and a new floor. The drawings are labeled with dimensions and callouts for materials and construction details.

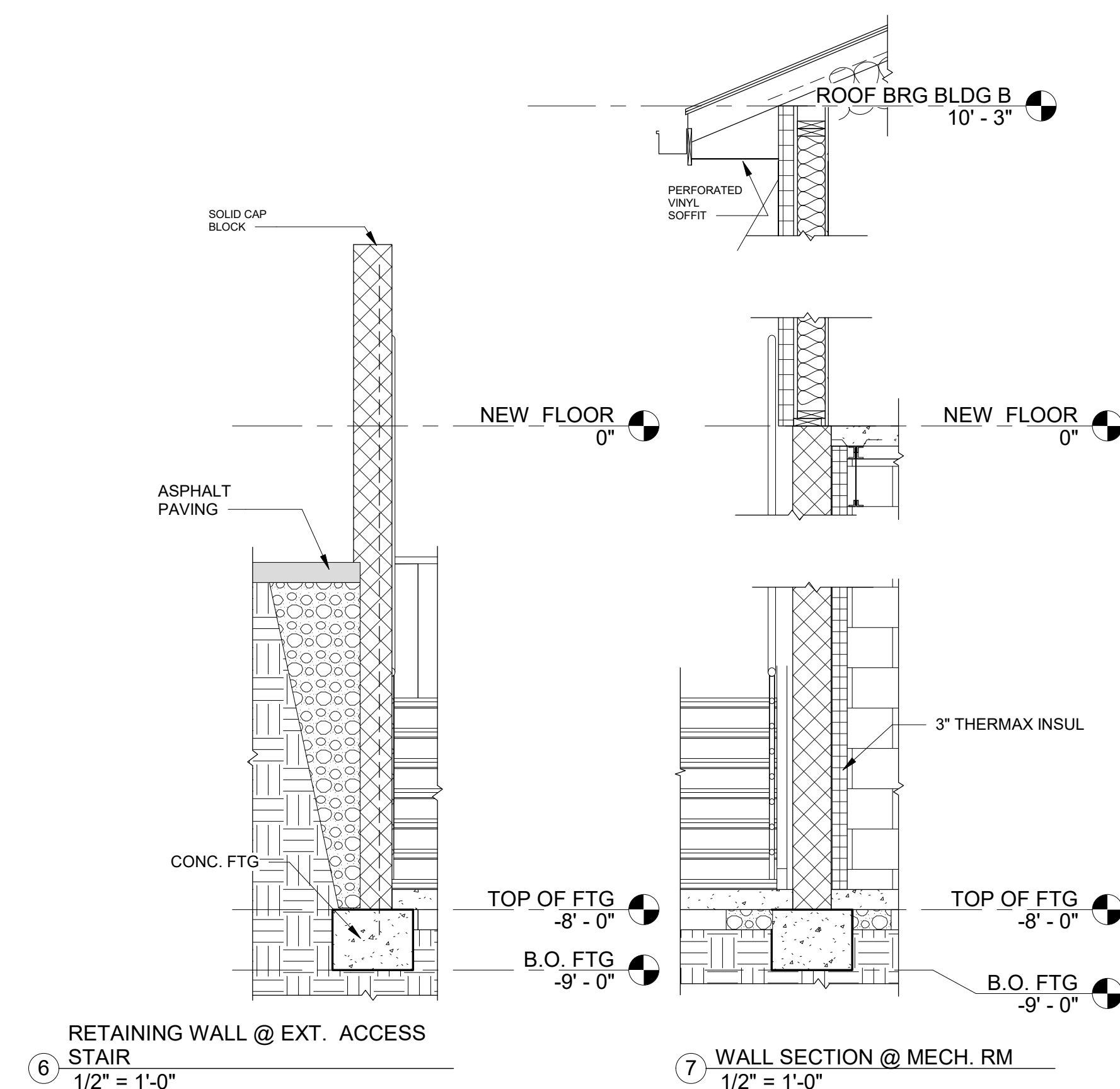
Left Section (BLDG B):

- ROOF BRG BLDG B 10' - 3"
- NEW FLOOR 0"
- TOP OF FTG -8' - 0"
- B.O. FTG -9' - 0"

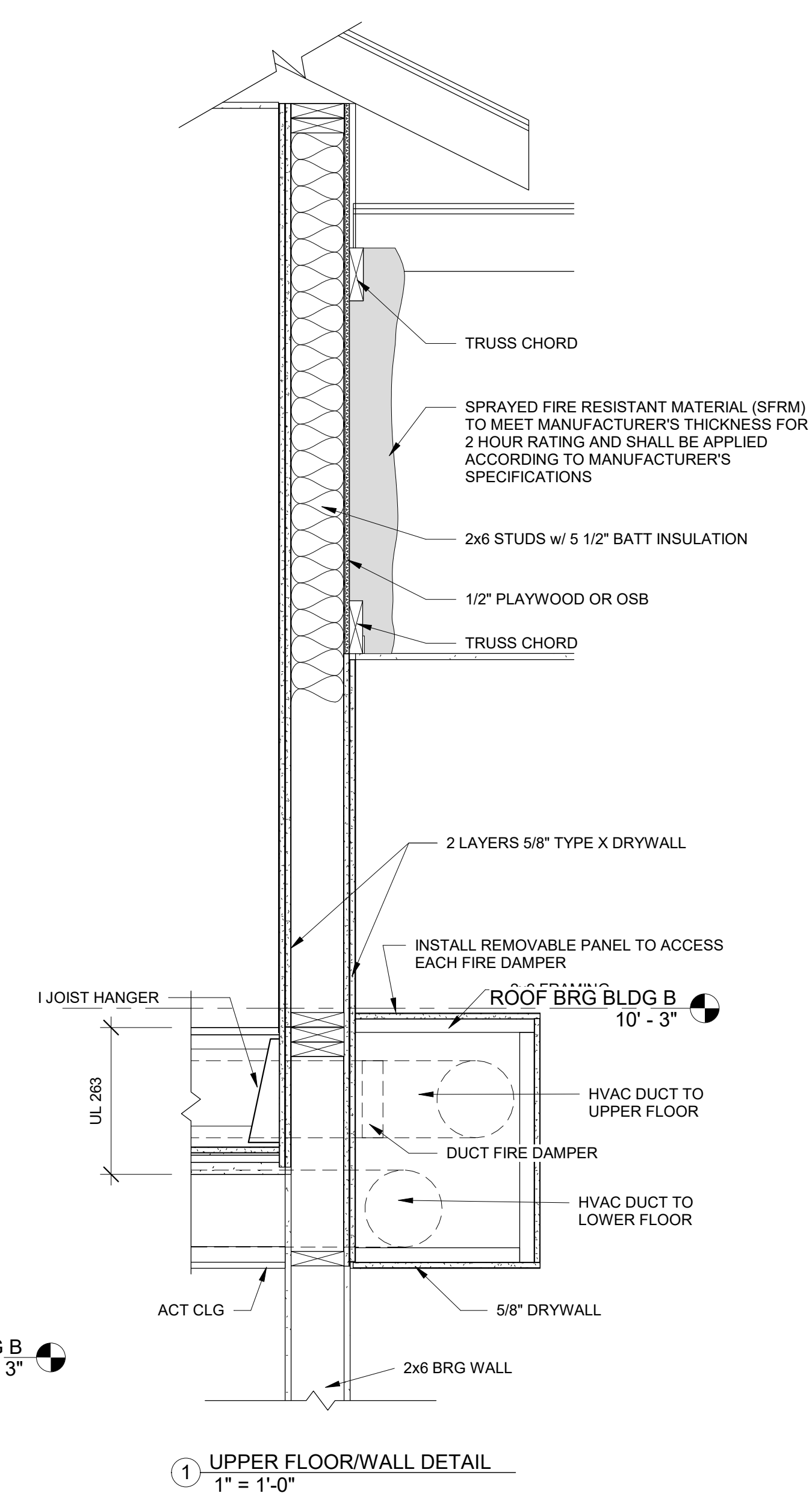
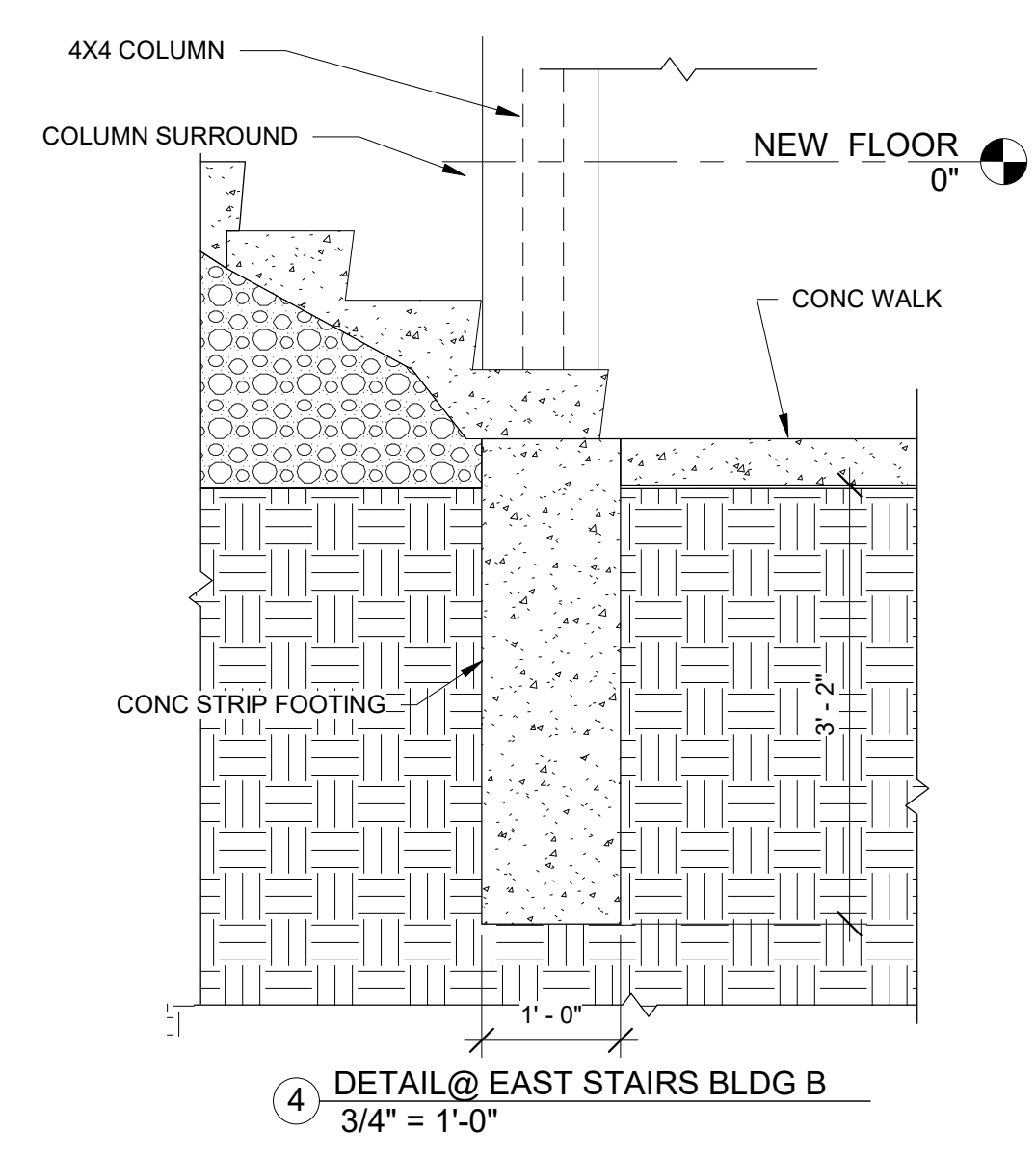
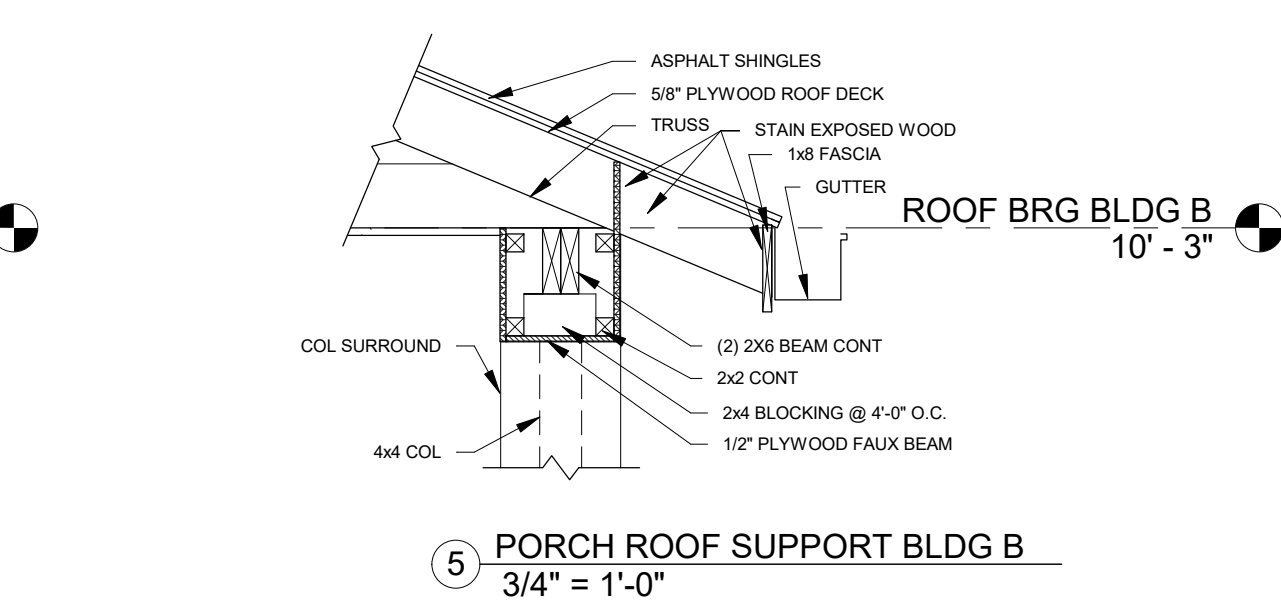
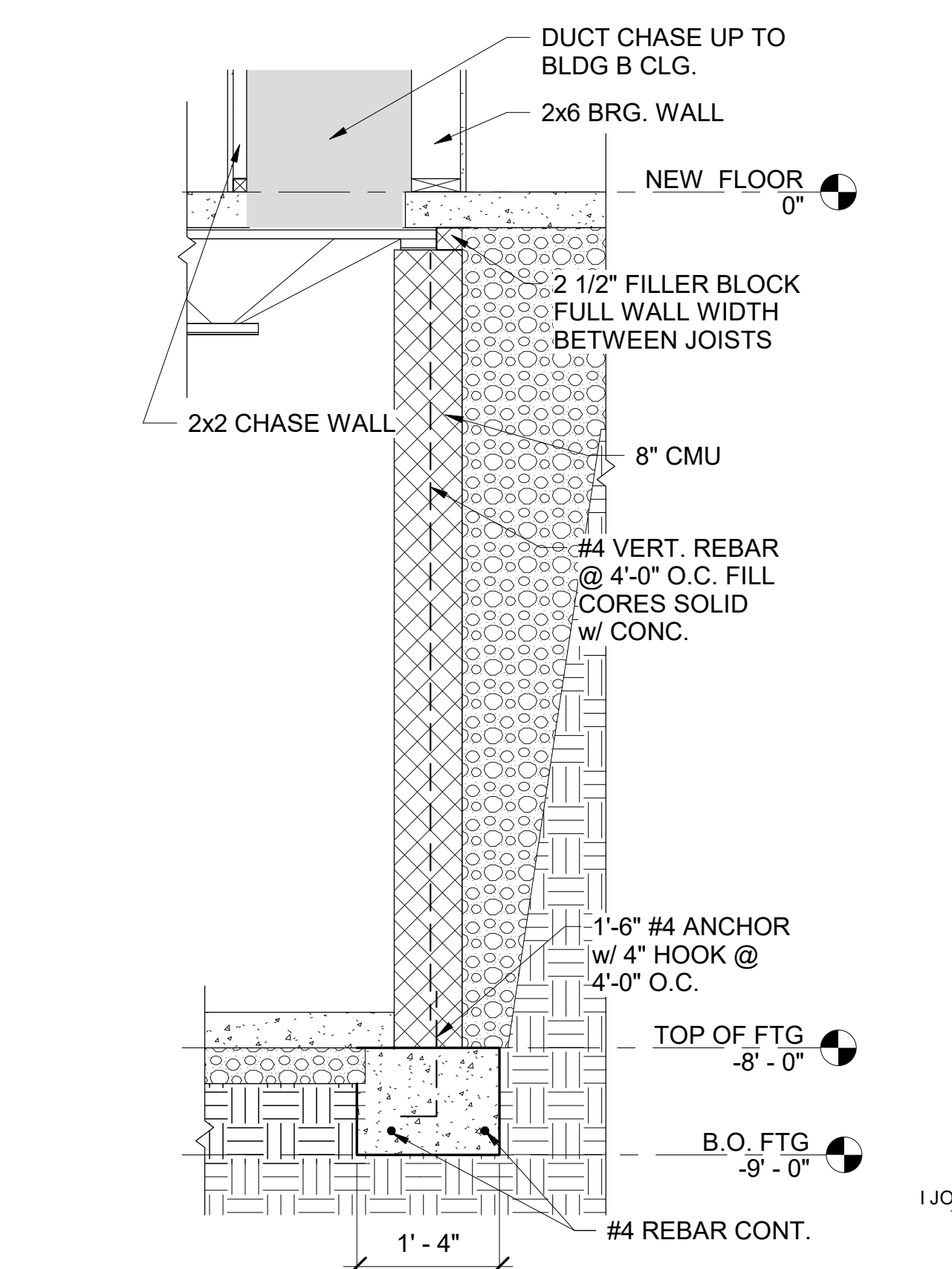
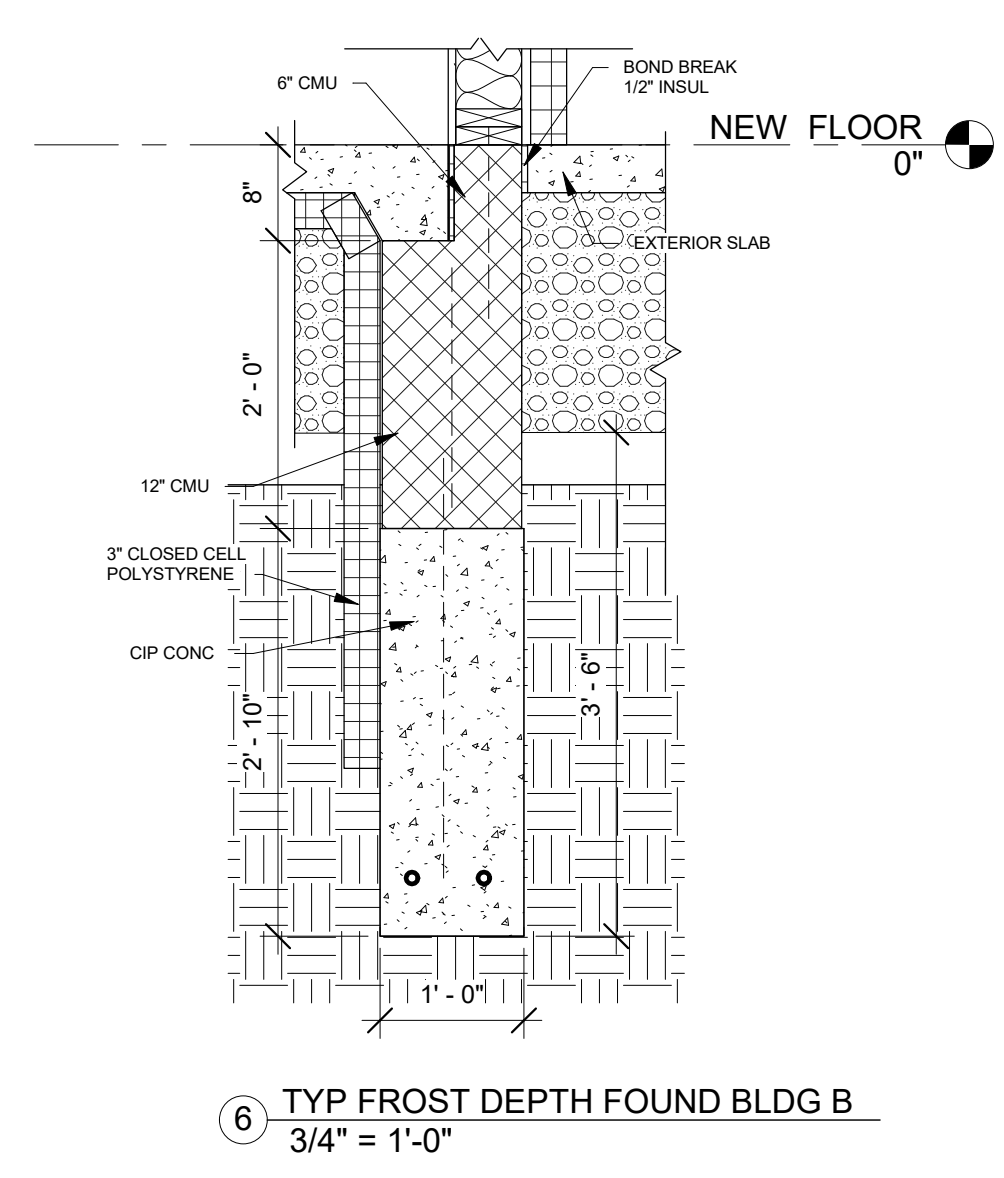
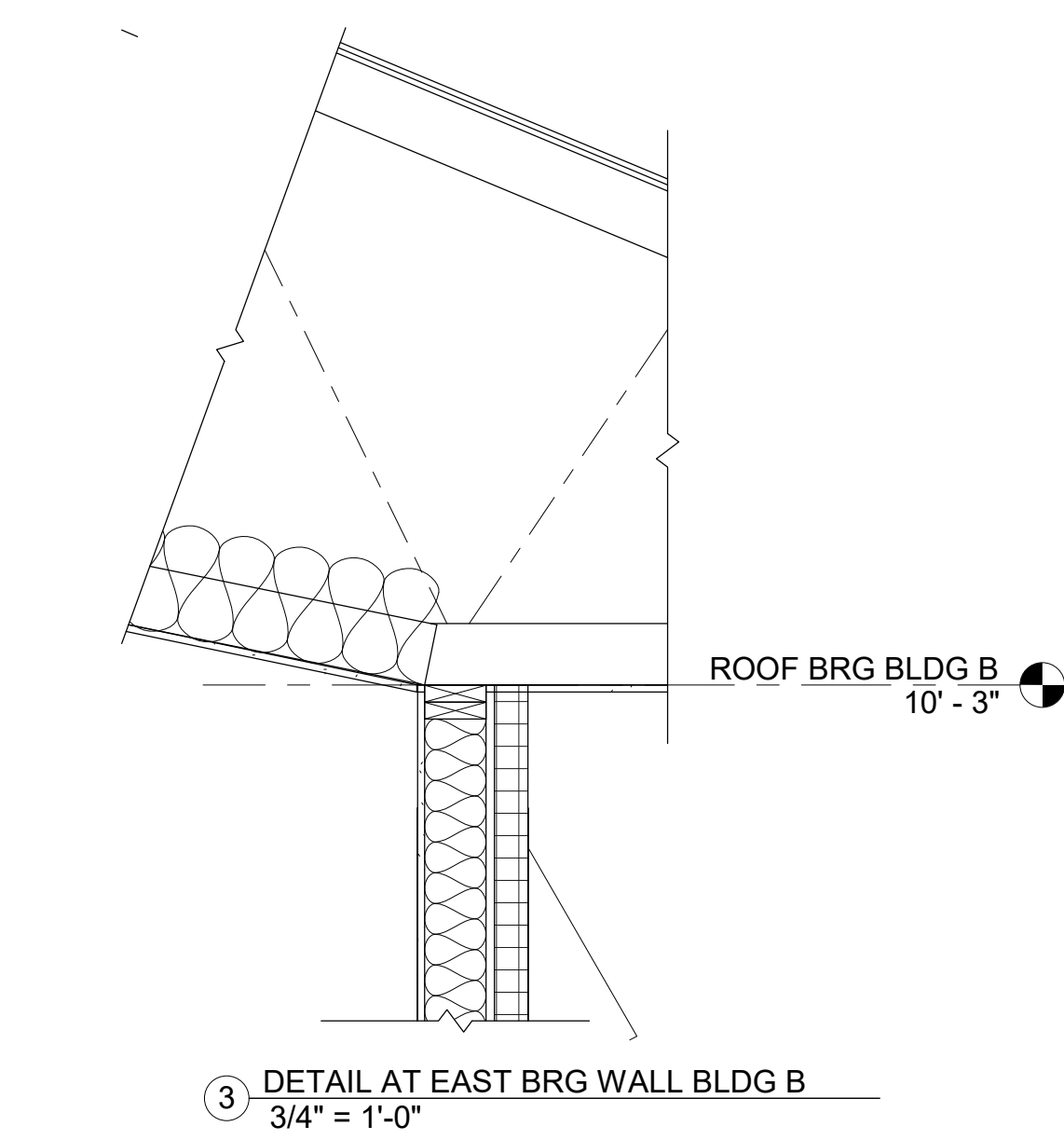
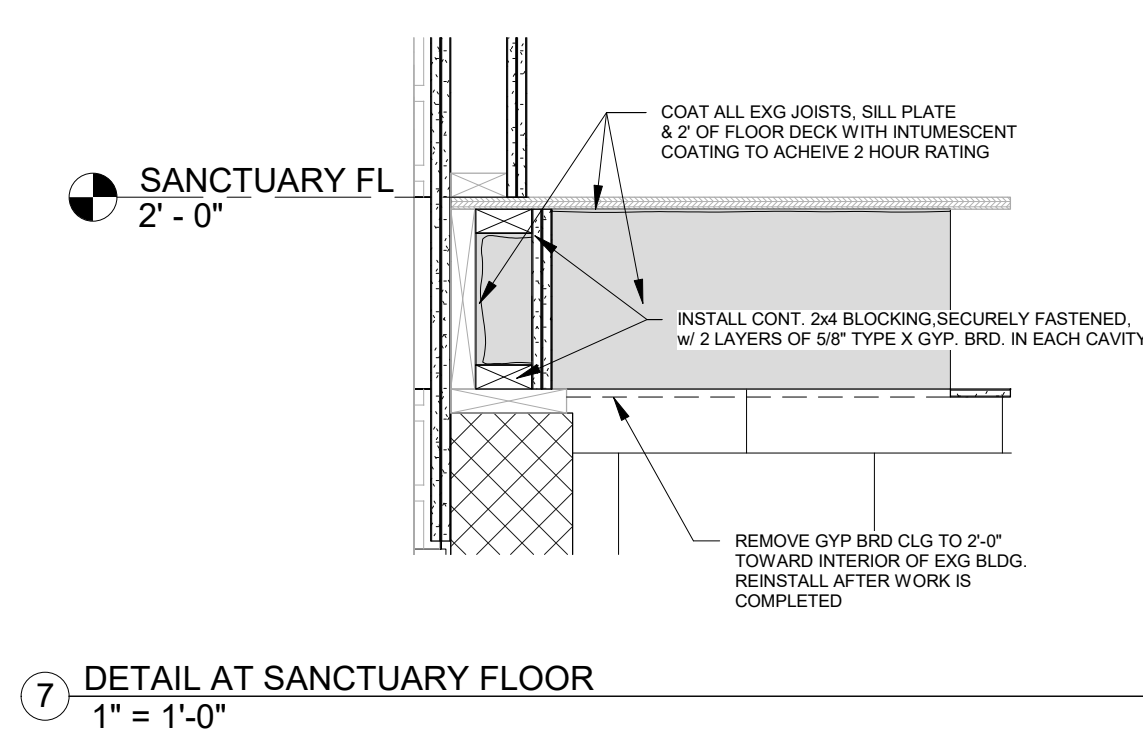
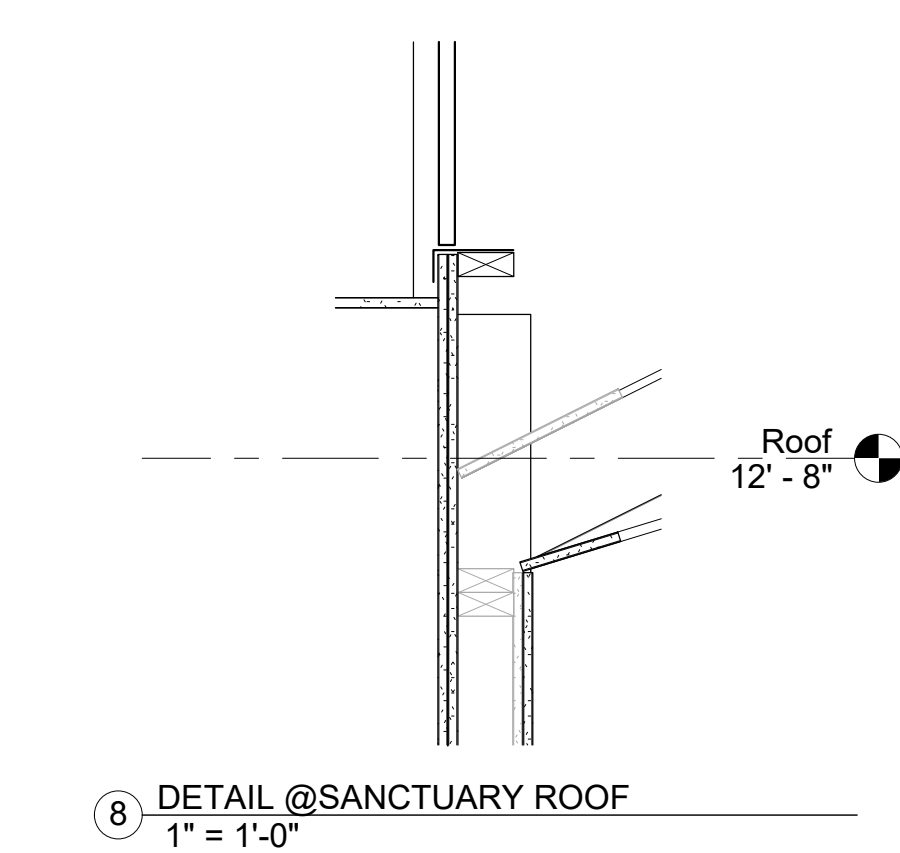
Right Section (BLDG A):

- 6 A7
- SECURE WALL TO ROOF SHEATHING MAKE WALL CONTINUOUS THROUGH CONCEALED SPACE INSULATION
- 24x30 2 HOUR RATED ACCESS DOOR
- NEW 2x4 UL 1301 WALL UP TO NEW ROOF BECK
- BLDG A ROOF
- REMOVE EXG WINDOW & FILL W/ STUDS @ 16" O.C.
- ADD 2 LAYERS 5/8" TYPE X DRYWALL NORTH SIDE OF EXG WALL
- EXG BLDG A STUD WALL
- SANCTUARY FL 2' - 0"
- EXG BLDG A FLOOR
- NEW FLOOR 0"
- REMOVE EXG GLASS BLOCK & FILL W/ 8" CMU
- EXG CMU FOUNDATION

1 WALL SECTION AT BLDGS A & B
1/2" = 1'-0"



7 WALL SECTION @ MECH. RM
1/2" = 1'-0"



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VIEN QUANG TEMPLE
ADDITION

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4724 West 130th St
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DETAILS			
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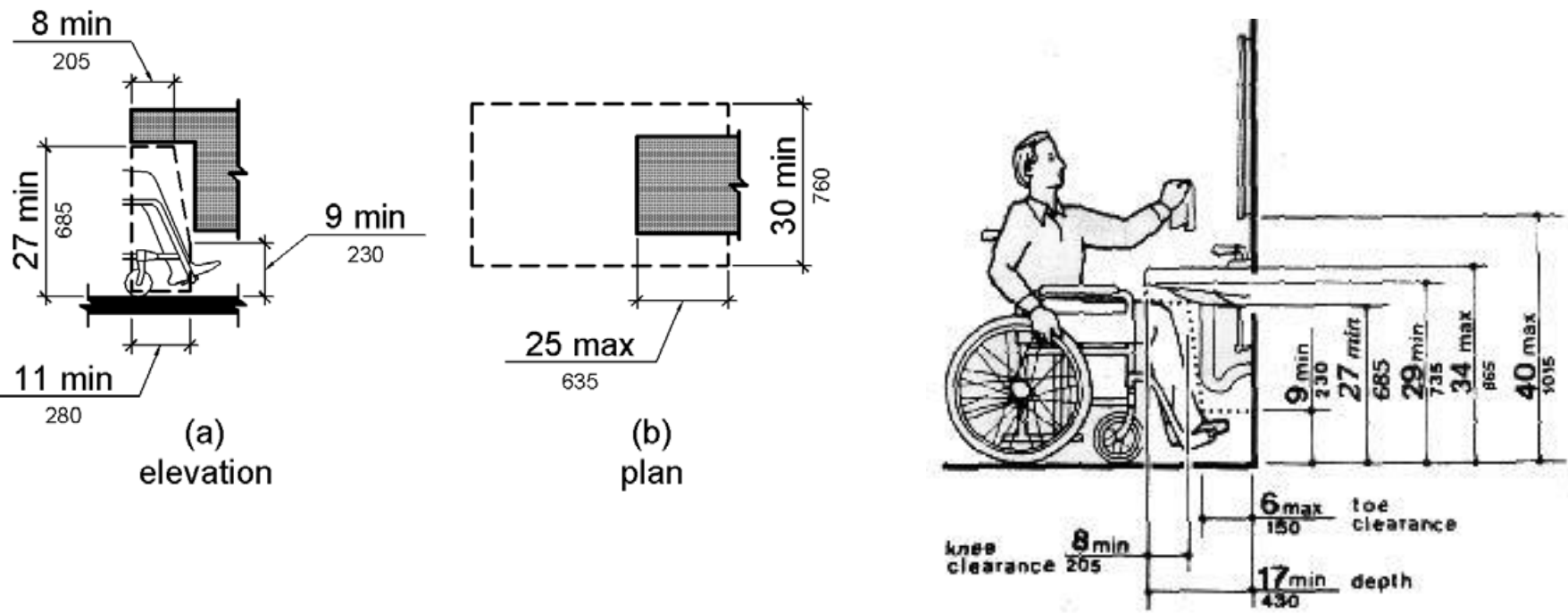
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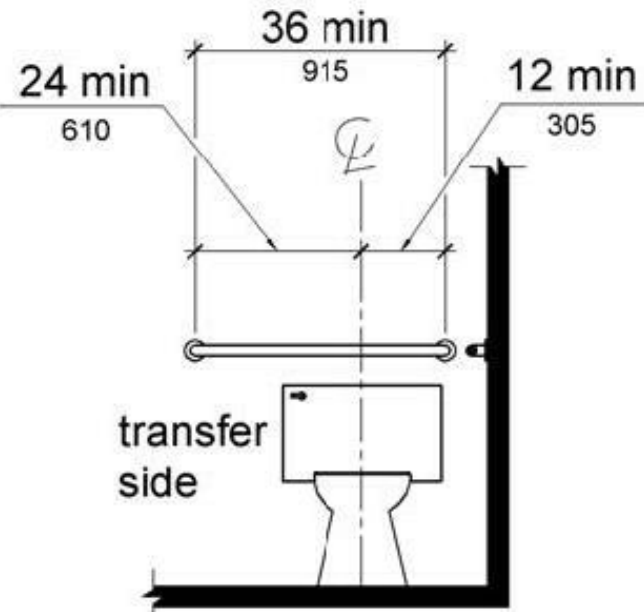
TOILET ROOM DETAILS

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A10



LAVATORY CLEARANCES



REAR WALL GRAB BAR

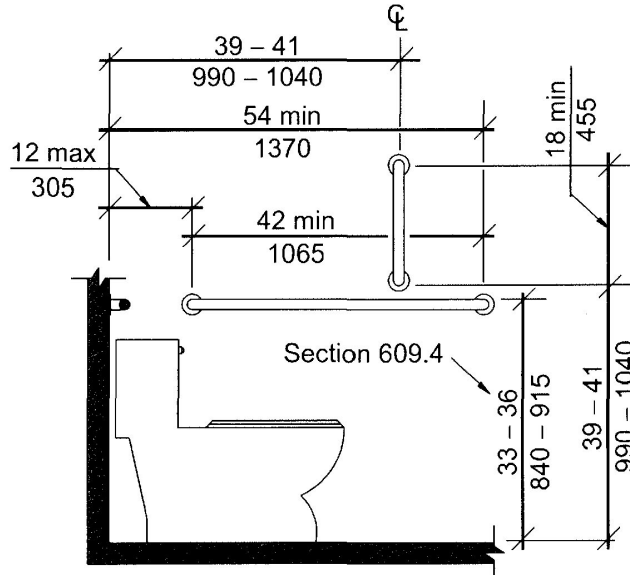
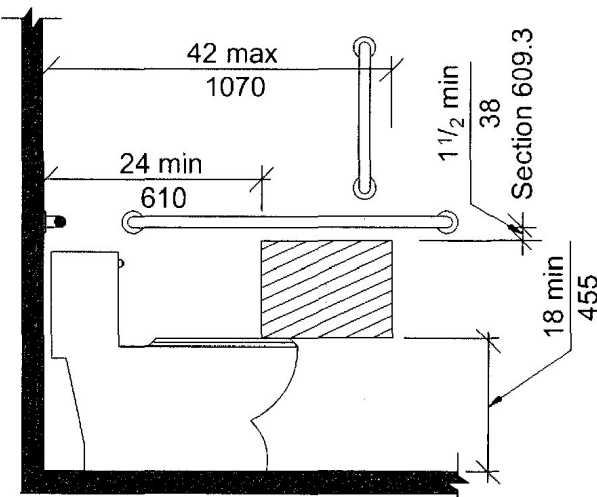
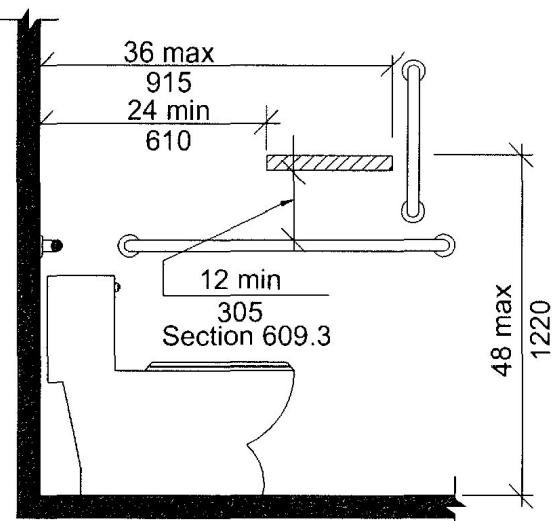


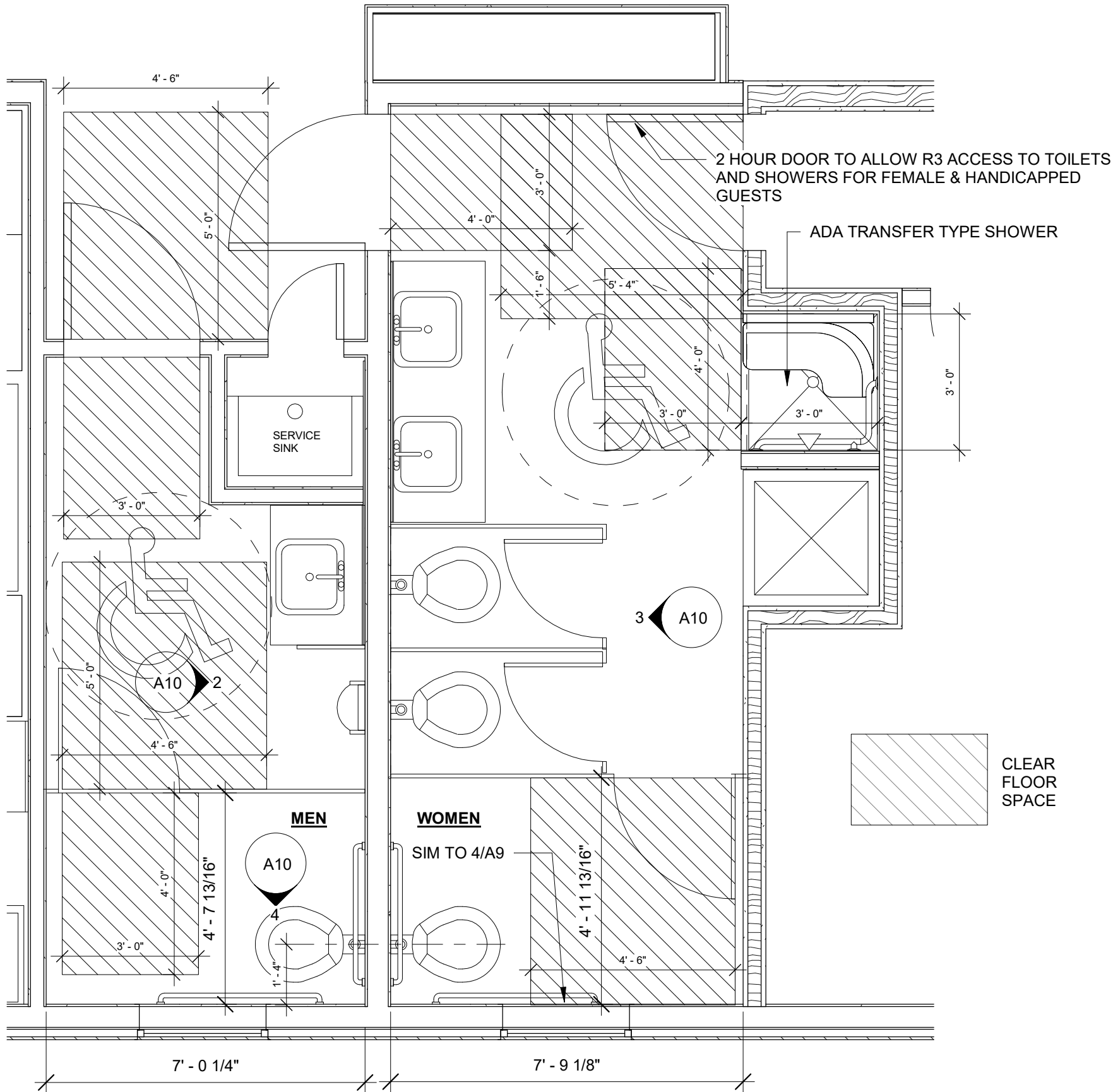
FIG. 604.5.1
SIDE WALL GRAB BAR FOR WATER CLOSET



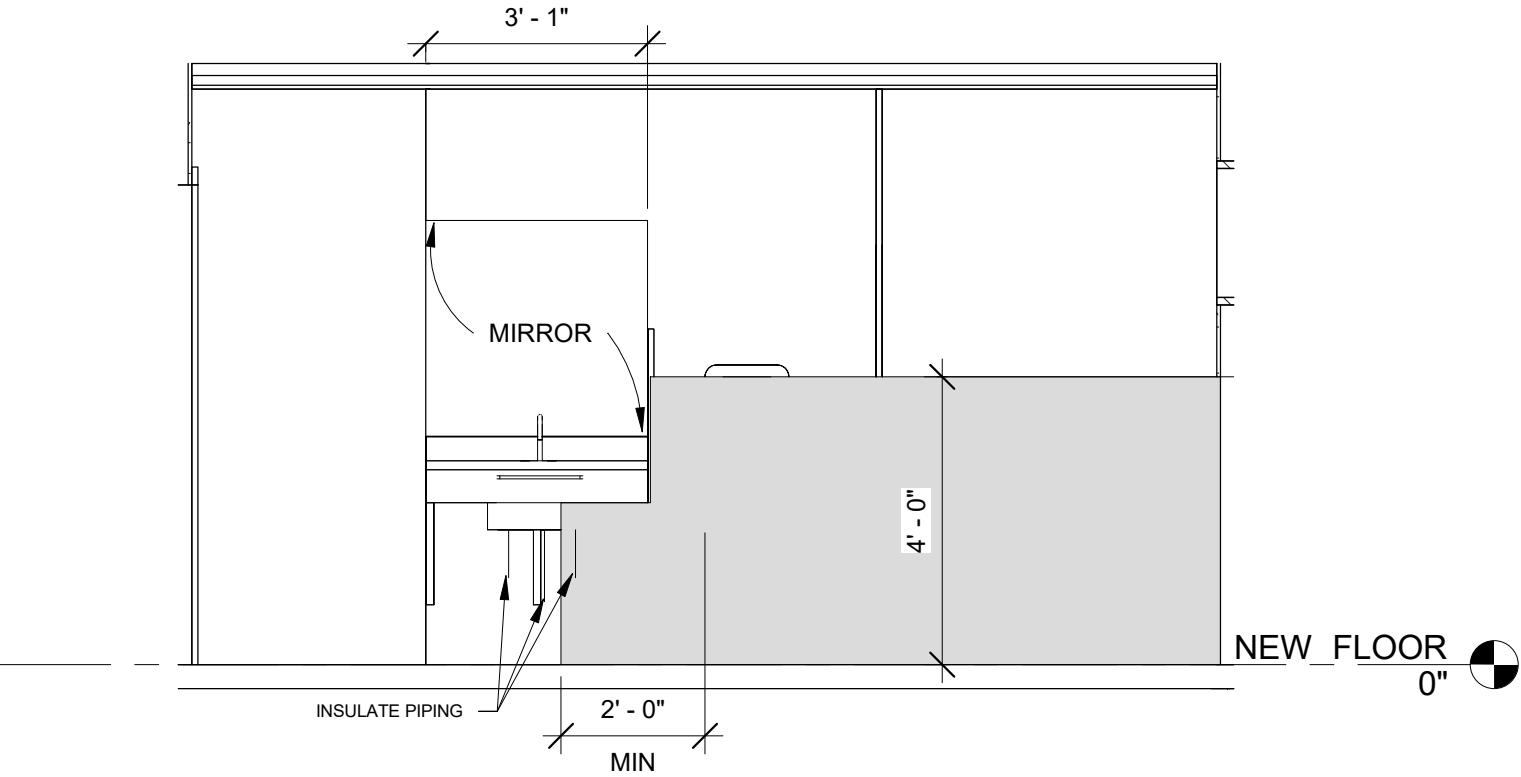
(a) Protruding Dispenser Below Grab Bar



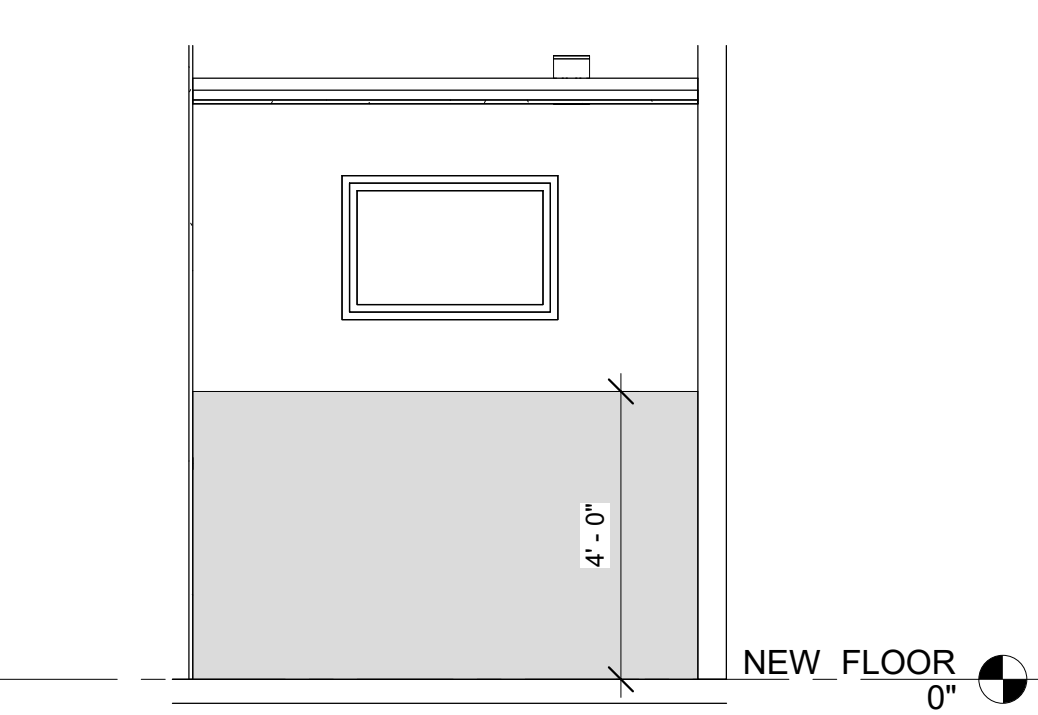
(b) Protruding Dispenser Above Grab Bar



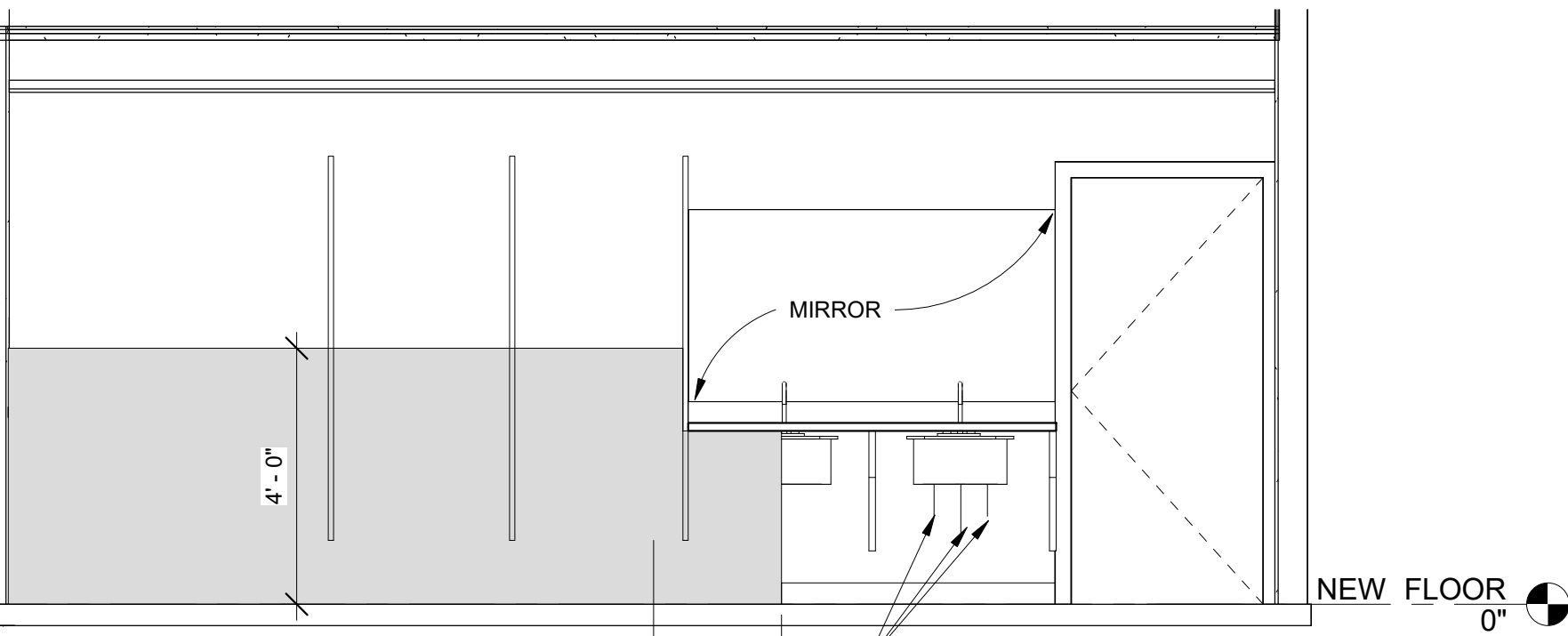
1 LOWER LEVEL TOILET ROOMS
3/8" = 1'-0"



2 EAST WALL RM 3
3/8" = 1'-0"



4 SOUTH WALL RM 3
3/8" = 1'-0"



3 WEST WALL RM 4
3/8" = 1'-0"

NON-POURIOUS WALL SURFACE MATERIAL
GLAZED CERAMIC TILE, FRP OR SIMILAR
APPROVED MATERIAL

LIGHTING FIXTURE SCHEDULE										
MARK	VOLTAGE	WATTAGE	LUMENS	COLOR TEMP	MOUNTING	DIMMING	FINISH	DIMENSION (W X L X H)	DESCRIPTION	MANUFACTURER
A	120/277V	42	4500	4000K	LAY-IN	0-10V	WHITE	48" X 24" X 2"	RECESSED LED FLAT PANEL LIGHT FIXTURE WITH ALUMINUM FRAME, AND FRAME FOR MOUNTING IN LAY-IN TEE BAR CEILING.	METALUX #24FP SERIES LITECONTROL #CFP SERIES LITHONIA #CPX SERIES
B	120/277V	62	6500	4000K	LAY-IN	0-10V	WHITE	48" X 24" X 2"	RECESSED LED FLAT PANEL LIGHT FIXTURE WITH ALUMINUM FRAME, AND FRAME FOR MOUNTING IN LAY-IN TEE BAR CEILING.	METALUX #24FP SERIES LITECONTROL #CFP SERIES LITHONIA #CPX SERIES
C	120/277V	15	1500	4000K	LAY-IN	0-10V	WHITE	4" X 6"	RECESSED LED DOWNLIGHT WITH HAZE SEMI-SPECULAR SELF-FLANGED REFLECTOR, MEDIUM BEAM, AND FRAME FOR MOUNTING IN LAY-IN TEE BAR CEILING.	PATHWAY #4VFLX SERIES PRESCOLITE #LF4SL SERIES LITHONIA #LDN4 SERIES
D	120/277V	15	1500	4000K	LAY-IN	0-10V	WHITE	4" X 6"	RECESSED LED DOWNLIGHT WITH HAZE SEMI-SPECULAR SELF-FLANGED REFLECTOR, MEDIUM BEAM, AND SEALED FOR MOUNTING IN SHOWER.	PATHWAY #4VFLX SERIES PRESCOLITE #LF4SL SERIES LITHONIA #LDN4 SERIES
E1	120/277V	1	--	--	WALL MOUNT ABOVE DOOR	--	WHITE	13" X 3" X 7-1/2"	COMBINATION LED EXIT SIGN WITH TWIN HEAD EGRESS LIGHTS, THERMOPLASTIC HOUSING AND CANOPY, RED LETTERS, NICKEL CADMIUM BATTERY WITH SELF DIAGNOSTICS AND CHARGING CIRCUITRY. ARROWS SHALL BE AS INDICATED ON THE DRAWINGS.	SURE-LITES #LPCX SERIES COMPASS #CC SERIES LITHONIA #LHQM-LED-HO SERIES
F	120/277V	1.5	--	--	WALL MOUNT AT 8'-0"	--	WHITE	9" X 2-5/8" X 5"	TWIN HEAD EMERGENCY EGRESS LIGHT UNIT WITH THERMOPLASTIC HOUSING, SEALED NICKEL CADMIUM BATTERY, AUTOMATIC CHARGER, AUTOMATIC TRANSFER CIRCUITRY, SELF DIAGNOSTICS, AND (2) .78W LED HEADS. CONNECT TO UNSWITCHED LIGHTING CIRCUIT.	SURE-LITES #APEL SERIES LITHONIA #ELM2L-LED SERIES DUALITE #L2 SERIES
G	120/277V	55	5500	4000K	WALL MOUNT AT 8'-6" AFG	0-10V	BRONZE	9" X 18" X 9"	LED QUARTER SPHERE WALL MOUNT LIGHT FIXTURE WITH INTEGRAL PHOTOCELL, AND COLD WEATHER EMERGENCY BATTERY PACK.	MCGRAW-EDISON #ISS LED SERIES HUBBELL #OSP SERIES LITHONIA #WSO SERIES
H	120/277V	15	1500	4000K	LAY-IN	0-10V	WHITE	4" X 6"	RECESSED LED DOWNLIGHT WITH HAZE SEMI-SPECULAR SELF-FLANGED REFLECTOR, MEDIUM BEAM, AND FRAME FOR MOUNTING IN LAY-IN TEE BAR CEILING.	PATHWAY #4VFLX SERIES PRESCOLITE #LF4SL SERIES LITHONIA #LDN4 SERIES
I	120/277V	41	5000	4000K	CHAIN HUNG AT 8'-6"	0-10V	WHITE	48" X 3" X 3-7/8"	SURFACE/PENDANT MOUNTED LED STRIPLIGHT WITH STEEL HOUSING, ENAMEL PAINTED AFTER FABRICATION, AND FROSTED LENS WITH WIDE DISTRIBUTION.	METALUX #SNLED SERIES LITHONIA #ZL1N SERIES COLUMBIA #MPS4 SERIES LSI #SDL SERIES

MECHANICAL EQUIPMENT SCHEDULE (FURNISHED AND SET BY MECHANICAL TRADES, WIRED BY ELECTRICAL TRADES)						
MARK	DESCRIPTION	VOLTAGE	PHASE	LOAD	MOCp	REMARKS
EF-1	EXHAUST FAN	120V	1	1/10 HP		CONTROLLED VIA ROOM LIGHTING
F-1	FURNACE	120V	1	15.4 MCA	20A	FURNISHED WITH INTEGRAL DISCONNECT SWITCH
F-2	FURNACE	120V	1	14.1 MCA	20A	FURNISHED WITH INTEGRAL DISCONNECT SWITCH
F-3	FURNACE	120V	1	14.1 MCA	20A	FURNISHED WITH INTEGRAL DISCONNECT SWITCH
F-4	FURNACE	120V	1	14.1 MCA	20A	FURNISHED WITH INTEGRAL DISCONNECT SWITCH
F-5	FURNACE	120V	1	14.1 MCA	20A	FURNISHED WITH INTEGRAL DISCONNECT SWITCH
CU-1	CONDENSING UNIT	240V	1	21.3 MCA	35A	
CU-2	CONDENSING UNIT	240V	1	23.7 FLA	50A	
CU-3	CONDENSING UNIT	240V	1	23.7 FLA	50A	
CU-4	CONDENSING UNIT	240V	1	23.7 FLA	50A	
CU-5	CONDENSING UNIT	240V	1	23.7 FLA	50A	

GENERAL DRAWING NOTES:

[illegible]VIEN QUANG TEMPLE
ADDITION

E0



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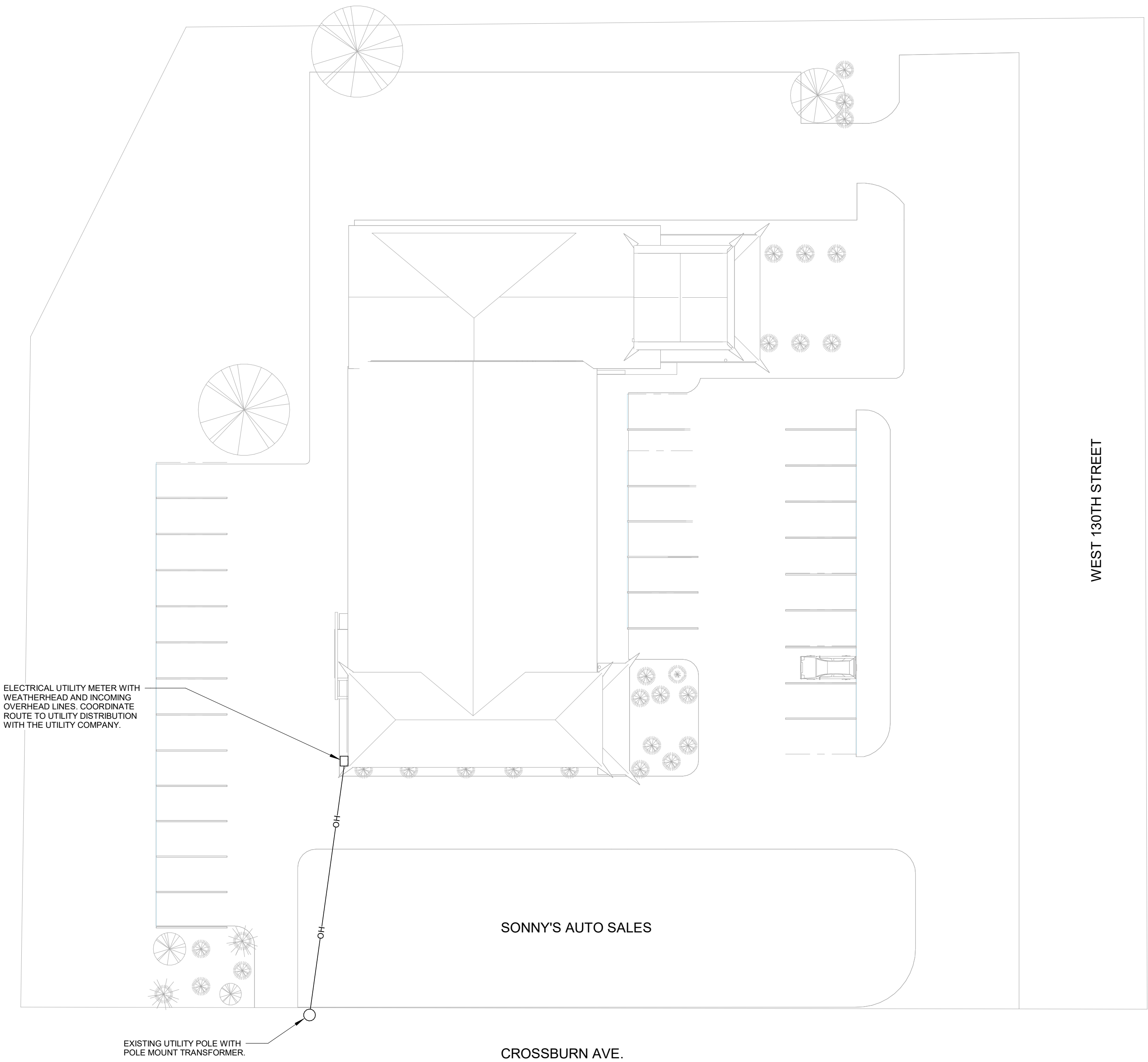
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ELECTRICAL SITE PLAN

Project number	2211
Date	Issue Date
Drawn by	JAD
Checked by	RTM

E1



1 ELECTRICAL SITE PLAN
E1 1" = 20'-0"





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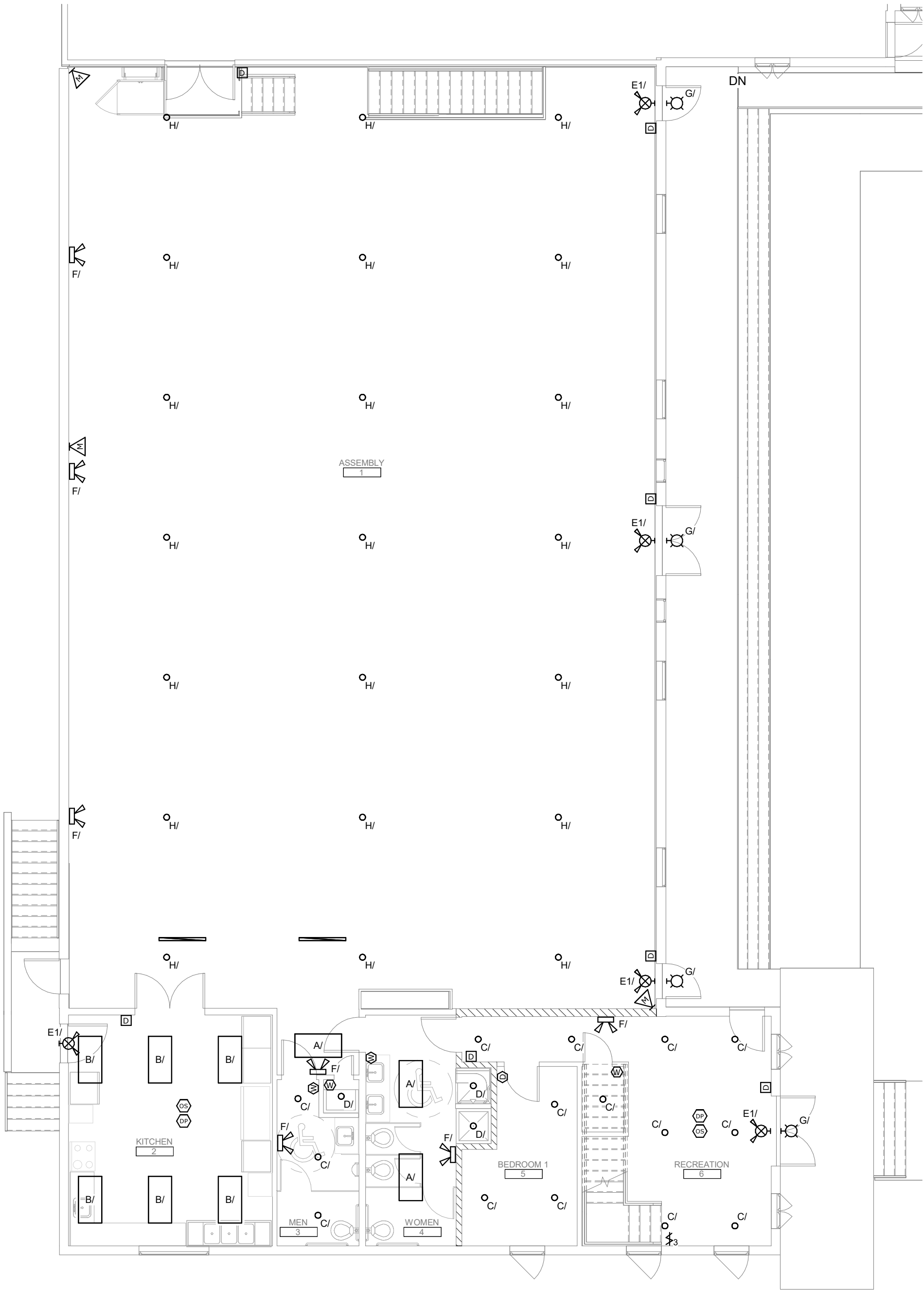
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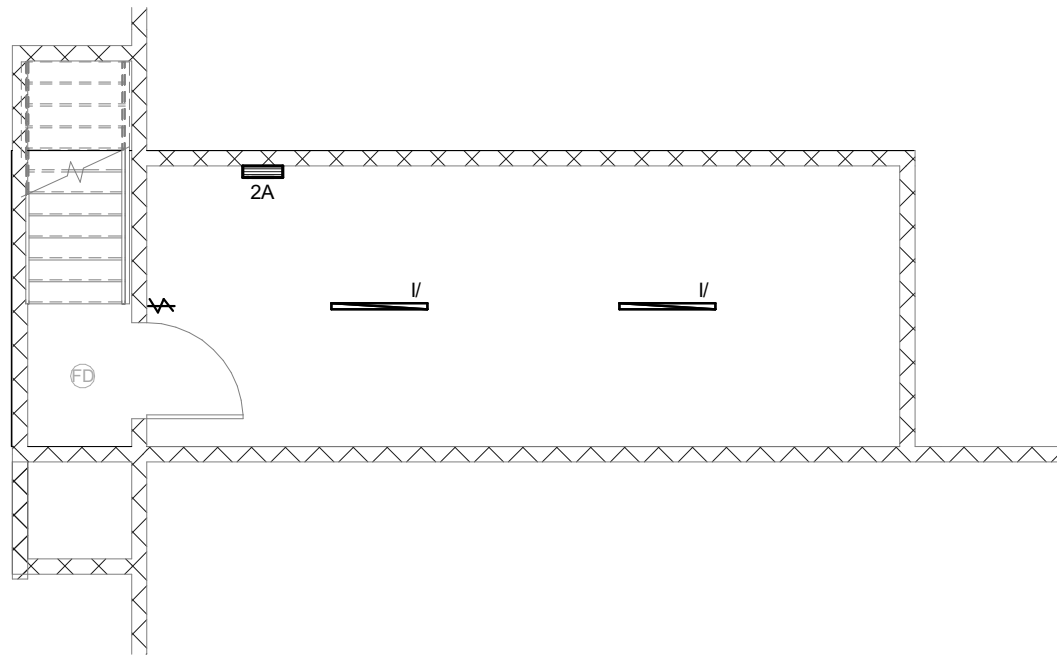
LIGHTING PLANS

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Date	Issue Date
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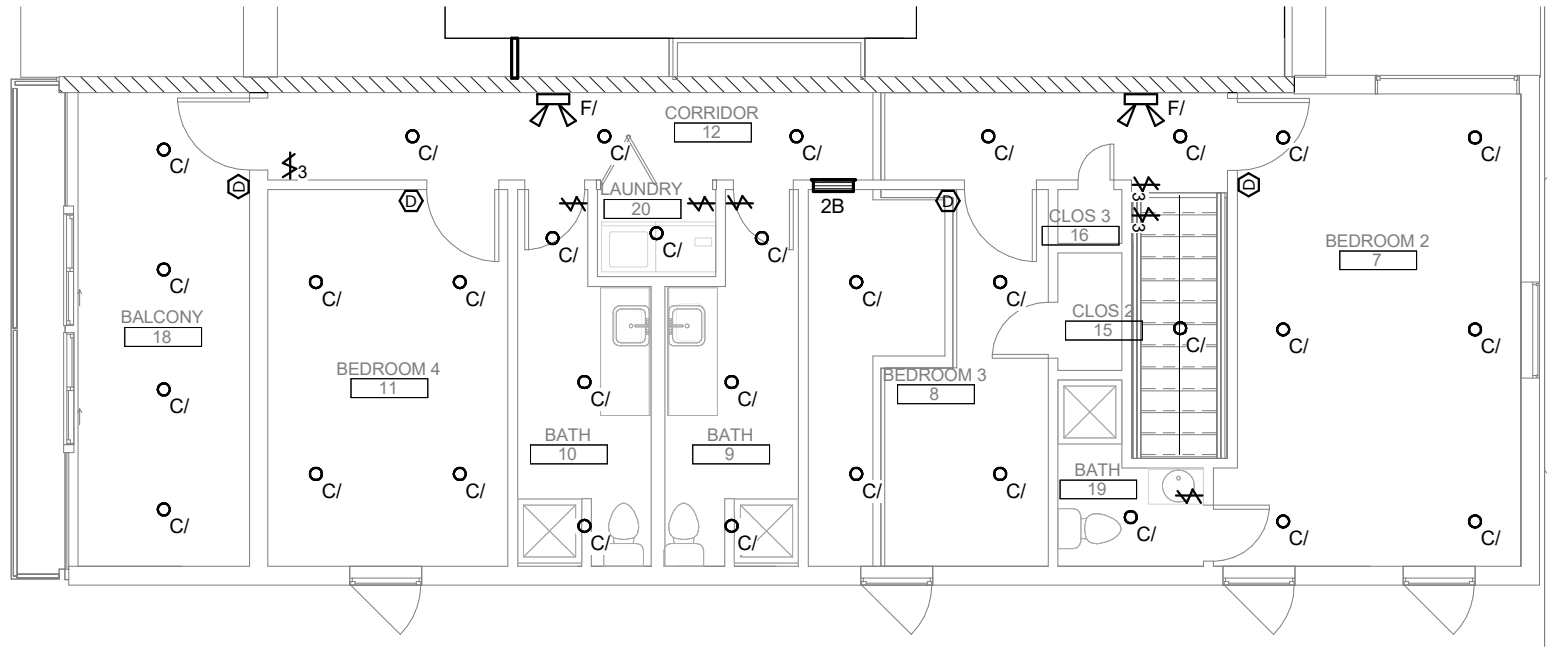
E2



