



Cleveland City Planning Commission

Friday, March 3, 2023

**** PLEASE MUTE YOUR MICROPHONE ****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

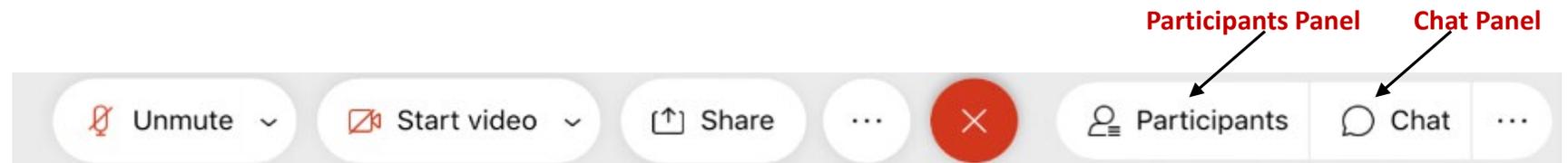
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



March 3, 2023

Cleveland City Planning Commission

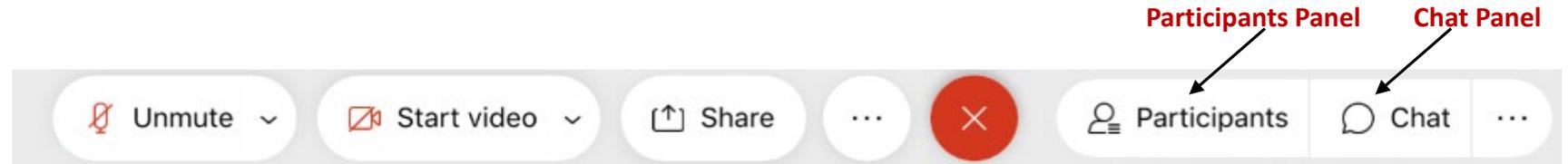
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



March 3, 2023

Cleveland City Planning Commission

Call to Order and Roll Call



March 3, 2023

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



March 3, 2023

Cleveland City Planning Commission

Zoning Map Amendments



March 3, 2023



Ordinance No. xxx-2023 (Ward 7/Councilmember Howse):

Changing the Use, Area & Height Districts of parcel(s) of land **north of Chester between East 81st and East 82nd Street** (Map Change 2664).

Presenter: Shannan Leonard, Staff Planner

Map Change 2664

**City Planning Commission
March 3, 2023**



Proposal

Changing the Use, Area & Height Districts of parcel of land north of Chester between East 81st and East 82nd Street (MC 2664)

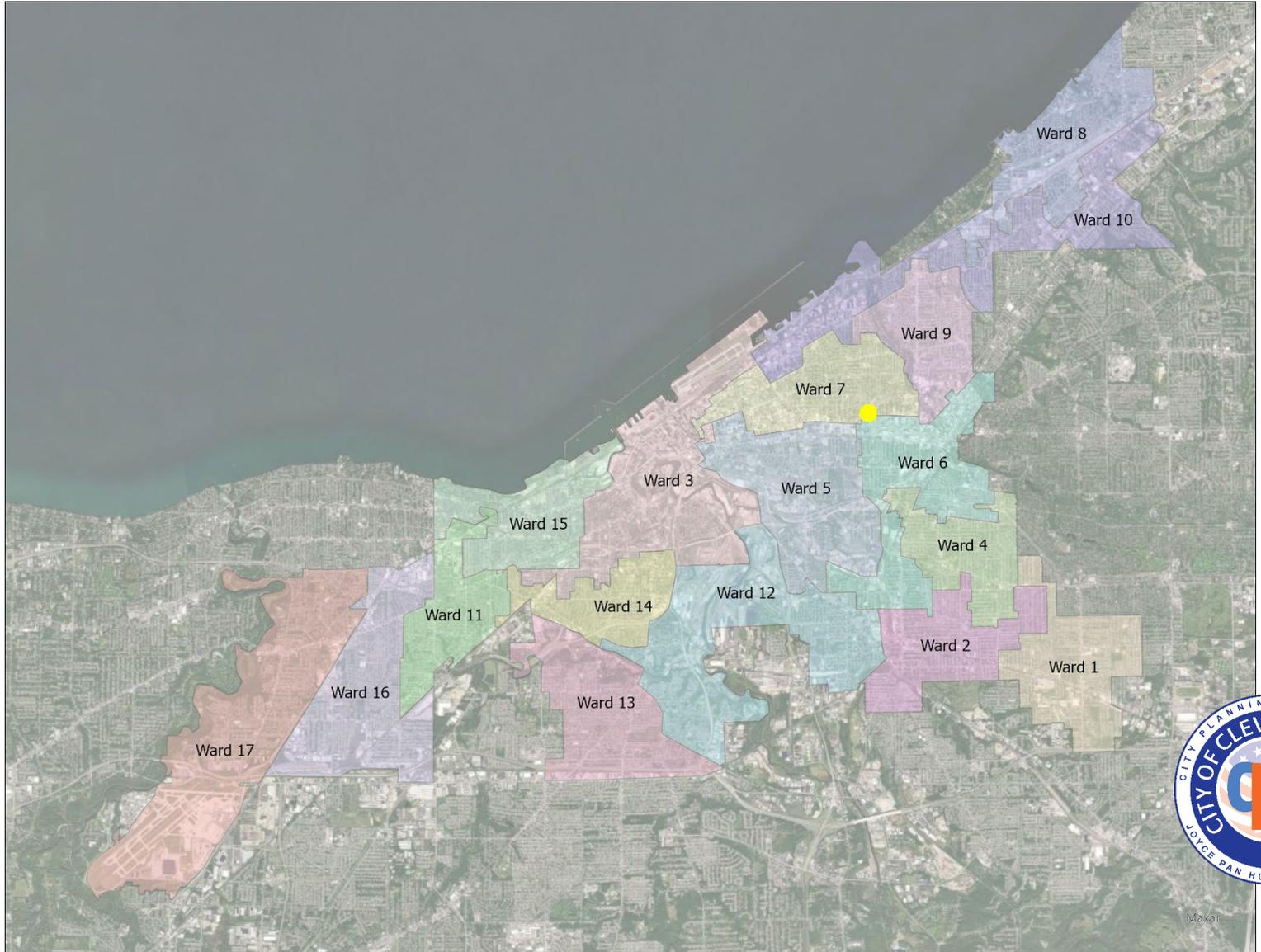
Purpose

- To increase housing typologies
- Without a specific mapped setback, building would need to be setback 15% of avg depth of the lot. BZA does not have the authority to grant a front yard setback variance



Cleveland Context

Map Change 2664



Maxar

Proposed Zoning

Multi-Family H2



Date: December 20, 2022

Map Change 2664

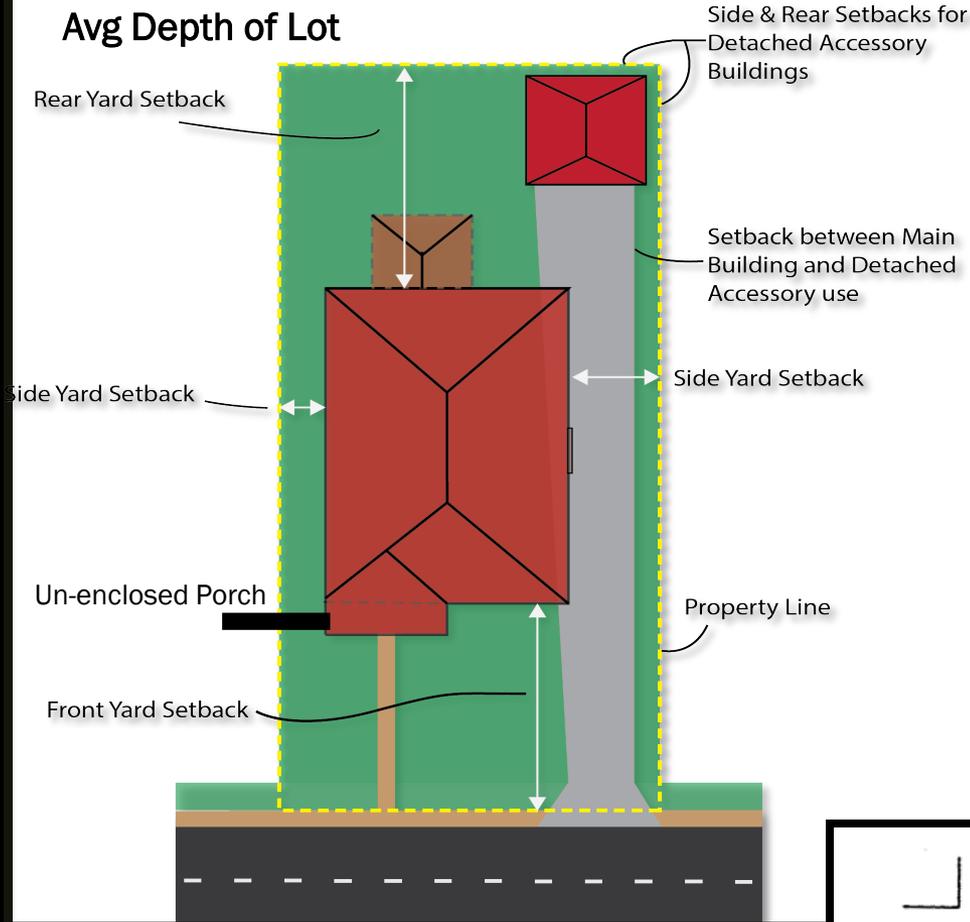
Changing the Use, Area & Height Districts of parcels of land north of Chester between East 81st and 82nd.





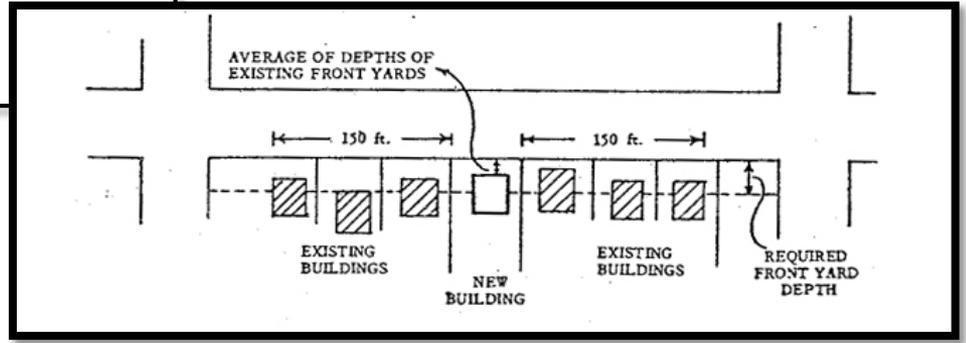
Residential Yard (Setback) Requirements

Front Yard Req = 15 % of Avg Depth of Lot



Front, Rear & Side Yard Setbacks Required for all Main Buildings in Residential Districts or Residential Buildings in Any District

Map Change 2664



Alignment with existing

Existing Conditions



Existing Conditions



Existing Conditions

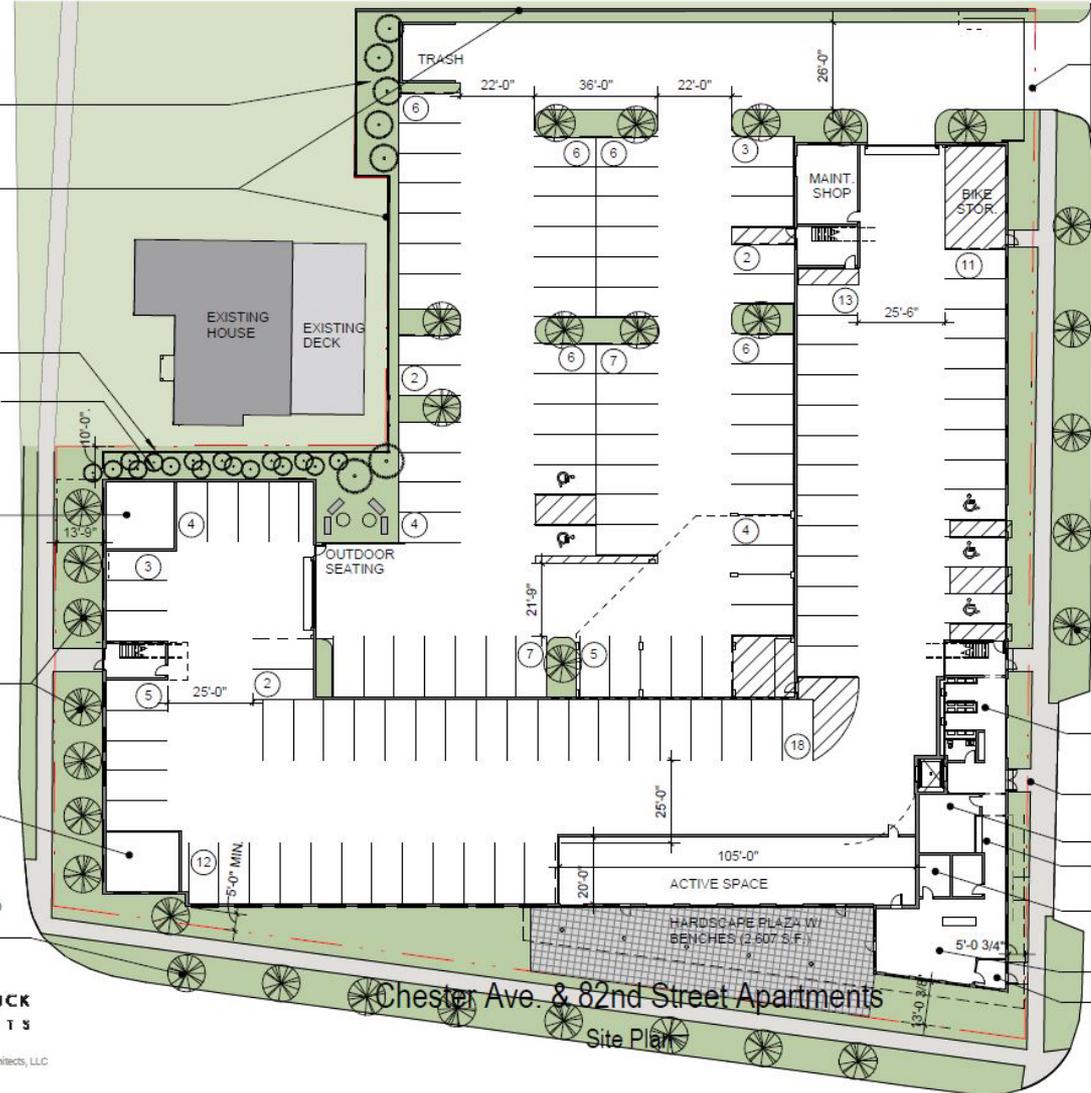


Mapped Setbacks





- NEW 8' HT. PLANTING BUFFER BEHIND NEW FENCE
- NEW 6' TALL WOOD BOARD-ON-BOARD PRIVACY FENCE
- NEW P.T. WOOD OR MTL. TRELLIS STRUCTURE AT PROPERTY LINE - 10'-0" TALL WITH CLIMBING VINES (FLOWERING) PLANTED AT BASE
- NEW PLANTING BUFFER BEHIND NEW TRELLIS
- WATER / MAINT.
- NEW MIN. 12' HT. SHADE TREES
- ELECTRICAL
- NEW TREES PLANTED IN TREE LAWN PER CITY GUIDELINES



TOTAL SITE AREA = 1.6134 acres
 = 70,277 sf
 Green Space = 7,743 sf = 11.02%
 Activity Plaza = 2,607 s.f. = 3.71%
 Amenity deck (2nd Fl) = 2,968 sf = 4.22%
 Total Green & Open = 13,318 sf = 18.95%
 Outdoor Activity Space = 5,575 s.f. = 7.93%

UNIT MIX

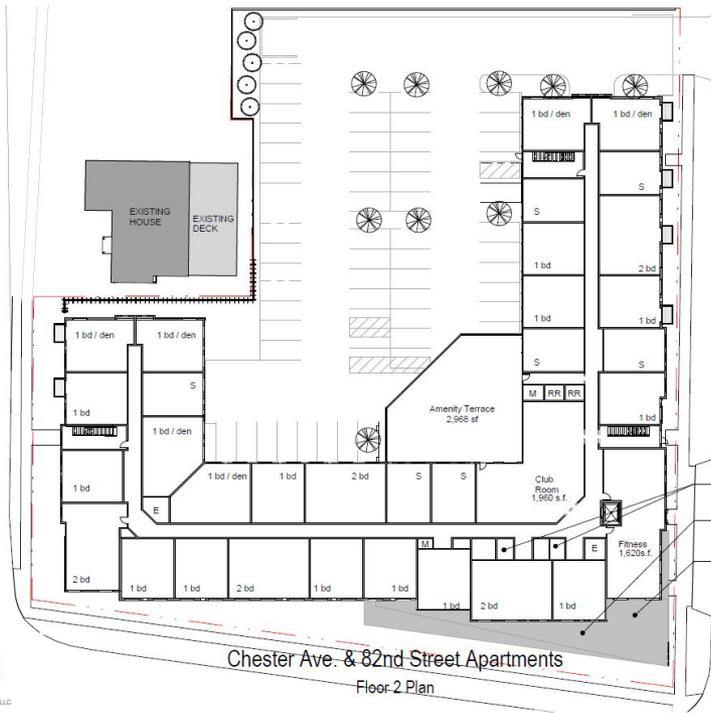
Studios:	28	22.0%
1 bd	51	40.2%
1 bd + den	26	20.5%
2 bd	22	17.3%
TOTAL	127	100%

Total beds: 149
 PARKING
 68 spaces in podium
 64 surface spaces
 132 spaces total
 1.04 spaces per unit

- NEW TREES PLANTED IN TREE LAWN PER CITY GUIDELINES
- MAIL
- MOVE-IN ENTRANCE
- PACKAGES
- COFFEE
- LEASING OFFICE
- LOBBY
- VESTIBULE

Site Plan
 1" = 30'-0"



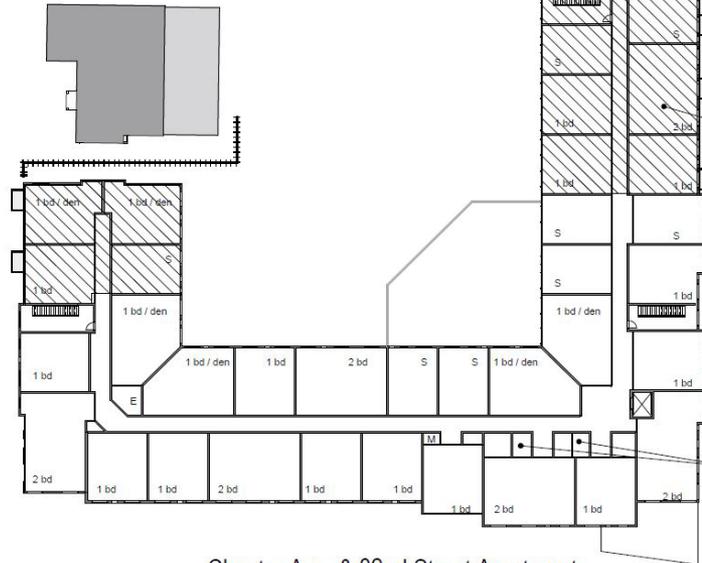


- RENTABLE STORAGE UNITS
- OPTIONAL OUTDOOR PATIO SPACE FOR (4) UNITS
- OPTIONAL OUTDOOR FITNESS SPACE

Floor 2 Plan
1" = 30'-0"

MAROUS
DEVELOPMENT GROUP
21016
2022.12.15
D12

SULLIVAN BRUCK
ARCHITECTS
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HATCHED AREA INDICATES UNITS REMOVED FROM 5TH FLOOR, TYP.

RENTABLE STORAGE UNITS

Floors 3-5 Plan
1" = 30'-0"

Chester Ave. & 82nd Street Apartments
Floors 3-5 Plan

SULLIVAN BRUCK
ARCHITECTS
Copyright ©-date of issue, Sullivan Bruck Architects, LLC

MAROUS
DEVELOPMENT GROUP
21016
2022.12.15
D13

Proposed Zoning

Multi-Family H2



Date: December 20, 2022

Map Change 2664

Changing the Use, Area & Height Districts of parcels of land north of Chester between East 81st and 82nd.



Cleveland City Planning Commission

Design Review Cases



March 3, 2023



March 3, 2023

FW2022-018 – EDEN Expansion Phase III New Construction: Seeking Final Approval

Project Addresses: 7813-23 Madison Avenue

Project Representative: Richard Carr, EDEN

Note: the Planning Commission granted this item Schematic Design Approval with Conditions on December 16, 2022: Applicant to investigate creating a more transparent front through use of materials; utilize space as front porch; incorporate the DRAC's comments.

Committee Recommendation: Approved with **Conditions:**

- Review with staff the fence setback and enhanced landscaping

MADISON AVENUE EXPANSION PHASE III

NEW 8 UNIT MULTI-FAMILY RESIDENTIAL BUILDING

7813-23 MADISON AVENUE, CLEVELAND, OH 44102

FAR WEST DESIGN REVIEW DISTRICT

MARCH 1, 2023

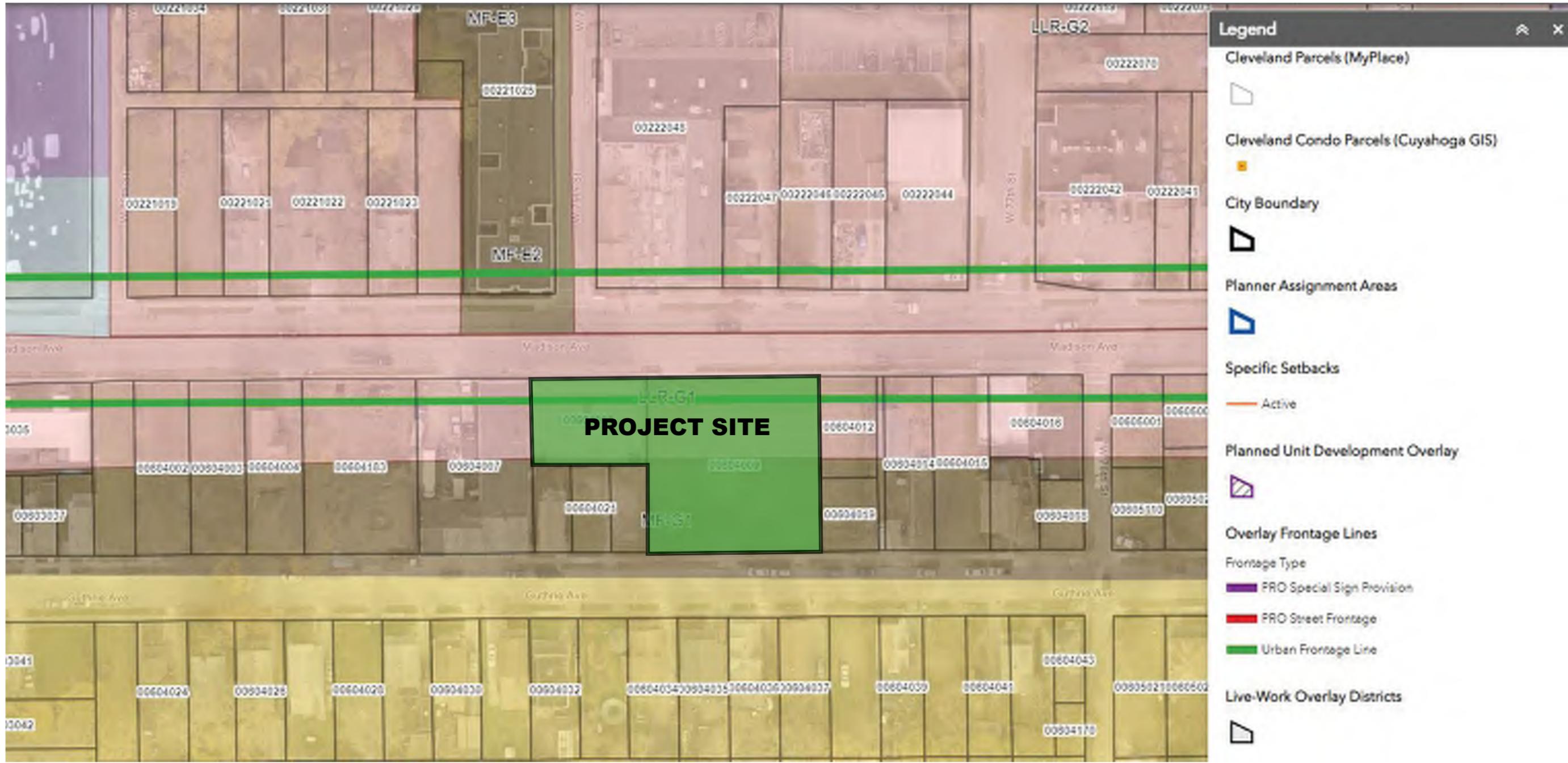


DOCUMENTS INCLUDED

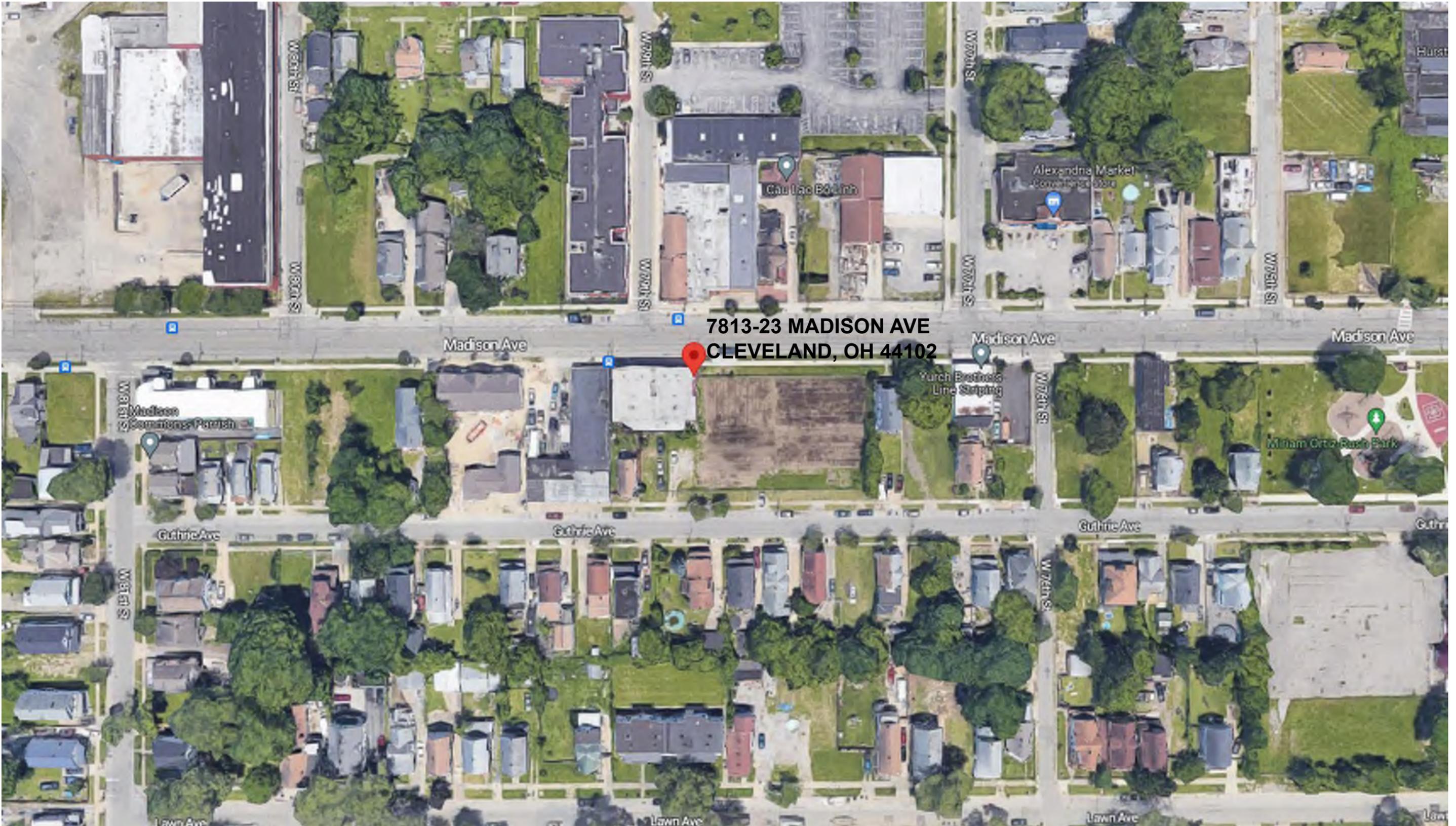
- 1 COVER SHEET**
- 2 DISTRICT MAP**
- 3 ZONING MAP**
- 4 LOCATION MAP**
- 5 EXISTING SITE MAP**
- 6 EXISTING CONDITIONS PHOTOS**
- 7 EXISTING CONDITIONS PHOTOS**
- 8 PROPOSED SITE & LANDSCAPE PLAN**
- 9 PLANT LIST AND IMAGES**
- 10 SIGNAGE CONCEPT**
- 11 LIGHTING CONCEPT**
- 12 EXTERIOR FINISH MATERIAL**
- 13 BUILDING UNIT FLOOR PLAN**
- 14-23 COLORED RENDERINGS**



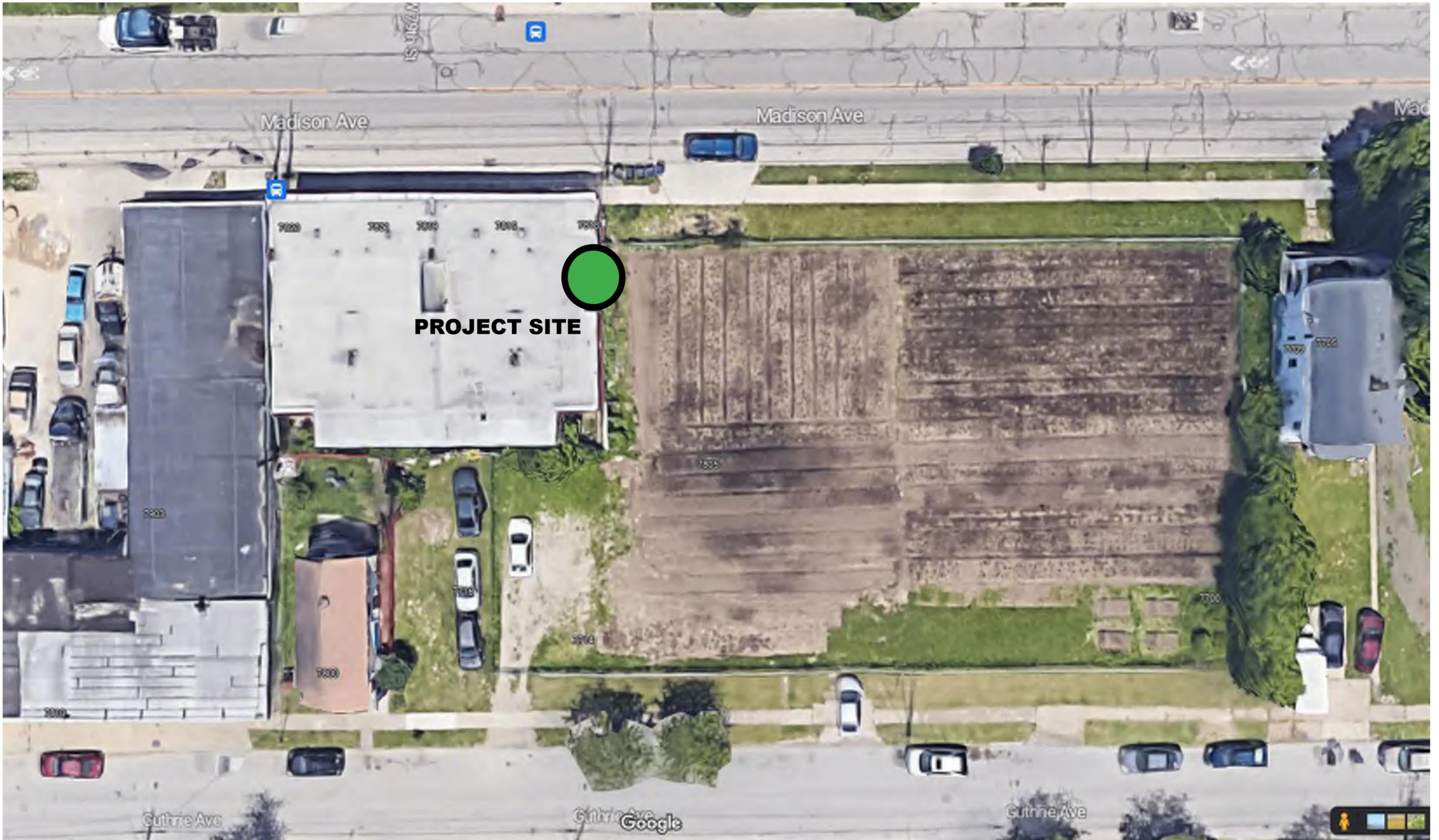
DISTRICT MAP



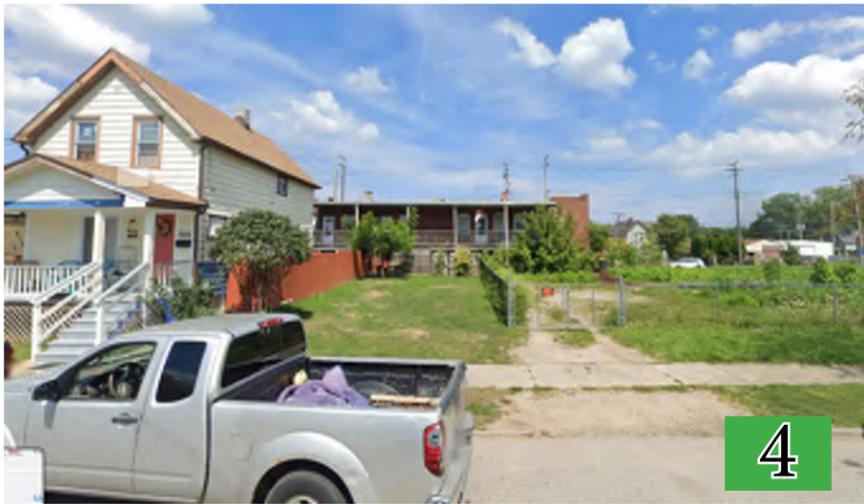
ZONING MAP



LOCATION MAP



EXISTING SITE MAP



EXISTING CONDITIONS PHOTOS



EXISTING CONDITIONS PHOTOS



PROPOSED SITE & LANDSCAPE PLAN



BOWHALL RED MAPLE



**THORNLESS COCKSPUR
HAWTHORN**



KELSEY DOGWOOD



COMPACT INKBERRY



RUBY RIBBONS SWITCHGRASS



AUTUMN JOY STONECROP

PLANTING LIST

PLANT SCHEDULE			
TREES	COMMON NAME	SPACING	REMARKS
AR	BOWHALL RED MAPLE	30' O.C.	15' HT
CC	THORNLESS COCKSPUR HAWTHORN	30' O.C.	15' HT
SHRUBS	COMMON NAME	SPACING	REMARKS
CS	KELSEY DOGWOOD	3' O.C.	18"-24" HT
IG	COMPACT INKBERRY	5' O.C.	30" HT
PERENNIALS	COMMON NAME	SPACING	REMARKS
PR	RUBY RIBBONS SWITCHGRASS	3' O.C.	NA
SA	AUTUMN JOY STONECROP	2' O.C.	NA



SIGNAGE PLAN - ENTRANCE VIEW

Signage consists of “Saltsman” sign being relocated to front porch brick wall. Also stone etched address signs above each entrance.