1 ASSEMBLY AND LOWER FLOOR LIGHTING PLAN
1/8" = 1'-0"



3 MECHANICAL ROOM LIGHTING PLAN
1/8" = 1'-0"



2 UPPER FLOOR LIGHTING PLAN
1/8" = 1'-0"



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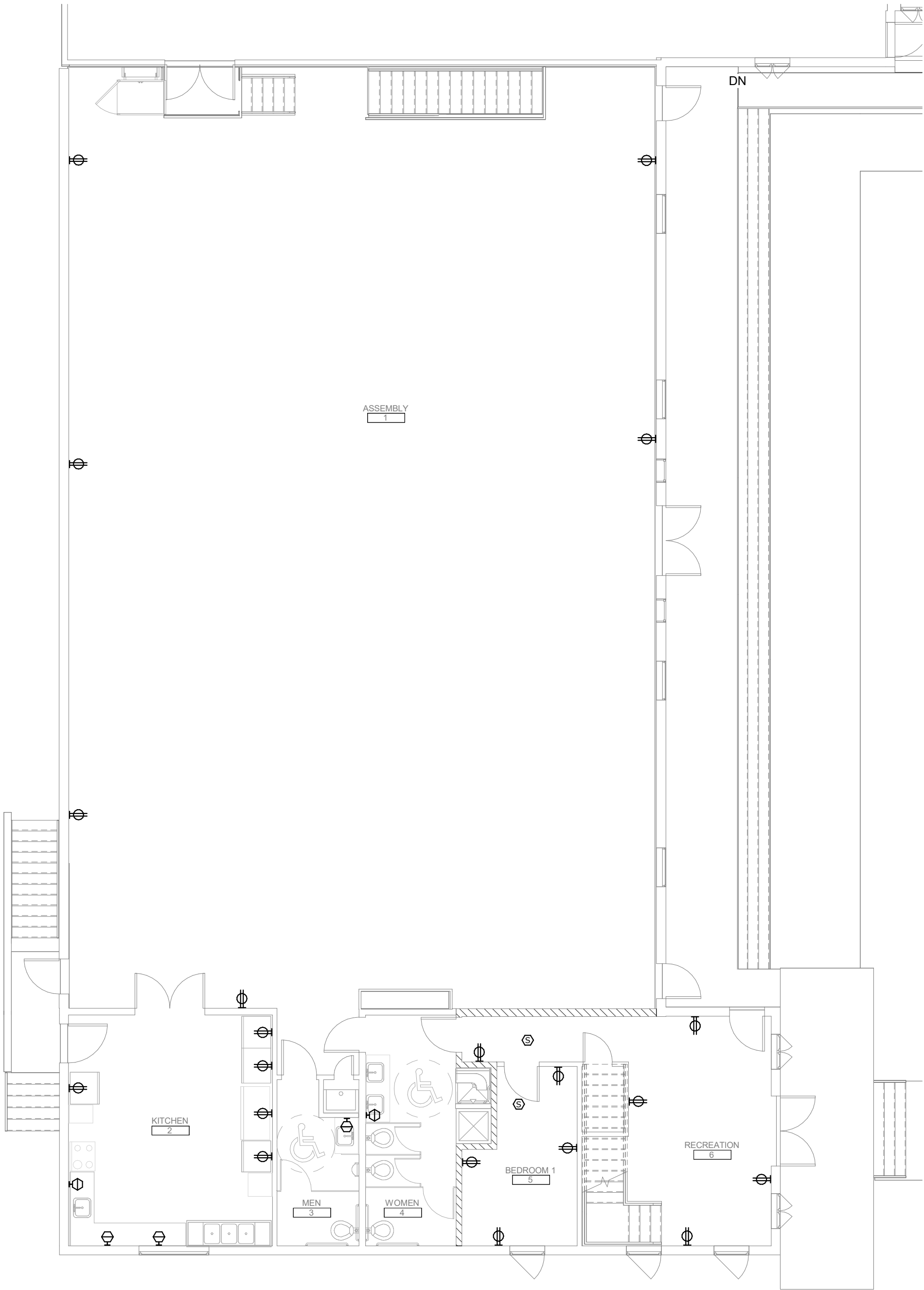
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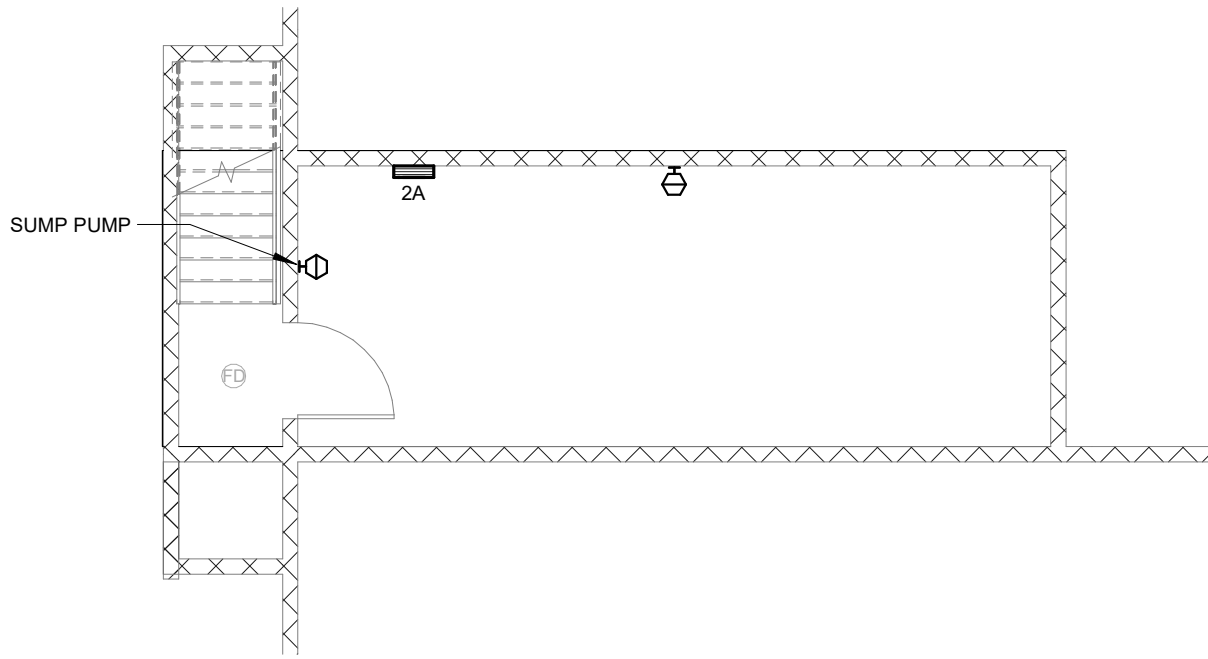
POWER PLANS

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Date	Issue Date
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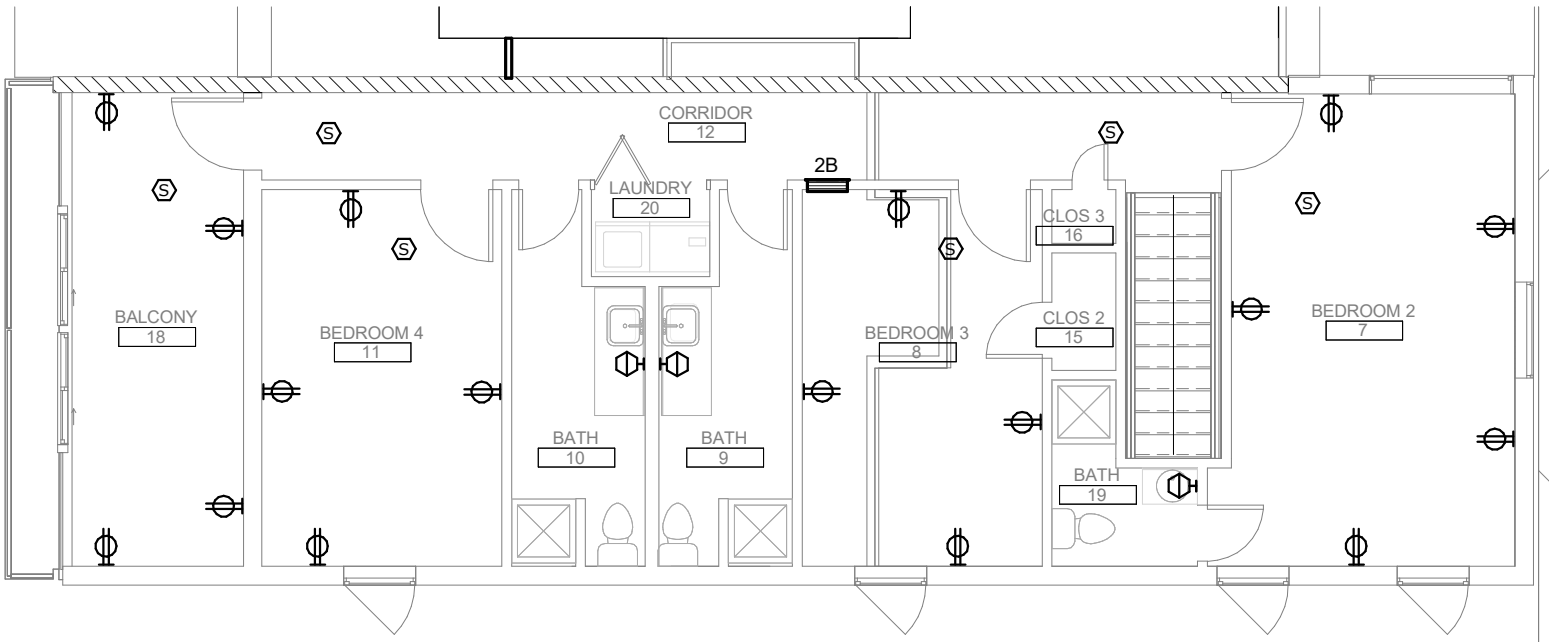
E3



1 ASSEMBLY AND LOWER FLOOR POWER PLAN
E3 1/8" = 1'-0"



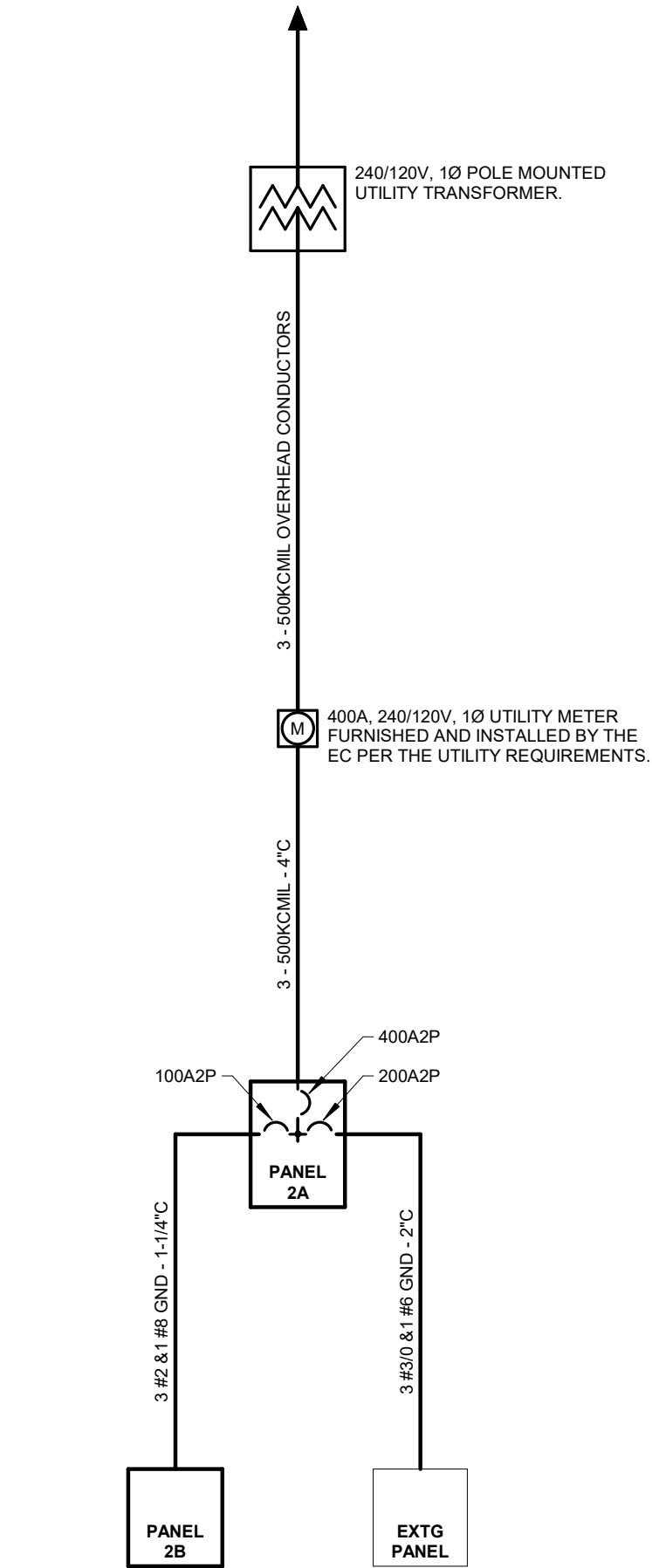
3 MECHANICAL ROOM POWER PLAN
E3 1/8" = 1'-0"



2 UPPER FLOOR POWER PLAN
E3 1/8" = 1'-0"

PANEL 2A:					BUS RATING: 400A			MLO/MCB: 400A MCB		
					VOLTAGE: 240/120V, 1Ø, 3W			TOP/BOTTOM: TOP		
					AIC RATING: 42K			MOUNTING: SURFACE		
CKT	BREAKER	LOAD (VA)	WIRE SIZE	DESCRIPTION	PHASE	CKT	BREAKER	LOAD (VA)	WIRE SIZE	DESCRIPTION
1					A	2				
3					B	4				
5					A	6				
7					B	8				
9					A	10				
11					B	12				
13					A	14				
15					B	16				
17					A	18				
19					B	20				
21					A	22				
23					B	24				
25					A	26				
27	35A2P			CONDENSING UNIT CU-1	B	28				
29					A	30				
31	50A2P			CONDENSING UNIT CU-2	B	32	50A2P			CONDENSING UNIT CU-4
33					A	34				
35	50A2P			CONDENSING UNIT CU-3	B	36	50A2P			CONDENSING UNIT CU-5
37					A	38				
39	100A2P			PANELBOARD 2B	B	40	200A2P			EXISTING PANELBOARD
41					A	42				
NOTES: -ALL CONDUIT RUNS SHALL HAVE A DEDICATED GROUND SIZED IN ACCORDANCE WITH NEC TABLE 250-122 -ALL SINGLE POLE CIRCUITS SHALL HAVE A DEDICATE FULL SIZE NEUTRAL ROUTED WITH THE PHASE CONDUCTOR -CONDUITS SHALL BE SIZED PER THE NEC FILL LIMITS. -CIRCUITS MAY BE ROUTED IN COMMON CONDUITS AS APPROPRIATE. "-FA" INDICATES RED BREAKER WITH LOCKING DEVICE.					CONNECTED LOAD:			*-GFCI" INDICATES 5mA GFCI CIRCUIT BREAKER (PERSONNEL PROTECTION). *-GFEF" INDICATES 30mA GFCI CIRCUIT BREAKER (EQUIPMENT PROTECTION). SERVICE ENTRANCE RATED BOARD		
					PHASE A: 0			PROJECT: VIEN QUANG TEMPLE ADDITION		
					PHASE B: 0					
					PHASE C:					
					TOTAL: 0					

PANEL 2B:					BUS RATING: 100A			MLO/MCB: 400A MCB		
					VOLTAGE: 240/120V, 1Ø, 3W			TOP/BOTTOM: TOP		
					AIC RATING: 22K			MOUNTING: SURFACE		
CKT	BREAKER	LOAD (VA)	WIRE SIZE	DESCRIPTION	PHASE	CKT	BREAKER	LOAD (VA)	WIRE SIZE	DESCRIPTION
1	20A1P				A	2	20A1P			
3	20A1P				B	4	20A1P			
5	20A1P				A	6	20A1P			
7	20A1P				B	8	20A1P			
9	20A1P				A	10	20A1P			
11	20A1P				B	12	20A1P			
13	20A1P				A	14	20A1P			
15	20A1P				B	16	20A1P			
17	20A1P				A	18	20A1P			
19	20A1P				B	20	20A1P			
21	20A1P				A	22	20A1P			
23	20A1P				B	24	20A1P			
25	20A1P				A	26	20A1P			
27	20A1P				B	28	20A1P			
29	20A1P				A	30	20A1P			
31	20A1P				B	32	20A1P			
33	20A1P				A	34	20A1P			
35	20A1P				B	36	20A1P			
37	20A1P				A	38	20A1P			
39	20A1P				B	40	20A1P			
41	20A1P				A	42	20A1P			
NOTES: -ALL CONDUIT RUNS SHALL HAVE A DEDICATED GROUND SIZED IN ACCORDANCE WITH NEC TABLE 250-122 -ALL SINGLE POLE CIRCUITS SHALL HAVE A DEDICATE FULL SIZE NEUTRAL ROUTED WITH THE PHASE CONDUCTOR -CONDUITS SHALL BE SIZED PER THE NEC FILL LIMITS. -CIRCUITS MAY BE ROUTED IN COMMON CONDUITS AS APPROPRIATE. "-FA" INDICATES RED BREAKER WITH LOCKING DEVICE.					CONNECTED LOAD: PHASE A: 0 PHASE B: 0 PHASE C: TOTAL: 0			*-GFCI" INDICATES 5mA GFCI CIRCUIT BREAKER (PERSONNEL PROTECTION). *-GFEF" INDICATES 30mA GFCI CIRCUIT BREAKER (EQUIPMENT PROTECTION). *INDICATES BREAKERS FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. PROJECT: VIEN QUANG TEMPLE ADDITION		



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E4 DISTRIBUTION DIAGRAM
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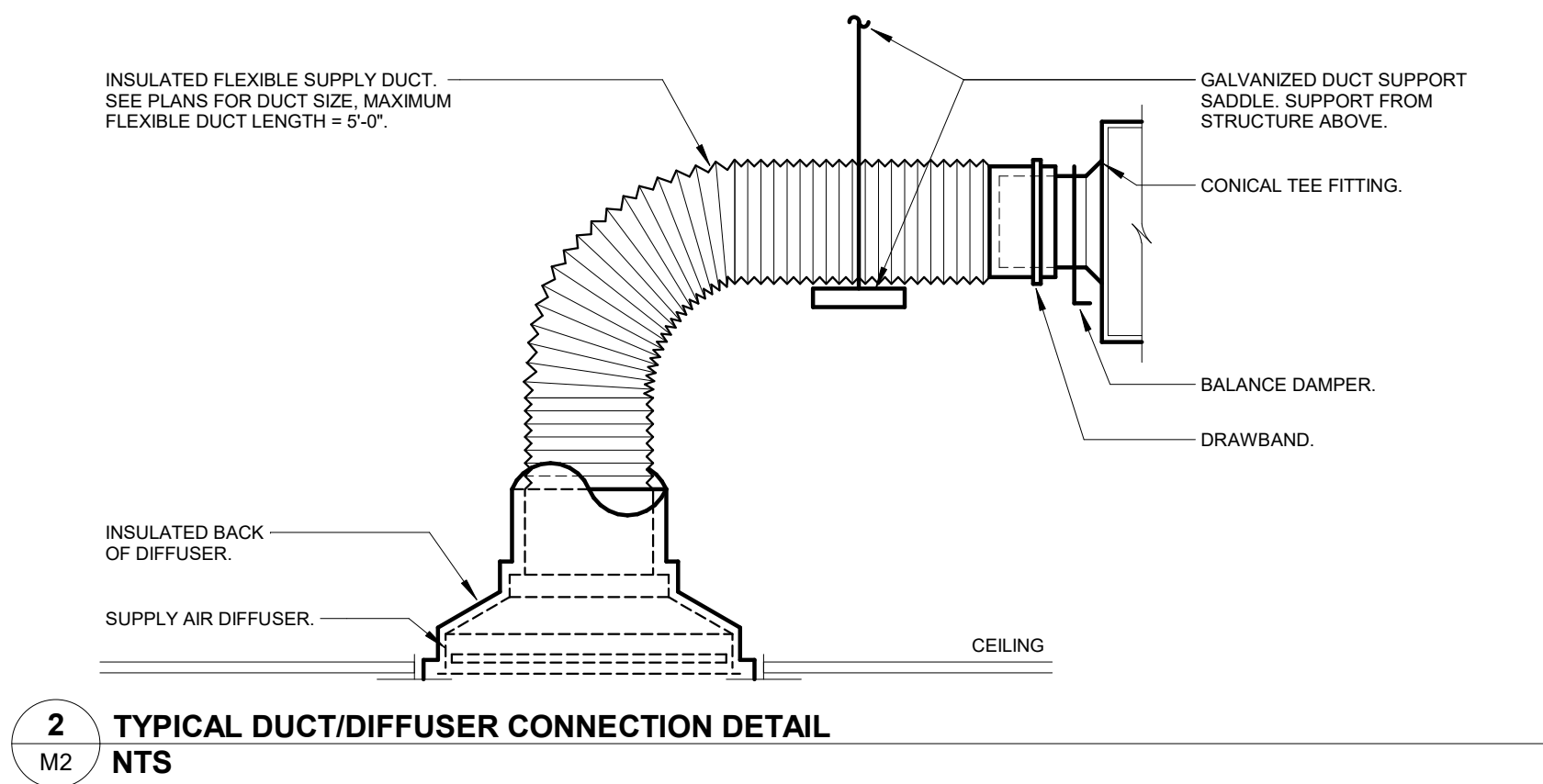
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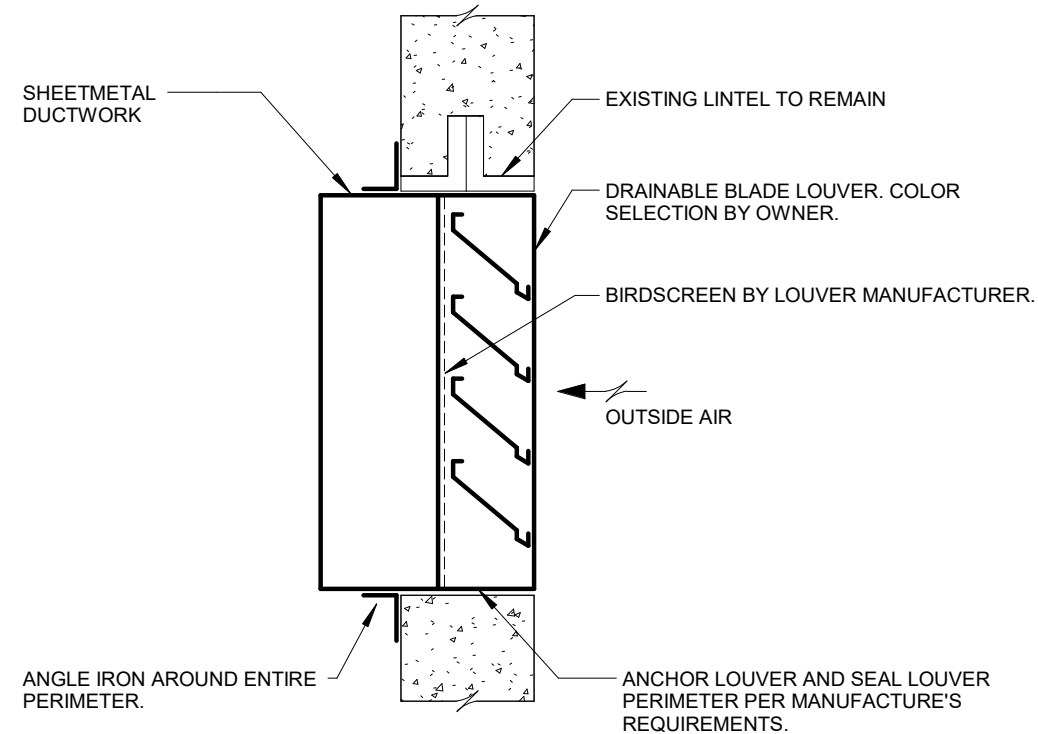
DISTRIBUTION DIAGRAMS

Project number	2211
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E4



2
M2
TYPICAL DUCT/DIFFUSER CONNECTION DETAIL
NTS



1
M2
LOUVER INSTALLATION DETAIL
NTS

GRILLE AND DIFFUSER SCHEDULE										
REMARKS: 1. FINISH SHALL BE WHITE, UNLESS NOTED OTHERWISE. 2. FURNISH ALL DIFFUSERS WITH FACTORY INSULATED R-6 FOIL-BACKED INSULATION. 3.FURNISH WITH INTEGRAL ADJUSTABLE DAMPER FOR INSTALLATIONS IN HARD (INACCESSIBLE CEILINGS). 4. FURNISH WITH LOAD-BEARING FRAME AND CORE.										
MARK	MANUFACTURER	MODEL	SERVICE	MOUNTING	INLET SIZE	OVERALL SIZE	MAX AIRFLOW (CFM) EACH	THROW PATTERN	MAX NC	REMARKS
BL6	TITUS	OMNI	SUPPLY	LAY-IN	6" DIA	24"x24"	200	4-WAY	25	1, 2
BL8	TITUS	OMNI	SUPPLY	LAY-IN	8" DIA	24"x24"	325	4-WAY	25	1, 2
BS6	TITUS	OMNI	SUPPLY	SURFACE	6" DIA	24"x24"	200	4-WAY	25	1, 2, 3
BS8	TITUS	OMNI	SUPPLY	SURFACE	8" DIA	24"x24"	325	4-WAY	25	1, 2, 3
CF12	TITUS	CT-480	SUPPLY/RETURN	FLOOR	6"x12"	6"x12"	230	LINEAR	25	4
CF24	TITUS	CT-480	SUPPLY/RETURN	FLOOR	6"x24"	6"x24"	460	LINEAR	25	4
SS22	TITUS	23RS (AEROBLADE)	RETURN/EXHAUST	SURFACE	22"x40"	24"x42"	1,650	N/A	25	1
US8	TITUS	50F (EGGCRATE)	RETURN/EXHAUST	SURFACE	8"x8"	10"x10"	260	N/A	25	1
US12	TITUS	50F (EGGCRATE)	RETURN/EXHAUST	SURFACE	12"x12"	14"x14"	620	N/A	25	1

EXHAUST FAN SCHEDULE																
REMARKS: 1. FURNISH WITH BACKDRAFT DAMPER. 2. INTERLOCK OPERATION WITH ROOM LIGHT SWITCH. 3. ALL OUTDOOR EXHAUST FANS SHALL BE FURNISHED WITH A BIRD SCREEN. IF EXHAUST FAN IS DUCTED TO OUTDOORS, CONTRACTOR SHALL PROVIDE ALUMINUM BIRD SCREEN IN THE FIELD FOR UNIT DISCHARGE.																
MARK	MANUFACTURER	MODEL	TYPE	SERVICE	AIRFLOW (CFM)	ESP (IN W.C.)	FAN RPM	DRIVE TYPE	MOTOR RPM	ROOF CURB	ELECTRICAL				REMARKS	
											VOLTS/PH	BHP	MHP	DISCONNECT BY		STARTER BY
EF-1	GREENHECK	SP-B110	CEILING MT	GENERAL EXHAUST	75	0.4	950	DIRECT	1100	NO	115/1	0.09	0.1	EC	EC	1, 2, 3

LOUVER SCHEDULE												
REMARKS: 1. COORDINATE LOUVER DIMENSIONS WITH GENERAL TRADES PRIOR TO ORDERING. 2. COLOR SELECTED BY ARCHITECT OR OWNER. 3. FURNISH WITH ALUMINUM BIRD SCREEN.												
MARK	MANUFACTURER	MODEL	DESCRIPTION	FREE AREA RATIO	FREE REA (SQFT)	OVERALL DIMENSIONS			PERFORMANCE			REMARKS
						WIDTH	HEIGHT	DEPTH	CFM	FREE AREA VELOCITY (FPM)	MAX APD (IN. W. G.)	
L-1	GREENHECK	ESJ-401	INTAKE	0.4	1.2	24"	18"	4"	720	599	0.1	1, 2, 3

FURNACE WITH AC SCHEDULE																					
REMARKS:																					
1. FURNISH WITH LOCAL DISCONNECT SWITCH																					
2. FURNISH WITH VARIABLE SPEED ECM FAN MOTOR																					
3. FURNISH WITH CONCENTRIC VENT KIT																					
4. FURNISH WITH CASED COIL.																					
5. FURNISH WITH WIFI ENABLED THERMOSTAT THAT COMMUNICATES TO CONDENSING UNIT.																					
6. ALL FURNACES WITH CONDENSING HEAT EXCHANGERS SHALL BE FIELD PIPED PVC DRAINS PER MFR'S PUBLISHED INSTRUCTUIONS. PIPE TO NEARBY FLOOR DRAIN FOR MOP BASIN.																					
MARK	MFR	MODEL	MIN OA	SUPPLY FAN		COOLING COIL - DX				GAS HEAT						FILTERS	ELECTRICAL			ASSOCIATED CONDENSING UNIT	REMARKS
				CFM	ESP	EDB/EWB (°F)	MAX VEL (FPM)	LDB/LWB (°F)	TOTAL MBH	TYPE	FUEL	INPUT MBH	OUTPUT MBH	EAT	LAT		VOLTS/PH	MCA	MOCP		
F-1	DAIKIN	DM97MC	0	1,600	0.7	78/64	550	55/54	42	MODULATING	NAT. GAS	100	95	55	110	DISPOSABLE	115/1	15.4	20	CU-1	1, 2, 3, 4, 5, 6
F-2	DAIKIN	DM96TN	180	1,800	0.7	78/64	550	55/54	55	2-STAGE	NAT. GAS	100	96	55	104	DISPOSABLE	115/1	14.1	20	CU-2	1, 2, 3, 4, 5, 6
F-3	DAIKIN	DM96TN	180	1,800	0.7	78/64	550	55/54	55	2-STAGE	NAT. GAS	100	96	55	104	DISPOSABLE	115/1	14.1	20	CU-3	1, 2, 3, 4, 5, 6
F-4	DAIKIN	DM96TN	180	1,800	0.7	78/64	550	55/54	55	2-STAGE	NAT. GAS	100	96	55	104	DISPOSABLE	115/1	14.1	20	CU-4	1, 2, 3, 4, 5, 6
F-5	DAIKIN	DM96TN	180	1,800	0.7	78/64	550	55/54	55	2-STAGE	NAT. GAS	100	96	55	104	DISPOSABLE	115/1	14.1	20	CU-5	1, 2, 3, 4, 5, 6

CONDENSING UNIT SCHEDULE																
REMARKS: 1. FIELD INSTALL COMMUNICATION WIRING BETWEEN INDOOR UNIT AND OUTDOOR UNIT. FURNISH WITH MANUFACTURER'S COMMUNICATING WI-FI ENABLED THERMOSTAT.																
MARK	MANUFACTURER	MODEL	COOLING MBH	AMBIENT TEMP (°F)		REFRIGERANT TYPE	CONTROL	SEER	ELECTRICAL				DISCONNECT BY	WEIGHT	ASSOCIATED INDOOR UNIT	REMARKS
				DESIGN	LOW				VOLTS/PH	MCA	RLA	MOCP				
CU-1	DAIKIN	DX18TC	36	95	30	R-410A	TWO STAGE	18	208/1	21.3	-	35	EC	238	F-1	1
CU-2	DAIKIN	DX5SEA	60	95	30	R-410A	SINGLE STAGE	15.5	208/1	-	23.7	50			F-2	1
CU-3	DAIKIN	DX5SEA	60	95	30	R-410A	SINGLE STAGE	15.5	208/1	-	23.7	50			F-3	1
CU-4	DAIKIN	DX5SEA	60	95	30	R-410A	SINGLE STAGE	15.5	208/1	-	23.7	50			F-4	1
CU-5	DAIKIN	DX5SEA	60	95	30	R-410A	SINGLE STAGE	15.5	208/1	-	23.7	50			F-5	1



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MECHANICAL SCHEDULES AND DETAILS

Project number 2211




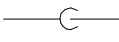
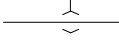
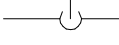
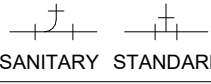
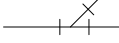


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









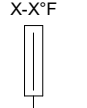
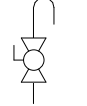



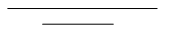


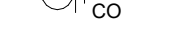
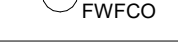



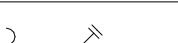
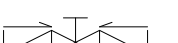



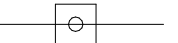


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M2

SANITARY SEWER MINIMUM PIPE SLOPES	
PIPE SIZE	SLOPE (PER FOOT)
2-1/2" OR LESS	1/4" (2%)
3" TO 6"	1/8" (1%)

PIPE FITTING LEGEND	
SYMBOL	DESCRIPTION
	CONCENTRIC REDUCER
	ECCENTRIC REDUCER
	CAP
	90° PIPE RISE OR DROP
	90° PIPE CONNECTION OUT OF BOTTOM
	90° PIPE CONNECTION OUT OF TOP
 <small>SANITARY STANDARD</small>	90° PIPE CONNECTION OUT OF SIDE
	45° PIPE CONNECTION OUT OF SIDE
	PIPING RISER DOWN
	PIPING RISER UP

PIPING SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	CHECK VALVE
	GATE VALVE
	MANUAL BALANCING VALVE
	BALL VALVE
	CHECK VALVE
	GATE VALVE
	BUTTERFLY VALVE
	GAS VALVE
	STRAINER WITH FULL SIZE VALVED BLOWDOWN WITH PLUGGED VALVE
	TIE-IN POINT
	PETE'S PLUG
	TEMPERATURE WELL
 <small>X-X PSI</small>	PRESSURE GAUGE
 <small>X-X°F</small>	THERMOMETER
	MANUAL AIR VALVE
	GATE VALVE WITH TAMPER SWITCH
	FLOW SWITCH
	REDUCED PRESSURE BACKFLOW PREVENTER
	PIPE GUIDE
	PIPE ANCHOR
 <small>co</small>	CLEANOUT
 <small>co</small>	CLEANOUT (AT BASE OF RISER)
 <small>FWFCO</small>	CLEANOUT (FLUSH WITH FLOOR)
	EXPANSION JOINT
	MANUAL DRAIN VALVE WITH HOSE CONNECTION
	DOUBLE CHECK BACKFLOW PREVENTER
 <small>ERD</small>	EMERGENCY (OVERFLOW) ROOF DRAIN
 <small>HB</small>	HOSE BIBB
	MIXING VALVE
 <small>RD</small>	ROOF DRAIN
 <small>FD</small>	SANITARY FLOOR DRAIN
	TRAP PRIMER VALVE
	WATER HAMMER ARRESTOR
 <small>o</small>	WATER METER

PLUMBING ABBREVIATIONS LEGEND	
ABBREVIATION	DESCRIPTION

PLUMBING DRAWING LIST	
SHEET NUMBER	SHEET NAME
P0	PLUMBING GENERAL INFORMATION
P1	SANITARY PLUMBING PLAN
P2	DOMESTIC PLUMBING PLAN
P3	PLUMBING SCHEDULES AND DETAILS

GENERAL DRAWING NOTES:

- MATERIALS ILLUSTRATED WITH LIGHT LINES ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- EXISTING CONDITIONS SHOWN ARE BASED ON REVIEW OF REFERENCE DRAWINGS AND GENERAL FIELD REVIEW. NOTIFY ENGINEER IF FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING AND COORDINATING DIMENSIONS FOR TIE-IN AND INSTALLATION OF ALL NEW EQUIPMENT, DUCTWORK, PIPING AND OTHER MATERIALS PRIOR TO FABRICATION.
- MATERIALS ILLUSTRATED WITH DARK DASHED LINES SHALL BE REMOVED. THE OWNER SHALL HAVE THE RIGHT TO RETAIN ANY MATERIALS ILLUSTRATED TO BE REMOVED. IF REQUESTED BY THE OWNER, THE CONTRACTOR SHALL REMOVE MATERIALS AND RELOCATE THEM TO THE OWNER'S SPECIFIED LOCATION OF STORAGE. ALL MATERIALS NOTED TO BE RELOCATED SHALL BE TEMPORARILY STORED AND PROTECTED DURING CONSTRUCTION BY THE CONTRACTOR UNLESS NOTED OTHERWISE. REMOVE ALL MATERIALS ASSOCIATED WITH EQUIPMENT AND DUCTWORK, INCLUDING PIPING, HANGERS, SUPPORTS, POWER, CONTROLS, INSULATION, ETC.
- MATERIALS ILLUSTRATED WITH DARK LINES ARE NEW.
- DO NOT INSTALL ANY MATERIALS IN A LOCATION THAT HINDERS MAINTENANCE ACCESS TO ANY MATERIAL THAT REQUIRES SERVICE OR MAINTENANCE.
- THIS CONTRACTOR SHALL REMOVE AND RE-INSTALL EXISTING CEILING SYSTEMS WHERE NECESSARY TO ACCOMMODATE ABOVE CEILING WORK. PRIOR TO REMOVAL OF CEILINGS, CONTRACTOR SHALL PHOTOGRAPH CONDITION OF EXISTING CEILINGS AND SUBMIT PHOTO DOCUMENTATION TO OWNER AND ENGINEER. CEILING REMOVAL AND REINSTALLATION WORK SHALL BE CAREFULLY PERFORMED WITH CLEAN GLOVES TO MAINTAIN CEILING APPEARANCE. CONTRACTOR SHALL REPLACE ALL DAMAGED AND/OR DIRTY CEILING TILES TO MATCH EXISTING.
- PATCH AND PAINT WALLS, CEILINGS AND FLOORS TO MATCH EXISTING AS REQUIRED TO ACCOMMODATE WORK.
- AREAS OF THIS BUILDING UTILIZE A RETURN AIR PLENUM. ALL MATERIALS SHALL HAVE A MAXIMUM 25 FLAME SPREAD AND 50 SMOKE-DEVELOPED INDEX AS TESTED IN ACCORDINANCE WITH ASTM E 84 OR UL 723. WIRING SHALL BE PLENUM RATED PER NFPA 70.
- SHUT-OFF VALVES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. COORDINATE THE LOCATION OF ACCESS DOORS IN CEILINGS OR WALLS WITH THE GENERAL CONTRACTOR IF A VALVE IS REQUIRED TO BE LOCATED ABOVE AN INACCESSIBLE CEILING OR IN A WALL OR CHASE.
- PROVIDE ESCUTCHEONS FOR ALL PIPING PENETRATIONS OF CEILINGS IN OCCUPIED AREAS.
- FIRESTOP ALL PENETRATIONS OF RATED CEILINGS WITH APPROPRIATE FIRESTOPPING MATERIAL. REQUIRED MATERIAL ARE INDICATION IN THE SPECIFICATIONS.
- UNLESS DETAILED OTHERWISE, SYSTEMS SHALL BE ORGANIZED SUCH THAT DUCTWORK MAINS ARE THE HIGHEST LEVEL AND ARE TIGHT TO BUILDING STRUCTURE. HVAC PIPING AND PLUMBING PIPING SHALL BE ROUTED BELOW THE DUCTWORK MAINS, AND FIRE PROTECTION PIPING SHALL BE BELOW ALL.

PLUMBING INSULATION SCHEDULE				
NOTE: 1. FIBERGLASS INSULATION THICKNESSES ARE BASED ON A CONDUCTIVITY OF 0.23 BTU*IN/(HR * FT*2 *F) AT 75F MEAN TEMP. 2. ELASTOMERIC INSULATION THICKNESSES ARE BASED ON A CONDUCTIVITY OF 0.28 BTU*IN/(HR * FT*2 *F) AT 70F MEAN TEMP. 3. IN AREAS OF THE BUILDING THAT UTILIZE A RETURN AIR PLENUM. ALL MATERIALS SHALL HAVE A MAXIMUM 25 FLAME SPREAD AND 50 SMOKE-DEVELOPED INDEX AS TESTED IN ACCORDINANCE WITH ASTM E 84 OR UL 723. WIRING SHALL BE PLENUM RATED PER NFPA 70. PVC PIPING NOT ALLOWED IN RETURN AIR CEILING PLENUMS.				
SYSTEM	SIZES	TYPE	THICKNESS	JACKET
DOMESTIC COLD WATER ABOVE GROUND	ALL SIZES	FIBERGLASS	1"	VAPOR RETARDENT ASJ
DOMESTIC HOT AND RECIRC WATER ABOVE GROUND	1.25" AND LESS	FIBERGLASS	1"	ASJ
DOMESTIC HOT AND RECIRC WATER ABOVE GROUND	1.5" AND LARGER	FIBERGLASS	1-1/2"	ASJ
DOMESTIC WATER BELOW GROUND	2" AND LARGER	ELASTOMERIC	1/2"	NONE
DOMESTIC WATER BELOW GROUND	2" AND SMALLER	ELASTOMERIC	1/2"	NONE
FLOOR DRAIN BODIES WITH A/C CONDENSATE	ALL SIZES	ELASTOMERIC	1/2"	NONE
ROOF DRAIN BODIES	ALL SIZES	FIBERGLASS	1"	ASJ
STORM ABOVE GROUND HORIZONTAL PIPING	ALL SIZES	FIBERGLASS	1"	ASJ
TRAP PRIMER	ALL SIZES	ELASTOMERIC	1/2"	NONE
WATER COOLER TRAPS AND A/C DRAIN PIPING	ALL SIZES	ELASTOMERIC	1/2"	NONE

PLUMBING PIPING SYSTEM SCHEDULE				
NOTE: 1. WHERE MUTIPLE MATERIALS ARE INDICATED, SELECTION IS INSTALLER'S CHOICE. 2. ALL OUTDOOR NATURAL GAS PIPING SHALL BE PRIMED AND PAINTED WITH TWO COATS MINIMUM OF WEATHERPROOF EPOXY PAINT; COLOR SHALL BE SELECTED BY ARCHITECT OR OWNER. 3. IN AREAS OF THE BUILDING THAT UTILIZE A RETURN AIR PLENUM. ALL MATERIALS SHALL HAVE A MAXIMUM 25 FLAME SPREAD AND 50 SMOKE-DEVELOPED INDEX AS TESTED IN ACCORDINANCE WITH ASTM E 84 OR UL 723. WIRING SHALL BE PLENUM RATED PER NFPA 70. PVC PIPING NOT ALLOWED IN RETURN AIR CEILING PLENUMS.				
SYSTEM	SIZES	PIPE MATERIAL	FITTING MATERIAL	JOINT TYPE
DOMESTIC WATER ABOVE GROUND	4" AND SMALLER	TYPE L HARD COPPER	WROUGHT COPPER	SOLDERED
DOMESTIC WATER BELOW GROUND	2" AND LARGER	TYPE K COPPER	WROUGHT COPPER	SOLDERED
DOMESTIC WATER BELOW GROUND	2" AND SMALLER	TYPE K HARD COPPER	WROUGHT COPPER	SOLDERED
NATURAL GAS ABOVE GROUND	2" AND SMALLER	SCH 40 BLACK STEEL	MALLEABLE IRON	THREADED
NATURAL GAS ABOVE GROUND	2.5" AND LARGER	SCH 40 BLACK STEEL	FACTORY FORMED	WELDED
NATURAL GAS BELOW GROUND	4" AND SMALLER	PLASTIC, FLEXIBLE AS REQUIRED BY UTILITY	NONE	FUSION WELDED
STORM, SANITARY DRAIN, WASTE & VENT ABOVE AND BELOW GROUND	ALL SIZES	ASTM D2665 SCH 40 PVC	FACTORY FORMED PVC	PVC: SOLVENT WELDED WITH ASTM D2235 CEMENT
STORM, SANITARY DRAIN, WASTE & VENT ABOVE GROUND	ALL SIZES	CISPI 301 HUBLESS CAST IRON	CAST IRON NO HUB	CAST IRON: NO-HUB COMPRESSION GASKET WITH SS CLAMPS & SHIELD
STORM, SANITARY DRAIN, WASTE & VENT BELOW GROUND	ALL SIZES	ASTM A74 CAST IRON	CAST IRON WITH COMPRESSION GASKETS	HUB AND SPIGOT

PLUMBING FIRESTOP SCHEDULE		
NOTE: 1. FIRESTOP ASSEMBLY TYPE (REQUIRED FIRESTOPPING MATERIALS) SHALL BE DETERMINED BY THE WALL OR FLOOR/CEILING ASSEMBLY AND PENETRATION TYPE AND SHALL BE UL LISTED AND TESTED IN ACCORDANCE WITH ASTM E814. FIRE RATING OF THE ASSEMBLY SHALL BE EQUIVALENT TO THE WALL OR FLOOR/CEILING ASSEMBLY RATING. 2. ACCEPTABLE FIRE BARRIER PRODUCTS: HILTI "FS-ONE", NELSON "FLAMESEAL" OR APPORVED EQUAL AS MANUFACTURED BY 3M. 3. IF REQUESTED, THE CONTRACTOR SHALL SHOW PROOF OF COMPLIANCE BY PROVIDING THE APPROPRIATE UL FIRESTOPPING SYSTEM NUMBER TO THE INSPECTION AUTHORITY HAVING JURISDICTION OR THE ARCHITECT/ENGINEER.		
PENETRATION	RATING	U.L. SYSTEM
INSULATED METAL PIPE THROUGH GYPSUM BOARD	1 OR 2 HOUR	HILTI UL #WL5029 OR APPROVED EQUAL
INSULATED METAL PIPE THROUGH MASONRY	4 HOUR	HILTI UL #WJ5028 OR APPROVED EQUAL
INSULATED METAL PIPE THROUGH MASONRY/CONCRETE	2 HOUR	HILTI UL #CAJ5091 OR APPROVED EQUAL
INSULATED METAL PIPE THROUGH POURED CONCRETE FLOOR SLAB	2 HOUR	HILTI UL #FA5017 OR APPROVED EQUAL
METAL DUCT WITHOUT FIRE DAMPER THROUGH MASONRY/CONCRETE	1 OR 2 HOUR	HILTI UL #WJ7021 OR #WJ7022 OR APPROVED EQUAL
METAL DUCT WITHOUT FIRE DAMPER THROUGH GYPSUM BOARD	1 OR 2 HOUR	HILTI UL #WL7040 OR #WL7042 OR APPROVED EQUAL
METAL DUCT WITHOUT FIRE DAMPER THROUGH MASONRY/CONCRETE	3 HOUR	HILTI UL #CAJ7046 OR APPROVED EQUAL
METAL PIPE THROUGH GYPSUM BOARD	1 OR 2 HOUR	HILTI UL #WL1054 OR APPROVED EQUAL
METAL PIPE THROUGH MASONRY/CONCRETE	2 HOUR	HILTI UL #CAJ1291 OR APPROVED EQUAL
METAL PIPE THROUGH MASONRY/CONCRETE	3 HOUR	HILTI UL #CAJ1155 OR #CAJ1226 OR APPROVED EQUAL
METAL PIPE THROUGH POURED CONCRETE FLOOR SLAB	3 HOUR	HILTI UL #FA1017 OR APPROVED EQUAL
PLASTIC PIPE THROUGH GYPSUM BOARD	1 OR 2 HOUR	HILTI UL #WL2078 OR APPROVED EQUAL
PLASTIC PIPE THROUGH MASONRY/CONCRETE	2 HOUR	HILTI UL #CAJ2271 OR APPROVED EQUAL
PLASTIC PIPE THROUGH MASONRY/CONCRETE	3 HOUR	HILTI UL #CAJ2109 OR #CAJ2110 OR APPROVED EQUAL
PLASTIC PIPE THROUGH POURED CONCRETE FLOOR SLAB	3 HOUR	HILTI UL #FA2054 OR APPROVED EQUAL



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03/10/23

VIEN QUANG TEMPLE
ADDITION

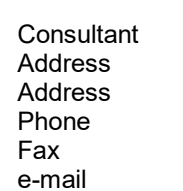
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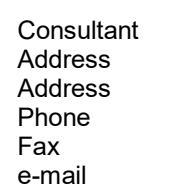
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Date	Issue Date
Drawn by	DRW
Checked by	Checker

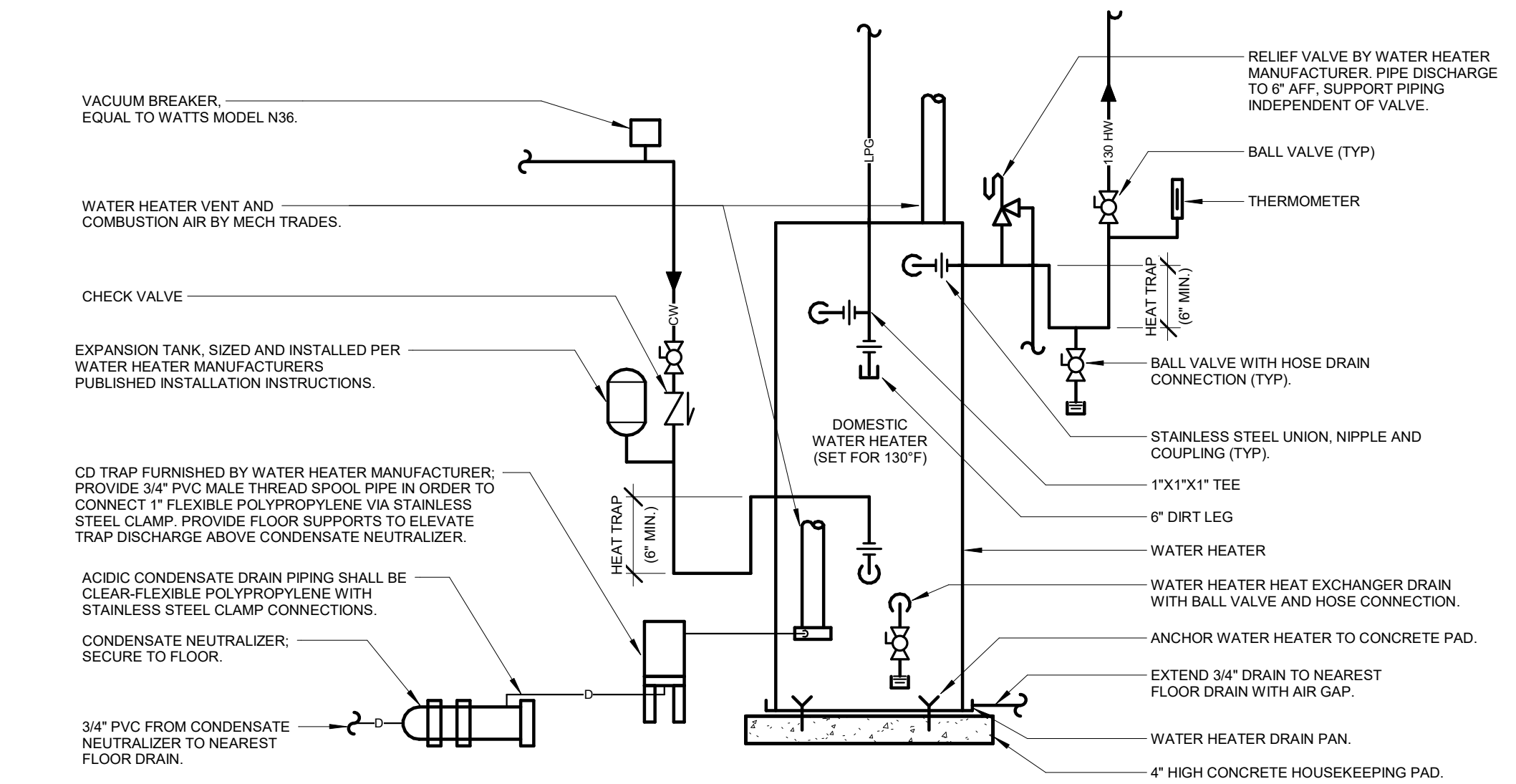
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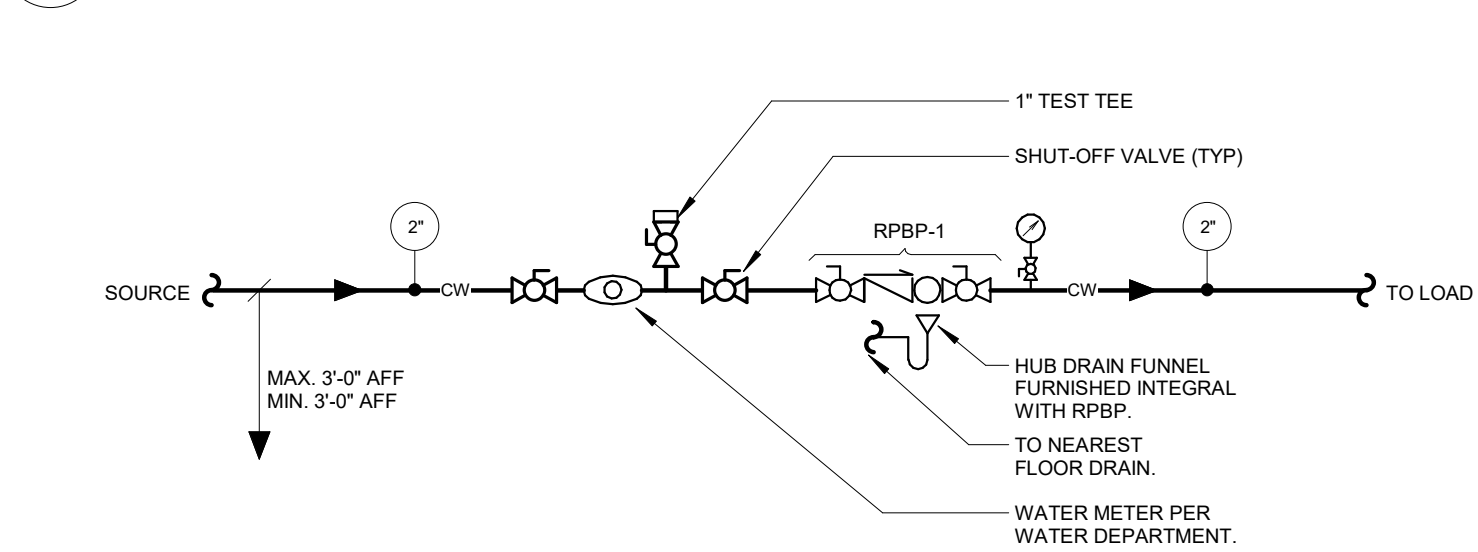
3 MECHANICAL ROOM SANITARY PLAN
 P1 **1/4" = 1'-0"**



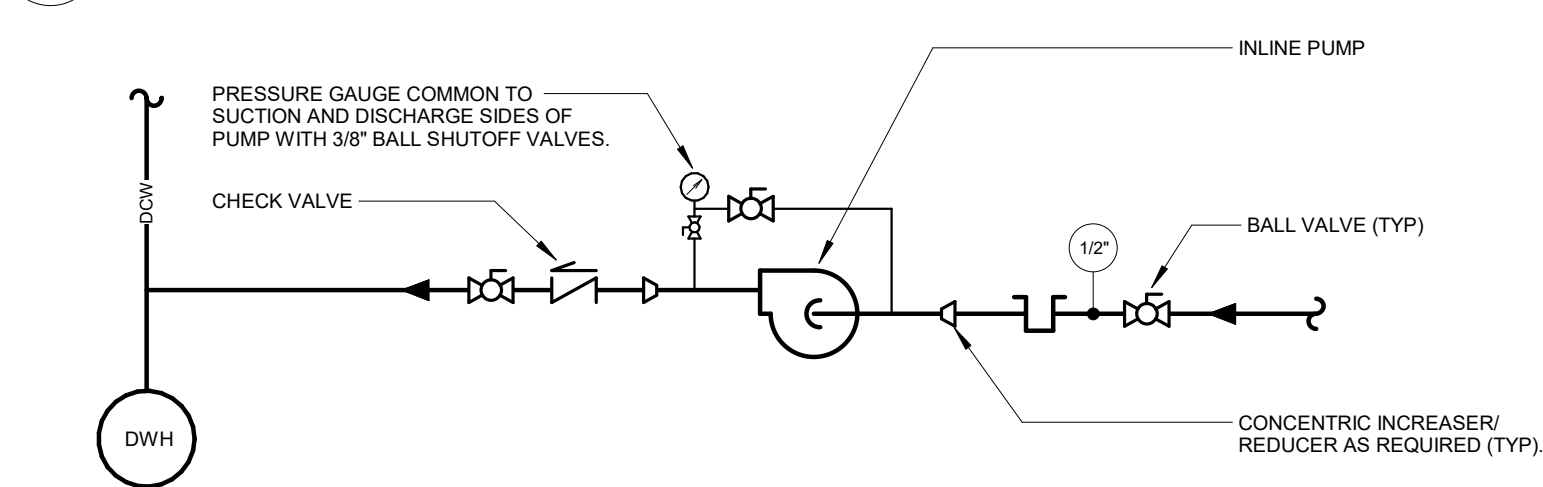
3 MECHANICAL ROOM DOMESTIC WATER PLAN
P2 1/4" = 1'-0"



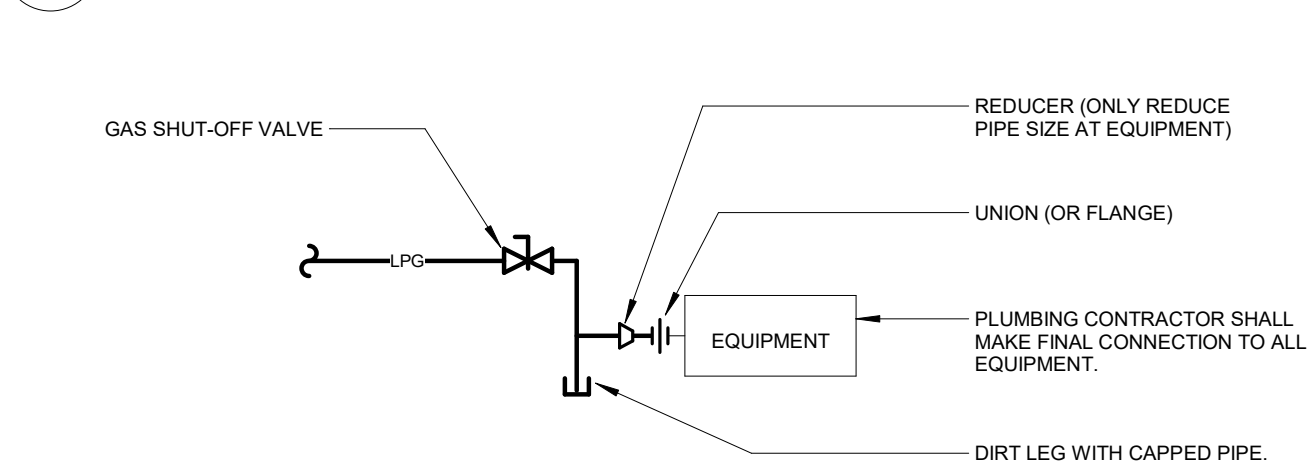
1 DOMESTIC WATER HEATER - PIPING DETAIL
P3 NTS



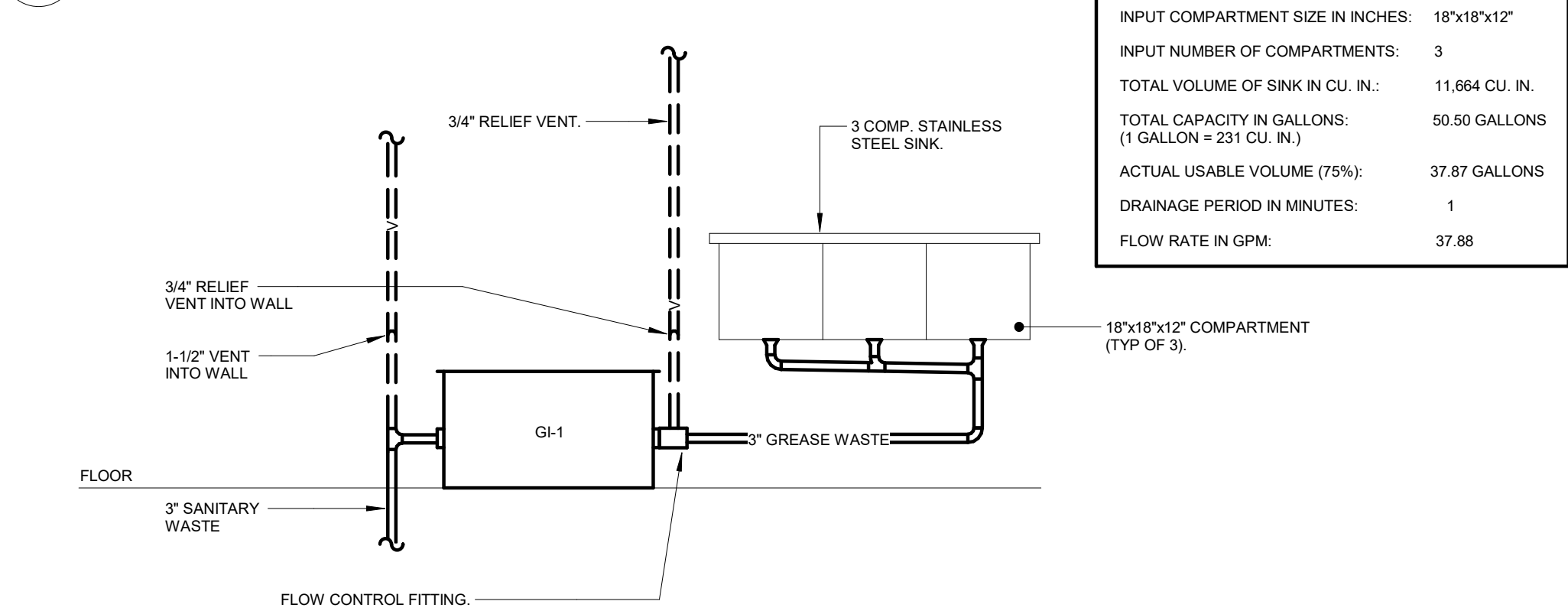
5 MAIN REDUCED PRESSURE BACKFLOW PREVENTER PIPING DIAGRAM
P3 NTS



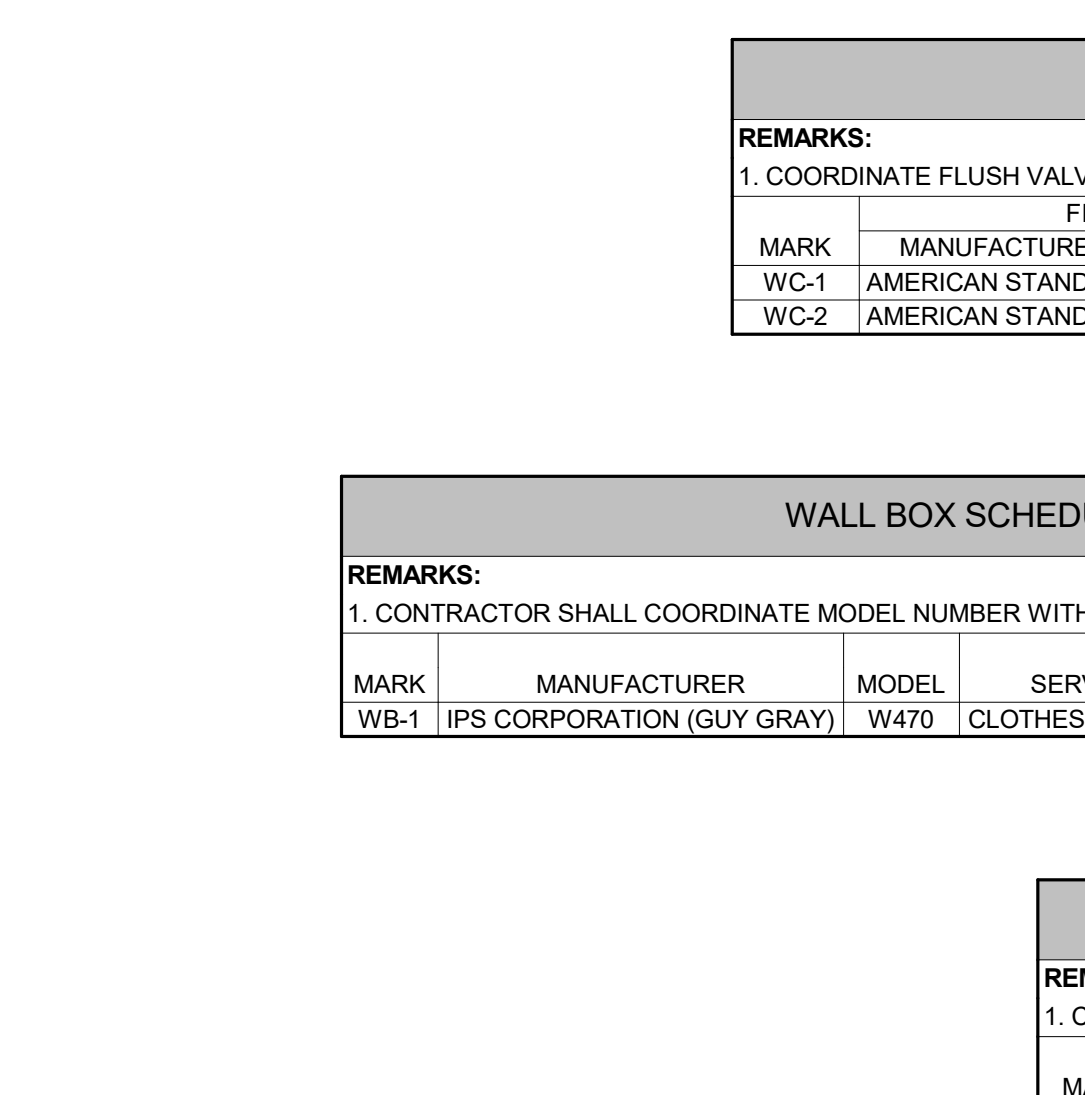
4 RECIRCULATOR PUMP PIPING DIAGRAM
P3 NTS



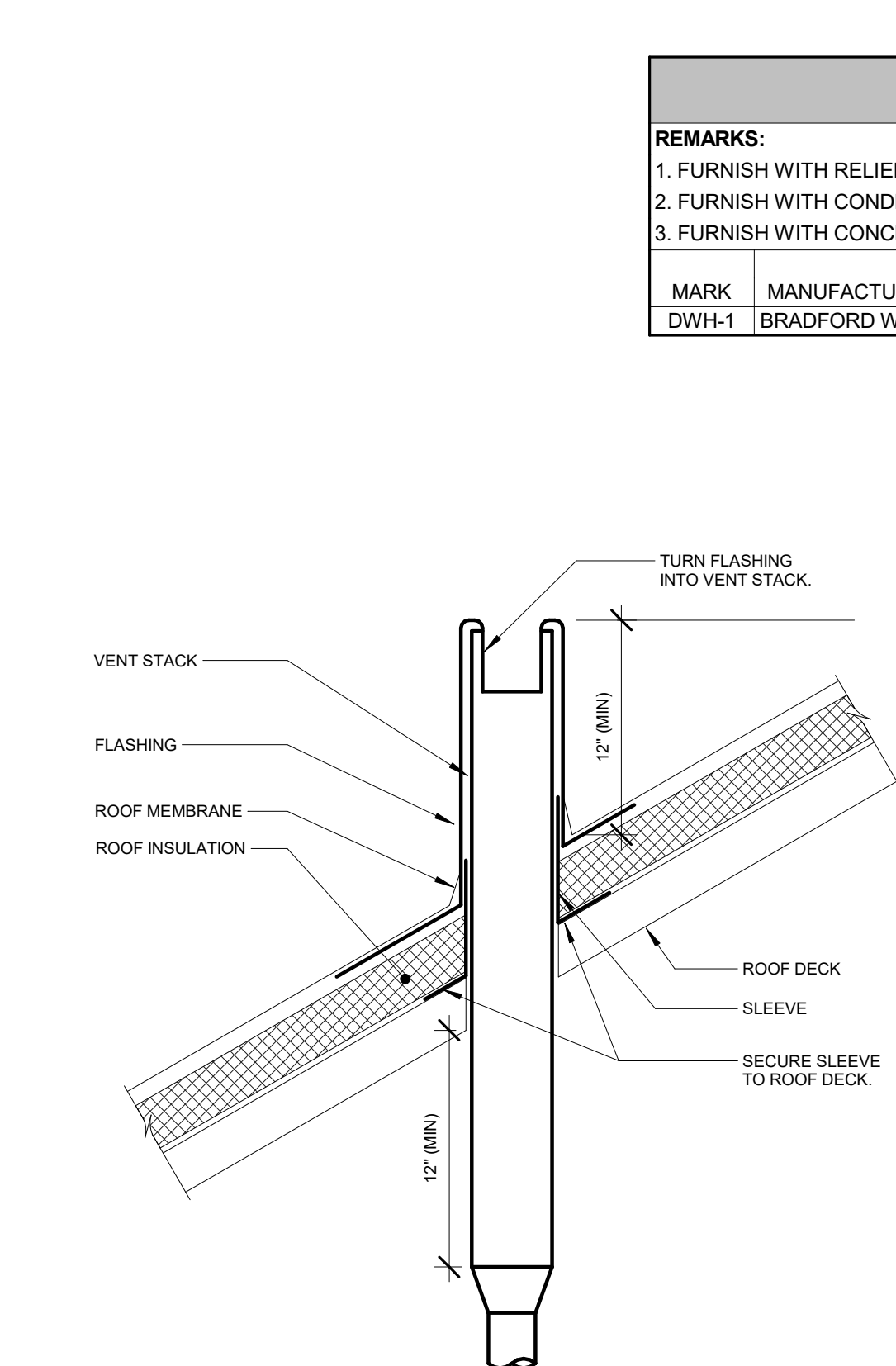
2 NATURAL GAS EQUIPMENT CONNECTION DIAGRAM
P3 NTS



3 GREASE TRAP DETAIL1
P3 NTS



7 CLOTHES WASHER SUPPLY/DRAIN CABINET DETAIL
P3 NTS



6 VENT THRU ROOF INSTALLATION DETAIL (SLOPED ROOF)
P3 NTS

WALL MOUNTED WATER CLOSET - FLUSH VALVE SCHEDULE												
REMARKS: 1. COORDINATE FLUSH VALVE HANDING WITH OWNER.												
MARK	FIXTURE		SEAT		FLUSH VALVE		FLOW RATE (GPF)	CONNECTIONS			ADA COMPLIANT	REMARKS
	MANUFACTURER	MODEL	MANUFACTURER	MODEL	MANUFACTURER	MODEL		DCW	SAN	VENT		
WC-1	AMERICAN STANDARD	AFWALL 2257.101	AMERICAN STANDARD	5901.1	AMERICAN STANDARD	6047.161.002 (MANUAL)	1.6	1"	4"	2"	YES	1
WC-2	AMERICAN STANDARD	AFWALL 2257.101	AMERICAN STANDARD	5901.1	AMERICAN STANDARD	6047.161.002 (MANUAL)	1.6	1"	4"	2"	NO	1

WALL BOX SCHEDULE							
REMARKS: 1. CONTRACTOR SHALL COORDINATE MODEL NUMBER WITH PIPE MATERIAL.							
MARK	MANUFACTURER	MODEL	SERVICE	CONNECTIONS		REMARKS	
				HW	CW		
WB-1	IPS CORPORATION (GUY GRAY)	W470	CLOTHES WASHER	1/2"	1/2"	1-1/2"	1

FLOOR MOUNTED WATER CLOSET - FLUSH TANK SCHEDULE											
REMARKS:											
1. COORDINATE FLUSH VALVE HANDING WITH OWNER.											
MARK	FIXTURE		SEAT			CONNECTIONS			ADA COMPLIANT	REMARKS	
	MANUFACTURER	MODEL	MANUFACTURER	MODEL	DCW	SAN	VENT				
WC-3	AMERICAN STANDARD	CADET 2467.016	AMERICAN STANDARD	5901.1	1/2"	4"	2"	YES		1	

WALL MOUNTED URINAL (FLUSH VALVE) SCHEDULE											
REMARKS:											
1. COORDINATE FLUSH VALVE HANDING WITH OWNER.											
MARK	FIXTURE			FLUSH			CONNECTIONS			ADA COMPLIANT	REMARKS
	MANUFACTURER	MODEL	VALVE MANUFACTURER	MODEL	FLOW RATE (GPF)	DCW	SAN	VENT			
UR-1	AMERICAN STANDARD	WASHBROOK 6590.001EC	AMERICAN STANDARD	6045.051.002 (MANUAL)	0.5	3/4"	2"	1-1/2"	YES	1	

COUNTERTOP LAVATORIES SCHEDULE												
REMARKS: 1. PROVIDE ADA COMPLIANT MCGUIRE PRO-WRAP HW AND CW SUPPLIES AND TRAP. 2. PROVIDE THERMOSTATIC MIXING VALVE: LEONARD VALVE 170-LF OR APPROVED EQUAL.												
MARK	TYPE	FIXTURE		FAUCET		HANDLES	OUTLET	CONNECTIONS				REMARKS
		MANUFACTURER	MODEL	MANUFACTURER	MODEL			DHW	DCW	SAN	VENT	
L-1	INTEGRAL TO COUNTER	BY GC	CHICAGO FAUCETS	404-E70-317ABCP	4" WRISTBLADES	0.5 GPM	1/2"	1/2"	1-1/2"	1-1/2"		1, 2
L-2	INTEGRAL TO COUNTER	BY GC	CHICAGO FAUCETS	404-E70-317ABCP	4" WRISTBLADES	0.5 GPM	1/2"	1/2"	1-1/2"	1-1/2"		1, 2

MOP BASIN SCHEDULE												
MARK	TYPE	FIXTURE		FAUCET		HANDLES	OUTLET	CONNECTIONS				REMARKS
		MANUFACTURER	MODEL	MANUFACTURER	MODEL			DHW	DCW	SAN	VENT	
S-1	FIBERGLASS	MUSTEE	63M 24"X24"X10"	CHICAGO	897-CCP	2-3/8" LEVER	3/4" HOSE THREAD	1/2"	1/2"	3"	1-1/2"	FURNISH WITH HOSE HOLDER 65.700, MOP HANGER 65.600, AND WALL GUARDS

SHOWER SCHEDULE										
NOTES: 1:										
MARK	TYPE	STALL		HEAD/VALVE		CONNECTIONS				ACCESSORIES
		MANUFACTURER	MODEL	MANUFACTURER	MODEL	DHW	DCW	SAN		
SH-1										
SH-2										

WATER HEATER (TANK) SCHEDULE												
REMARKS: 1. FURNISH WITH RELIEF VALVE. 2. FURNISH WITH CONDENSATE NEUTRALIZATION KIT. 3. FURNISH WITH CONCENTRIC VENT KIT.												
MARK	MANUFACTURER	MODEL	TYPE	FUEL TYPE	CAPACITY MBH	STORAGE CAPACITY (GAL)	WATER MAX GPH (@90 RISE)	EWT (°F)	LWT (°F)	VOLTS/ PHASE	DISCONNECT BY	REMARKS
DWH-1	BRADFORD WHITE	EF-60T-125E-3N(A)	TANK	NATURAL GAS	125.0	60	162.0	45	135	120/1	EC	1, 2, 3

RECIRCULATOR PUMP SCHEDULE										
MARK	MANUFACTURER	MODEL	TYPE	CONNECTION	FLOW (GPM)	HEAD PRESSURE (FT)	HP	RPM	ELECTRICAL	
RP-1	TACO	006B-IFC	CARTRIDGE	3/4"	2.0	8	1/40	3,250	120/1	DISCONNECT BY EC

GREASE INTERCEPTOR SCHEDULE										
REMARKS: 1. FURNISH WITH FLOW CONTROL DEVICE.										
MARK	MANUFACTURER	MODEL	CAPACITY (GPM)	GREASE RETENTION CAPACITY (LBS)	LENGTH (INCHES)	WIDTH (INCHES)	HEIGHT (INCHES)	SAN	VENT	REMARKS
GI-1	ZURN	GT2700-50	50	100	30-3/8	24-1/2	21-1/2	4"	3/4"	1

FLOOR DRAIN SCHEDULE							
REMARKS: 1.							
MARK	MANUFACTURER	MODEL	STRAINER SIZE	CONNECTION SIZE		ACCESSORIES	
AD-1				SAN	DCW		



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03/10/23

VIEN QUANG TEMPLE
ADDITION

THE VIETNAMESE BUDDHIST
ASSOCIATION OF CLEVELAND

4724 West 130th St
Cleveland, Ohio 44135

PLUMBING SCHEDULES AND DETAILS

Project number 2211
Date Issue Date
Drawn by Author
Checked by Checker

P3



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No.	Description	Date

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VIEN QUANG TEMPLE ADDITION

THE VIETNAMESE BUDDHIST
ASSOCIATION OF CLEVELAND

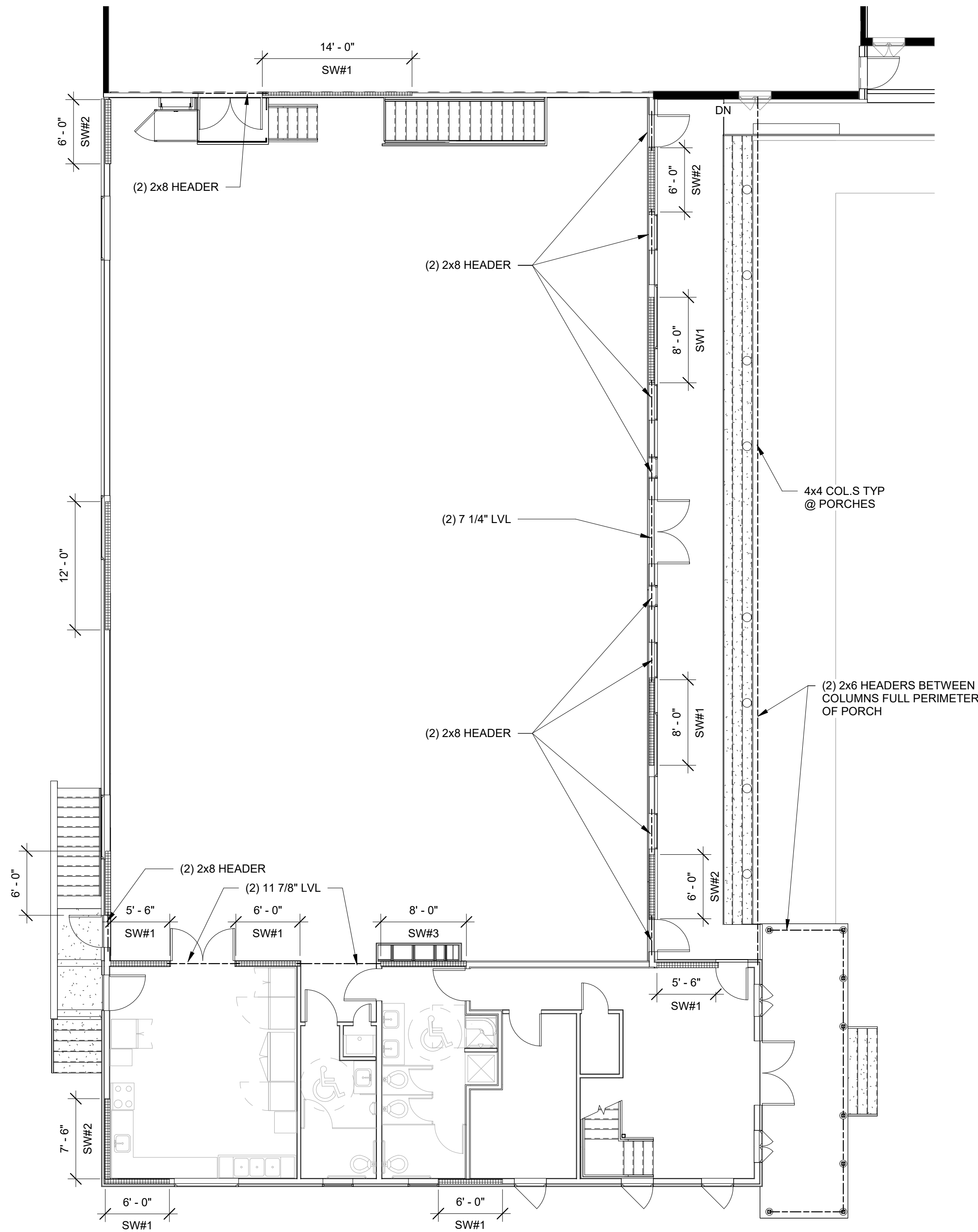
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FOUNDATIONS & FLOOR FRAMING

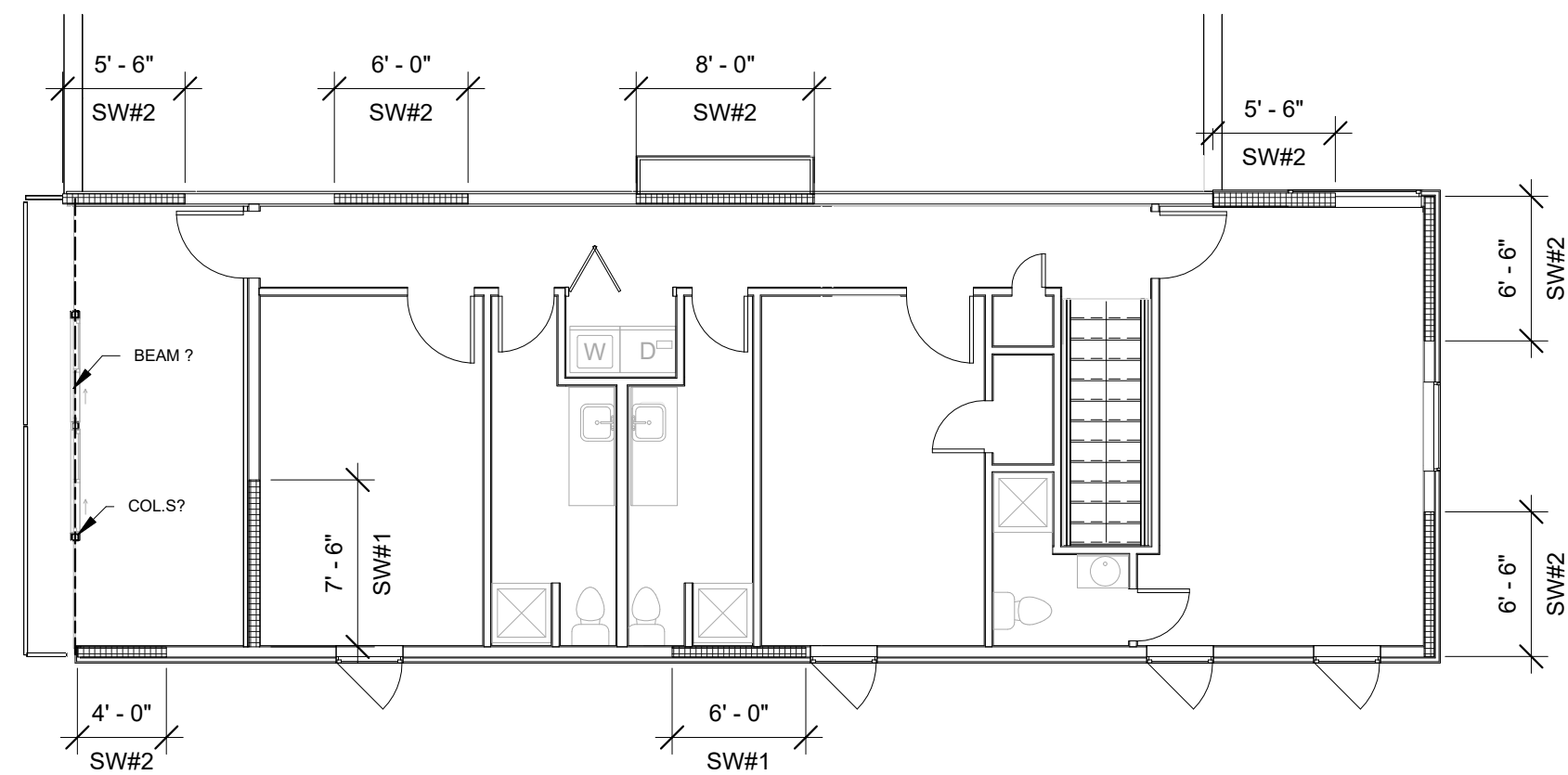
Project number	2211
Date	Issue Date
Drawn by	Author
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S1

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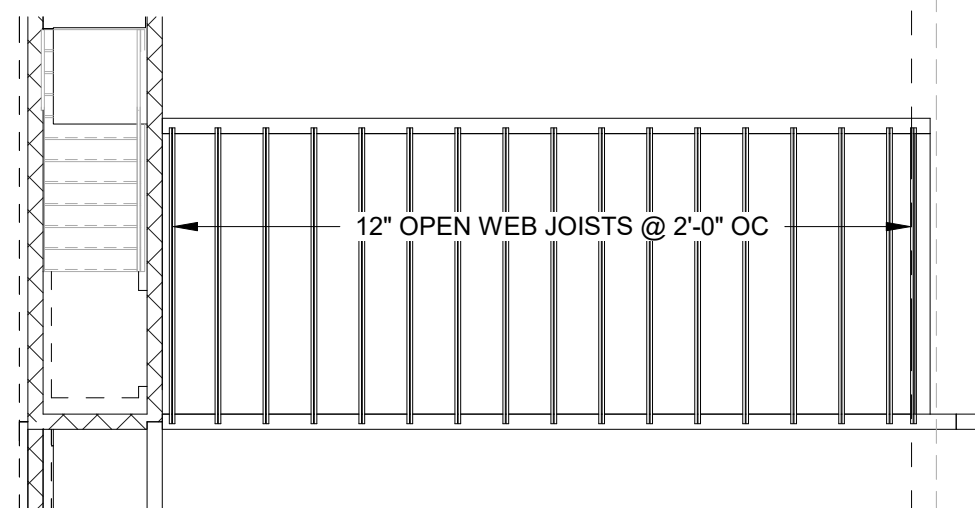
④ LEVEL 1
1/8" = 1'-0"



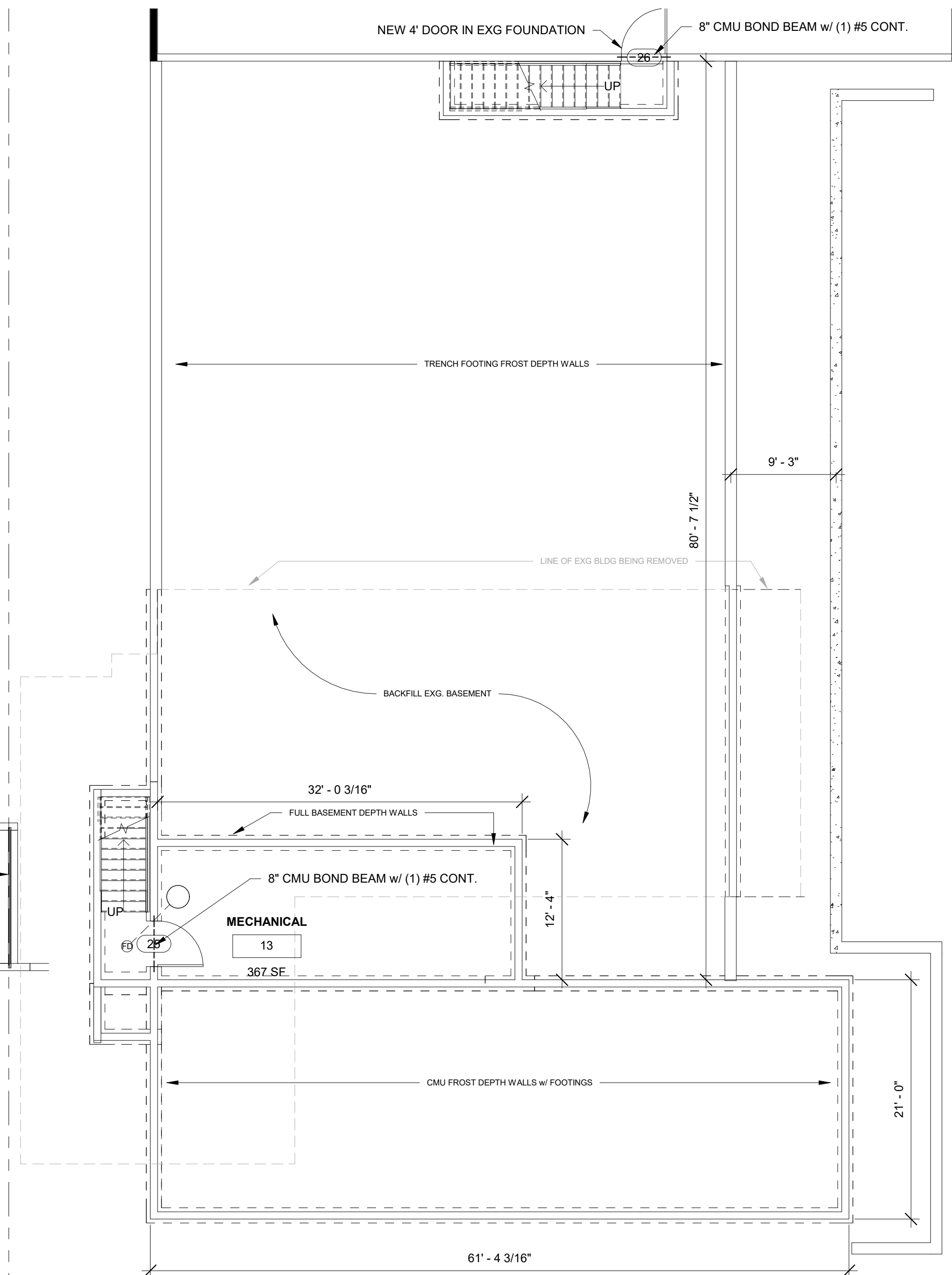
⑤ LEVEL 2
1/8" = 1'-0"

SHEAR WALLS:

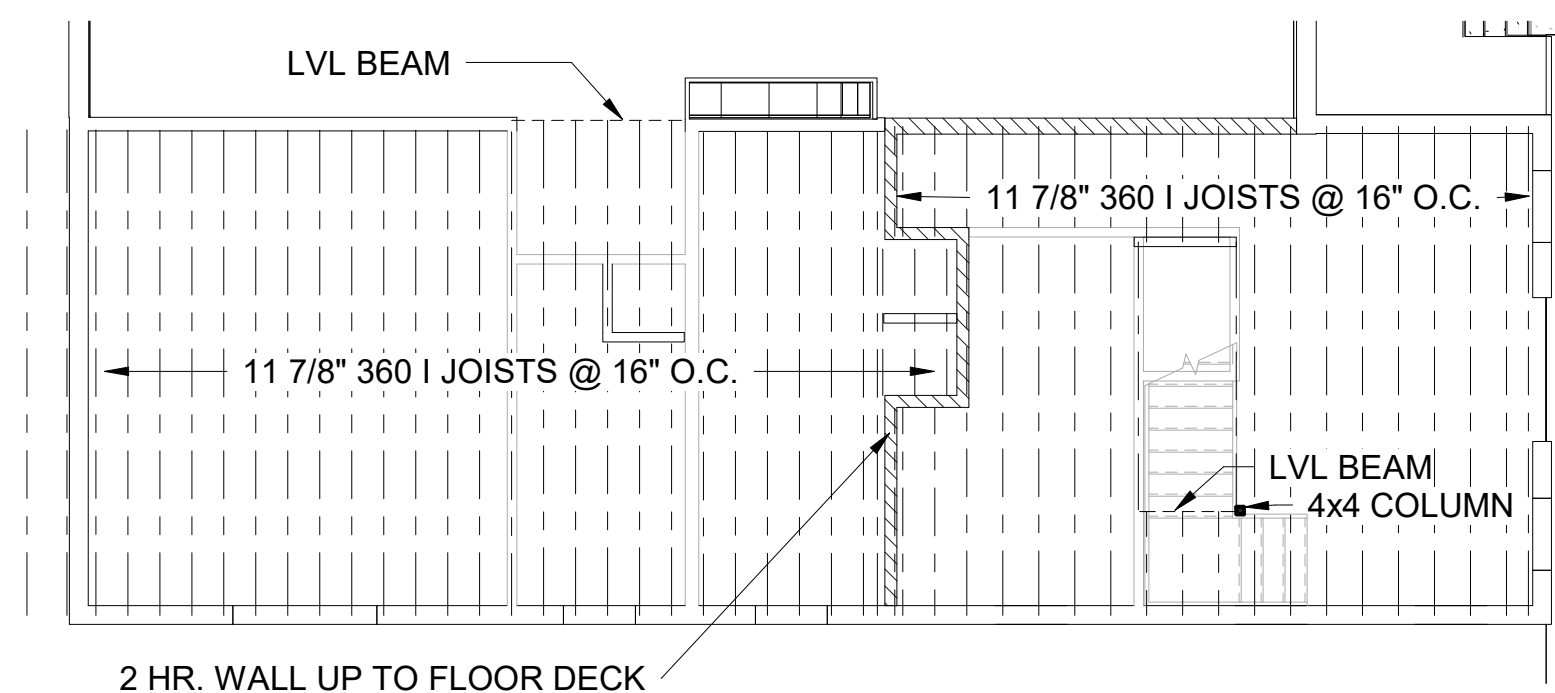
- SW#1: 7/16 OSB, ONE SIDE, BLOCKED, 8d NAILS 6" O.C
EDGE & 12" O.C. FIELD, HD5B HOLD DOWNS
- SW#2: 7/16 OSB, ONE SIDE, UNBLOCKED, 8d NAILS 6" OC
EDGE & 12" O.C. FIELD, HD3B HOLD DOWNS
- SW#3: 7/16 OSB, BOTH SIDES, BLOCKED, 8d NAILS 6" O.C.
EDGE & 12" O.C. FIELD, HD7B HOLD DOWNS



② FRAMING PLAN @ MECH RM
1/8" = 1'-0"



③ FOUNDATION PLAN
1/8" = 1'-0"



① UPPER LEVEL FLOOR FRAMING PLAN
1/8" = 1'-0"



Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

THE ZEITGROUP ,LTD.
JOHN H. ZEIT, R.A.
149 SPELL RD.
KENT, OHIO 44240
330-677-5176

No.	Description	Date

PRELIMINARY
NOT FOR
CONSTRUCTION

VIEN QUANG TEMPLE
ADDITION

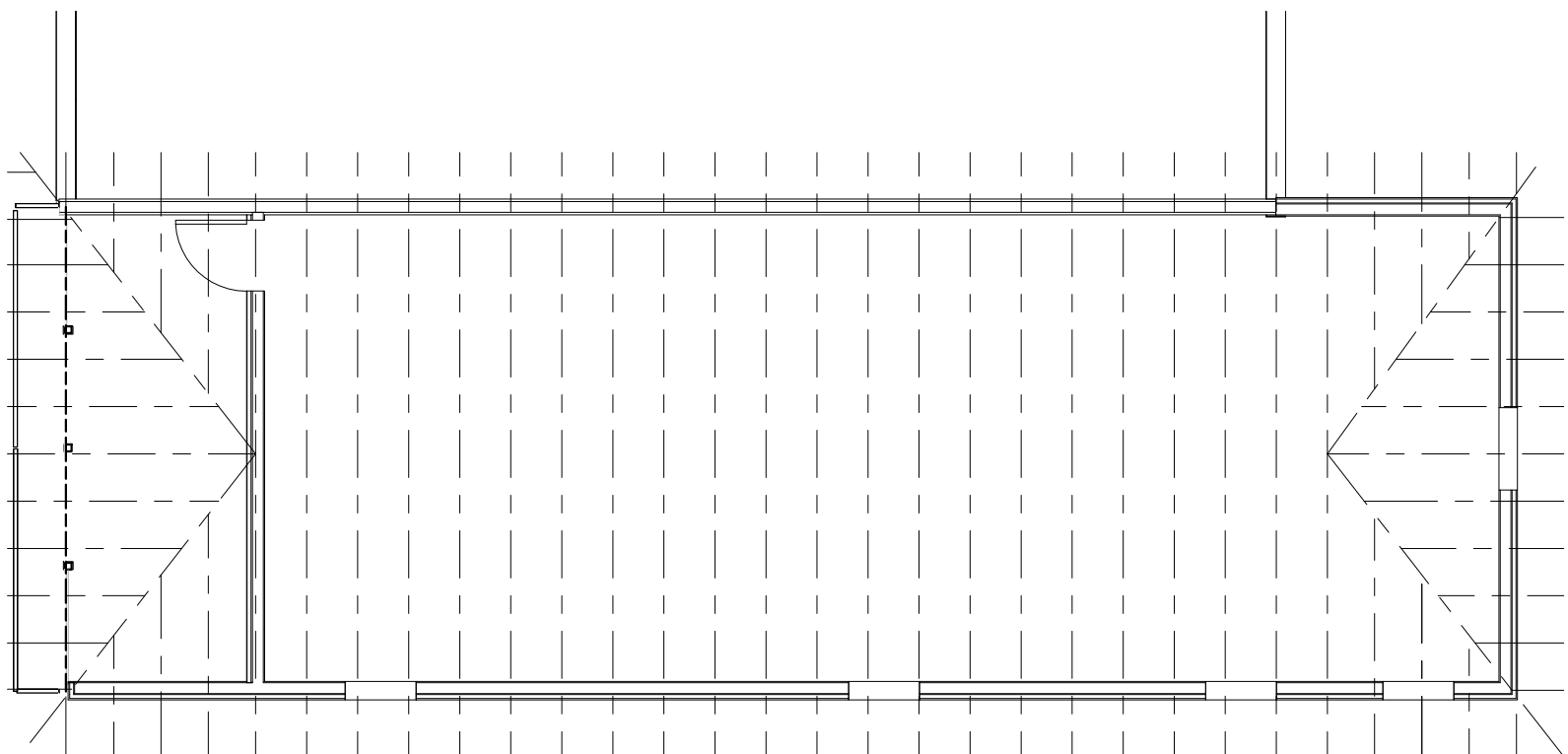
THE VIETNAMESE BUDDHIST
ASSOCIATION OF CLEVELAND

4724 West 130th St
Cleveland, Ohio 44135

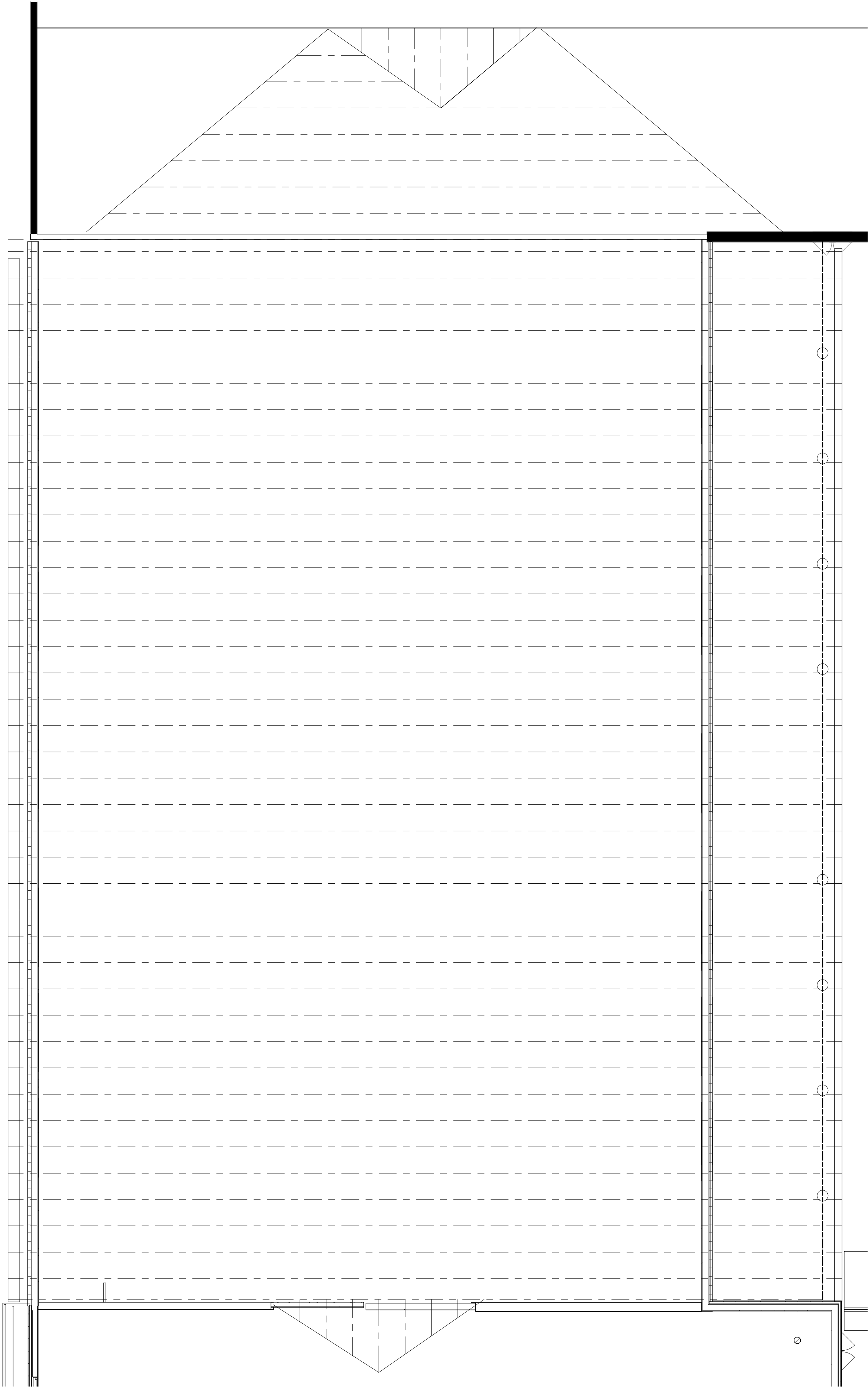
ROOF FRAMING

Project number	2211
Date	Issue Date
Drawn by	Author
Checked by	Checker

S2



② BUILDING C ROOF FRAMING PLAN
1/8" = 1'-0"



① BUILDING B ROOF FRAMING PLAN
3/16" = 1'-0"



Committee Recommendation: Approved with **Conditions**

1. Clarity on fence condition. Will it remain? Will it be extended to enclose new parcel, etc.?
2. Eliminate center curb cut
3. Refining site plan: try to add greenspace wherever possible as site largely paved or building area
4. For final approval provide landscaping and lighting plan, as well as specific materials

Cleveland City Planning Commission

Staff Report



April 21, 2023

NW2022-044 – Lincoln Heights Development: Seeking Final Approval

Project Address: 1850 Brevier Avenue

Project Representative: Brandon Kline, Geis Companies

Note: the Planning Commission granted this item Schematic Design Approval with Conditions on January 6, 2023: Applicant to submit to Planning Commission - a copy of Stormwater Pollution Prevention Plan including a stormwater strategy to provide for usable park space; more details on safety and security for the site; a Tree Preservation Plan; and a Circulation and Access Plan. Furthermore, applicant is to abide by the request of the DRAC.

Committee Recommendation: Approval with Conditions:

Find alternative design for the townhouse garage doors that provides a new style.



AREA MAP

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



SITE CONTEXT & ACCESS MAP

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH

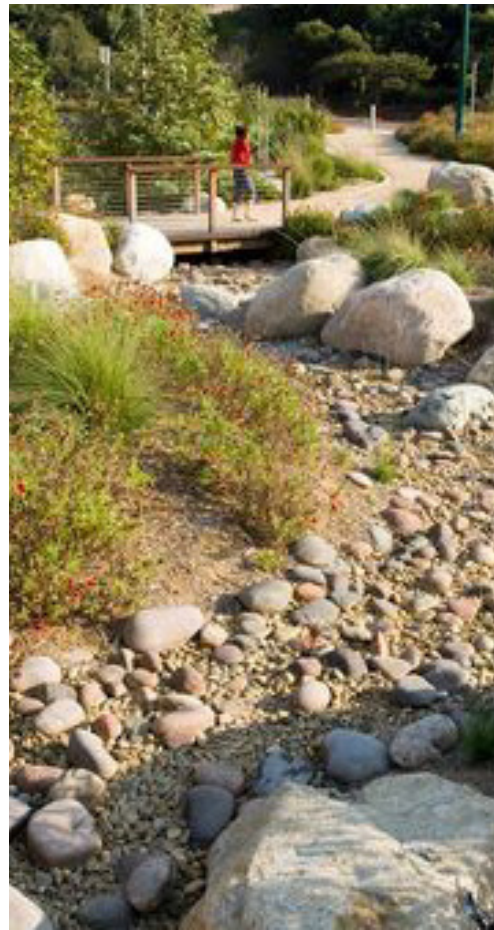
ZONING DATA

Zoning	LLR-G2
Max Height	60'
Development Lot Area	103,122 SF
Lot Area Allowance	3x Total Area
Buildable Area Allowance	309,366 SF
Total Apartment Area	100,750 GSF



SCHEMATIC DEVELOPMENT SITE PLAN

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



PARK INSPIRATION

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



BASE LANDSCAPING PLAN

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



BIKE RACK



PARK BENCH



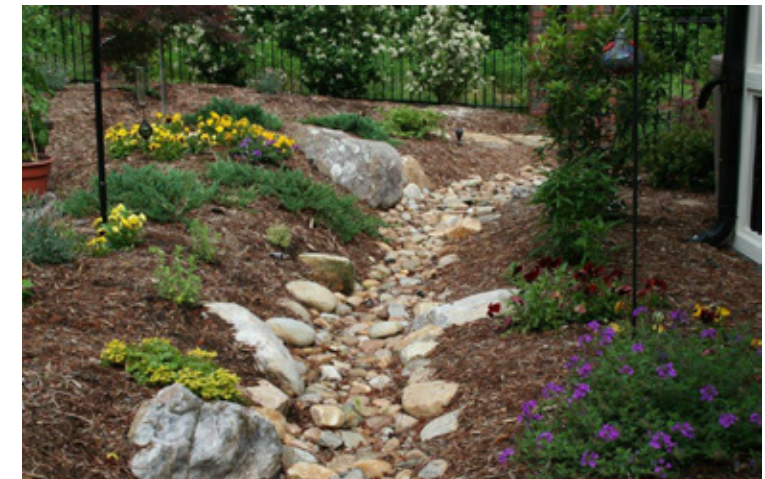
PARK PLAYGROUND RUBBER MULCH



CONCRETE SEAT WALL BENCH
LANDSCAPE FORMS - UNIVERSE SYSTEM BENCH



TRASH RECEPTACLE



BIOSWALE STONE



CONCRETE SEAT WALL BENCH
LANDSCAPE FORMS - AIR COLLECTION SEATING



SIDE TABLE



SIKACOLOR-300 SMOKE
PARK WALKWAY CONCRETE STAIN

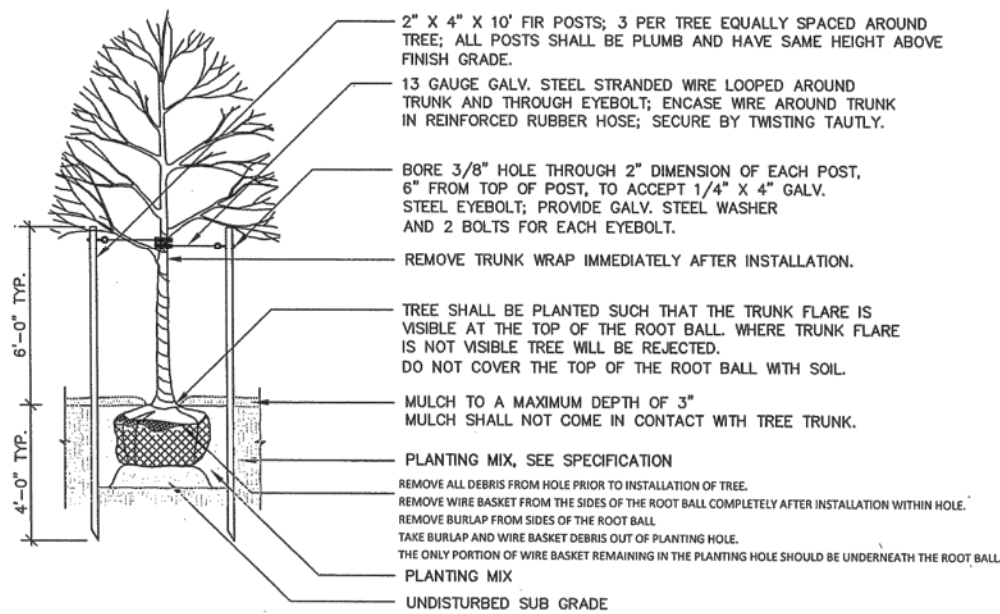


SIKACOLOR-300 CHESTNUT
PARK SEATING AREA CONCRETE STAIN



LANDSCAPE FURNITURE & FINISHES

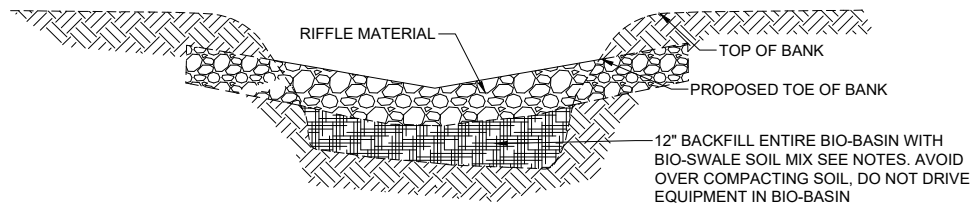
LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



NOTE
DO NOT HEAVILY PRUNE THE TREE AT PLANTING; PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CANOPY.

TYP. TREE INSTALLATION DETAIL

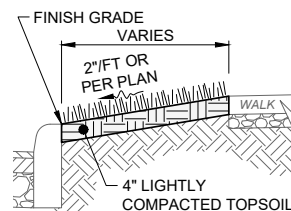
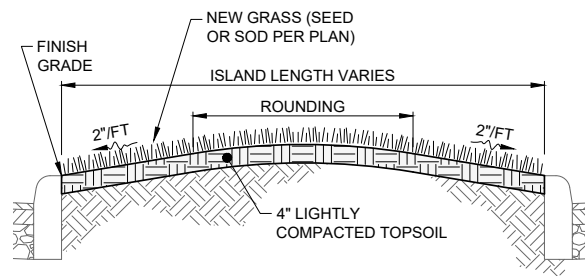
City of Cleveland Urban Forestry Section



NOTE: REFER TO CIVLI DRAWINGS FOR SWALE SIZING CROSS SECTION GEOMETRY IS SHOWN ON TYPICAL SECTIONS

STONE SWALE SECTION

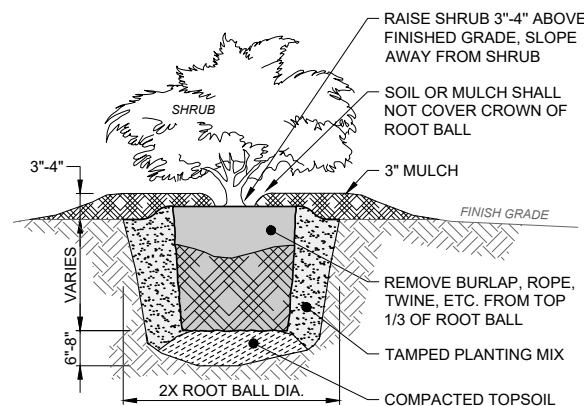
SCALE: NONE



NOTES:
PLACE TOPSOIL TO TOP OF CURB OR EDGE OF SIDEWALK AND FINE GRADE TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.

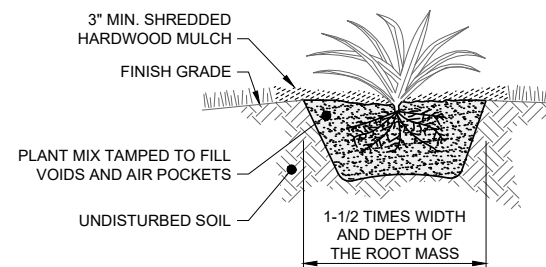
GRASS PLANTING DETAIL

SCALE: NONE



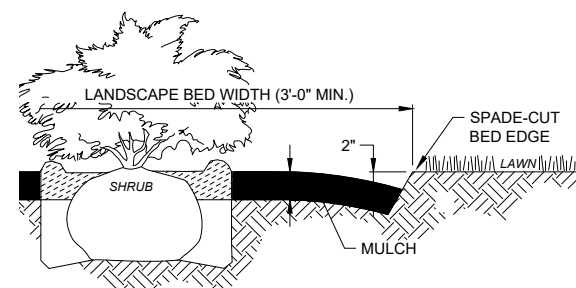
SHRUB PLANTING DETAIL

SCALE: NONE



ANNUAL AND PERENNIAL PLANTING DETAIL

SCALE: NONE

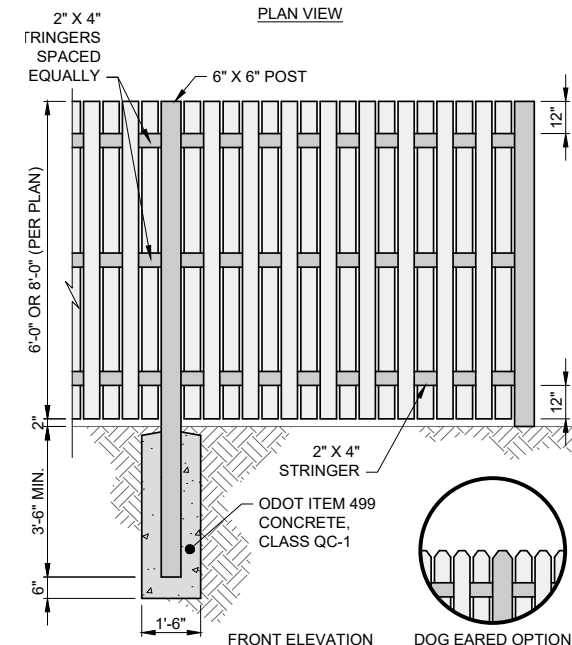
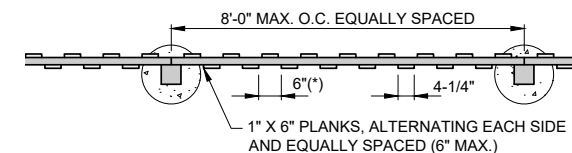


NOTES:

- MULCH SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN OR BLACK COLOR PER OWNER CHOICE, EXTRA FINE WITH TEXTURE AT 1-1/2" OR LESS FREE OF WEEDS, CHAFF OR OTHER FOREIGN MATERIAL.
- MULCH SHALL BE PLACED IN ALL PLANTING AREAS SPREAD TO A SMOOTH, UNIFORM SURFACE PLANE WITH CRISP STRAIGHT AND SMOOTH CURVED MULCH BED EDGES. BED EDGES SHALL BE CUT IN "V" SHAPE WITH APPROXIMATE 60° ANGLE TO GROUND.
- THIS DETAIL SHOWS A SHRUB FOR REFERENCE ONLY. SEE LANDSCAPE PLAN FOR ACTUAL PLANT TYPES AND LOCATIONS, AND CONFIGURATION OF BEDS.

MULCH BED DETAIL

SCALE: NONE



NOTES:

- POSTS, PLANKS AND STRINGERS SHALL BE PRESERVATIVE -TREATED WOOD OR CEDAR, PER OWNER CHOICE.
- HARDWARE, CONNECTORS, NAILS, SCREWS, NUTS AND WASHERS SHALL BE HOT-DIPPED ZINC COATED GALVANIZED STEEL PER ASTM A653.
- PLANK SPACING MAY BE REDUCED BY OWNER FOR ADDITIONAL PRIVACY.
- STRINGERS AND PLANKS MAY SLOPE OR BE HORIZONTAL TO ACCOUNT FOR GRADE CHANGES.
- DADO CUT POST TO ACCEPT 2" X 4" STRINGERS
- STAIN OR PAINT WOOD TO OWNER'S COLOR CHOICE.

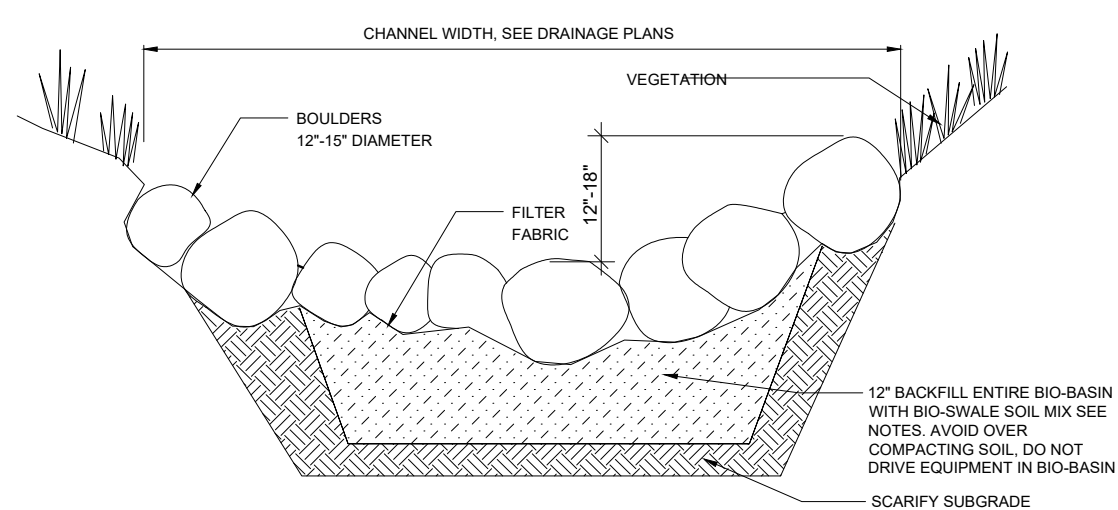
DOUBLE-SIDED BOARD-ON-BOARD FENCE DETAIL

SCALE: NONE



LANDSCAPE DETAILS

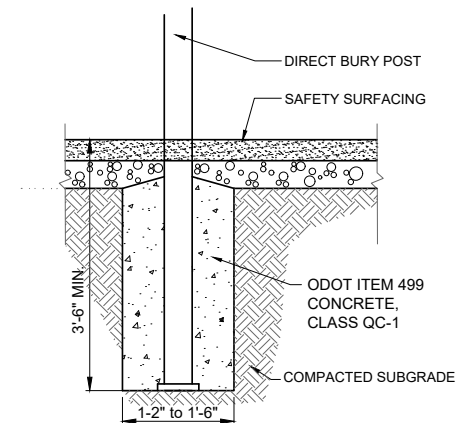
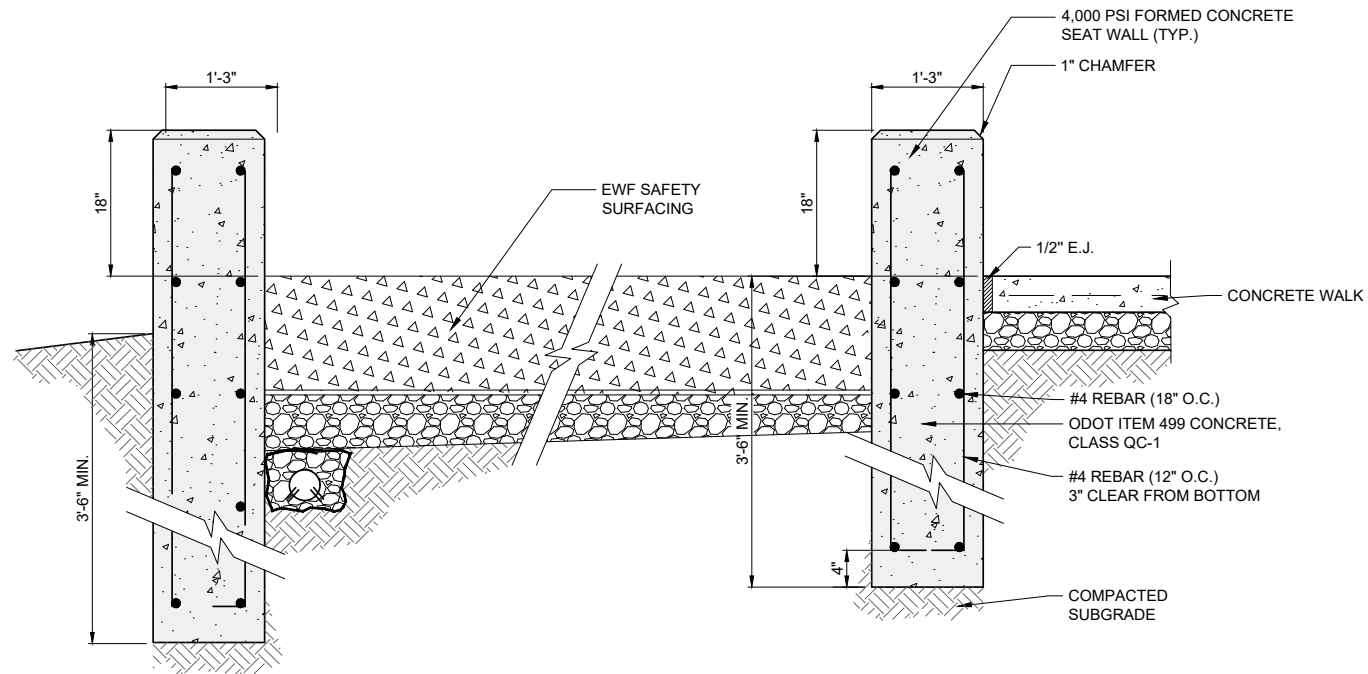
LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



NOTE: BIO-SWALE PLANTING MIX TO BE HYDRO CLEAR BIORETENTION SOIL AS MANUFACTURED AND SUPPLIED BY KURTZ BROTHERS 216-986-9000.

STONE WEIR SECTION

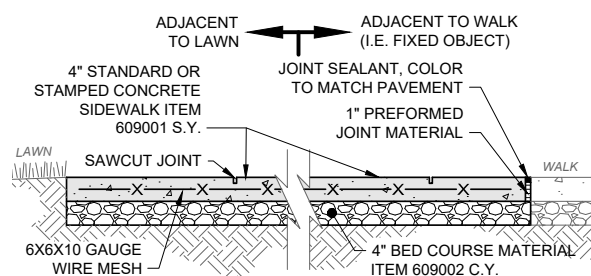
SCALE: NONE



- NOTES
1. ALL FOUNDATIONS TO BEAR ON NATURAL UNDISTURBED, ORGANICALLY UNCONTAMINATED SOIL. VERIFY SOIL CONDITIONS AND SOIL BORINGS PRIOR TO BEGINNING WORK.
 2. REFER TO MANUFACTURERS FOOTER CHART FOR FOOTER SIZING.

PLAY EQUIPMENT FOOTER

3/4" = 1'-0"



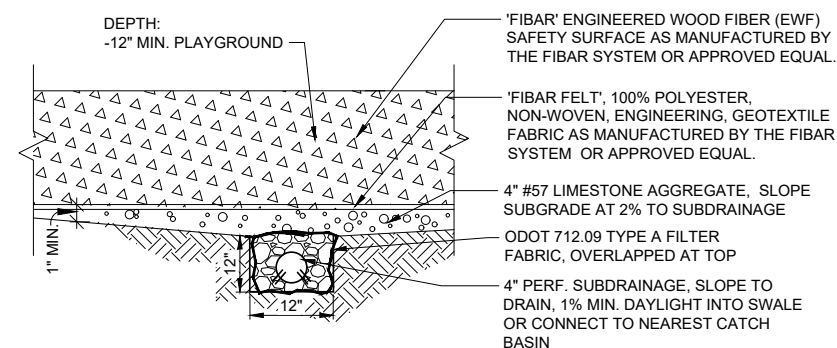
NOTES:

1. SIDEWALK TO BE PER CITY STANDARDS.
2. SEE LAYOUT PLAN FOR JOINT LOCATIONS. IF JOINTS ARE NOT PROVIDED, THEN THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL JOINTS. DIVIDE JOINTS INTO EQUALLY SPACED RECTANGULAR BLOCKS.
3. SAW CUT JOINT 1/8" WIDE BY 1/4 OF "T" DEEP TO MATCH EXISTING.
4. ROUND ALL EDGES AND JOINTS WITH A 1/4" RADIUS.

CONCRETE SIDEWALK DETAIL

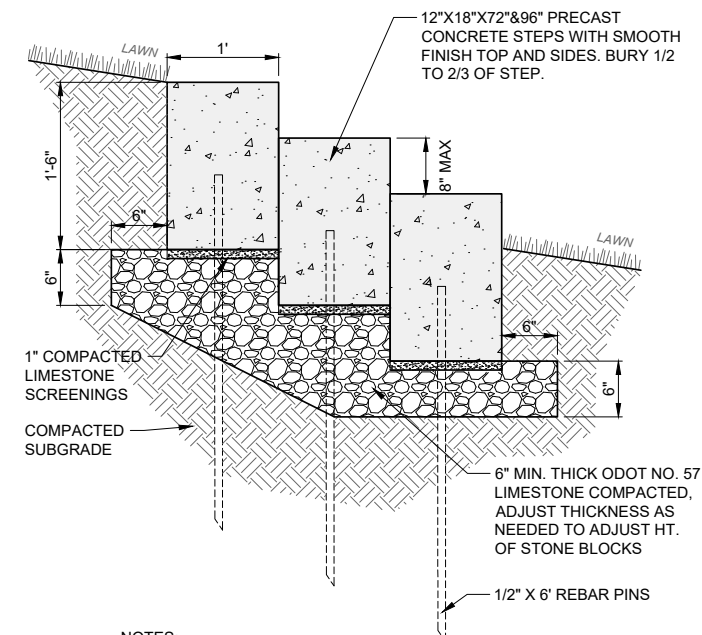
SCALE: NONE

5. INSTALL PREFORMED JOINT MATERIAL EVERY 30', OR BETWEEN SIDEWALK AND FIXED OBJECT (I.E. MANHOLE, WALK, BUILDING). WALK SHOWN FOR REFERENCE ONLY. APPLY POLYURETHANE COLOR CAULK JOINT SEALANT.
6. LIGHTLY BROOM THE FINISH PERPENDICULAR TO THE WALKING PATH OR PER PLAN.
7. APPLY LIQUID-MEMBRANE CURING COMPOUND (200 S.F./GAL.)
8. DECORATIVE COLORED CONCRETE PAVEMENT
 - A. 5'X5' MOCK-UP SAMPLES OF THE CONCRETE COLOR, FINISHING AND STAMPING SHALL BE CHOSEN BY THE CITY UNTIL AN ACCEPTABLE FINISH IS ACQUIRED.
 - B. A PERMANENT INTEGRAL COLOR PIGMENT SHALL BE ADDED TO ALL CONCRETE IN AREAS INDICATED ON THE PLANS. MIX SHALL BE INTEGRAL COLOR PIGMENT MIX OR EQUAL, COLOR TO BE IRON BRICK AS REVIEWED AND APPROVED BY THE OWNER.
 - C. THE SURFACE FINISH SHALL BE A NON-DIRECTIONAL NON-SLIP TEXTURE PRODUCED WITH A WOOD FLOAT OR BROOM FINISH AS APPROVED BY THE CITY.
 - D. CONCRETE SHALL INCLUDE APPLICATION OF A NON-GLOSS, NON-SLIP SEALER RECOMMENDED BY THE COLOR MANUFACTURER AND APPROVED BY THE ENGINEER. CLEAR GUARD 2.92 VOC USED WITH FLATTENING PASTE OR EQUAL.



EWf SAFETY SURFACING DETAIL

SCALE: NONE



- NOTES:
- PRECAST CONCRETE STEPS TO BE MODEL C51 MANUFACTURED BY WAUSAU TILE (800) 388-8728 OR APPROVED EQUAL. STANDARD FINISH AND COLOR TO BE SELECTED BY OWNER

PRECAST STEPS DETAIL

SCALE: NONE



LANDSCAPE DETAILS CONT'D

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



LIGHT POLE
MIRADA - SMALL AREA LIGHT



WALL PACK
MIRADA - MEDIUM WALL SCONCE



BOLLARD LIGHT
WAC LIGHTING - LED BOLLARD



SAFETY POLE
TALKAPHONE - BLUE LIGHT PHONE



BALCONY SCONCE
WAC LIGHTING - 12"
OUTDOOR WALL SCONCE



ENTRY SCONCE
WAC LIGHTING - 18"
OUTDOOR WALL SCONCE



BASE SITE LIGHTING PLAN

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



ENHANCED SITE LIGHTING PLAN

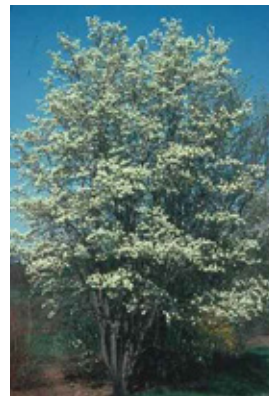
LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



IMPERIAL HONEYLOCUST



RED POINTE MAPLE



SPRING SNOW CRABAPPLE



MAGNOLIA



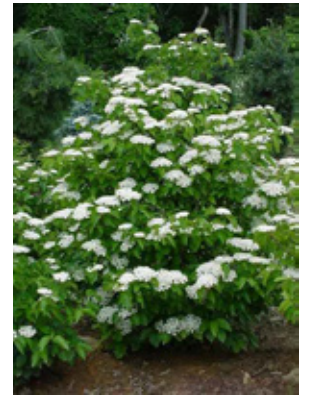
SERVICEBERRY



PARROTIA



HYDRANGEA



SUMMER SNOWFLAKE VIBURNUM



NINEBARK



ARBORVITAE



UPRIGHT JUNIPER



GROW LOW SUMAC



BOXWOOD



JAPANESE HOLLY



SWEETSPIRE



SPIRAEA



PURPLELEAF WINTERCREEPER



HAPPY RETURNS DAYLILY



LIRIOPE



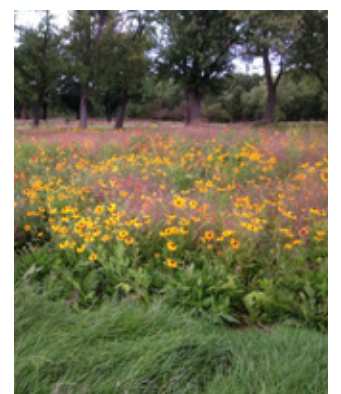
CONEFLOWER



HOSTA



BLACK EYED SUSAN

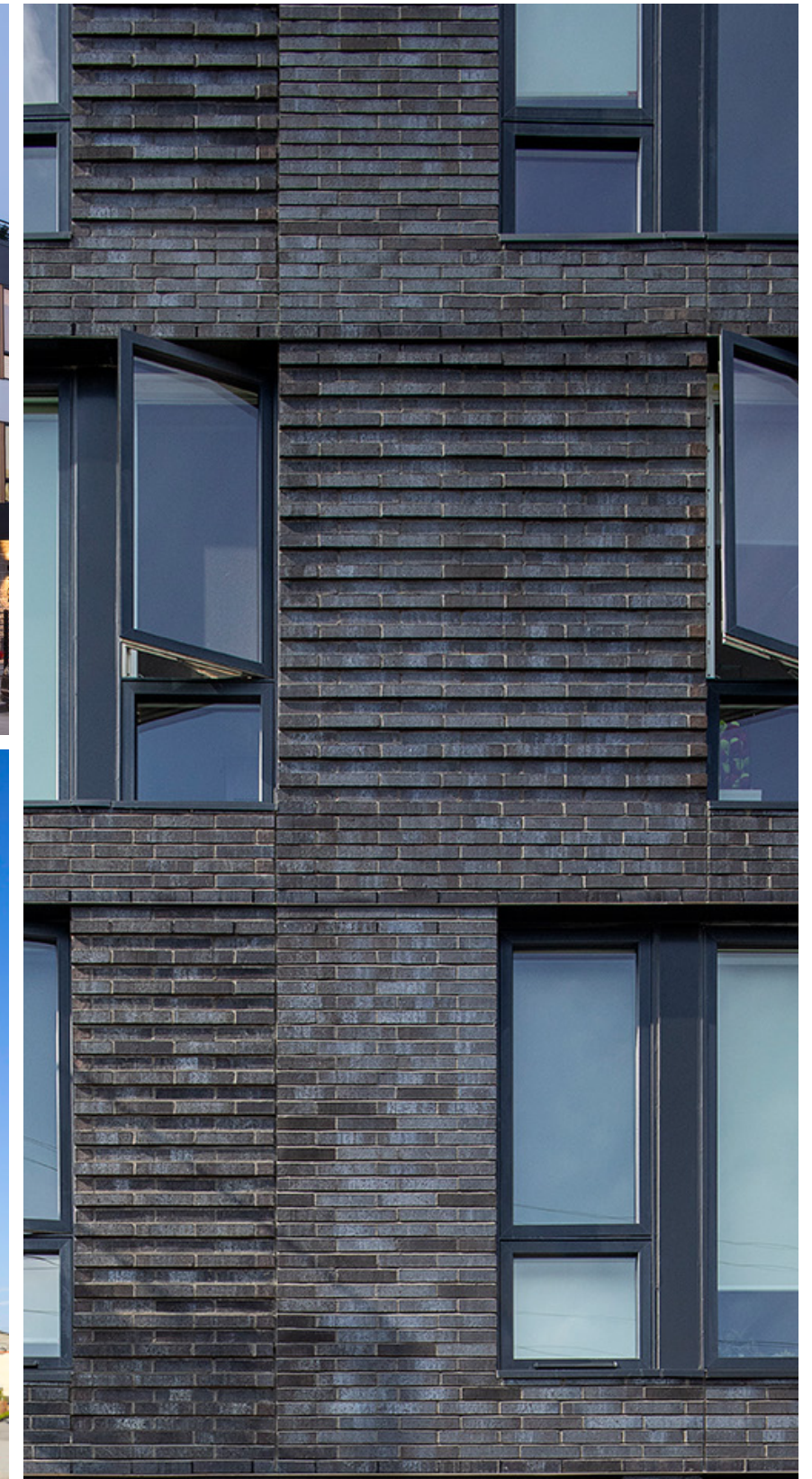
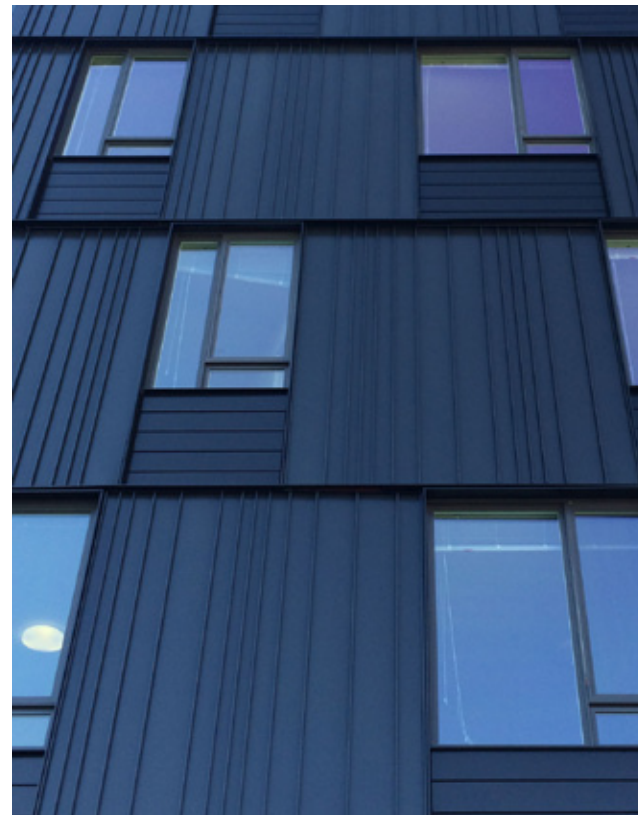


MEADOW



LANDSCAPE PLANTINGS

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



ARCHITECTURAL DETAILING

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



RENDERING

*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*



RENDERING

*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*



RENDERING

*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*



RENDERING

*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*

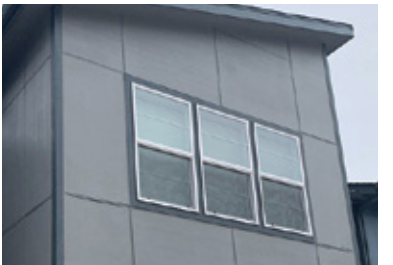


RENDERING

*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*



BALCONY/RAILING
ANODIZED ALUMINUM
"BLACK"



ANDERSON
WINDOW SYSTEM
"BLACK"



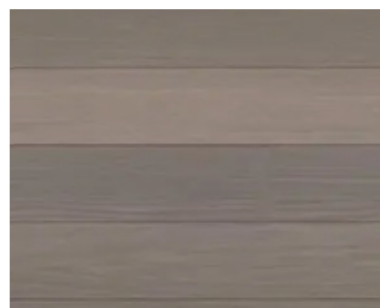
ALUMINUM
WINDOW SYSTEM
"BLACK"



SCHORY SMOOTH CMU-
"MIDNIGHT RANGE"



DMI METAL PANEL -
"MATTE BLACK"



MAC METALS SIDING-
"SMOKED BIRCH"



PAC-CLAD METAL COPING -
"MATTE BLACK"

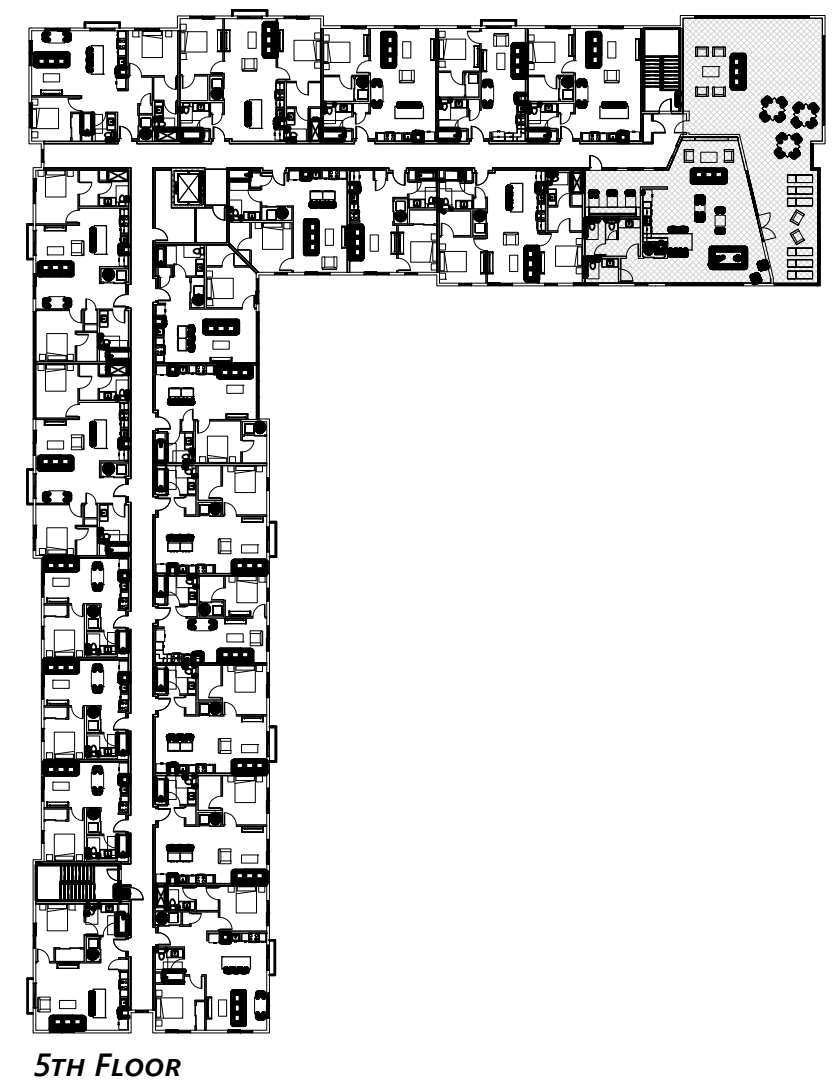
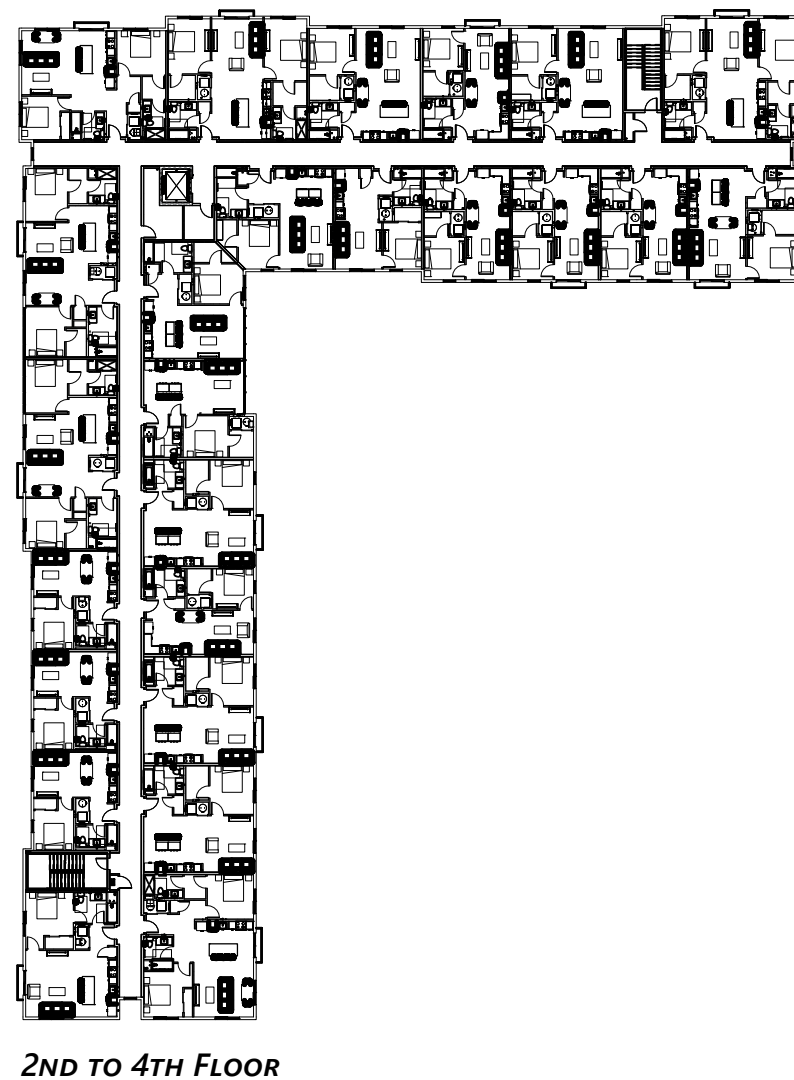
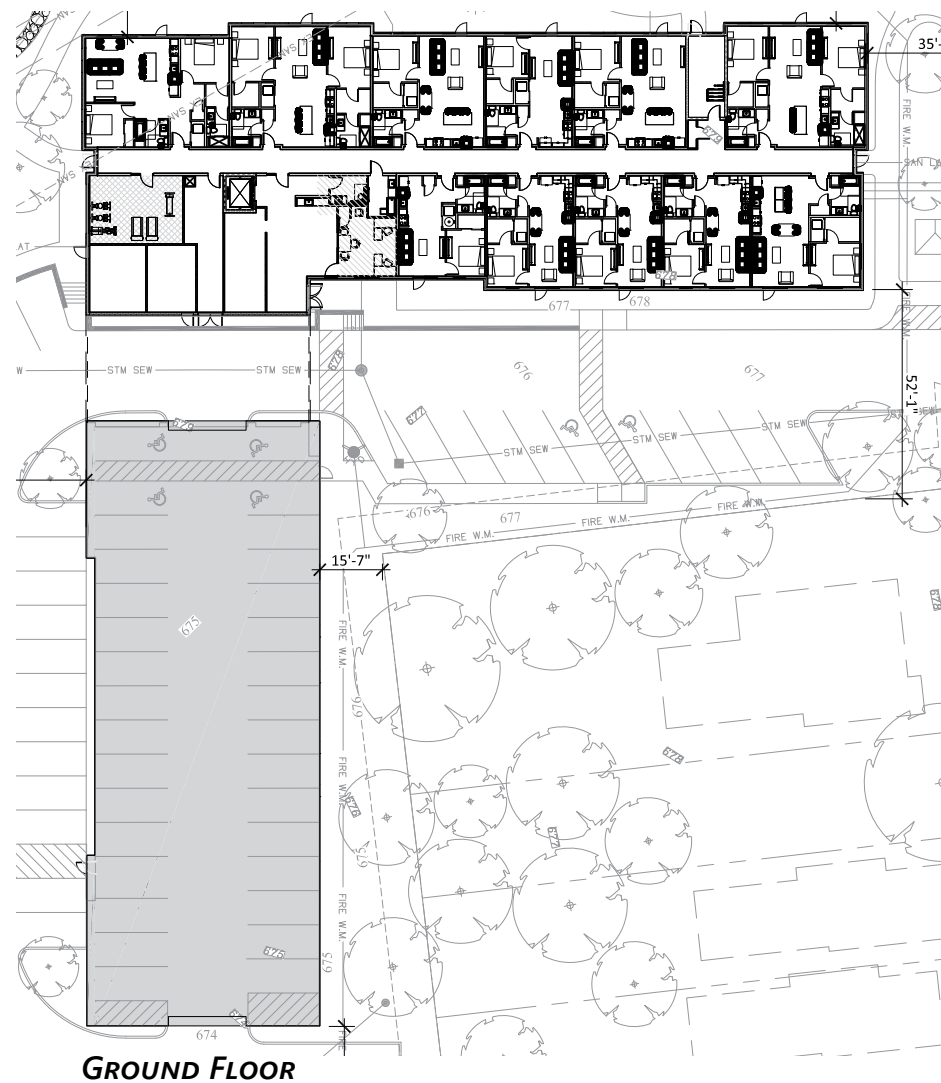


WINDOW BOX & RAILING PLANTER -
BLACK MFTAI



APARTMENT EXTERIOR FINISHES

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



PROJECT DATA

GENERAL APARTMENT AREAS

<i>Residential</i>	83,764 <i>SF</i>
<i>Circulation & Utility</i>	12,413 <i>SF</i>
<i>Amenity</i>	4,672 <i>SF</i>
<i>Roof Terrace</i>	2,327 <i>SF</i>
<i>Covered Parking</i>	8,355 <i>SF</i>
<i>Total</i>	100,750 <i>GSF</i>

APARTMENT UNIT MIX

<i>Studio</i>	21	19%
<i>1 Bedroom Eff.</i>	22	21%
<i>1 Bedroom</i>	38	36%
<i>2 Bedroom</i>	26	24%
<hr/>		
Total	107	100%

PARKING SPACES

<i>Covered Parking</i>	31
<i>Ext. Parking</i>	76
<hr/>	
<i>Total</i>	107

TOWNHOMES

<i>Townhomes</i> <i>(20'x40' Footprint)</i>	16
<i>Townhomes</i> <i>(20'x36' Footprint)</i>	5
<hr/>	
<i>Total</i>	<i>21</i>