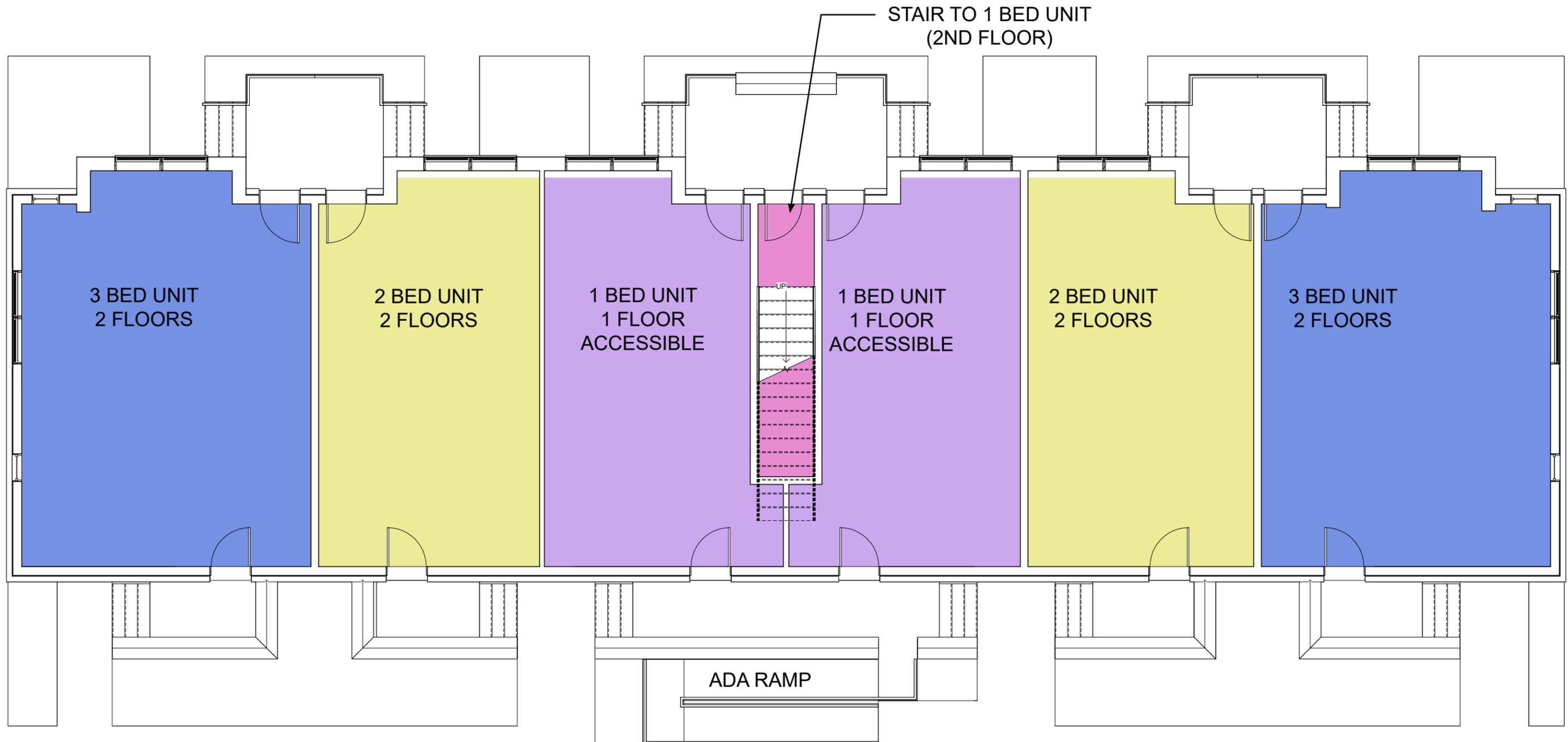
TYPICAL LIGHTING



Lighting for the proposed new building will be similar to new EDEN building nearby. Sconce lights at entrances (front and back), wall mounted down lights on each side of building, and security lighting at each corner. Photos of new building shown above for reference.



EXTERIOR FINISH MATERIALS



UNIT FLOOR PLAN
SCALE: 1/8" = 1'-0"

BEDROOM UNIT LEGEND

- 1 BEDROOM (1 STORY)
- 1 BEDROOM (STAIR TO SECOND FLOOR UNIT)
- 2 BEDROOM (2 STORY)
- 3 BEDROOM (2 STORY)



STREETSCAPE - VIEW FROM EAST



STREETSCAPE - VIEW FROM EAST



STREETSCAPE - VIEW FROM WEST



FRONT ELEVATION







SIDE BUILDING VIEW



ENTRANCE VIEW



REAR OVERALL VIEW



REAR ENTRANCES



Committee Recommendation: Approved with **Conditions:**

- Review with staff the fence setback and enhanced landscaping

Cleveland City Planning Commission

Staff Report



March 3, 2023



March 3, 2023

EAST2023-002 – Proposed Demolition of a 2-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 8910 Cumberland Avenue

Project Representatives: Brad West, Miceli Dairy Products

Maria Miceli, Miceli Dairy Products

Note: the Planning Commission Tabled this item on February 17, 2023.

Committee Recommendation: Unanimously Approved as Presented

8910 Cumberland Avenue

Demolition Permit Request

Case Number East 2023-002

Purpose

Miceli-Lograsso Development Company LLC, seeks a permit to demolish 8910 Cumberland Avenue, Cleveland, OH 44104. The property has been condemned by the Cleveland Building Department and should be immediately demolished. Miceli-Lograsso purchased the property in late October 2022 for the purpose of demolishing building and landscaping the property to fit in with the surrounding lots that Miceli maintains. Miceli has contracted with DiFonzo Excavating to demolish the building and back fill the lot with clean fill. Grass will be planted on the lot. All trees on the lot will be preserved.

Street view 8910 Cumberland



Street view



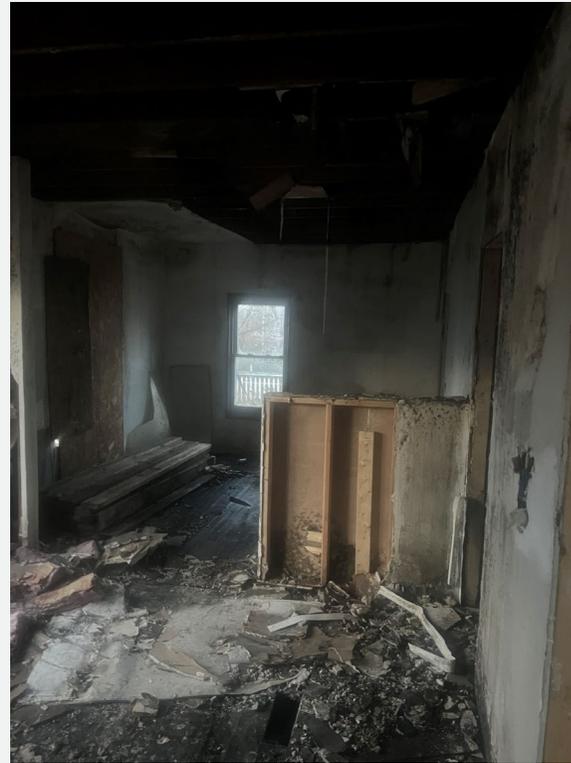
Corner of the building



Closeup of Exterior



Interior of 8910 Cumberland



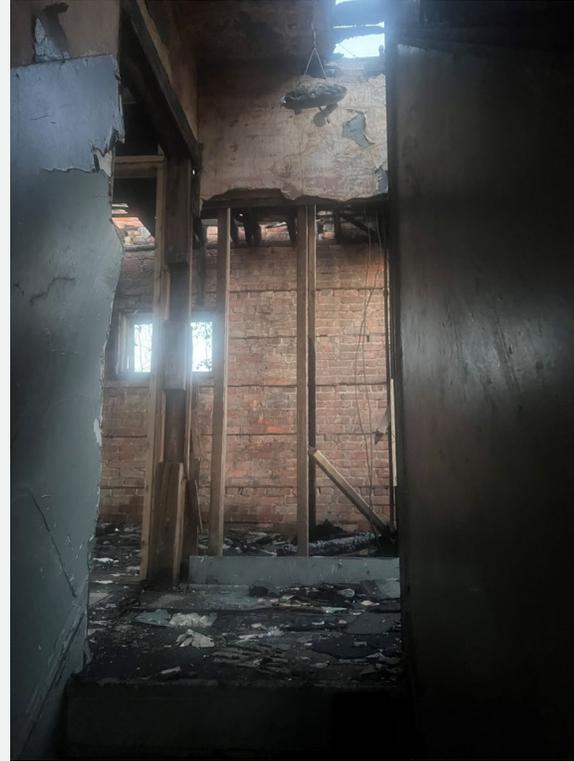
Interior Wall



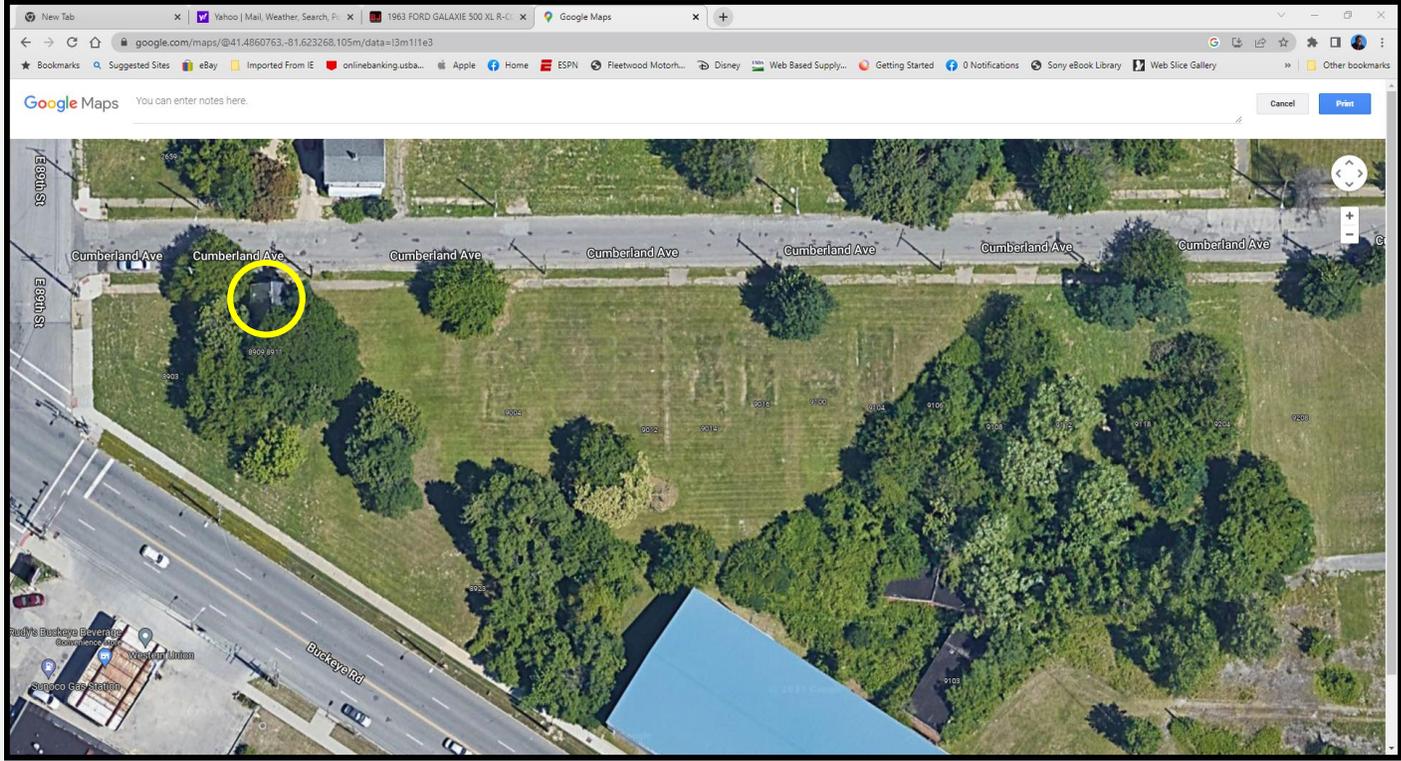
Another interior picture



Second Floor



Aerial of the surrounding lots



Aerial of the surrounding lots



Property Before Demolition



Property After Demolition



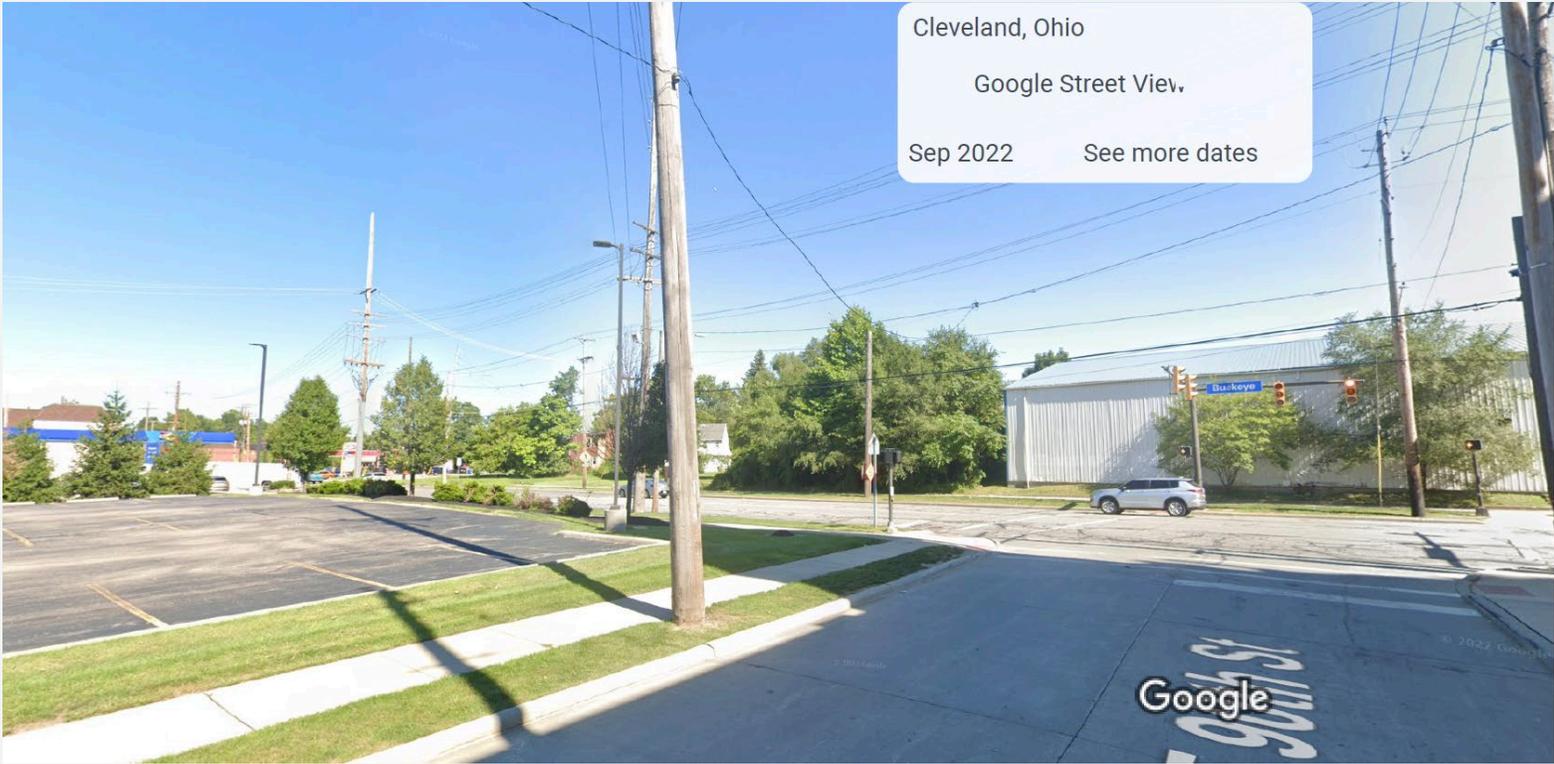
View – Northbound, Buckeye Road



View from Cumberland Road



View from E. 90th & Buckeye Road



Cleveland City Planning Commission

Staff Report



March 3, 2023

EAST2023-004 – Central Recreation Center Expansion Phase 4:

Seeking Schematic Design Approval

Project Address: 2526 Central Avenue

Project Representatives: Jim Clarke, Sixmo

Mark Duluk, City of Cleveland

Committee Recommendation: Unanimously Approved for Schematic Design with Conditions:

- Further develop the landscape plan
- Explore flipping entrance roof pitch to a skyward direction, creating a more open and lighter entranceway
- Reevaluate 'notable' column on entrance staircase
- Evaluate if ADA ramp can be lower and use railings
- Add color to the project in building or landscaping form
- Committee would like to see community engaged in the design
- On blue elevator shaft, turn the corner to present 'Central Rec'



City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F:

216/664-3281

www.planning.clevelandohio.gov

Planning Commission/Design Review Application

DATE:

PROJECT NAME:

PROJECT ADDRESS:

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review):

COMPANY:

PHONE:

EMAIL:

OWNER:

ARCHITECT/ CONTRACTOR:

PROJECT TYPE: New Building Rehabilitation Addition Sign Fence Parking

USE TYPE: Residential Commercial Industrial Institutional Mixed-Use

Review Level: Storefront Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project.

7 FEB 2023

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

CENTRAL AVENUE (WIDTH VARIES)
(FORMERLY GARDEN STREET)
(A PUBLIC RIGHT-OF-WAY)

LEGEND

	Monument Box Found		Proposed Spot Elevation Tag
	Iron Pin Found		Hydrant
	5/8" x 30" Iron Pin Set		Water Service Valve
	Drill Hole Set / Found		Water Line Valve
	P.K. Nail Set / Found		Water Meter
	Gas Meter		Water Manhole
	Gas Valve / Shut Off		Unknown Manhole
	Utility Pole		Sanitary Manhole
	Light Pole		Clean Out
	Traffic Pole		Trench Drain
	Ground Light		Traffic Flow/Access
	Guy Anchor & Line		Sign Post
	Flag Pole		Ballard
	Electric Meter		Handicap Parking
	Electric Manhole		Benchmark
	Electric Box		Monitoring Well
	Transformer		Centerline
	Air Conditioning Unit		Property Line
	Telephone Box / Manhole		Easement No.
	Cable Box / Manhole		
	Traffic Control Box		
	Violations		
	Parcel / Sublot line		
	Original Parcel / Sublot Line		
	Original Lot / Section Line		
	Centerline		
	Subject Property Line		
	Right-of-way Line		
	Easement Line		
	Waterline		
	Gas Line		
	Overhead Utility Line		
	Electric Line		
	Sanitary Sewer		
	Storm Sewer		
	Telephone Line		
	Chain Link Fence		
	Ornamental Fence		
	Split Rail Fence		
	Vinyl Fence		
	Wood Fence		

SITE PLAN SURVEY
OF
CENTRAL REC CENTER
2526 CENTRAL AVENUE
P.P.N. 103-27-004
CITY OF CLEVELAND, OHIO
FOR
CITY OF CLEVELAND

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being all of Sublot Nos. 19, 20, 33 and 34 in the Philo Scovill's Subdivision of part of the Original Ten Acre Lot Nos. 34 and 35, as shown by the plat recorded in Volume 1, Page 47 of Cuyahoga County Map Records.

VERTICAL CONTROL MONUMENT AND T.B.M.

Official Benchmark Elevation: 667.31 (NGVD 1929) — O.M. 0149
Found at the N.W. corner of E. 36th Street and Carnegie Avenue

T.B.M. No. 1 Elevation: 672.33' (NAVD 1929)
Top nut of hydrant located on the southerly right of way of Central Avenue fronting the subject property.

REFERENCE SURVEYS

Philo Scovill's Subdivision, Volume 1, Page 47 of Cuyahoga County Map Records. (Rec.)

Dedication Plat of Community College Avenue S.E. Widening, Volume 204, Page 70 of Cuyahoga County Map Records. (Dedication)

Cedar Extension Redevelopment Subdivision, Volume 379, Pages 38-39 of Cuyahoga County Map Records. (Plat)

Re-Subdivision of Cedar Extension Redevelopment and East 26th Street Dedication AFN. PENDING OF C.C.R. (Plat)

Plat of Lot Split, AFN. 202002050120 of Cuyahoga County Records.

Cleveland Survey Records (CSR)

2 WORKING DAYS BEFORE YOU DIG

CALL TOLL FREE 800-362-2764 or 811

OHIO UTILITIES PROTECTION SERVICE

UTILITY PROVIDERS

O.U.P.S. Reference No. B231100241
Date: November 7, 2022

SURVEYOR CERTIFICATION

- CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:**
- Finished Floor elevation & House sizes with project Architect.
 - Location and Elevations of existing utility connections. All new utility connections must be installed to City of Cleveland Standards.
 - New sidewalks to be 4" thick concrete except at drive apron which is to be 6" thick concrete. Any new sidewalk, aprons, or street repair must be installed to meet City of Cleveland Standards.
 - Existing sewer connections can only be used if they are in good working condition. The city shall decide on the condition of existing connections.
 - The contractor must obtain a sewer permit from the City of Cleveland, division of Water Pollution Control, before performing the sewer work.
 - Confirm with the City of Cleveland Water Department whether the existing water connection is reusable or will need to be replaced.

Utility Provider source information from plans provided by the client, the title company and the utility provider and on ground utility markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. The centerline of known utility lines shown hereon do not represent the true width of the utility line.

Dimensions shown on this plan are expressed in feet and decimal parts thereof, all of which I declare to be correct to the best of my knowledge and belief. Bearings are to an assumed meridian and are used to denote angles only.

November 8, 2022

Peter J. Gaurloff P.S. No. 8646 Date

Note: ● Denotes 5/8"x30" iron pins set and capped "Riverstone Company-PS6747-PS6846"
Due to proposed and ongoing construction onsite some monument may be set at a later date.

PLEASE NOTE

This Site Plan Survey was prepared without the benefit of a current title commitment. Therefore, the Riverstone Company cannot determine if any easements, restrictions and reservations affect the subject property. If the Riverstone Company is provided with the title commitment, a revised survey map will be provided at Riverstone's hourly fee schedule.



LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONE.SURVEY.COM

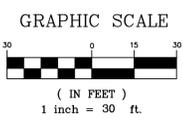
EAST 22ND STREET 60'
(FORMERLY PERRY STREET)
(A PUBLIC RIGHT-OF-WAY)

EAST 24TH STREET 30'
(FORMERLY SKED STREET)
(A PUBLIC RIGHT-OF-WAY)

EAST 26TH STREET 60'
(EAST 26TH DEDICATION)
(A PUBLIC RIGHT-OF-WAY)

EAST 30TH STREET 90'
(FORMERLY HUDS ON STREET)
(A PUBLIC RIGHT-OF-WAY)

EAST 37TH STREET 66'
(A PUBLIC RIGHT-OF-WAY)





PHASE III HOUSING

PHASE II HOUSING

CENTRAL REC. CENTER
PHASE II

CENTRAL REC. CENTER
PHASE 4

BASKETBALL
COURT

SPLASH
PAD

SWINGS

PLAY
EQUIPMENT

EXERCISE
EQUIPMENT

RECREATION
FIELD

ORNAMENTAL FENCE

E 26th St.

S 26th St.

S 26th St.



CITY OF CLEVELAND
MAYOR'S OFFICE OF CAPITAL PROJECTS
REVISED CENTRAL RECREATION CENTER
PROPOSED SITE DEVELOPMENT



1" = 30'-0"

DECEMBER, 2022

NOT FOR
CONSTRUCTION

City of Cleveland
Dept of Public Works

2526 Central Avenue
Cleveland, Ohio 44115

Central Recreation
Center Expansion
Phase 4

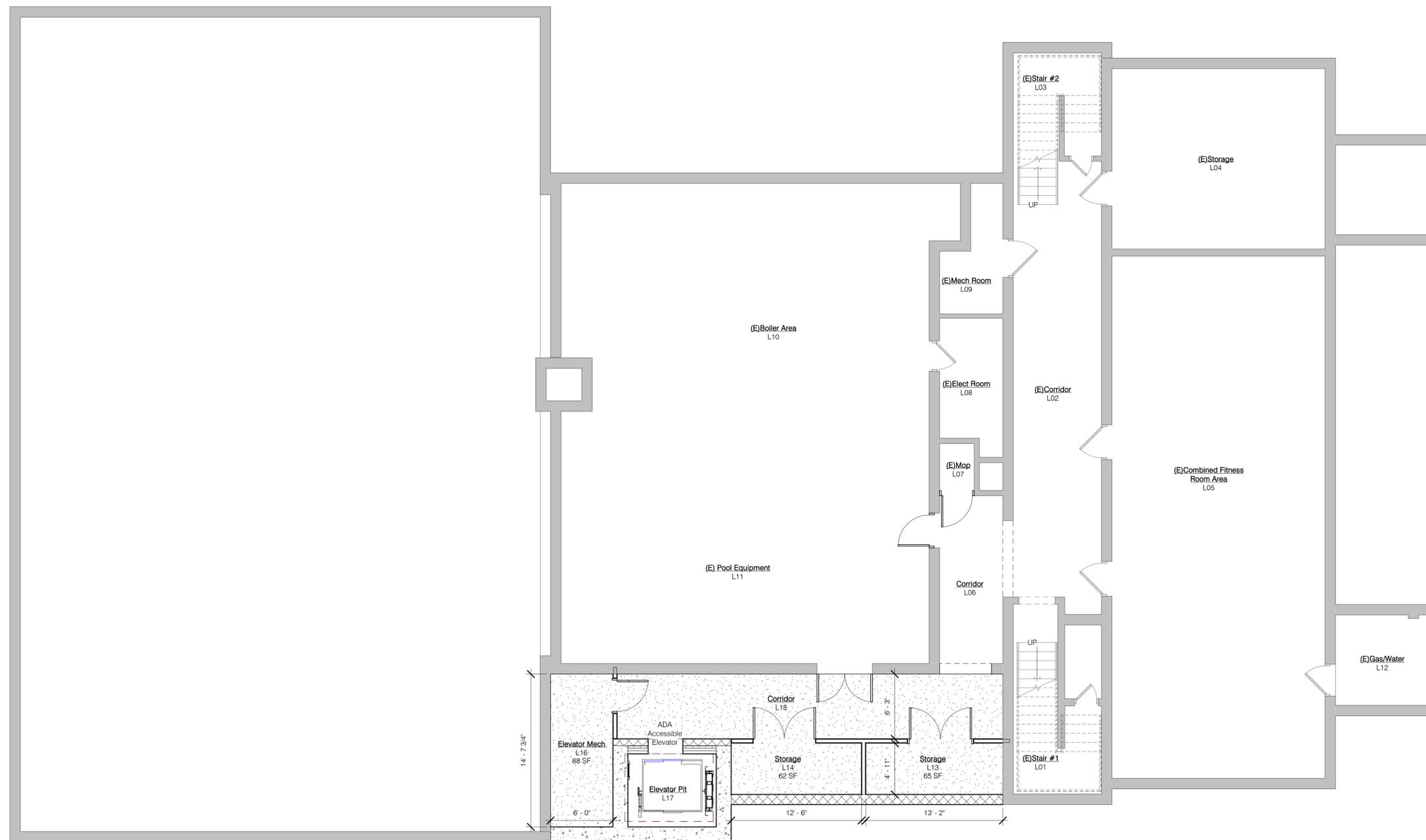
2526 Central Avenue
Cleveland, Ohio 44115

Lower Level Floor
Plan

Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: CSB
Drawn by: CSB
Checked by: JRC



① LOWER LEVEL FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. FINISHED FLOOR ELEVATION OF 0'-0" = 674.00
2. EXTERIOR WALL DIMENSIONS ARE TO FACE OF SHEATHING.
3. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES, DETAILS, AND DIMENSIONS.
4. REFER TO INTERIOR AND EXTERIOR ELEVATIONS FOR LOCATIONS OF CONTROL AND EXPANSION JOINTS.
5. FIELD VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
6. ALL DIMENSIONS ARE TO FINISHED FACE U.N.O. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR.
7. ALL NEW WALL TYPES ARE TO BE TYPE A UNLESS NOTED OTHERWISE.
8. SECURITY AND ACCESS CONTROL TO BE PROVIDED AND INSTALLED BY OWNER.

FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION



NOT FOR
CONSTRUCTION

City of Cleveland
Dept of Public Works

2526 Central Avenue
Cleveland, Ohio 44115

Central Recreation
Center Expansion
Phase 4

2526 Central Avenue
Cleveland, Ohio 44115

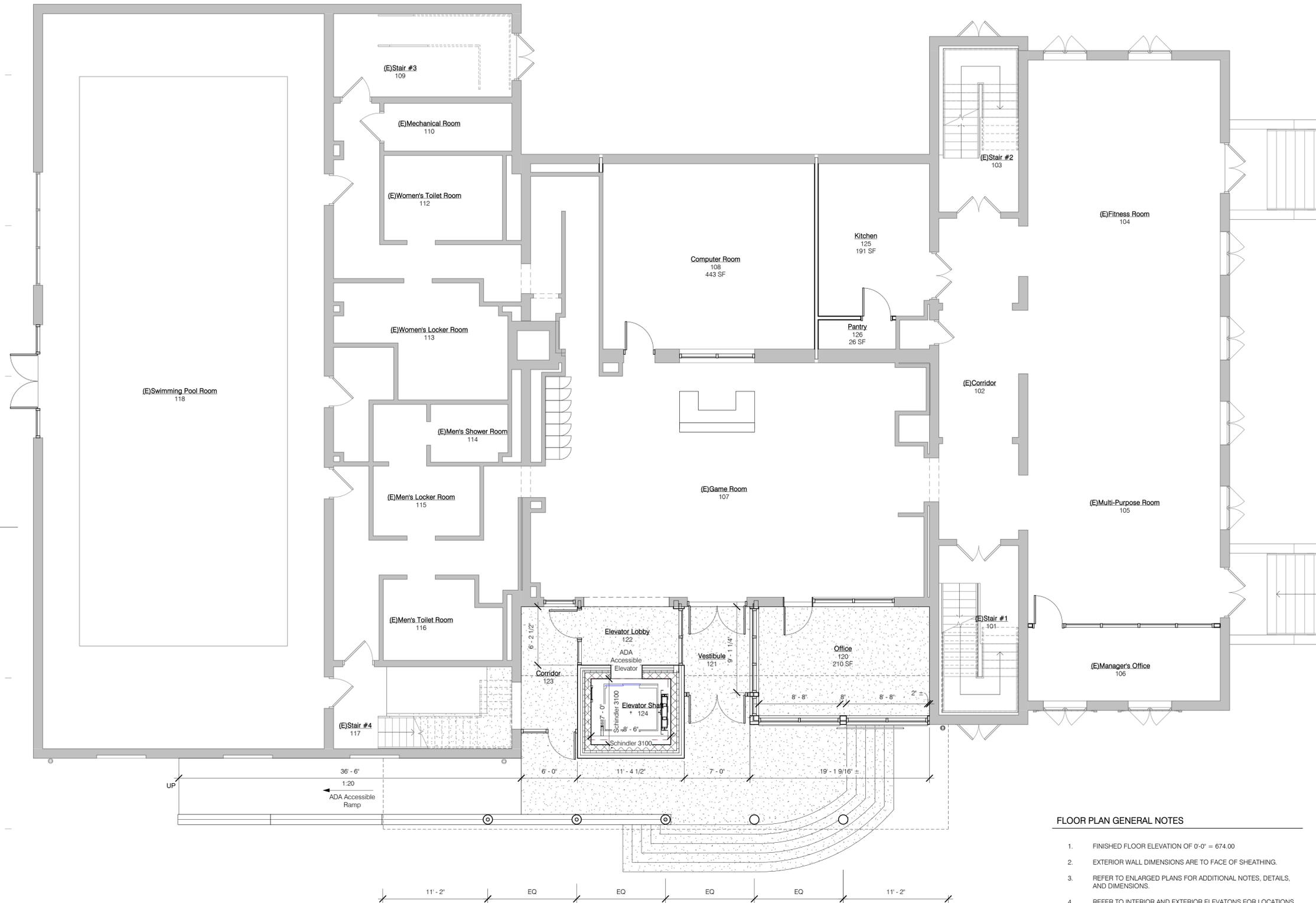
First Floor Plan

Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: CSB
Drawn by: CSB
Checked by: JRC

A1.1



① FIRST FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

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6. ALL DIMENSIONS ARE TO FINISHED FACE U.N.O. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR.
7. ALL NEW WALL TYPES ARE TO BE TYPE [A] UNLESS NOTED OTHERWISE.
8. SECURITY AND ACCESS CONTROL TO BE PROVIDED AND INSTALLED BY OWNER.

FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION



NOT FOR
CONSTRUCTION

City of Cleveland
Dept of Public Works

2526 Central Avenue
Cleveland, Ohio 44115

Central Recreation
Center Expansion
Phase 4

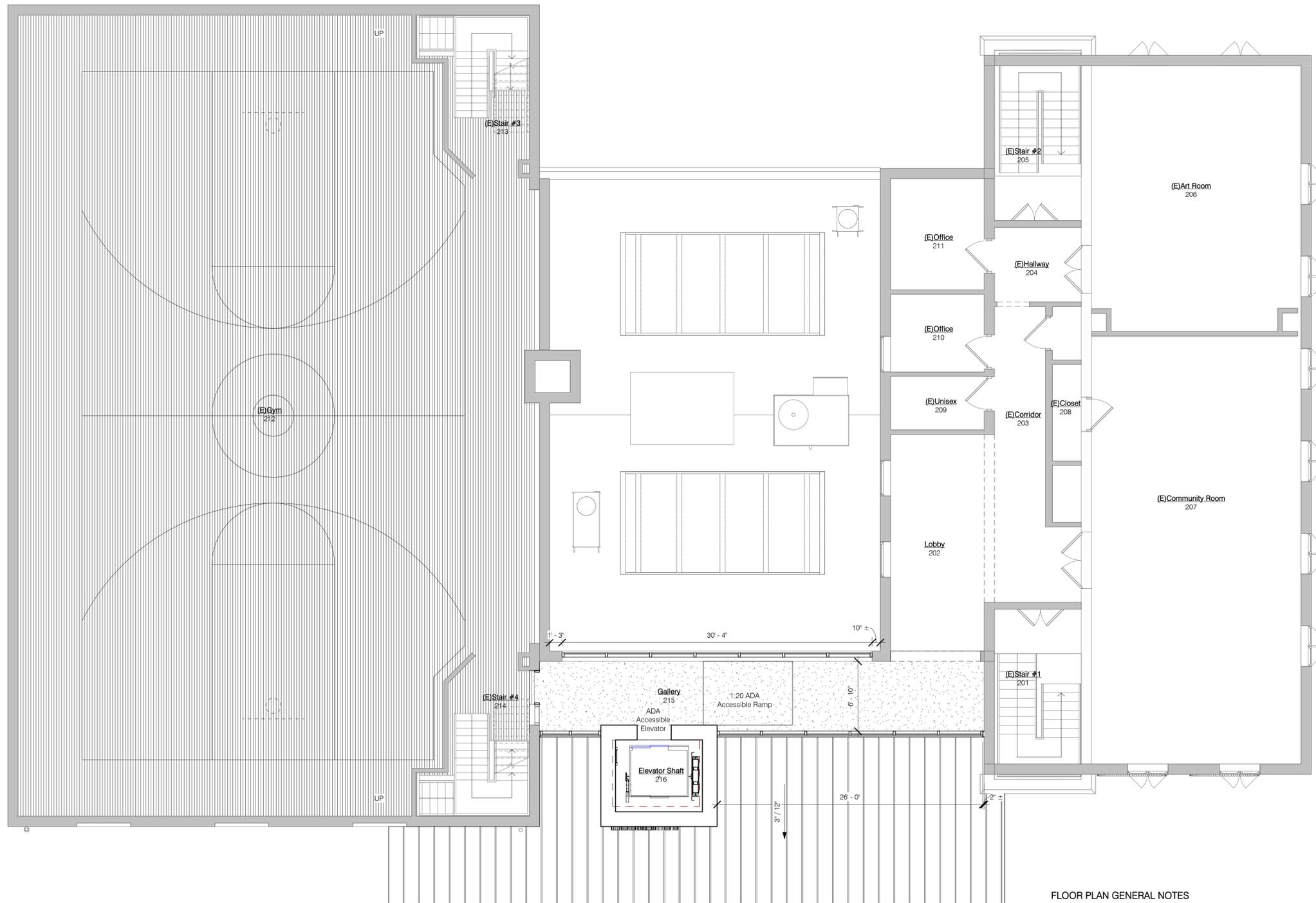
2526 Central Avenue
Cleveland, Ohio 44115

Second Floor Plan

Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: CSB
Drawn by: CSB
Checked by: JRC



② SECOND FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. FINISHED FLOOR ELEVATION OF 0'-0" = 674.00
2. EXTERIOR WALL DIMENSIONS ARE TO FACE OF SHEATHING.
3. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES, DETAILS, AND DIMENSIONS.
4. REFER TO INTERIOR AND EXTERIOR ELEVATIONS FOR LOCATIONS OF CONTROL AND EXPANSION JOINTS.
5. FIELD VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
6. ALL DIMENSIONS ARE TO FINISHED FACE U.N.O. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR.
7. ALL NEW WALL TYPES ARE TO BE TYPE A UNLESS NOTED OTHERWISE.
8. SECURITY AND ACCESS CONTROL TO BE PROVIDED AND INSTALLED BY OWNER.

FLOOR PLAN LEGEND

-  EXISTING TO REMAIN
-  NEW CONSTRUCTION



NOT FOR
CONSTRUCTION

City of Cleveland
Dept of Public Works

2526 Central Avenue
Cleveland, Ohio 44115

Central Recreation
Center Expansion
Phase 4

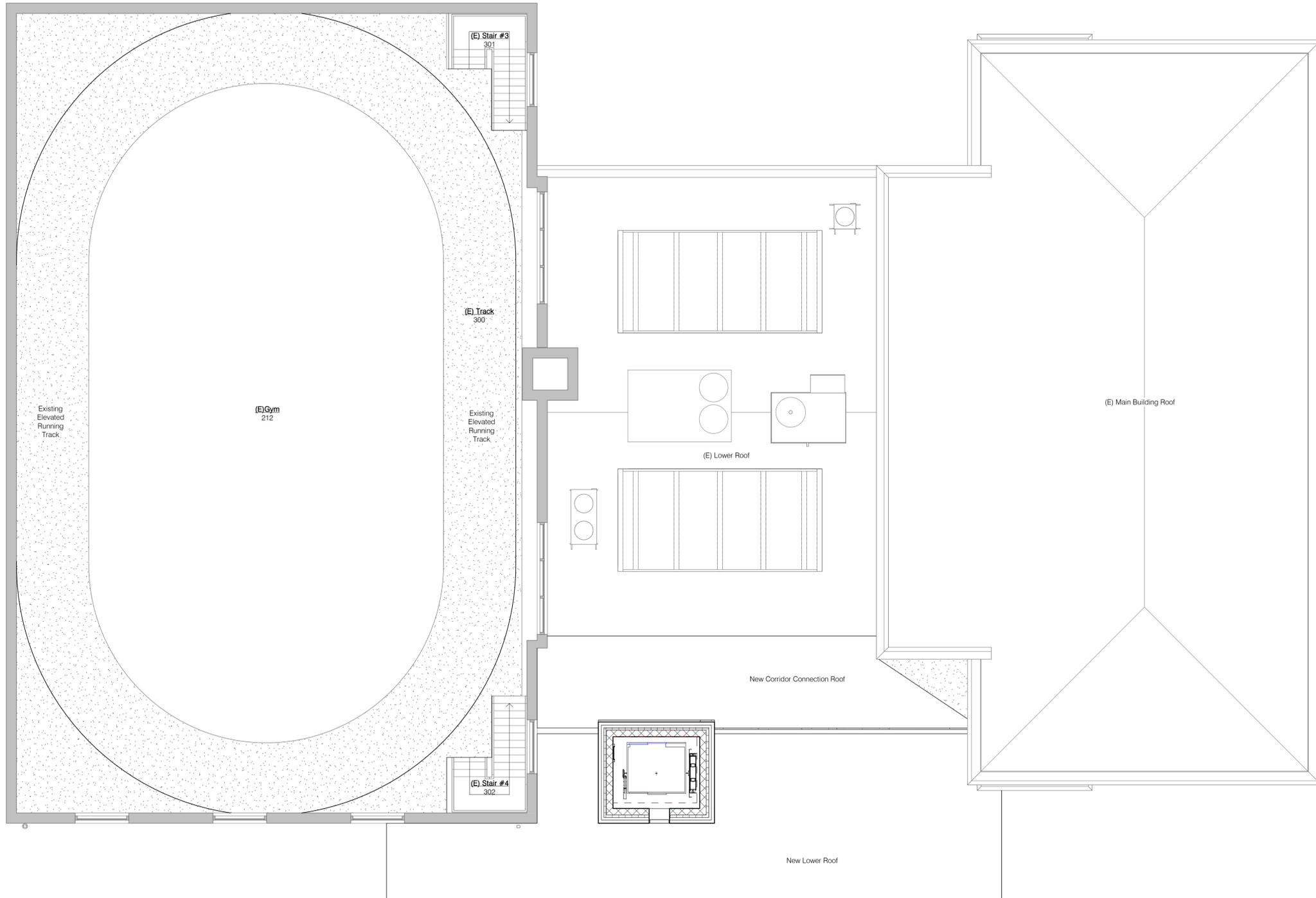
2526 Central Avenue
Cleveland, Ohio 44115

Track Mezzanine
Floor Plan

Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: CSB
Drawn by: CSB
Checked by: JRC



M TRACK MEZZANINE FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. FINISHED FLOOR ELEVATION OF 0'-0" = 674.00
2. EXTERIOR WALL DIMENSIONS ARE TO FACE OF SHEATHING.
3. REFER TO ENLARGED PLANS FOR ADDITIONAL NOTES, DETAILS, AND DIMENSIONS.
4. REFER TO INTERIOR AND EXTERIOR ELEVATIONS FOR LOCATIONS OF CONTROL AND EXPANSION JOINTS.
5. FIELD VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
6. ALL DIMENSIONS ARE TO FINISHED FACE U.N.O. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR.
7. ALL NEW WALL TYPES ARE TO BE TYPE **A**, UNLESS NOTED OTHERWISE.
8. SECURITY AND ACCESS CONTROL TO BE PROVIDED AND INSTALLED BY OWNER.

FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION



NOT FOR
CONSTRUCTION

City of Cleveland
Dept of Public Works

2526 Central Avenue
Cleveland, Ohio 44115

Central Recreation
Center Expansion
Phase 4

2526 Central Avenue
Cleveland, Ohio 44115

Roof Plan

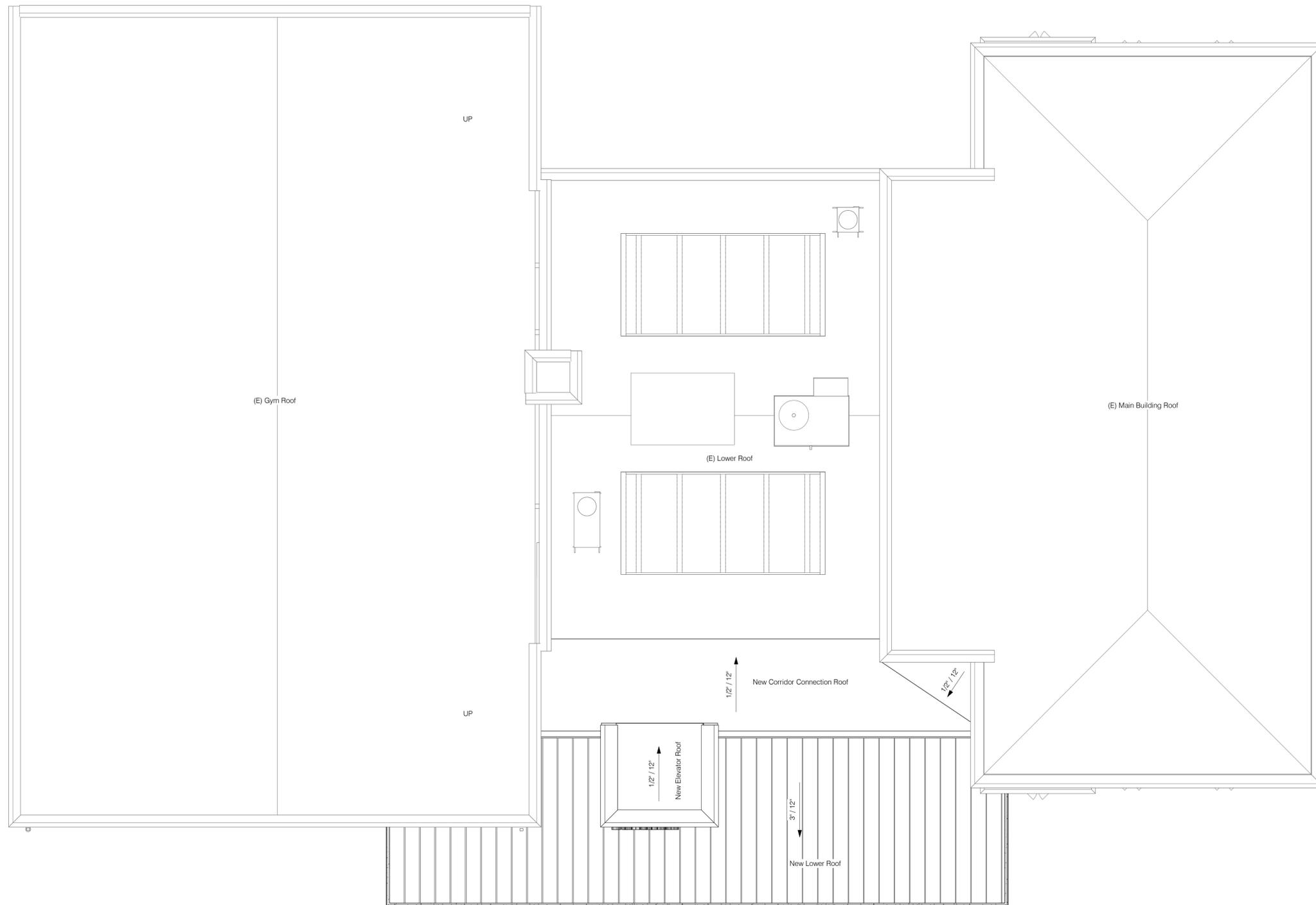
Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: Designer
Drawn by: Author
Checked by: Checker



A1.4



R Roof Plan
3/16" = 1'-0"



① EAST ELEVATION
1/8" = 1'-0"



A 3D VIEW

NOT FOR
CONSTRUCTION

City of Cleveland
Dept of Public Works

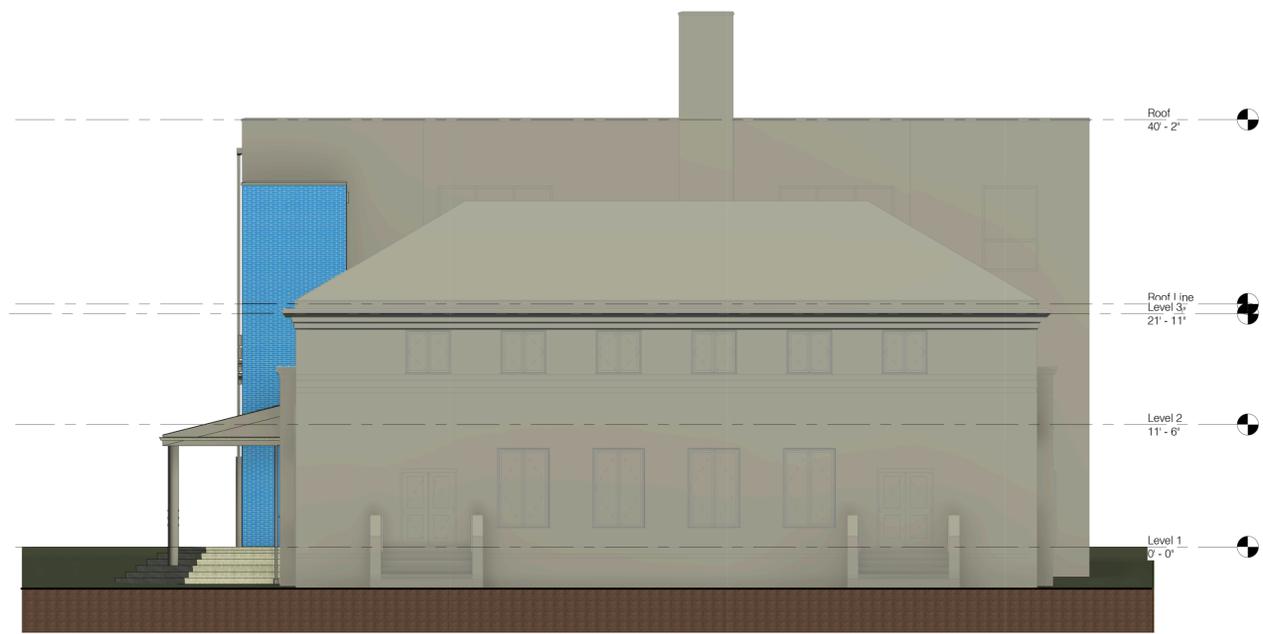
2526 Central Avenue
Cleveland, Ohio 44115

Central Recreation
Center Expansion
Phase 4

2526 Central Avenue
Cleveland, Ohio 44115



③ SOUTH ELEVATION
1/8" = 1'-0"



② NORTH ELEVATION
1/8" = 1'-0"

Exterior Elevations

Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: CSB
Drawn by: CSB
Checked by: JRC

A2.0

NOT FOR
CONSTRUCTION

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Center Expansion
Phase 4

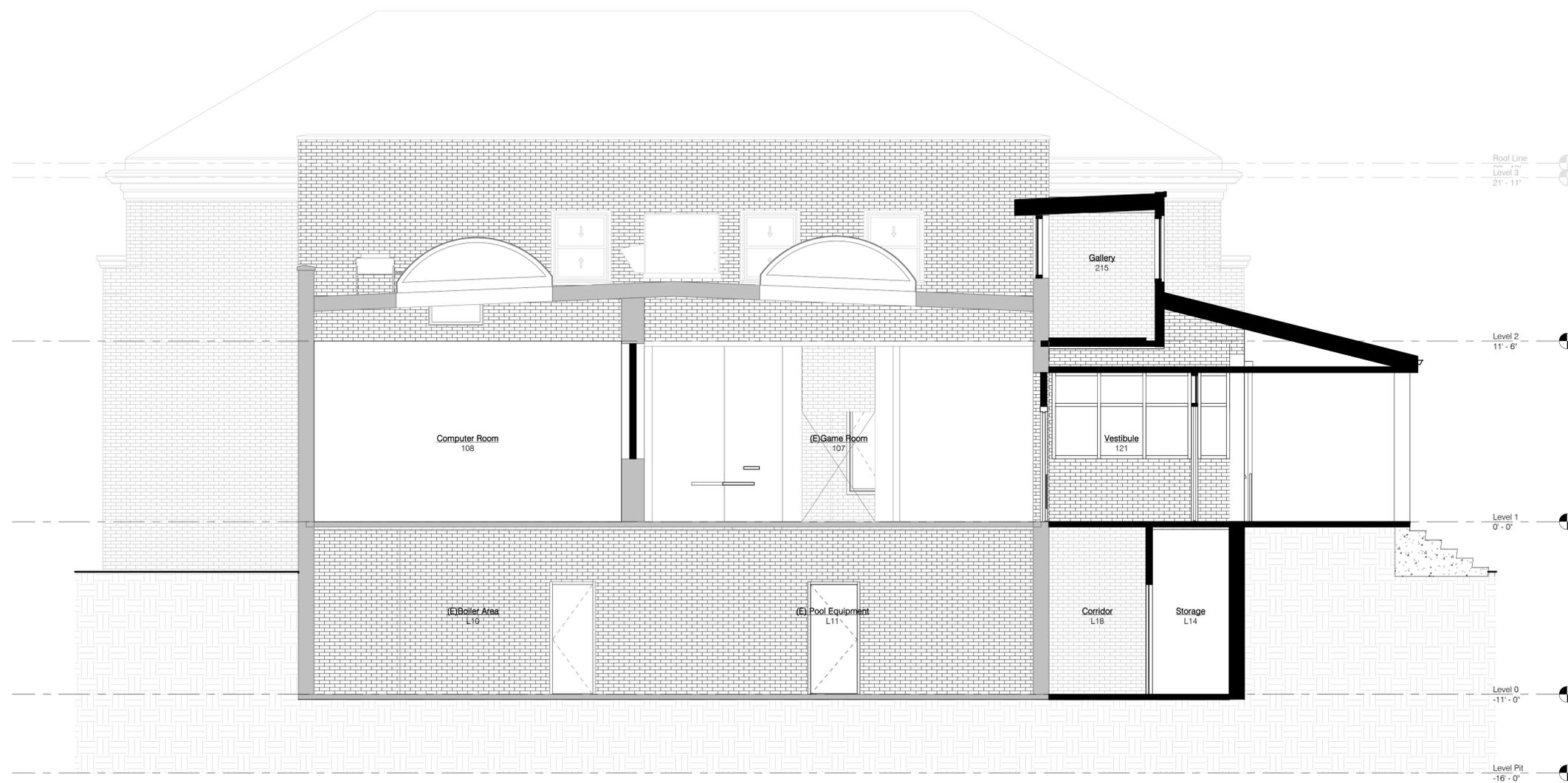
2526 Central Avenue
Cleveland, Ohio 44115

Building Sections

Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: CSB
Drawn by: CSB
Checked by: JRC



① BUILDING SECTION NORTH
1/4" = 1'-0"

NOT FOR
CONSTRUCTION

City of Cleveland
Dept of Public Works

2526 Central Avenue
Cleveland, Ohio 44115

Central Recreation
Center Expansion
Phase 4

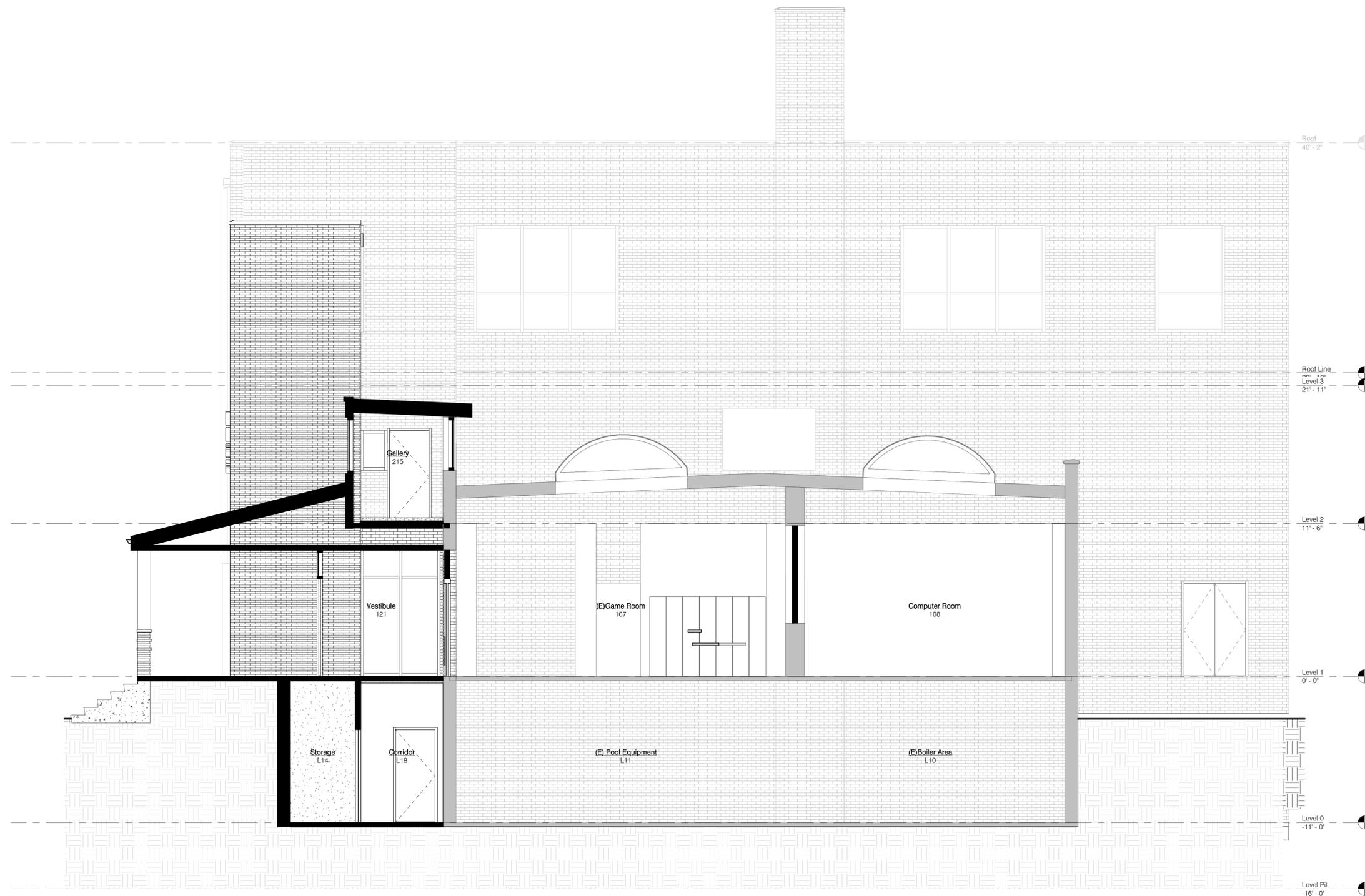
2526 Central Avenue
Cleveland, Ohio 44115

Building Section

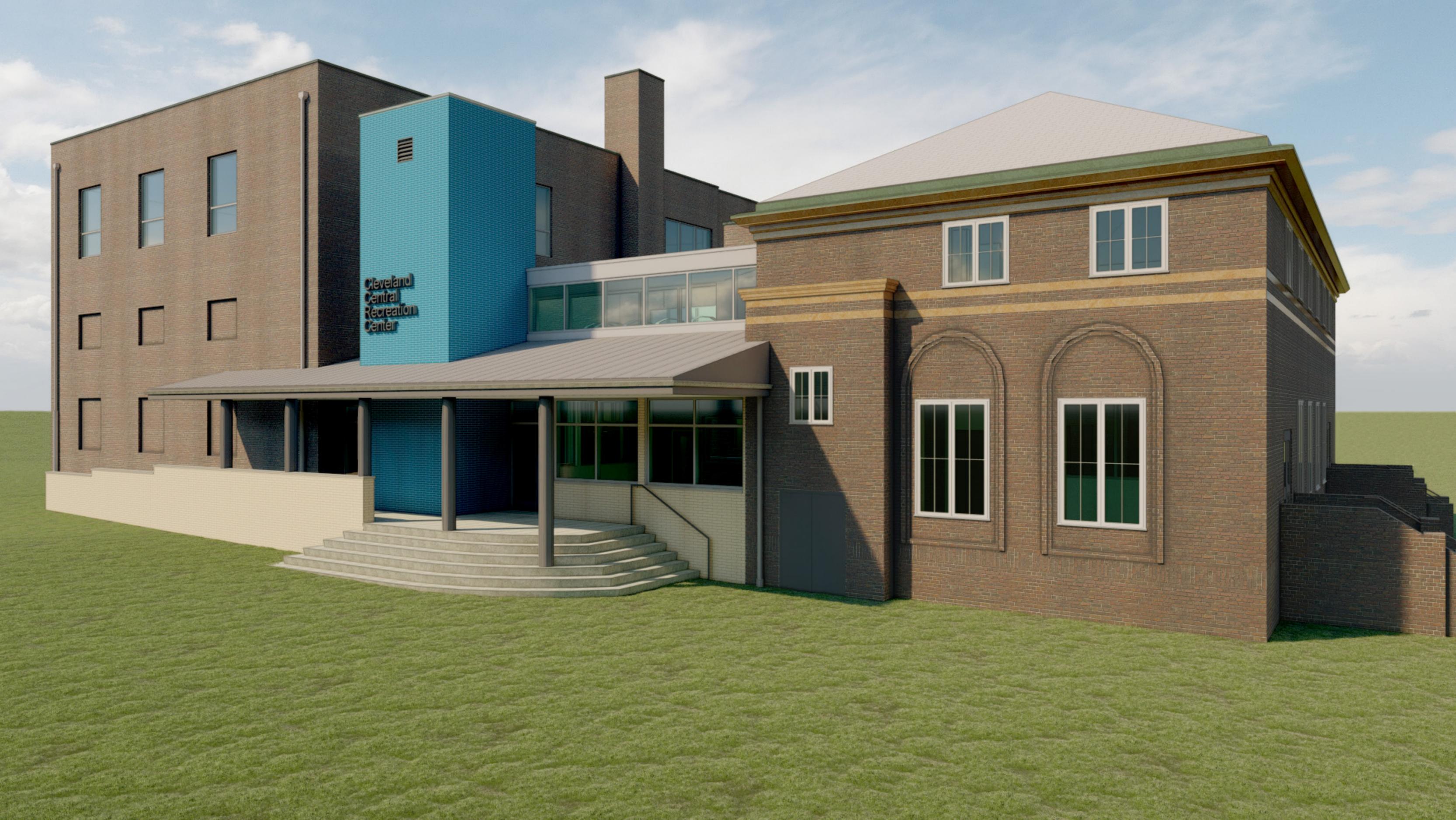
Revisions:

0 02.07.2023 Design Review

Project Number: 5033 02 22
Design by: CSB
Drawn by: CSB
Checked by: JRC



① BUILDING SECTION SOUTH
1/4" = 1'-0"



Cleveland
Central
Recreation
Center



THE
THOMAS BRICK
 COMPANY
 BRICK ♦ STONE ♦ TILE
 27750 Chagrin Blvd. Cleveland, OH 44122
 T (216) 831-9116 F (216) 831-6805
 www.thomasbrick.com E info@thomasbrick.com

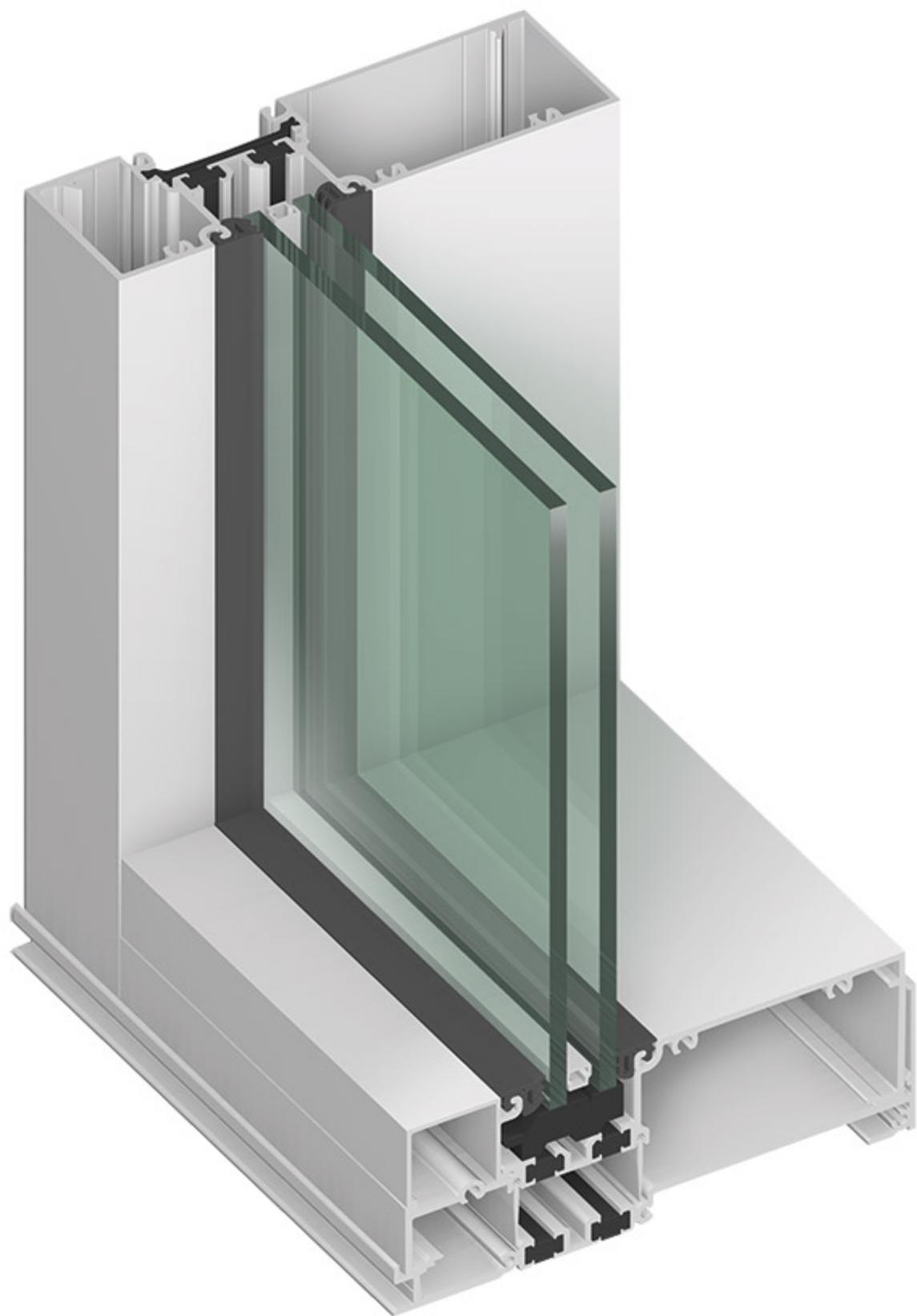
Bermuda Blue (G391)
 Modular

691-693

ESTABROOK BUFF
 • WARD I • KJRC









Committee Recommendation: Unanimously Approved for Schematic Design with Conditions:

- Further develop the landscape plan
- Explore flipping entrance roof pitch to a skyward direction, creating a more open and lighter entranceway
- Reevaluate 'notable' column on entrance staircase
- Evaluate if ADA ramp can be lower and use railings
- Add color to the project in building or landscaping form
- Committee would like to see community engaged in the design
- On blue elevator shaft, turn the corner to present 'Central Rec'

Cleveland City Planning Commission

Staff Report



March 3, 2023



March 3, 2023

NE2023-002 – Proposed Demolition of a 2-Story Apartment Building:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 936 East 73rd Street

Project Representative: Brett Parsons, City of Cleveland

Committee Recommendation: Approved as Presented with one No vote

936 E 73

Proposal for demolition in North East Design Review Region

PROPERTY INFORMATION



- **Demolition:** We are seeking the approval of the complete demolition of the 2 story, 4 unit dwelling residential property
- **Current Owner:** BNWB Management Group.LLC since 2021
- **Complaints:** The City has received 6 formal complaints.
- **Board-ups:** The city has boarded up this property once.
- **Back Taxes:** \$2,008.47
- **Site Plan:** The remaining land will be cleared, graded, and seeded.
- To be demolished by CCLRC with grant money from the Ohio Department of Development.