APARTMENT FLOOR PLANS & PROJECT DATA

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



NORTH ELEVATION



SOUTH ELEVATION



APARTMENT ELEVATIONS

*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*



EAST ELEVATION

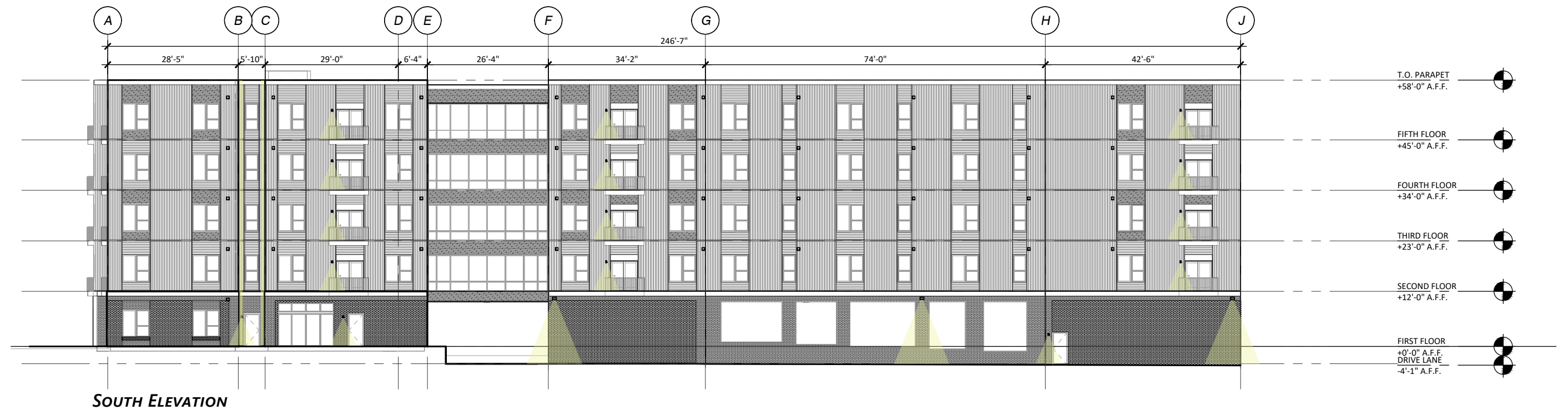
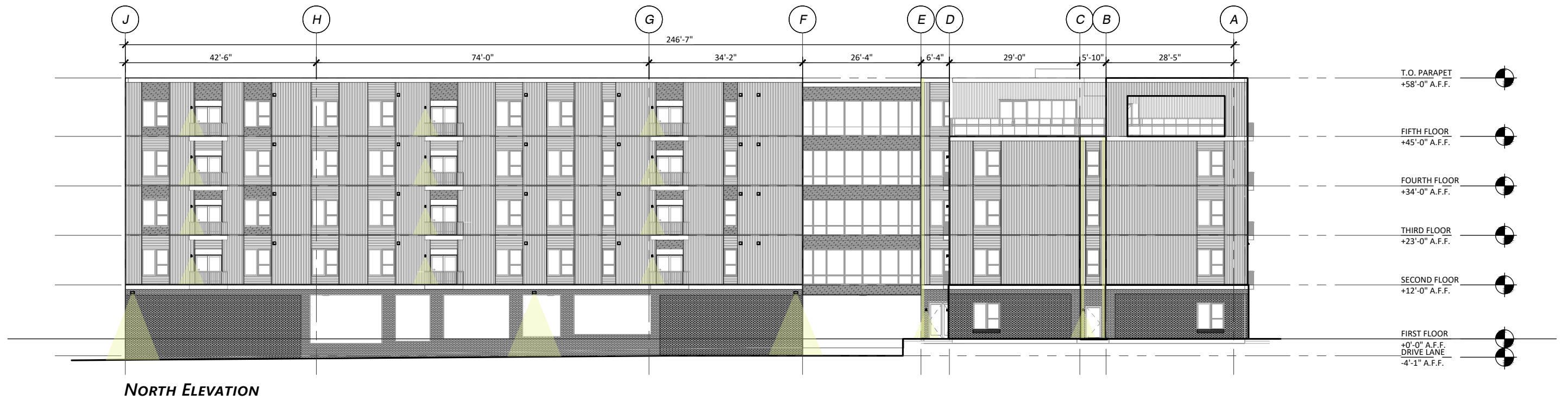


WEST ELEVATION



APARTMENT ELEVATIONS

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



APARTMENT LIGHTING ELEVATIONS

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



APARTMENT LIGHTING ELEVATIONS

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



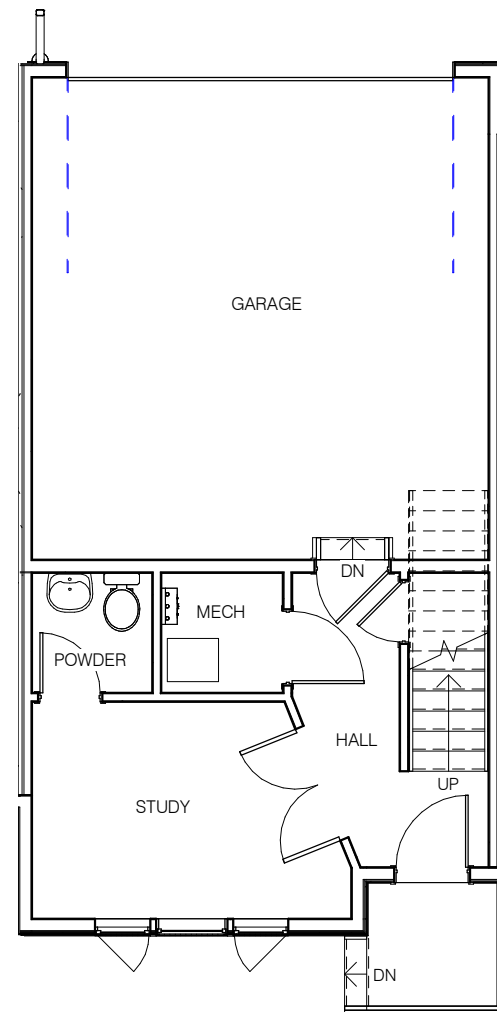
PROPERTY
ADVISORS



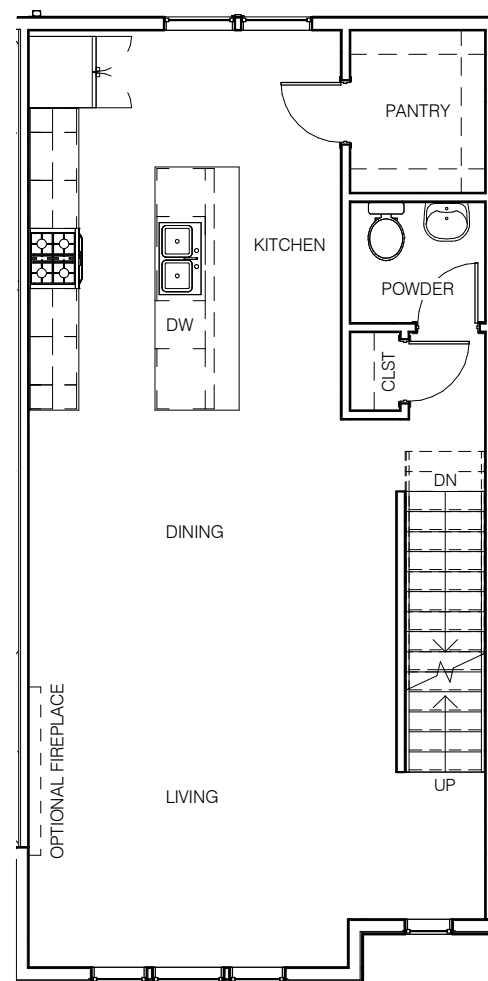
SIXMO

RENDERING

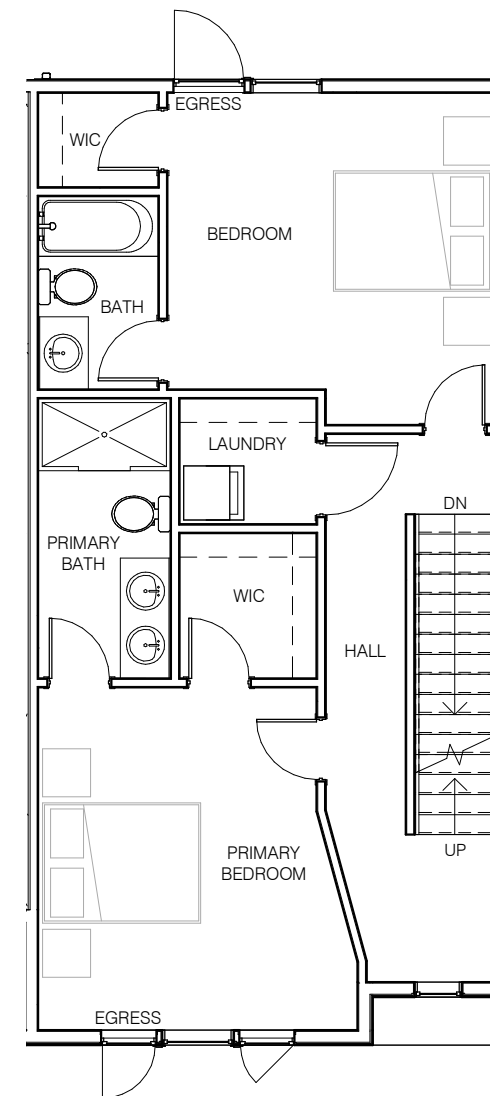
LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



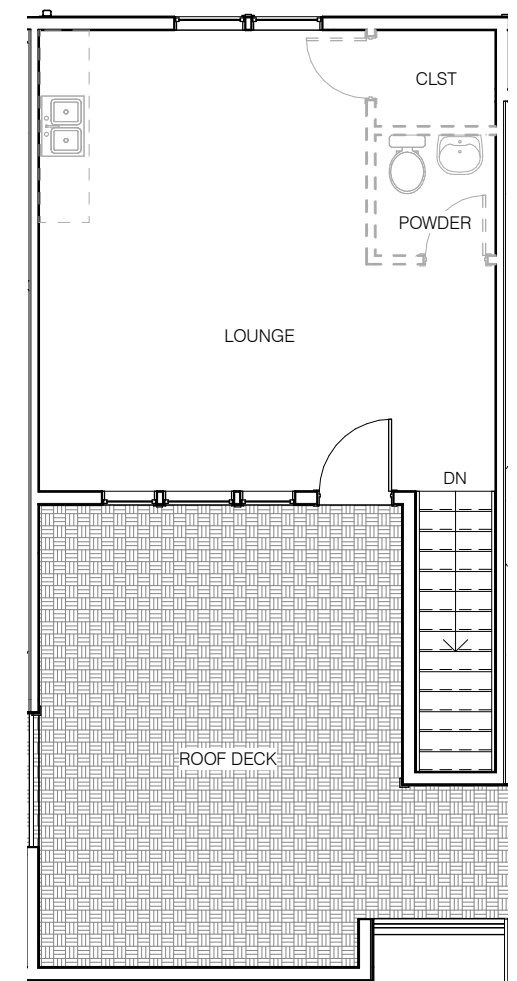
GROUND FLOOR



SECOND FLOOR



THIRD FLOOR



FOURTH FLOOR



TOWNHOMES - Type A Plans

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

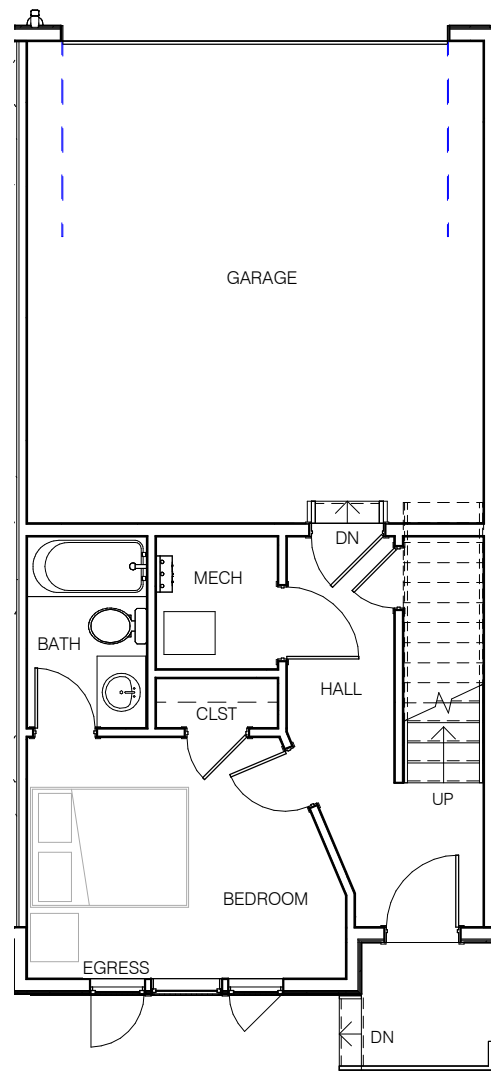


EAST ELEVATION

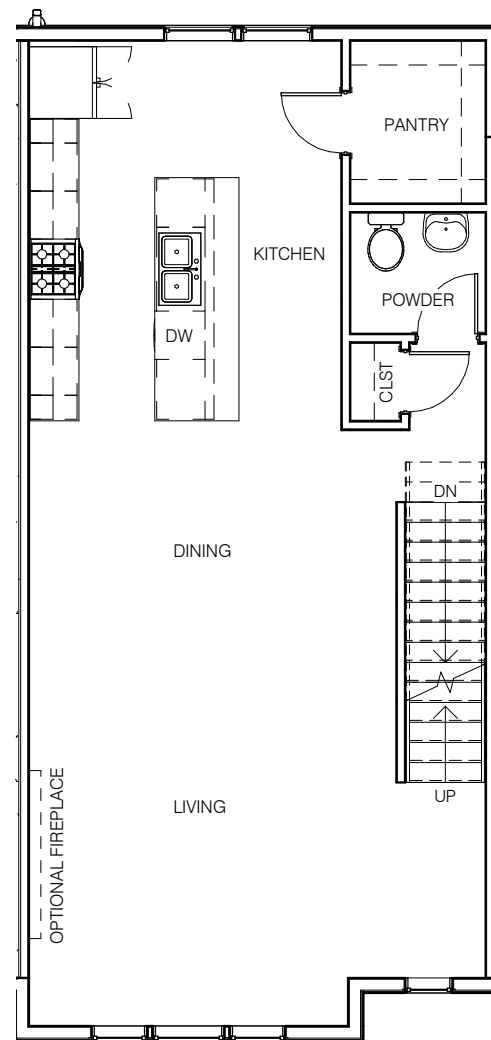


TOWNHOMES - TYPE A ELEVATIONS

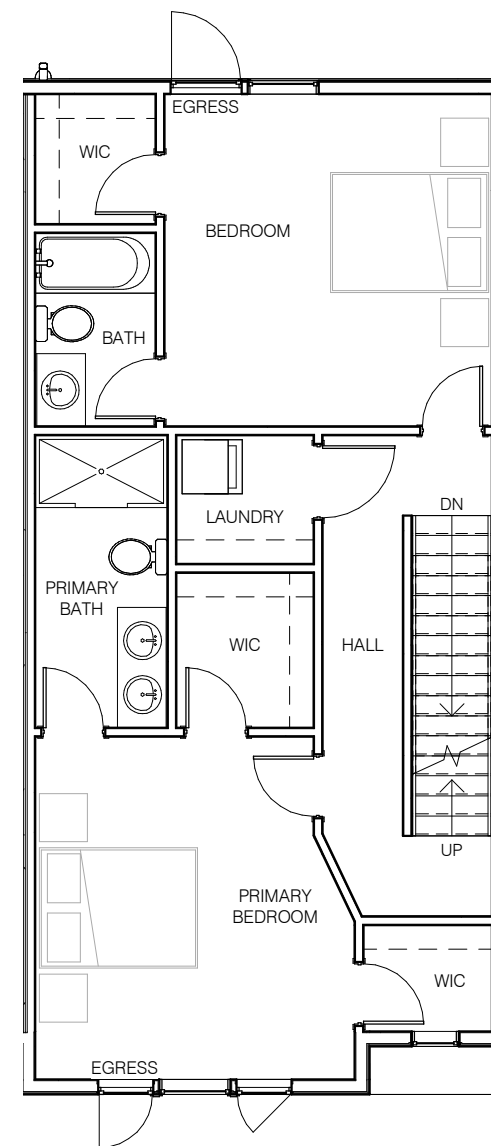
*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*



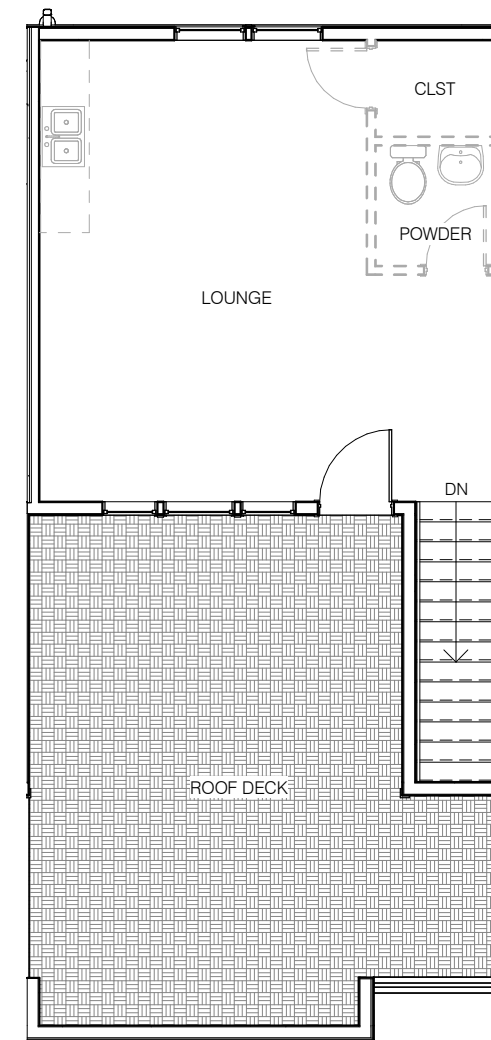
GROUND FLOOR



SECOND FLOOR



THIRD FLOOR



FOURTH FLOOR



TOWNHOMES - Type B Plans
 LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
 BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



TOWNHOMES - TYPE B ELEVATIONS

*LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH*



Exterior Lighting
*Kichler Lyndon
 or equivalent
 Color: Black*



Address Signage
*American Sign Letters
 or equivalent
 Pin Mounted
 Color: Black*



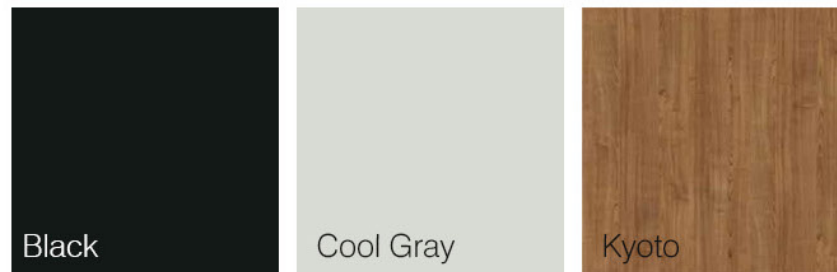
Windows
*Jeld-Wen Premium Vinyl
 V-4500 Series or equivalent
 windows and field trim to match
 Color: Black*



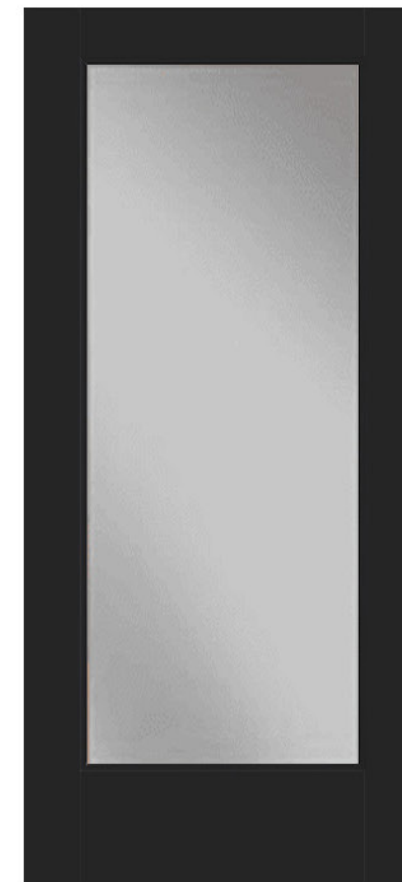
Composite Roof Tiles
*NewTechWood or equivalent
 Color: Peruvian Teak*



Stoops
*Premanufactured steel or equivalent
 Color: Black*



High Pressure Laminate Panel
*Or equivalent
 Color: Black, Cool Gray, and, Kyoto*



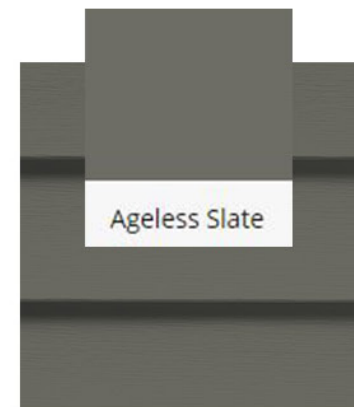
Entry Door
*Therma Tru - Smooth-Star
 or equivalent
 Color: Black*



Garage Door
*Clopay - Canyon Ridge Modern or equivalent
 Color: Charcoal*



Brick
*Belden Brick Co or Equivalent
 Color: Titanium Grey Velour*



Lap Siding
*Alside Coventry or equivalent
 5" Exposures
 Color: Ageless Slate*

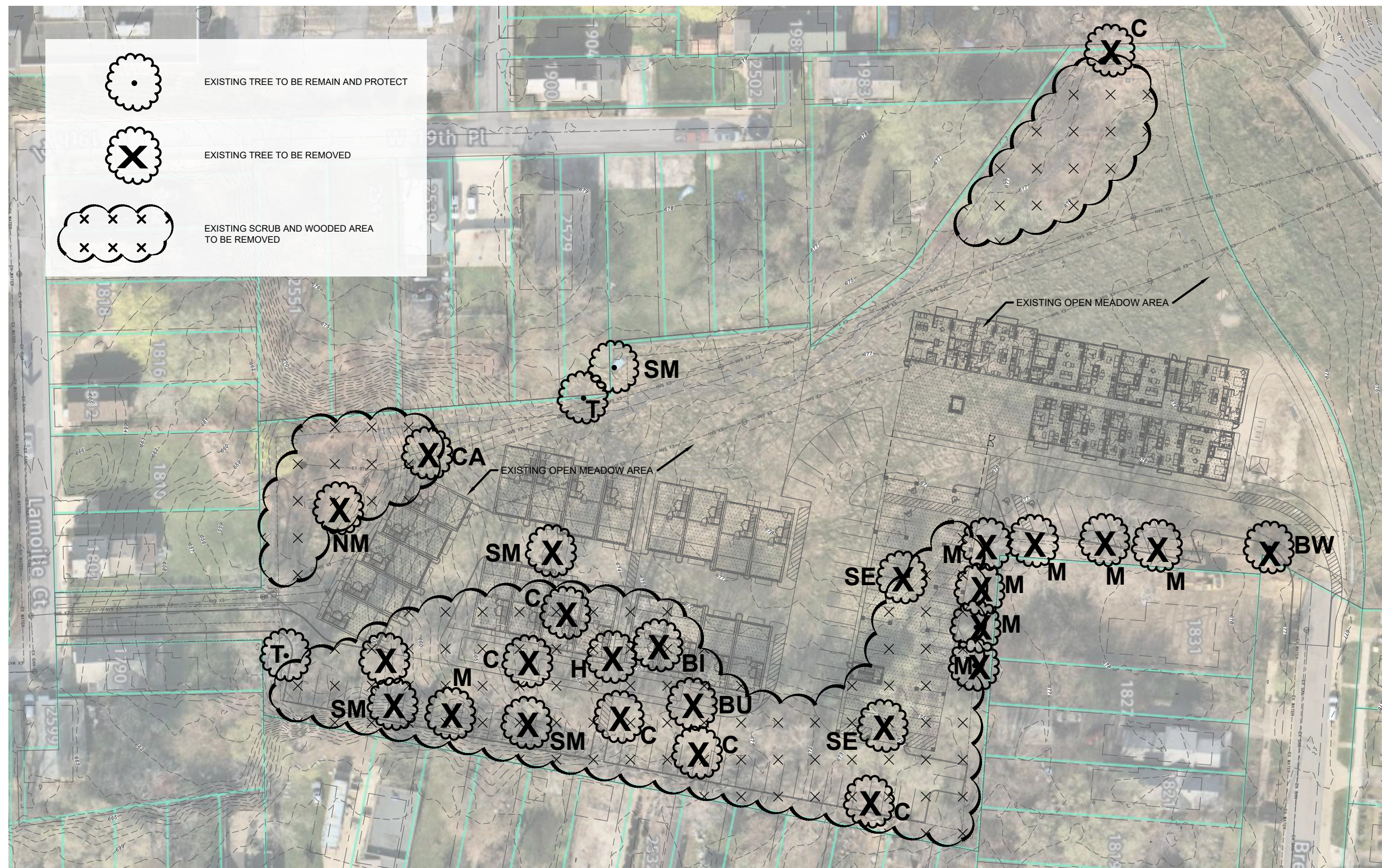


Aluminum Railing
*Westbury or equivalent
 Color: Black*



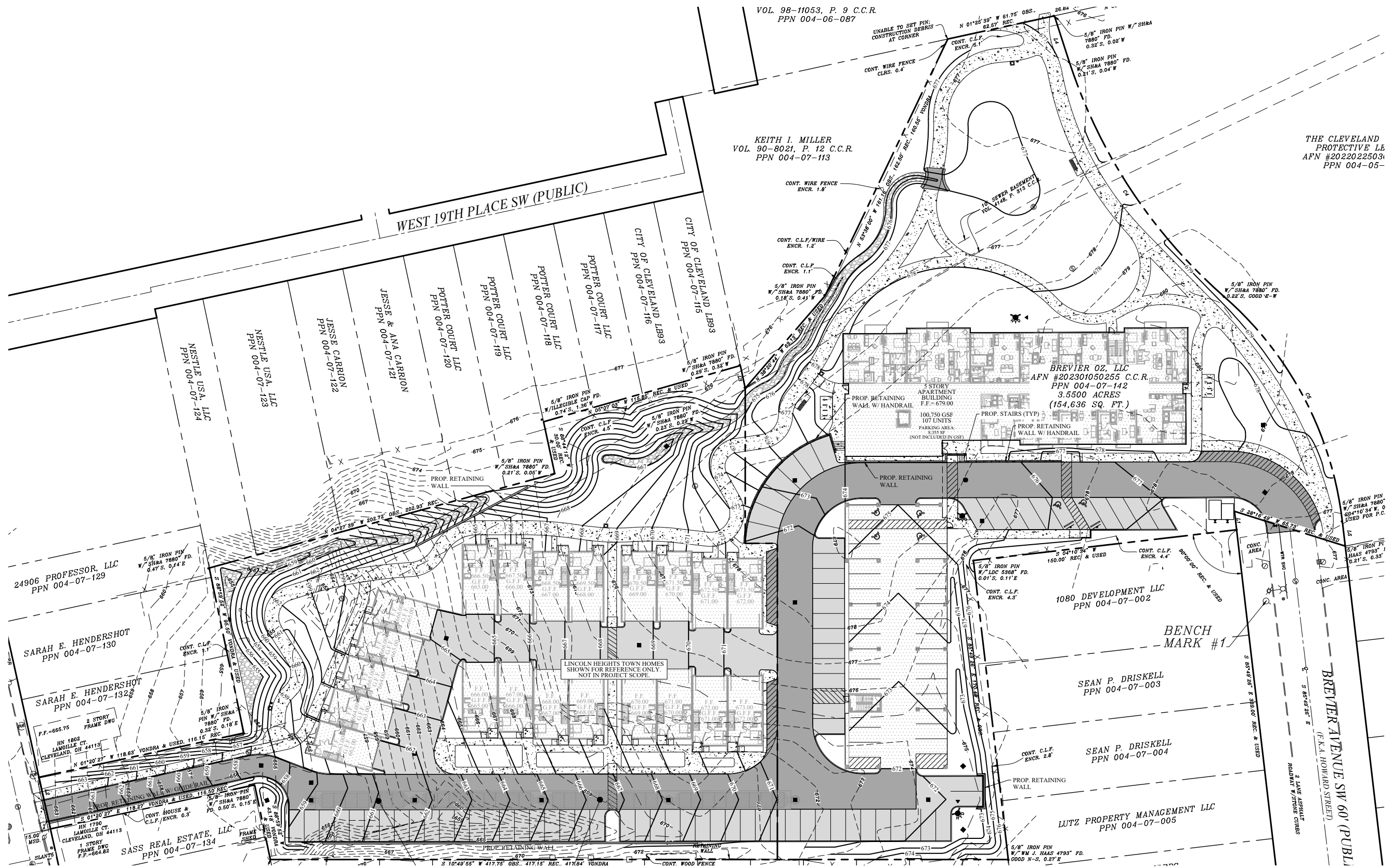
TOWNHOMES - EXTERIOR MATERIALS

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
 BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



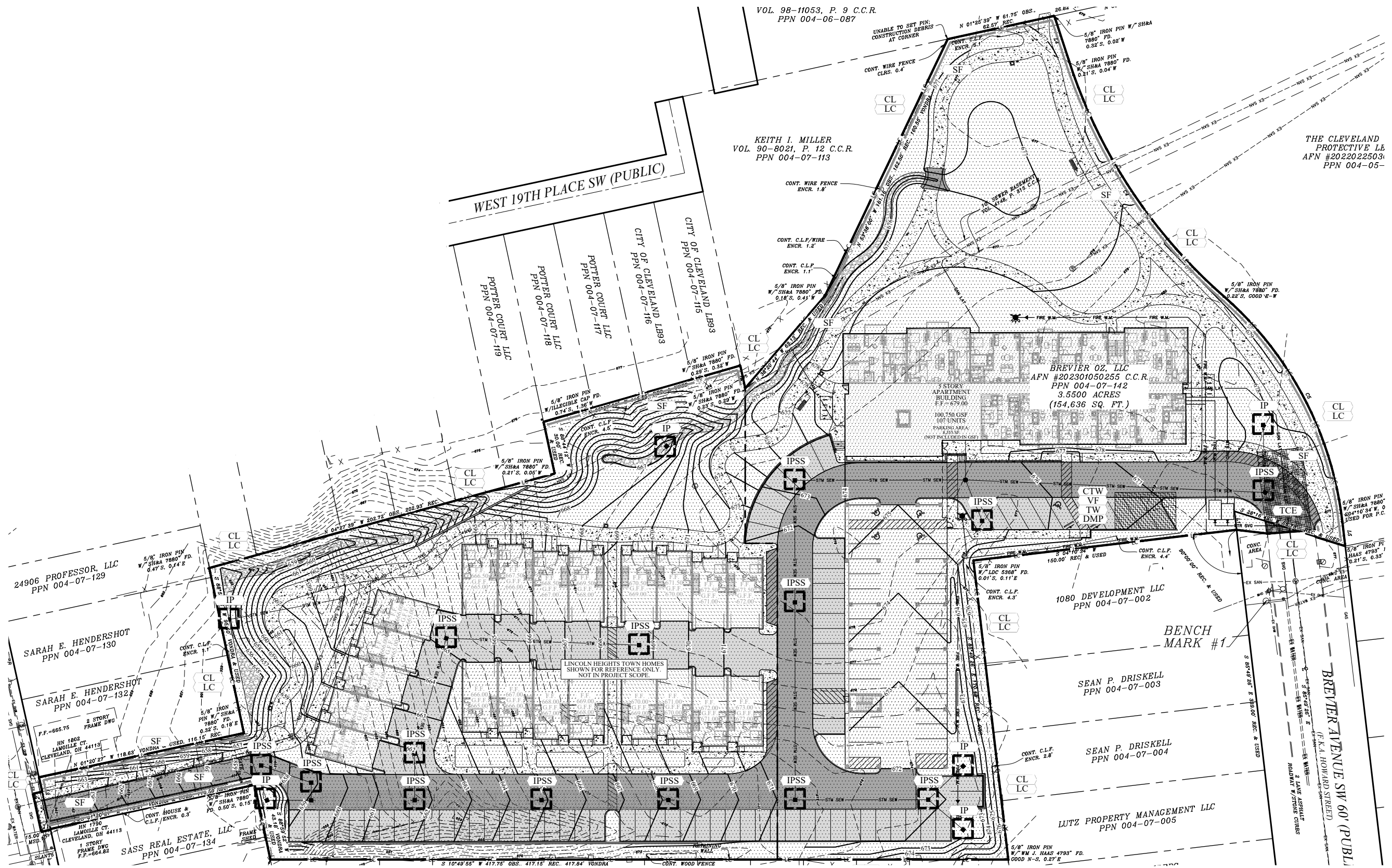
TREE PRESERVATION PLAN

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



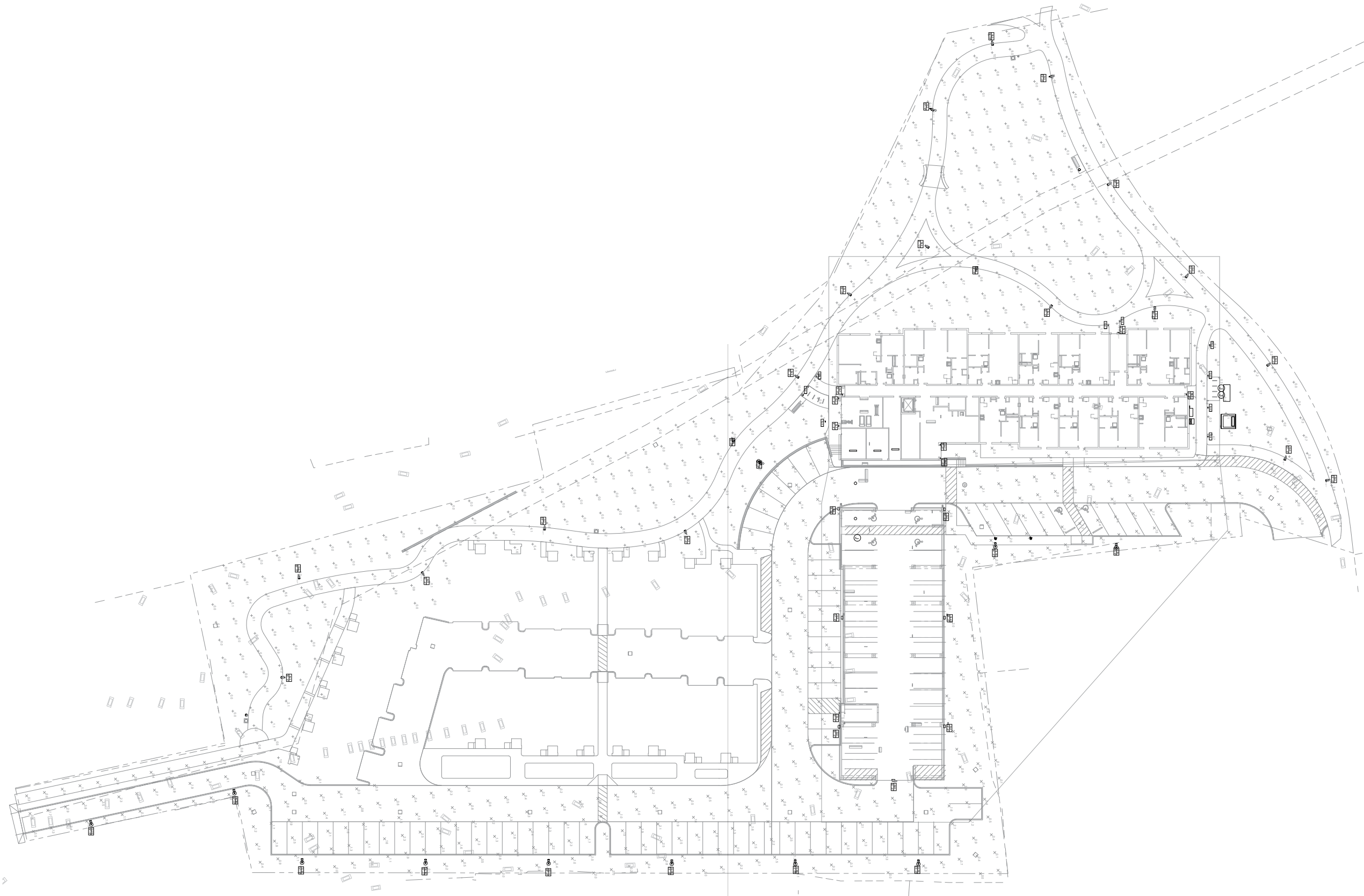
GRADING PLAN

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



STORMWATER MANAGEMENT PLAN

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



PHOTOMETRIC PLAN

LINCOLN HEIGHTS APARTMENTS & TOWNHOMES
BREVIER AVENUE & LAMOILLE COURT, CLEVELAND, OH



Committee Recommendation: Approval with Conditions:

Find alternative design for the townhouse garage doors that provides a new style.

Cleveland City Planning Commission

Staff Report



April 21, 2023



April 21, 2023

EAST2023-008 – Proposed Demolition of a 2-Story Mixed-Use Building:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 2919 East 59th Street

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as presented

2919 E 59

Proposal for Demolition in the Opportunity Corridor Design Review District

Demolition: We are seeking the approval of the complete demolition of the 2 story, 2 family residential property

Current Owner: City of Cleveland Industrial Commercial Land Bank

Complaints: The City has received 21 formal complaints.

Board-ups: The city has boarded up this property 6 times.

Back Taxes: \$0

Ranking on Property Survey: D/F rating

Site Plan: The remaining land will be cleared, graded, and seeded.

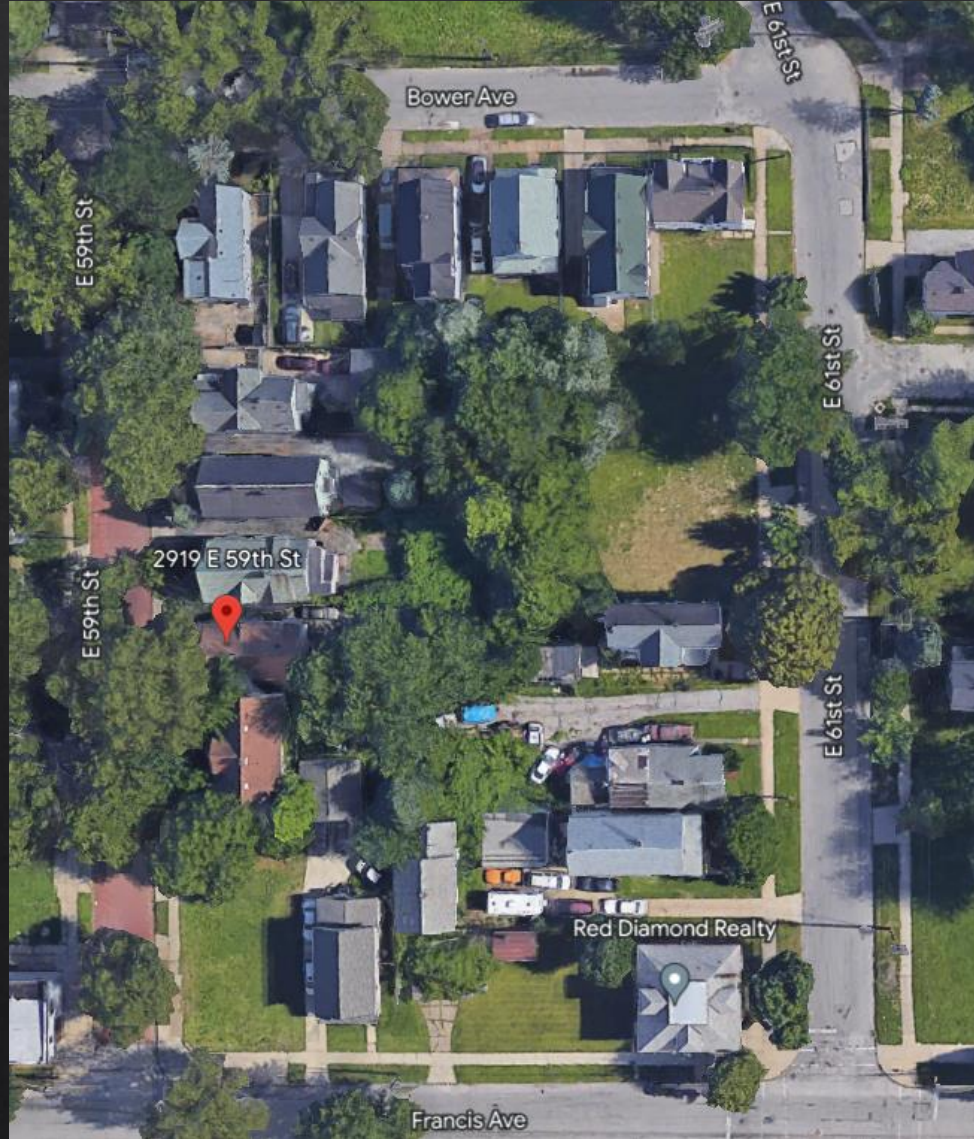


RESIDENT COMPLAINTS

- ◆ “I am told by neighbors that as soon as it’s boarded up the board is ripped off. They see drug users frequenting this property...Something needs to be done before someone is found dead in it”
- ◆ “needs a board up again, and likely a more permanent solution”

SITE LOCATION AND CONTEXT

Right off of Opportunity Corridor



EXTERIOR PHOTOS



INTERIOR PHOTOS





BASEMENT



SITE PLAN

- ◆ Demolish the structure, remove all foundations and subgrade material. Level the site with clean backfill, topsoil, seed, and straw.
- ◆ Vacant Lot owned by Industrial/Commercial Landbank
- ◆ Economic Development is interested in this becoming a vacant lot



Cleveland City Planning Commission

Staff Report



April 21, 2023

EAST2023-010 – Fairfax Market Signage:

Seeking Final Approval

Project Location: SW corner of Cedar Avenue and East 105th Street

Project Representatives: Aaron Hill, Bialosky

Brice Hamill, Fairmount Properties

Annie Vos, Meijer

Committee Recommendation: Approved with comments:

- Larger than what zoning allows - very tastefully done, in scale with building size.
- South façade parking garage - consider/study some kind of treatment (similar to East 103rd) – South façade - very blank along Frank Ave. extension.



FAIRMOUNT

BIALOSKY

FAIRFAX MARKET MIXED USED SIGNAGE/GARAGE SCREENING

CITY PLANNING COMMISSION
APRIL 21, 2023

Proposal

Applicant is proposing business identification signage for E 105 & Cedar



Why City Planning Commission?

- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: *(Administrative approval does not apply)*
 - **Design Compatibility:** may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
 - **Design Guidelines:** any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
 - **Minimum Variation:** Any variation shall be the **MINIMUM** necessary to ensure design compatibility





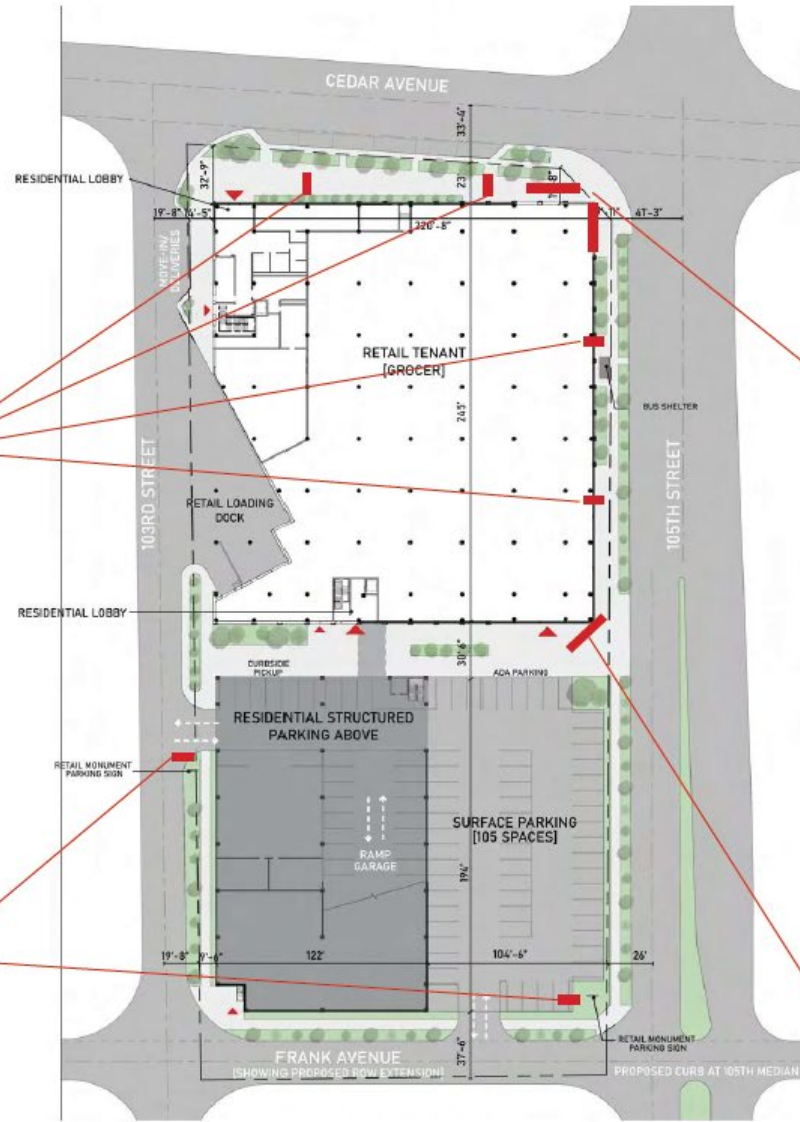
(4) LIT BLADE SIGNS

Permitted 1 per unit @ 12 sf, **need variance for 4 total**

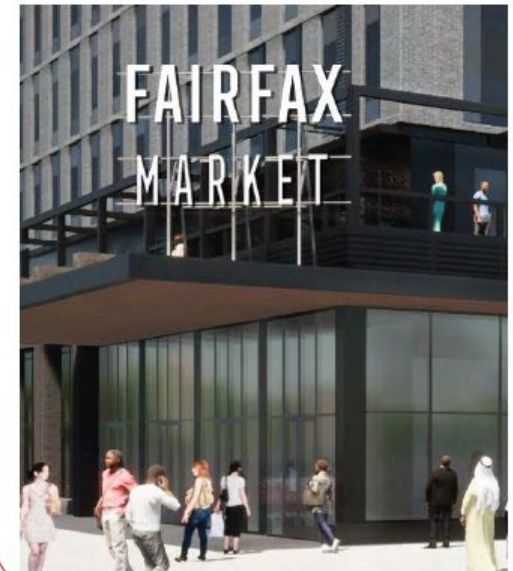


(2) LIT MONUMENT PARKING SIGNS
(60"H X 78" W)

Permitted 2 for 2 vehicular entrances,
50 sf max – Proposing 32.5 sf –
no variance needed



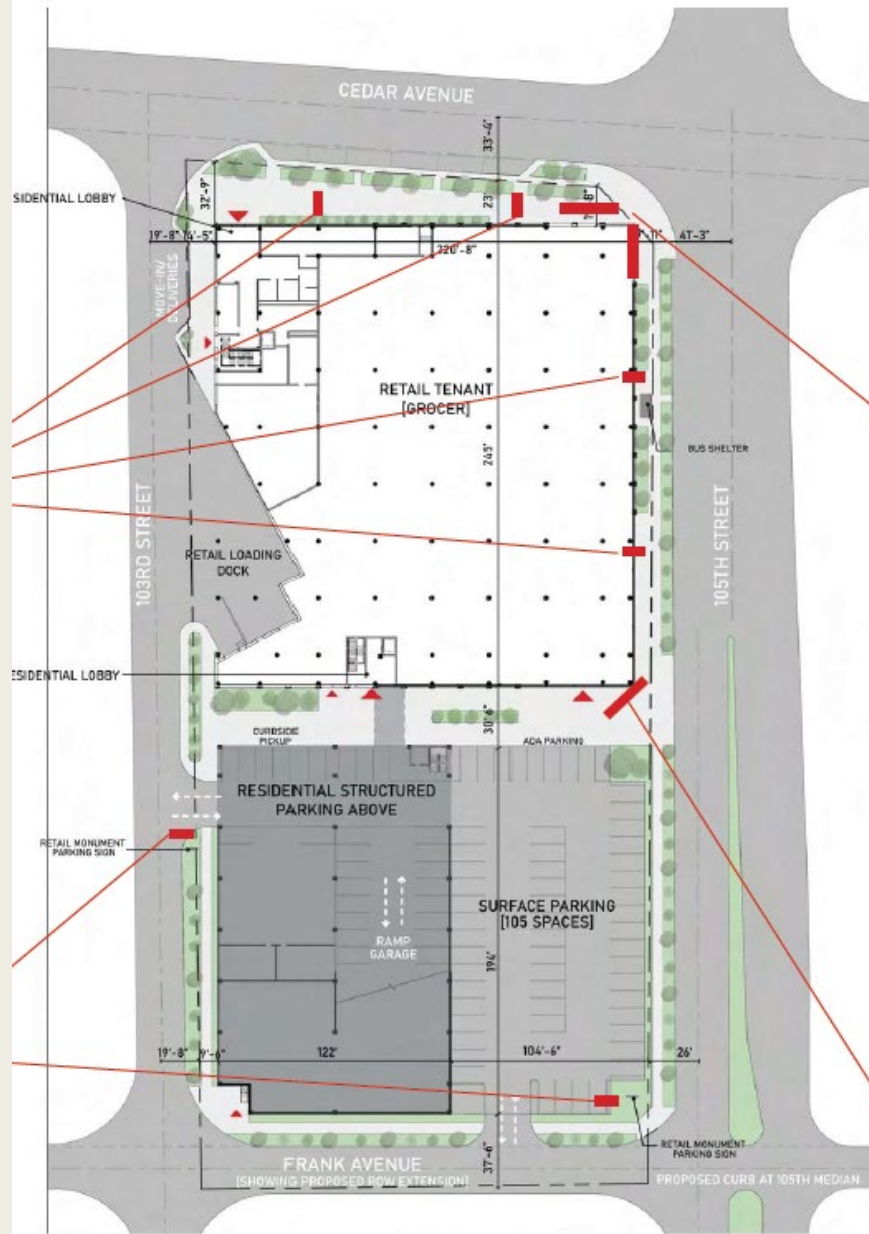
(2) MAIN CORNER WALL-MOUNTED SIGNS



MAIN CORNER SCAFFOLD-MOUNTED SIGN

Fairfax Market Mixed-Use
Previously Presented - December 21, 2021 - Exterior Signage

April 4, 2023



(2) MAIN CORNER WALL-MOUNTED SIGNS



MAIN CORNER SCAFFOLD-MOUNTED SIGN

Permitted 356.5 sf business identification wall/window signage – total on Cedar; 178.25 sf on E. 105

- Cedar Fairfax Market Canopy Sign = 63.83 sf
- E 105 Fairfax Market Canopy Sign = 63.83 sf

- **Need variance for 2 canopy signs greater than 12 sf.**
- **Need variance for 1 rooftop canopy sign (1st permitted in General Industry/UI Districts)**

Fairfax Market Mixed-Use

Previously Presented - December 21, 2021 - Exterior Signage

April 4, 2023

Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?



Rooftop Sign



2 Canopy Signs exceed 12 sf (43.07 sf each)



4 lit blade/projecting signs (6.04 sf each
(permitted 12 sf))

FAIRFAX MARKET MIXED USE | SIGNAGE & GARAGE SCREENING

April 4 2023







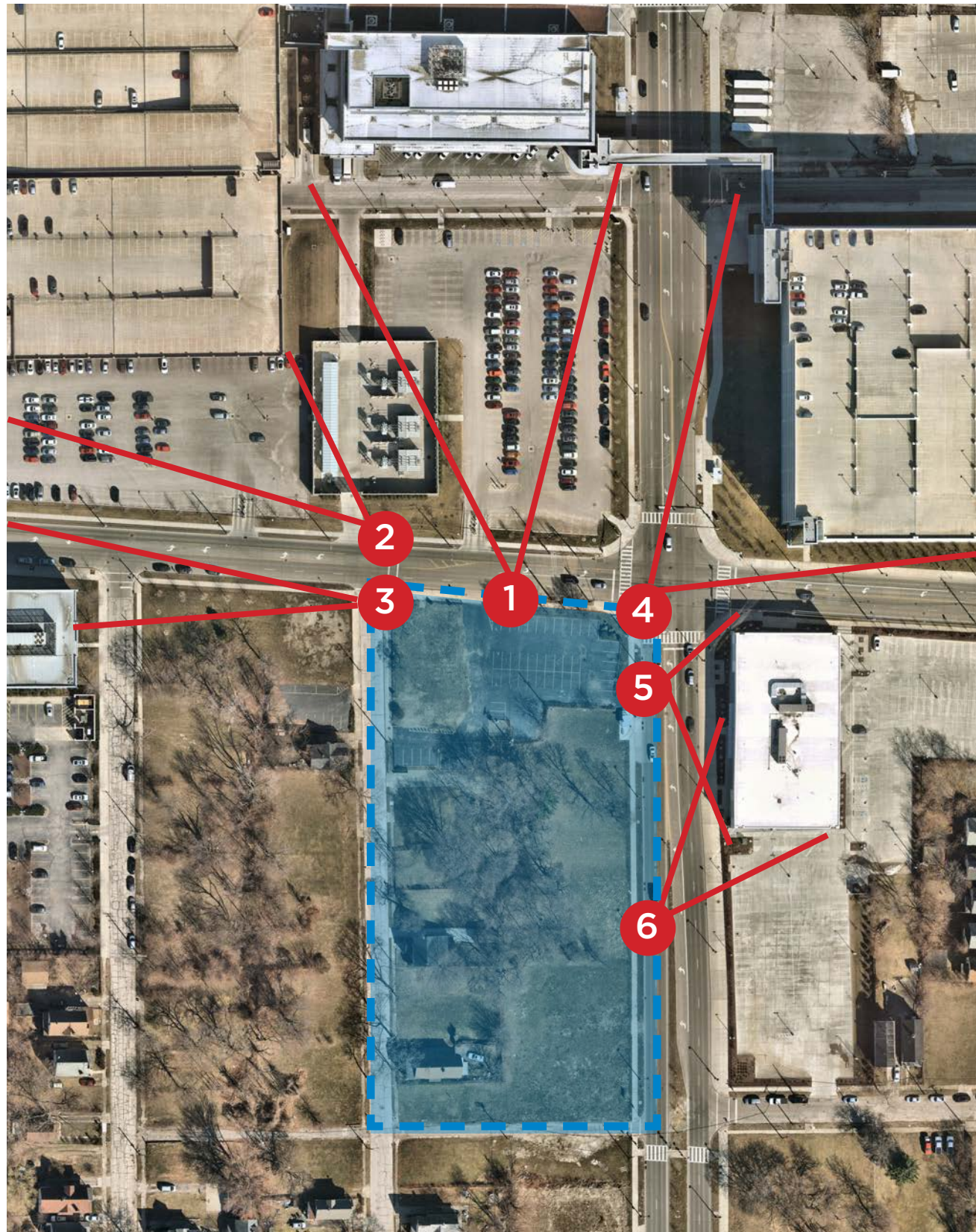
1



2



3



4



5



6

150,000 SF RESIDENTIAL
[5 FLOORS, 190 UNITS]

STRUCTURED PARKING
[3 LEVELS, 172 SPACES]

SURFACE PARKING
[97 SPACES, FOR RETAIL]

40,000 SF RETAIL
[GROUND FLOOR, GROCER, SINGLE TENANT]

6 STORIES
76' TO ROOF





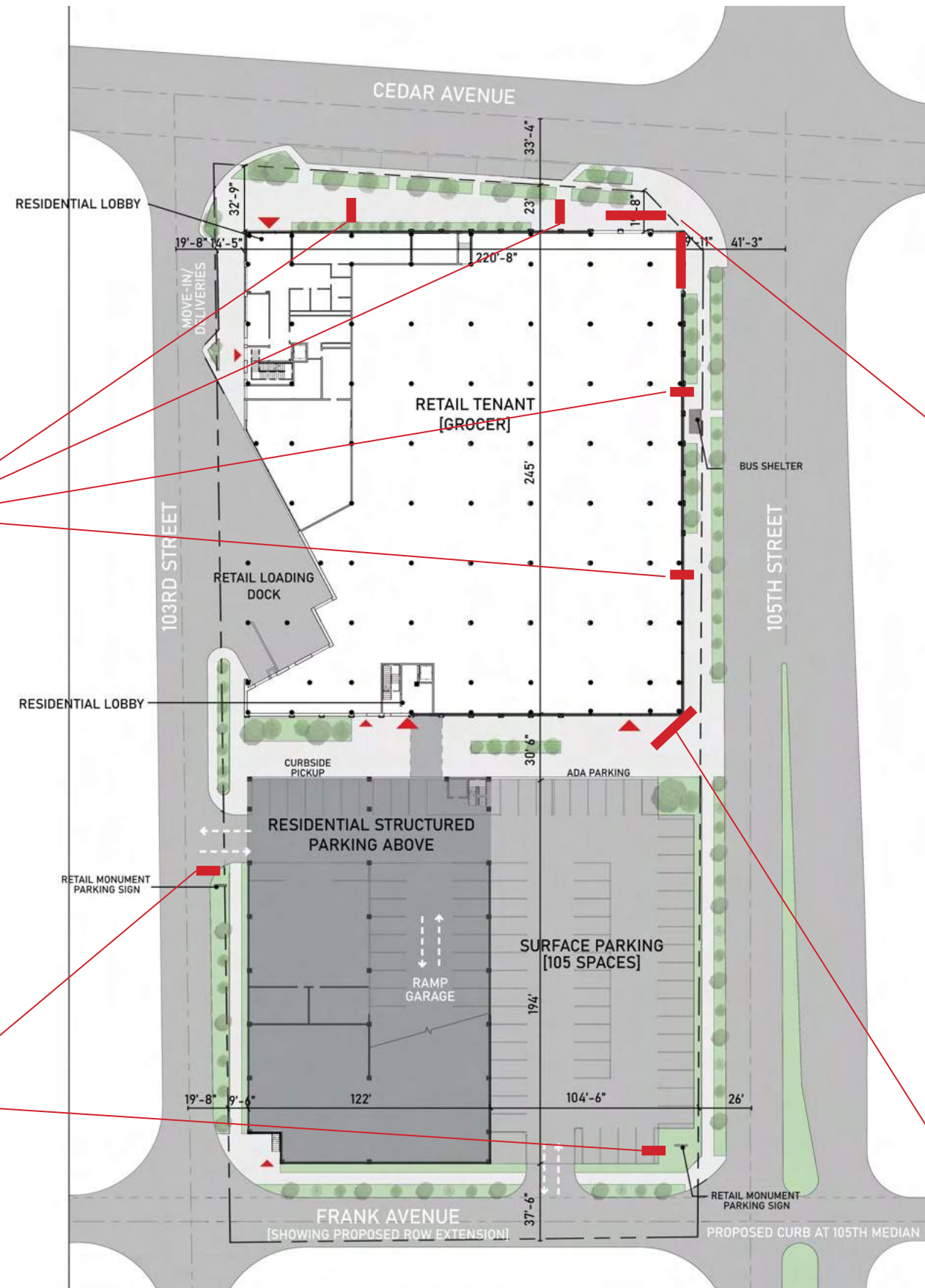




(4) LIT BLADE SIGNS



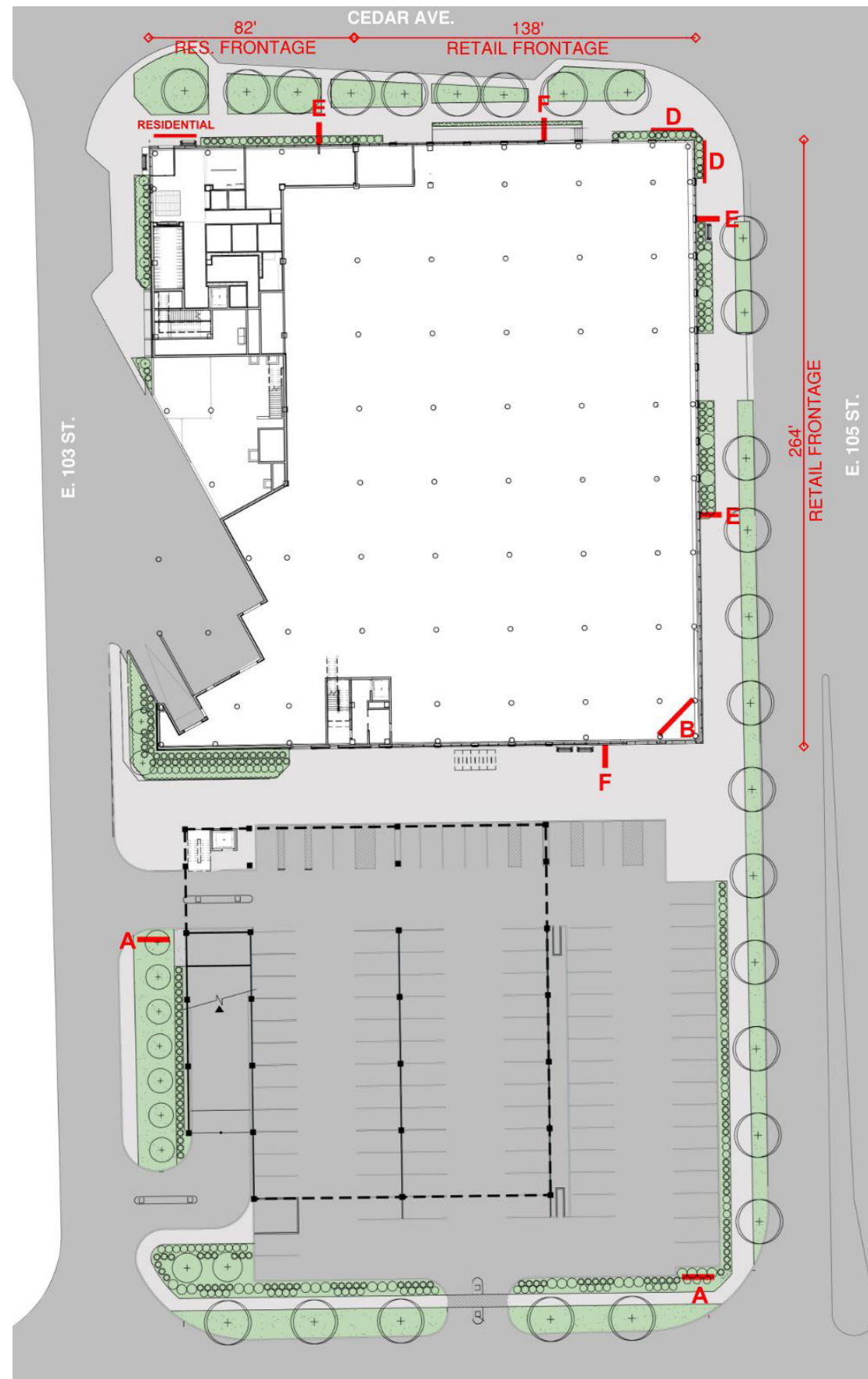
(2) LIT MONUMENT PARKING SIGNS
(60"H X 78" W)



(2) MAIN CORNER WALL-MOUNTED SIGNS



MAIN CORNER SCAFFOLD-MOUNTED SIGN



Fairfax Market Mixed-Use
Site Plan with Proposed Signage

Sign Specifications: Monument Sign

Internally Illuminated (LED)
Double Faced Monument Sign
with Flat Polycarbonate Faces

Fabricated Aluminum Frame

Lighting:
LEDs, (white) - US LED - TD XL2 Modules
with Power Supplies in Cabinet.

Power Supplies:
(2) Advance 100w 24v Power Supplies

Retainers and Returns:
Extruded Aluminum, painted (black)

Faces:
Translucent Flat Polycarbonate Faces (white)
with Applied Vinyl Overlay (opaque black, green)

Retainer: 1 1/2"

Base:
Aluminum Clad Base, painted (black)

Footing: (TBD)

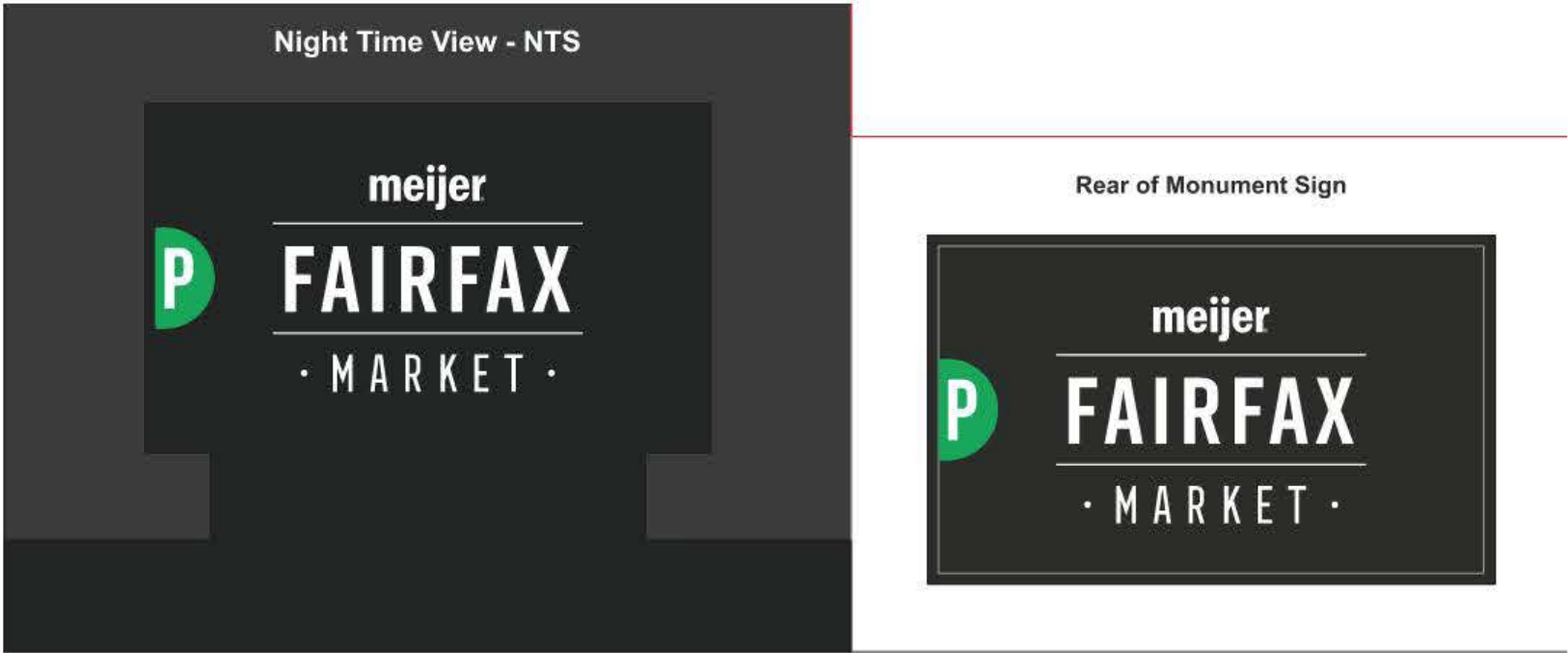
Quantity: (2) Monument Signs

Colors:

Black

White

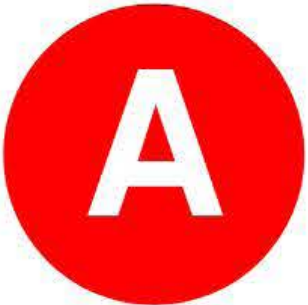
Green



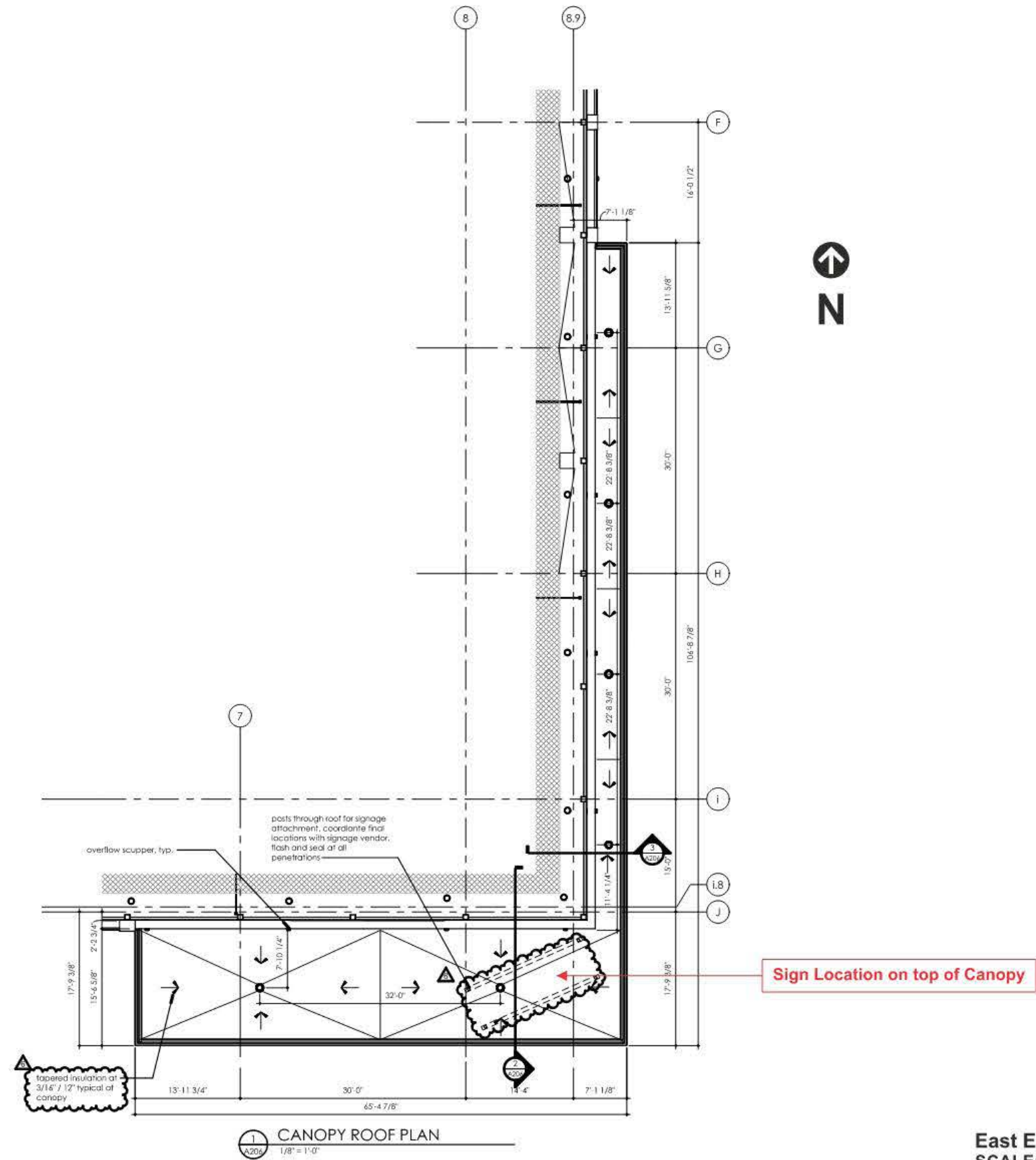
Proposed New Sign
A 4'-0" H. x 6'-6" W. Monument Sign: 26 sq. ft.



Monument Sign:
SCALE: 3/4" = 1'-0"



Top View: East Elevation Canopy Rooftop Sign.



East Elevation Rooftop Sign - Detail
SCALE: 1/16" = 1'-0"

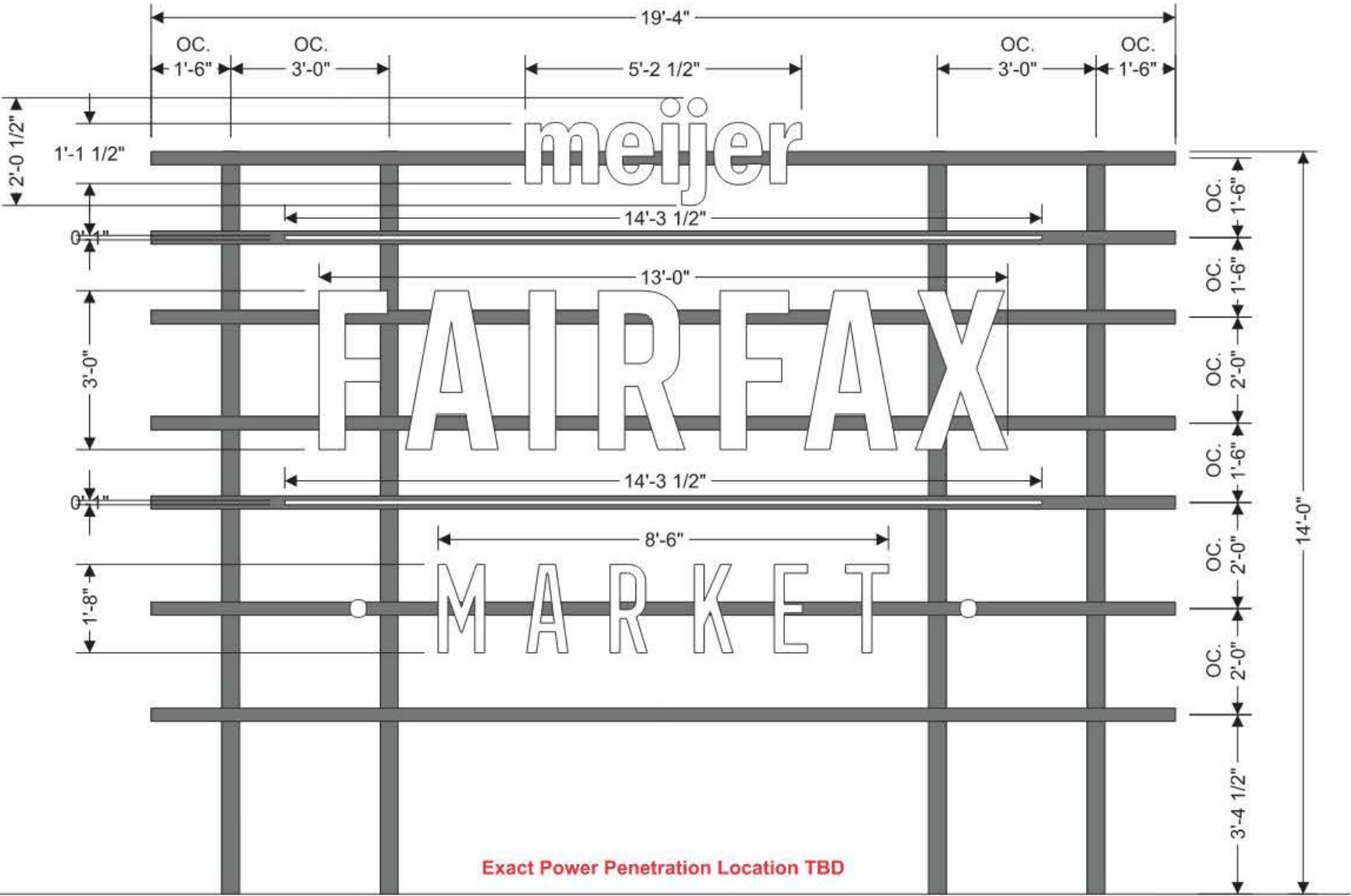


Electrical Information and Power Penetration Locations:
East Elevation Canopy Rooftop Sign

Proposed New Lettersets:
2'-0 1/2" H. x 5'-2 1/2" W. Meijer Letterset: 10.51 sq. ft.
3'-0" H. x 13'-0" W. Fairfax Letterset: 39 sq. ft.
1'-8" H. x 8'-6" W. Market Letterset: 14.11 sq. ft.

Total Sign Area: 63.62 sq. ft.

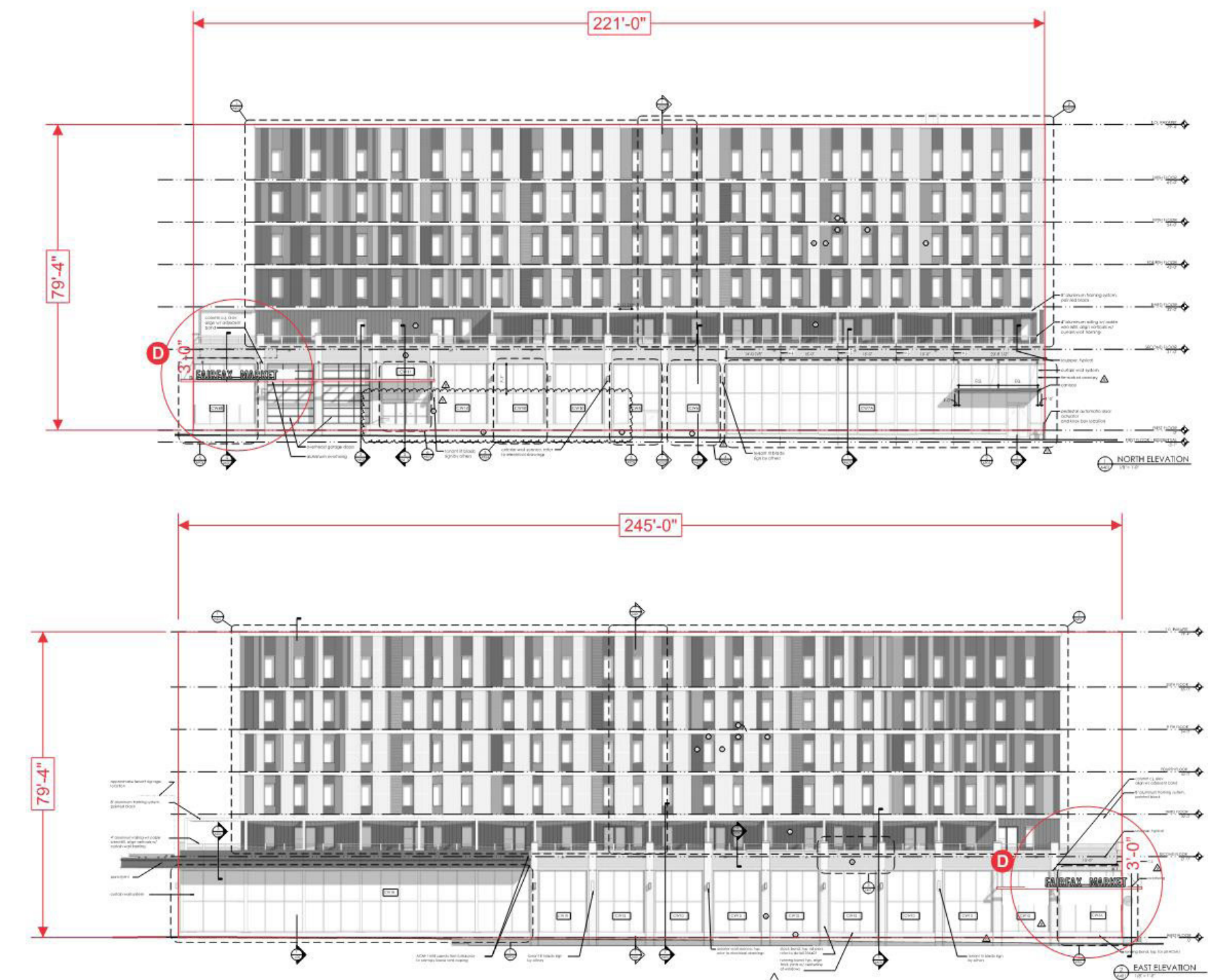
East Elevation Rooftop Sign
SCALE: 3/8" = 1'-0"



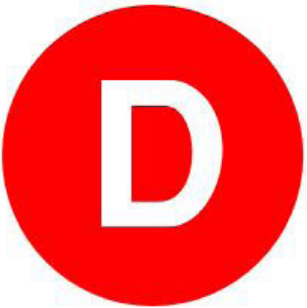
Proposed Sign: East & North Elevations Canopy Sign

2'-3 1/2" H. x 9'-3 1/2" W. Fairfax Letterset: 21.27 sq. ft.
2'-3 1/2" H. x 9'-6 1/4" W. Market Letterset: 21.80 sq. ft.

Total Proposed Wall Sign Area East Elevation: 43.07 sq. ft.
Total Proposed Wall Sign Area Allowed East Elevation: 386.50 sq. ft.
Total Proposed Wall Sign Area Below Allowed East Elevation: 343.43 sq. ft.



North Elevation Canopy Sign
SCALE: 1/32" = 1'-0"



East Elevation Canopy Sign
SCALE: 1/32" = 1'-0"

Sign Specifications: East & North Elevations Canopy Sign

Face-Lit Channel Letters Bottom Raceway Mounted to Canopy

Face-Lit Channel Letters
Bottom Raceway mounted to Canopy

LEDs:
US LED - Point XL2 Modules - Continuous Strip LEDs (white)

Power Supplies:
GE Tetra Power Supplies 60w 12v output

Faces:
Flat Cut Out 3/16" Translucent Polycarbonate Faces (white)

Trim Caps: 1" (black)

Returns: 3" deep .040" Aluminum, (white)

Backs: Pre-finished Backer Material (white)

LED Power Supply: 120v. 277v.

LED Dimmer Switch Component:
Manufacturer: JKL Components Corporation
Manufacturer Product Number: ZDM-01
Description: LED Dimmer Switch 12-24 V.

Raceway: 4 1/2" deep x 6 1/2" H. Aluminum, painted (to match storefront)

Quantity: (2 Sets)

East & North Elevation
Canopy Signs
SCALE: 3/8" = 1'-0"

Colors:



White Face & Returns

Black Trim Caps

Lighting:
LEDs: US LED - White
with Power Supplies Remotely Placed

Lighting Fixture Type:
US LED - Point XL2 Modules

Power Supplies:
(2) GE Tetra Power Supplies
60w 12v output

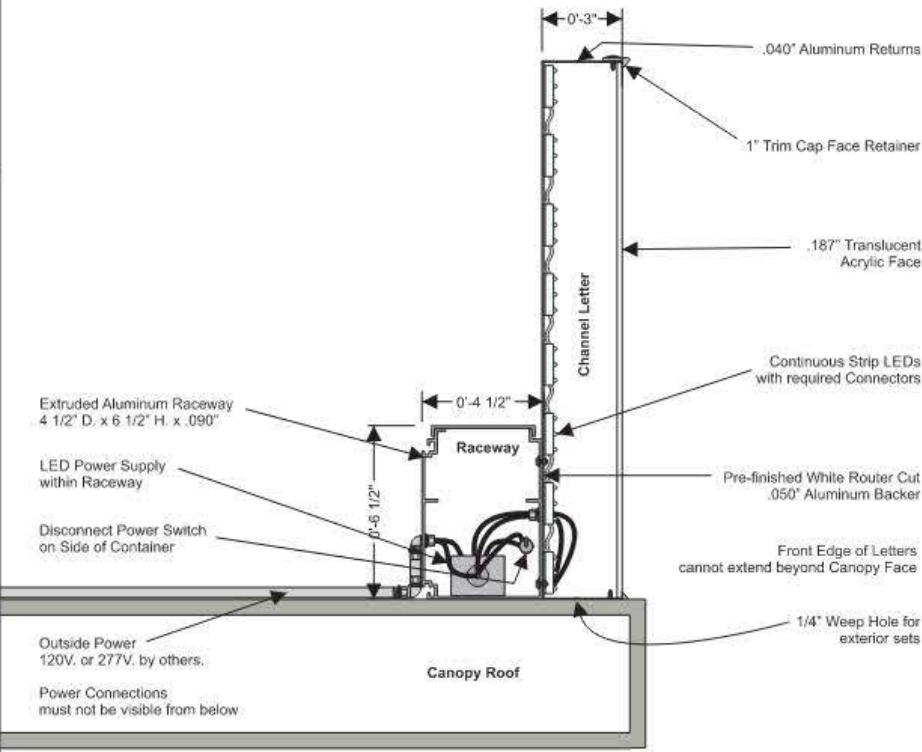
Electrical Information:
1.3/0.56 amps at 120/277v.

Lumens: Day (1,873) Night (200).

LED Quantities:
Approximately 103 Modules (may vary)

LED Layout: As Shown. (may vary)

The actual sign attachment technique depends on the type of building wall, and to be determined at Site Survey.

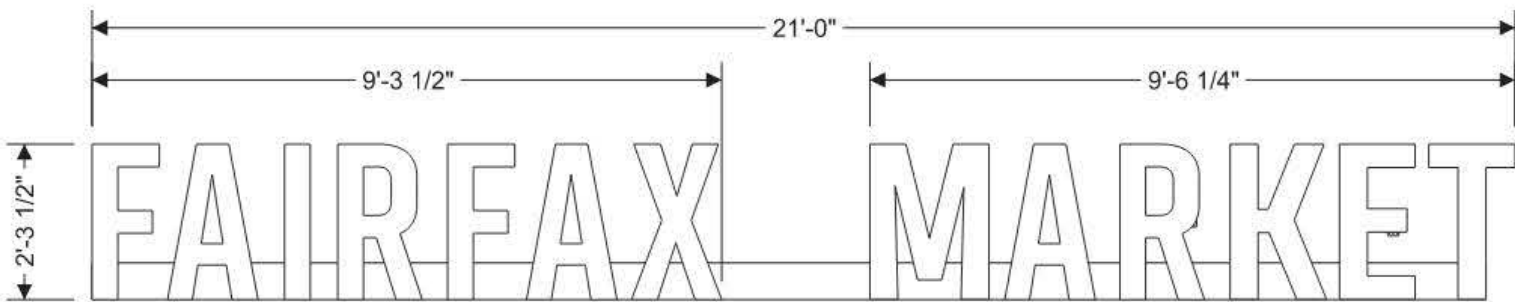


SECTION ASSEMBLY DETAIL
Typical Internally Illuminated (LEDs)
Channel Letter/Logo (Bottom Raceway Mounted)



Night Time View

FAIRFAX MARKET



Proposed Signs: Lit Square Blade Signs

2'-5 1/2" H. x 2'-5 1/2" W. Square Blade Signs: 6.04 sq. ft. x (2) = 12.08 sq. ft.

Total Proposed Square Blade Sign Area East Elevation: 12.08 sq. ft.

Total Proposed Square Blade Sign Area Allowed East Elevation: 392.50 sq. ft.

Total Proposed Square Blade Sign Area Below Allowed East Elevation: 380.42 sq. ft.



North Elevation Square Blade Signs
SCALE: 1/32" = 1'-0"



East Elevation Square Blade Signs
SCALE: 1/32" = 1'-0"

Sign Specifications: Lit Square Blade Signs

Internally Illuminated Double Faced Blade Signs with Polycarbonate Faces

Mounted to Wall with Brackets

Fabricated Aluminum Frame

1" Retainers and 1'-0" Returns:
Aluminum, painted (grey)

LEDs:
US LED - Point XL2 Modules Continuous Strip LEDs (white)

Power Supplies:
GE Tetra Power Supplies 60w 12v output

LED Dimmer Switch Component:
Manufacturer: JKL Components Corporation
Manufacturer Product Number: ZDM-01
Description: LED Dimmer Switch 12-24 V.

Faces:
Translucent Polycarbonate Faces (white)
with Applied Opaque Vinyl Overlay (grey)

Typical Hanging Bracket:
(2) Horizontal 2" Square Tube Brackets
welded to standard 3/8" Base Plates
with Attachment Hardware and Backing
as required, painted (grey)

Sign solidly hangs from Bracket.

Quantity:
(3 Blade Signs)

Lighting:
LEDs: US LED - White
with Power Supplies within Sign Body

Lighting Fixture Type:
US LED - Point XL2 Modules

Power Supplies:
(2) GE Tetra Power Supplies
60w 12v output.

Electrical Information:
1.3/.56 amps at 120/277v.

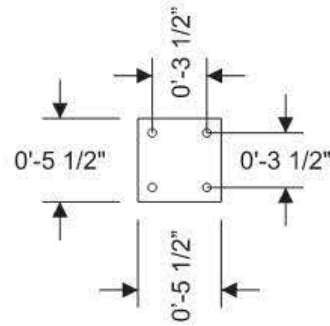
Lumens: Day (1,873) Night (200).

LED Quantities:
Approximately 38 Modules (may vary)

LED Layout: As Shown. (may vary)

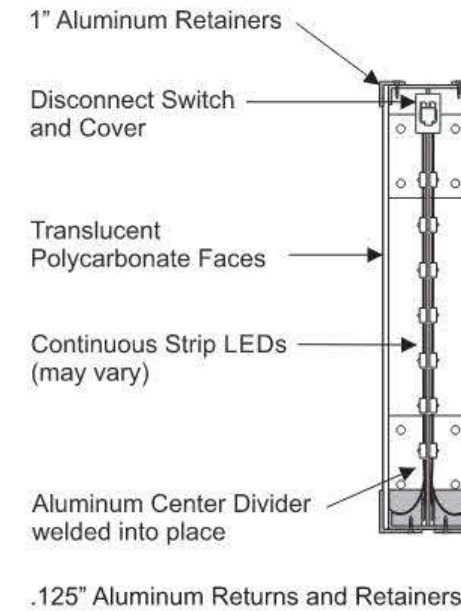
Colors:

	White
	PMS #425 Grey



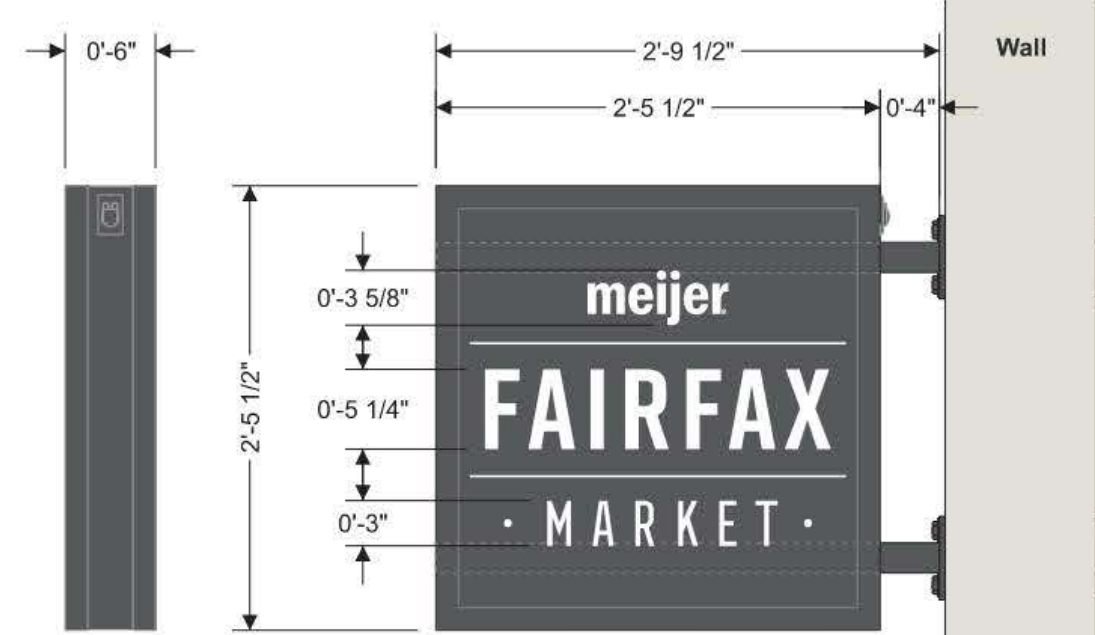
(4) Aluminum Base Plates
(2 inside and 2 outside)
3/8" thick fastened by
3/8" threaded rod

Base Plate Detail



Internal Structure

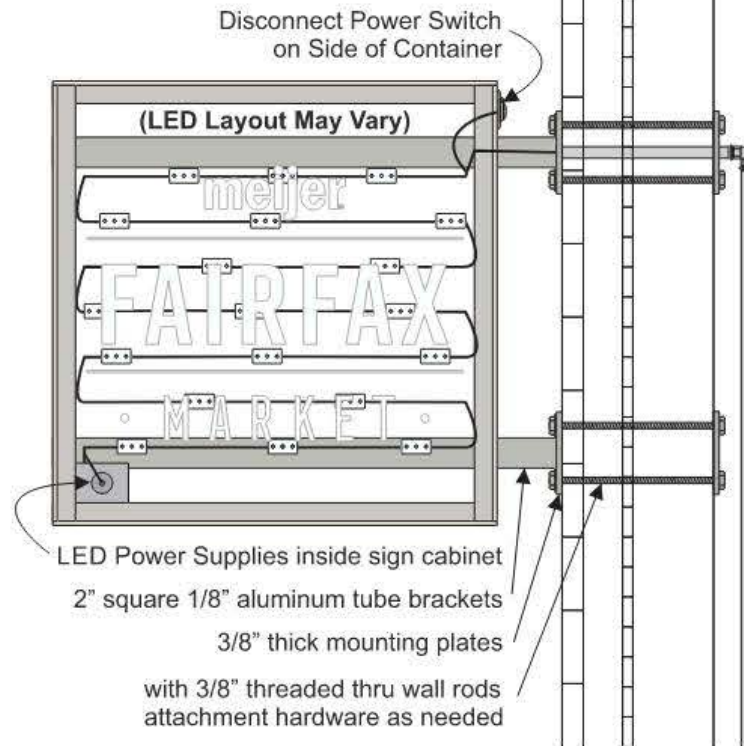
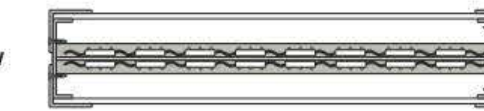
Lit Square Blade Sign SCALE: 1" = 1'-0"



Profile View

E 2'-5 1/2" H. x 2'-5 1/2" W. Square Blade Signs:
6.04 sq. ft. x (3) = 18.12 sq. ft.

Top View



5 1/2" x 3/8" thick
Aluminum Backer
Plate must span (2)
Studs minimum

Client to specify
color for Plate to
match interior wall

Existing Metal
Stud Framing Wall
with Sheathing,
Air Space &
Brick Face

Outside Power
120V. or 277V.
and Service
Disconnect
by others



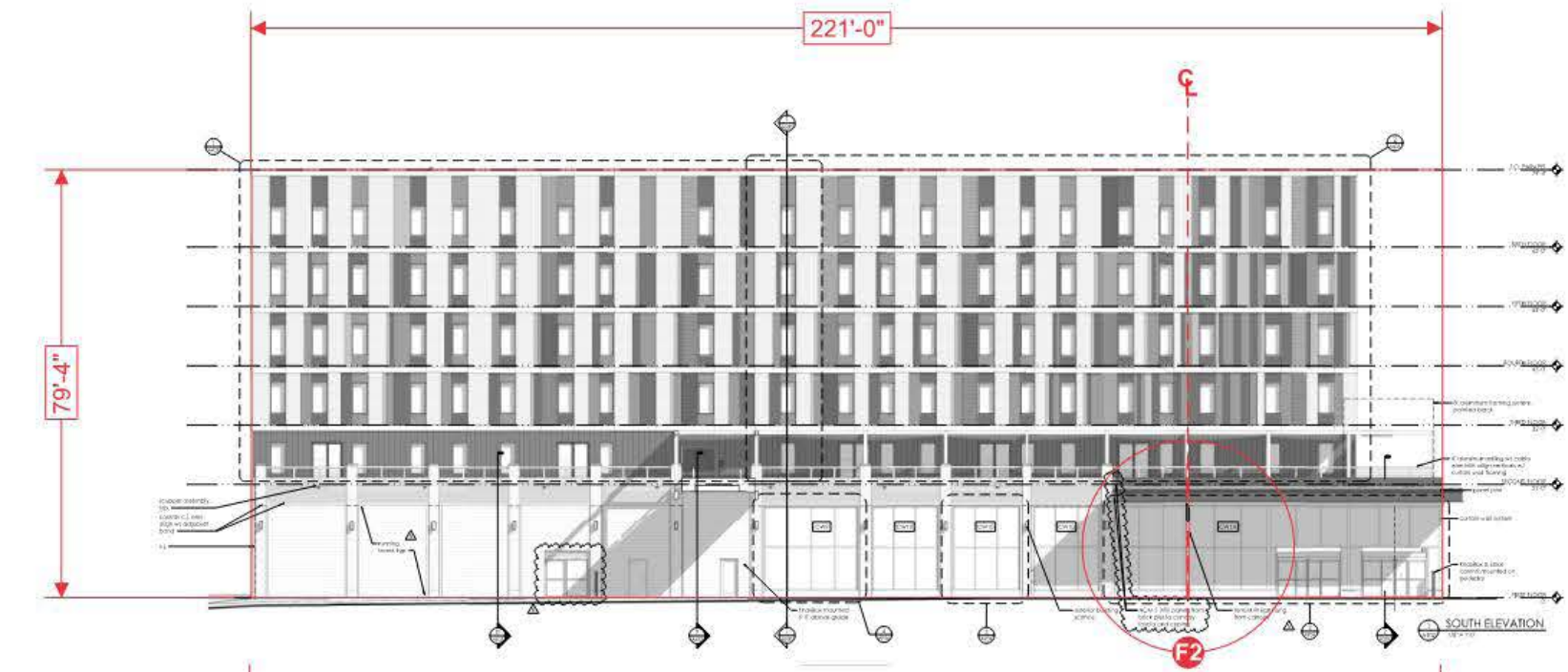
Proposed Signs:
Non Lit Round Blade Signs

2'-5 1/2" H. x 2'-5 1/2" W. Round Blade Sign: 6.04 sq. ft.

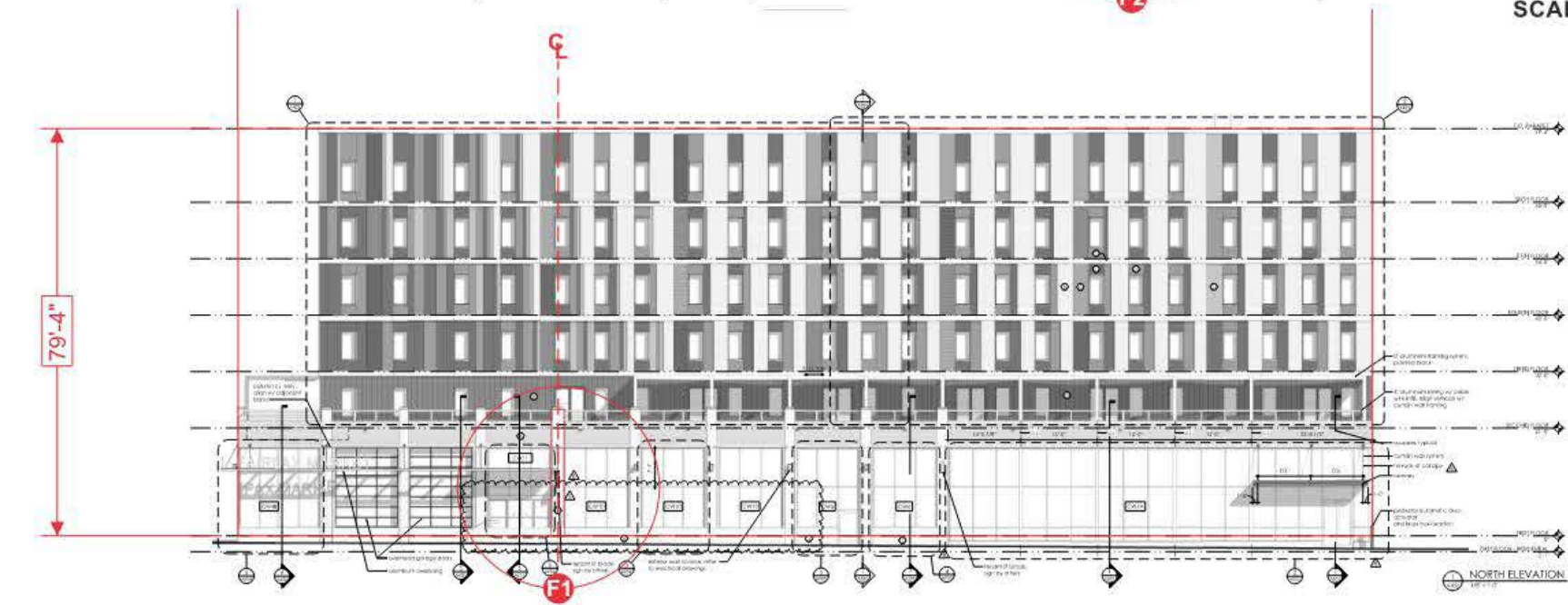
Total Proposed Round Blade Sign Area North Elevation: 6.04 sq. ft.

Total Proposed Round Blade Sign Area Allowed North Elevation: 356.50 sq. ft.

Total Proposed Round Blade Sign Area Below Allowed North Elevation: 350.46 sq. ft.



South Elevation Round Blade Signs
SCALE: 1/32" = 1'-0"



North Elevation Round Blade Signs
SCALE: 1/32" = 1'-0"



Sign Specifications:
Non Lit Round Blade Signs - Vertical Hang

Non Illuminated
Double Faced Blade Signs
with Flat Polycarbonate Faces

Mounted to Wall with Bracket

1 1/2" Retainers and 3" Returns:

Aluminum, painted (grey)

Faces:

Translucent Polycarbonate Faces (white)
with Applied Vinyl Graphic Overlay (opaque black)

Hanging Bracket:

Flat Horizontal Aluminum Plates mechanically fasten
the Blade Sign to a Steel Support Fin with (3) 1/2" Bolts.
The Support Fin is welded to a standard 3/8" Base Plate.

(4) 3/8" Threaded Rod Attachment Hardware as required.
painted (grey)

Sign solidly hangs from Bracket.

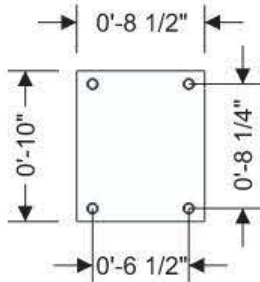
Quantity:

(2 Vertical Hanging Round Blade Signs)

Colors:

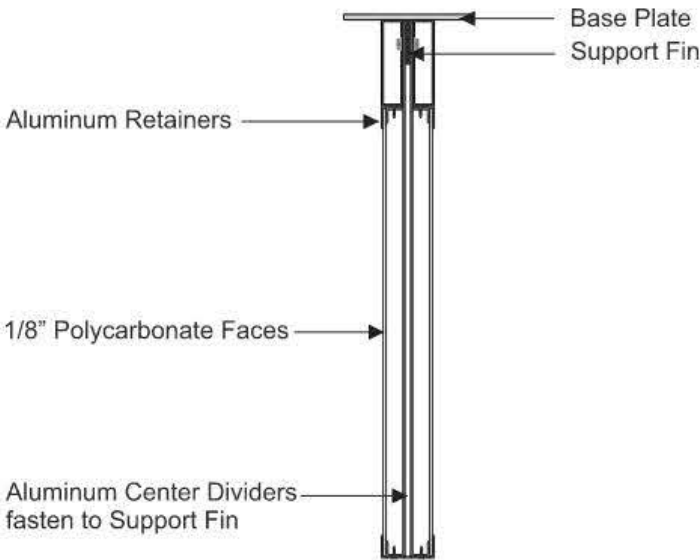
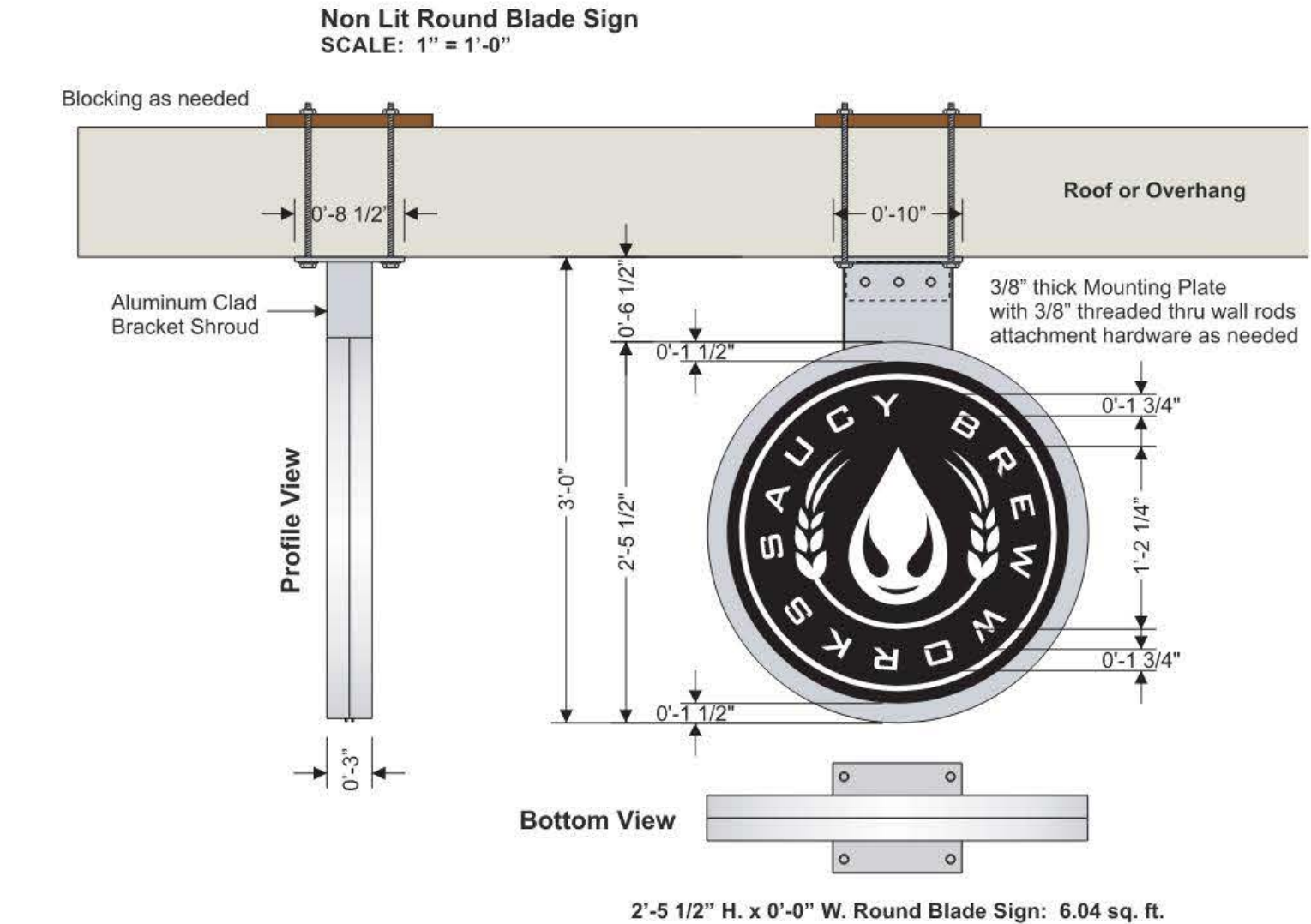


Reverse Side

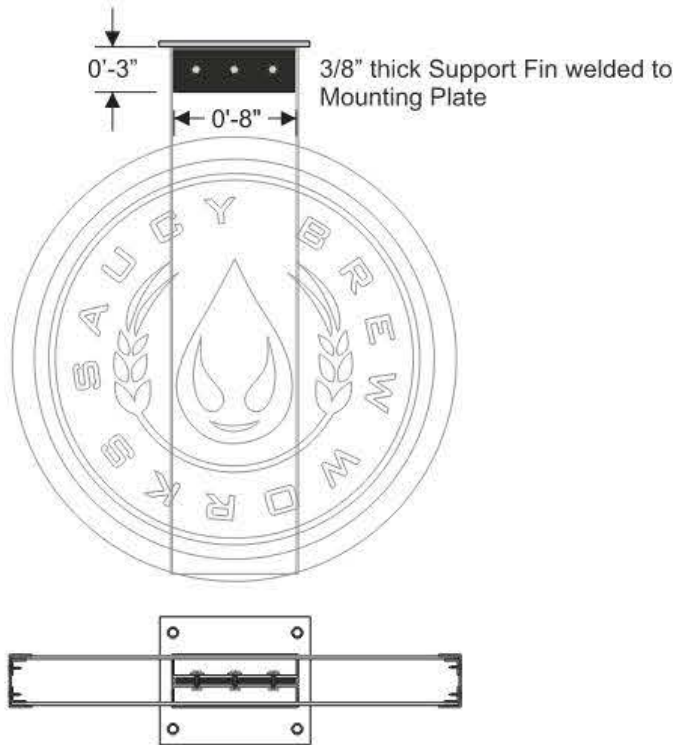


(1) Aluminum Base Plate
3/8" thick fastened by
3/8" threaded rod

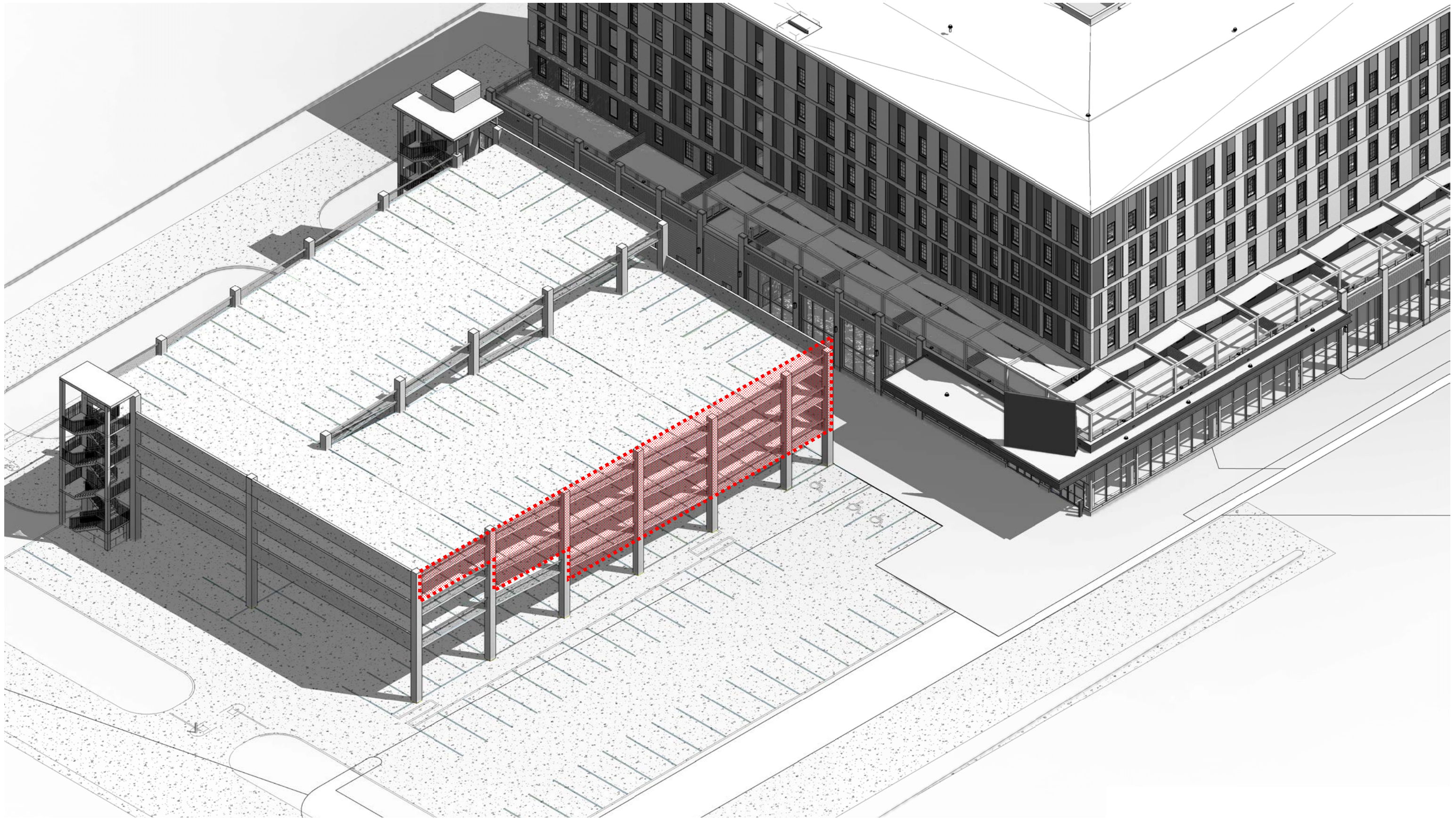
Base Plate Detail

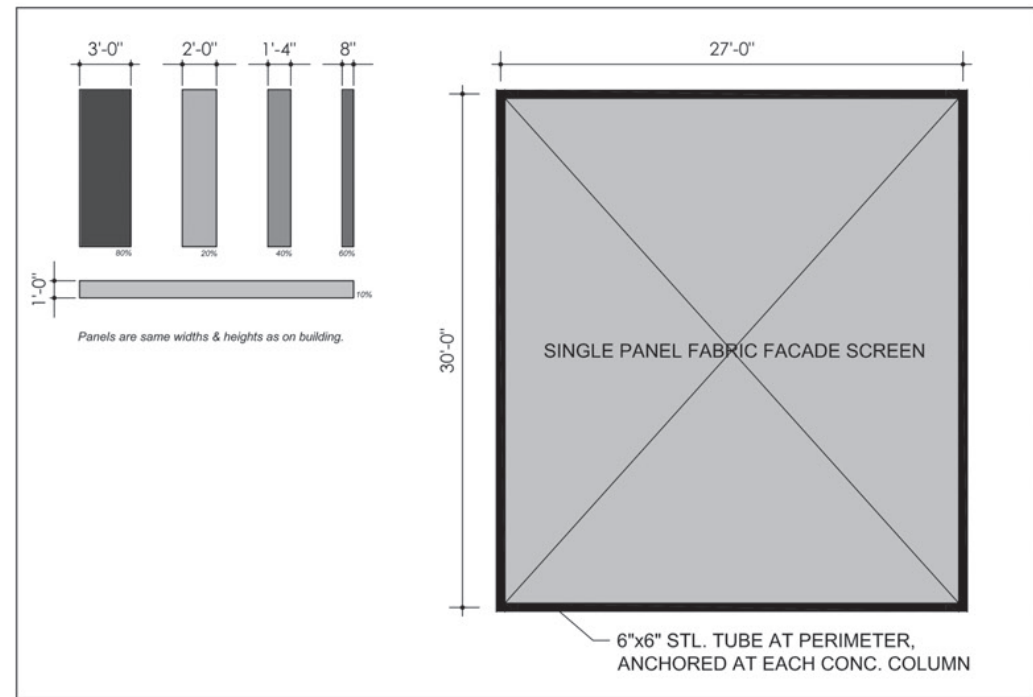
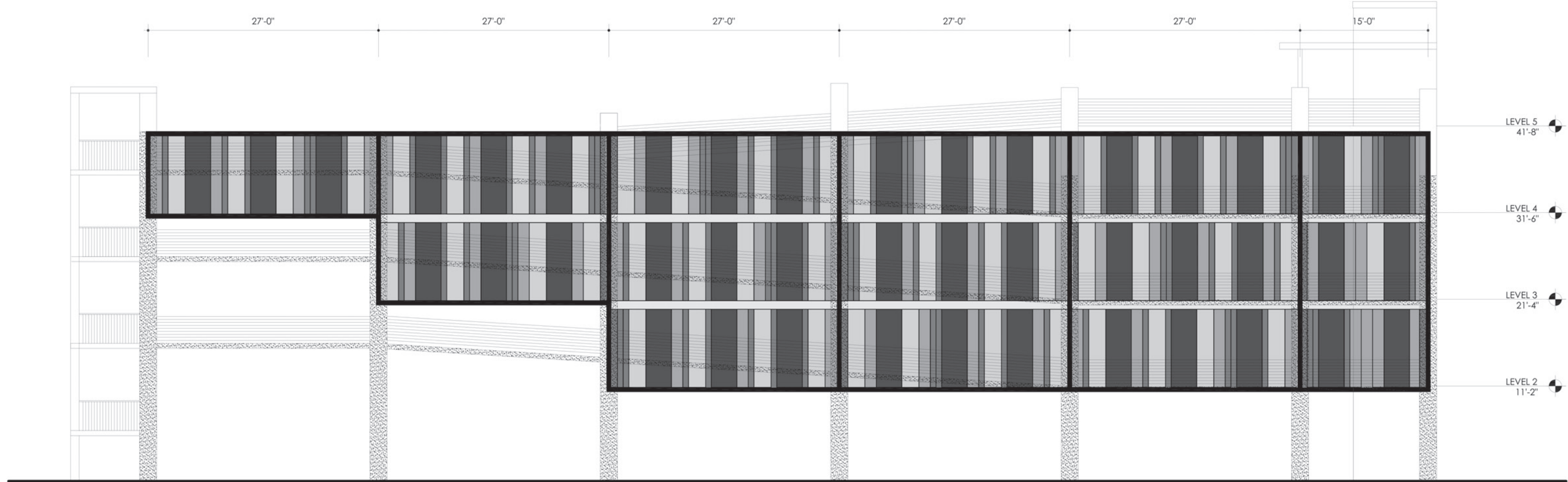


Internal Structure









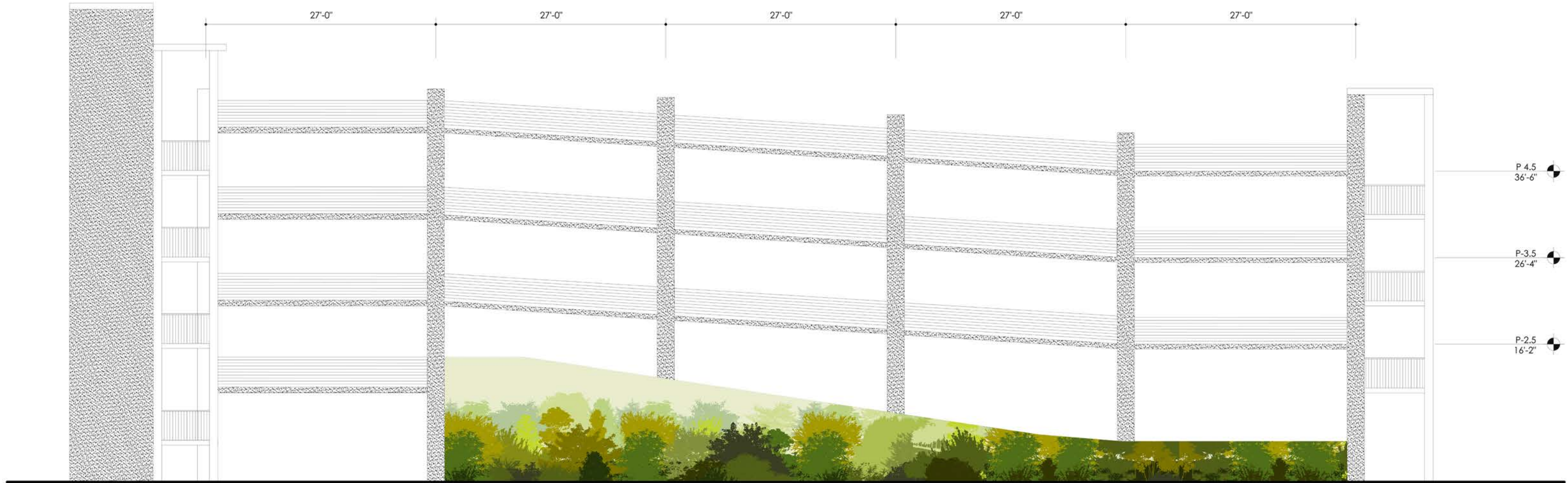
Building Facade



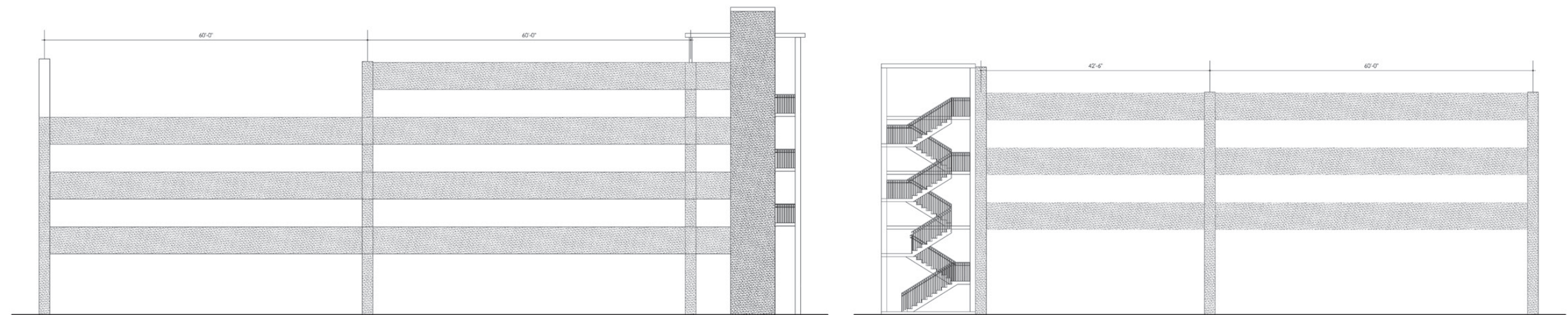
Garage Screening Product:

Exterior Fire-Rated Tensile Mesh Fabric
with Custom-Printed Graphic of the Same Patterning and Grey Tones of the Building Panels





West Elevation - Painted Landscape Mural on Cas-in-Place Concrete Ramp Wall



North Elevation

South Elevation



Committee Recommendation: Approved with comments:

- Larger than what zoning allows - very tastefully done, in scale with building size.
- South façade parking garage - consider/study some kind of treatment (similar to East 103rd) – South façade - very blank along Frank Ave. extension.



April 21, 2022

EC2022-014 – Chester 82 New Construction: Seeking Final Approval

Project Address: 1898 East 82nd Street

Project Representatives: Lynn Harlan, Marous Development Group

Arne Goldman, Marous Brothers Construction

Jon Stephens, Sullivan Bruck Architects

Jessica Neal, Sullivan Bruck Architects

Lothario Marchmon, Community Career Outreach

Committee Recommendation: Approved as presented

PLANNING COMMISSION & DESIGN REVIEW SUBMISSION FOR:

CHESTER 82
1898 E. 82ND STREET
CLEVELAND, OHIO 44103

DEVELOPER:

CHESTER 82 LLC
38119 STEVENS BLVD.
WILLOUGHBY, OHIO 44094

LOCATION MAP - CHESTER AVE. & 82ND DEVELOPMENT

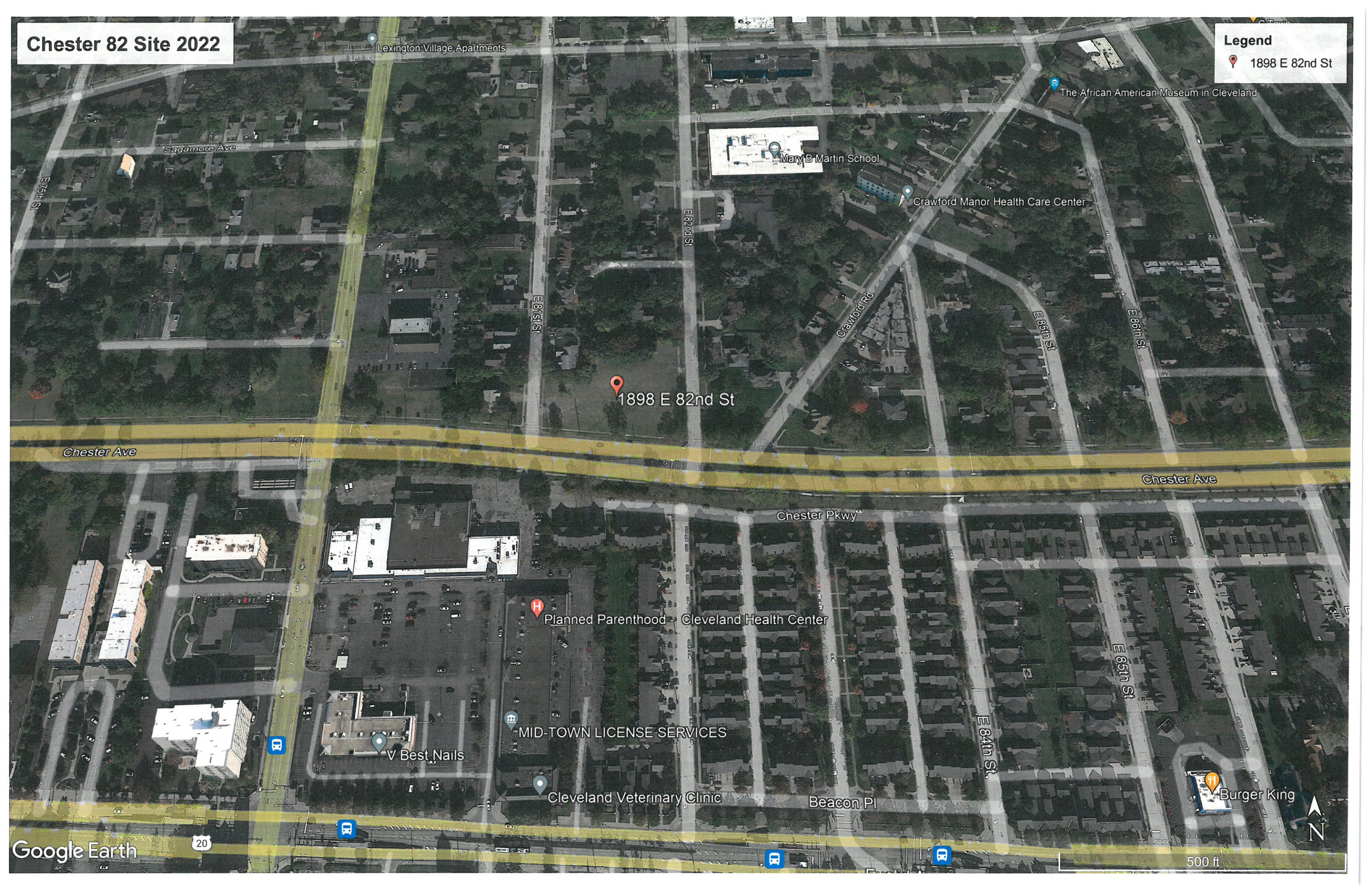


Chester Ave. & 82nd Street Apartments
Cover

Chester 82 Site 2022

Legend

📍 1898 E 82nd St



1898 E 82nd St

322

Chester Ave

322

Crawford Rd



100 ft

Looking at the Site from the corner of E. 82nd St. & Chester Ave.

Legend
📍 1898 E 82nd St



Site Looking East from E.81st Street & Chester Ave.

Legend
1898 E 82nd St



NEW 8' HT.
PLANTING
BUFFER BEHIND
NEW FENCE

NEW 6' TALL
WOOD BOARD-
ON-BOARD
PRIVACY FENCE -

NEW P.T. WOOD
OR MTL. TRELLIS
STRUCTURE AT
PROPERTY LINE -
10'-0" TALL WITH
CLIMBING VINES
(FLOWERING)
PLANTED AT BASE

NEW PLANTING
BUFFER BEHIND
NEW TRELLIS

WATER /
MAINT.

NEW MIN. 12' HT.
SHADE TREES

ELECTRICAL

NEW TREES PLANTED
IN TREE LAWN PER
CITY GUIDELINES



SULLIVAN BRUCK
ARCHITECTS

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TRASH

EXISTING
HOUSE

EXISTING
DECK

OUTDOOR
SEATING

BIKE
STORAGE

BIKE STORAGE

COMMUNITY
SPACE

HARDSCAPE PLAZA W/
BENCHES (2,158 S.F.)

Chester Ave. & 82nd Street Apartments

Site Plan

SLIDING GATE

TOTAL SITE AREA = 1.6134 acres
= 70,277 sf
Green Space = 10,282 sf = 14.63%
Activity Plaza = 2,158 sf = 3.07%
Total Green & Open = 12,440 sf = 17.70%

UNIT MIX

Studios:	29	22.1%
1 bd	52	39.7%
1 bd + den	28	21.4%
2 bd	22	16.8%
TOTAL	131	100%

Total beds: 153

PARKING

72 spaces in podium
66 surface spaces
138 spaces total
1.05 spaces per unit

NEW TREES PLANTED
IN TREE LAWN PER
CITY GUIDELINES

DOG
WASH
MAIL

MOVE-IN
ENTRANCE

PACKAGES
COFFEE

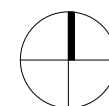
LEASING
OFFICE

LOBBY

VESTIBULE

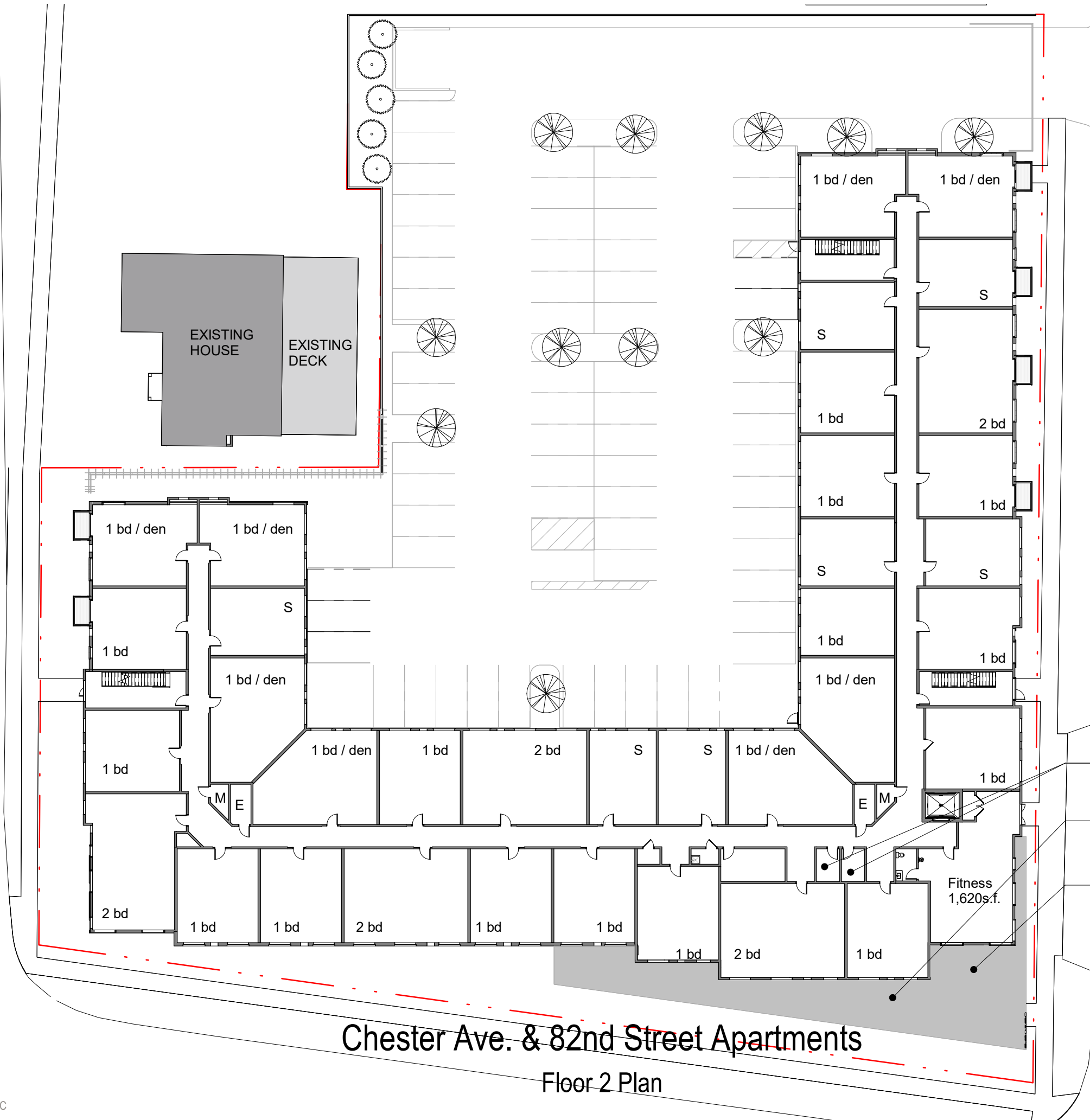
Site Plan

1" = 30'-0"



MAROUS
DEVELOPMENT
GROUP

21016
2023.04.11
D1.1



- RENTABLE STORAGE UNITS
- OPTIONAL OUTDOOR /PATIO SPACE FOR (4) UNITS
- OPTIONAL OUTDOOR FITNESS SPACE

Floor 2 Plan
1" = 30'-0"

Corner of Chester Ave & E. 82nd Street





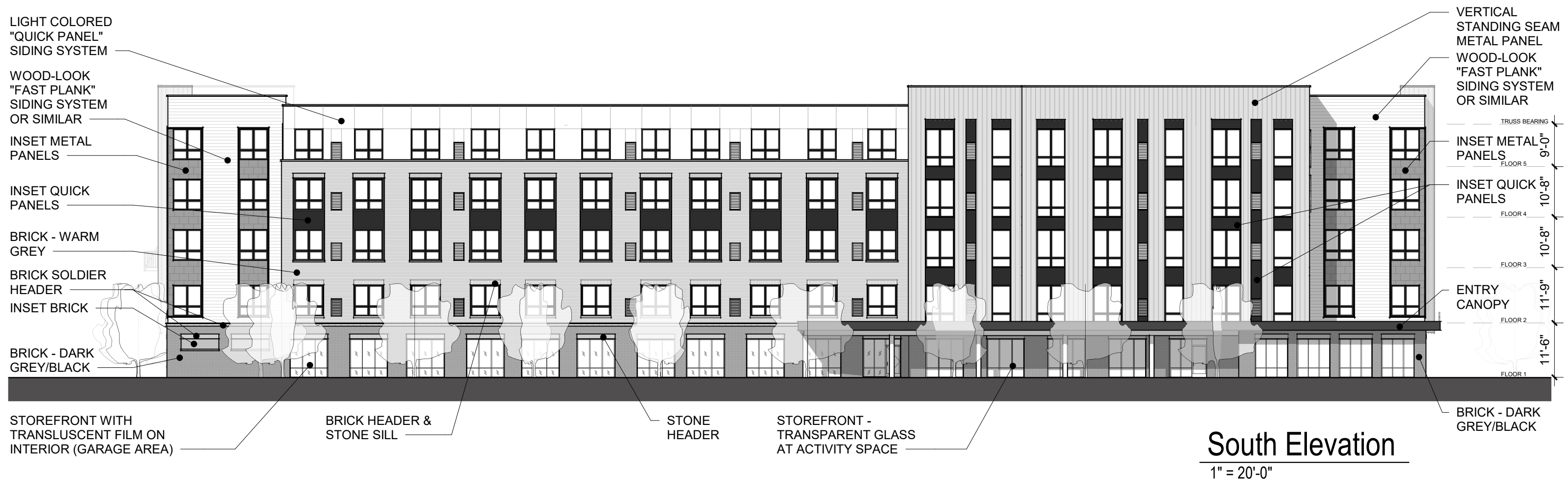
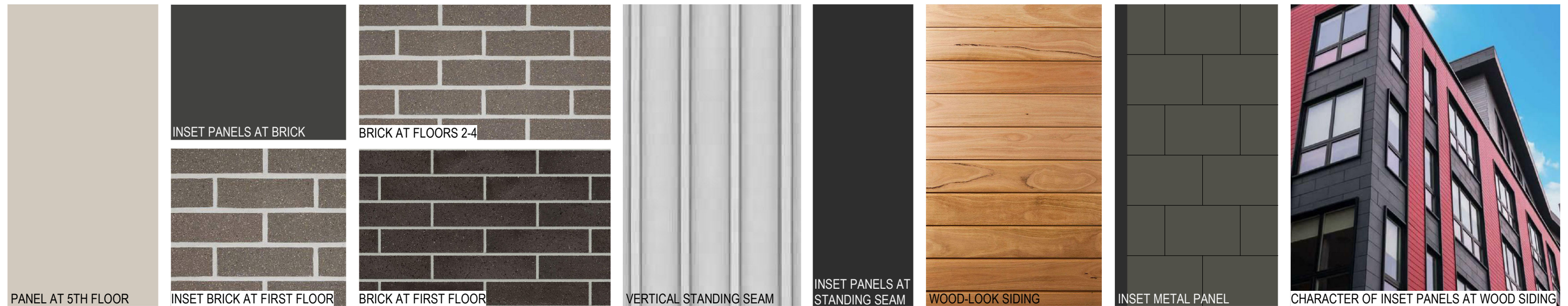
E. 82nd Street at Parking Lot Entry

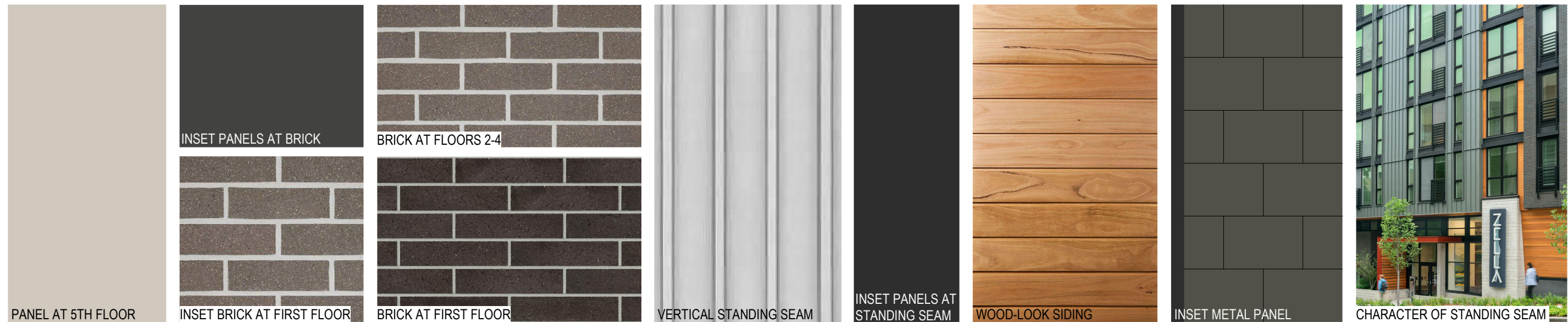
Corner of Chester Ave & E. 81st Street

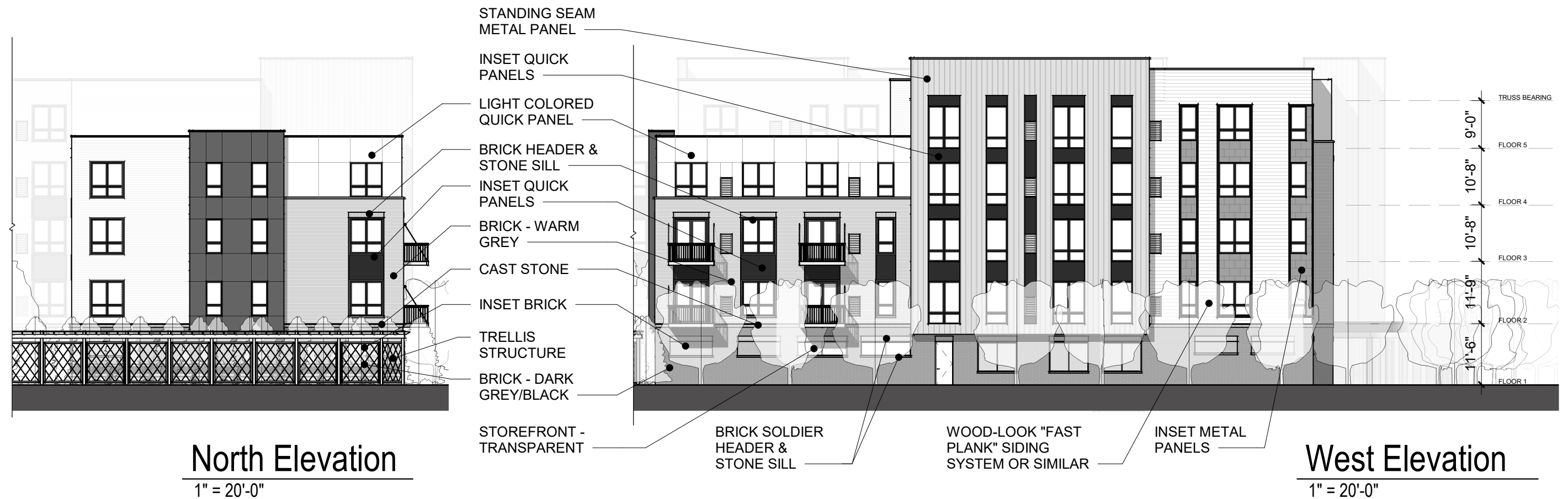




Rear Corner of Property at E. 81st Street







Chester Ave. & 82nd Street Apartments 81st Street Elevation



North Elevation
1" = 20'-0"



SIDING AT COURTYARD AT FLOORS 2-4
MFR: CERTAINTED MAINSTREET
COLOR: HERRINGBONE



PANEL SIDING AT 5TH FLOOR
MFR: QUICK PANEL
COLOR: SW 7050 USEFUL GRAY



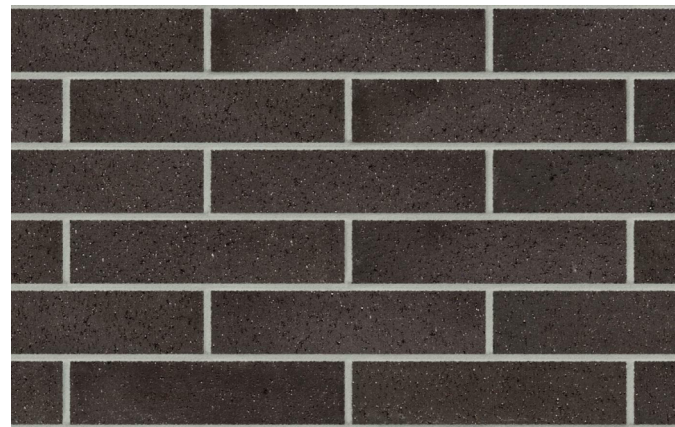
INSET PANELS AT BRICK AT FLOORS 2-4
MFR: QUICK PANEL
COLOR: SW 7069 IRON ORE



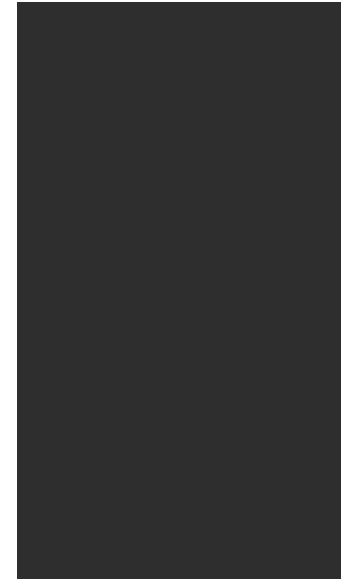
BRICK AT FLOORS 2-4
MFR: BELDEN BRICK
COLOR: ANCHOR GRAY VELOUR



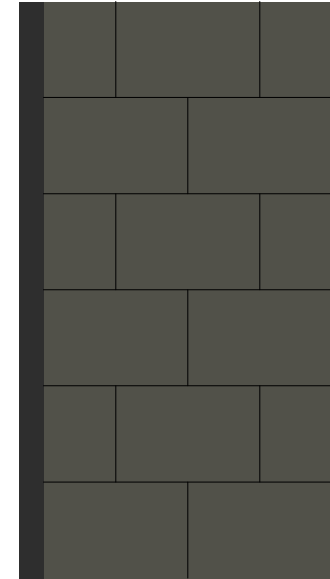
INSET BRICK AT FIRST FLOOR
MFR: INTERSTATE STRUCTURAL BRICK
COLOR: TBD, SIMILAR TO BELDEN
ANCHOR GRAY VELOUR



BRICK AT FIRST FLOOR
MFR: INTERSTATE STRUCTURAL BRICK
COLOR: MIDNIGHT BLACK / BLACK OPAL



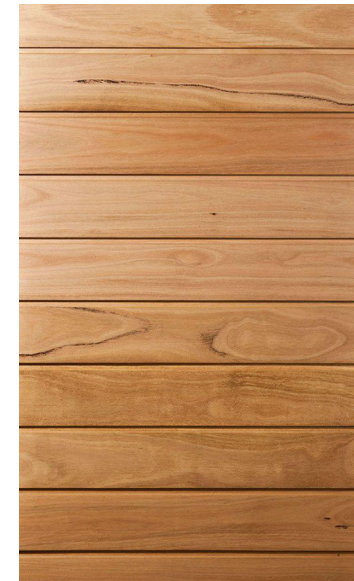
INSET PANELS AT STANDING SEAM
MFR: METAL SALES OR QUICK PANEL
COLOR: BLACK OR SW 6258 TRICORN BLACK



INSET PANELS AT WOOD
MFR: QUICK PANEL
COLOR: SW 7048 URBANE BRONZE



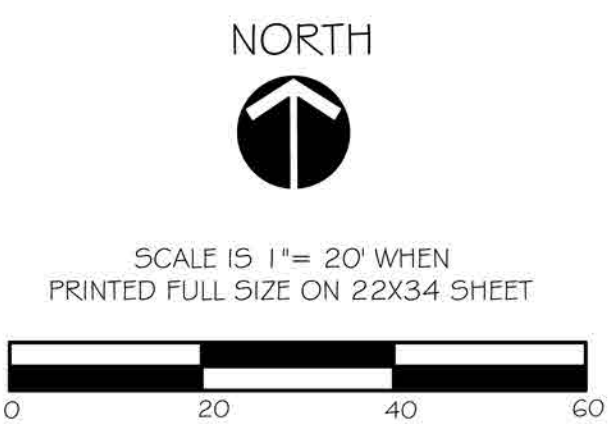
VERTICAL STANDING SEAM AT FLOORS 2-5
MFR: METAL SALES, IMAGE II
OR MINI-BATTEN 1.5"
COLOR: METALLIC SILVER OR SIMILAR