LEVEL 1 - ASSESSMENT

1

Property Address: 936 E 73rd St Permanent Parcel Number: 105-16-051 Source: Neighborhood: St. Clair-Superior Ward: 10	Bldg <u>1</u> of <u>1</u>	Reviewer's Name: William Beard Date of Site Visit: January 18, 2023 Historic District: None Landmark District: None
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Site Data

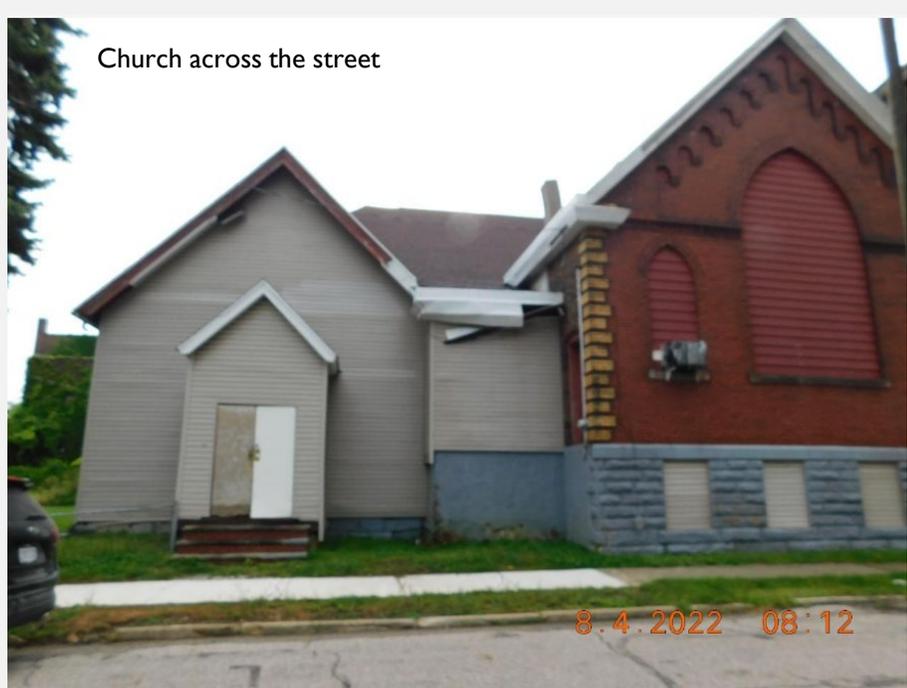
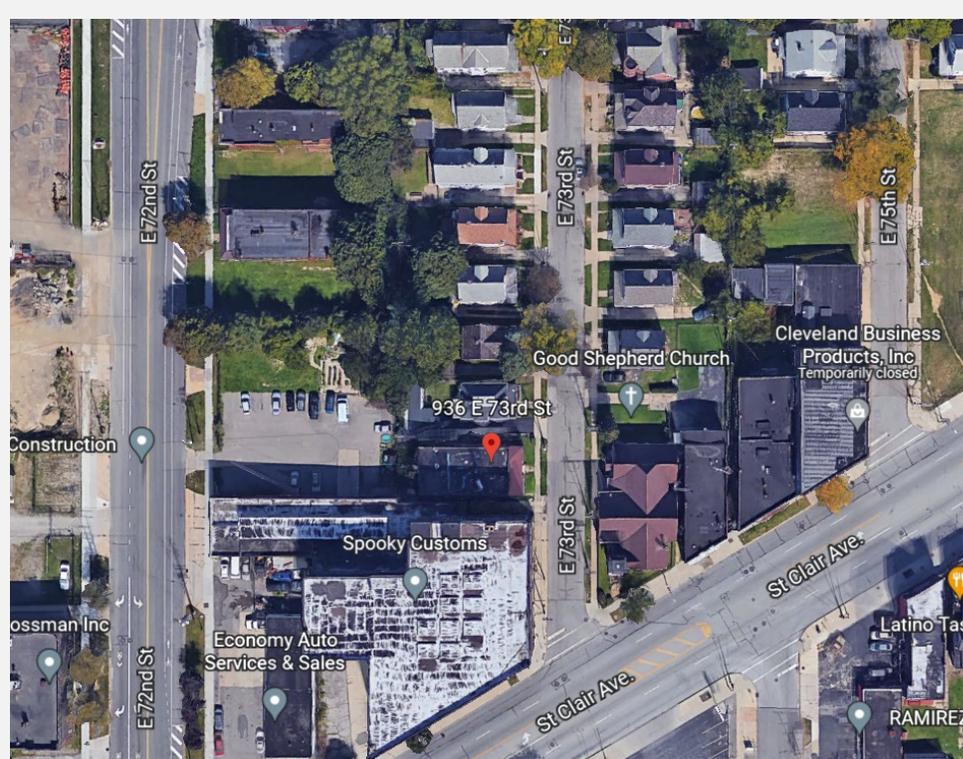
Structure Type (Field Verify): Four or more family Style: Year Built: 1915 Sq. Ft. (Structure): 3,984, 4 units Sq. Ft. (Basement): Bedrooms/Baths/ ½ Baths: 0/0/0 Lot Size: 42' X 0' (. S.F.) - Garage: None	Describe Street Characteristics: Depressed Single & Double Family Homes Property Status: <input type="checkbox"/> Secured or <input checked="" type="checkbox"/> Unsecured <input type="checkbox"/> NO ENTRY – Pre-Foreclosure <input type="checkbox"/> Appears Occupied <input checked="" type="checkbox"/> Unoccupied	photo
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Structural Evaluation

Exterior (Describe General Conditions) Roofing: Poor <input type="checkbox"/> Multiple Roof Layers <input type="checkbox"/> Missing/Deteriorated Shingles <input type="checkbox"/> Missing/Deteriorated Fascia & Soffits Downspouts/Storm Crocks (Condition): N/A <input type="checkbox"/> Missing/Deteriorated <input type="checkbox"/> Present/Good or Fair Condition Siding (Condition): Poor <input type="checkbox"/> Aluminum <input type="checkbox"/> Vinyl <input type="checkbox"/> Wood <input type="checkbox"/> Transite <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Other Windows (Condition): Poor <input checked="" type="checkbox"/> Original Dbl. Hung <input type="checkbox"/> Replacement Windows <input type="checkbox"/> Missing Porches: Poor <input type="checkbox"/> Deteriorated Deck <input type="checkbox"/> Deteriorated Columns <input type="checkbox"/> Bad Steps <input checked="" type="checkbox"/> 2-Story Porches	Foundation: Cracks: <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> Yes, but no issue <input type="checkbox"/> Settling or Sinking Foundation Notes: Poor Basement: N/A <input type="checkbox"/> Cracks <input type="checkbox"/> Water in <input type="checkbox"/> Structural Defects: Mechanicals: HVAC: N/A <input type="checkbox"/> Furnace Missing <input type="checkbox"/> Outdated System Electrical: N/A <input type="checkbox"/> Newer Panel Plumbing: N/A <input type="checkbox"/> Missing Supply Lines
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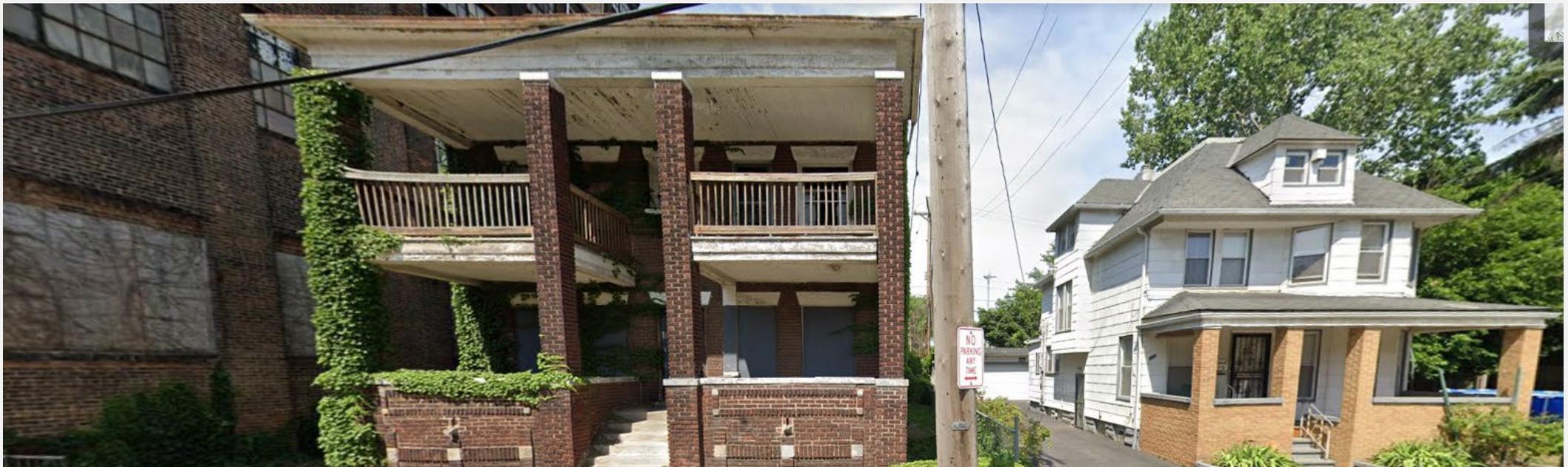
Driveway : None	Interior Walls, Ceilings & Flooring : Poor
Garage : None <input type="checkbox"/> Secured <input type="checkbox"/> Unsecured <input type="checkbox"/> Insufficient room for garage	Kitchen/Baths : Poor
Recommendation	
<input type="checkbox"/> Extensive Renovation <input type="checkbox"/> Moderate Renovation <input type="checkbox"/> Minimal Renovation <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Vacant Lot	
Summary: This property is collapsing and is a hazard to the area it needs to come down The interior is trashed no basement access it is a disaster. (Meters are Missing) (Brick Siding) could not fully access the full property.	

City Assessment: D/F ranking on property survey
 CCLRC Assessment:

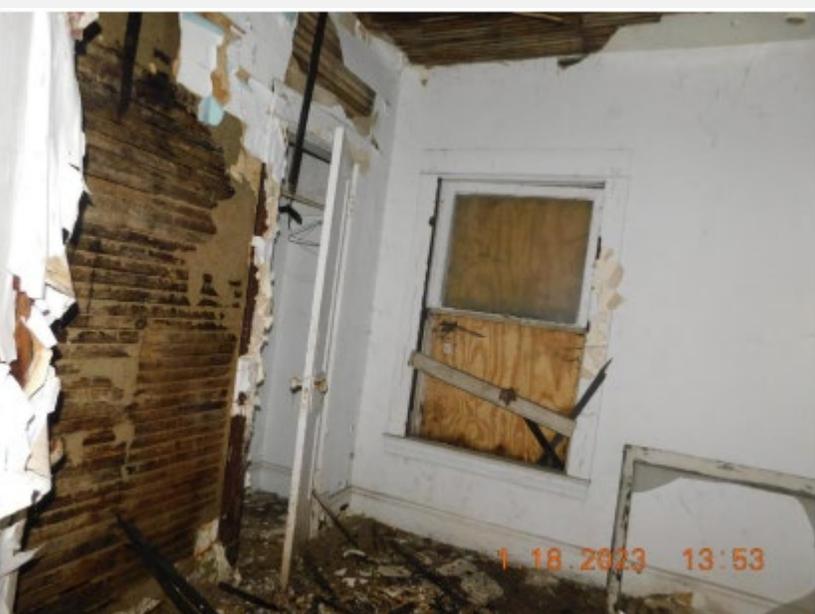


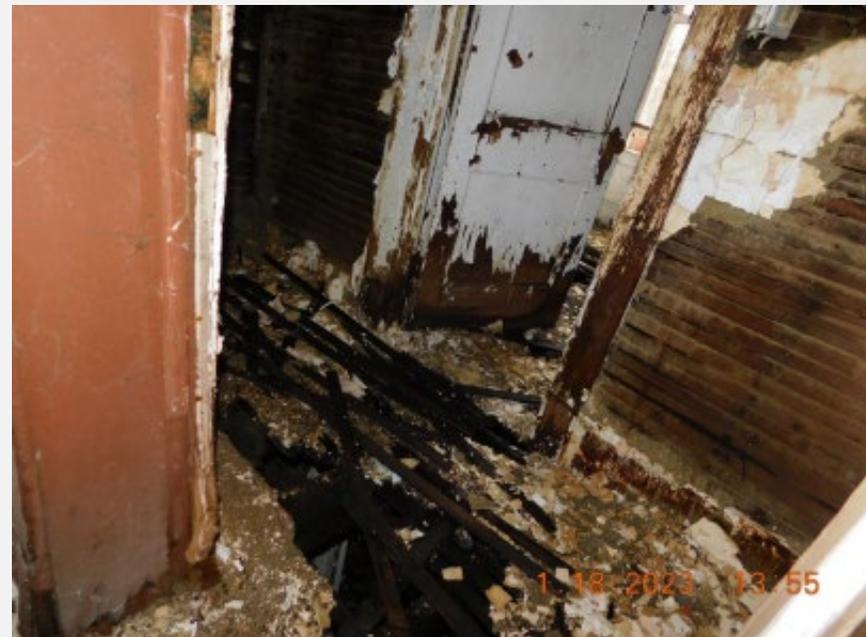
Church across the street

SITE
LOCATION
AND
CONTEXT









SITE PLAN



- Demolish the structure, remove all foundations and subgrade material. Level the site with clean backfill, topsoil, seed, and straw.

Cleveland City Planning Commission

Staff Report



March 3, 2023



March 3, 2023

NE2023-003 – Proposed Demolition of a 3-Story Commercial Building:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 1401 East 55th Street

Project Representative: Khalid Hawthorne, Famicos Foundation

Committee Recommendation: Approved Unanimously with Conditions:

- Any historical items that can be saved should be saved.

Northeast Design Review District Proposed Demolition

1401 East 55th Street

Former Sterle's Country House



1401 East 55th Property Information



Demolition: We are seeking demolition of 3-story commercial building.

Current Owner: Famicos Foundation since August 2021

Site Plan: The remaining land will be cleared, graded, and seeded. We are pursuing funding for affordable housing for this site.

1401 East 55th Neighborhood Context



Bonna Ave



Prosser Ave

East 55th Context



East 55th (NORA) across from Sterles



East 55th Corridor



East 55th/ Goldhorn

1401 East 55th – North/ South Elevations



1401 East 55th – East Elevation



1401 East 44th – Interior Photos



1401 East 55th – Interior Photos



Current Conditions

- Site has been a challenge to secure with significant vandalism and theft from the building and site that has escalated.
- The entire roof structure has been compromised by the fire months ago.
- The building is unsafe and in need of immediate demolition to preserve the safety of the surrounding community.



Committee Recommendation: Approved Unanimously with Conditions:

- Any historical items that can be saved should be saved.

Cleveland City Planning Commission

Staff Report



March 3, 2023

DF2022-062 – East 9th Street Comprehensive Signage Plan: Seeking Final Approval

Project Address: 1300 East 9th Street

Project Representative: Mike Bizjak, CESCO Imaging

Committee Recommendation: Approved with **Conditions:**

- Any proposed signage requiring a variance cannot be approved administratively and will need to return for approval at future Design Review and Planning Commission meetings
- Staff is not required to administratively approve individual tenant signage; individual tenant signs may be subject to Design Review and Planning Commission approvals
- The free standing monument signs are not approved as part of the comp sign plan and will need to return for design approval and variances at future Design Review and Planning Commission meetings

OVERVIEW

This document is a Base Sign Plan and Guidelines for Signage (the “Base Plan”) at 1300 East Ninth Street, Cleveland, OH (the “Property”) depicting basic default guidelines and locations for exterior signage. This Basic Plan is being submitted at the request of the City Planning Commission (via City staff and DRAC).

The purpose of the Base Plan is to, (a) provide basic parameters for all exterior signage at the Property; (b) identify potential planned locations for signage; (c) to provide basic default guidelines for reasonable and appropriate identification of the building, ground floor retail tenants, skyline signage and, in certain specific instances, street level building signs for office tenants and/or retail tenants that do not have direct exterior entrance; and (d) manufacturing and installation guidelines for all above signage.

Upon acceptance of the Base Plan by the City Planning Commission, applications by third parties which adhere to the Base Plan will be deemed approvable by City Planning Commission administratively for signage at the Building, including special approvals (“variances”) for Type “O” signs for office tenant or other similar entities without direct exterior access as it relates to the quantity and size of these signs. Notwithstanding the foregoing, this Base Plan is not a proposal, application for, or approval of, any specific sign for any entity.

Furthermore, all applications for signage will require written approval from the Property owner prior to application to the City Planning Commission Administration and/or if applicable, City Design Board/City Planning Commission (the “Governing Parties”) review and approval, after submission.

In following with the Cleveland sign ordinance, it is the intention of the Base Plan to be flexible to accommodate unique situations. Therefore, signage applications may vary from the Base Plan and/or the City Ordinance but only at the discretion of, and with approval by, the Governing Parties.

The following are the types of signage proposed for the Property.

Street Level Tenant Signs – R/O, RS, W, and S Type Signs

- R Type, RS type, W type and S type signs will be governed by the allowances of the City of Cleveland Ordinances Chapter 350 and will be located within the areas outlined in Example Photo 1 unless otherwise approved by the Governing Parties and Chapter 350.16 of the City ordinances.
- O type signs will follow the Base Plan and be governed based on a frontage of 29’-6” (minimum frontage dimension of one bay). These signs are specifically permitted as additional signs, sign areas and locations per the Base Plan.

The following are excerpts of the most applicable code sections governing these types of signs. These sign types will be deemed “administratively approvable signs” when conforming.

For Governing Parties administrative approval, the cumulative total of signs outlined in this section will not exceed the total area indicated below (based on the indicated measurement standards).

A). The maximum sign face area of all permanent building- mounted signs (including window signs and graphics) for each building or unit thereof shall be related to the width of the building or unit. Maximum sign face area, excluding the area of free-standing signs, shall be determined according to the measurement standards of Section 350.05 and the following formula where “W” is the width of frontage (in feet) of the building or unit thereof: $(W \times 1.5) + 25 = \text{Square Feet of Signage}$.

B) Secondary Frontages and Entrances.

(1) **Secondary Frontages.** A building or building unit with frontage on a second street or with a customer building entrance from a rear or side parking lot shall be permitted total additional wall, window, projecting and canopy sign area not to exceed fifty percent (50%) of the sign area otherwise permitted. Such signs shall be displayed so that the total sign area placed on any facade does not exceed the maximum sign area permitted for the building’s primary frontage. This provision shall also apply to buildings or building units with secondary frontage along the Cuyahoga River or Lake Erie and to buildings adjoining a freeway right-of-way.

Sign face area, sign height and sign location, as regulated in this chapter, shall be measured according to the following standards:

(a) **Sign Face Area.** Standards to compute the amount of sign face area permitted by these regulations are established as follows:

(1) **Measurement of Sign Face Area.**

A. **Panel Signs.** Sign face area shall be measured to include the entire surface of the smallest single rectangle enclosing the sign panel. For double- sided projecting or free-standing signs, only one (1) side of the panel shall be included in the measurement if the two (2) sign faces are in parallel arrangement and are separated by no more than three (3) feet. Measurement of a “V-shaped” temporary sign shall also include only one (1) of the two (2) sign faces.

B. **Non-Panel Signs.** Sign face area shall be measured to include the entire area within a single, continuous perimeter composed of not more than three (3) rectangles which enclose the letters or characters of a sign.

(2) **Measurement of Building and Lot Frontage.** The frontage of a building shall be the width of the facade(s) of the building (excluding any roof overhang or non-bearing decorative walls) which faces the principal street or contains the main entrance. If a building is divided into units, the building unit frontage shall be the width of that unit, as measured from the party wall center-lines, on the frontage of the building. The frontage of a lot shall be the width of the lot along the principal street serving a use located on the lot.

NOTE – Per our December 2022 meeting with Planning Director and staff, for the purpose of sign measurement as it relates to the Base Plan - the Governing Parties will consider the Type R, Type O, and Type RS signs to be “non panel” signs and only the letters, icons and/or logos perimeter will be measured to determine sign size. This measurement standard presumes that the proposed signs meet the guidelines Base Plan, including design, construction and installation methods outlined herein, with background panels that are finished to match the building.

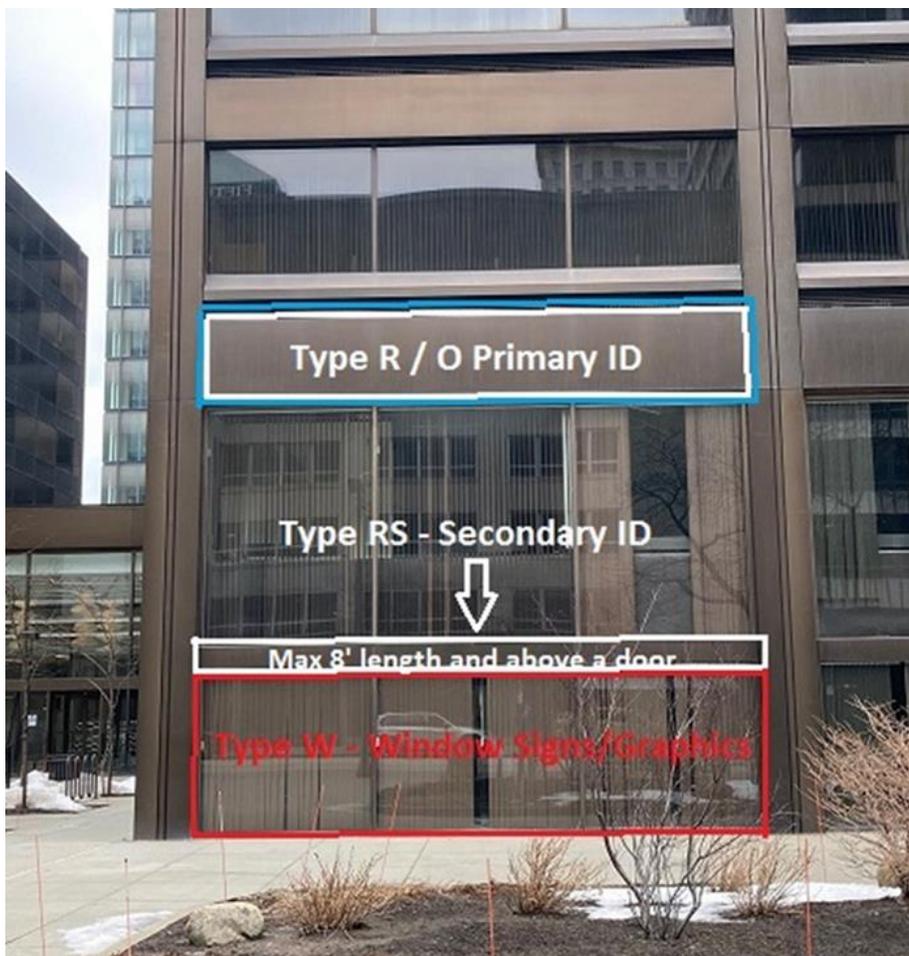
Note - Certain applicable sections that apply to sign size and measurement standard are included. However, multiple sections of Chapter 350 apply and tenants and/or their respective sign design professionals and

contractors are directed to review all applicable sections of the city ordinances as well as this plan in preparation of a new sign and/or tenant sign plan at this property.

It is the intention and expectation of this plan that any signs/sign plans are professionally designed and executed. Street Level Tenant Signs - Type R, Type O, Type RS, Type W and Type S

The following are basic sign types that are allowable for various types of tenants per the parameters of the Base Plan as well as generally allowable per the applicable code sections:

Example Photo 1 – Shows general locations of Type R, Type O, Type RS, Type W and Type S signs.



R – Type Signs / O – Type Signs

These signs are the primary street level identification of a ground level retail tenant (R), or, in specific instances, an identification sign for an office tenant (O) or retail tenant without direct exterior entrance.

Location -

- The R Type and O Type signs will be placed on the banding surrounding the building and the sign(s) will be located between the vertical columns with panels having a 25'-6" length and will occupy only one bay (25'-6" area between columns)
- In all instances these signs will be located between the first and second level with the exception of the Type O type sign on the E 9th elevation, which will be located between the second and third levels at the NE corner of the building facing E9 St.
- There are nine (9) potential "R" type sign locations and three (3) potential "O" type sign locations per this plan.

Construction –

- The signs will be constructed and appear according to the accompanying plans and example photo(s) and will be consistent with details depicted on page 13.
- All elements of the sign will be individual letters, icons or logos with a maximum height of 36" and maximum length of 23'-6", centered on a 2" depth background panel/raceway, unless otherwise approved by the Governing Parties.
- The sign background panels will match the size and color of the building panel.
- The accompanying plans depict a standard R/O type sign with general construction and specification details (see page 16). All sizes will need to be field verified by the respective occupant.

See example photo 1 for detail of general sign locations as it relates to this section of the Base Plan.

See example photo 2 for typical R/O Type sign that is acceptable as it relates to this section of the Base Plan.

Example Photo 2 - Typical Type R and Type O Sign (between 1st and 2nd level)



Secondary Signs (RS – Type Signs / W – Type Signs / S Type Signs)

The basic guideline for Type R/O, Type RS, Type W and Type S signs will be governed by the City of Cleveland Ordinances Chapter 350.

See example photo 1 for detail of general sign locations as it relates to this section of the Base Plan.

See example photo 3 for typical signs that are acceptable as it relates to this section of the Base Plan.

See example photo(s) 4, 5, 6, 7 and 8 for examples of other Type W signs that are acceptable as it relates to this section of the Base Plan.

Example Photo 3 – Acceptable types, size and locations of Type RS, Type W and Type S signs.



RS - Type Signs

- These signs are generally the secondary identification of a ground level retail tenant with an exterior door directly into their space.
- These entries occur only at space 1 (space at SW corner of building facing St Clair – 2 bay width), space 2 (space at SE corner of building facing St Clair – 2 bay width) and space 3 (space at NE corner of building facing E9 St – 2 bay width).
- These signs will be limited to being located within the 12” band directly above an entry door and centered above same.
- The general size parameters will be 10” maximum height x 8’ maximum length.
- The signs must be, or appear to be, individual letters, icons or logos mounted directly to the fascia panel that matches the building panels in color size and type. These signs can be illuminated or non-illuminated.

See Example photo 3 for example and depiction of acceptable sign.

W - Type Signs

- These signs are generally the secondary identification of a ground level retail tenant with exterior glass

areas directly into their space. However, in certain instances, these may be the primary identification of a ground level retail tenant.

- It is the expectation that these signs and graphics will be professionally designed and properly organized within the allotted areas available. It is also the expectation that full window pane opaque signage graphics are not allowed as part of this plan.
- These glass areas currently occur only at space 1 (space at SW corner of building facing St Clair – 2 bay width), space 2 (space at SE corner of building facing St Clair – 2 bay width and facing E9 St. - 2 bay width) and space 3 (space at NE corner of building facing E9 St – 2 bay width and 1 bay width at NE corner of building facing North).
- These signs will be limited to being located within the 90” x 25’-6” glass areas noted and depicted on the plans.
- The general parameters will be per city ordinance unless otherwise approved by the Governing Parties.
- These signs may be constructed signs, either illuminated or non-illuminated, surface applied graphics or a combination of those styles.

See Example photo 3 for example and depiction of acceptable Type W signs.

See example photo(s) 4, 5, 6, 7 and 8 for examples of other Type W signs that are generally acceptable as it relates to this section of the Base Plan.

Example Photo 4 – Depicts acceptable types of window graphics.



Example Photo 5 – Depicts an acceptable type of fabricated LED illuminated window sign.



Example Photo 6 – Depicts an acceptable type of fabricated Neon illuminated window sign



Example Photo 7 – Depicts an acceptable type of Illuminated Electronic Display window sign (shown as building directory - but approvable as part of this plan as Type W sign).



Example Photo 8 – Depicts a combination of acceptable types of Window Graphics and illuminated LED and Neon window signs.



S - Type Signs

In certain instances, additional signage may be requested by a retail tenant for a specialized self-service provided at the building.

These will be reviewed on an individual basis by the Governing Parties.

See Example photo 3 for example and depiction of acceptable sign and requisite special service initiating the need for this type of sign (example is ATM).

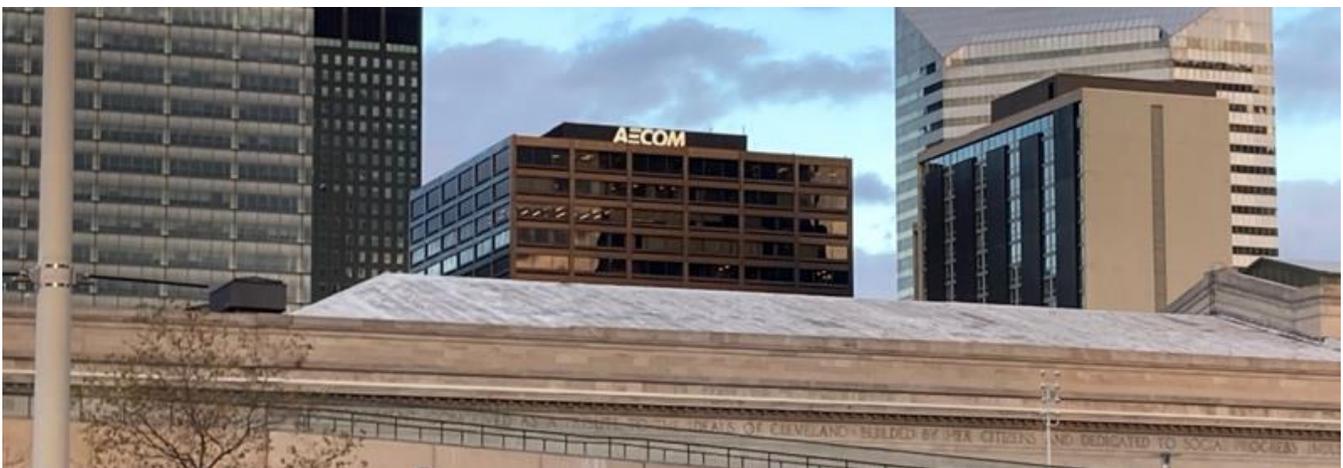
Other Building Signs – Type H / Type P / Address

- There are other planned signs at the property including Skyline signs (Type H), Parking Garage sign (Type P), existing address signs and Building ID freestanding signs (Type F) planned for the Property.
- These signs and types are outlined generally herein and with locations depicted on the site map.
- These will be reviewed and approved by owner prior to Governing Parties review.
- These signs are depicted in current or recent past iterations in Example photos 9, 10, 11, 12 and 13, s applicable.
- The general descriptions for same are to be considered as part of the Base Plan with future details to be provided at a later date as part of an application for exterior signage.

H - Type Signs

- H Type signs are for identification at the top of the building. The purpose of these signs is to provide larger scale ID from farther distances from the Property.
- These signs will be legible for up to a mile or more from the subject building.
- These signs may be installed on up to two (2) walls of the rooftop screen as a “skyline sign” per city indications with an expectation of size at approximately 800-1200SF total for two (2) signs. (Note – the previous signs were Penton Media – 1000 SF +/- Total and AECOM 800+/- SF Total)
- Previously AECOM utilized such identification signage on the west and north screen wall elevations. The AECOM signage was removed in January 2022.
- These signs rarely meet the specific building ID sign ordinances for the City of Cleveland, but are typically deemed acceptable with approval by the owner and governing parties
- the sign(s) will be approved on an individual basis by the owner prior to application to the Governing Parties.
- See Example Photo 9 depiction of Previous Type H sign (AECOM at 9’-6” x 40’ (+/-) size).

Example Photo 9 – Example of typical Type H Sign



P - Type Sign

- There is a currently a parking garage sign at the entrance. See photo below.
- A new blade sign will be proposed at a later date.
- The sign(s) will be reviewed by the Governing Parties when this part of project is ready to move forward.
- The sign will generally comply with the City of Cleveland Code 350 and will be subject to owner approval prior to application to the Governing Parties.
- See Photo 10 for existing P type sign

Example Photo 10 – Existing P type Sign



Address Signs

- There are currently three (3) address signs on the main building entrance canopy located on the north, east and south canopy fascia.
- These signs are 18” illuminated channel letters on raceways. These signs will remain “as is”.
- See Example Photo 11 for existing address signs.

Example Photo 11 – Existing Illuminated Channel Letter Address Signs (QTY -3)



F1 – Type sign / F2 Type sign.

- Type F1 and Type F2 signs are freestanding monuments that would be located at the SE corner of the property and the western end of the frontage along St. Clair.
- The existing F1 Type sign at the SE corner of the Property would be replaced with a primary freestanding monument that identifies the building and several office and retail tenants.
- The existing F2 Type sign (the freestanding gateway at the west end of the property on St Clair) would be replaced with a secondary freestanding monument identifying some of the retail tenants of the building.
- The signs will generally comply with the City of Cleveland Code 350 and will be approved by owner prior to application to the Governing Parties.
- These applications for Type F1 and Type F2 signs will be submitted at a later date however conceptual plans are shown in Photo 14 and 15. The conceptual plans are subject to change, have no definitive timeline and may not be constructed.