WOOD-LOOK SIDING AT FLOORS 2-5
MFR: TBD
COLOR: SIMILAR TO KRONOSPAN AVIGNON
OAK OR FAST PLANK KNOTTY PINE

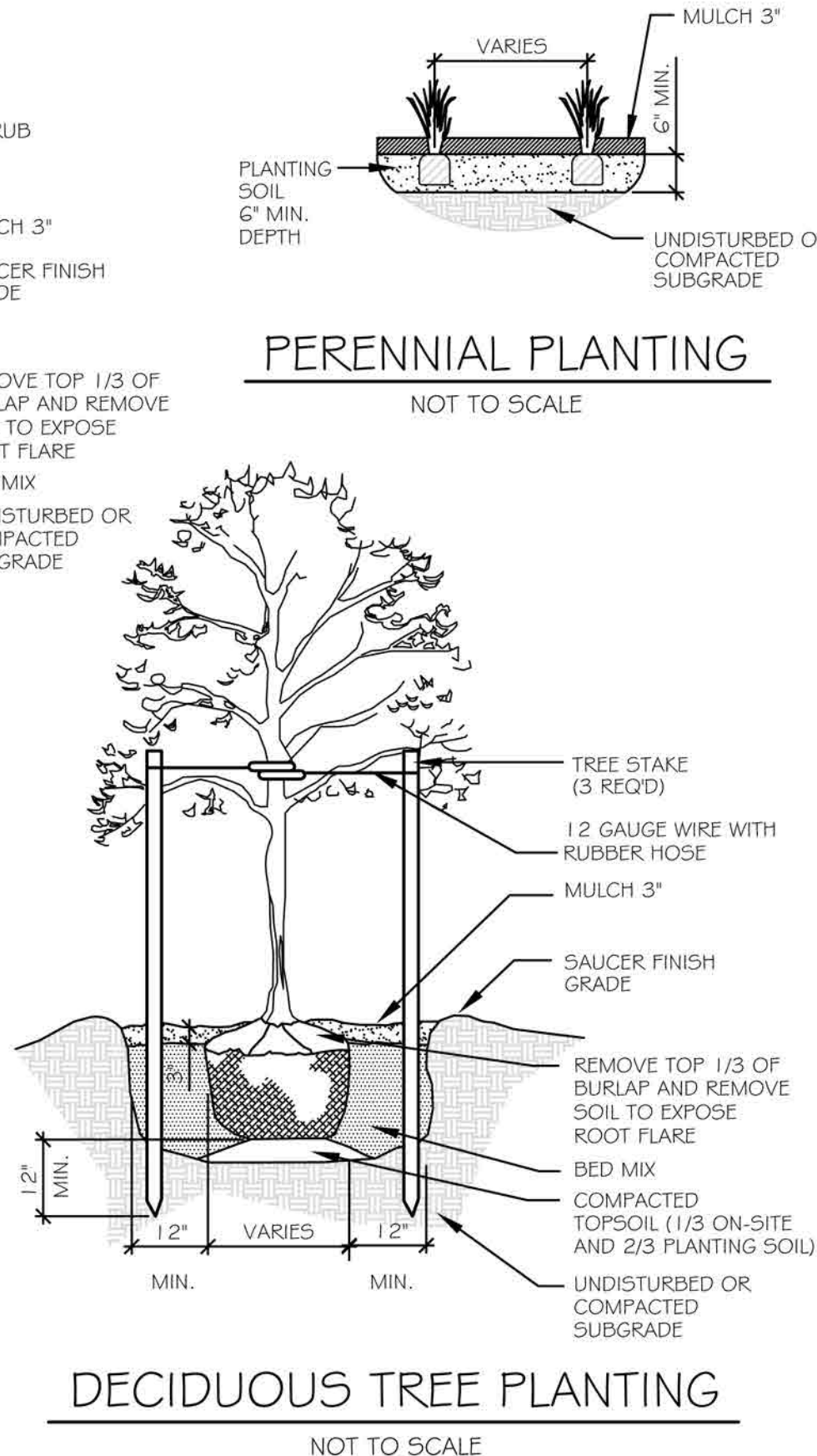
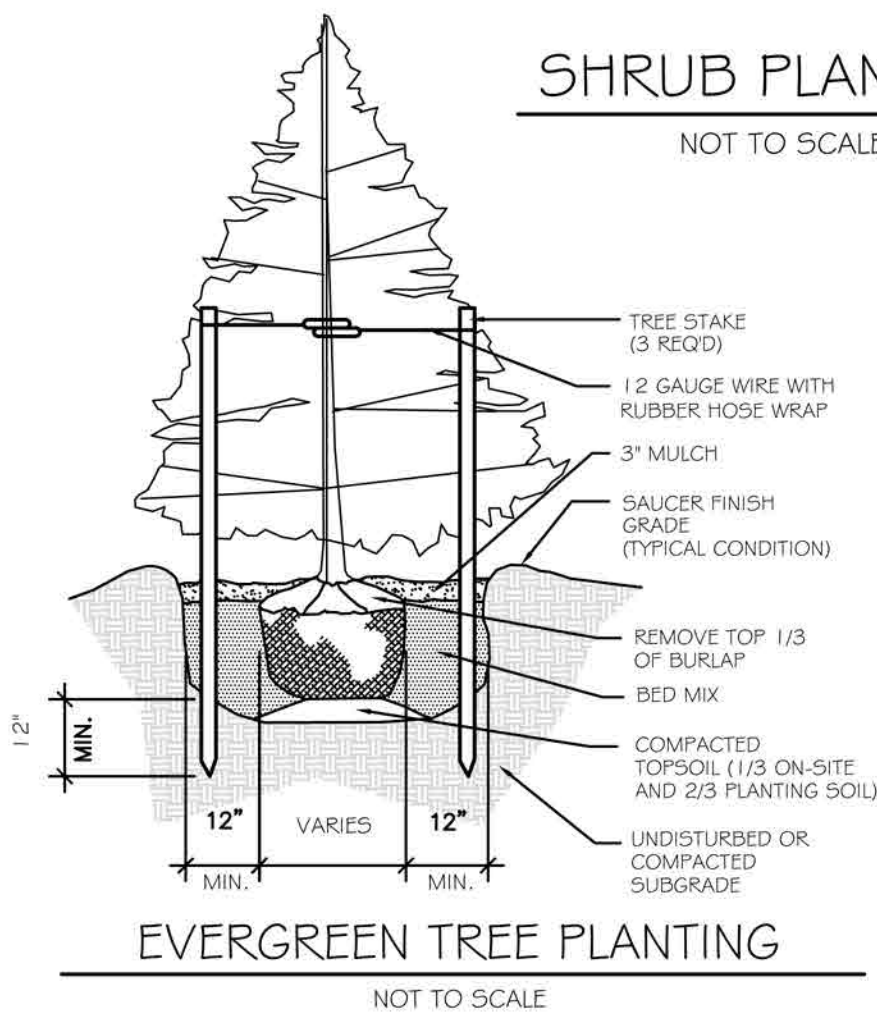
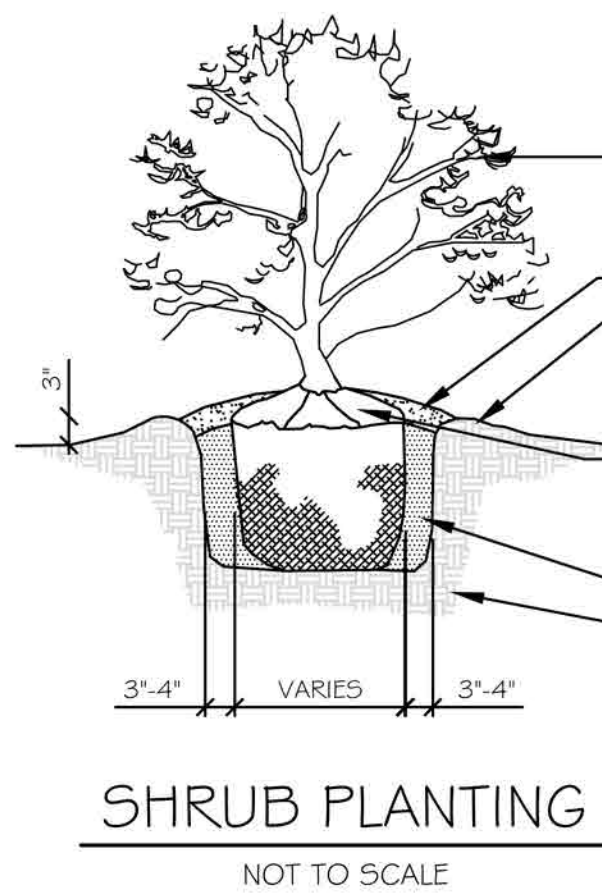


PLANTING SCHEDULE - SITE					
Code	Qty.	Botanical Name	Common Name	Size	Notes
AC-BO	8	Acer r. 'Bowhall'	Bowhall Maple	2- 1/2" C; B&B	
AM-AB	14	Amelanchier x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1- 3/4" C; B&B	
CA-CA	8	Carpinus caroliniana	American Hornbeam	2- 1/2" C; B&B	
IL-CB	1	Ilex x. China Boy	China Boy Holly	36"	Cont.
IL-CG	5	Ilex x. China Girl	China Girl Holly	36"	Cont.
PL-AB	5	Platanus x a. 'Bloodgood'	Bloodgood London Planetree	2- 1/2" C; B&B	
TH-TE	7	Thuja o. 'Techny'	Mission Arborvitae	6"	B&B
TH-CC	17	Thuja p. 'Can Can'	Can-Can Western Red Cedar	6"	B&B



GENERAL NOTES

1. MODIFICATIONS TO THE DESIGNS MAY BE REQUIRED TO ACCOMMODATE VARYING FIELD CONDITIONS OR MODIFIED PLANT ARRANGEMENTS.
2. LANDSCAPE ARCHITECT TO BE THE AUTHORITY FOR INTERPRETATION OF PLAN AND QUALITY OF WORK.
3. ALL SUBSTITUTIONS SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT.
4. ALL MEASUREMENTS, ELEVATIONS, & PROPERTY LINE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY VARIATIONS OR DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
5. IF NO DISCREPANCIES ARE REPORTED PRIOR TO CONSTRUCTION AND THE OWNER OR CONTRACTOR DOES NOT EMPLOY THE LANDSCAPE ARCHITECT FOR THE CONSTRUCTION PHASE OF THE PROJECT, THE LANDSCAPE ARCHITECT SHALL BE HELD HARMLESS AND NOT RESPONSIBLE FOR MISINTERPRETATIONS, ERRORS, OR CHANGES MADE BY THE OWNER OR CONTRACTOR.
6. ALL SITE INFORMATION BASED ON SULLIVAN BRUCK ARCHITECTS, 8 S. GRANT AVE., COLUMBUS, OH 43215. 614.464.9800. SITE PLAN DATED 12.15.22.
7. ALL WALL ELEVATIONS, PATIO ELEVATIONS, FINISHED GRADES, AND DRAIN LINE ELEVATIONS TO BE FINALIZED IN THE FIELD.
8. DEPTH OF ALL FOOTERS TO BE 3'-6" OR MEET ALL LOCAL BUILDING CODES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS.
10. CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES, SEPTIC SYSTEMS, IRRIGATION SYSTEMS, AND PROVIDE PROPER UTILITY PROTECTION PRIOR TO CONSTRUCTION. CALL APPROPRIATE STATE AUTHORITIES FOR MARKING. IF UNDERGROUND UTILITIES, CONSTRUCTION, OR SOLID ROCK LEDGES ARE ENCOUNTERED, OTHER LOCATIONS FOR PLANTINGS MAY BE SELECTED BY THE CONTRACTOR WITH THE OWNER/LANDSCAPE ARCHITECT'S APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN-UP ASSOCIATED WITH HIS CONSTRUCTION PROCEDURES.
11. QUALITY AND SIZES OF PLANTS TO MEET AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS.
12. ALL SUBSTITUTIONS OF PLANT SIZES AND VARIETIES SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
13. IF QUANTITIES LISTED IN PLANT LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
14. CONTRACT SHALL CONSIST OF TOTAL UNITS AUTHORIZED BY THE OWNER.
15. THIS PROPERTY MAY BE LOCATED IN AN AREA WITH A DENSE DEER POPULATION. IF DEER ARE HUNGRY ENOUGH THEY WILL EAT ALMOST ANYTHING, INCLUDING PLANTS NOT NORMALLY EATEN BY DEER. IF OWNER SHOULD NOTICE ANY DEER GRAZING ON THEIR PROPERTY, THEY SHOULD TAKE IMMEDIATE ACTION IN PROTECTING THE PLANTS IN THEIR YARD.
16. FOR PLANTING BED PREPARATION, LOOSEN EXISTING SOIL TO A DEPTH OF 6". ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4" ABOVE FINISHED LAWN GRADE. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND OR AWAY FROM PLANTING BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADE ABOVE THE FINISHED FLOOR ELEVATION OR WATER-PROOFING LINE ON FOUNDATION.
17. PREPARE PLANTING BEDS BY APPLYING ROUND-UP AS PER LABEL DIRECTIONS TO WEEDS OR GRASS GROWTH IN PLANTING AREAS ON-SITE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO TAKE EFFECT. SCARIFY PLANTING AREAS TO A MINIMUM DEPTH OF SIX INCHES. TILL IN TOPSOIL, SANDY LOAM, AND ORGANIC MATERIAL (BED MIX). ADD 4 INCHES OF BED MIX TOPSOIL TO PLANTING AREAS. TILL IN SOIL TO CREATE A MIX OF EXISTING SOIL AND BED MIX. BRING BEDS TO GRADE AND RAKE TO REMOVE WEEDS, CLODS, ROCKS WITH A DIAMETER OF GREATER THAN ONE INCH. EXISTING TURF AREAS, IF ANY, THAT HAVE BEEN DAMAGED OR SCARRED DURING THE PLANTING OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
18. LEAF HUMUS TO BE MIXED INTO BED AREAS WHERE PERENNIAL PLANTINGS WILL BE LOCATED.
19. APPROPRIATE QUANTITIES OF 12-12-12 AGRIFORM SOLID FERTILIZER TABLETS (OR EQUAL) TO BE APPLIED TO ALL PLANTINGS.
20. ALL BEDS SHALL BE EDGED WITH A DEFINED, CUT EDGE.
21. ALL NYLON ROPING AND TWINE SHALL BE REMOVED PRIOR TO PLANTINGS. ALL NON-TREATED BURLAP AND/OR NON-ROT BURLAP TO BE REMOVED FROM THE TOP HALF OF THE ROOTBALL.
22. MULCH ALL PLANTINGS, BEDS, AND DISTURBED AREAS WITH A 3" DEPTH OF DOUBLE SHREDDED BARK MULCH.
23. ALL PLANT MATERIALS AND GROUNDCOVERS TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE FINAL ACCEPTANCE OF WORK.
24. ALL SHRUBS AND TREES TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
25. LAWN INSTALLATION: SHADED LAWN AREAS TO BE SEEDED WITH A PREMIUM SHADE MIX. ENTIRE LAWN AREAS TO BE SEEDED WITH DELUXE SUN MIX (INCLUDING OVERSEEDING SHADE AREAS). AREAS TO BE SEEDED TO BE WITHOUT CONSTRUCTION DEBRIS, WEEDS, OR ROCKS GREATER THAN 3/4" DIAMETER. APPLY A MINIMUM 2" OF TOPSOIL TO ALL LAWN AREAS.
26. RESEED ALL DISTURBED AREAS WITH THE APPROPRIATE SEED MIX.
27. ALL SEEDED AREAS TO BE COVERED WITH A 1-1/2" THICK LAYER OF NON-COMPACTED STRAW.
28. ALL PAVED SURFACES TO HAVE A MINIMUM 1% SLOPE. ALL PROPOSED PAVEMENT TO MEET EXISTING PAVEMENT FLUSH.
29. A WEATHERPROOF GFCI OUTLET NEEDS TO BE INSTALLED AT EACH TRANSFORMER LOCATION SHOWN ON THE LANDSCAPE PLAN. OUTLET TO BE INSTALLED BY A LICENSED ELECTRICIAN.
30. CONTRACTOR IS RESPONSIBLE FOR WATERING NEW PLANT MATERIAL UNTIL FINAL ACCEPTANCE OF WORK.
31. CONTRACTOR TO REMOVE STAKING ONE YEAR FROM DATE OF FINAL ACCEPTANCE AS PART OF ORIGINAL CONTRACT.
- 32.



DATE	NOTES
04.25.22	PREL. PLAN
06.29.22	PREL. PLAN - UPDATE
10.16.22	PREL. PLAN - UPDATE
11.03.22	LANDSCAPE PLAN
12.28.22	LANDSCAPE PLAN
03.28.22	UPDATED ENTRY PLANTING



Bowhall Maple



Bloodgood London Planetree



Prince Sentry Ginkgo



Popcorn Viburnum



Little Princess Spiraea



Sixteen Candles Summersweet



Little Limelight Hydrangea



Green Velvet Boxwood



Everlow Yew



Bowhall Maple



Bloodgood London Planetree



Prince Sentry Ginkgo



Popcorn Viburnum



Little Princess Spiraea



Sixteen Candles Summersweet



Little Limelight Hydrangea



Green Velvet Boxwood



Everlow Yew



McCue Design Group, LLC
LANDSCAPE ARCHITECTS

Plant Palette

Chester & 82nd Street Apartments

Chester Ave. & E. 82nd Street
Cleveland, OH 44103



PLAZA PAVER OPTIONS
NOT TO SCALE



GREEN SCREENING CLIMBING VEGETATION
NOT TO SCALE



BENCHES
NOT TO SCALE



METAL & PRESSURE TREATED TRELLIS OPTIONS
NOT TO SCALE

DATE	NOTES
04.25.22	PREL. PLAN
06.29.22	PREL. PLAN - UPDATE
10.16.22	PREL. PLAN - UPDATE
12.28.22	LANDSCAPE PLAN
03.28.22	UPDATED ENTRY PLANTING



M c c u e

Design Group, LLC
LANDSCAPE ARCHITECTS
P.O. BOX 234
WILLOUGHBY, OHIO 44096
info@mccuedesigngroup.com

EXTERIOR LIGHTING PLAN
CHESTER & 82ND STREET
APARTMENTS

CHESTER AVE. & E. 82nd STREET
CLEVELAND, OH 44103

DATE	NOTES

EAST 81ST STREET 45'
(FORMERLY PRINCETON STREET)
(A PUBLIC RIGHT-OF-WAY)

EAST 82ND STREET 66'
(FORMERLY GENESEE AVENUE)
(A PUBLIC RIGHT-OF-WAY)

CHESTER AVENUE (WIDTH VARIES)
(US ROUTE 322)
(A PUBLIC RIGHT-OF-WAY)

Plat of Consolidation
for H.L.F Homes, Inc.
Vol. 306, Pg. 33
of C.C.M.R.
P.P.N. 119-01-069

Adjacent Res.
F.F. 674.11

Adjacent Res.
F.F. 674.50

P.P.N. 119-01-075
Abhishek Bhardwaj
Ana Maheshwari
06-18-2020
AFN. 202006180723

T.B.M. #1
Top Nut of Hydrant
Elevation - 672.26

T.B.M. #2
Top Nut of Hydrant
Elevation - 671.76

NOTES:

- END CURB PER END CURB TAPER DETAIL, SEE DETAIL SHEET C6.01.
- FENCE/GATE. SEE ARCHITECTURAL PLANS FOR FENCE/GATE DETAILS.
- ADA PARKING STALL AND SIGN, SEE DETAIL SHEET C6.01.
- DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
- CONCRETE COLLAR. SEE DETAIL SHEET C6.01.
- DETECTABLE WARNINGS, TRUNCATED DOMES, SEE DETAIL SHEET C6.01.

LEGEND

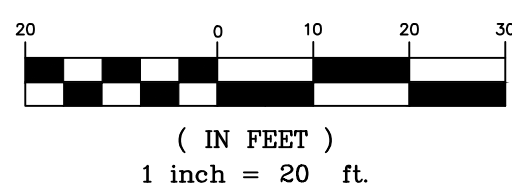
M = Monument Box Found	Spot Elevation Tag
O = Iron Pin or Pipe Found	Hydrant
● = 5/8" Iron Pin Set and Capped Riverstone Company Dudley PS5747	Water Service Valve
+ = P.K. Nail	Water Valve
⊙ = Gas Meter	Water Meter
△ = Gas Valve	Reducer
U = Utility Pole	Storm Manhole
L = Light Pole	Curb Inlet
— = Guy Anchor & Line	Sanitary Manhole
⊠ = Telephone Box	Catch Basin
⊞ = Electric Box	Property Line
⊞ = Cable Box	Centerline
● = Bollard	
● = Cleanout / Test Tee	

Ex. Parcel line	Centerline
Original Sublot Line	Property Line
Original Lot Line	Right-of-way Line
Centerline	Easement Line
Property Line	Railroad Tracks
Right-of-way Line	
Easement Line	
Railroad Tracks	

Electric Line	Existing	Proposed
Gas Line		
Sanitary/Combination Sewer		
Storm Sewer		
Waterline		
Fence Line (Wooden)		
Fence Line (Chain-Link)		
Guardrail		

Ac.	Adjacent	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map	Prop	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Cl.	Clean Out	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water	TBR	To Be Removed
Elec	Electric	T/C	Top of Curb
Elev	Elevation	Tele	Telephone
Encr.	Encroaches	T.F.	Top Of Footer
Ex.	Existing	T.T.	Test Tee
F.F.	Finished Floor	TW	Top of Wall
GUT	Gutter	Typ.	Typical
Inv.	Invert	Vol.	Volume
		Wat	Water

GRAPHIC SCALE



Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONEDESIGN.COM

2022-484

PLAN REVISIONS:

PAGE REVISIONS:

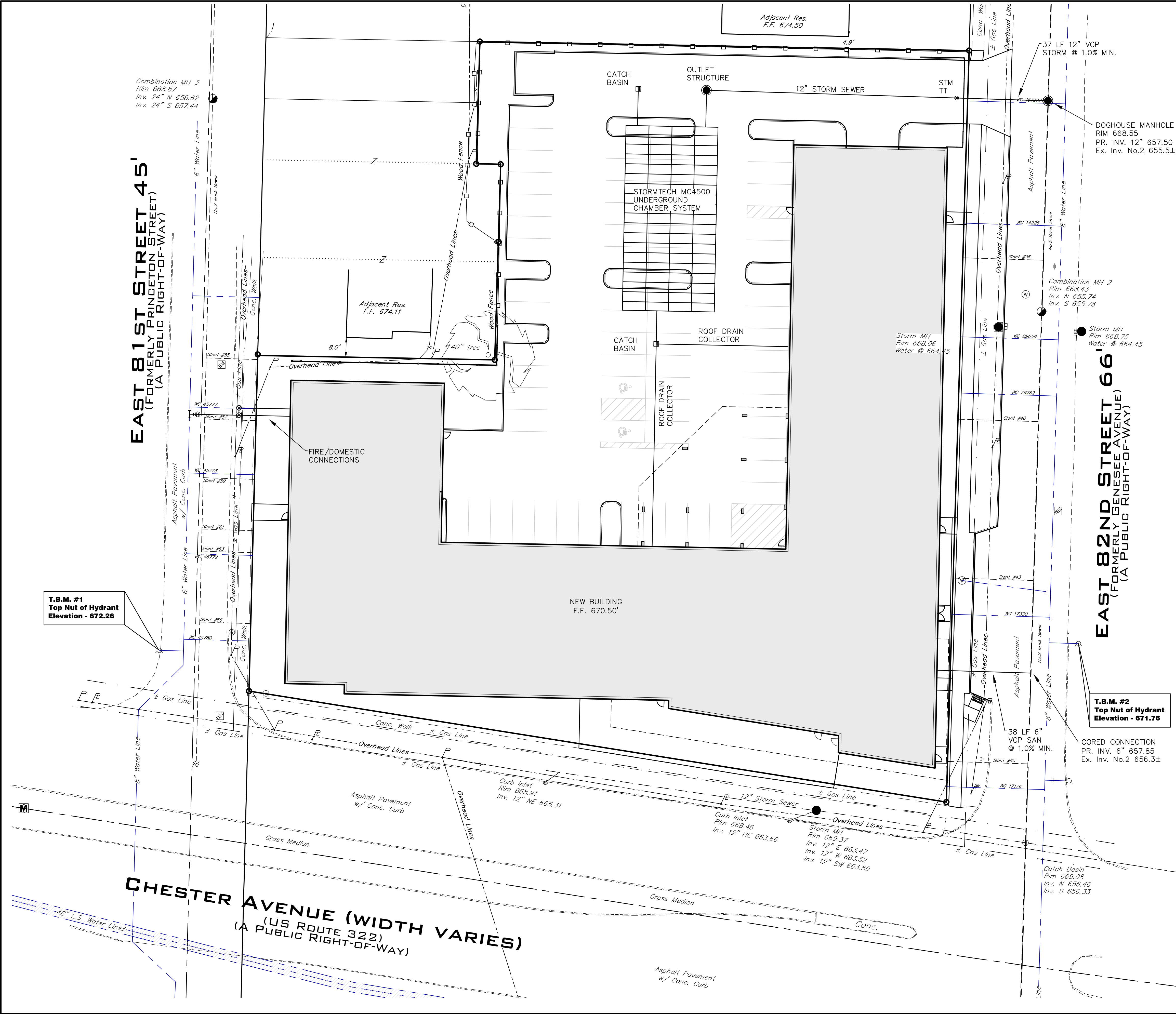
ISSUED FOR:
PLANNING COMMISSION
11/4/2022
NOT FOR CONSTRUCTION

CHESTER AVE. & EAST 82ND
STREET APARTMENTS
CLEVELAND, OHIO
SITE PLAN

Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
Call 800-775-5866 or 811

C3.01



POST-CONSTRUCTION STORMWATER EXPLANATION: STORMWATER RUNOFF FROM THE NEW BUILDING AND PARKING LOT WILL BE DIRECTED TO AN UNDERGROUND CHAMBER SYSTEM, WHERE DETENTION AND WATER QUALITY TREATMENT WILL BE PERFORMED. THE WATER QUALITY VOLUME WILL BE TREATED WITH A 24-HOUR DRAWDOWN. STORMWATER THAT EXCEEDS THE WATER QUALITY VOLUME WILL BE RELEASED AT A REDUCED RATE IN ACCORDANCE WITH TITLE IV REQUIREMENTS.

TOTAL POST CONSTRUCTION STORM WATER QUALITY VOLUME

$WQV = R_v \cdot P \cdot (A/12)$
WHERE
 $R_v = 0.05 + 0.9i$
 i = fraction of post construction impervious surface
 $P = 0.90$ inches
 $A = 1.61$ ACRES

i = Impervious area / Total area = $1.42/1.61 = 0.88$

$R_v = 0.05 + (0.9 \cdot (0.88))$
 $R_v = 0.84$
SITE $WQV = 0.84 \cdot 0.90 \cdot (1.61/12)$
SITE $WQV = 0.1019$ ac*ft = 4,439 cf

NOTES:

SEWER INFORMATION WAS OBTAINED FROM THE CITY OF CLEVELAND WATER POLLUTION CONTROL WRITTEN RECORDS BOOK No. 3, PG. 56 (E 82ND) AND WRITTEN RECORDS BOOK No. 6, PG. 331 (E 81ST). ALL SEWER INVERTS WERE TAKEN FROM FIELD OBSERVATIONS.

THE CONTRACTOR IS REQUIRED TO OBTAIN A SEWER PERMIT FROM THE DIVISION OF WATER POLLUTION CONTROL PRIOR TO ANY SEWER WORK.

BOOK #3, PG. #56 (E 82ND)

SEWER SLANT #36 - 445' SOUTH OF M.H.#1
SEWER SLANT #40 - 45' SOUTH OF M.H.#2
SEWER SLANT #43 - 110' SOUTH OF M.H.#2
SEWER SLANT #45 - 185' SOUTH OF M.H.#2

BOOK #6, PG. #331 (E 81ST)

SEWER SLANT #59 - 155' SOUTH OF M.H.#3
SEWER SLANT #61 - 176' SOUTH OF M.H.#3
SEWER SLANT #63 - 185' SOUTH OF M.H.#3
SEWER SLANT #66 - 214' SOUTH OF M.H.#3

PIPE SLOPE SHOWN ON PLANS IS ESTIMATED BASED ON ESTIMATED ELEVATION OF THE EXISTING SEWER. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE EXISTING ELEVATION AT THE POINT OF CONNECTION BEFORE ANY OTHER WORK IS DONE. THE CONTRACTOR SHALL CONTACT THE ENGINEER WITH THE ELEVATION FOR THE ACTUAL PIPE SLOPE.

LEGEND

- | | |
|---|-----------------------|
| = Monument Box Found | = Spot Elevation Tag |
| = Iron Pin or Pipe Found | = Hydrant |
| = 5/8" Iron Pin Set and Capped Riverstone Company Dudley PS6747 | = Water Service Valve |
| = P.K. Nail | = Water Valve |
| = Gas Meter | = Water Meter |
| = Gas Valve | = Reducer |
| = Utility Pole | = Storm Manhole |
| = Light Pole | = Sanitary Manhole |
| = Guy Anchor & Line | = Curb Inlet |
| = Telephone Box | = Catch Basin |
| = Electric Box | = Property Line |
| = Cable Box | = Centerline |
| = Bollard | |
| = Cleanout / Test Tee | |

- | | | |
|----------------------------|--|--|
| Ex. Parcel line | | |
| Original Sublot Line | | |
| Original Lot Line | | |
| Centerline | | |
| Property Line | | |
| Right-of-way Line | | |
| Easement Line | | |
| Railroad Tracks | | |
| Electric Line | | |
| Gas Line | | |
| Sanitary/Combination Sewer | | |
| Storm Sewer | | |
| Waterline | | |
| Fence Line (Wooden) | | |
| Fence Line (Chain-Link) | | |
| Guardrail | | |

Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	M.H.	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R	Cuyahoga County Map Records	Prop	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elec	Electric	T/C	Top of Curb
Elev	Elevation	Tele	Telephone
Encr.	Encroachments	T.F.	Top Of Footer
Ex.	Existing	T.T.	Test Tee
F.F.	Finished Floor	TW	Top of Wall
GUT	Gutter	Typ.	Typical
Inv	Invert	Vol.	Volume
		Wat	Water

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OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
CMB 010/17-5286 or 811

C4.01

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

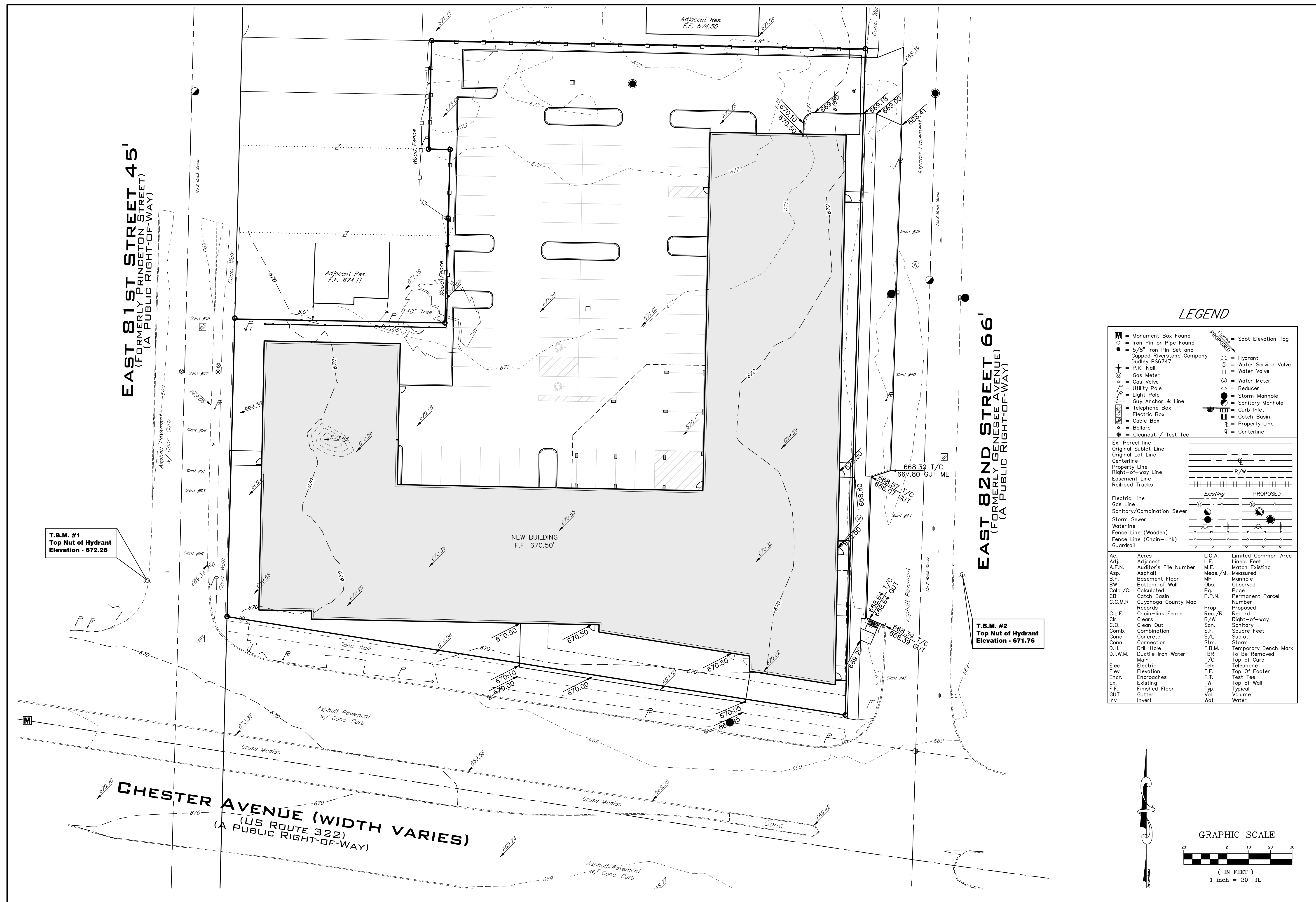
[illegible]

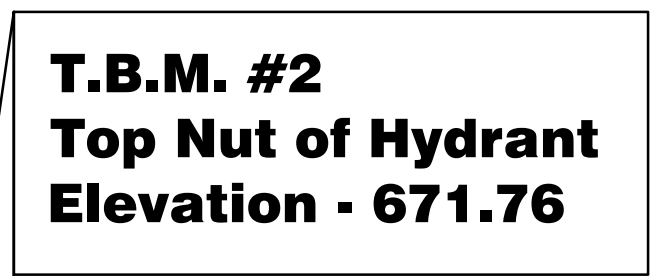
ISSUED FOR:
PLANNING COMMISSION
11/4/2022
NOT FOR CONSTRUCTION

Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS 
Ohio Oil & Gas Producers Underground Protection Service
Call (614) 715-2884 or 811

C5.01





Graphic scale showing distances in feet: 10, 0, 5, 10, 15. Below the scale, it reads: (IN FEET)
1 inch = 10 ft.

Decorative element on the left: A vertical line with a stylized, ornate flourish at the bottom, resembling a calligraphic 'S' or a decorative scroll.

Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2022-484

PLAN REVISIONS:

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
11/4/2022
NOT FOR CONSTRUCTION

<p>CHESTER AVE. & EAST 82ND STREET APARTMENTS</p> <p>CLEVELAND, OHIO</p>	<p>DETAILED GRADING</p>
--	--------------------------------

Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS 
Oil & Gas Producers Underground Protection Service
Call (614) 715-2584 or 811

C5.02

Cleveland City Planning Commission

Staff Report



April 21, 2023

Cleveland City Planning Commission

Mandatory Referrals



April 21, 2023



Ordinance No. 333-2023 (Introduced by Councilmember Jones):
Designating Advent Evangelical Lutheran Church as a Cleveland Landmark.

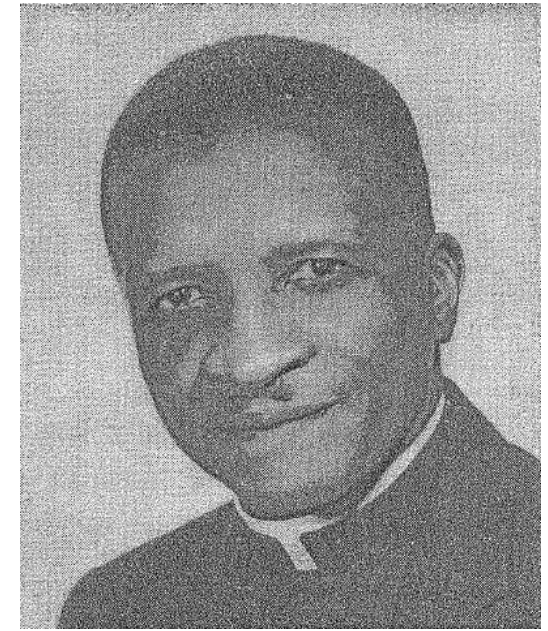
Presenter: Karl Brunjes, Landmarks Staff

Cleveland Landmark Nomination

Advent Evangelical Lutheran Church
15309 Harvard Avenue



Rev. Allen G. Youngblood



- Ordained Philadelphia Lutheran Seminary - 1945
- Organized Annunciation Lutheran Church in Philadelphia (1945-1952)
- Organized Ascension Lutheran Church in Toledo (1952-1960)
- Came to Cleveland to organize a Lutheran Church on the east side of Cleveland (1960)
- Services begun at the Masonic Temple of York Masons, 13512 Kinsman Road on November 27, 1960 with 9 members

Lutheran Church in America

- 1960 – American Lutheran Church (ALC)
- 1962 – Lutheran Church in America (LCA)
 - Merger of four organizations
 - United Lutheran Church in America
 - Augustana Lutheran Church
 - American Evangelical Lutheran Church
 - Suomi Synod
- 1976 – Association of Evangelical Lutheran Churches (AELC)
- The Lutheran Church in America merged with the American Lutheran Church and the Association of Evangelical Lutheran Churches in 1988 to form the Evangelical Lutheran Church of America (ELCA)

Advent Evangelical Lutheran Church



- Moved to current location, a former carry-out liquor store in 1962
- Purchased by the Home Mission Board of the Ohio Synod
- First service in this building was on April 1, 1962
- Church officially organized on June 10, 1962

Interracial Church Is Organized

An interracial congregation —Advent Lutheran Church— was formally organized yesterday in what was formerly a carry-out store at 15309 Harvard Avenue S.E.

Dr. Herbert H. Veler, president of the Synod of Ohio of the United Lutheran Church in America, officiated at the rite, assisted by Dr. Albert H. Buhl, director of Home Missions of the synod. Both are of Columbus.

The organizing pastor, the

Rev. Allen G. Youngblood, conducted confirmation for the 60 adult charter members. While the group is predominantly Negro, two members are white—one a teacher in the Shaker Heights public school system.

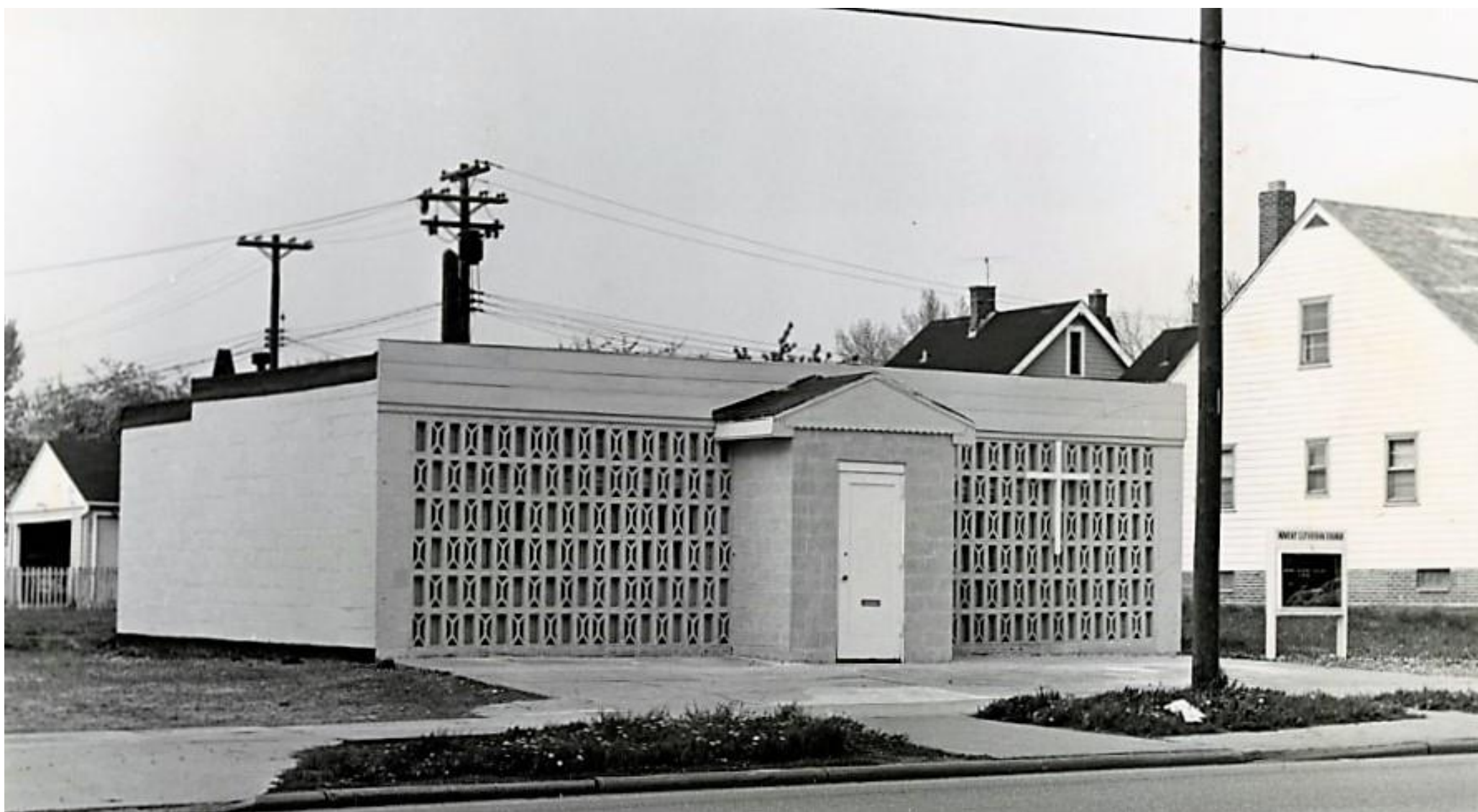
THE CHURCH anticipates beginning construction within a year for a new edifice at its present site, the pastor said.

Services, begun in December, 1960, in Masonic Temple

of York Masons, were moved this spring to the former carry-out store. Church members converted the structure to give it an attractive appearance.

The Rev. Mr. Youngblood said duplicate morning services are planned to accommodate the growing congregation.

He previously has organized Annunciation Lutheran Church in Toledo.



Ohio Synod (LCA)

- Formed in September 1962
- Comprised of 337 congregations and 390 ministers
- Advent Evangelical Lutheran Church was the first to be received into the new synod sponsored by the Board of American Missions of the United Lutheran Church on September 14, 1962



A New Church

- “Mid-century design, influenced by Usonian architecture, is unusual in that it employs the screen sub-style of modern – a style more often reserved for office rather than ecclesiastical buildings.” – *The Making of Cleveland’s Black Suburb in the City: Lee-Seville & Lee – Harvard*
- Cost of \$145,000
- Architects Whitley & Whitley, Inc.



WHITLEY/WHITLEY ARCHITECTS AND PLANNERS, LLC.

Whitley/Whitley, LLC. is a firm of architects and planners established in 1963 whose work is focused on urban areas. The firm, consequently, has extensive experience in addressing in planning and design terms the problems associated with redeveloping, building and rehabilitating urban communities and public facilities.

Whitley/Whitley LLC., has been responsible for designing a wide range of type and scale of public facilities including offices, schools, jails, vehicle maintenance and storage facilities, museums, libraries, post offices and mass transit facilities and has provided design services for buildings representing a range of construction costs.



Family of Architects and Planners



William and James Whitley

- First African American twin brothers registered as architects in the State of Ohio
- One of the oldest African American Architectural firms still in practice in the State of Ohio with over 60 years of design excellence.
- Firm established in 1963 by James Whitley



R. Joyce Whitley

- First African-American woman City Planner & Urban Designer in the United States (Chicago, 1963)
- Roosevelt Island Housing Community
- Chief Planning Advisor for the Model Cities Administration
- Cleveland Planning Commission (1975 - 1976)



Scott Whitley

- Second Generation Architect
- President of Whitley/Whitley Architects 2009 - Present



Significance of Advent Lutheran Church

- Given an opportunity from the church (Advent Lutheran Church) in their community
- The first Whitley/Whitley project
- Allowed them to take a leap of faith and start a business
- Helped catapult Whitley/Whitley to its future success



Selected Architectural Projects:

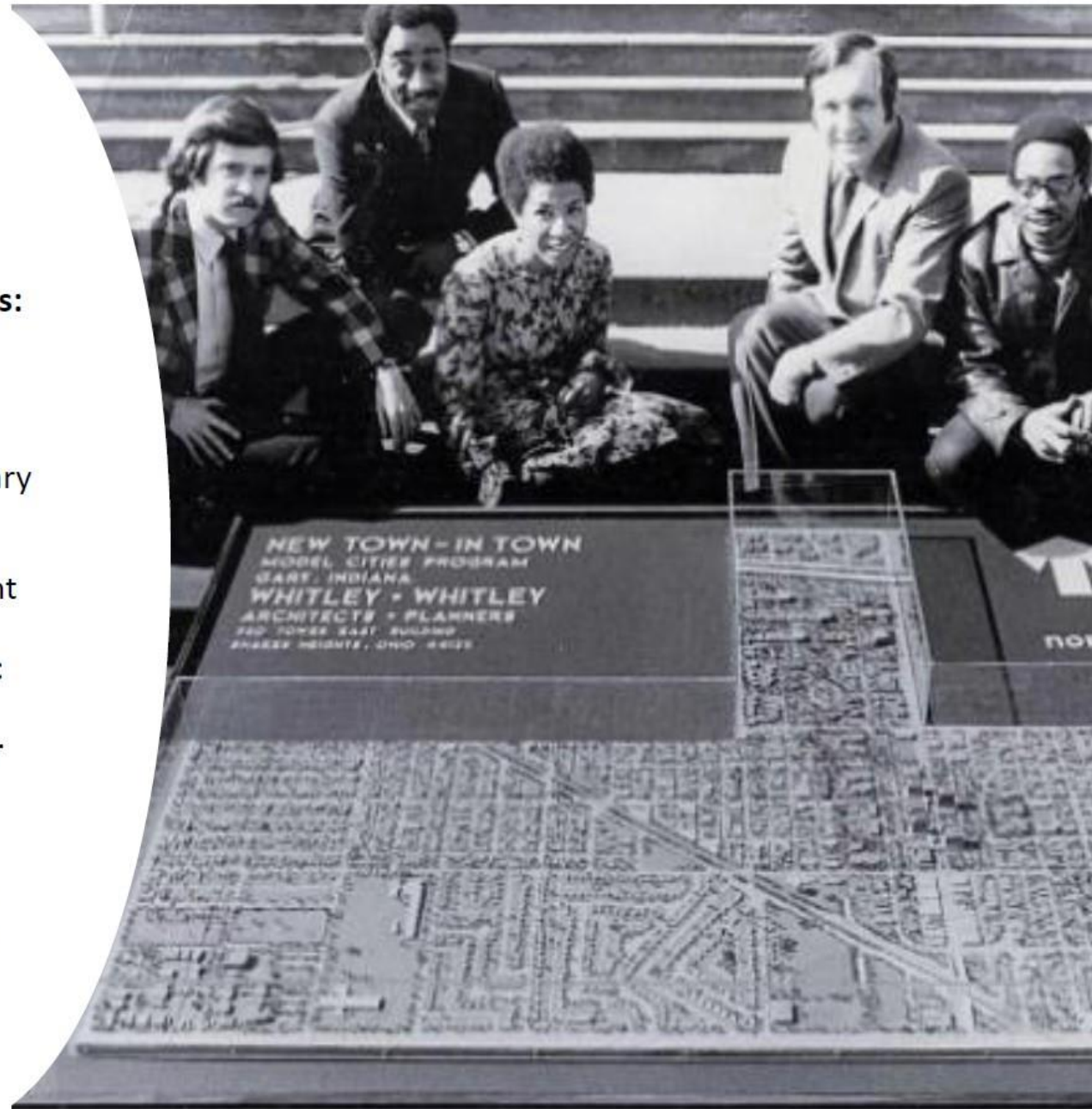
- Tower City "The Avenue",
Cleveland, Ohio
- Gateway "Progressive Field",
Cleveland Guardians Stadium,
Cleveland, Ohio
- Cleveland State University Clock
Tower, Cleveland, Ohio
- Cleveland State University
Wolstein Center, Cleveland, Ohio
- Jackson Park Terrace Highrise
Towers, Chicago, Illinois
- Kent State University Fashion
Museum, Kent, Ohio
- Cleveland Public Library - Lee
Harvard Branch, Cleveland, Ohio
- John F. Kennedy High School
Recreation Center, Cleveland, Ohio
- Cleveland Clinic Guesthouse Hotel,
Cleveland, Ohio





Selected Planning Projects:

- **Roosevelt Island Housing Community,** New York, New York
- **New Town – In Town,** Gary Indiana
- **Master Plan Northside Preservation Group,** Saint Louis
- **Master Plan for the Civic Center,** Atlanta, Ga.
- **Master Facilities Plan for NASA Lewis Research,** Cleveland, Ohio
- **Master Plan Carver Estates,** Cleveland, Ohio
- **Six Year Housing Plan & Program,** Gary, Indiana

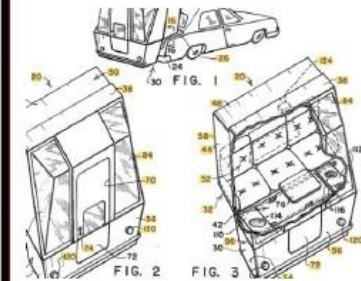


Some Notable Achievements

▪ Recognized for Architectural Design Excellence

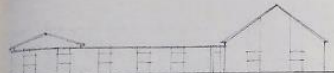
- Two (2) time winner of the International Progressive Architecture Design Competition Award
- Winner of the Architects Society of Ohio Honor Award (Multiple Awards)
- Winner of the Excellence in Masonry Design Award (Multiple Awards)
- Winner of the Design for a New Decade Award
- OAMAE Design Award

- **William Whitley** – Headed the Cleveland Housing Division of Operation PUSH during the housing crisis of the mid-1970's
- **James Whitley** – Served as President of the Urban League of Greater Cleveland (1970's)
- **The Whitley Family** was named, "1972 Family of the Year" by the Urban League of Greater Cleveland
- **William and James Whitley** – Inventors who hold eight (8) U.S. Patents
- **R. Joyce Whitley** – Playwright of the theatrical play, "Dreams of Callahan" performed at Karamu House (1990)
- **R. Joyce Whitley** – Chief Planner for the United States Department of Housing and Urban Development (1967 – 1968)
- **William Whitley** – Father of Actress/Comedian Kym Whitley, winner of 2022 NAACP Image Award

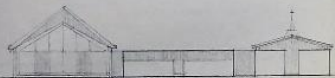


Urban League of
Greater Cleveland

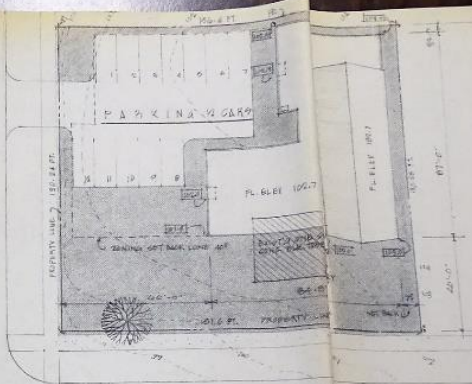
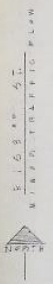
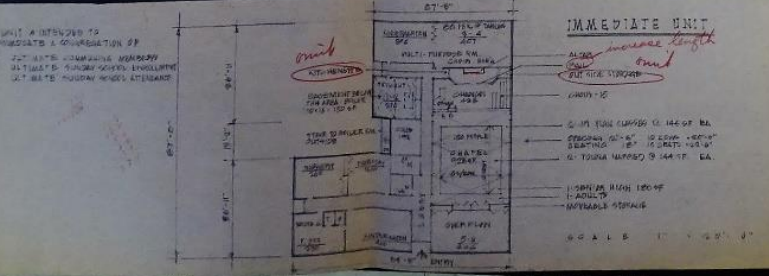
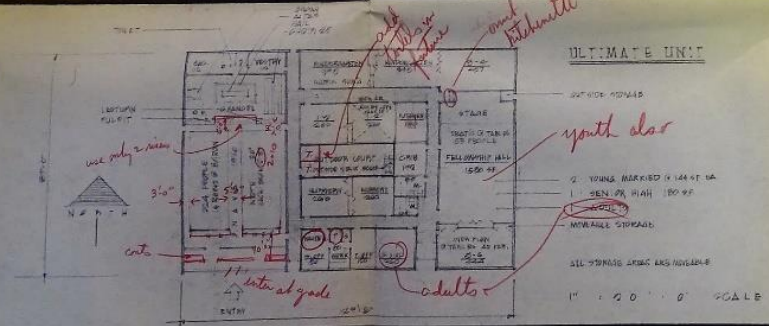
1. FOUNDATION
 FOOTING
 Minimum depth below grade 3'-0".
 MINIMUM WIDTH
 Remove from area 12' wide grade.
 2. FOUNDATION
 FOOTING
 Concrete 1500# per square inch compressive strength
 Wall footing - French footing
 Column footing also French type
WALLS
 1/2" (min) spaced 8'-0" on center.
 RAISED FLOORING (4" hollow form only)
 1 coat of Portland cement grout 1/2" thick
 1 coat of bituminous material over grout
ROOFING
 RAISED (4" hollow form only)
 4" double tiles open joints w/ top covered
 w/ 1/2" felt.
 pitch 1/2" per foot.
 3. CLADDING
INTERIOR
 Finish. Cost allowance \$1.00/1000
 Floor finish
 size 2-10x12



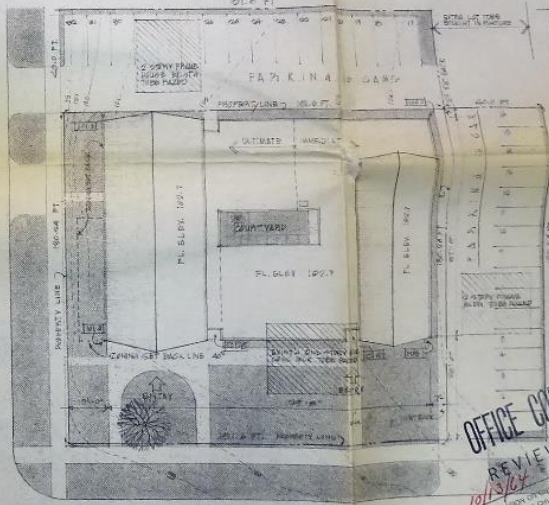
North



South



SITE PLAN IMMEDIATE

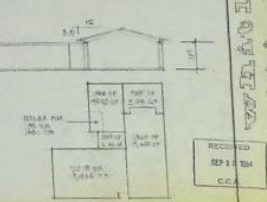


SITE PLAN IMMEDIATE

PLANNING IS AVAILABLE
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 THE CHURCH SITE IS IN
 A RESIDENTIAL AREA

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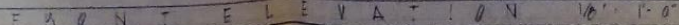
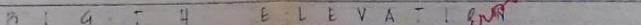
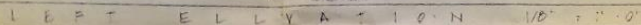
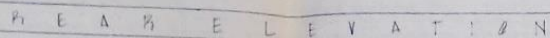
cubage calculation



RECEIVED SEP 3 1964

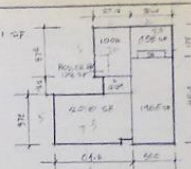
ADVENT LUTHERAN CHURCH
 PAVILION A. YOUNG

WHEELER AVENUE
 1670 TRACKEY AVE
 1670 TRACKEY AVE



- 1000 SF x .00
3011 SF x .00
178 SF x .00
1905 SF x .00
PITCH ROOF
TOTAL QUANTITY

1000 SF = 0.09	2000 SF = 0.08 SF = 0.08 SF
3211 SF x 0.09	35,000 SF = 0.08 SF
178 SF x 0.09	1,281 SF
1005 SF x 0.09	9,000 SF
FISH POND	4,000 SF
TOTAL CURB	60,182 SF

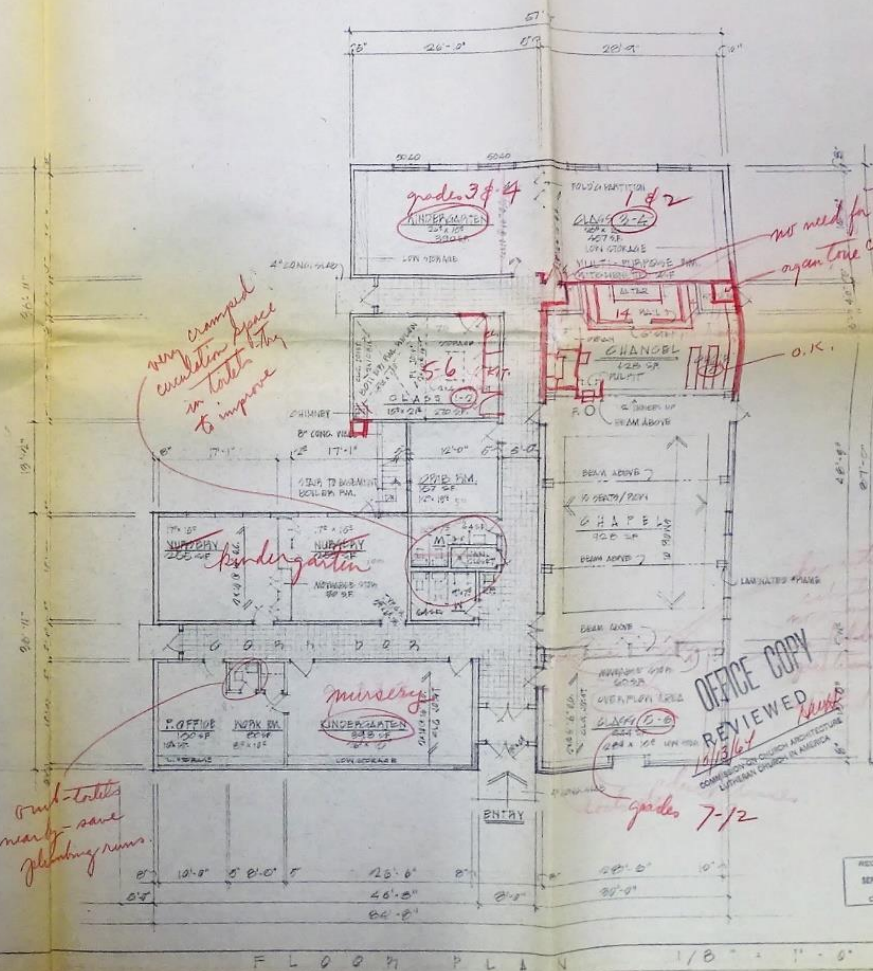


ADVENT LUTHERAN A. YOUNG BLOOD

whiteley - whiteley apartments

NOTES

PAGE CALCULATION



OFFICE COPY
REVIEWED
11/3/64

COMMISSIONER OF
LUTHERAN CHURCH

7-12

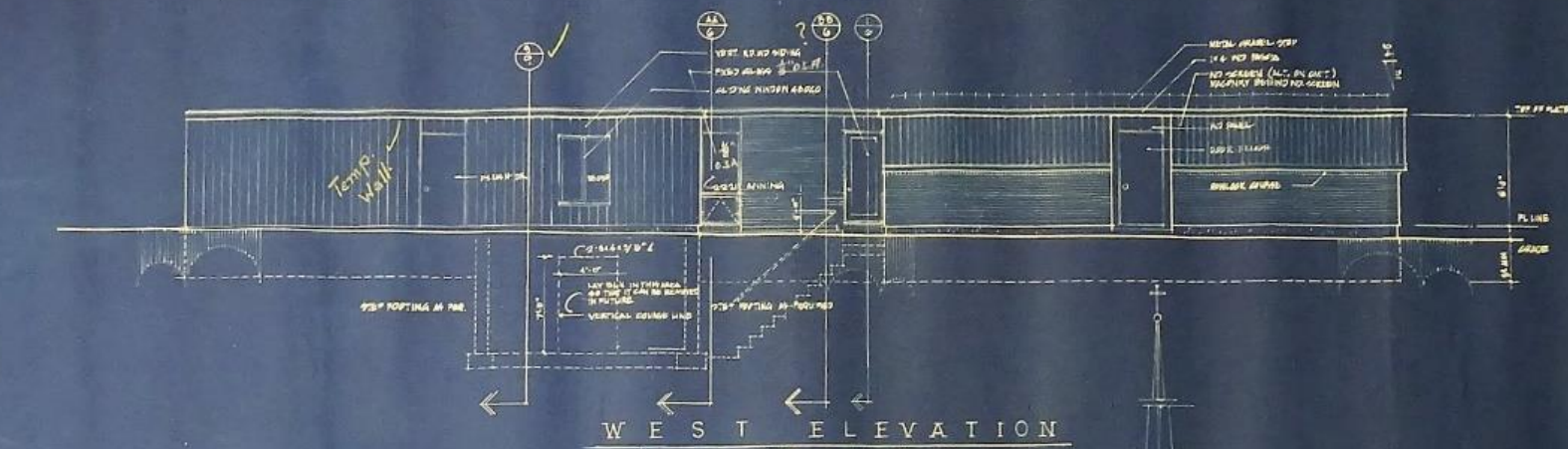
114

1/8" x 1"

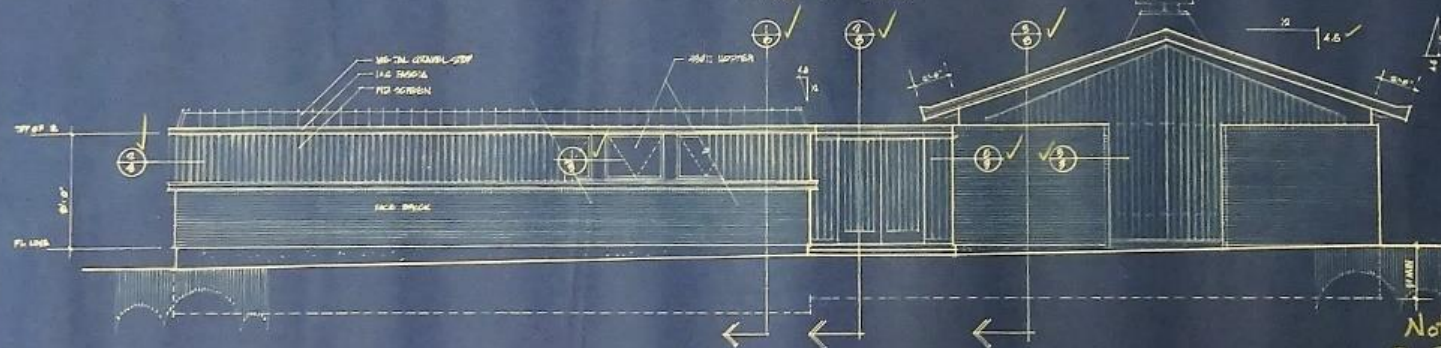
Groundbreaking: July 7, 1965







WEST ELEVATION



SOUTH ELEVATION

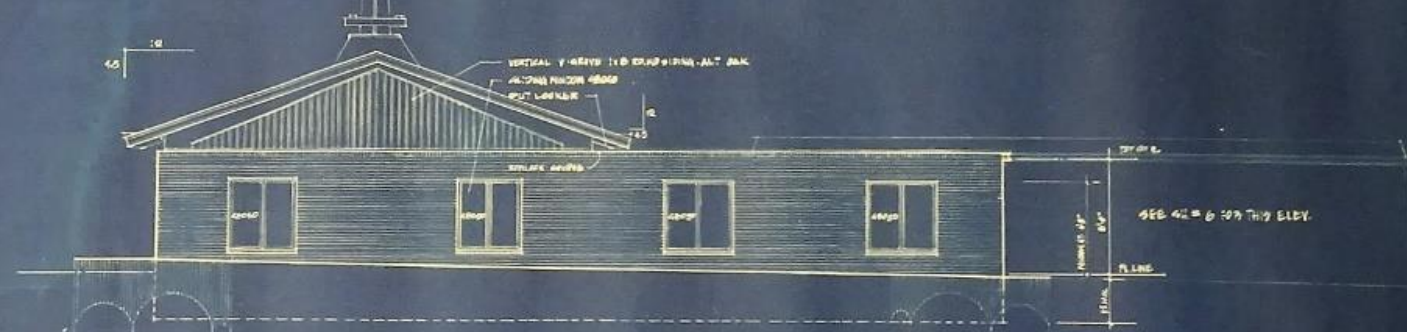
SCALE 1/4" = 1' - 0"

NOTES:
SEPARATE PRICES (LARGE AMOUNTS)
OF KIDNEY CORNER SHOWN ON LEFT HAND SIDE
ON NORTH ELEVATION AT WALL FOOT CLAY - 5"
SHALL DETERMINE IF THEY ARE NOT RUBEN
BID AND RECEIVED
ALTERNATE ON 10TH BASE - RUN BRICK
TO FOOTING.
ALTERNATE ON ALL RUN LICK COURSE - BMT

- Note: Bldg. Code req.
- ① Plywood paneling to have 1/2" dry wall backing
 - ② Exposed interior wood to be treated with five-resistor paint.
 - ③ Plans to be revised further as per agreement of 6/25/65
 - ④ All part 1/2" dry wall 2 sides

EAST ELEVATION

SCALE 1/4" = 1' : 0"



NORTH ELEVATION

$$1/4^* \approx 1^* - 0^*$$

NOTE:
ALTERNATE FN ALL PIVOTAL SOURCES - ON IT

First Service: December 12, 1965

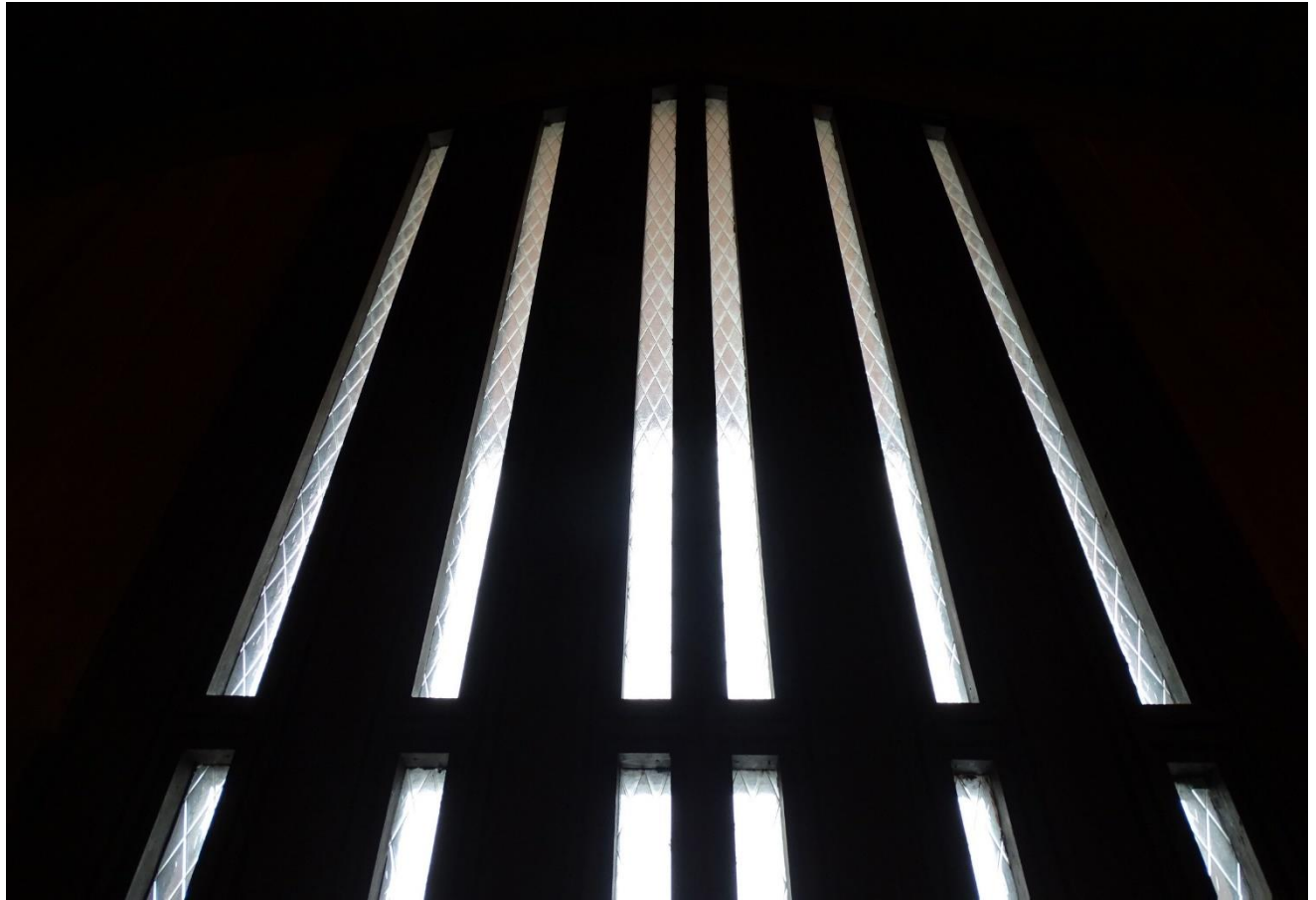
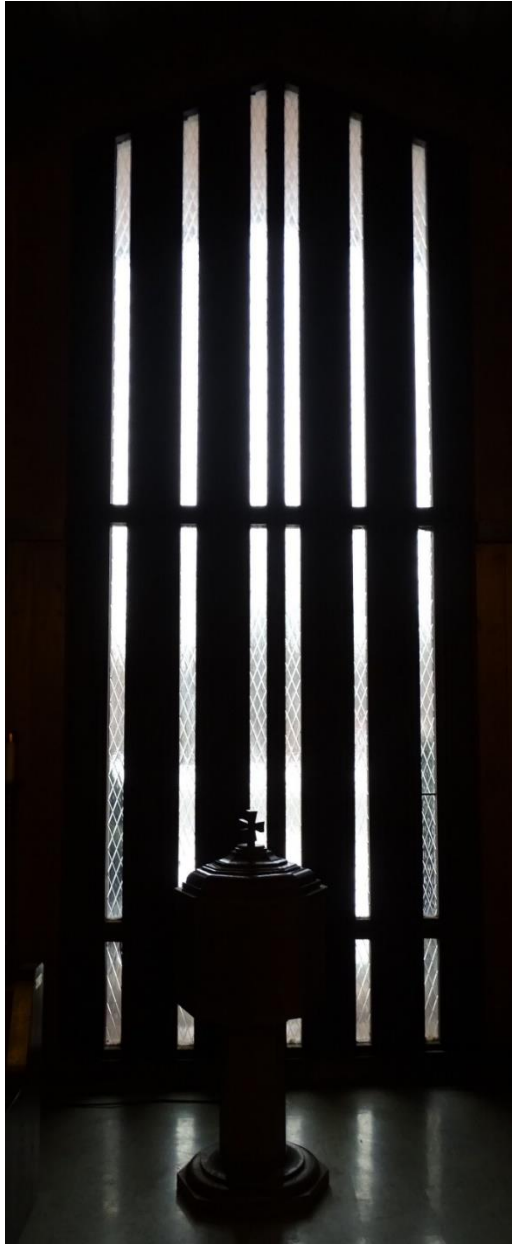


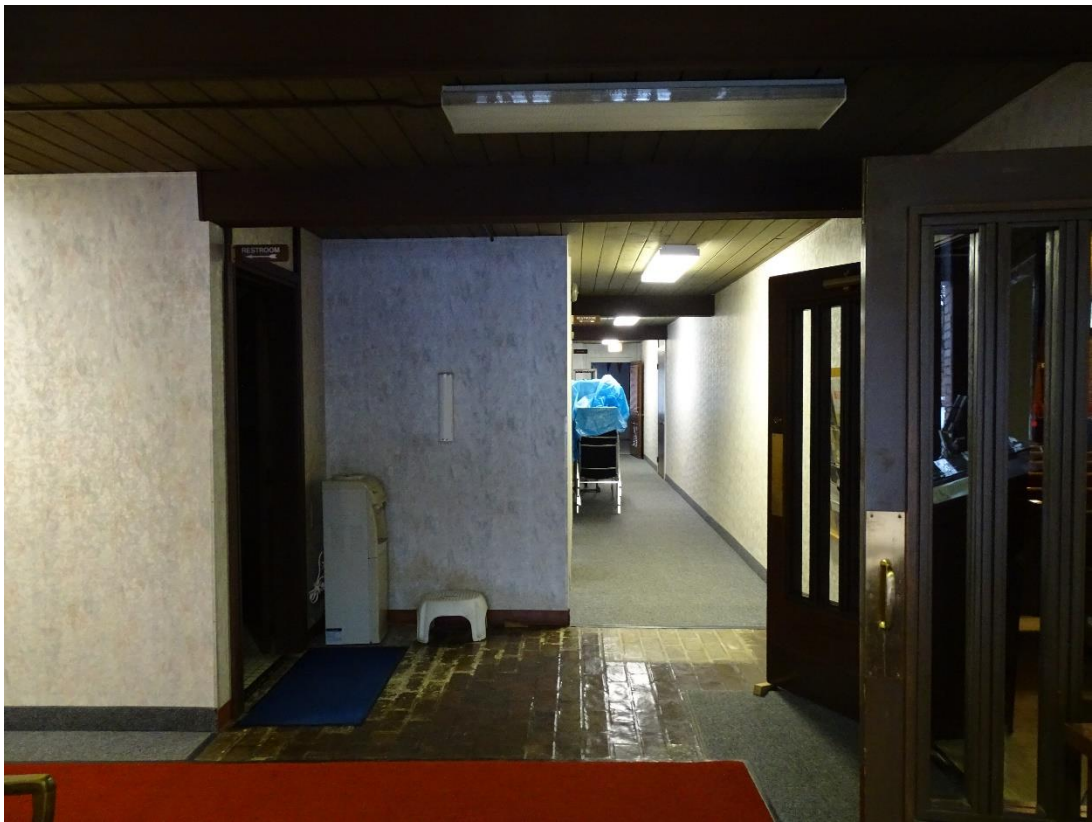




















Significance

- Its character, interest or value is part of the development, heritage or cultural characteristics of the City, State or the United States.
- Its identification is with a person who significantly contributed to the culture and development of the City.
- The historic property exemplifies the cultural, economic, social or historic heritage of the City.
- The historic property is identified with the work of a master builder, designer, architect, engineer or landscape architect whose work has influenced the development of the area, community, state or nation.
- The historic property embodies elements of architectural design, detail, materials, or craftsmanship which represent a significant architectural innovation.
- The historic property relates to other distinctive areas which are eligible for preservation activities, based on a historic, cultural, or architectural motif.
- The historic property's location or its singular physical characteristics represent the establishment or are a familiar visual feature of a neighborhood, community or City.