Example Photo 12 – Sign F1 EX Sign



Example Photo 13 - Sign F2 EX Sign



Example Photo 14 F1 Concept Plan – Color Scheme B



Example Photo 15 F2 Concept Plan – Color Scheme A



Unique Situations

- As briefly outlined in the first section, and similar to the city sign ordinance, it is the intention of the Base Plan to be flexible to accommodate unique situations. To this end, signage requests may vary from the Base Plan.
- When these unique situations arise and require solutions that are more conducive to the particular unique situation encountered, special approvals (“variances”) from the Base Plan may be, after approval by owner, considered by the Governing Parties.

- The tenant will submit plans to the owner for approval. These plans will provide all pertinent design, construction and attachment detail as necessary for the subject project. The owner will review the plans and if approvable, the owner will provide written documentation of such approval to the Governing Parties.
- See example photo 16 of concept plans generally depicting a “unique” situation that may require a variance from the Base Plan and/or Chapter 350 of the City of Cleveland Ordinances.

Example Photo 16 – Varying Conditions Requiring Special Approval (outside of sign plan).



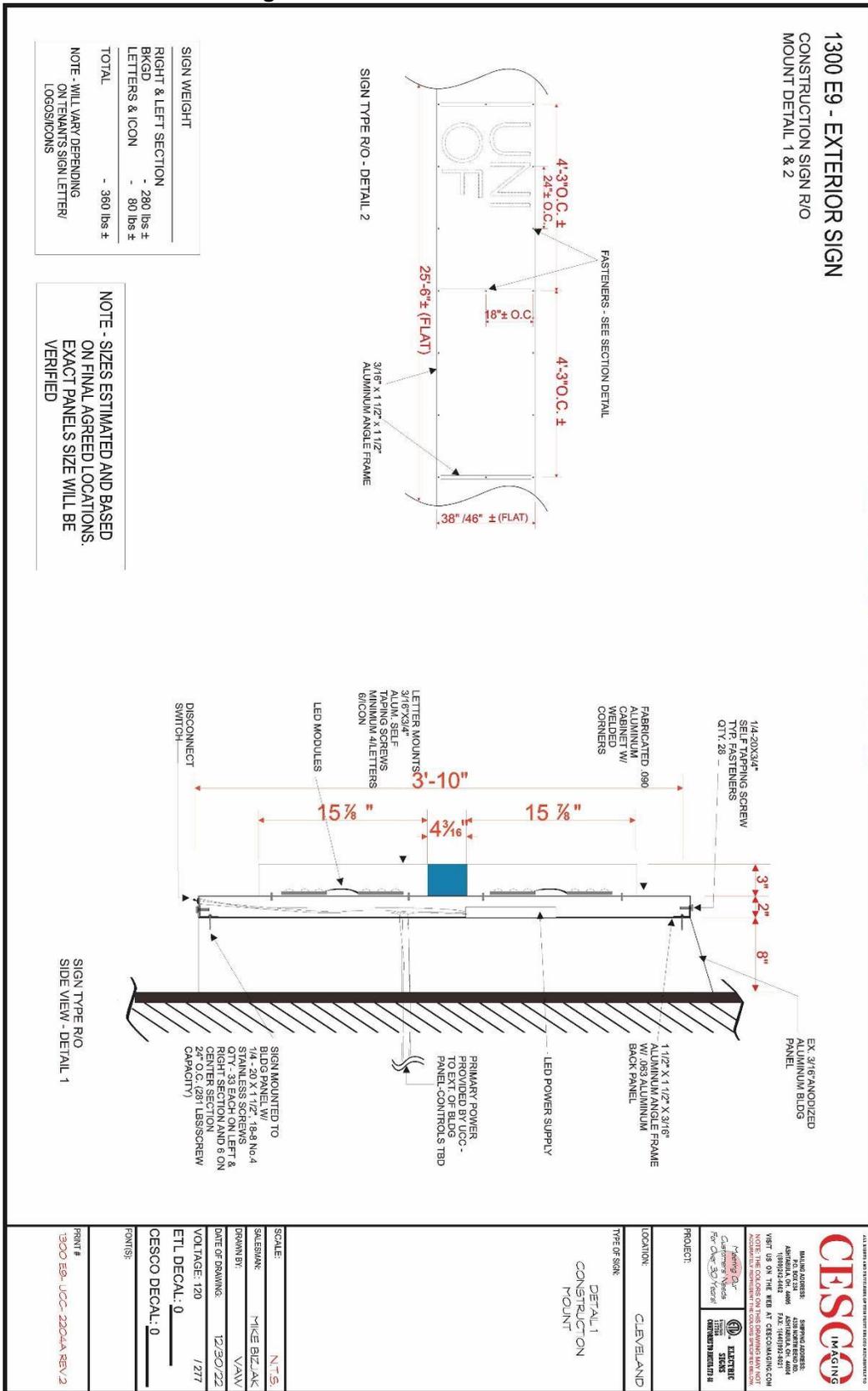
Approval Process

Any and all signage for the exterior of the Property shall use this Plan as a basis to develop a signage proposal and application. As outlined previously, certain unique situations may arise that require types, sizes, specifications and/or locations that vary from this Base Plan, which may require a special approval (“variance”) from the Governing Parties.

Notwithstanding all signage allowances and parameters outlined herein, all exterior facing signage at the building and property is subject to review and with written approval by the building owner. The tenant will submit plans to the owner for approval. These plans will provide all pertinent design, construction, attachment and location detail as necessary for the subject project. Upon review and receipt of written approval by the owner, application will be made to the governing parties.

Furthermore - All exterior facing signs will require any/all applicable City of Cleveland permits prior to installation.

Sign Type R/O Construction and Mounting Details



East 9th Street Location Details – Street Level Signs

1300 E9 - BASE SIGN PLAN

EAST ELEVATION - E9

NOTE: THE COLORS ON THIS DRAWING MAY NOT ACCURATELY REPRESENT THE COLORS SPECIFIED BELOW.

SIGN TYPES LOCATION	
R	WHITE DOTTED LINE
RS	WHITE DOTTED LINE
O	BLUE DOTTED LINE
W	RED DOTTED LINE

SCALE:	N.T.S.
SALESMAN:	MIKE BIZJAK
DRAWN BY:	V.A.N.V.
DATE OF DRAWING:	11/02/22
VOLTAGE:	120
ETL DECAL:	0
CESCO DECAL:	0
POINTS:	
PRINT #:	3007 E9 - 2207 SIGN PLAN

PROJECT:	1300 E9 - SIGN PLAN
LOCATION:	CLEVELAND
TYPE OF SIGN:	

MADE IN THE USA
AMERICAN MADE
AMERICAN OWNED
AMERICAN OPERATED
AMERICAN SUPPORTED

NOTE: THE COLORS ON THIS DRAWING MAY NOT ACCURATELY REPRESENT THE COLORS SPECIFIED BELOW.

St. Clair Ave. Location Details – Street Level Signs



North Elevation Location Details – Street Level Signs

1300 E9 - BASE SIGN PLAN

NORTH ELEVATION LOCATION DETAILS - STREET LEVEL SIGNS

NOTE: THESE SIGNS AREAS ARE BASED ON SUBJECT TENANTS' PRIMARY 'EAST' FRONTAGE. THIS IS NOT A SECONDARY FRONTAGE W/ ADDITIONAL AREA ALLOWANCES

SIGN TYPES LOCATION

R WHITE DOTTED LINE W RED DOTTED LINE

SCALE:	NTS
SUBSUNS:	HIEBZLJK
DRAWN BY:	VAW
DATE OF DRAWING:	02/22/23
VOLTAGE:	120
ETL DECAL:	0
CESCO DECAL:	0
FRONT#:	
PRINT #	1300 E9 - 2500

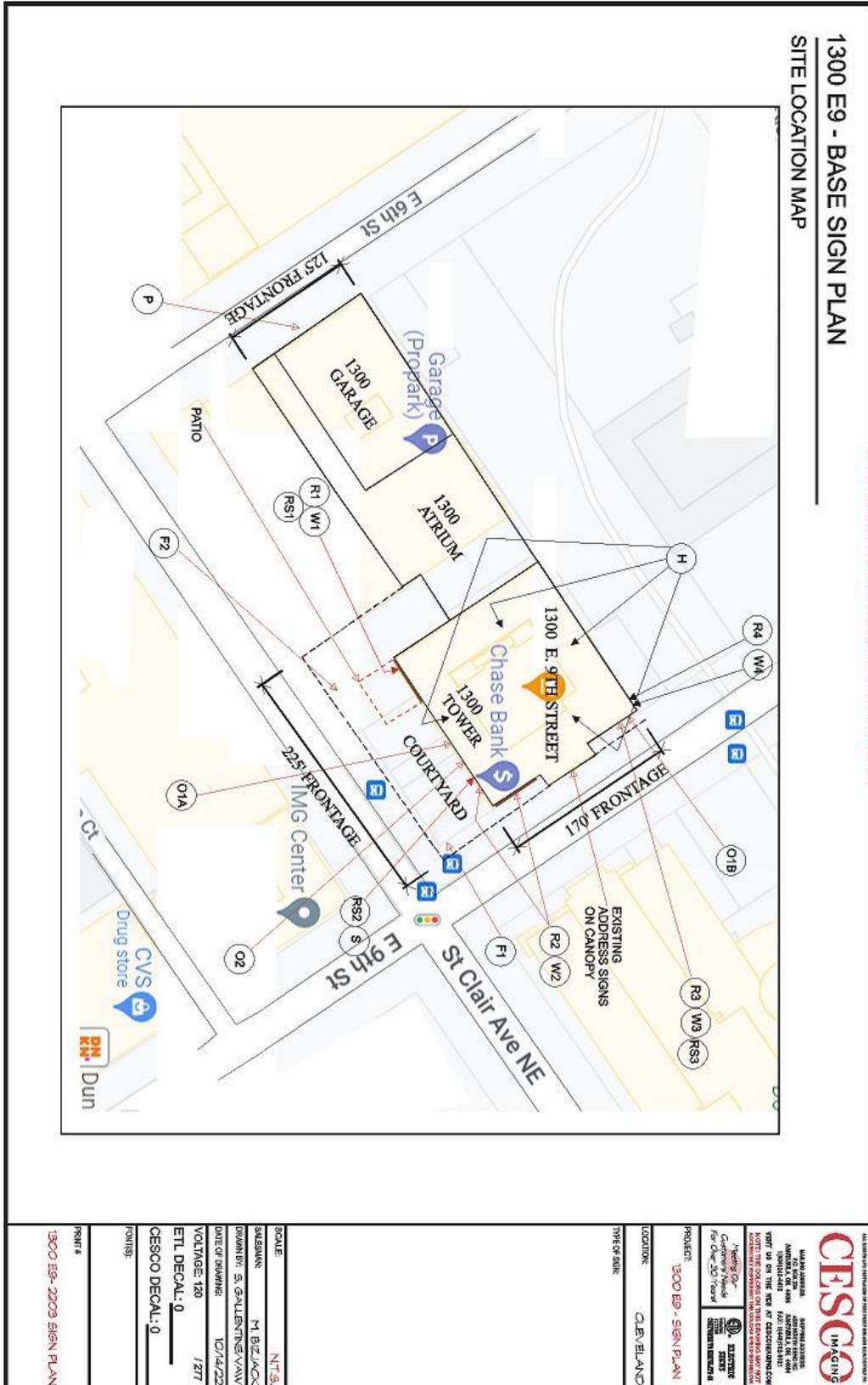
PRODUCT:	1300 E9 SIGN PLAN
LOCATION:	CLEVELAND
TYPE OF SIGN:	

CESCO IMAGINE

MAKING COMMERCIAL SIGNAGE WORK BETTER
FOR OVER 30 YEARS

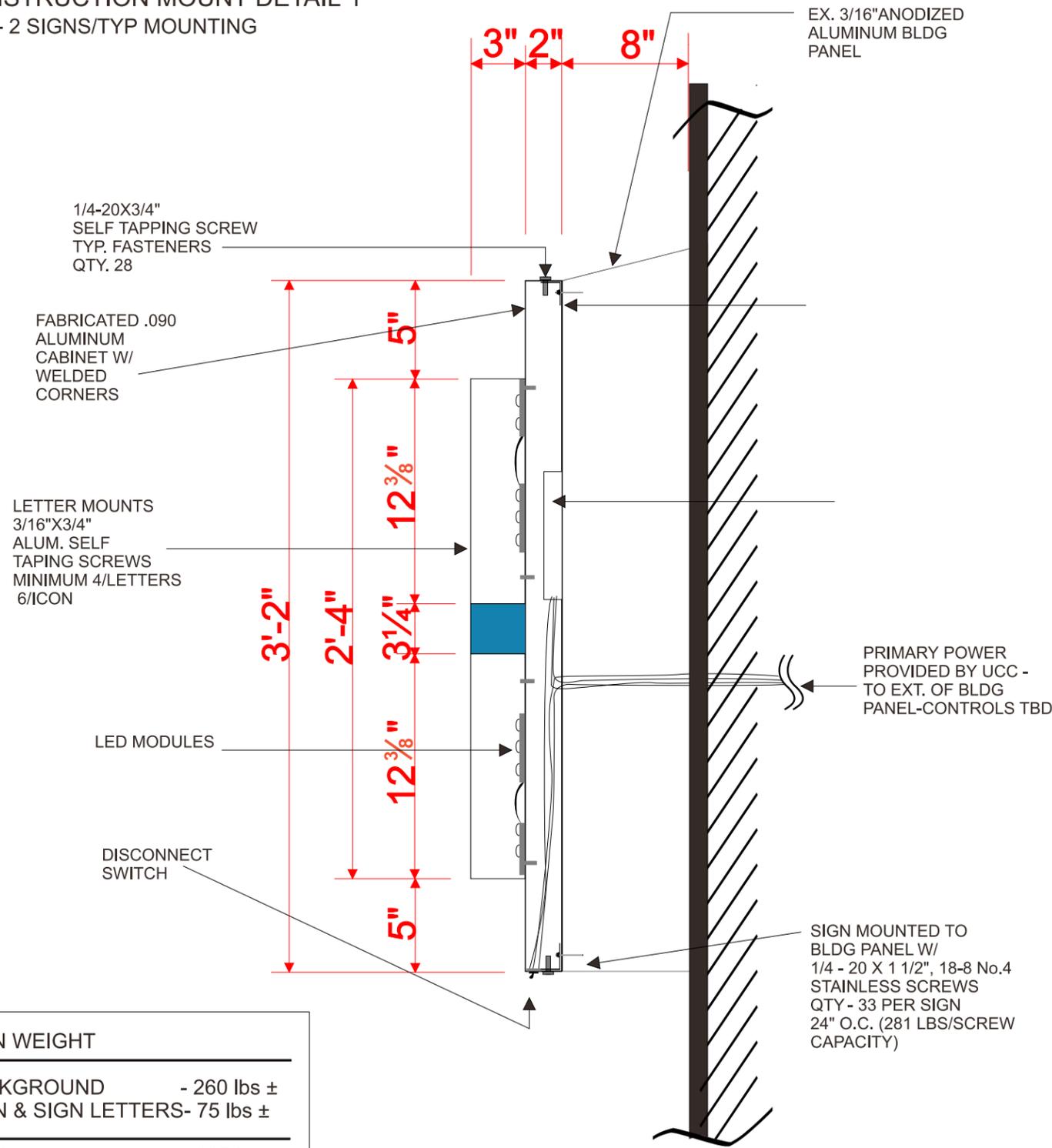
1300 E9 SIGN PLAN
DATE: 02/22/23
DRAWN BY: VAW
VOLTAGE: 120
ETL DECAL: 0
CESCO DECAL: 0

Sign Plan Location Details – Plan View of Property



1300 E9 / UCC - SIGN PLAN

CONSTRUCTION MOUNT DETAIL 1 QTY - 2 SIGNS/TYP MOUNTING



SIDE VIEW
E. 9

SIGN WEIGHT	
BACKGROUND	- 260 lbs ±
ICON & SIGN LETTERS-	75 lbs ±
TOTAL	- 335 lbs ±

NOTE - SIZES ESTIMATED AND BASED ON FINAL AGREED LOCATIONS. EXACT PANELS SIZE WILL BE VERIFIED



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 SHIPPING ADDRESS: 4330 NORTH BEND RD. ASHTABULA, OH. 44004 FAX: 1(440)992-8021

VISIT US ON THE WEB AT CESCOIMAGING.COM



PROJECT: UNITED CHURCH OF CHRIST

LOCATION: CLEVELAND

TYPE OF SIGN:
DETAIL 1
CONSTRUCTION MOUNT

SCALE: N.T.S.

SALESMAN: MIKE BIZJAK

DRAWN BY: VAW

DATE OF DRAWING: 10/13/22

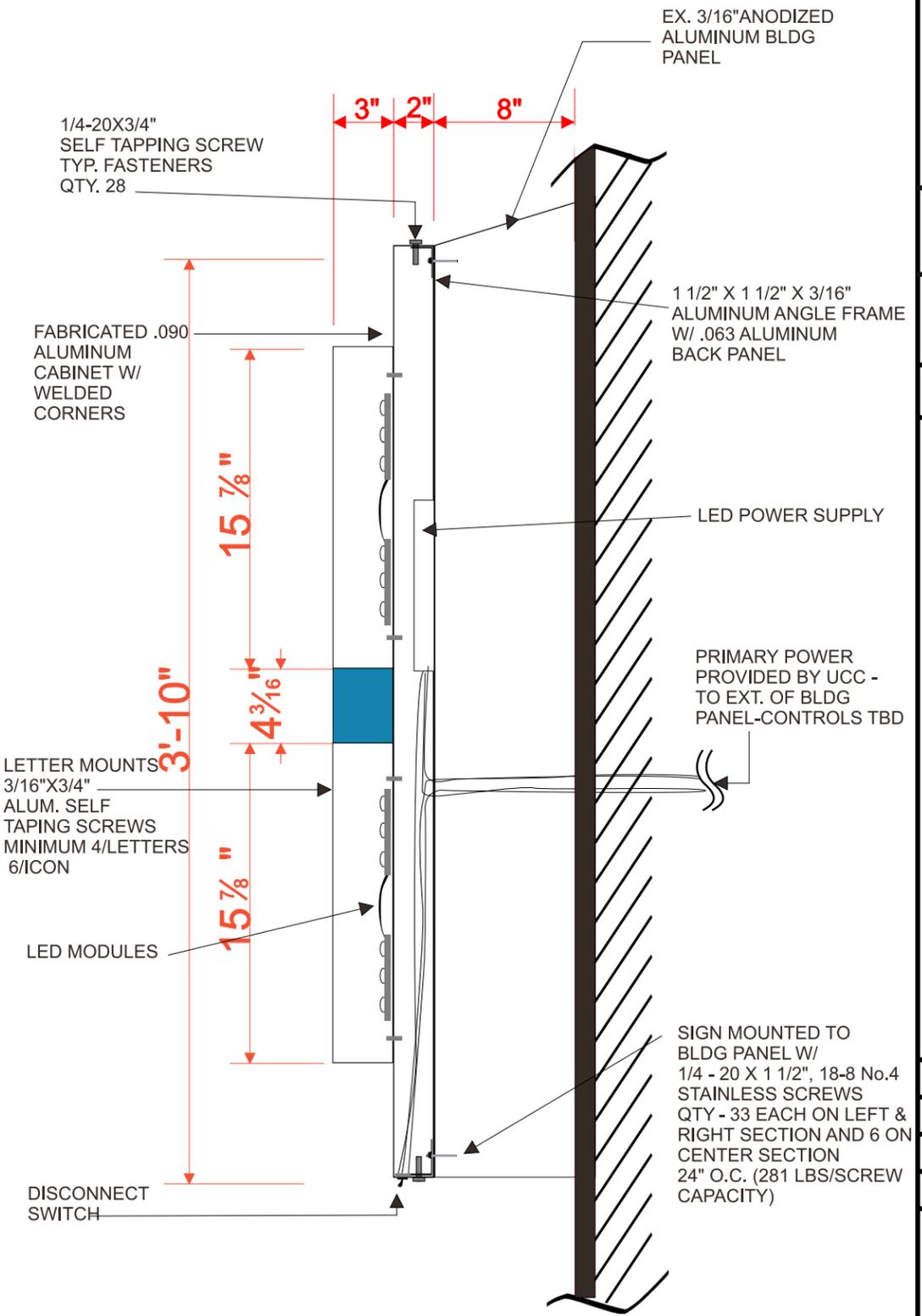
VOLTAGE: 120 / 277

ETL DECAL: 0

CESCO DECAL: 0

FONT(S): UNITED CHURCH OF CHRIST

PRINT #
1300 E9- UCC- 2204A REV.3



SIDE VIEW
ST. CLAIR

SIGN WEIGHT	
BACKGROUND	- 280 lbs ±
LETTERS & ICON	- 80 lbs ±
TOTAL	- 360 lbs ±

1300 E9 - BASE SIGN PLAN

EAST ELEVATION - E9

SIGN TYPES LOCATION			
R	WHITE DOTTED LINE	O	BLUE DOTTED LINE
RS	WHITE DOTTED LINE	W	RED DOTTED LINE

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PROJECT: 1300 E9 - SIGN PLAN

LOCATION: CLEVELAND

TYPE OF SIGN:



R2B

W2C

W2D

EX. ADDRESS SIGNS QTY-3

O1B

R3

RS3

W3A

W3B

SCALE: N.T.S.

SALESMAN: MIKE BIZJAK

DRAWN BY: VAW

DATE OF DRAWING: 11/02/22

VOLTAGE: 120 / 277

ETL DECAL: 0

CESCO DECAL: 0

FONT(S):

PRINT #

1300 E9- 2201 SIGN PLAN

1300 E9 - BASE SIGN PLAN

SOUTH ELEVATION - ST. CLAIR

SIGN TYPES LOCATION

R WHITE DOTTED LINE	O BLUE DOTTED LINE
RS WHITE DOTTED LINE	W RED DOTTED LINE

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CESCO

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For Over 30 Years!

**ELECTRIC
SIGNS**
Intertek
117160
CONFORMS TO ANSI/UL STD 48

PROJECT: **1300 E9-SIGN PLAN**

LOCATION: **CLEVELAND**

TYPE OF SIGN:



SCALE: **N.T.S.**

SALESMAN: **M.BIZJAK**

DRAWN BY: **VAW**

DATE OF DRAWING: **11/2/22**

VOLTAGE: 120 / 277

ETL DECAL: **0**

CESCO DECAL: **0**

FONT(S):

PRINT #

1300 E9 - 2100 SIGN PLAN

1300 E9 - BASE SIGN PLAN

NORTH ELEVATION LOCATION DETAILS - STREET LEVEL SIGNS

SIGN TYPES LOCATION

R

WHITE DOTTED LINE

W

RED DOTTED LINE



NOTE: THESE SIGNS AREAS ARE BASED ON SUBJECT TENANTS PRIMARY "EAST" FRONTAGE. THIS IS NOT A SECONDARY FRONTAGE W/ ADDITIONAL AREA ALLOWANCES

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ELECTRIC SIGNS
 Intertek 117760 CONFORMS TO ANSI/UL STD 48

PROJECT: **1300 E9-SIGN PLAN**

LOCATION: CLEVELAND

TYPE OF SIGN:

SCALE: **N.T.S.**

SALESMAN: M.BIZJAK

DRAWN BY: VAW

DATE OF DRAWING: 02/22/23

VOLTAGE: 120 / 277

ETL DECAL: 0

CESCO DECAL: 0

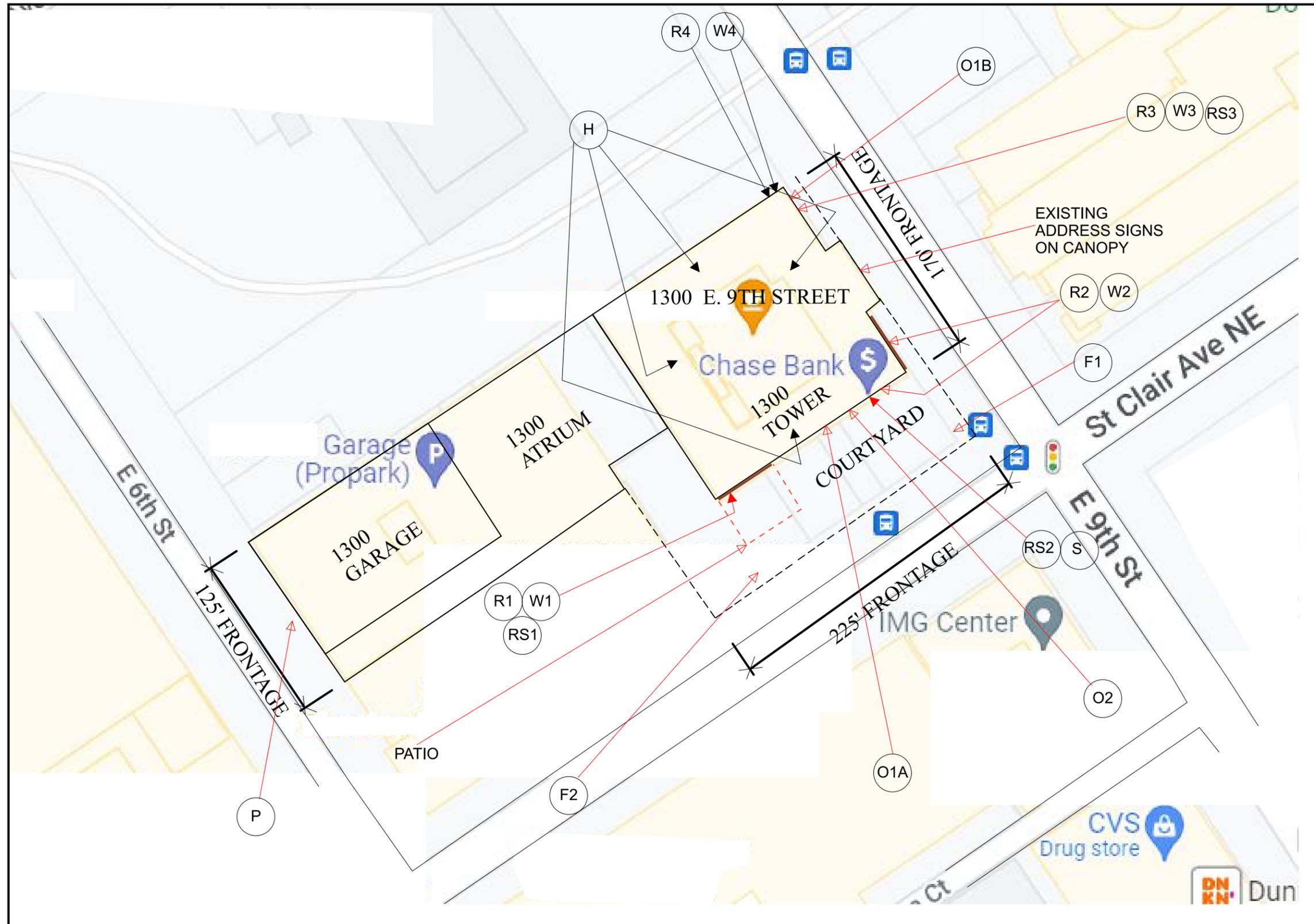
FONT(S):

PRINT #

1300 E9 - 2300

1300 E9 - BASE SIGN PLAN

SITE LOCATION MAP



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Meeting Our Customers' Needs For Over 30 Years!



PROJECT: 1300 E9 - SIGN PLAN

LOCATION: CLEVELAND

TYPE OF SIGN:

SCALE: N.T.S.

SALESMAN: M. BIZJACK

DRAWN BY: S. GALLETINE/VAW

DATE OF DRAWING: 10/14/22

VOLTAGE: 120 / 277

ETL DECAL: 0

CESCO DECAL: 0

FONT(S):

PRINT #

1300 E9- 2203 SIGN PLAN



March 3, 2023

Committee Recommendation: Approved with **Conditions:**

- Any proposed signage requiring a variance cannot be approved administratively and will need to return for approval at future Design Review and Planning Commission meetings
- Staff is not required to administratively approve individual tenant signage; individual tenant signs may be subject to Design Review and Planning Commission approvals
- The free standing monument signs are not approved as part of the comp sign plan and will need to return for design approval and variances at future Design Review and Planning Commission meetings

Cleveland City Planning Commission

Staff Report



March 3, 2023

Cleveland City Planning Commission

Special Presentations



March 3, 2023



Re-Discover St Clair-Superior Master Plan: Seeking Final Approval Presenter: Alex Pesta, City Architecture



RE-DISCOVER ST. CLAIR-SUPERIOR

ST. CLAIR-SUPERIOR NEIGHBORHOOD PLAN

2023



COUNCIL MEMBER

Anthony T. Hairston

WARD 10

famicos
FOUNDATION



RE-DISCOVER ST. CLAIR-SUPERIOR

Famicos Foundation and Councilman Anthony Hairston led a strategic neighborhood planning process for St. Clair-Superior, beginning in 2019. Local organizations, community residents, and government entities collaborated to create a comprehensive plan for this unique neighborhood. This work aims to set the St. Clair-Superior neighborhood on a new course that celebrates its past and present, authentically connects with its businesses, provides opportunities for its residents to thrive, and intentionally links the neighborhood to the lake and surrounding assets.

Please join us as we RE-DISCOVER St. Clair-Superior together!



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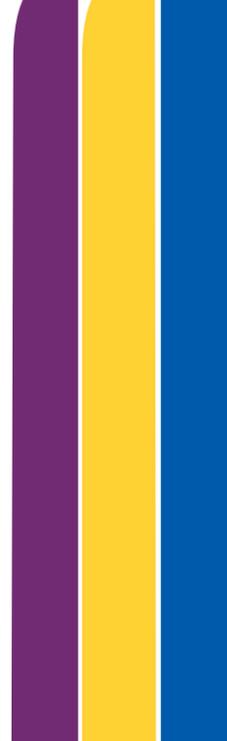
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INTRODUCTION

1

UNCOVERING AND UNDERSTANDING



INTRODUCTION

Why now?

Growing development interest and increasingly sought after opportunity has placed St. Clair-Superior in the cross-hairs for those seeking to lead the redevelopment of this community. Since its inception, the St. Clair-Superior neighborhood has been a unique fixture among the many neighborhoods of Cleveland. Not unlike many neighborhoods across the country, St Clair-Superior has not been immune to racial division and systemic oppression of people of color. However, this community represents one of the first truly integrated neighborhoods of black and white families in Cleveland. It was also home to the first major Latino settlement in the City.

Despite having some of the richest history in the City of Cleveland, St. Clair-Superior has yet to claim a unified identity. Home to hundreds of businesses that provide numerous jobs and economic contributions to the Cleveland economy, this community remains a well kept secret for some.

It's time for a rediscovery of a place that has brought a bounty of businesses and jobs to the Cleveland community and represents the rich culture of the city through strategic visioning and planning that includes the voices of the community at the table, helping to ensure that future of St. Clair-Superior is one rooted in inclusivity and progress.

Project Branding and Colors

To kick off this planning process, project branding and colors were established to help unify graphic materials and strengthen the neighborhood's story. The logo is found in the top left corner of each page, while the three primary colors: blue, yellow and

purple, are integrated throughout this report document, such as chapter sidebars (as seen on the left page) and for various text boxes, diagrams and other visual elements. Through the use of consistent color and branding in the planning process and in this report, a

cohesive collection of thoughts, ideas and recommendations support this important community-based work.

SAFETY
Stabilizing a place.

OPPORTUNITY
Leading change.
Creating wealth.

UNITY
Doing it together.

The Team

A committed team of project partners, including the community development corporations, community foundations, residents, neighborhood organizations, and volunteers comprised the project team, helping to ensure that the plan and its engagement efforts reach a wide audience and helped to capture the diverse characteristics of the community.

Project Partners



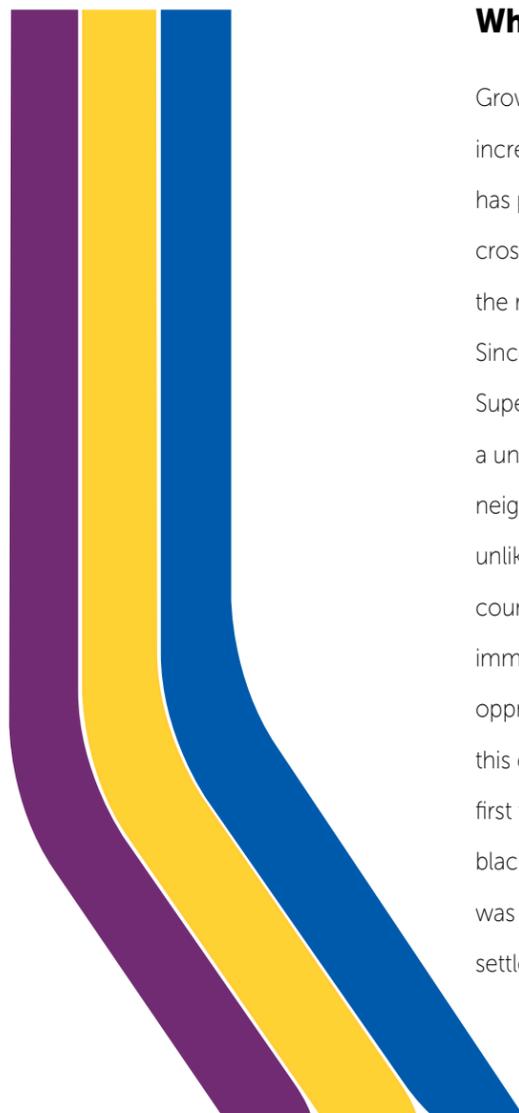
Engagement Partners

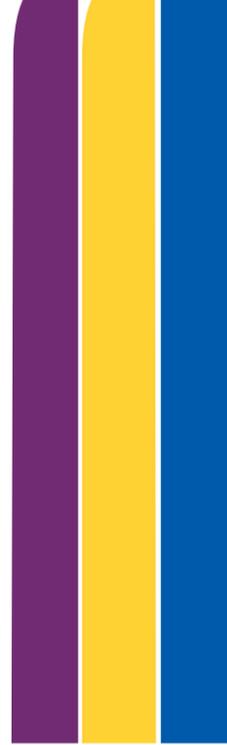


“ Leading this neighborhood planning process has been informative, instructive, and fun. I’m thankful for the residents, businesses, and visitors who contributed their thoughts and ideas to what’s great about the St. Clair-Superior neighborhood now, and their imagination for what it could be in the future.

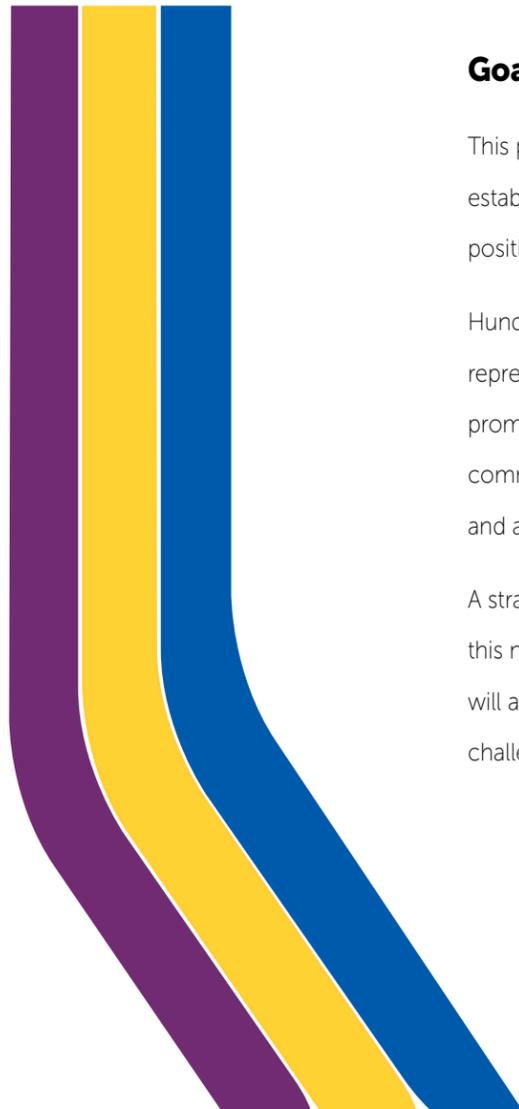
I look forward to what’s next in the St. Clair-Superior neighborhood.”

-Councilman Anthony T. Hairston, Ward 10





THE 'WHY'



Goals

This planning process aims to reveal the diverse story of St. Clair-Superior and establish a vision for the future of the community that is reflective of its unique position within Cleveland's cross-section of neighborhoods.

Hundreds of businesses and dozens of languages spoken in this community represent the history of one of Cleveland's oldest neighborhoods. The lack of prominence among Cleveland's higher profile neighborhoods tends to cause this community to miss out on opportunities to promote the activity taking place here and attract visitors.

A strategic positioning of St. Clair-Superior that is guided by the members of this neighborhood who call it home, invest their resources, and give their love, will allow it to reach a stature that meets community needs, addresses shared challenges, and unlocks a potential that has yet to be realized.



GUIDING PRINCIPLES and PLANNING GOALS

Bring a renewed **PRESENCE** to the St. Clair-Superior Neighborhood

CONNECT residents to local organizations and resources

Elevate the neighborhood's diverse **IDENTITY**

Develop **VISIONARY** concepts for critical community nodes and connectors

THE PROCESS

The Re-Discover St. Clair-Superior Plan utilized a mix-tape as a metaphor to symbolize the approach taken with this planning process. Through this work, the planning team sought to uncover the history and existing assets that have not been widely shared about the neighborhood. The mix-tape is representative of the continuous and circular nature of planning. While planning documents ordinarily capture events in a linear fashion, the process is never straightforward, with many steps repeated and refined throughout the endeavor.

An authentic process must always begin by gaining an understanding of the current conditions, which is most effectively done through intentionally focused conversation with community members. Documenting the dialogue in more than one way strengthens the commitment to integrating neighborhood voices into the process. The collection of designers that comprise the planning team not only seek to deliver a product that supports the goals of this process, but one that inspires future investment and future designers. Ultimately, this work is distributed to help guide the trajectory of the neighborhood, and the contents must successfully weave a vision with implementable actions that provide both near term gains and long-term, lasting change.



**THE
'WHERE'**



Where is St. Clair-Superior ?

Positioned on the City of Cleveland's east side, St. Clair-Superior is one of the few neighborhoods with adjacency to the lake. The neighborhood is split between Wards 7, 9 and 10. Surrounded by growing investment in Downtown, Midtown, Hough and University Circle, the neighborhood is positioned to be capitalized upon by prospective investment. The Shoreway (I-90) and the light to heavy industry that abuts this major roadway has historically severed the community's access to the North shore, greatly diminishing the connection to the lakefront and other amenities. Beyond this more prominently facing challenge, the community is in need of stronger relationships between community members, business owners, employees, and stakeholders.

WHERE IN TIME

In addition to its unique geographical location, St. Clair-Superior is uniquely positioned at this point in time, experiencing the results of demographic shifts, benefitting from the influence of several CDCs, and has the potential to be shaped by several masterplanning efforts.

Changing Demographics

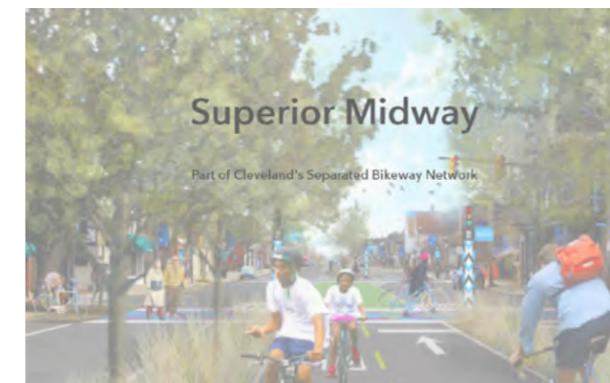
St. Clair-Superior and its unique position in Cleveland gives it over a century of rich history, but the neighborhood today reflects a much different landscape than its original settlement.

Originally settled by Slovenian immigrants who worked in the emerging industry along the lakefront, demographic shifts over the last century mean the neighborhood has grown to become a rich and diverse neighborhood, made up of racially and ethnically diverse groups of people, businesses, industry, and culture. By the 1990s, African Americans made up the vast majority of the population within the St. Clair-Superior neighborhood. The celebrated Slovenian National Home and historical landmarks remain, but as the demographic character has changed, St. Clair-Superior has struggled with the challenges that many communities of color face: disinvestment, poverty, and low education levels, among others.



CDC Landscape

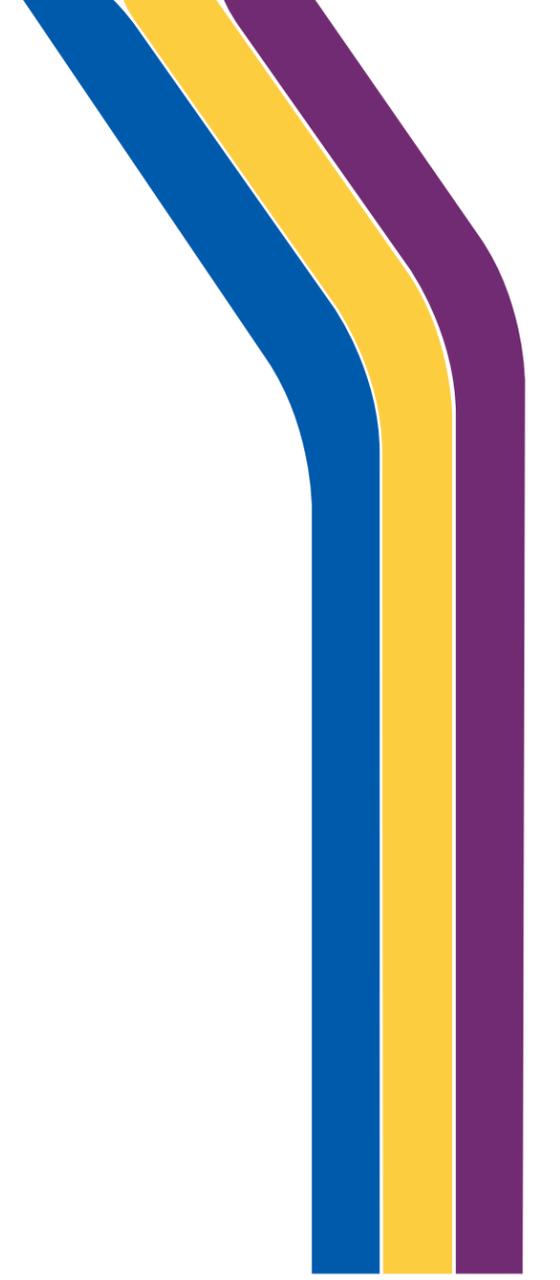
The St. Clair-Superior neighborhood is supported by two Community Development Corporations (CDCs), St. Clair Superior Development Corporation (SCSDC) and Famicos Foundation. SCSDC has been active in the neighborhood for over 40 years, supporting residents with resources and helping to unify the community. Famicos Foundation has been active in Cleveland for 50 years and is expanding its reach in the St. Clair-Superior neighborhood to support vital efforts surrounding housing, health, neighborhood beautification, and many other services for residents.



Planning in the Neighborhood

Both CDCs have strategic visions or plans for neighborhoods around Cleveland, but St. Clair-Superior specifically has been the subject of several strategic plans from both public and private entities that seek to unify the neighborhood and its residents, establish a neighborhood identity, promote housing options and development, beautify the neighborhood, and promote other initiatives that take advantage of its unique location and uplift the area.

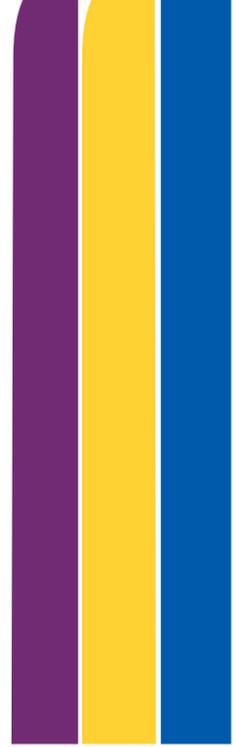
St. Clair-Superior has also been included in several more recent Cleveland-wide plans which seek to leverage the assets the neighborhood is in close proximity to; a multitude of plans including the CHEERS (Cleveland Harbor East Embayment Resilience Study) and the Superior-Midway plan have been created recently with the intent to connect with the lakefront and promote multi-modal transit.



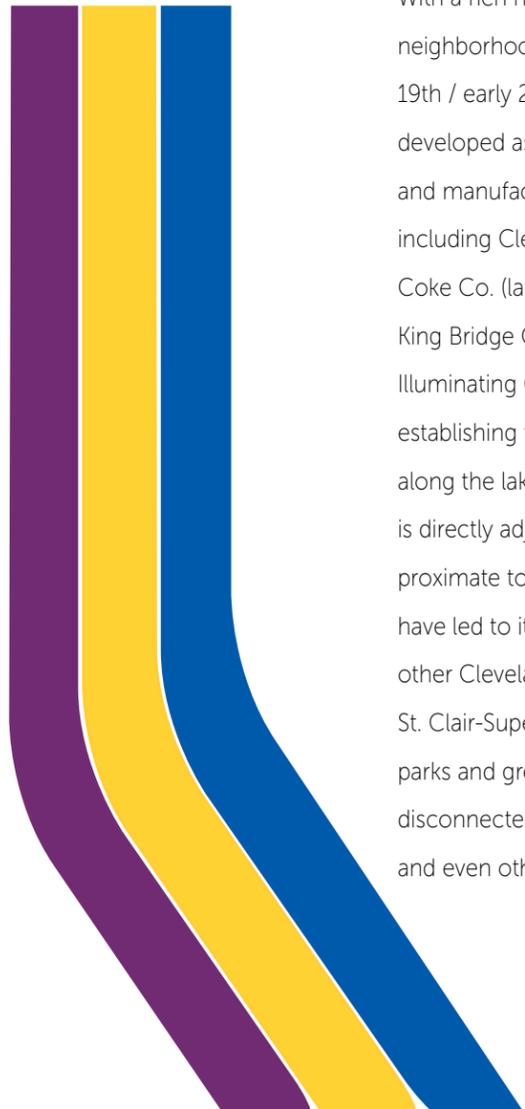
ON THE GROUND

2

MULTIPLE SIDES OF THE STORY



WHAT



What is here?

With a rich history that began with the neighborhood's original growth in the late 19th / early 20th century, St. Clair-Superior developed as a place rooted in industry and manufacturing with corporations including Cleveland Gas Light and Coke Co. (later East Ohio Gas Co.), The King Bridge Co., Cleveland Electric-Illuminating Co, and the White Motor Corp establishing to the north of St. Clair Ave along the lakefront. The neighborhood is directly adjacent to Lake Erie, and is proximate to many natural resources that have led to its strategic position among other Cleveland neighborhoods. Although St. Clair-Superior contains a handful of parks and greenspace, it remains largely disconnected from other natural assets, and even other neighborhoods.

St. Clair-Superior's Slavic heritage left several important community landmarks which serve as central community gathering spaces. Many of the heritage, traditions, and architecture from the European settlements in the St. Clair-Superior neighborhood contribute important pieces to Cleveland's culture today. St. Clair-Superior is the home of the Slovenian National Home at 6417 St. Clair Ave and the host of the annual Kurentovanje Celebration which occurs in February each year. The industry that drove St. Clair-Superior's initial development remains north of St. Clair Ave. South of St. Clair Ave is predominantly residential; however, decades of disinvestment and concentrated poverty have also created a neighborhood faced with economic challenges and struggling to maintain its once thriving residential communities.



PLANNING IN THE NEIGHBORHOOD

Multiple Sides of the Story

Assessing the collection of existing conditions begins to formulate the story for the neighborhood as a whole. This basis of understanding also allows for questions to be asked of the individuals living on the ground day-to-day. What is clear is that there is a significant amount of untapped and unrealized opportunity here. However, without a clearly established plan for the direction of this place, it will likely continue to exist in its current state. The poor connections that currently exist in the space are representative of the lack of relationships and connection that exist between occupants of the neighborhood today. It is necessary to gain an understanding of the past that has shaped these conditions and the role that different plans can have in bringing about change.

A recognition of those that may not have deep relational connections to the neighborhood, yet see the value and opportunity that exists here is critical. As development interest grows and public and private investment continues, key decisions have the

potential for lasting impacts on current residents and stakeholders. The lack of a unified vision or identity for this place leaves the opportunity for this process to be dictated by outsiders. Whether these interests are well-intentioned or ill-spirited, the community will miss out on the opportunity to shape its future. It's important that St. Clair-Superior acts now, and it's important that its story is told and captured in a vivid portrayal that is representative of the multidimensional history that it possesses.

Planning processes are not new to St. Clair-Superior; below are a list of plans that have influenced the current trajectory and future of the neighborhood:

[CHEERS](#)

[Superior-Midway](#)

[E 66th Streetscape Plan](#)

[Eastside Parks Study](#)

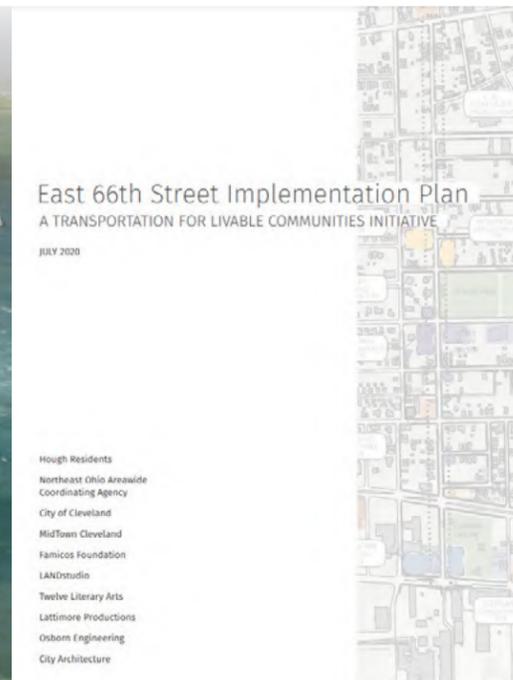
[Doan Brook Restoration Project](#)

[First Energy Lakeshore Reuse Plan](#)

[Cleveland Waterfront District Plan](#)

[Lakefront Reservation E 72nd/North Gordon Park Master Plan](#)

[Cuyahoga County Lakefront Public](#)



EXISTING CONDITIONS

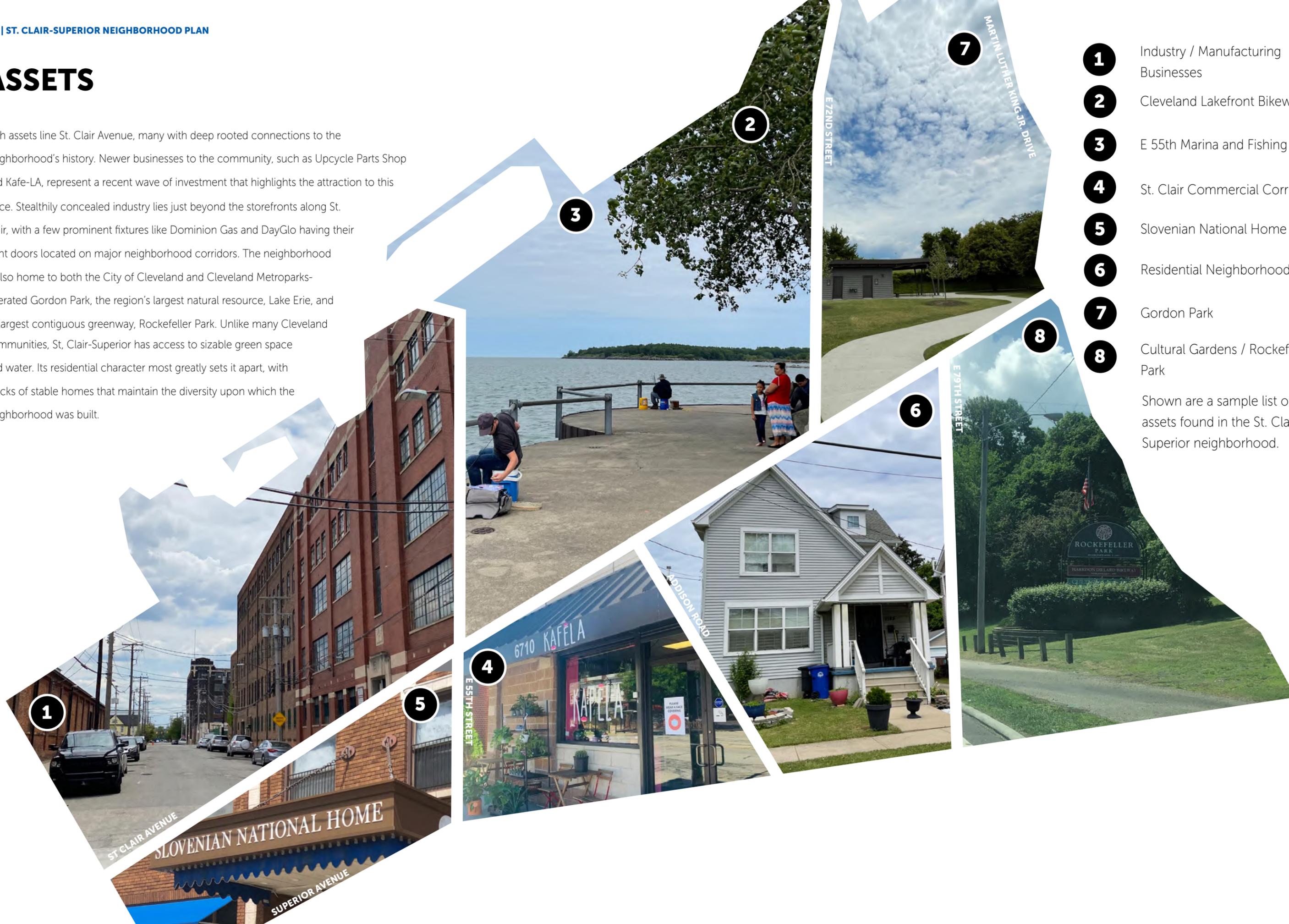
In addition to understanding community members' lived experiences, it is also important to evaluate the existing conditions of the neighborhood's physical environment. While there is much that can be clearly seen and understood, there is also much to be imagined. New opportunities are typically found adjacent to existing assets, but potential exists in many areas that the everyday passerby may not gravitate towards. St. Clair-Superior is full of untapped potential.

Re-Discover St. Clair-Superior organizes the existing conditions into four primary categories: Assets, Challenges, Opportunities, and Investments.



ASSETS

Rich assets line St. Clair Avenue, many with deep rooted connections to the neighborhood's history. Newer businesses to the community, such as Upcycle Parts Shop and Kafe-LA, represent a recent wave of investment that highlights the attraction to this place. Stealthily concealed industry lies just beyond the storefronts along St. Clair, with a few prominent fixtures like Dominion Gas and DayGlo having their front doors located on major neighborhood corridors. The neighborhood is also home to both the City of Cleveland and Cleveland Metroparks-operated Gordon Park, the region's largest natural resource, Lake Erie, and its largest contiguous greenway, Rockefeller Park. Unlike many Cleveland communities, St. Clair-Superior has access to sizable green space and water. Its residential character most greatly sets it apart, with blocks of stable homes that maintain the diversity upon which the neighborhood was built.



- 1 Industry / Manufacturing Businesses
- 2 Cleveland Lakefront Bikeway
- 3 E 55th Marina and Fishing Pier
- 4 St. Clair Commercial Corridor
- 5 Slovenian National Home
- 6 Residential Neighborhoods
- 7 Gordon Park
- 8 Cultural Gardens / Rockefeller Park

Shown are a sample list of assets found in the St. Clair-Superior neighborhood.

CHALLENGES

One of the neighborhood's greatest challenges is connectivity. While much of the discussion has surrounded the lack of connection to the lakefront, there is an equally fractured connection to one of the greatest assets in the community, the business. St. Clair Avenue remains one of Cleveland's main east-west connectors, but it was designed to accommodate a capacity that it does not require today. This results in an expansive roadway that favors the motor vehicle over pedestrian and multi-modal travel. Vacancy and distressed home conditions are symptoms of the larger challenge of poverty and lack of opportunity suffered by the neighborhood. The proximity to industrial jobs also creates a challenge due to the contaminants produced by these businesses. This physical separation between industry and residential space is necessary, but this separation creates rigid edges and a harsh neighborhood divide as a result.



- 1** New Housing Development
- 2** Redevelopment of Underutilized Property
- 3** New Businesses / Renovated Storefronts along St. Clair
- 4** New / Enhanced Lakefront Connections
- 5** Strengthened Connections to the Cultural Gardens
- 6** Neighborhood Gateway at St. Clair & MLK intersection

Shown are a sample list of challenges found within the St. Clair-Superior neighborhood.

OPPORTUNITIES

Surrounded by resources, St. Clair-Superior lies in the midst of several opportunities that have the ability to change the trajectory of its future. Strategic vacant land reutilization and the creation of intentional connections to Gordon Park, Rockefeller Park and Lake Erie are efforts that will continue to encourage growth in the area. Fostering a more connected community also requires relationship building among all sectors of the neighborhood. There is clear support and dedication to this place by many businesses, property owners, and residents. A unified community can collectively advance desires, combine resources, and ultimately bring about change.

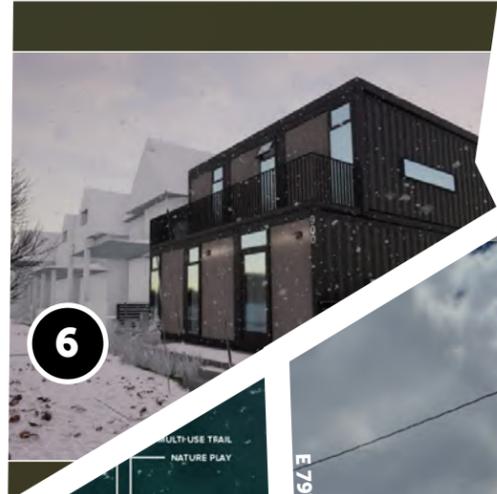
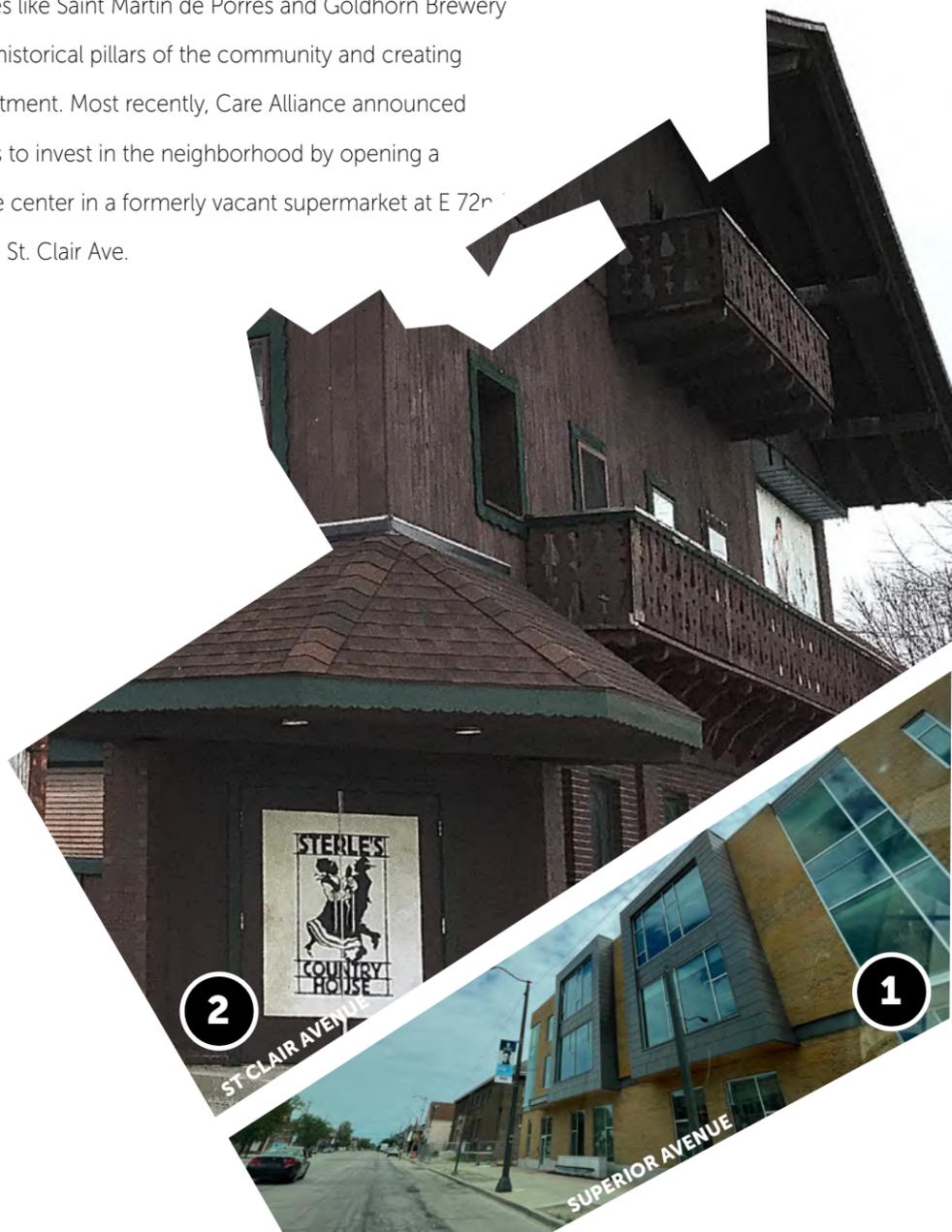


- 1** Industrial Businesses Adjacent to Residential Neighborhoods
- 2** Wide Streets (St. Clair; Superior)
- 3** Lack of Multi-Modal Infrastructure
- 4** Lakefront Access / Connectivity
- 5** Vacant / Dilapidated Storefronts
- 6** Vacant Buildings / Property
- 7** Park / Neighborhood Connections

Shown are a sample list of opportunities found in the St. Clair-Superior neighborhood.

INVESTMENTS

The opportunity for growth and increased stability is ripe and more are beginning to see this. In 2020, the Cleveland Metroparks led CHEERS (the Cleveland Harbor Eastern Embayment Resilience Study), which resulted in implementable strategies to enhance the lakefront in the neighborhood. This study proposed to activate the two major gateways into the neighborhood located at E 55th and E 72nd. Both gateways are currently experiencing independent investment in the form of proposed new housing at the former Sterle's Site on E 55th by Famicos Foundation, and shipping container homes converted to duplexes and triplexes along E 72nd led by WRJ development. Investment has slowly matured in this area, with places like Saint Martin de Porres and Goldhorn Brewery elevating historical pillars of the community and creating new investment. Most recently, Care Alliance announced their plans to invest in the neighborhood by opening a healthcare center in a formerly vacant supermarket at E 72nd Street and St. Clair Ave.



- 1** St. Martin De Porres
 - 2** Famicos (Sterle's Site)
 - 3** Hub 55 / Goldhorn Brewery
 - 4** Cleveland Metroparks
 - 5** CHEERS Plan
 - 6** WRJ (ArkiTainer)
 - 7** Care Alliance Health Center
- Shown are a sample list of investments found in the St. Clair-Superior neighborhood.



EXISTING CONDITIONS SUMMARY

St. Clair-Superior contains a wealth of assets and opportunities that can be leveraged through strategic planning and investment. Its rich history created several institutions and businesses that remain strong foundations for the community with committed leaders and residents who have contributed unique stories to the neighborhood and are pioneering new innovations. The economic and institutional foundations and geographic location make St. Clair-Superior the focus of several targeted investments that strive to capitalize on opportunities for connection, economic growth, and stability, and are strengthened by a community that is passionate about and hopeful for change.



Investments

A significant planning effort recently concluded with the CHEERS plan for the northern portion of the neighborhood. This plan includes greater connections to the lakefront via E 55th and E 79th, improvements to the Cleveland Metroparks owned Gordon Park, and robust development of the lakefront through the construction of an island. Additionally, there are other neighborhood developments that have preceded this plan, such as HUB 55, NORA, Saint Martin de Porres and storefront investment along St. Clair Avenue.



Challenges

Not dissimilar to many east side Cleveland neighborhoods, St. Clair-Superior has suffered from the same experiences as many other black communities in the United States. An evaporation of essential resources, coupled with concentrated poverty, has left people desperate and created inequitable outcomes. There are significant barriers to overcome in order to change the trajectory of the neighborhood and provide a hopeful future for all.



Assets

The cultural center for the Slovenian community in Cleveland, the Slovenian National Home, serves as a centerpiece for events such as Kurentovanje Festival and other private events. Churches like St. Vitus have served as pillars in the neighborhood for decades. These institutions have committed parishes and supportive services, including housing and other resources, for local residents to access. Additionally, in the absence of sufficient access to parks, E. J. Kovacic Recreation Center has been serving the neighborhood recreationally. The location of St. Clair-Superior is in itself an asset with proximity to the region's greatest natural resource, Lake Erie. Over 700 business call the community home, serving as an economic driver for Cleveland.

Opportunities

Adjacent to two of Cleveland's largest natural assets, Lake Erie and Rockefeller Park, the neighborhood's current connections to these places lack fluidity. Additionally, a neighborhood full of industrial jobs appears to have little connection to the local workforce. These factors present opportunities to establish new connections to better connect with residents.

OVER \$ 600 \$ BUSINESSES

2 SHOREWAY ACCESS POINTS

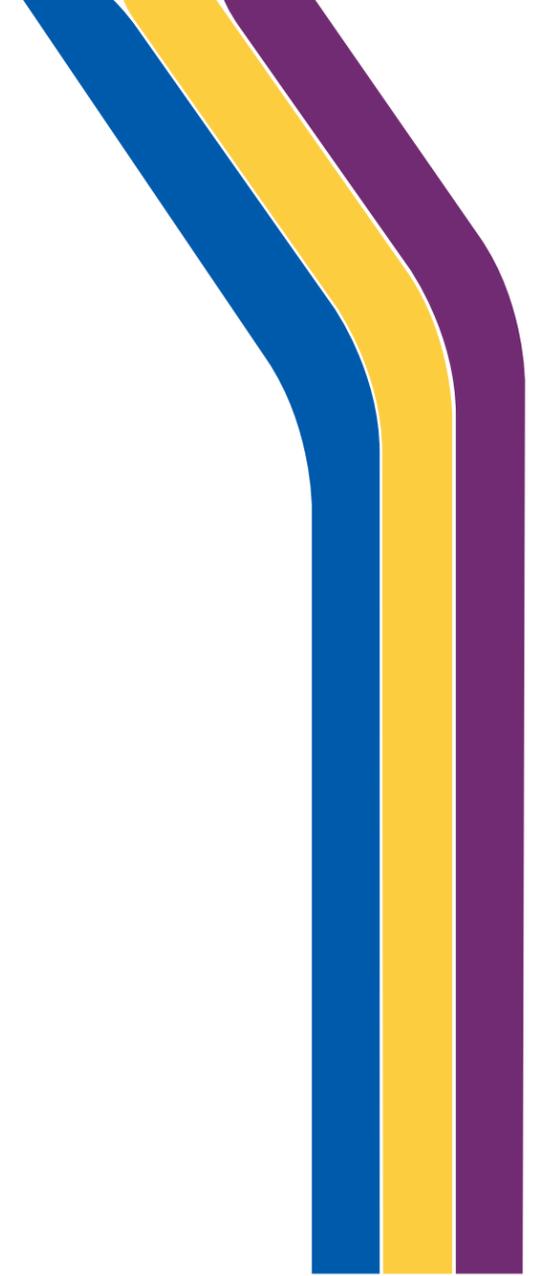
2 HIDDEN PARKS

1 UTILITY HUB

OVER RE-USE AND REBUILD BUSINESSES

1 HIGHWAY 2 STATE ROUTES 1 RAILROAD

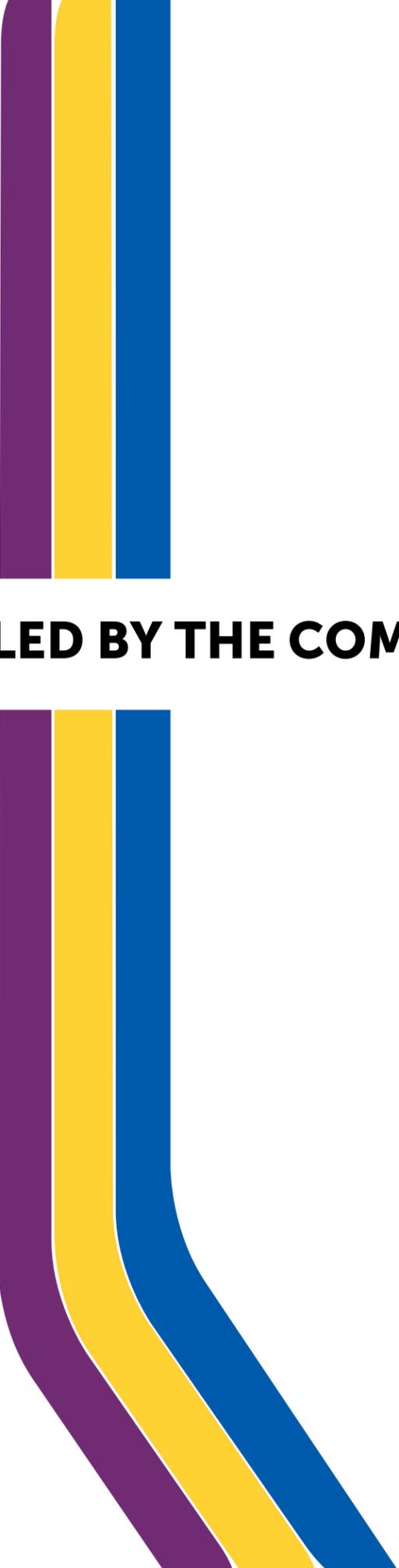
OVER 20,000,000 SF OF INDUSTRY (NORTH OF ST. CLAIR)



WHAT COULD BE

3

COLLECTIVE CONNECTIONS



LED BY THE COMMUNITY

What's Desired? Black Excellence.