Thank you

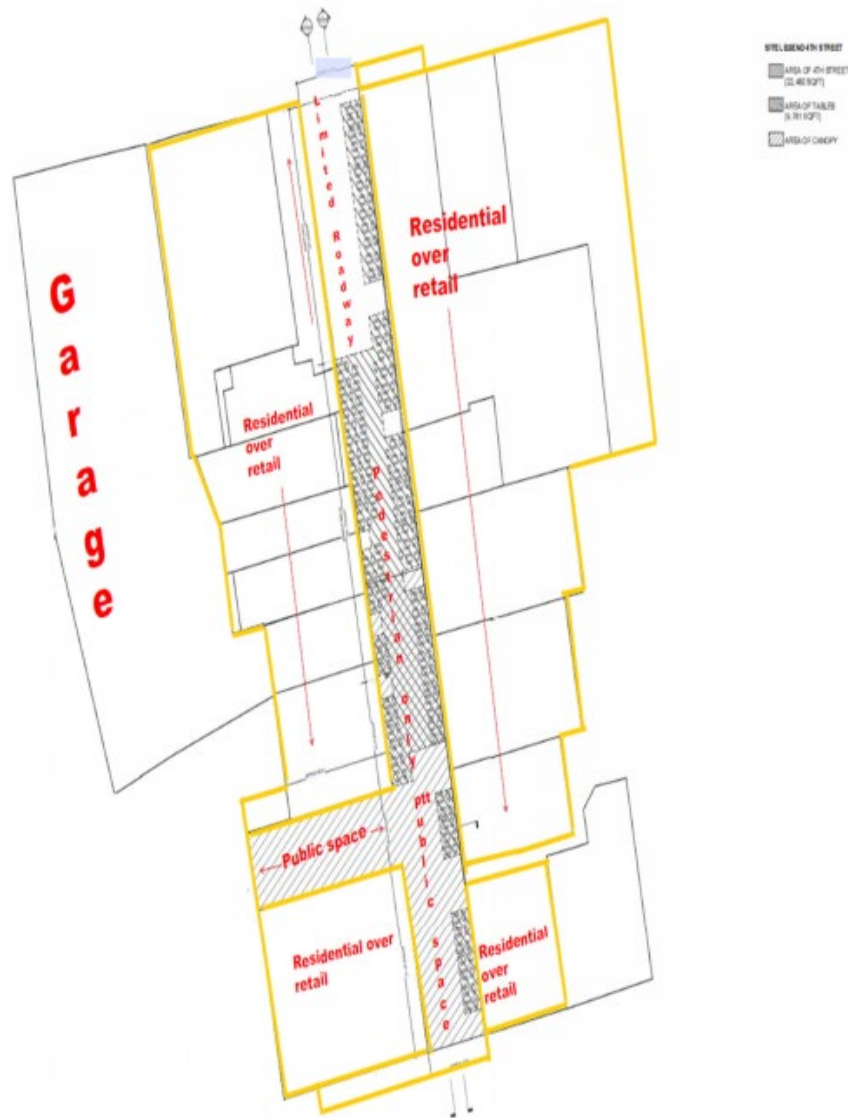


April 21, 2023

Ordinance No. 404-2023 (Introduced by Mayor Bibb):

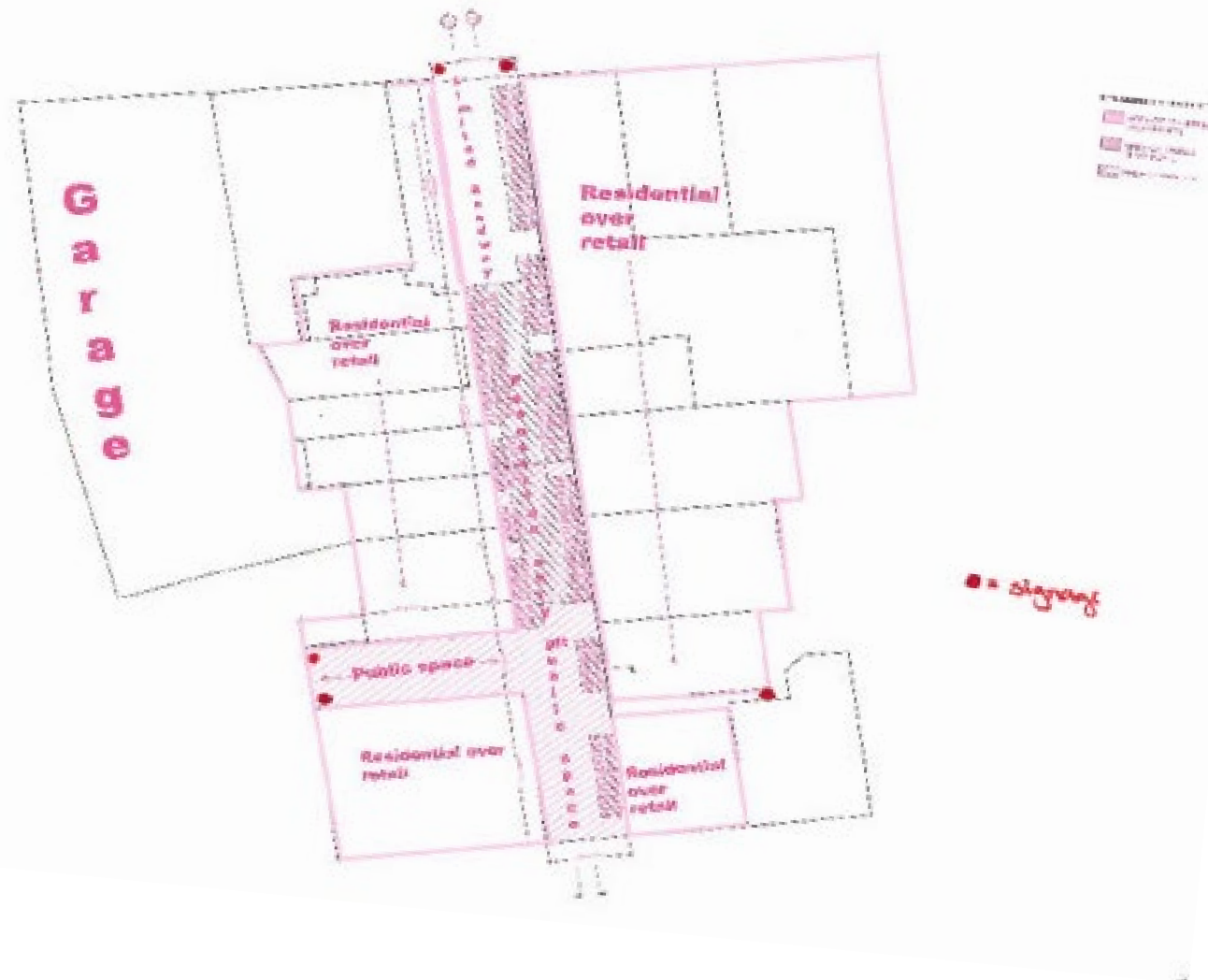
Approving the application of ADAPPJR, LLC to establish a Designated Outdoor Refreshment Area on East 4th Street in the City of Cleveland; and establishing requirements to ensure public safety within such area.

Presenter: Drew Crawford, Downtown Cleveland Alliance



E. 4th Street Designated Outdoor Refreshment Area

- Application accepted per the Ohio Revised Code 4301.82(B)(4) and Cleveland Codified Ordinance 699B.02(b)(4)
- Hours of operation will be Monday through Sunday, 10:00AM to 2:00 AM
- The Public Safety Plan includes an MOU with Downtown Cleveland Alliance in developing and implementing a comprehensive Neighborhood Security and Safety Plan with Clean & Safe Ambassadors and Fire/EMS
- The Sanitation Plan includes adding six (6) trash cans and DCA will continue providing services
- Signage, official DORA cup



E. 4th Street DORA Signage



E. 4th Street DORA Beverage Cups





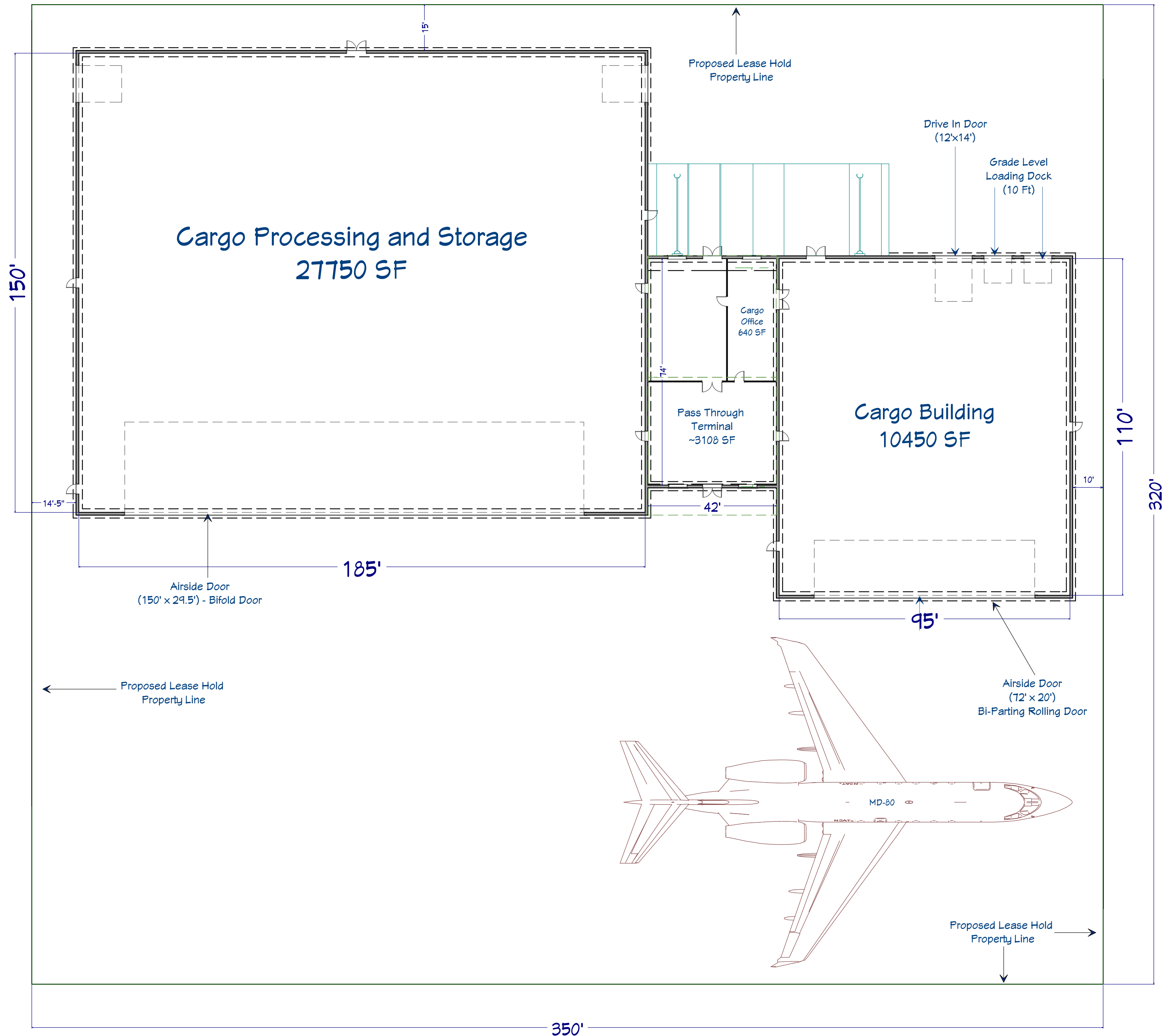
April 21, 2023

Ordinance No. 444-2023

(Introduced by Councilmembers McCormack and Griffin – by departmental request):

Authorizing the Director of Port Control to enter into a ground lease with Marichaels LTD, dba Jets FBO or wholly-owned subsidiary for property located within the South Campus Area of Cleveland Hopkins International Airport to design, construct, and operate a corporate hangar and flight operation facility, for a term not less than twenty-five years.

Presenter: John Hoose, City of Cleveland



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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	Jets/MRK Floorplan/Lease Hold V-14
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PROJECT DESCRIPTION:	Jets-MRK Development
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DRAWINGS PROVIDED BY:	SME Logistics Inc.
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DATE:	03/10/23
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SCALE:	1' : 3/64"
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SHEET:	A-1
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airside



landside

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
airside & landside view

PROJECT DESCRIPTION:
Jets-MRK Development

DRAWINGS PROVIDED BY:
SME Logistics Inc.

DATE:
02/16/23

SCALE:

SHEET:
A-1



landside
entrance

northwest



--	--

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	entrance & northwest view
--------------	---------------------------

PROJECT DESCRIPTION:	Jets-MRK Development
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DRAWINGS PROVIDED BY:	SME Logistics Inc.
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DATE:	02/16/23
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SCALE:	
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SHEET:	A-1
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southeast

northeast



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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	southeast & northeast view
--------------	----------------------------

PROJECT DESCRIPTION:	Jets-MRK Development
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DRAWINGS PROVIDED BY:	SME Logistics Inc.
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DATE:	02/16/23
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SCALE:	
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SHEET:	A-1
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April 21, 2023

Ordinance No. 482-2023

(Introduced by Councilmembers Jones, Bishop, Gray, Hairston and Griffin – by departmental request): Authorizing the Director of Economic Development to enter into, or cause to be entered into, one or more agreements to provide economic development assistance for commercial corridor projects in Cleveland’s Southeast Side neighborhoods and other agreements; and authorizing the Director to apply for and accept any gifts, grants or services from any public or private entity.

Presenter: Kate Warren, City of Cleveland

Cleveland City Planning Commission

Administrative Approvals



April 21, 2023



April 21, 2023

Ordinance No. 1276-2022 (Introduced by Councilmembers McCormack, Bishop and Hairston – by departmental request): Authorizing the Director of Capital Projects to issue a permit to Il Venetian, LLC to encroach into the public right-of-way of St Clair Avenue by installing, using and maintaining a new trellis structure with retractable canopy awning.



Ordinance No. 399-2023 (Introduced by Councilmember Howse):
Changing the Use, Area and Height Districts of [a] parcel of land north of Chester [Avenue]
between East 81st and East 82nd Street[s] (Map Change 2664).

Ordinance No. 408-2023

(Introduced by Councilmembers Kazy and Griffin – by departmental request): Determining the method of making the public improvement of constructing and installing replacement sewers and repairing and rehabilitating existing sewers and sewer connections, relining sewers, and constructing and repairing catch basins and manholes at various locations throughout the City on an as-needed basis; and authorizing the Director of Public Utilities to enter into one or more public improvement requirement contracts for the making of the improvement, for a term of one or two years; and authorizing gifts, grants, or loans.



Ordinance No. 409-2023 (Introduced by Councilmember Conwell):
Changing the Use, Area and Height Districts of parcels of land west of East 93rd Street
between Empire Avenue and Parmelee Avenue (Map Change 2661).



April 21, 2023

Ordinance No. 427-2023

(Introduced by Councilmembers Kelly, Spencer, Howse, Bishop and Griffin – by departmental request): Determining the method of making the public improvement of constructing mechanical, electrical and plumbing improvements at Cudell Recreation Center, Thurgood Marshall Recreation Center, and Camp Forbes; and authorizing the Director of Capital Projects to enter into one or more contracts for the making of the improvement.



April 21, 2023

Ordinance No. 431-2023

(Introduced by Councilmembers Kazy and Griffin – by departmental request): Determining the method of making the public improvement of constructing improvements at the Pleasant Valley Road Pumping Station; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.



April 21, 2023

Ordinance No. 445-2023

(Introduced by Councilmembers Conwell, Bishop and Griffin – by departmental request): To vacate a portion of Rockhurst Avenue N.E., east of East 105th Street.



April 21, 2023

Ordinance No. 449-2023

(Introduced by Councilmembers Kazy and Griffin – by departmental request):

Determining the method of making the public improvement of repairing, renewing, and/or replacing transmission water mains, valves, and appurtenances for various projects and related site improvement contracts for the making of the improvement; and to apply for and accept additional funding to implement this ordinance.

Cleveland City Planning Commission

Special Presentations – Public Art



April 21, 2023

April 21, 2023

FW2023-008 - Historic 1938 Photo Mural: Seeking Final Approval

Location: 17119 Lorain Avenue

Representative: Ross Bassett, West Park Historical Society

Committee Recommendation: Approved

- Investigate vinyl application if possible, especially for future installations.

West Park Historical Society Photo Mural – 17119 Lorain Ave.

Far West Design Review – April 5, 2023
City Planning Commission – April 21, 2023

Project Summary

Who: The West Park Historical Society a 503c charity started in 2005.

What: A historic photo from 1938 looking West on Lorain @ Kamms Corners.

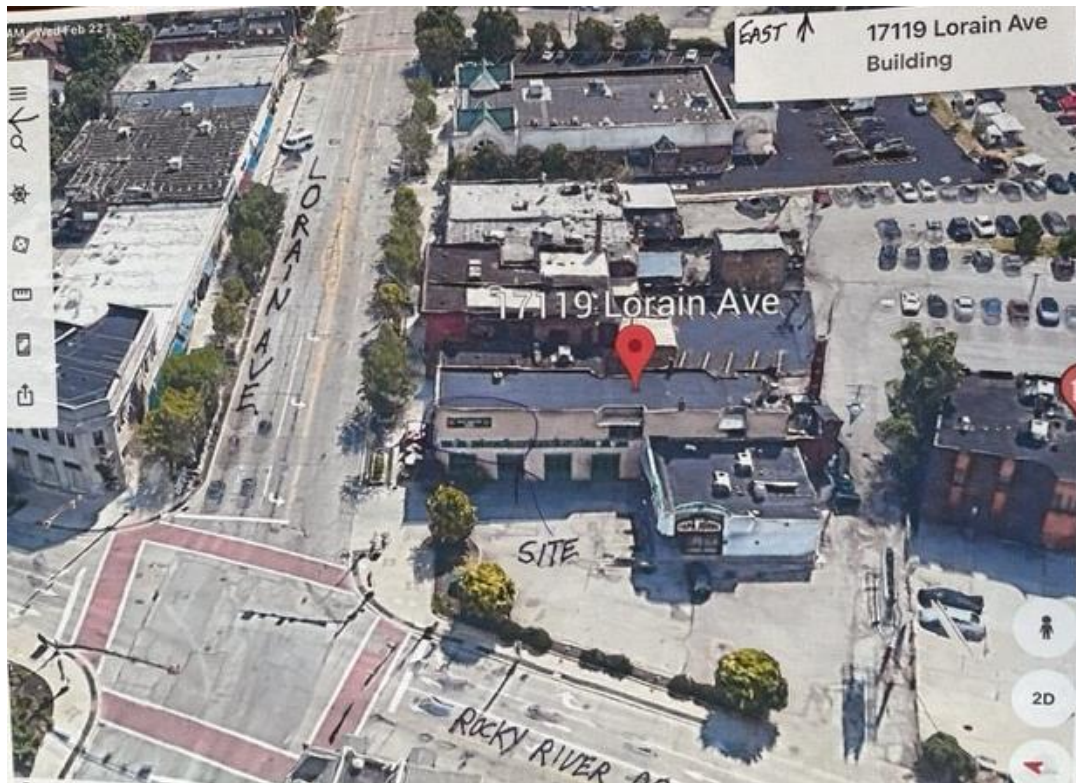
When: Hopefully sometime the Spring of 2023.

Where: High on the wall of P. J. McIntyre's pub located at 17119 Lorain Ave. in the West Park neighborhood of Cleveland.

Why: To promote the history and culture of the West Park Neighborhood and also to make more people in the neighborhood aware of the WP Historical Society

Contextual Photos

Aerial View Facing East



Existing Street View Facing East



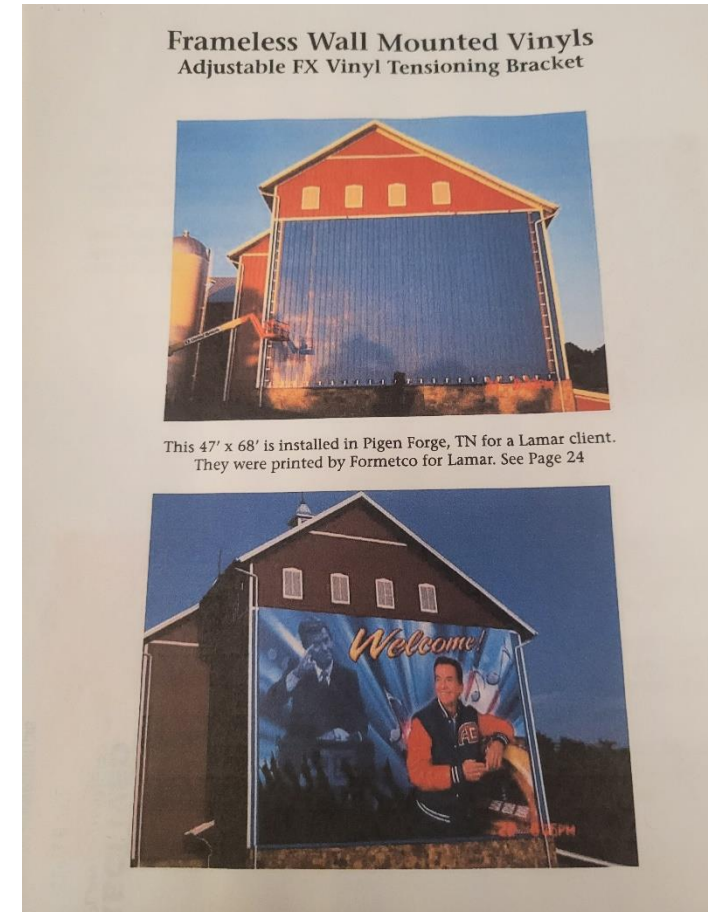
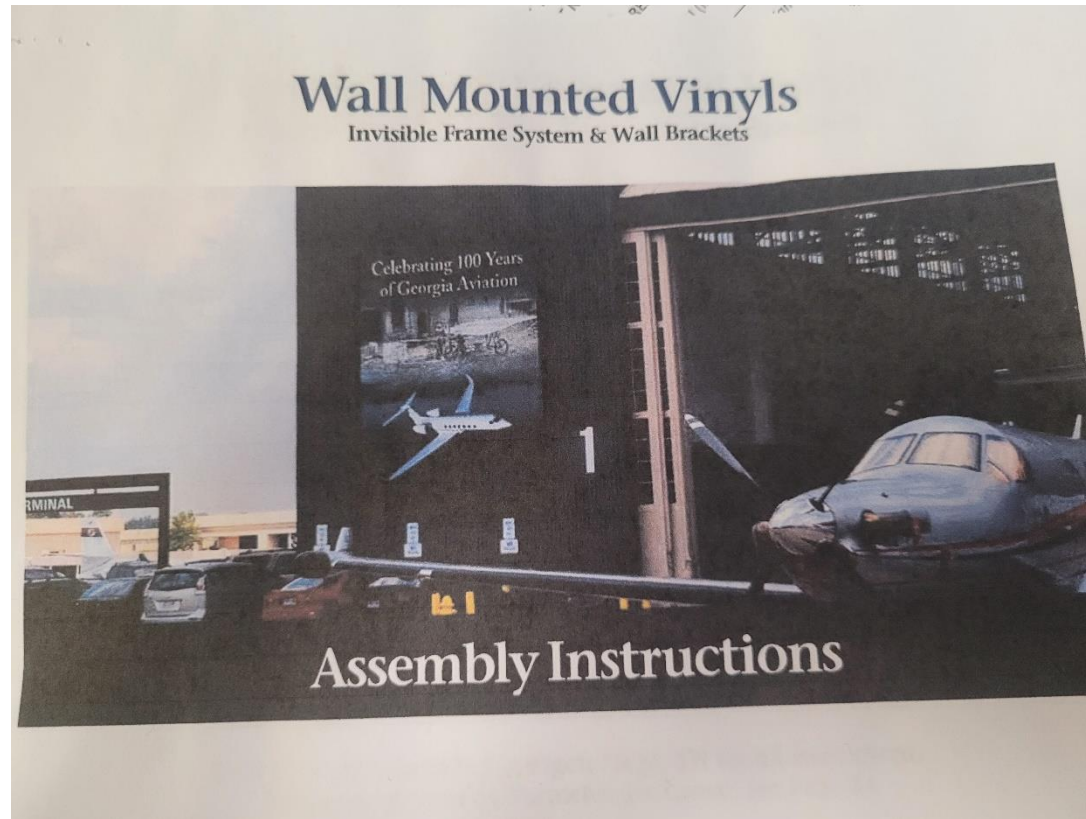
Mural Dimensions: 9' High x 25' Wide & Historic Image



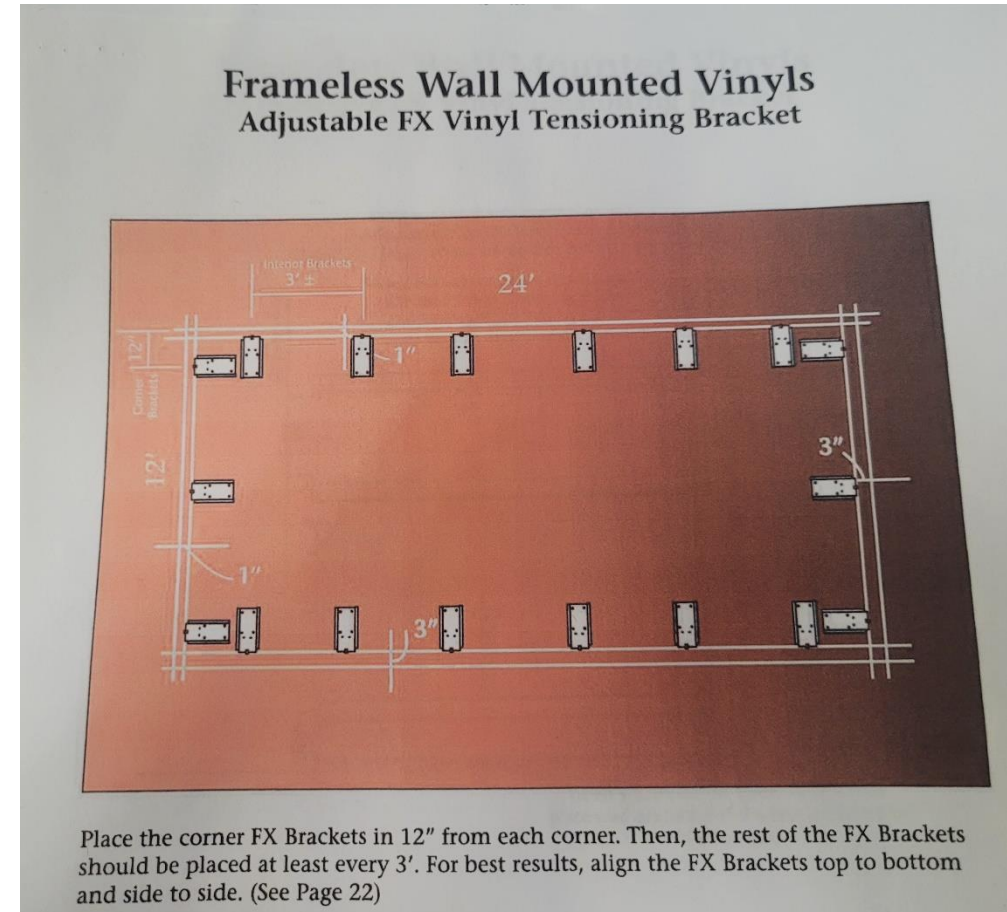
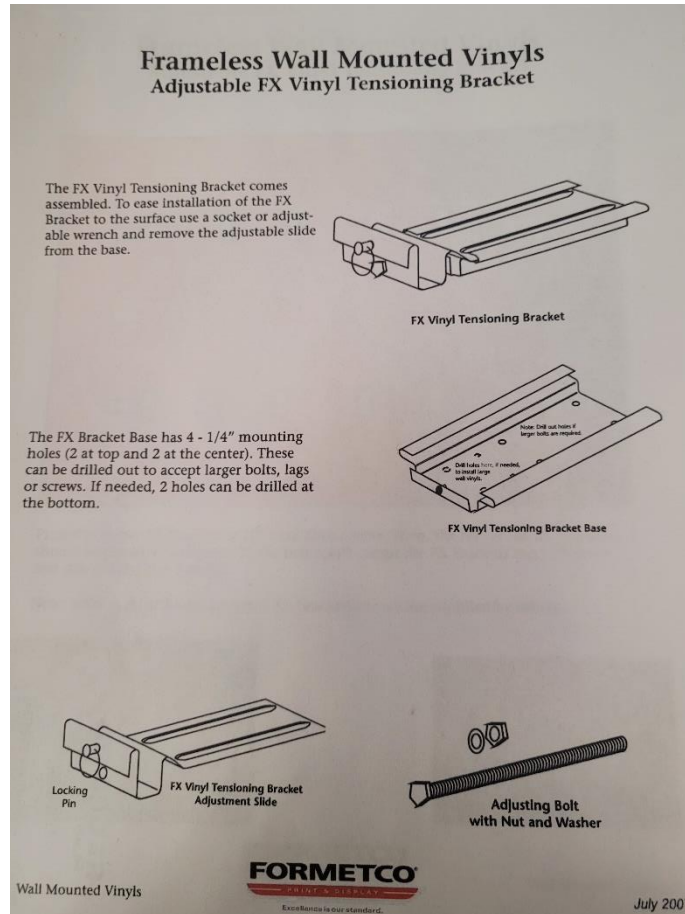
Image Superimposed on Building



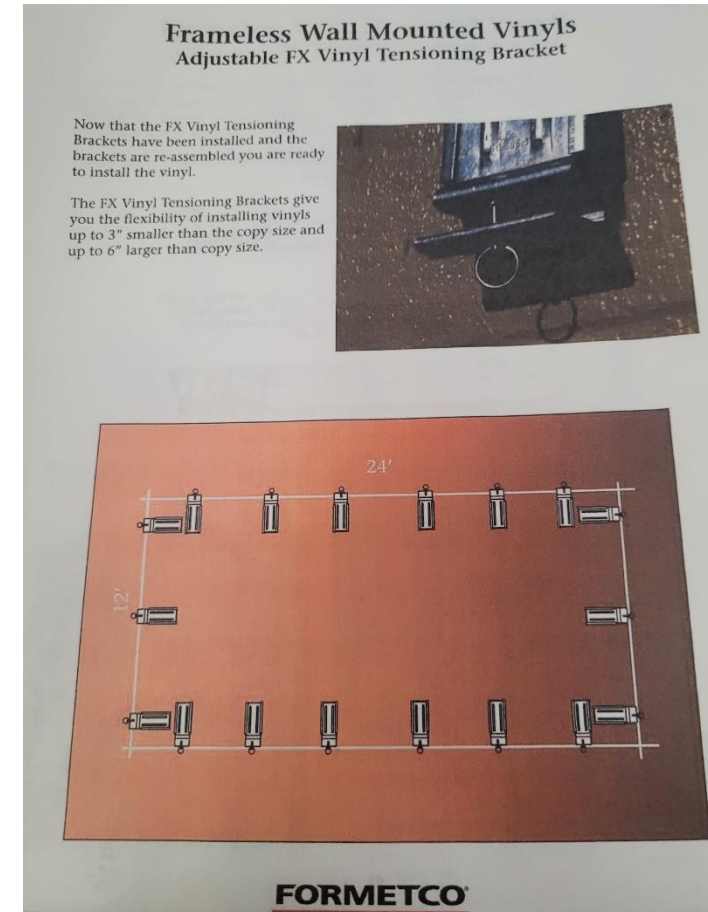
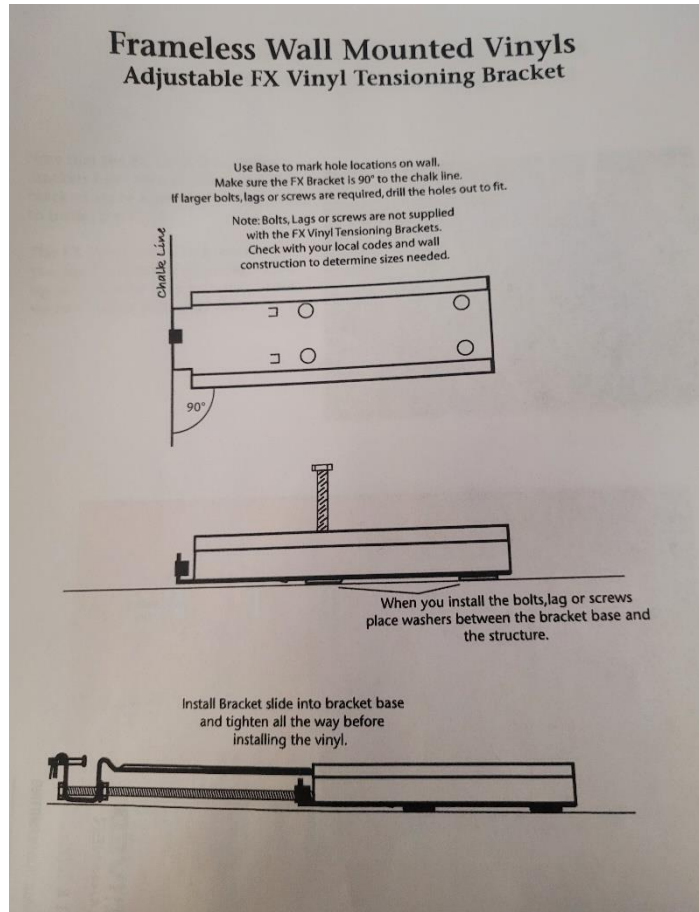
Materials: Frameless Wall Mounted Vinyl w/tensioning brackets - installed by Lamar Advertising (Examples)



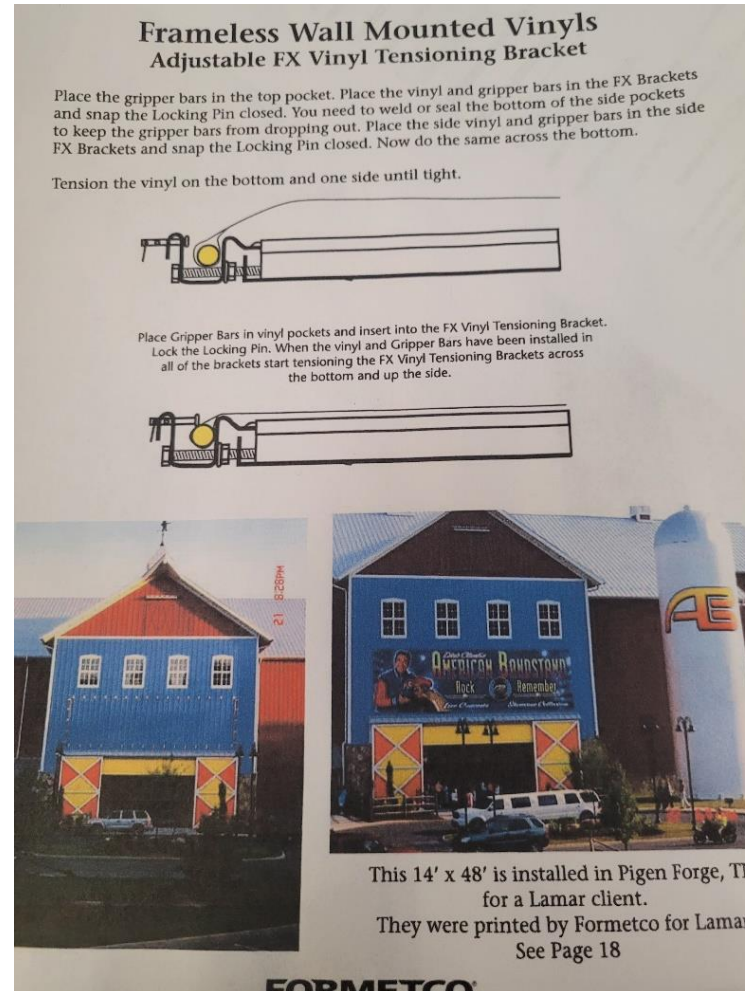
Materials: Frameless Wall Mounted Vinyl w/tensioning brackets - installed by Lamar Advertising



Materials: Frameless Wall Mounted Vinyl w/tensioning brackets - installed by Lamar Advertising



Materials: Frameless Wall Mounted Vinyl w/tensioning brackets - installed by Lamar Advertising





April 21, 2023

DF2023-016 Maya Temporary (30-Day) Sculpture: Seeking Final Approval

Location: Greenspace at Huron Road and Ontario Street

Representative: Dave Biro, Artist

Committee Recommendation: Approved as presented

CLE DZN & Midnight Art Club
present:

Maya

Statement

- Over the past 5 years, CLE DZN has been creating large scale public art installations in the greater Cleveland area.
- Our mission is to create a new inclusive, diverse, collaborative art community centered around large scale public art that seeks to engage, motivate, and inspire the people across Cleveland and Northeast Ohio.
- We stand ready and willing to work with Federal, State, City, and Community leaders and organizations to raise awareness and help proliferate large scale public art across the city.
- To date, we've created over 7 public art installations, invested & contributed over ~\$500k in art into the city, hosted over 4 dozen musical and performance artists in our art, and engaged over 10's of thousands of everyday people.

Maya : Green Space RoMoFiHO Site Placement

Maya Dimensions + Weight:

- .20 Feet (length) x 10 Feet (width)
- . x 8 Feet (height) : 200 Sq Ft.
- Approx weight 2,500lbs
- .1020 Carbon Steel Sheet : 12gauge
- .1" Square Steel Tube Internal Frame
- . with .125" tube wall thickness
- .Dupont Centari Automotive Paint Finish

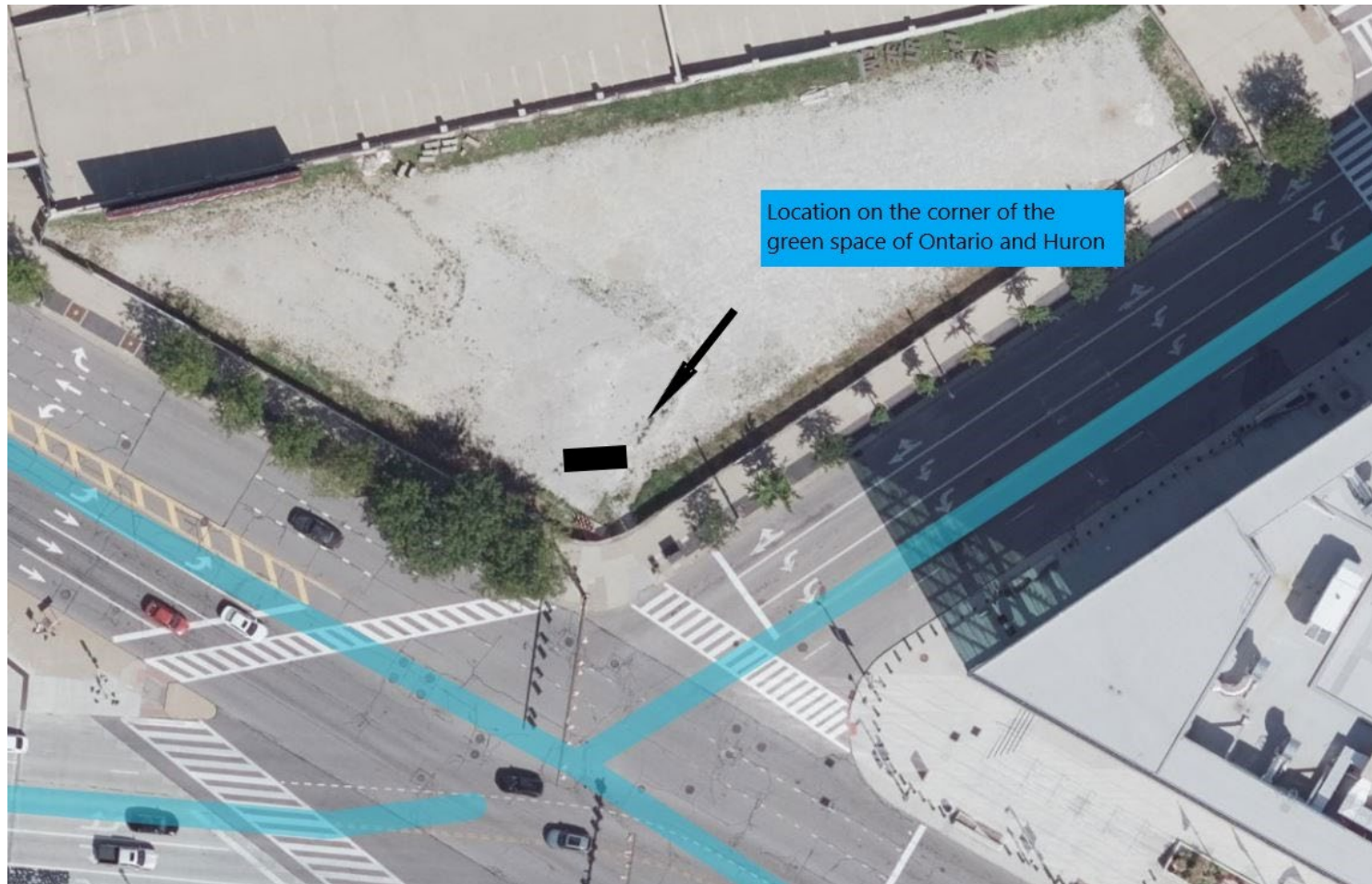


Maya : Location

Location

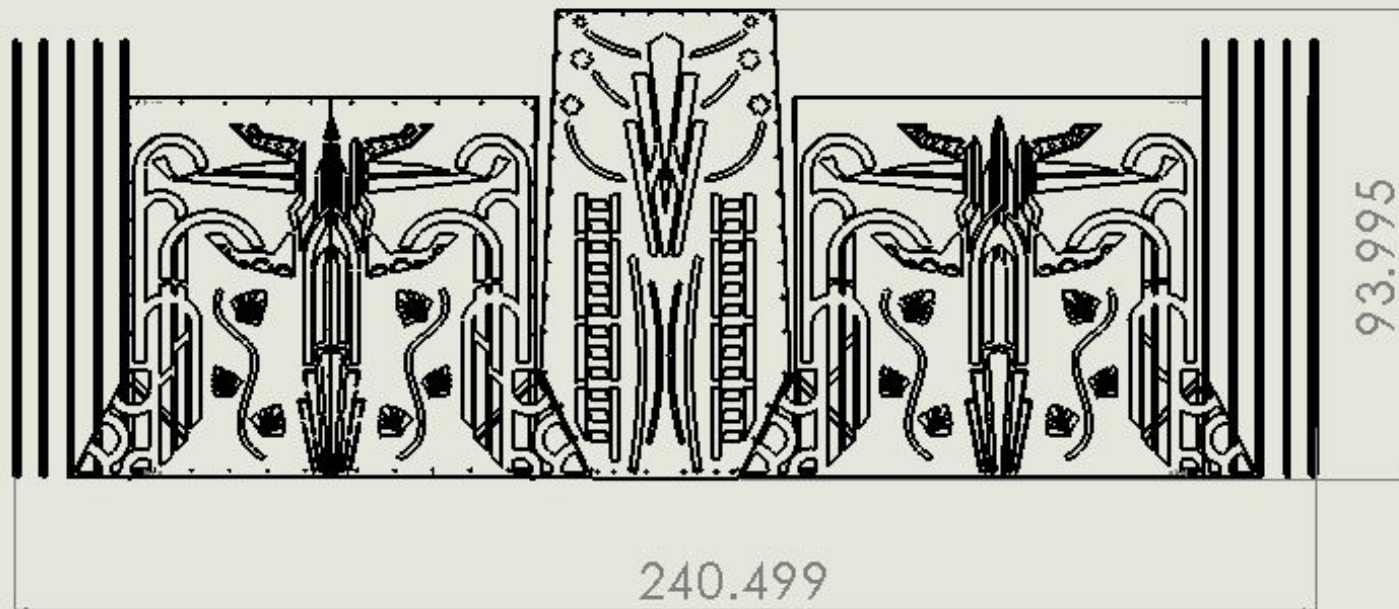
- City of Cleveland : Green Space Corner of Ontario and Huron Ave.
- Located on green space across from Rocket Mortgage Fieldhouse and
- outside of Jacks Casino parking garage.

Layout Position: Site map :
Maya: Location



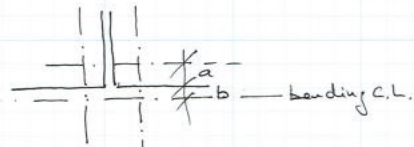
Maya : Engineering

Maya
Front Elevation



Maya : Engineering Report

Check $\frac{1}{2}'' \times \frac{1}{2}'' \times \frac{1}{8}''$ back to back angles



$$I_y = 0.0036 \text{ in}^4$$

$$S_y = 0.0101 \text{ in}^3$$

$$A = 0.0577 \text{ in}^2$$

Assembly-bending modulus:

$$a = 0.137 \text{ in}$$

$$b = 0.03 \text{ in}$$

$$I_{\text{assembly}} = 2I_y + 2(a+b)^2 \cdot A = 2 \cdot 0.0036 \text{ in}^4 + 2(0.137 + 0.03)^2 \cdot 0.0577 \text{ in}^2 = 0.039 \text{ in}^4$$

$$S_y = \frac{I_{\text{assembly}}}{a+b} = \frac{0.039 \text{ in}^4}{0.137 + 0.03} = 0.235 \text{ in}^3$$

$$\text{Bending stress: } \sigma_b = \frac{M_{\text{max}}}{S_y} = \frac{0.02 \text{ Kip} \cdot \text{in}}{0.235 \text{ in}^3} = 0.085 \text{ Ksi}$$

$$\text{Tensile stress: } \sigma_t = \frac{4.8 \times 10^{-3} \text{ Kip}}{0.0577 \text{ in}^2} = 0.083 \text{ Ksi}$$

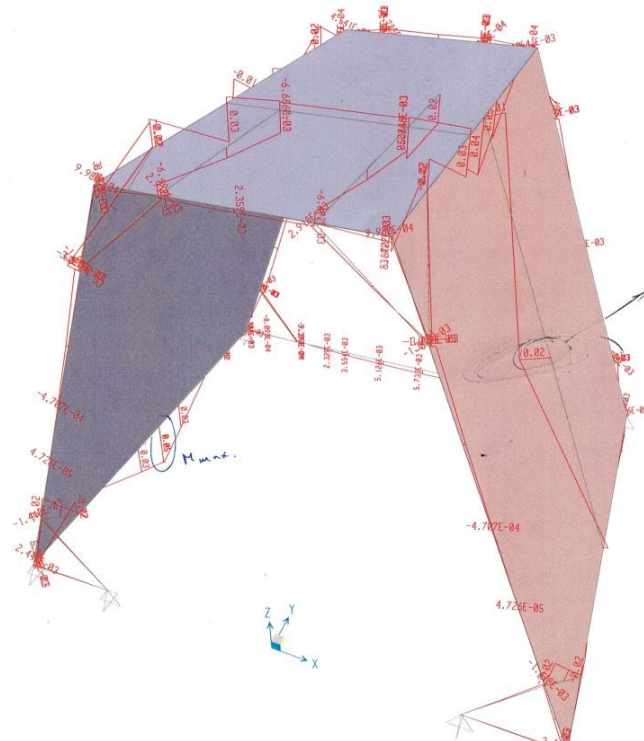
Combined bending + tensile:

$$\sigma_{\text{tot}} = 0.085 \text{ Ksi} + 0.083 \text{ Ksi} = 0.168 \text{ Ksi}$$

$$\sigma_{\text{allowable}} = 0.6 F_y = 0.6 \times 36 \text{ Ksi} = 21.6 \text{ Ksi}$$

$$\sigma_{\text{tot}} = 0.168 \text{ Ksi} < 21.6 \text{ Ksi} = \sigma_{\text{allowable}}$$

Negligible stress!





April 21, 2023

DF2023-018 - Toco-Oco in Cleveland: Seeking Final Approval

Locations: Various locations in the Downtown area

Representative: Erin Guido, LAND Studio

Committee Recommendation: Approved as presented

TOCO-OCO IN CLEVELAND

Bringing 16 temporary sculptures by Brazilian duo to
Downtown Cleveland for 2023-2024

L | A | N | D

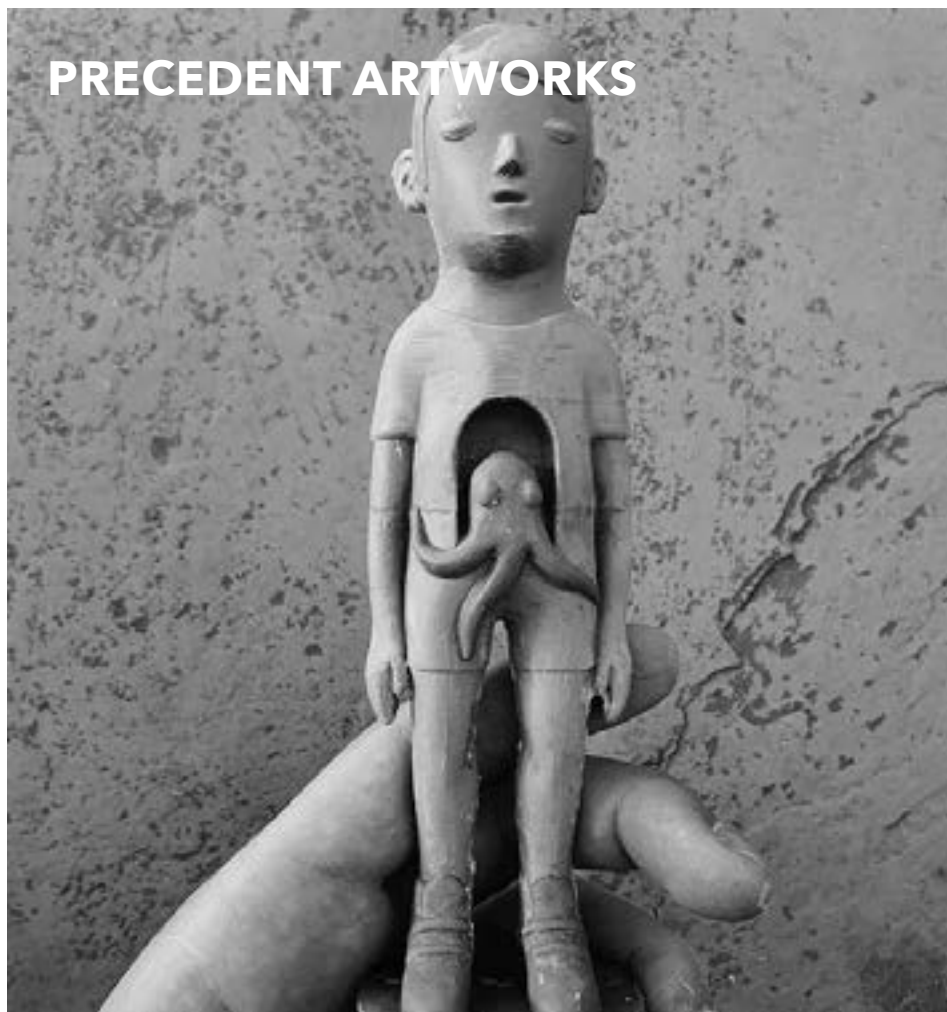




About the artist team:

With their series of colorful sculptures, Toco-Oco has created a new way of expressing its art in Brazil. The Brazilian artists, Guilherme Neumann and Lara Alcantara, met in a Visual Arts course in 2012 and have been collaborating ever since. Working in wood, resin, fabric, 3D printing, and ceramics, the artist couple creates works that address questions such as existentialism, the parallel between life & death and the relationship between man and nature.

PRECEDENT ARTWORKS



ARTWORKS

16 artworks

The pieces are made of fiberglass with an internal structure in metal. They were painted with an automotive base paint, in color by Lara and Gui of Toco-Oco, and then coated with an automotive varnish with UV protection.

- 2 of SHELTER (4.9')
- 2 sets of 3 GUIDO (We Grow Stronger Together): 1.70m (5.58')
- 3 of BIRD 1 (orange): 1.50m (4.9')
- 3 of BIRD 2 (pink): 1.50m (4.9')
- 2 of MUMMER (Guardian of Forgotten Memories): 1.90m (6.23')

BIRD 2



MUMMER



SHELTER



BIRD 1



GUIDO











LOCATIONS

Public Square, City Hall, Cleveland Public Library, Mall C Overlook Garden

The artworks would be installed temporarily (1 year) in locations around Downtown Cleveland by attaching them a metal base.

- 2 of SHELTER to be installed at the main entrance of the downtown Cleveland Public Library
- 2 sets of 3 GUIDO (We Grow Stronger Together) to be installed in planter beds of Public Square
- 3 of BIRD 1 (orange) to be installed in planter beds of Public Square
- 3 of BIRD 2 (pink) to be installed in the Overlook Garden on Mall C
- 2 of MUMMER (Guardian of Forgotten Memories) to be installed at the entrance of City Hall