It is the strong belief of the planning team that this process will only result in success for the neighborhood if it is led by the community. Leading the planning process does not have to equate to managing the process, but it does mean that the community is directing changes that should be pursued. The success of this effort is rooted in a shared belief across the planning team, organizations and stakeholders who are putting the community's interests first.

Conversation with stakeholders and residents revealed not only their connection to the place, but their vision

for its future: a future they have chosen to remain a part of and to influence.

Safety, **Opportunity** and **Unity** were the three major themes that emerged from the conversations with community members.

There are lived experiences of violence, crime, and feelings of defenselessness within this community. Struggles with response time from police officers, coupled with the depressed conditions of the built environment sow despair in some living the neighborhood.

Despite these struggles residents see the opportunity for positive change. They recognize the history of growth, success and resilience of the neighborhood

and want any new change to come with a focus on inclusivity and unity.

Opportunities for black business owners and entrepreneurs is what is explicitly desired. This change should not to clash with or replace the eastern European roots of the community, but instead they must coexist in unity.

Representation in the planning and design process matters. Black developers, investors, and visionaries bring their energy, experience, and dollars to this community with the intentions to uplift the culture and protect the property and well-being of those that possess a shared experience with them.



WHY CONNECTIONS ARE CRITICAL

Authentic connections must be made with the people in order to tell this story properly. Planning work is typically led and facilitated by professional practitioners that provide a level of expertise to guide the neighborhood transformation process. Continued conversations with the community must guide recommendations as the planning practitioners, no matter how well intentioned or deeply invested they are into the community, will eventually exit the planning process. The community will always remain. In order to ensure that what is ultimately handed over to the community meets expectations and drives the changes being sought, a thoughtful approach to relationship building and storytelling must be pursued.

This discourse begins with a simple question, "What is your connection to the St. Clair-Superior neighborhood?" Understanding what has brought or kept people here helps to define why this place is important to them. Whether it is a connection to an employer, a family tree, or resources that they acquire in the neighborhood that they are unable to elsewhere, each person's relationship is unique. Equally, each of them have

influenced the shape and condition of the neighborhood today, and, should they choose to remain, will have a role in its future. Information is shared and collected on both sides as the planning team provides development insights, anticipated investments, and the expertise of spatial design, while community members provide their local knowledge and expertise that is irreplaceable and uniquely theirs.



ASIAN FESTIVAL



ASIAN FESTIVAL

COMMUNITY DISCOURSE

A collaborative approach was taken to broaden the level of engagement for this process. In partnership with St. Clair-Superior Development Corporation, Ingenuity Cleveland, and Bike Cleveland, engagement activities were able to coincide with community events taking place across the neighborhood in the Summer and Fall of 2022. More

successful engagement outcomes were realized through this type of approach, as it allowed for intersectionality to occur at events being attended by wider audiences with a variety of interests. Participants were provided opportunities to contribute at the level at which they were comfortable.

Events were held at Goldhorn Brewery and St. Clair Plaza, with special appearances at the Cleveland Asian Festival, Ingenuity Fest, and NORA. A final engagement event in the Fall of 2022 allowed residents, business owners, and other stakeholders the opportunity to learn more about the plan, contribute final thoughts, and ask questions.

Community Event Calendar

Kickoff	MAY 19, 2022	Ignite! Neighbor Nights - Feelin' Fresh	5-8pm	Goldhorn Brewery
	MAY 20, 2022	Neighbor 2 Neighbor BBQ	4-6pm	St. Clair Plaza
	MAY 21, 2022	Cleveland Asian Festival	11am-3pm	E 30th & Payne
	JUN 15, 2022	Bike CLE - Better Streets	5:30-7pm	St. Clair Plaza
Big Ideas!	JUL 15, 2022	Neighbor 2 Neighbor BBQ	4-6pm	St. Clair Plaza
	JUL 21, 2022	Famicos Summer Resource Days	2-6pm	E 55th & Superior (McDonald's)
	JUL 21, 2022	Ignite! Neighbor Nights - Power of Words	5-8pm	Goldhorn Brewery
Concept Review	AUG 18, 2022	Ignite! Neighbor Nights - Sweet Street!	5-8pm	Goldhorn Brewery
Celebrate	SEP 23-25, 2022	Ingenuity Fest	All Day	Ingenuity Cleveland



ASIAN FESTIVAL



ASIAN FESTIVAL



IGNITE NEIGHBOR NIGHTS- FEELIN' FRESH



IGNITE NEIGHBOR NIGHTS- FEELIN' FRESH



IGNITE NEIGHBOR NIGHTS- FEELIN' FRESH



FAMICOS SUMMER RESOURCE DAYS

DISCOVERY

The engagement objectives were supported by the theme of the plan, 're-discover'. Community Event participants were asked to share exciting things they have discovered in the neighborhood, as well as what they hope others will seek out and discover on their own. Framing the questions in this way allowed for a dialogue that creatively uncovered the positive attributes of St. Clair-Superior. It also provided the planning team with direction on where additional understanding should be gained.

The responses provided were centered on the people of the community, local businesses, and public spaces where people enjoy gathering or experiencing nature. It became clear from the responses received that neighborhood recognizes the power of proximity that St. Clair-Superior possesses. Adjacencies to regional resources are a unique asset of this place, and those with local ties recognize this significance and are holding on tightly to their personal connection.

Additionally, engagement event participants were asked how they would personally prioritize investment in the future of the neighborhood. Provided with 6 options, Housing, Business, Growth, Public Art, Infrastructure, Parks

& Greenspace, and Neighborhood Branding & Identity, participants were put in the position of a decision maker with limited resources. Each participant was asked to select their top 3 from the six options, and Infrastructure, or more simply defined, streets, sidewalks, and crosswalks emerged as the favorite. It was closely followed by Parks & Greenspace and Housing. Among those that contributed to this engagement process it is clear that there is desire for investment in the public realm in the near term.

What do you hope others will discover?

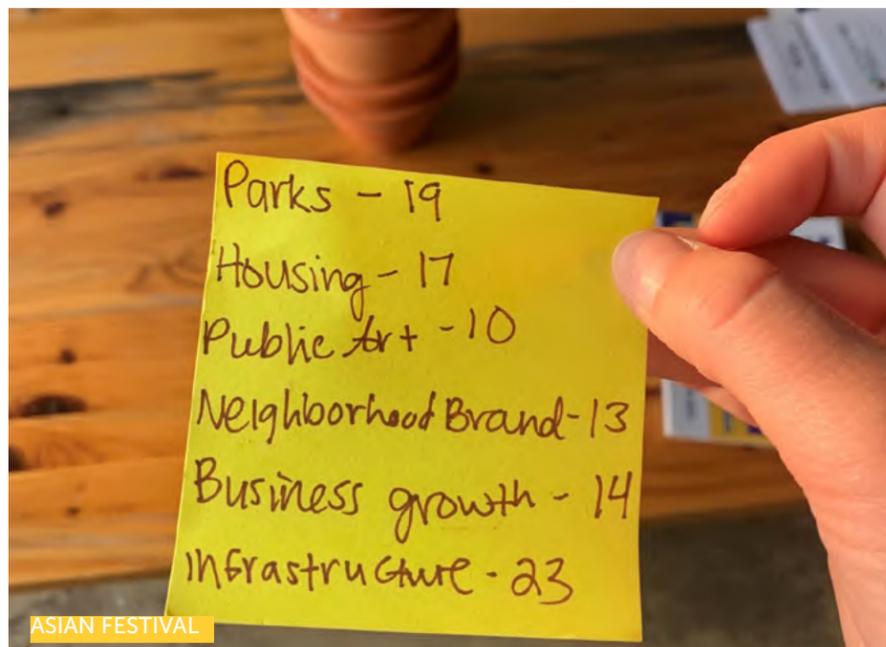
- Wilson Elementary rocks!
- Recess CLE
- Being close to the Cultural Gardens!
- Park to Shop
- Gordon Park Sundays!

Share an Exciting Discovery

- Evolving Community
- Superior Pho Kafe-LA
- Forest Hill Park-110th & St. Clair
- So convenient-easy access to downtown, University Circle, arts/culture and Cleveland Clinic. We are in the middle of everything!
- Lucky's Charms 6400 St. Clair
- Yes! Active, open, & progressive
- Community-based art projects
- Cleveland Kurentovanje Festival
- Great Artist Community
- Latino Taste to Go St. Clair
- I love Cleveland-Lauren Food
- Art leads to abundance more art-CD
- Lions Art, Inc
- Following the Signs 6408 St. Clair
- That we have great access to lake and Parks! Improve them!
- Architecture, Culture
- New CareAlliance Health Center coming

PRIORITIES

HOUSING (19) **PUBLIC ART (13)**
BUSINESS GROWTH (19)
INFRASTRUCTURE (28)
PARKS & GREENSPACE (23)
NEIGHBORHOOD BRANDING & IDENTITY (16)



ASIAN FESTIVAL



WARD 10 COMMUNITY MEETING

Please join us, as we RE-DISCOVER St. Clair-Superior together!

SURVEY

The following survey was distributed throughout the St. Clair-Superior neighborhood to groups, schools, community spaces, etc.: <https://airtable.com/shrw7FBIUTU1PdNqH>. The following responses were received:

Enter your name: *Names removed for anonymity*

What neighborhood in Cleveland do you live in? Mentor, Glenville, St.Clair-Superior (2), Detriot Shoreway, Cleveland Ward 7, Downtown
If you live outside of Cleveland, please write what city you live in.

Share an exciting discovery about the ST. CLAIR-SUPERIOR neighborhood.
Architecture, rich history (warehouses, houses, storefronts along St. Clair), always bringing people to see it, a favorite area in Cleveland KafeLA, Various eatery's, Cleveland Kurentovanje Festival

What do you want others to discover about the ST. CLAIR-SUPERIOR neighborhood?
Architecture, culture, Cleveland Kurentovanje Festival
"The CDC used to be democratically led by residents and stakeholders until a few years ago when the board of directors voted to revoke that right from residents and business owners"

What about our neighborhood needs improvement?
People are afraid to visit neighborhood: need more art and more events (bike events, festivals)
Gun violence, drugs, and violent crime, which could be improved by resident home ownership programs, work force development connecting residents to industrial and commercial jobs in the neighborhood, and improve public education and youth programming.
St Clair has very wide street and the low lighting at night can make it feel unsafe
Neighborhood streets improvements, cleaning, etc.

What makes you feel safe in your neighborhood?
Familiarity makes it feel safe, but murals and basic cleanups would improve the area; Abandoned homes torn down; Improved public facilities like rec centers, medical centers, parks, and public schools; not much; police presence; Events with other people; knowing my neighbors; being with friends; more people actively walking the neighborhood

What makes you feel proud of your neighborhood?
"Rich history that hasn't been diminished by new development"; tremendous history, people still feel attached
Strong community organizing like block clubs, slow rolls, block parties, etc.; Slovenian heritage
Diversity; when the community comes together; the mutual aid that happens there

Where should investment be focused in the community?

- Infrastructure (streets, sidewalk, crosswalks) (7)
- Parks & Greenspace (7)
- Housing (7)
- Business Growth (8)
- Neighborhood Branding & Identity (5)
- Public Art (3)

How should we best celebrate key arrival points in the neighborhood? (number of votes)

- Street Banners (7)
- Painted Wayfinding (4)
- Overpass Art Installations (6)
- Underpass Art Installations (5)

Please select your age range

- Under 18
- 18-24
- 25-34 ●●●
- 35-49 ●
- 40-64 ●●●●●
- 65 and up
- Prefer not to respond

Please select your race

- Black ●
- Asian/Pacific Islander ●
- White ●●●●●●●
- Hispanic/Latino ●●
- American Indian
- Other
- Prefer not to respond

Please select your gender

- Male ●●●●●
- Female ●●●●●●●●
- Non-conforming/Non-binary ●
- Prefer not to respond
- Other not listed

RE-DISCOVER ST. CLAIR-SUPERIOR

Improving public spaces across the neighborhood is a key aspect of this neighborhood plan. The map below represents 5 key arrival points along one of the St. Clair-Superior neighborhood's major corridors, E 55th Street.

How should we best celebrate key arrival points in the neighborhood?

NEIGHBORHOOD ARRIVAL



Select your top 3 choices!



COMMUNITY ENGAGEMENT CONCLUSION

Through a number of community events throughout many points in the planning process, community members shared many valuable insights about their passion for the St. Clair-Superior neighborhood and their excitement and commitment to its future.

Safety

- While many recognize the larger systemic challenges that the neighborhood faces, they are also hopeful about what could be for St. Clair-Superior.
- Feelings of familiarity in the neighborhood contribute to a sense of safety, but improvements to public infrastructure, housing, and a reduction in crime would help to make the neighborhood safer.

Opportunity

- Residents are passionate about the neighborhood, its community, its history, and its future.
- Infrastructure, parks and greenspace, housing, and business growth emerged as top community priorities in nearly every survey or community event.

Unity

- Residents value their access to amenities including the lake and other parks.
- In addition to the strong sense of community and history felt by residents, many have discovered the unique events held throughout the neighborhood.



WARD 10 COMMUNITY MEETING



IGNITE NEIGHBOR NIGHTS- FEELIN' FRESH



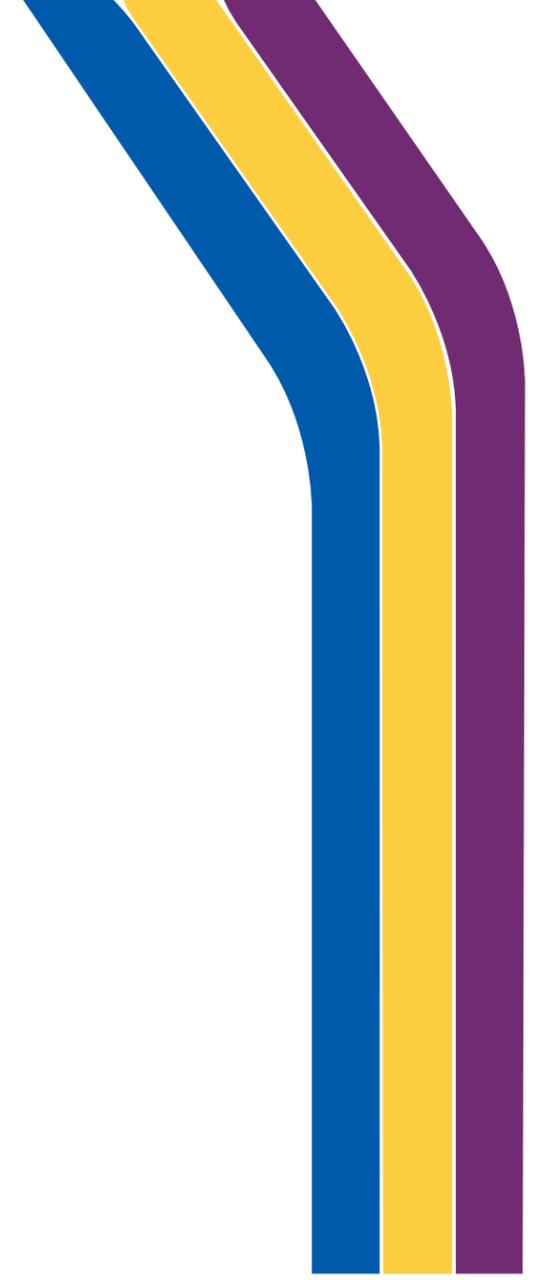
ASIAN FESTIVAL



IGNITE NEIGHBOR NIGHTS- FEELIN' FRESH



FAMICOS SUMMER RESOURCE DAYS



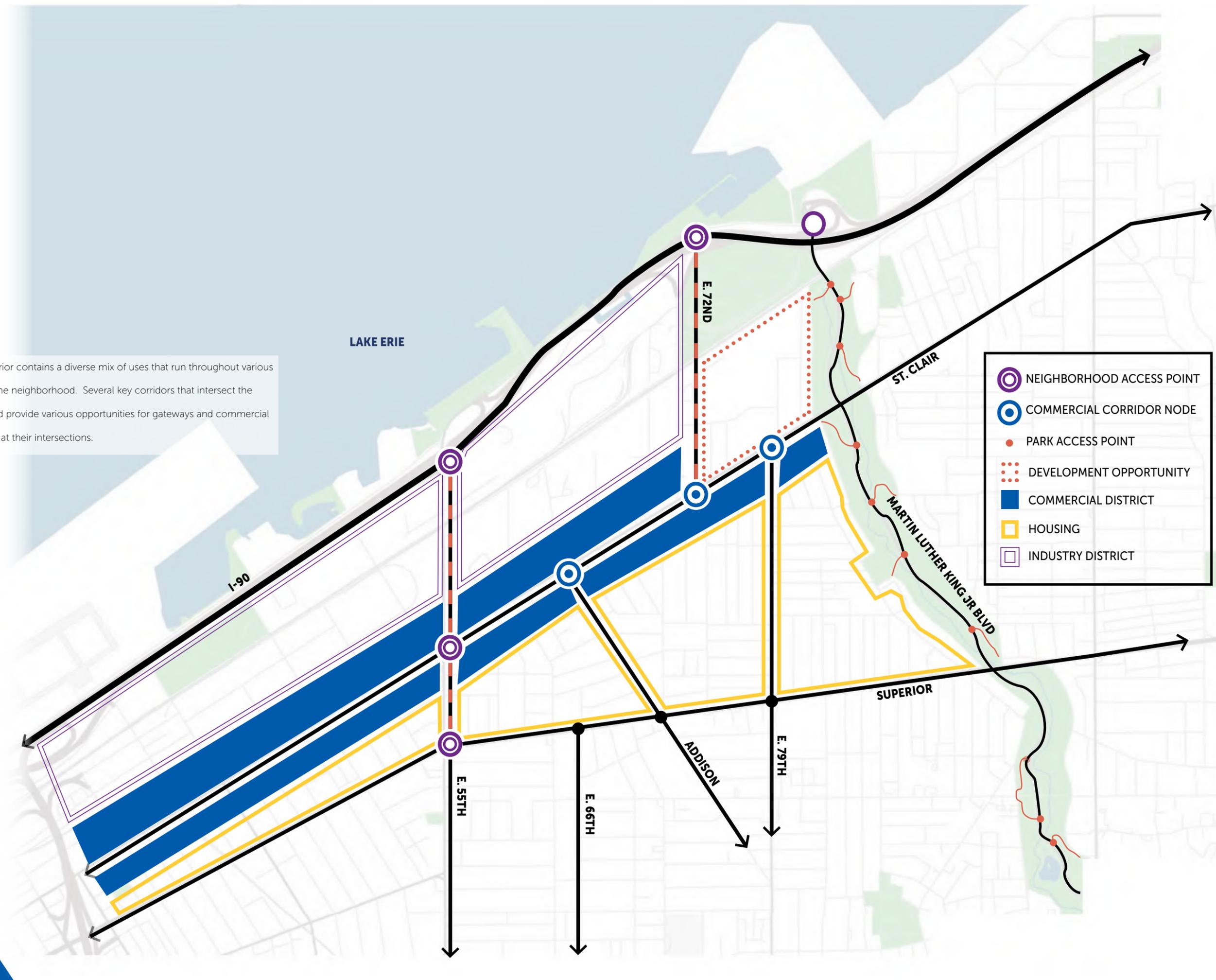
WHERE THE STORY UNFOLDS

4

FOCUSING IN

FUTURE

St. Clair-Superior contains a diverse mix of uses that run throughout various stretches of the neighborhood. Several key corridors that intersect the neighborhood provide various opportunities for gateways and commercial development at their intersections.

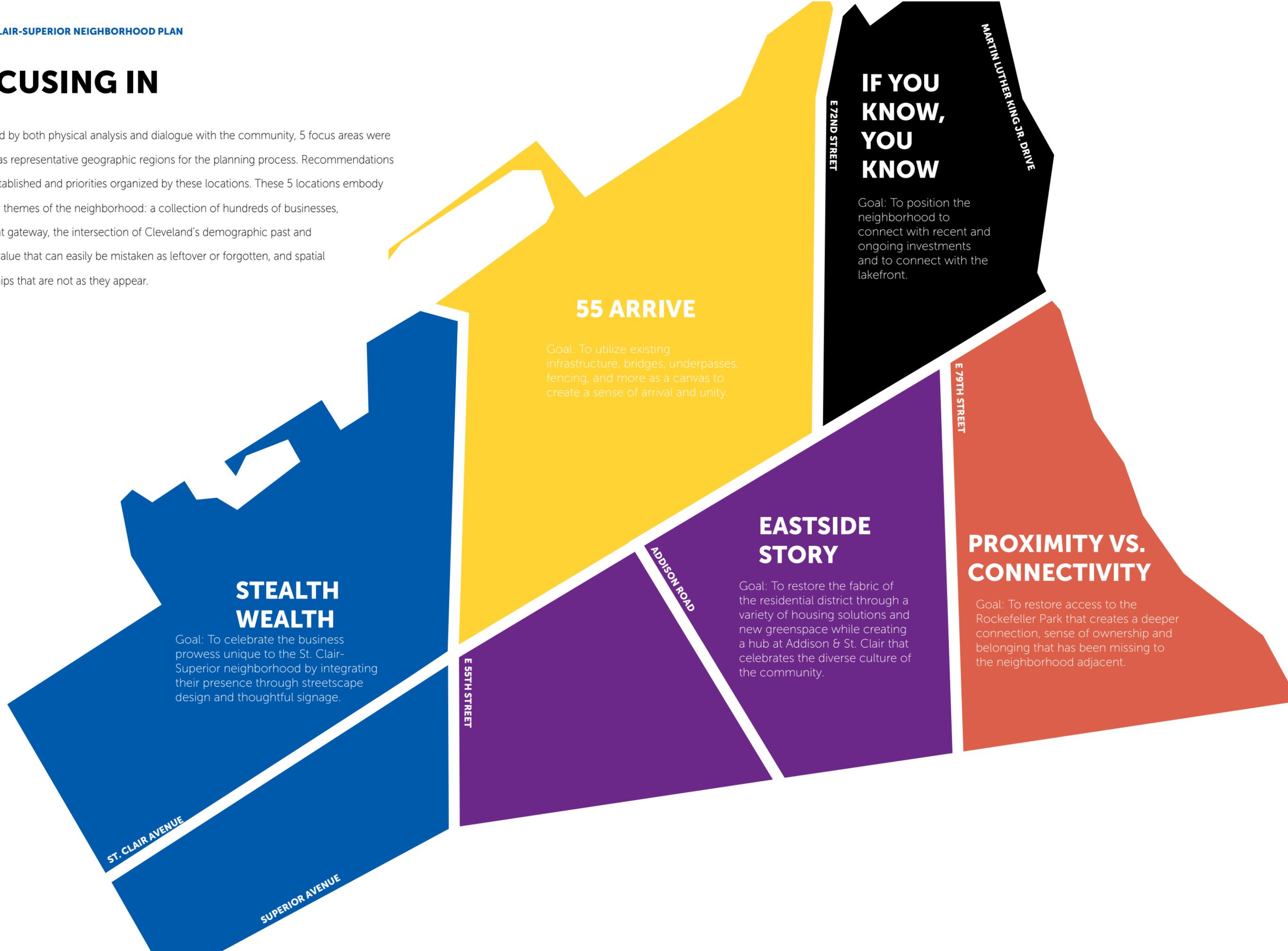


	NEIGHBORHOOD ACCESS POINT
	COMMERCIAL CORRIDOR NODE
	PARK ACCESS POINT
	DEVELOPMENT OPPORTUNITY
	COMMERCIAL DISTRICT
	HOUSING
	INDUSTRY DISTRICT



FOCUSING IN

Influenced by both physical analysis and dialogue with the community, 5 focus areas were selected as representative geographic regions for the planning process. Recommendations will be established and priorities organized by these locations. These 5 locations embody the major themes of the neighborhood: a collection of hundreds of businesses, a lakefront gateway, the intersection of Cleveland's demographic past and present, value that can easily be mistaken as leftover or forgotten, and spatial relationships that are not as they appear.



STEALTH WEALTH

Goal: To celebrate the business prowess unique to the St. Clair-Superior neighborhood by integrating their presence through streetscape design and thoughtful signage.

55 ARRIVE

Goal: To utilize existing infrastructure, bridges, underpasses, fencing, and more as a canvas to create a sense of arrival and unity.

IF YOU KNOW, YOU KNOW

Goal: To position the neighborhood to connect with recent and ongoing investments and to connect with the lakefront.

EASTSIDE STORY

Goal: To restore the fabric of the residential district through a variety of housing solutions and new greenspace while creating a hub at Addison & St. Clair that celebrates the diverse culture of the community.

PROXIMITY VS. CONNECTIVITY

Goal: To restore access to the Rockefeller Park that creates a deeper connection, sense of ownership and belonging that has been missing to the neighborhood adjacent.

ST. CLAIR AVENUE

SUPERIOR AVENUE

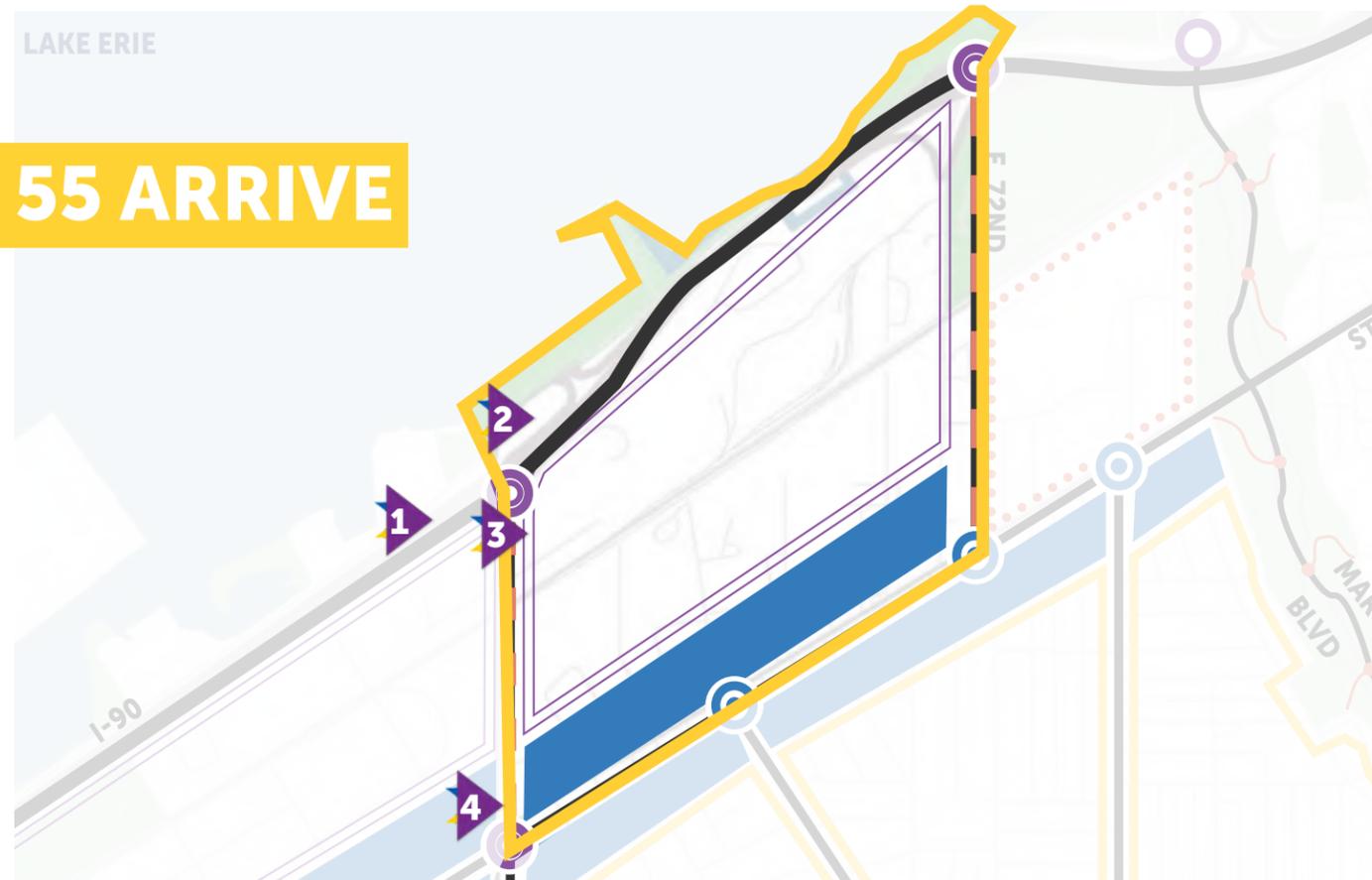
E 5TH STREET

ADDISON ROAD

E 72ND STREET

E 79TH STREET

MARTIN LUTHER KING JR. DRIVE



55 ARRIVE

WHY HERE ?

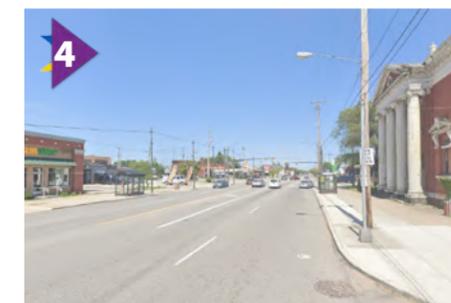
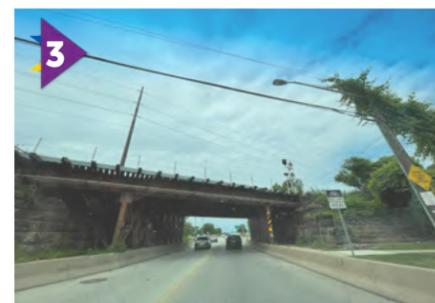
The neighborhood's official gateways at E 55th has direct access to Interstate 90, which moves thousands of vehicles a day east and west through the city. More importantly, E.55th serves as one of a select few north-south streets that terminates at the north shore, Lake Erie. The experience currently lacks any feeling of arrival. The E 55th Street Marina serves as an asset for the neighborhood, with the Cleveland Metroparks helping to activate this environment where fishing, playing, walking, gathering, and relaxing can occur.

Access to St. Clair-Superior from E55th Street is primarily via the Shoreway, with North and South Marginal roads as the secondary access points. This creates a node at the intersection of the Shoreway and 55th that sees a high volume of vehicular activity on a daily basis. The majority of movement here is experienced in a car, and, while pedestrian and non-motorized access is available, the quality of the experience is challenging due to the speed of travel and lack of structured movement.

There are two features that present the opportunity for expressive or artistic moments to occur, which both capture the neighborhood's uniqueness and welcome travelers to the community, while also enhancing the quality of travel. These elements are the overpass over the Shoreway and the railroad underpass or tunnel south of the Shoreway. The railroad underpass currently feels like the entry point in the neighborhood as it marks the separation from the highway dominated area and the neighborhood streets.