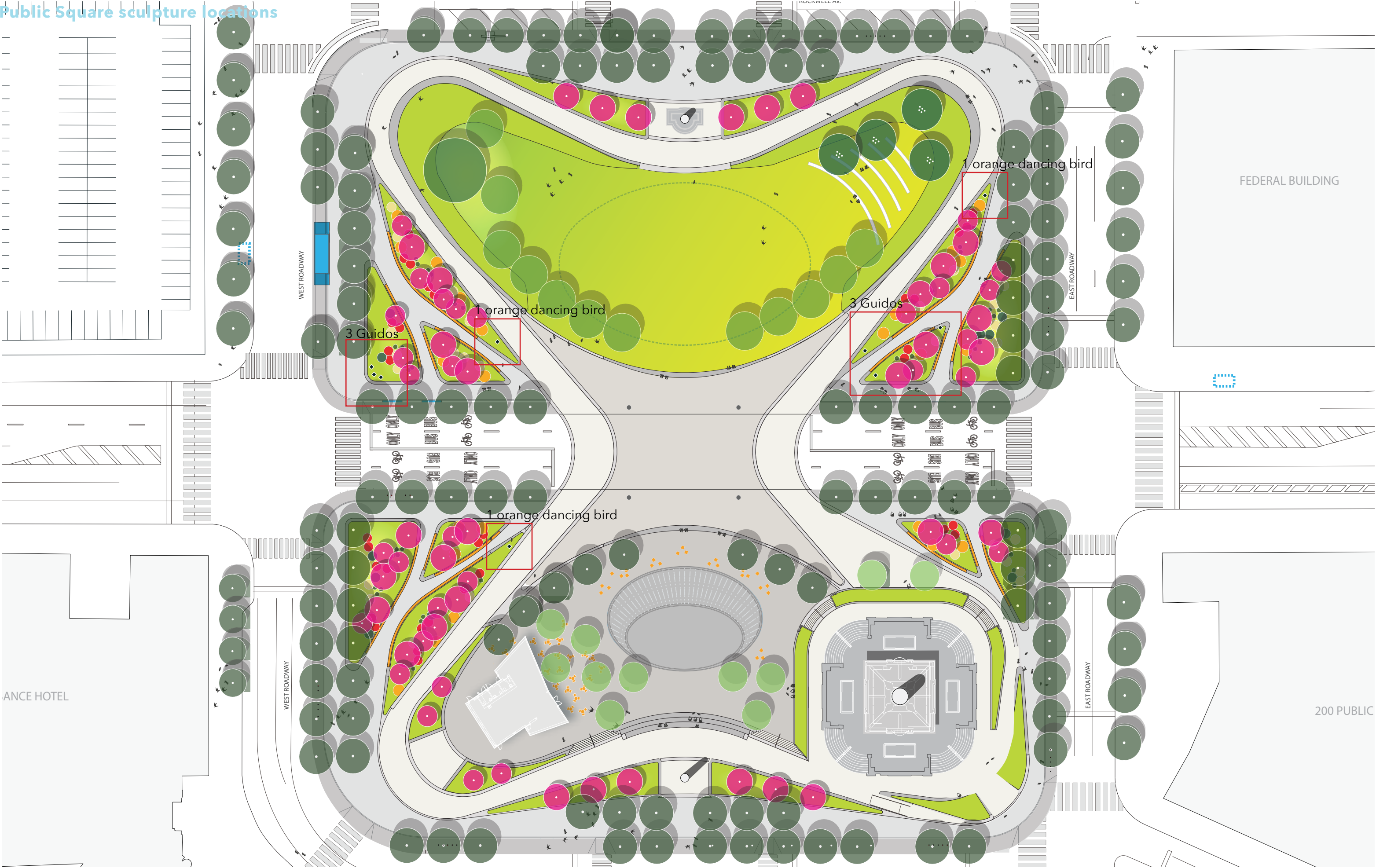
Overlook Garden at Mall C

City Hall

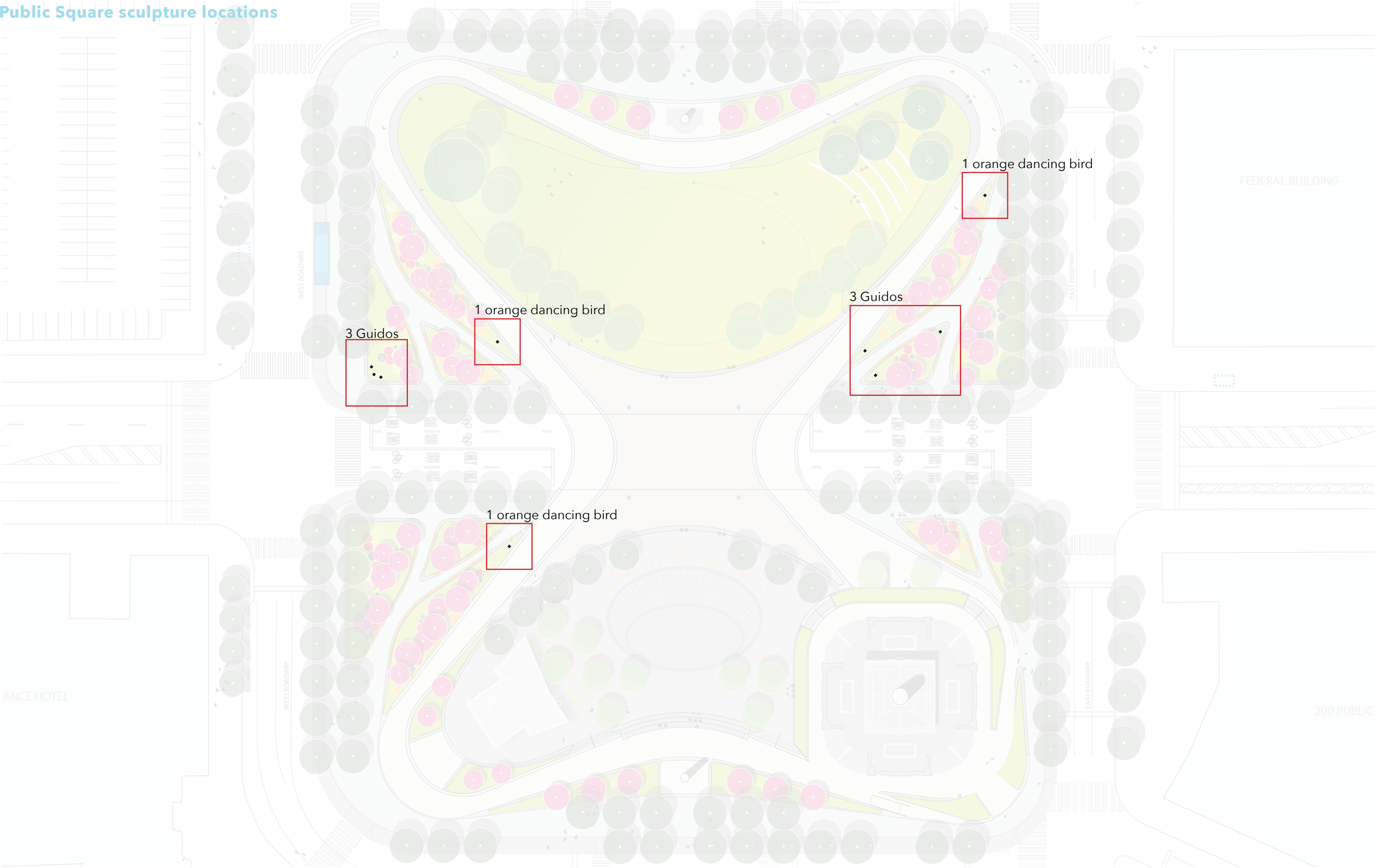
Public Square

Cleveland Public
Library Main entrance

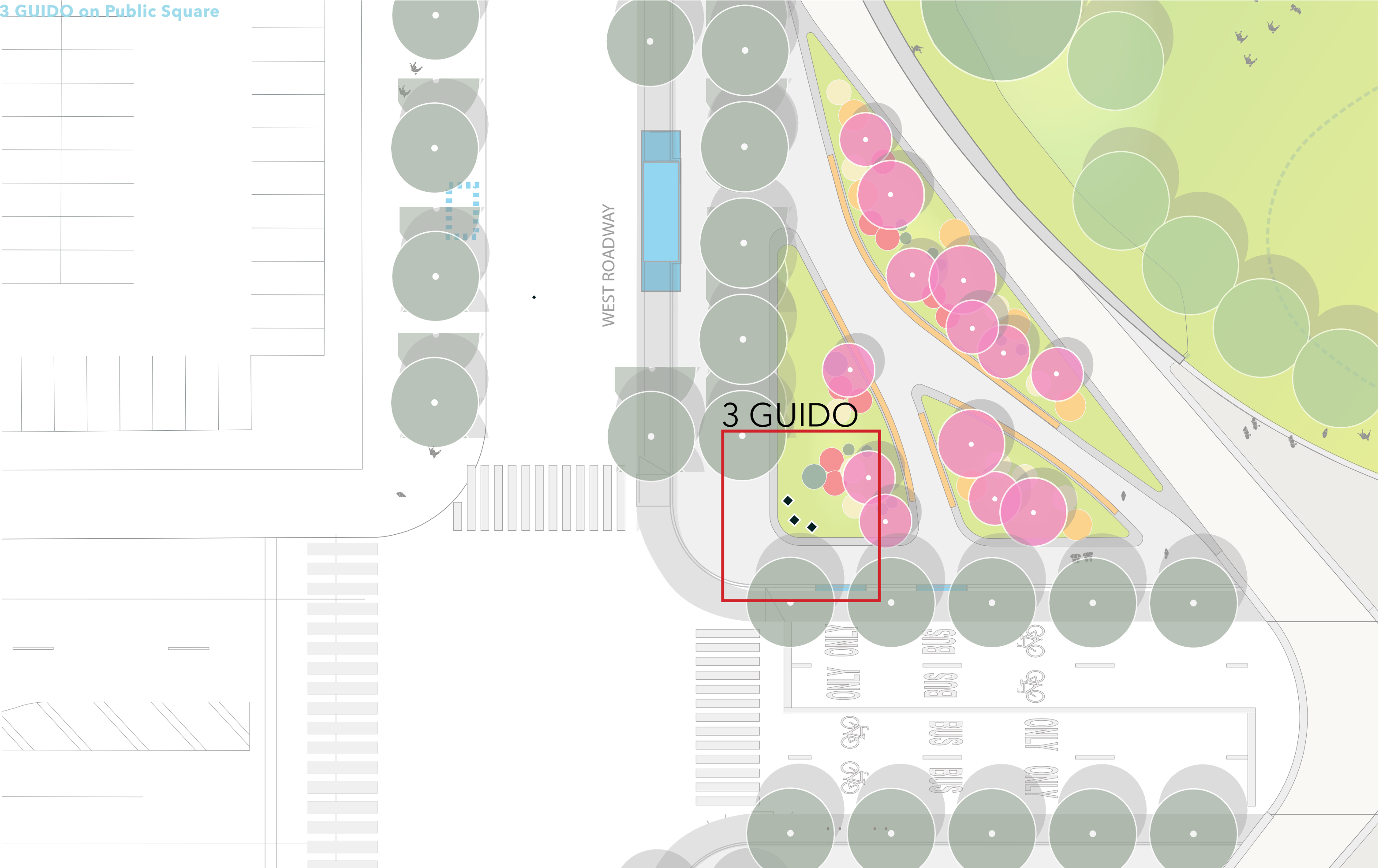
Public Square sculpture locations



Public Square sculpture locations

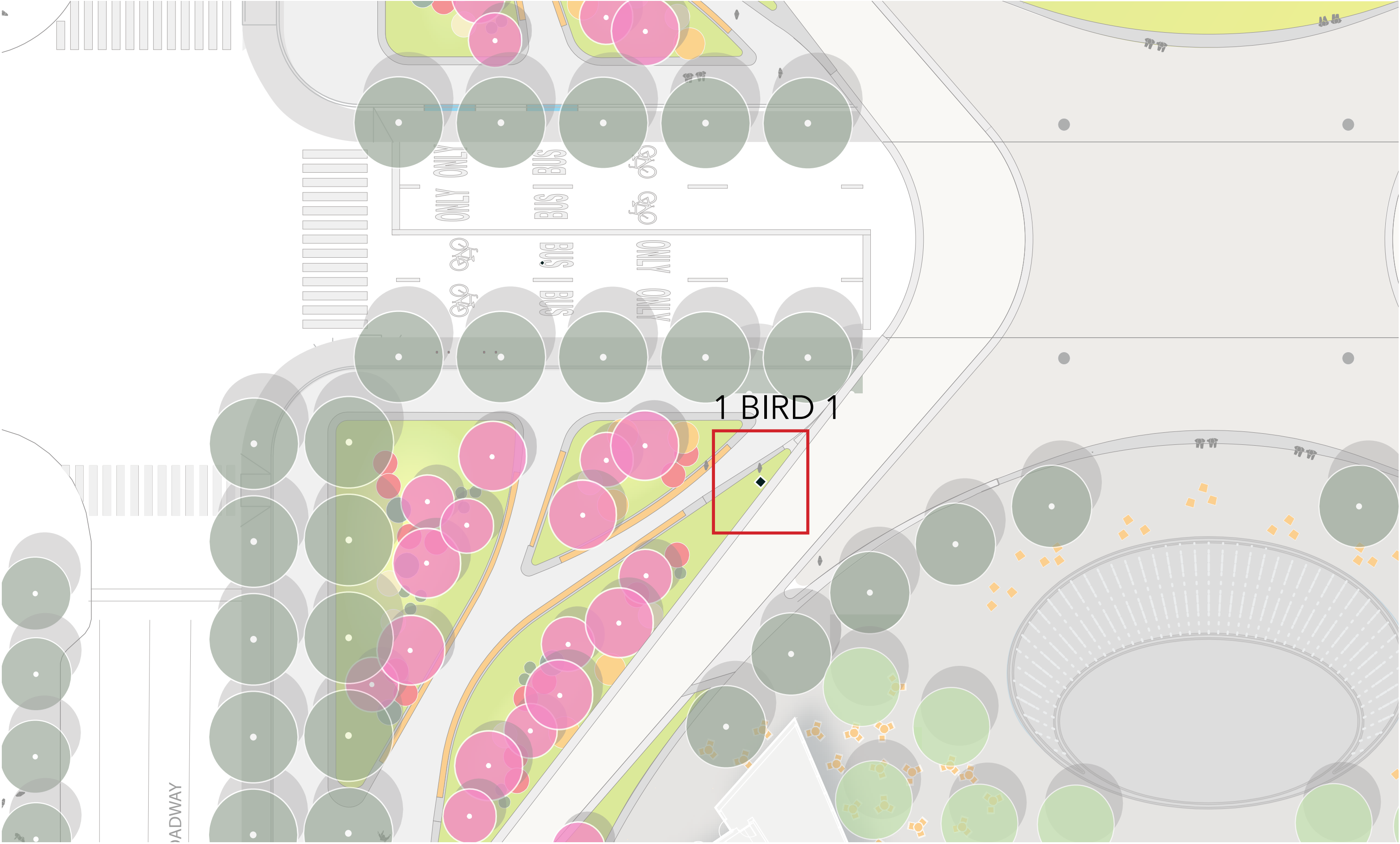


3 GUIDO on Public Square

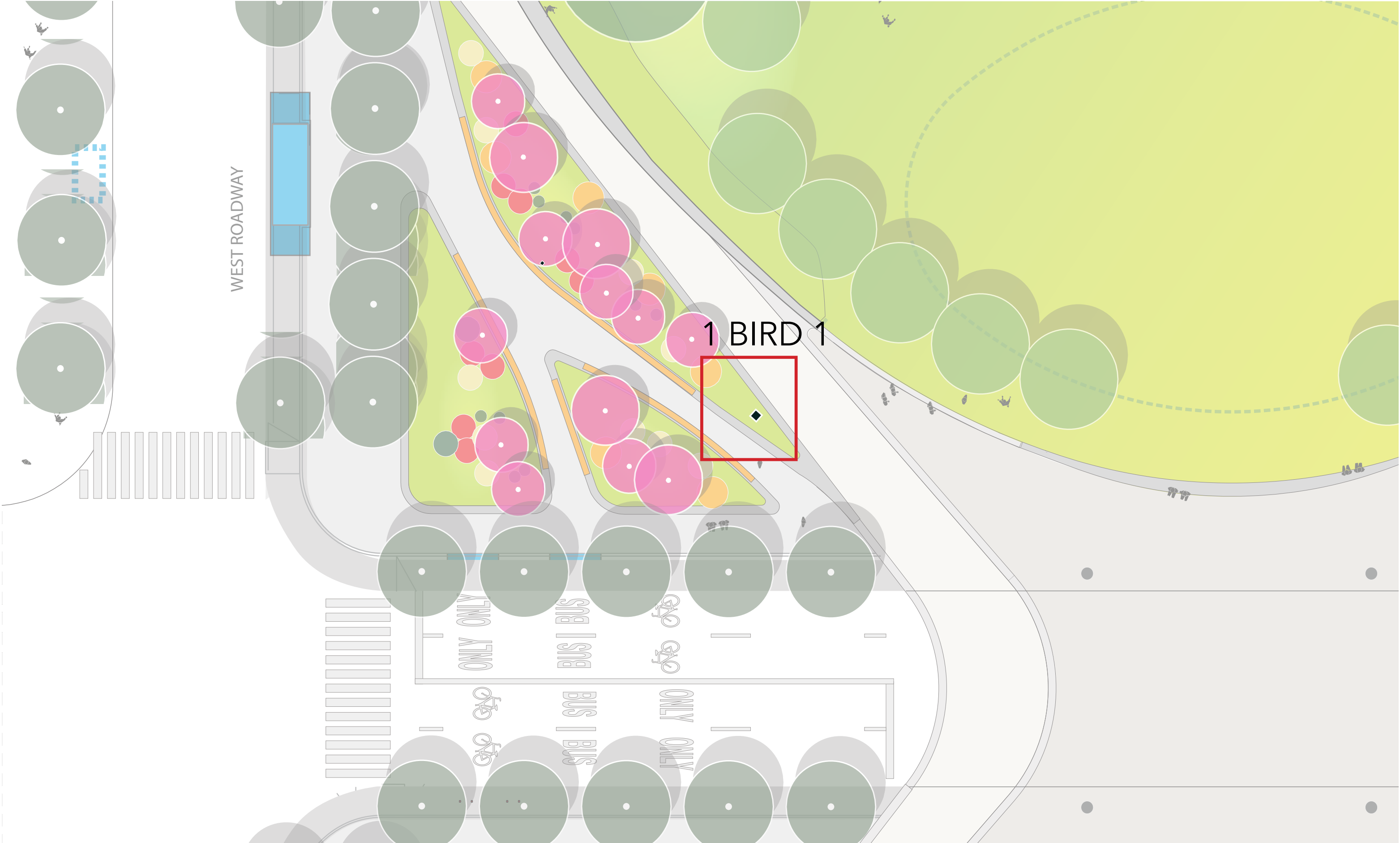


3 GUIDO on Public Square

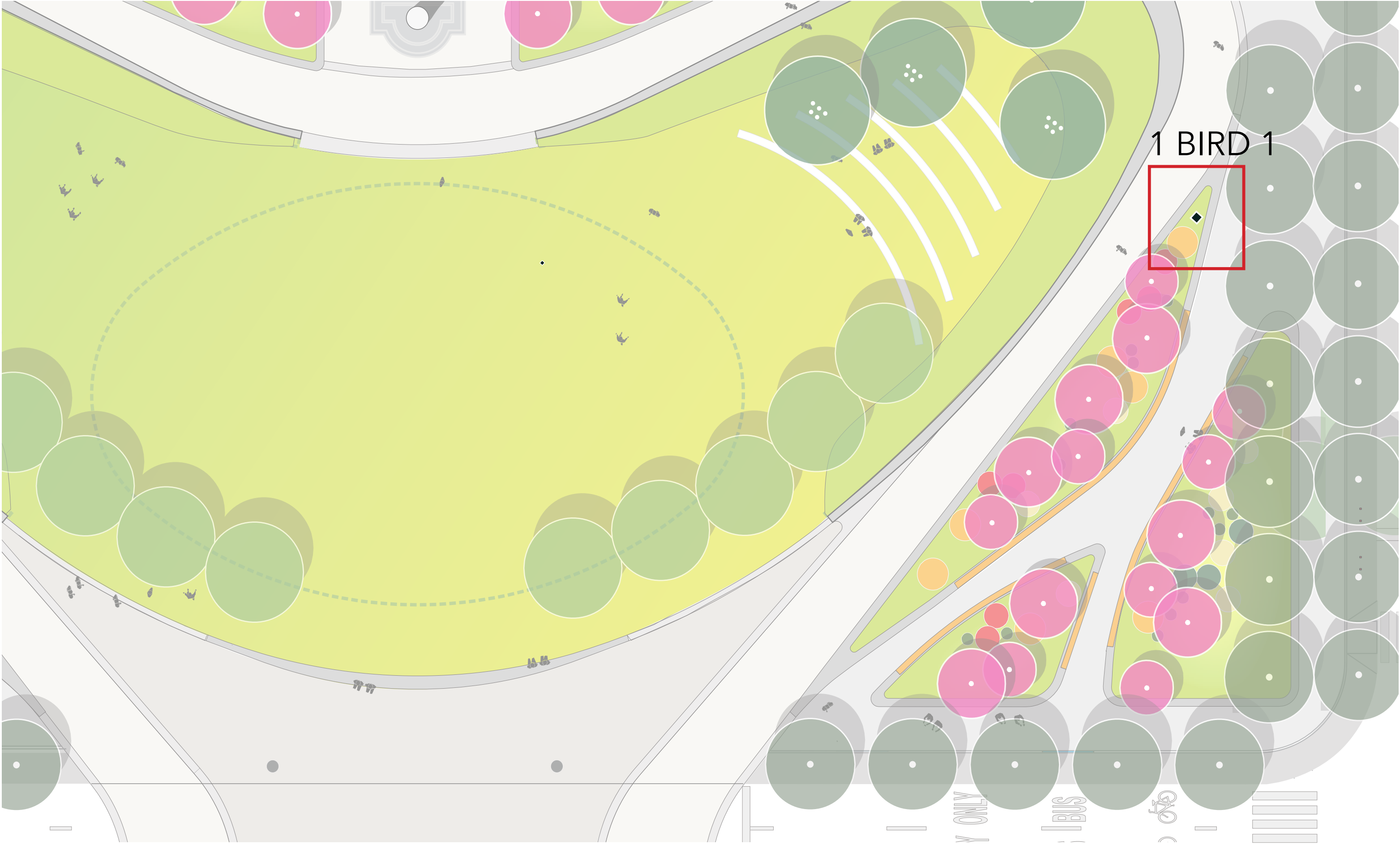




BIRD 1 on Public Square



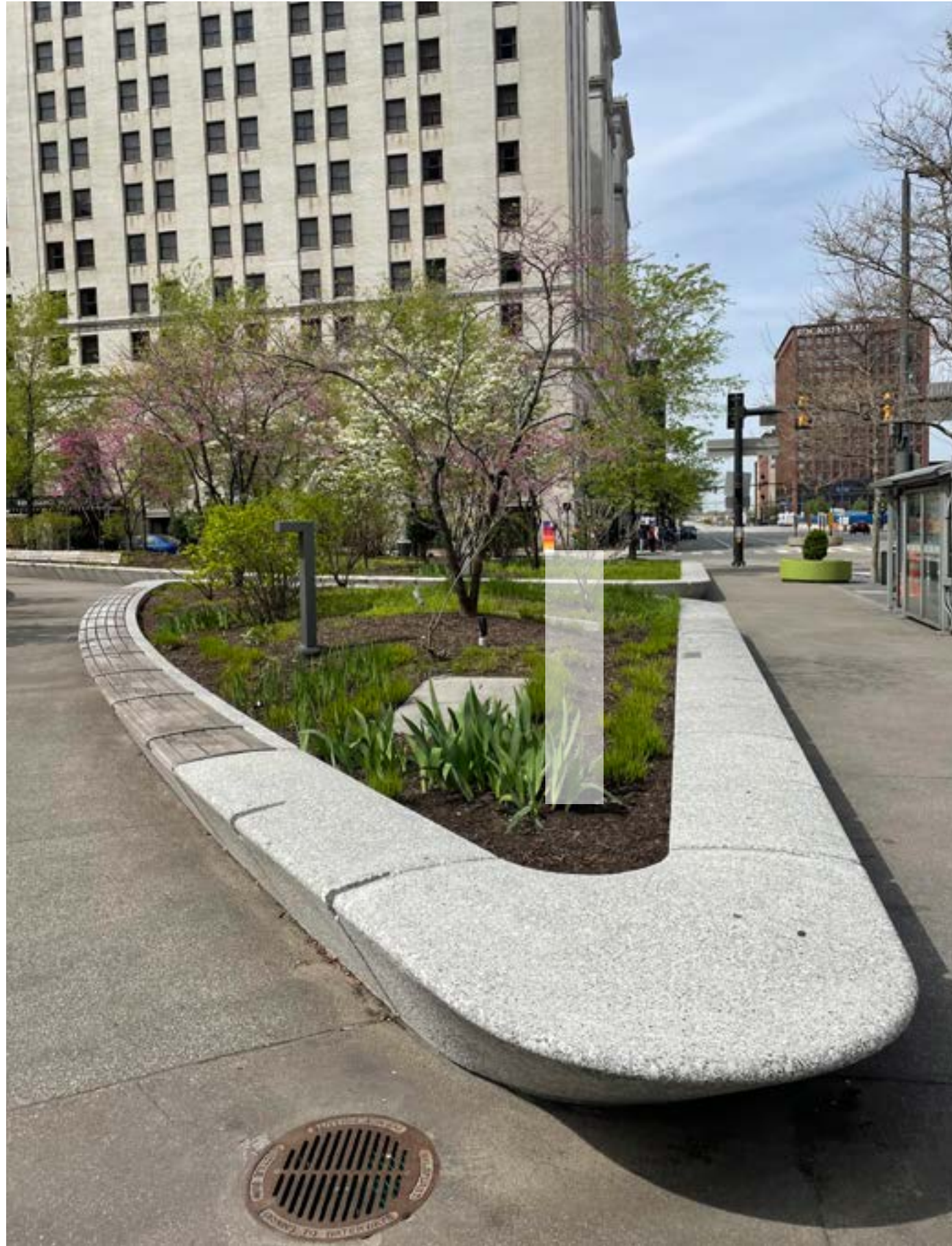
BIRD 1 on Public Square



BIRD 1 on Public Square

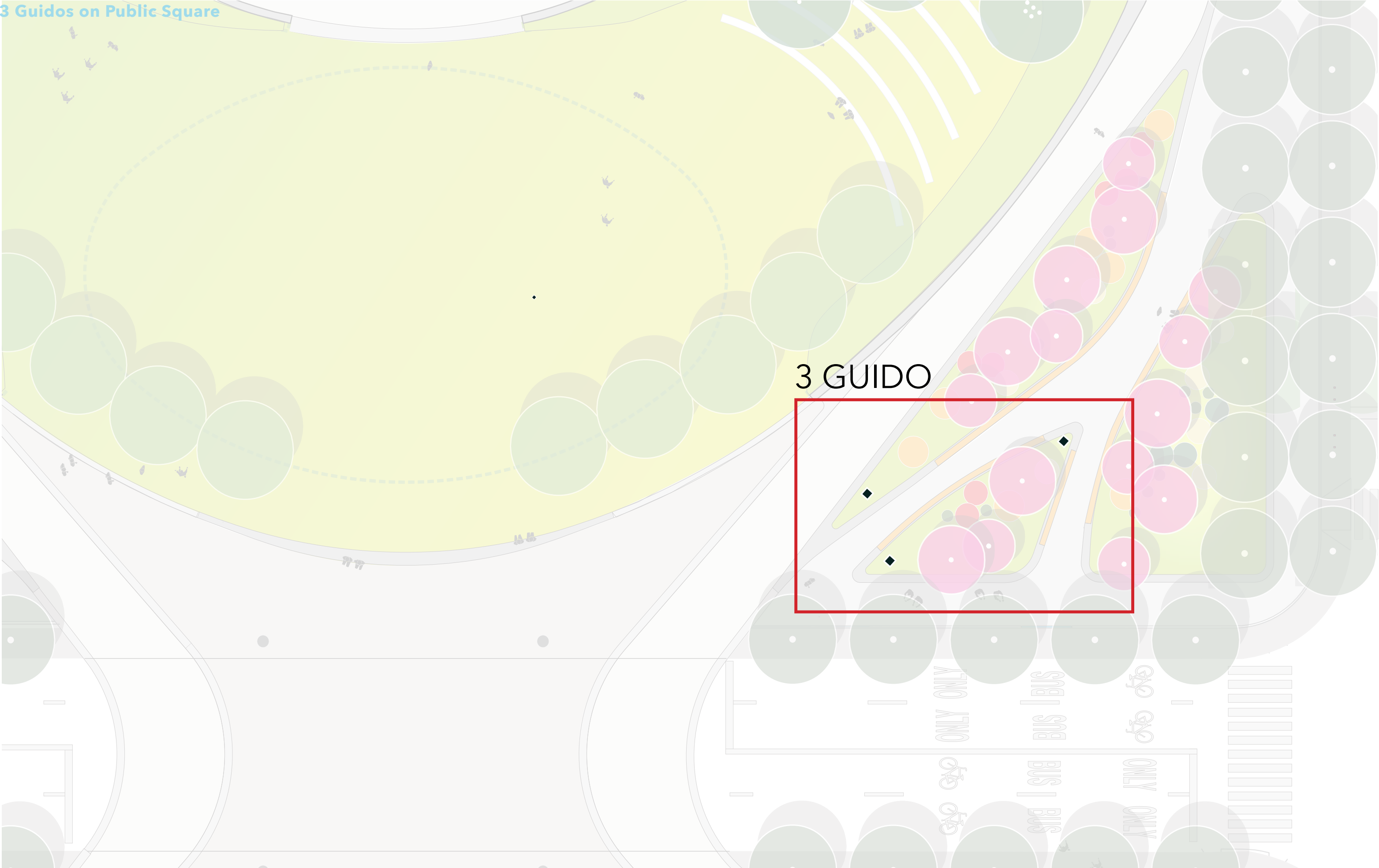


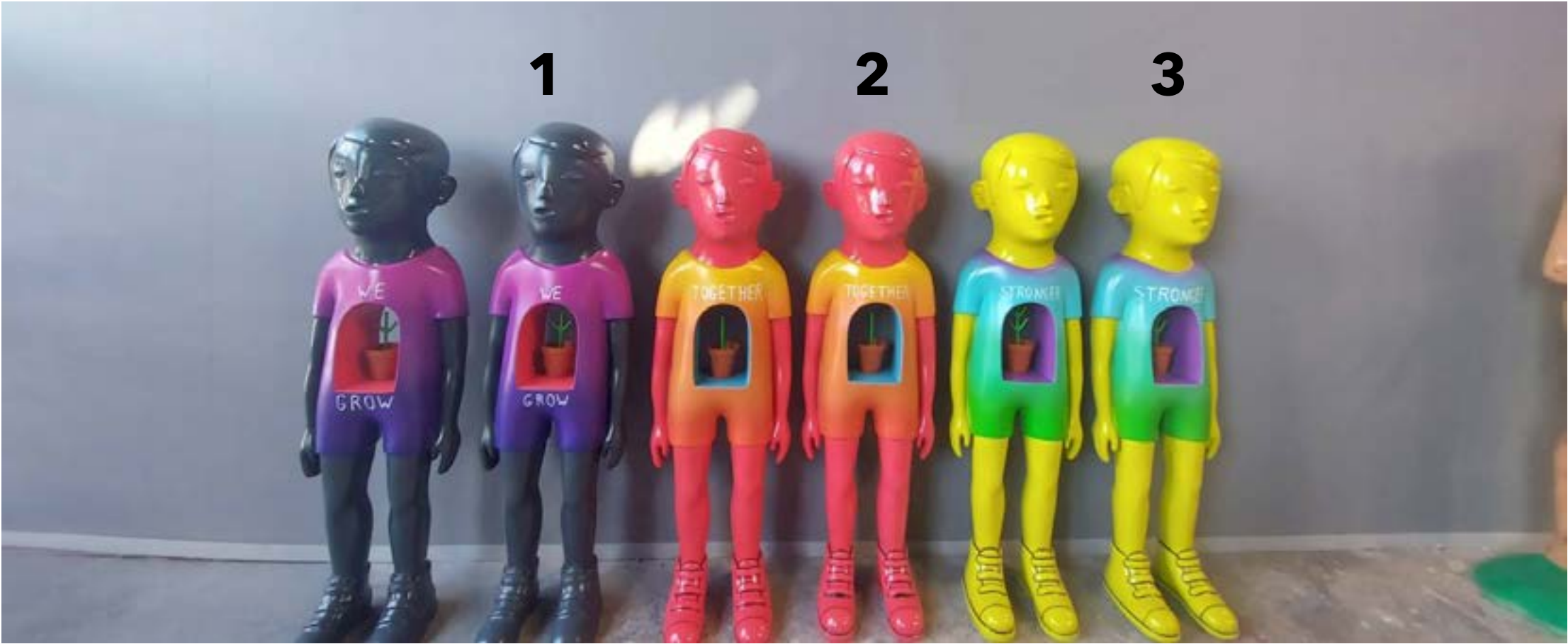
BIRD 1 on Public Square: example of placement in garden bed

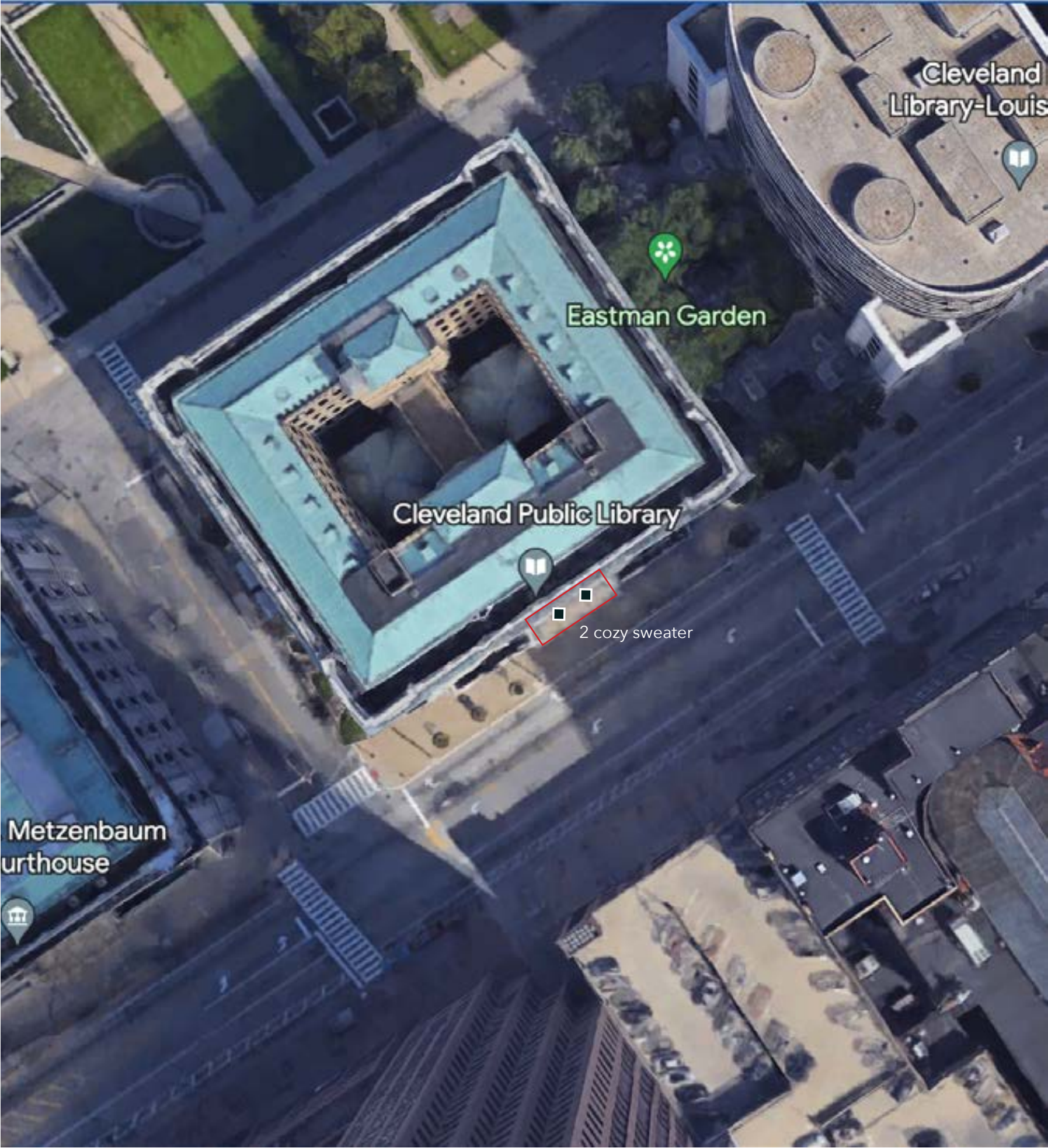


3 Guidos on Public Square

3 GUIDO







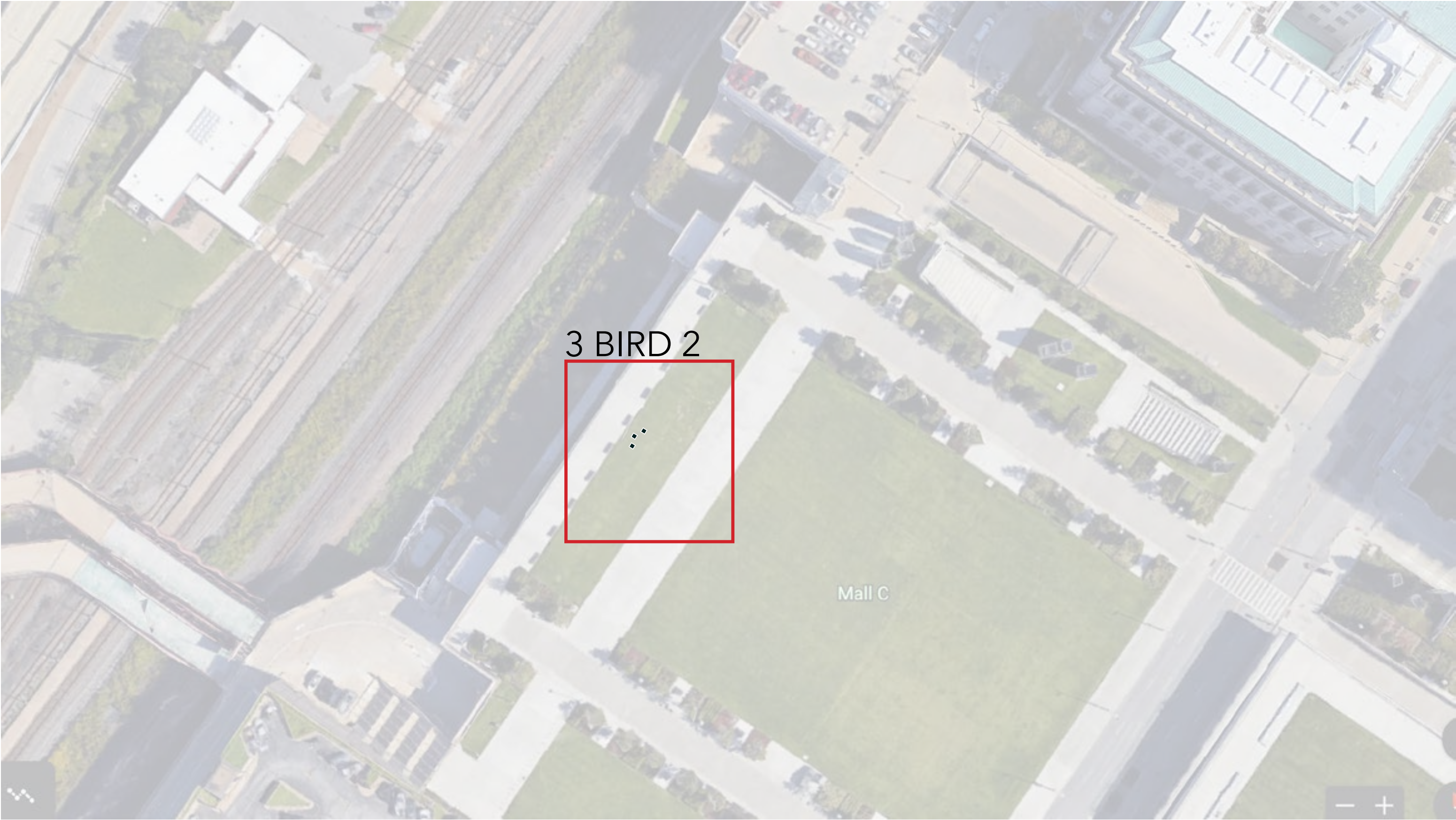


1

2

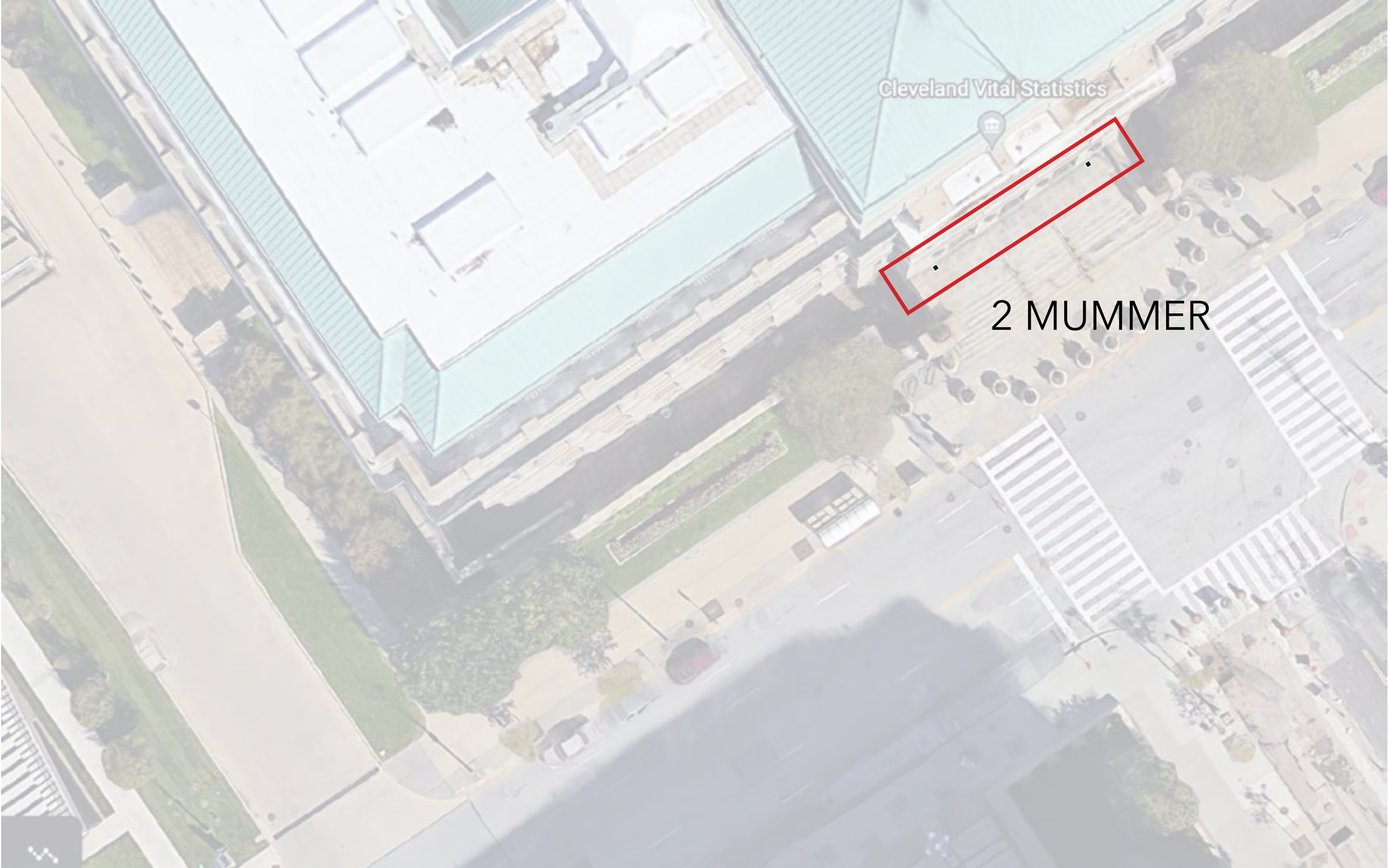


3 BIRD 2 at the Overlook Garden on Mall C



3 BIRD 2 at the Overlook Garden on Mall C





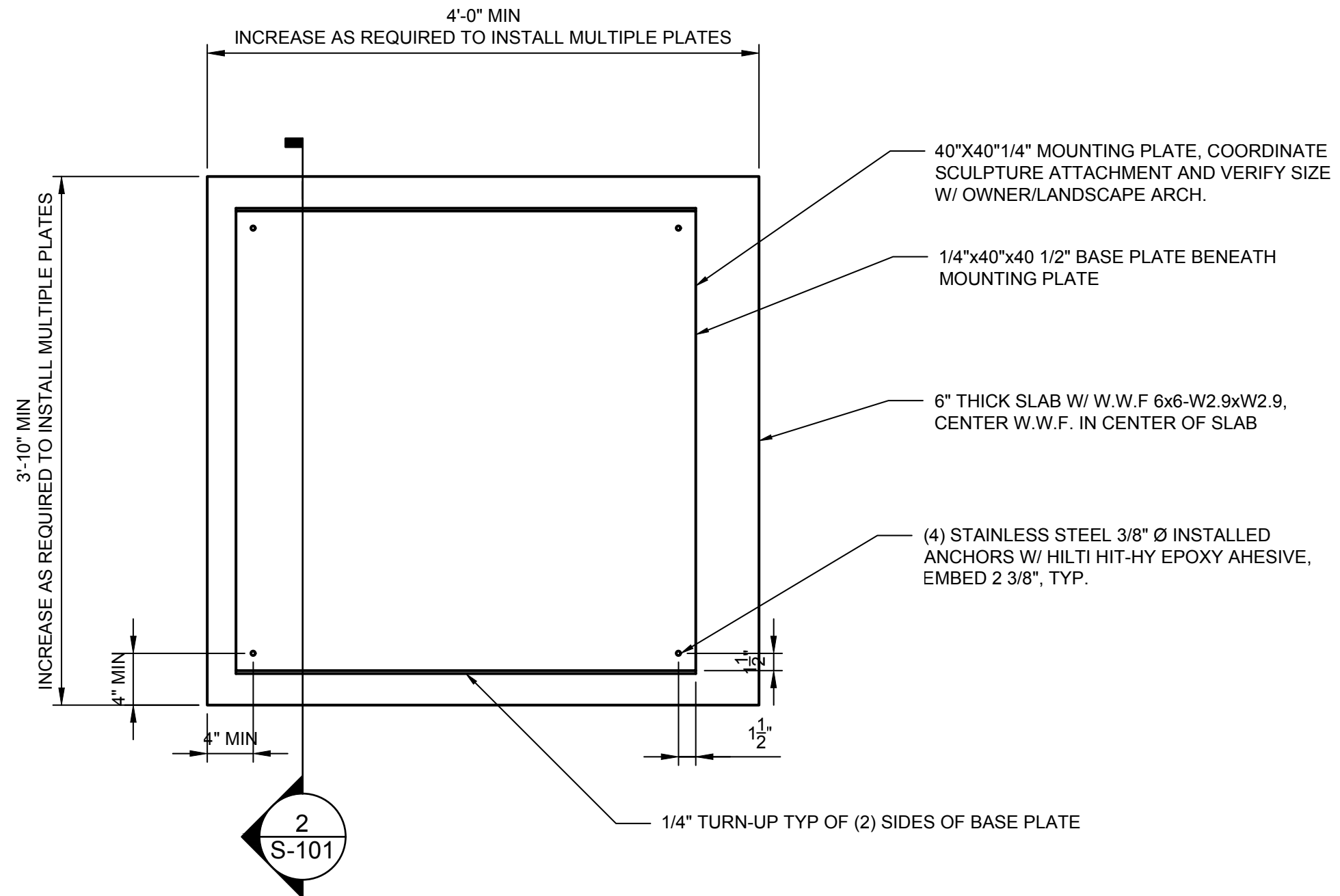
2 MUMMER at City Hall



2 MUMMER at City Hall



BASE



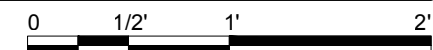
NOTES:

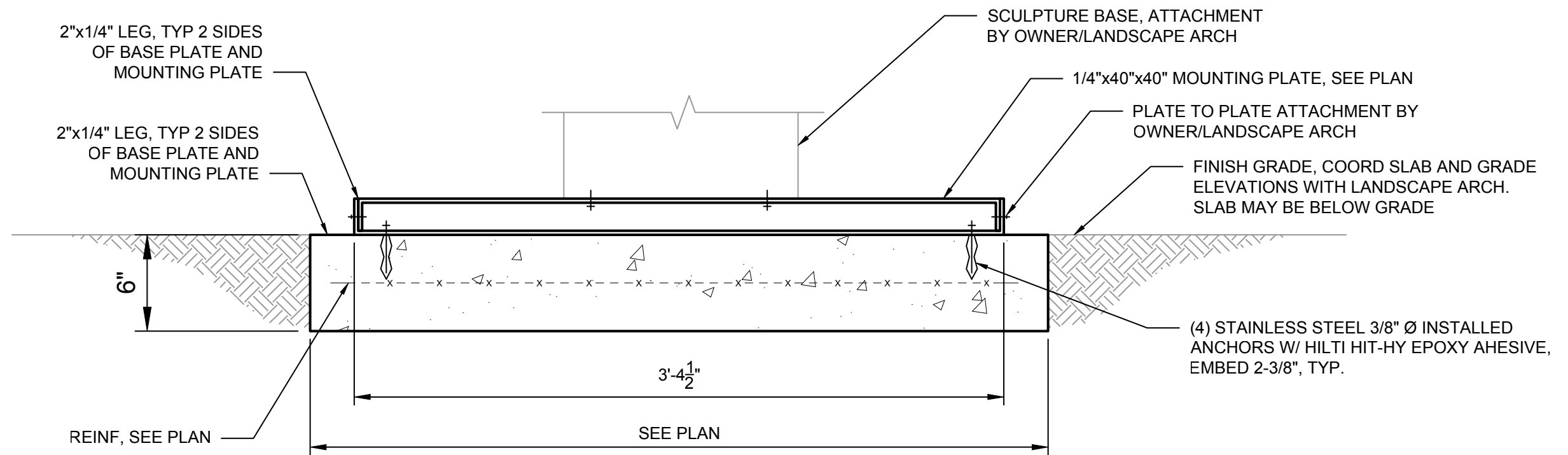
- 1) SEE STRUCTURAL GENERAL NOTES ON THIS SHEET.
- 2) COORDINATE ATTACHMENT REQUIREMENTS WITH SCULPTURE. COORDINATE W/ OWNER/LANDSCAPE ARCHITECT AS REQUIRED.
- 3) VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, STRUCTURES, AND SERVICES PRIOR TO EXCAVATION.
- 4) FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
- 5) TYPICAL FOOTING DETAIL IS APPLICABLE TO SCULPTURES NO TALLER THAN 6'-0" AND NO WIDER THAN 4'-0". NOTIFY ENGINEER AND OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLING FOOTINGS IF ACTUAL CONDITIONS DIFFER FROM THESE ASSUMPTIONS.
- 6) COAT ALL STEEL WITH SHERWIN WILLIAMS MACROPOXY 646 COATING.
- 7) DETAIL OCCURS MULTIPLE TIMES. COORDINATE WITH OWNER/LANDSCAPE ARCHITECT FOR EXACT QUANTITY.

1

TYPICAL SCULPTURE FOUNDATION PLAN

SCALE: 1" = 1'-0"





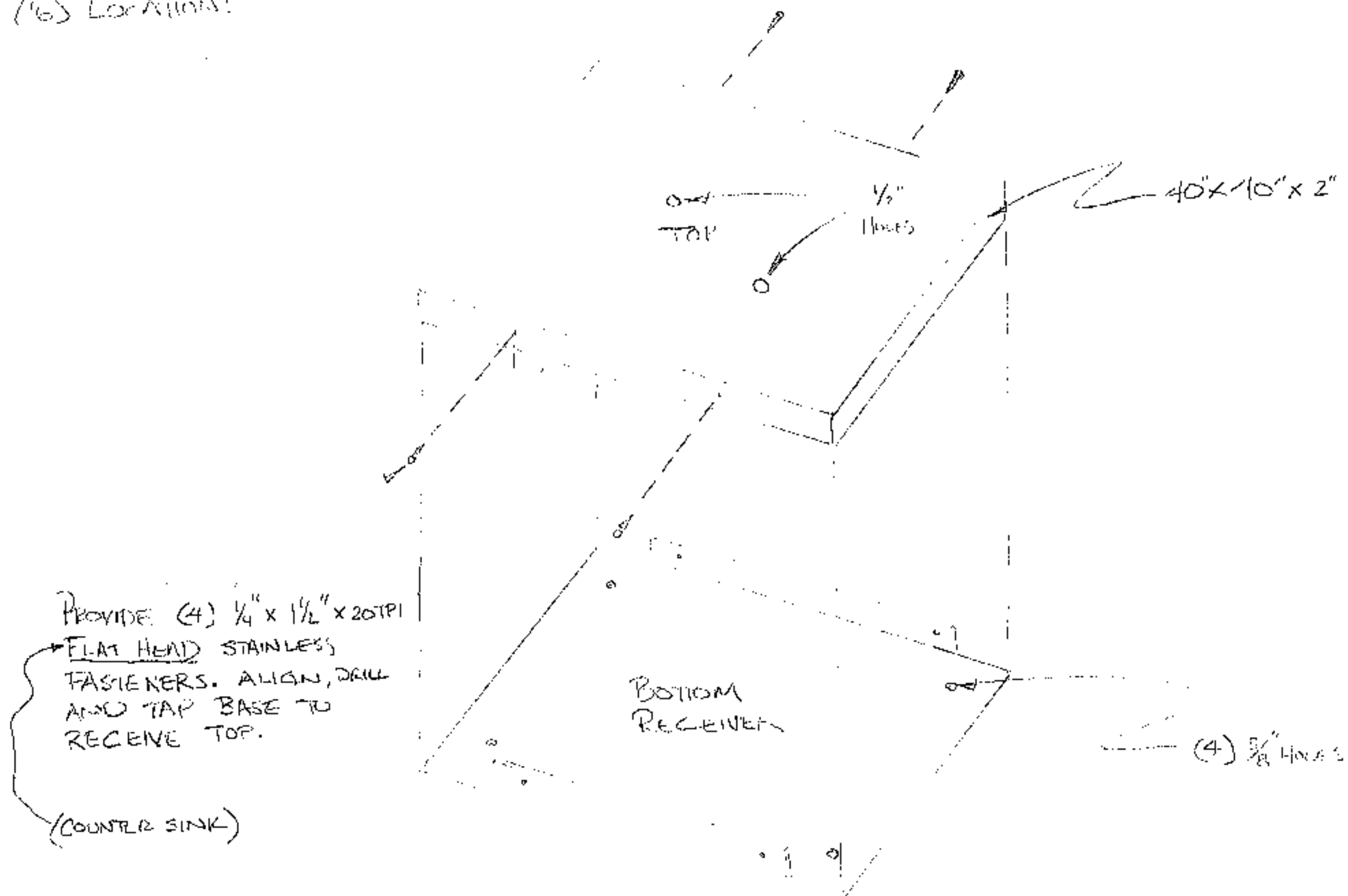
2

SECTION

SCALE: 1-1/2" = 1'-0"



(16) LOCATIONS:



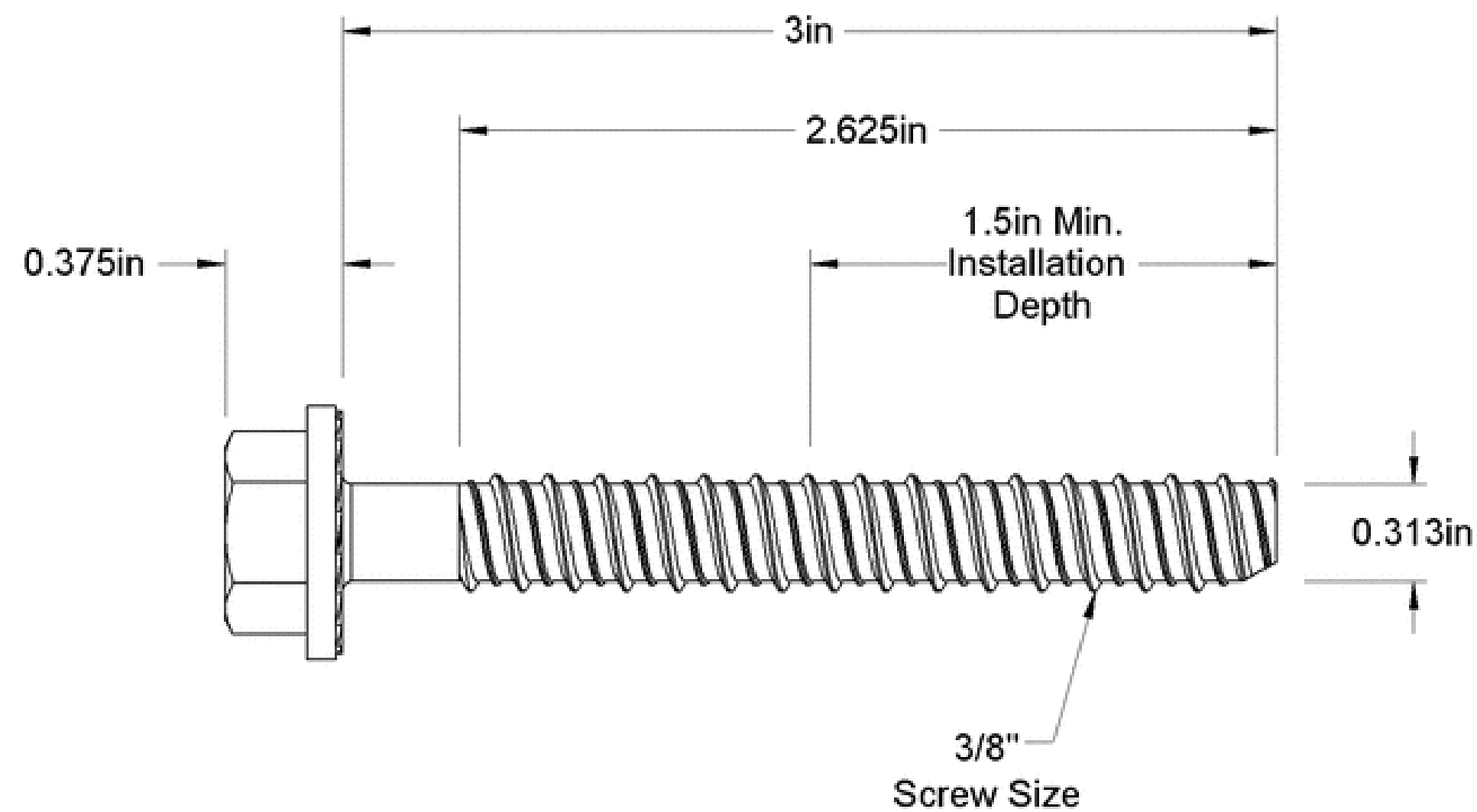
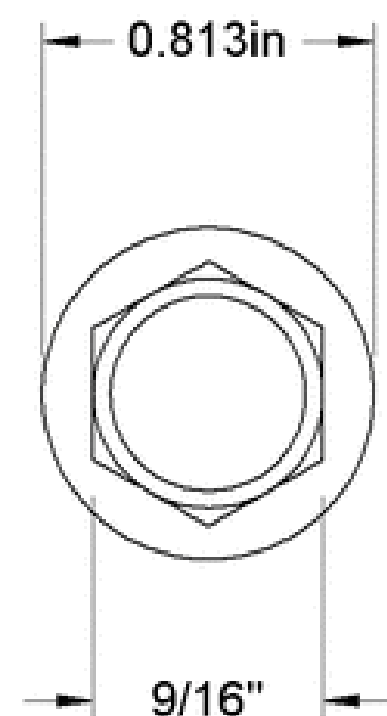
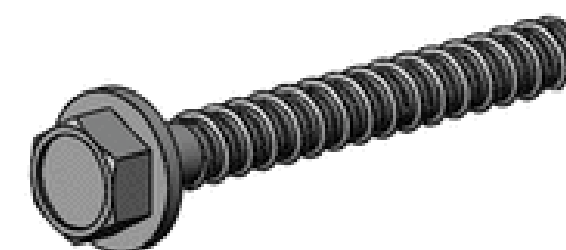
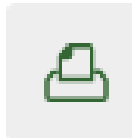
MOUNTING
STUDS



$\frac{3}{4}$ " x $\frac{3}{4}$ " x 12" B&E STOCK

TURN DOWN $1\frac{1}{2}$ " to $\frac{1}{2}$ " x 13-TPI

Qty: (32)



RISK CATEGORY:		I
SNOW LOAD:		
GROUND SNOW LOAD, Pg:	-----	30 PSF
FLAT ROOF SNOW LOAD, Pf:	-----	20 PSF
SNOW EXPOSURE FACTOR, Ce:	-----	1.0
SNOW IMPORTANCE FACTOR	-----	1.0
THERMAL FACTOR, Ct:	-----	1.0
SNOW DRIFT:	-----	PER ASCE-7
WIND LOAD:		
ULTIMATE DESIGN WIND SPEED (Vult):	-----	105 MPH
NOMINAL DESIGN WIND SPEED (Vasd):	-----	82 MPH
RISK CATEGORY	-----	I
WIND EXPOSURE	-----	C
WIND FORCE NON BUILDING STRUCTURES	-----	30 PSF

1. CONTRACTOR SHALL COORDINATE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS WITHIN THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS RELATED TO EXISTING CONSTRUCTION, EXISTING SERVICES, AND THE SITE BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE FOLLOWING ITEMS THAT WILL NOT BE REVIEWED BY THE OWNER, ARCHITECT OR ENGINEER.
 - a. DEVIATIONS FROM CONTRACT DOCUMENTS.
 - b. DIMENSIONS, ELEVATIONS, AND CONDITIONS TO BE CONFIRMED AND CORRELATED AT THE SITE.
 - c. FABRICATION PROCESS INFORMATION.
 - d. MEANS, METHODS, TECHNIQUES, PROCEDURES OF CONSTRUCTION, AND CONSTRUCTION SAFETY.
 - e. COORDINATION OF THE WORK OF ALL TRADES.
 - f. QUALITY ASSURANCE SUBMITTALS.

1. A SOILS REPORT HAS NOT BEEN COMPLETED FOR THIS PROJECT.
2. FOUNDATION DESIGN IS BASED ON AN ASSUMED 1500 PSF BEARING PRESSURE ON FIRM UNDISTURBED SOIL. SEE FOUNDATION SECTION OF GENERAL NOTES FOR MORE INFORMATION.

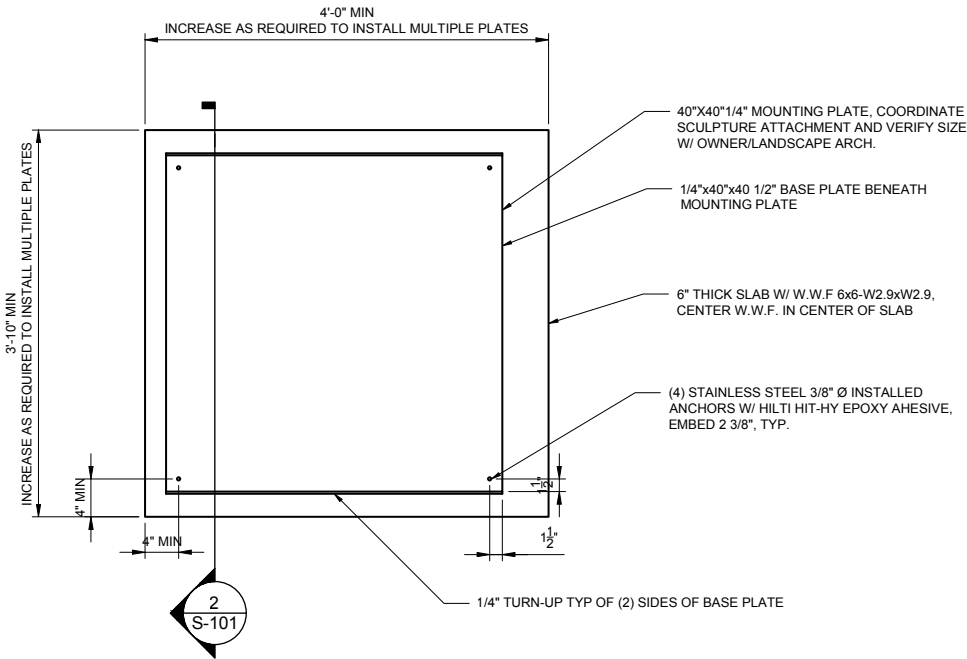
1. THE GENERAL CONTRACTOR AND THE FOUNDATION CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND EXISTING CONDITIONS INCLUDING UNDERGROUND UTILITY AND SERVICE LOCATIONS BEFORE STARTING CONSTRUCTION.
2. NOTIFY ENGINEER OF ANY UNUSUAL SOIL CONDITION.
3. SET FOUNDATION AT ELEVATION SHOWN, OR ON FIRM UNDISTURBED MATERIAL OF DESIRED BEARING CAPACITY, WHICHEVER IS LOWER.
4. INUNDATION AND LONG TERM EXPOSURE OF BEARING SURFACES, WHICH WILL RESULT IN DETERIORATION OF BEARING FORMATIONS, SHALL BE PREVENTED. EXCAVATION TO FINAL BEARING ELEVATION SHALL NOT BE MADE UNTIL JUST PRIOR TO PLACING FOUNDATIONS.
5. DEWATERING OF THE SITE MAY BE REQUIRED. METHODS FOR DEWATERING ARE THE CONTRACTOR'S RESPONSIBILITY. KEEP THE AREA OF WORK DRAINED AND FREE FROM ACCUMULATION OF SURFACE WATER AT ALL TIMES. PROVIDE, OPERATE AND MAINTAIN PUMPS, PUMPING EQUIPMENT, ETC., AS REQUIRED.

1. USE ADHESIVE ANCHOR SYSTEMS WHEN INDICATED IN DRAWINGS.
2. ADHESIVE ANCHOR SYSTEMS MUST COMPLY WITH THE LATEST REVISION OF ICC-ES ACCEPTANCE CRITERIA AC308 AND HAVE A VALID ICC-ES REPORT IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE.
3. DRILLING SHALL BE PERFORMED WITH A ROTARY HAMMER DRILL AND CARBIDE TIPPED DRILL BIT IN ACCORDANCE WITH INSTRUCTIONS ACCOMPANYING ADHESIVE CARTRIDGE AND APPLICABLE ICC-ESR.
4. BORE HOLE CLEANING PROCEDURES MUST COMPLY WITH INSTRUCTIONS ACCOMPANYING THE ADHESIVE CARTRIDGE AND APPLICABLE ICC-ESR IN ORDER TO PRODUCE A DRY, DUST-FREE HOLE.
5. INJECTION OF ADHESIVE SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS ACCOMPANYING PRODUCT AND APPLICABLE ICC-ESR TO PRODUCE AN AIR-VOID FREE INJECTION.
6. ALTERNATE DRILLING METHODS, SUCH AS DIAMOND CORING, MUST BE APPROVED BY THE ENGINEER OF RECORD AND COMPLY WITH THE APPLICABLE ICC-ES REPORT.
7. FASTENING ELEMENTS (THREADED RODS, REBAR AND INTERNALLY THREADED INSERTS) MUST BE CLEAN, DRY AND FREE OF ANY OIL OR CONTAMINANTS.

- CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE CODES AND STANDARDS. ACI 301 "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE" IS HEREBY MADE A PART OF THESE DRAWINGS. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 301, EXCEPT AS EXPLICITLY MODIFIED HEREIN.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318, "THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
3. CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS AT 28 DAYS:
 - b. 4000 PSI WITH A MAXIMUM WATER/CEMENT RATIO = 0.45 AND WITH AN ENTRAINED AIR ADMIXTURE CONFORMING WITH ASTM C260 FOR ALL CONCRETE PERMANENTLY EXPOSED TO THE WEATHER. THE AMOUNT OF ENTRAINED AIR SHALL BE 6% ± 1%. SLUMP SHALL BE $\pm 2"$ UPON ARRIVAL TO SITE.
4. WELDED WIRE FABRIC: ASTM A82 AND A185 FOR SMOOTH STEEL WIRE.
5. PROVIDE CORROSION RESISTANT ACCESSORIES SUCH AS GRAY PLASTIC CHAIRS OR CHAIRS WITH PLASTIC COATED TIPS, IN ALL CONCRETE CONSTRUCTION.
6. NO CONCRETE SHALL BE PLACED UNTIL THE PROPOSED CONCRETE MIX AND TEST HAVE BEEN SUBMITTED TO AND REVIEWED BY THE ARCHITECT AND AFTER THE CONTRACTOR HAS RECEIVED WRITTEN ACKNOWLEDGEMENT.
7. ALL CEMENT SHALL BE TYPE I OR TYPE III, BLENDED CEMENTS SHALL NOT BE USED.
8. CONCRETE SHALL BE DISCHARGED AT THE SITE WITHIN 1 1/2 HOURS AFTER WATER HAS BEEN ADDED TO THE CEMENT AND AGGREGATES. ADDITION OF WATER TO THE MIX AT THE PROJECT SITE WILL NOT BE PERMITTED. ALL WATER MUST BE ADDED AT THE BATCH PLANT. SLUMP MAY BE ADJUSTED ONLY THROUGH THE USE OF ADDITIONAL WATER REDUCING ADMIXTURE OR HIGH RANGE WATER REDUCING ADMIXTURE.
9. ALL CONCRETE SHALL CONTAIN A WATER REDUCING ADMIXTURE CONFORMING TO ASTM C494, TYPE A, F OR G.
10. CALCIUM CHLORIDE SHALL NOT BE PERMITTED NOR SHALL ANY ADMIXTURE CONTAINING CALCIUM CHLORIDE BE PERMITTED.
11. 3/4" CHAMFER FOR EXPOSED EDGES OF CONCRETE UNO.
12. VERIFY EACH SCULPTURES NUMBER OF REQUIRED FOOTINGS, LOCATION OF FOOTINGS, AND REQUIRED EMBEDDED ATTACHMENTS PRIOR TO BEGINNING CONSTRUCTION, COORDINATE WITH OWNERS REPRESENTATIVE AS REQUIRED.
13. CONCRETE FIELD QUALITY CONTROL:

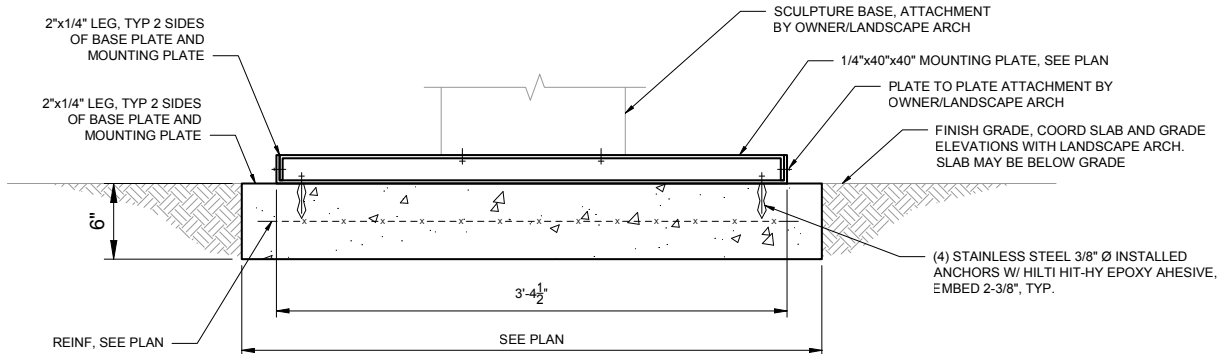
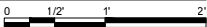
- a. THE OWNER SHALL EMPLOY A TESTING LABORATORY TO TAKE AND TEST CONCRETE CYLINDERS, PERFORM SLUMP TESTS, PERFORM TESTS FOR AIR CONTENT, AND TO PERFORM STRENGTH TESTS IN ACCORDANCE WITH ASTM C39.
- b. MINIMUM OF THREE CYLINDERS SHALL BE TAKEN FOR EACH 50 CU YD OF CONCRETE OR FRACTION THEREOF FOR EACH STRENGTH AND TYPE OF CONCRETE BEING CAST THAT DAY.
- c. NO CONCRETE SHALL BE PLACED THAT DOES NOT MEET SLUMP OR AIR CONTENT REQUIREMENTS. ALL TESTS FOR AIR CONTENT SHALL BE MADE BY THE PRESSURE METHOD. SLUMP TESTS SHALL BE TAKEN AT EACH 20 CU YD OF CONCRETE BEING PLACED.
- d. SLUMP EXCEEDING THE SPECIFIED MAXIMUM, WHEN OCCURRING IN 2 CONSECUTIVE TESTS MADE ON DIFFERENT PORTIONS OF THE SAME SAMPLE, WILL BE CAUSE FOR REJECTION OF THAT TRUCKLOAD AND SHALL BE REPORTED TO THE A/E IMMEDIATELY. THE REPLACEMENT OF SUCH CONCRETE WITH THE SPECIFIED CONCRETE SHALL BE DONE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- e. THE CONCRETE TEST REPORTS SHALL CONTAIN THE FOLLOWING INFORMATION: CONCRETE SUPPLIER, QUANTITY OF CONCRETE REPRESENTED, LOCATION OF ALL SAMPLES TAKEN, STRENGTH REQUIREMENT IN PSI AT 28 DAYS, LIST OF ALL MATERIALS USED (QUANTITY, AND BRAND OR SOURCE), ACTUAL SLUMP, ACTUAL AIR CONTENT PERCENT BY VOLUME, AIR TEMPERATURE, CONCRETE TEMPERATURE, WEATHER, CYLINDER WEIGHT AS RECEIVED, AIR DRIED UNIT WEIGHT FOR LIGHTWEIGHT CONCRETE, NUMBER OF TESTS, NUMBER OF TESTS ON JOB SITE, DATE TESTED, TEST RESULTS FOR 7 AND 28 DAYS AGE, AND ANY OTHER INFORMATION NECESSARY TO EVALUATE TESTS. TWO COPIES OF THESE REPORTS SHALL BE SENT DIRECTLY TO THE A/E OR THE OWNER.

REINFORCING BAR CLEARANCE TABLE	
LOCATION	CLEARANCE
CONCRETE CAST AGAINST & PERMANENTLY EXPOSED TO EARTH OR MUD SLAB	3"
FOOTING TOP AND SIDES	1 1/2"



- 1) SEE STRUCTURAL GENERAL NOTES ON THIS SHEET.
- 2) COORDINATE ATTACHMENT REQUIREMENTS WITH SCULPTURE. COORDINATE W/ OWNER/LANDSCAPE ARCHITECT AS REQUIRED.
- 3) VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, STRUCTURES, AND SERVICES PRIOR TO EXCAVATION.
- 4) FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
- 5) TYPICAL FOOTING DETAIL IS APPLICABLE TO SCULPTURES NO TALLER THAN 6'-0" AND NO WIDER THAN 4'-0". NOTIFY ENGINEER AND OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLING FOOTINGS IF ACTUAL CONDITIONS DIFFER FROM THESE ASSUMPTIONS.
- 6) COAT ALL STEEL WITH SHERWIN WILLIAMS MACROPOXY 646 COATING.
- 7) DETAIL OCCURS MULTIPLE TIMES. COORDINATE WITH OWNER/LANDSCAPE ARCHITECT FOR EXACT QUANTITY

SCALE: 1" = 1'-0"



SCALE: 1-1/2" = 1'-0"



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CLEVELAND, OHIO

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DRAWN BY	JJL
CHECKED BY	JWP
CLIENT PROJ NO.	
OSBORN PROJ NO.	J20221020.000

TYPICAL
SCULPTURE
FOOTING NOTES
AND DETAIL

DRAWING NO.

S-101



April 21, 2023

Cleveland Public Art Program Artist Approvals: Seeking Final Approval

Locations: Various (Buckeye Road; East 140th Street)

Representative: Tarra Petras, Public Art Coordinator, City of Cleveland



City of Cleveland Public Art Program (Chapter 186) Artist Approvals

City Planning Commission
April 21, 2023



CITY OF CLEVELAND
Mayor Justin M. Bibb

Buckeye Road Streetscape

Artist: James Simon

REQUEST FOR ARTIST APPROVAL

Location: Buckeye Road from Woodhill Rd. to S. Moreland Blvd., in Wards 5 and 6

Budget: \$40,000

Artwork type: Vertically oriented entry features

Additional Information:

RFQ garnered 16 submissions (3 of which were disqualified)

- 4 artist finalists were interviewed
- The other three finalists were: Scott Goss, Zokaite Sculpture, and Greg Mueller

Public Art Committee ad hoc representative from neighborhood was Jada Hobson

LOCATION EXPLORATION



NW corner of Buckeye at MLK Jr. Blvd.



NW corner of Buckeye at MLK Jr. Blvd.

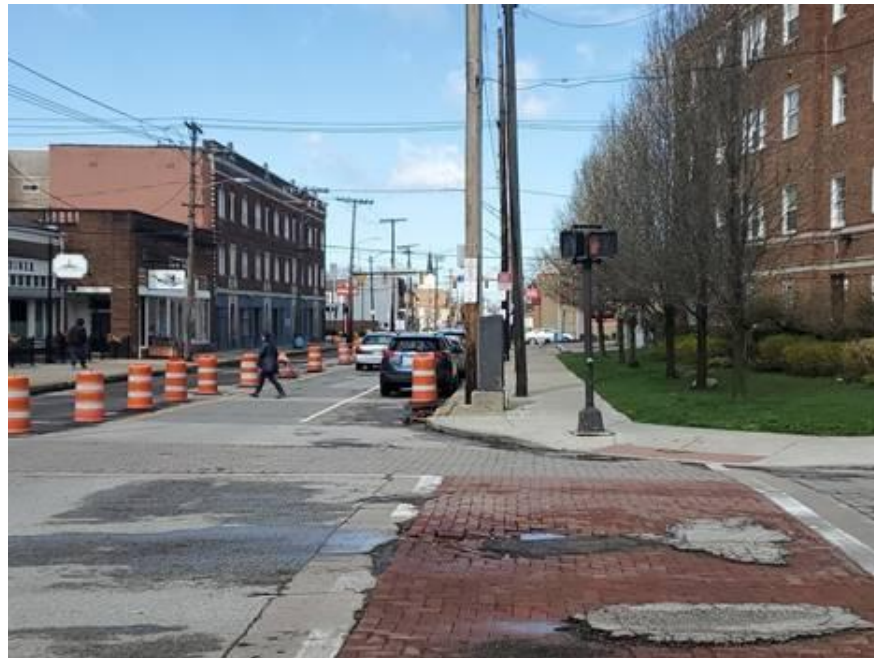


SW corner of Buckeye at MLK Jr. Blvd.

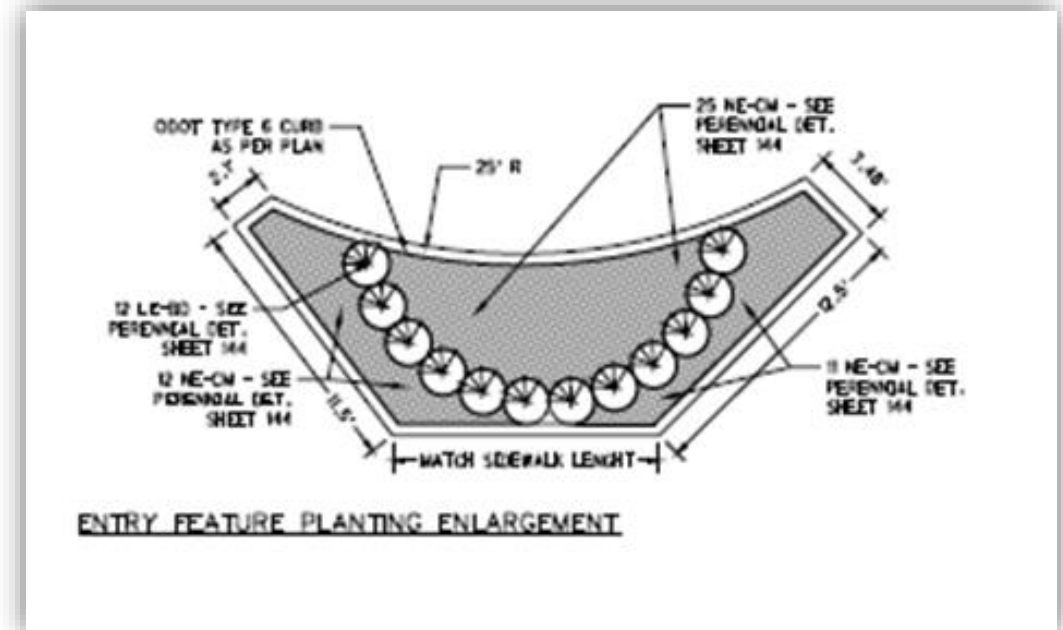
LOCATION EXPLORATION



Buckeye at Woodhill Rd.



Buckeye at South Moreland Blvd.



"Entry Feature Planting Enlargement"

JAMES SIMON'S PREVIOUS WORKS



JAMES SIMON'S PREVIOUS WORKS



I propose to create 4 larger than life sculptures that are a mix of mosaics and 3 dimensional sculptures. The bodies will be mosaic, and the hands head and additional elements ,such as animals, birds etc.—will be sculpted in clay, cooked, and glazed. This combination will make it possible for me to create the necessary scale (8 feet) sculptures needed to have a strong visual presence on the four corner sites. They will be colorful, unique, installations, celebrating the community's history and everyday life.

I will hold a workshop to show the concept and to ask for feedback on desired themes for each corner. There can also be an opportunity for the community to help with the mosaics.

The mosaics and sculpture will be double sided, readable from front and back. I will create them with a strong water-proof interior structure—either a stainless steel plate, or concrete board with mesh. They will be strong, and all weather resistant. The ceramic sculptural aspects will be high fired for strength and durability, with beautiful glazes cooked onto them.

To show the concept I created one model showing the marriage of sculpture and mosaics, The Guitar Player, and some quick sketches of ideas: The Gardner, The DJ, Man with Jackhammer and bass, Kid with Basketball and Boombox, Women with Cat, The Conga Man.



Artist Proposal



NOTE:

These are *not* final artwork renderings – the final design will be developed through broader community engagement and will come back to the committee for approval.

E. 140th St. Streetscape

Artist: Nate Frizzell

REQUEST FOR ARTIST APPROVAL

Location: East side of CSX railroad bridge retaining wall on E 140th St.,
between St. Clair Ave. and Lakeshore, bordering Wards 8 and 10

Budget: \$44,475

Artwork type: Painted Mural

Additional Information:

RFQ garnered 19 submissions (1 of which was disqualified)

- 3 artist finalists were interviewed
- The other two finalists were Bob Peck and Jason Tetlak

Public Art Committee ad hoc representative from neighborhood was Rev. Bobbie Laster (New Life Missionary Baptist Church)

LOCATION EXPLORATION



*Approaching the CSX railroad bridge from the south.
The project wall is on the other side of the bridge,
on the east side (the right side, in this picture) of the street.*



The mural wall.

NATE FRIZZELL'S PREVIOUS WORKS



NATE FRIZZELL'S PREVIOUS WORKS



NATE FRIZZELL'S PREVIOUS WORKS



NOTE:

The final artwork design will be developed through broader community engagement, and will come back to the committee for approval.

Cleveland City Planning Commission

Director's Report



April 21, 2023

Plan Typology – Introduction

Phase 1: Taking stock of existing plans

- **City Plans**
 - District or Small Area Plans
 - Framework Plan
 - Comprehensive Land Use Plan
 - Comprehensive Policy / Strategic Plan
 - Regulatory / Zoning Plans
 - Corridor plans (e.g. NOACA Transportation for Livable Communities Initiative)
- **Developer Plans**
 - Site plans (Design Review proposals)
 - Private Master Development or Framework Plan
 - Master plans
 - Planned Urban Developments (or “PUD”)
- **CDC Plans**
 - Neighborhood vision plans
 - Design Guidelines

Overall question: What does plan adoption mean? What does plan adoption entail?

April 21, 2023

Public Meetings

- Tell us what you think about the North Coast Lakefront! In May, we will have three community visioning meetings
 - Saturday, May 6 at 2:00 PM, Pivot Center on W. 25th Street (Spanish translation available)
 - Tuesday, May 9 at 5:30 PM, Kovacic Recreation Center on St. Clair Avenue
 - Thursday, May 11 at 12:00 PM, Virtual option
- We'll have child care, food, music and arts opportunities on site!



Cleveland's North Coast

Community visioning workshops

We want to hear from you! Please join us to create a vision for the lakefront and how people will get there. Bring your kids! The City will provide childcare, activities and refreshments.

Saturday, May 6, 2–4 p.m.
Inlet Dance Theatre
The Pivot Center for Art, Dance and Expression
2937 W 25th Street, Cleveland, OH 44113

Tuesday, May 9, 5:30–7:30 p.m.
EJ Kovacic Recreation Center, Second Floor
6250 St. Clair Avenue, Cleveland, OH 44103

Thursday, May 11, 12–1:30 p.m.
Virtual on Zoom

Together, let's cross the lines.

For more than a hundred years, railroad tracks and roadways have separated us from the Lake Erie shore. The City of Cleveland believes that bridging downtown Cleveland to the North Coast will cross those lines and bring us back together.

With your voices and visions, all of us can design the North Coast to create a welcoming place for all. **Is there a place to fish? To ride a bike or take a stroll? Does it include more art and music? A place for families to gather and play? To shop or grab an ice cream cone? What do you want to do at the lake?**

Register and learn more at
clevelandnorthcoast.com
or call 216-664-2210



“The waterfront can become a source of healing for Cleveland's communities with the guiding principles of racial equity, economic opportunity, and climate resiliency.

— Mayor Justin Bibb



CITY OF CLEVELAND
Mayor Justin M. Bibb

CUY – North Coast Connector PID 115542

April 21, 2023



Cleveland's
NorthCoast

社区愿景讨论会

我们想听一听您的建议！请加入我们，一起规划湖畔未来愿景并为何打造湖畔未来出谋划策。欢迎您带上您的孩子！市政府将提供儿童保育、互动活动和茶点。

5月6日，星期六，下午2-4点。
Inlet舞蹈剧场
艺术枢纽中心
舞蹈和表演中心
2937 W 25th Street,
俄亥俄州克利夫兰市, 44113

5月9日，星期二，下午5:30-7:30点
EJ Kovacic Recreation Center,
6250 St. Clair Avenue, 二楼
俄亥俄州克利夫兰市, 44103

5月11日，星期四，中午12-下午1:30点
线上交流通过Zoom进行

让我们 一起跨越这些界限。

一百多年来，铁轨和公路把我们与伊利湖畔隔开。克利夫兰市深信，连接克利夫兰市中心和北海岸的桥梁会帮助我们跨越这些界限，让我们重新走到一起。

让我们听到您的声音，告诉我们您的愿景，让我们共同设计北海岸，为所有人打造一座温馨家园。这儿有钓鱼的地方吗？您想骑自行车还是散步？期待更多艺术和音乐表演吗？需要家庭聚会和游玩的场所吗？享受和友人一起购物吃冰激凌的美好时光？

您想在湖边做些什么呢？

欢迎注册并了解更多信息，敬请访问
clevelandnorthcoast.com
或致电 216-664-2210




CITY OF CLEVELAND
Mayor Justin M. Bibb

CUY – North Coast Connector PID 115542



Cleveland's
NorthCoast

Taller de Visión Comunitaria

Queremos escuchar tu opinión. Por favor únete a nosotros para ayudar a crear una visión para el proyecto frente al lago. Ven con tus niños. La ciudad va a proveer cuidado para los niños, actividades y merienda.

Sábado, Mayo 6, 2-4 p.m.
Inlet Dance Theatre
The Pivot Center for Art,
Dance and Expression
2937 W 25th Street, Cleveland, OH 44113

Martes, Mayo 9, 5:30-7:30 p.m.
EJ Kovacic Recreation Center, Second Floor
6250 St. Clair Avenue, Cleveland, OH 44103

Jueves, Mayo 11, 12-1:30 p.m.
Virtual por medio de Zoom

Juntos crucemos las líneas.

Por mas de cien años, las vías férreas y carreteras nos han separado de nuestras orillas del lago Erie. La ciudad de Cleveland cree que al traer el centro de Cleveland a la costa norte y cruzar esas líneas nos reunirá.

Con sus opiniones y visiones, todos podemos diseñar y crear una acogedora Costa Norte.

¿Hay algún sitio para pescar? ¿Para montar bicicleta o pasear? ¿Incluye más arte y música? ¿Las familias se pueden reunir para jugar? ¿Para ir de compras o buscar un helado? ¿Que quieres hacer en el lago?

Regístrese y aprenda más en
clevelandnorthcoast.com
o llame al 216-664-2210




CITY OF CLEVELAND
Mayor Justin M. Bibb

CUY – North Coast Connector PID 115542



Positions Open

- **Principal Planner, Public Realm and Major Projects** (closes today, 4/21 at 11:59PM)
- **Strategic Planning Analyst**



Open Requests for Proposals – ARPA

- Community Development has released the RFPs for the \$10M Home Repair Fund
- Economic Development has released the RFP for the \$5M Minority Business Credit Enhancement Fund

April 21, 2023

Key Events and Planning in the News

- Plain Dealer (cleveland.com) report on the Senior Strategist, Arts, Culture and Creative Economy
- State of the City



POLITICS & PUBLIC POLICY

The 2023 State of the City with Mayor Justin M. Bibb

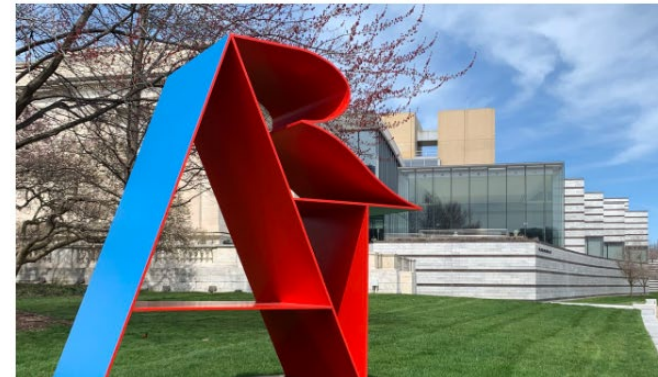
Wednesday, April 19, 2023
7:00 p.m. - 8:30 p.m.
Doors open at 6:00 p.m. Program begins 7:00 p.m.
Guests are asked to arrive by 6:45 p.m. to guarantee seating.
East Tech High School
2439 E 55th Street Cleveland, Ohio 44104

Icons: Star, Calendar (8), Share

NEWS

City Hall seeks its first high-ranking advocate to boost arts and culture as a major economic driver

Published: Apr. 13, 2023, 5:00 a.m.



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Operations/Process Updates

- Soft launch of **Microsoft Bookings** available through our website

City of Cleveland Planning Department

Select service

Predevelopment Consultation 50 minutes	 	Permit Signature 15 minutes	
Problem Solving Session 15 minutes	 	Project Review in a Historic District 50 minutes	 
Assistance with BZA Case 15 minutes	 	Assistance with BBSBA case 15 minutes	 

Select time

< > April 2023

Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15

Select a service and date to see available times.

Cleveland City Planning Commission

Adjournment



April 21, 2023