PLACE



PEOPLE



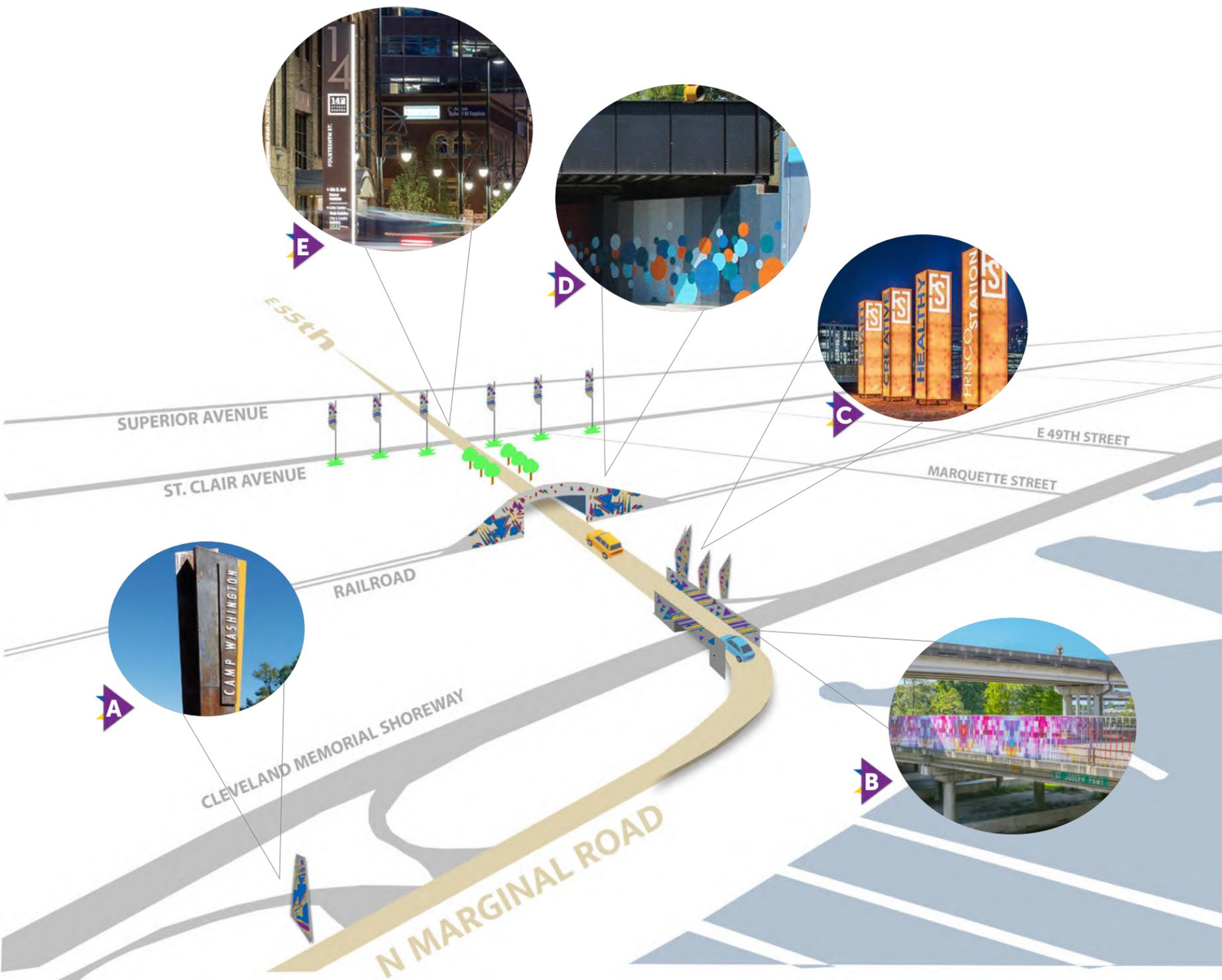
Joe Cimperman

Joe Cimperman grew up in the St Clair-Superior neighborhood and remains one of the community's biggest champions. Joe speaks of stories about the folks that built and still occupy this neighborhood. He describes this place as diverse in a number of ways, from culture, ideology, religion, and land use. Much of this history, while a bit harder to see, remains in place. Joe believes there are many stories to tell about the St. Clair-Superior's impact on the greater Cleveland landscape and attention and investment it has failed to receive.

Goal: To utilize existing infrastructure, bridges, underpasses, fencing, and more as a canvas to create a sense of arrival and unity.

"In a neighborhood like this, it's not hard to feel a sense of the 'beyond,' whether it's the lake, or the way commerce moves through the neighborhood, or the fact that it is one of the first truly integrated neighborhoods in Cleveland... I think that there is such an opportunity for Cleveland to see its best self in this neighborhood."
- Joe Cimperman

55 ARRIVE



POSSIBILITIES

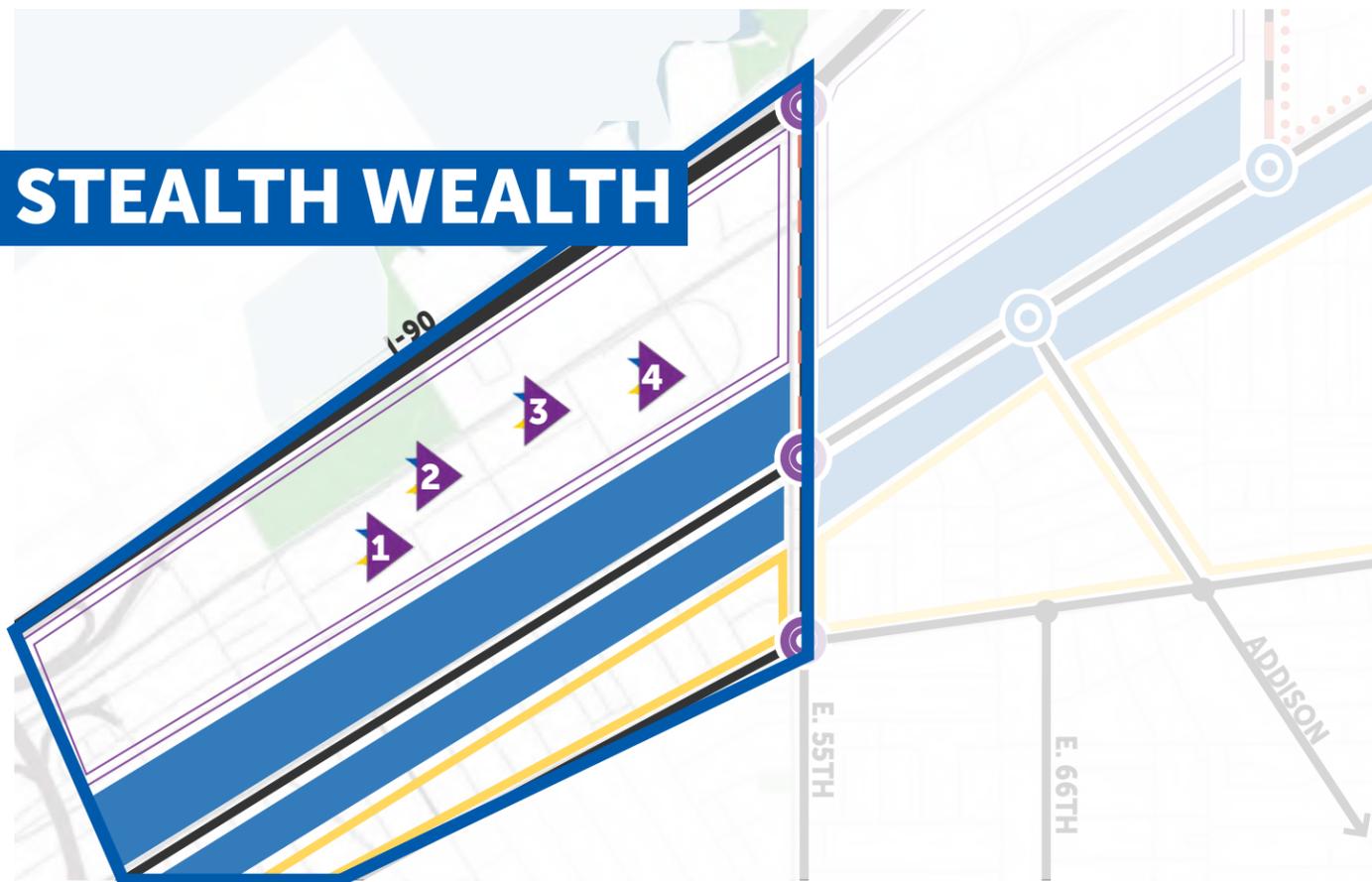
- A** **ROUTE 2 WESTBOUND.** A vertical statement of arrival for westbound travelers on the Shoreway would provide a neighborhood presence that is currently lacking. With direct views of the lake, this access point in many ways serves as the visitor's first experience with the neighborhood.
- B** **E 55TH OVERPASS.** The bridge overpass presents a dual opportunity to celebrate the community's location, giving visual cues to both east and west-bound travelers approaching the neighborhood. Using the informal artistic expression within the neighborhood and weaving the art of graffiti into the installation creates a captivating visual while brightening the gray landscape.
- C** **ROUTE 2 EAST BOUND.** A stepped series of monument signage that rises with the east-bound travelers rising out of the submerged Shoreway onto to E 55th Street provides a unique gateway opportunity for neighborhood character to be celebrated.
- D** **E 55TH TRAIN BRIDGE.** The more prominent location where a moment of arrival can be made is at the railroad underpass. What is currently a rugged and dark experience is less noticeable while traveling by car, could leverage both art and lighting to create a funnel into the neighborhood, 'teleporting' travelers into the heart of the community.
- E** **E 55TH AND ST. CLAIR.** Arguably the neighborhood's 'center' at the collision of two primary corridors, an improved experience that blends both natural features and complimentary design elements, such as wayfinding signage, lightpole banners, and creative bus shelters to form a high quality collective landscape for residents, visitors, and employees captures the identity of the neighborhood.



CONCEPTUAL WAYFINDING SIGNAGE
Vertical signage that captures the unique identity of the community, while embodying a blend of creativity, art, industry and diversity.



STEALTH WEALTH



WHY HERE?

The location of this focus area is a small representation of the much larger presence of industrial prominence that fills this area. However, E 49th and St. Clair Avenue serves as place where two prominent institutions/businesses come together, Dayglo and Ohio Technical College (OTC). Located adjacent is Graffiti Heart, a leader in public art through graffiti in the Cleveland community, with organizational prowess that can and should be leveraged for the implementation of this work.

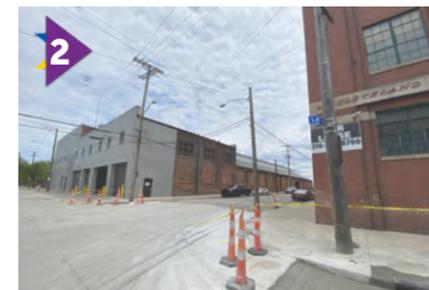
What's most clear about the

neighborhood is what is perhaps its most misunderstood asset. That asset is the over 700 businesses that occupy the footprint of the community. From restaurants to industry, the neighborhood is a core area of commerce for the City of Cleveland. While not quantified, it can safely be assumed that millions of dollars in economic activity passes through St. Clair-Superior. E 49th and St. Clair is just a small sampling of the industry present.

The term 'Stealth Wealth' shines a light on this well kept secret, pulling the curtain back on an asset that should be

celebrated and more forward facing, as it serves as a distinction from nearly every other neighborhood across the city.

PLACE



PEOPLE

Jessica Davis, Rebuilders Xchange



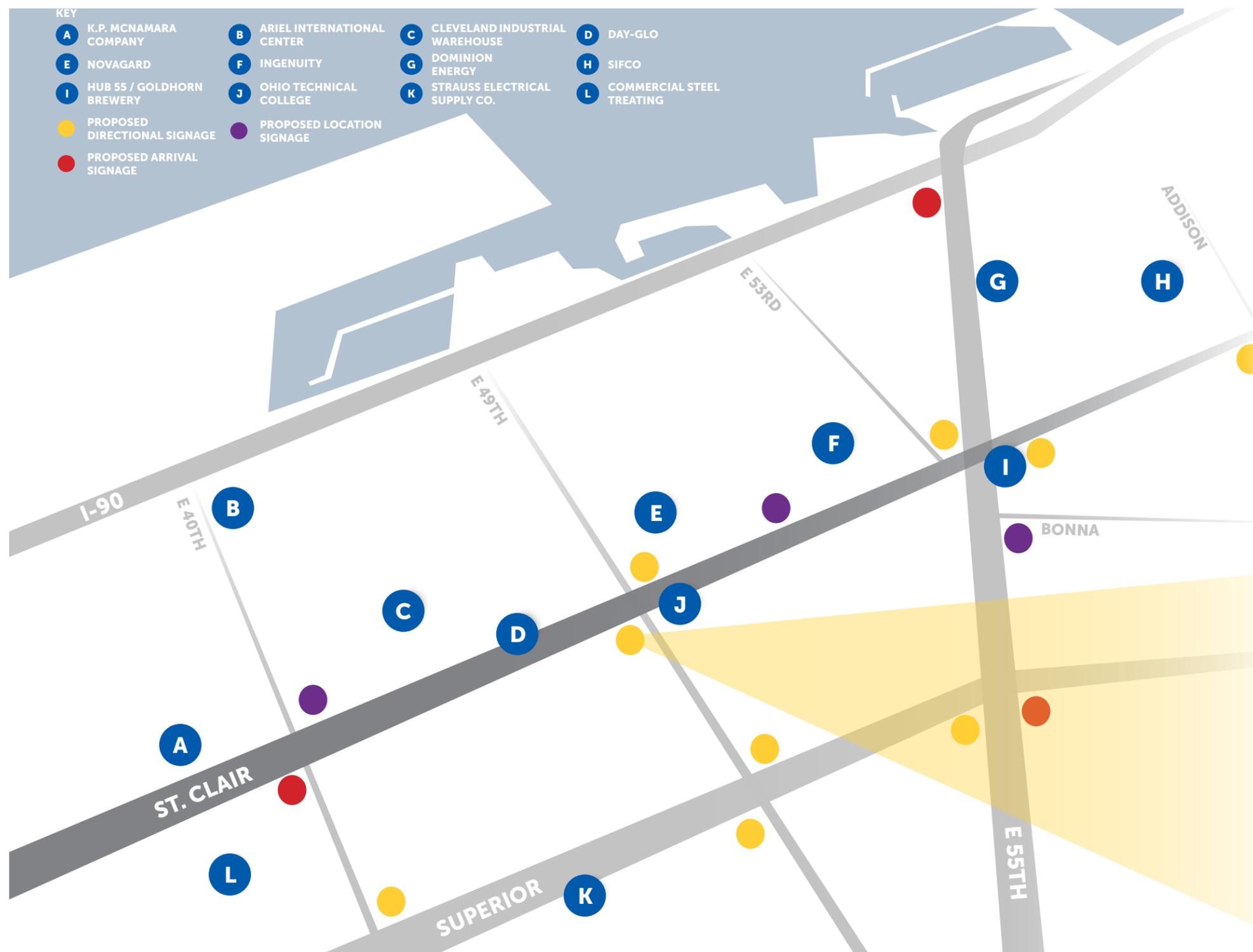
Jessica Davis is the owner of Rebuilders Xchange, an architectural salvage and construction materials shop on Hamilton Avenue. When seeking a location to open her business, she looked in places like Tremont and Ohio City, but ultimately decided that the St. Clair-Superior Neighborhood best fit her needs. She sees the future of the neighborhood as a place that is better marketed and which provides a destination for visitors on evenings and weekends. In addition, she hopes to celebrate the neighborhood and tell the story of its places and the people who live here.



Goal: To celebrate the business prowess unique to the St. Clair-Superior neighborhood by integrating their presence through streetscape design and thoughtful signage.



STEALTH WEALTH

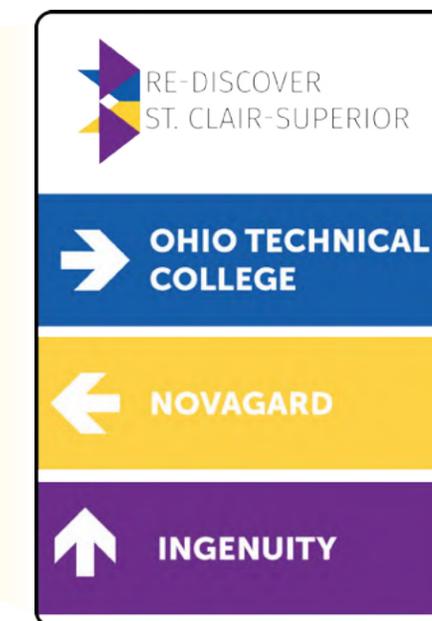


POSSIBILITIES

A simple solution to increase the recognition and awareness of businesses in the district is a banner program. At the proper scale and with a consistent brand standard, select businesses can be acknowledged for their contributions to the Cleveland economy.

Exploring some additional creativity with storefront signage, directional wayfinding, and additional custom elements in the streetscape that feature businesses and their products. An example of an installation project is to use Dayglo's suite of paint products to supply glow in the dark paint for pedestrian crossings throughout or in portions of the neighborhood. Sifco, a stamping company that drops a stamp each day with enough force to shake the adjacent street, could this be captured and shared with the community through a small pond that ripple upon the stamping (Jamar Doyle).

Custom Rubber, New York Times featured organization, was one of the first to raise wages for their employees to \$19/hour as minimum wage. These are just a few stories that can be told creatively through the landscape.



Wayfinding

To provide better directional signage, a series of wayfinding installations indicating nearby assets should be considered. These should be placed at key intersections to indicate the location and existence of local businesses that might otherwise be difficult to find, especially when accessed from St. Clair or Superior Avenues. The proposed signage to the left, for example, would be placed at the corner of St. Clair Avenue and E49th Street to direct east-bound St. Clair Avenue travelers.

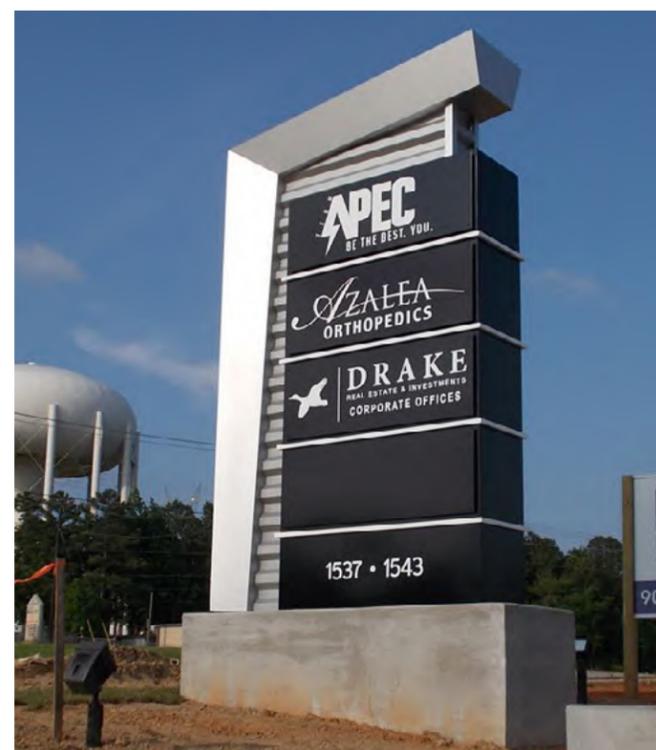


STEALTH WEALTH

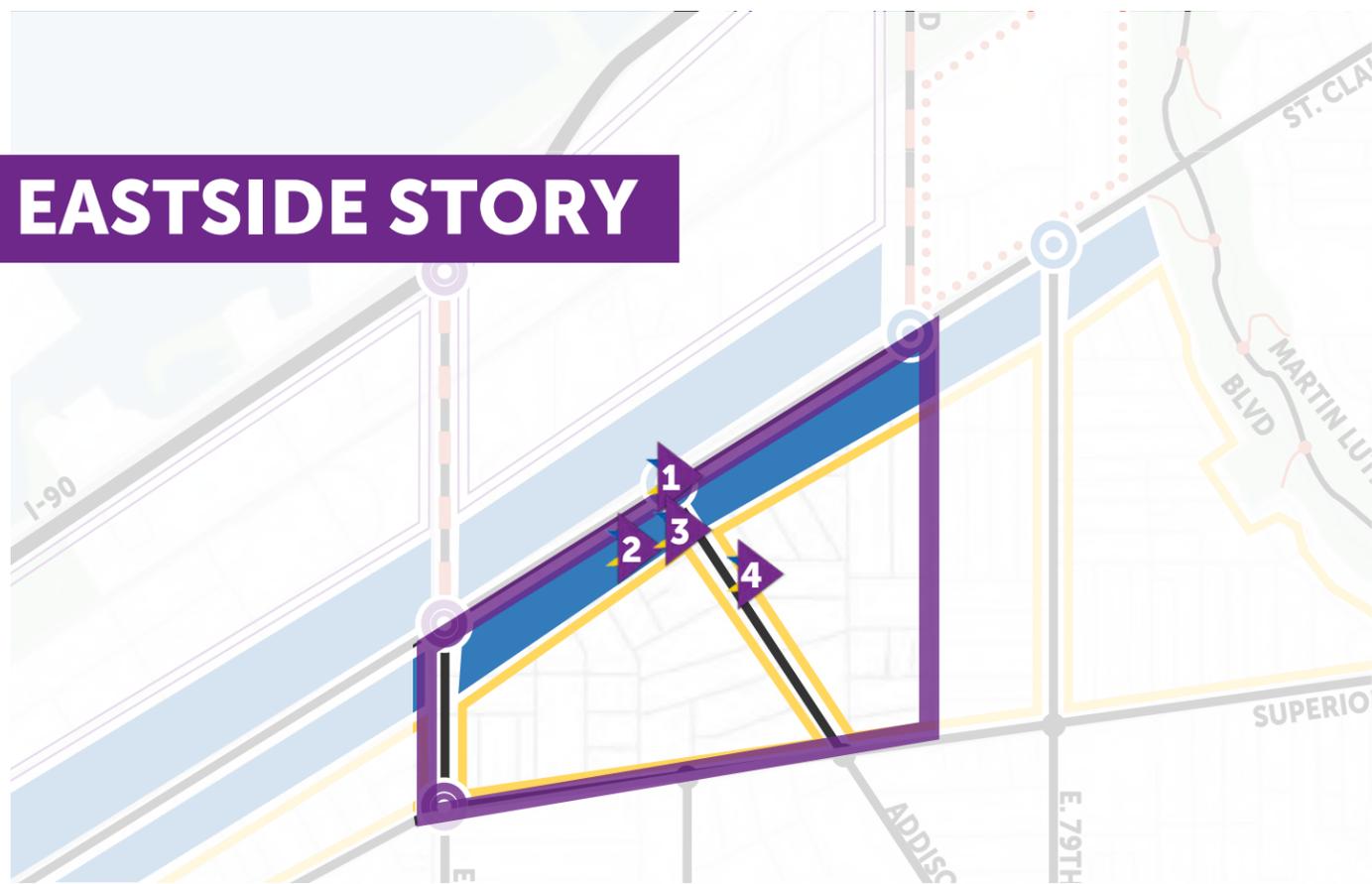
MULTI-TENANT MONUMENT SIGNAGE AND WAYFINDING

To help further identify the variety of diverse businesses that exist, a series of identifying signage could be placed throughout the neighborhood. Similar to industrial or office park multi-tenant monument signs, these would indicate the names and locations of the businesses. Additionally, placemaking and public art elements could be integrated into the signage to further distinguish the neighborhood and strengthen its sense of place.

A particular emphasis should be placed on celebrating the manufacturing and industrial legacy of the neighborhood. The use of materials and color should be selected in order to convey this unique attribute. The example images on the next page demonstrate some potential ways this can be implemented, and provide inspiration for new signage throughout the industrial district north of St. Clair Avenue.



EASTSIDE STORY



WHY HERE?

The intersection of Addison Road and St. Clair Avenue serves as a metaphorical intersection of the story of the eastside of the City of Cleveland. Cultural significance of the neighborhood in the Slovenian National Home intersects with the predominantly black residential neighborhood St. Clair-Superior has evolved into.

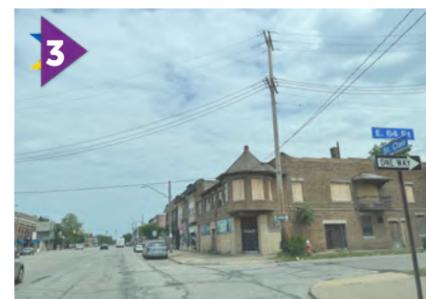
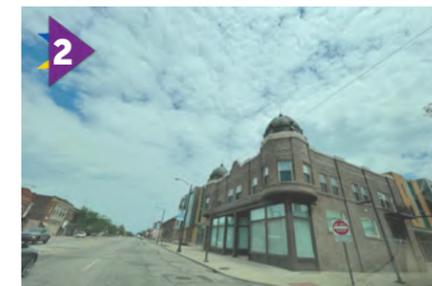
Addison serves as one of the connectors and the only non-numbered street that provides connection through the community down into Hough. It also serves as an option to provide new

access to the Lakefront through the existing industrial zone that lies on the north side of St. Clair Avenue.

This portion of the neighborhood has vital storefronts, with the Slovenian National Home serving as the primary anchor and a short distance west of two religious institutions in Saint Martin De Porres and St. Vitus. St. Vitus has already extended its reach in the residential district to the south of St. Clair Ave, and there lies greater opportunity for investment, with Addison road serving as that potential spine.



PLACE



PEOPLE

Kayla Dial, Kafela

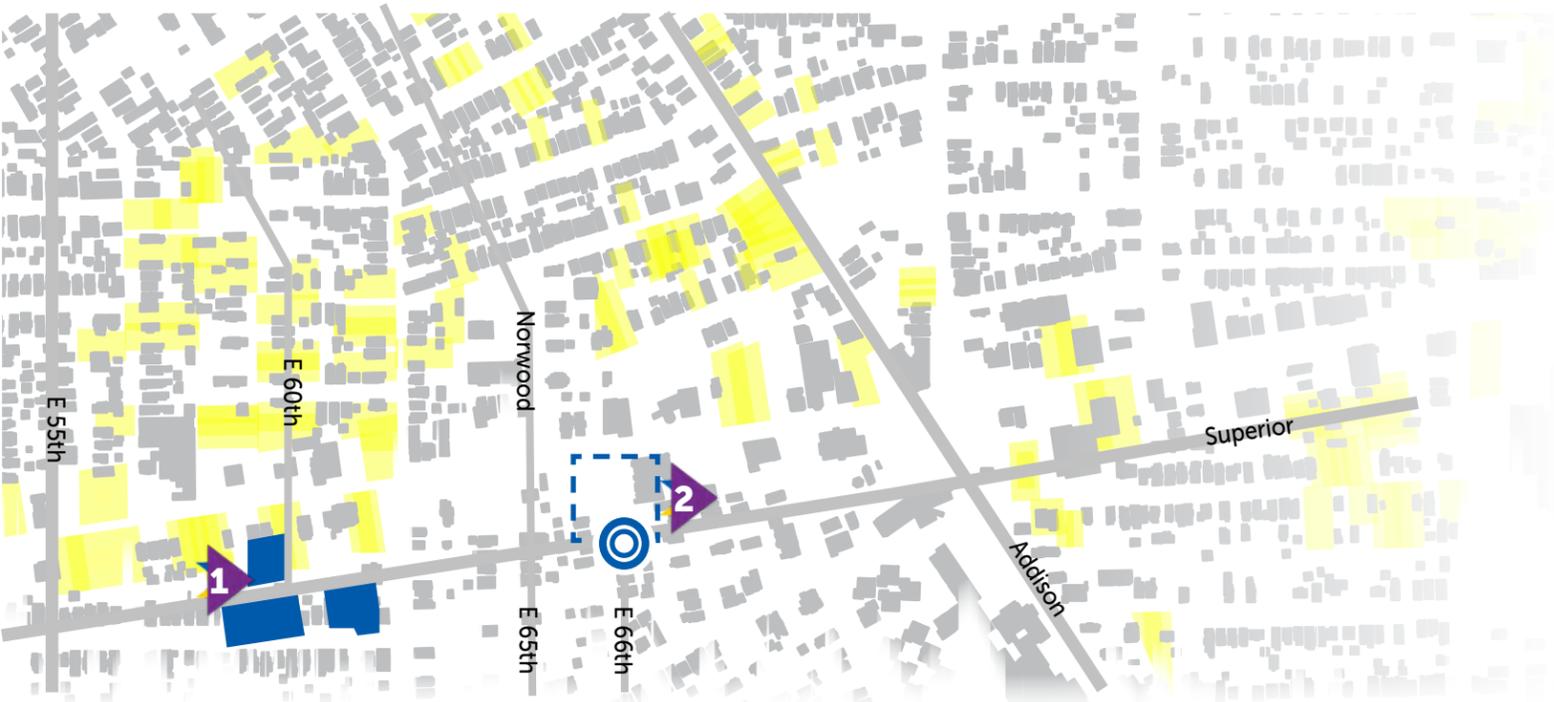


Kayla Dial is the owner of Kafela, a cafe and neighborhood hub along the St. Clair commercial corridor. Her family's roots are in the neighborhood and she is now a parent who opened her business, a market and deli convenience store, in an effort to help revitalize the community. Her goal is to provide healthy food options while fostering an environment for people to gather. She hopes to strengthen St. Clair Ave, an already prominent corridor, as a welcoming place for new investment and improvements.

Goal: To restore the fabric of the residential district through a variety of housing solutions and new greenspace while creating a hub at Addison & St. Clair that celebrates the diverse culture of the community.



EASTSIDE STORY SUPERIOR MIDWAY TO E 66TH ST.



- Land Bank Land
- Potential Development Opportunity
- Neighborhood Gateway



Improved infrastructure and development along the Superior Ave. corridor to support increased activity and safety

Along Superior Ave, there are multiple opportunities to improve infrastructure; the street remains unnecessarily wide and caters to vehicle traffic rather than accommodating pedestrian and multimodal transit.

Also along Superior Ave and the streets adjacent to it, large amounts of land owned by the land bank are currently vacant and present opportunities for redevelopment to promote a variety of housing options. Potential development opportunities directly along Superior Ave present the first opportunity to begin to build up the street with new, mixed-use buildings. These investments would further promote the implementation

of other previous planning efforts, which include the Superior Midway plan, seeking to bring a complete streets approach to Superior Ave. This includes sidewalk improvements and a center midway, creating a protected bike lane.

At the intersection of Superior Ave and E. 66th Street, an important neighborhood gateway, key gateway elements including signage will help to establish a sense of place and feeling of arrival into the St. Clair-Superior neighborhood.



EASTSIDE STORY SUPERIOR AVE & E 79TH ST.



- Land Bank Owned
- Potential Development Opportunity



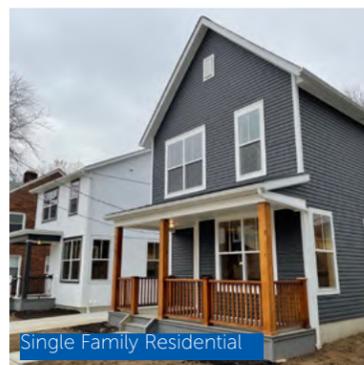
Community Greenspace



Multifamily residential

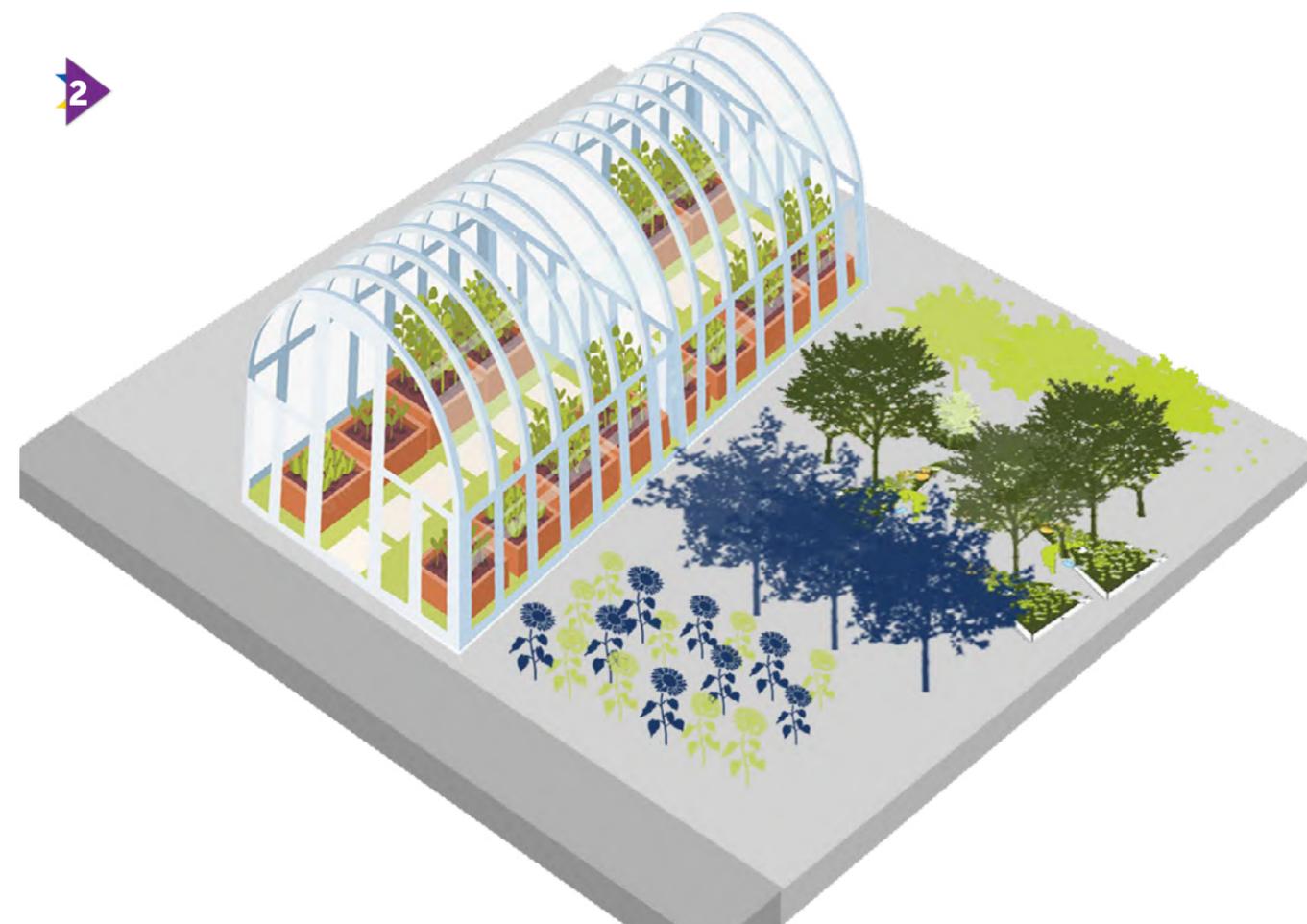


Townhome construction



Single Family Residential

Around the intersection of Superior Avenue and E 79th Street, large amounts of land, also owned by the land bank, remain vacant and underutilized. This land presents a redevelopment opportunity to accommodate various housing options, including single family homes, townhomes, and multifamily residential buildings. A variety of housing options help to promote a thriving, mixed income neighborhood, which will help to strengthen the currently distressed residential pockets along Superior Ave.



Proposed rehabilitated greenhouse and community gardens

A large piece of property on the northeast corner of the Superior Ave./E. 79th Intersection presents an opportunity to restore a currently dilapidated greenhouse and vacant piece of property through its conversion to community garden spaces, supporting the community's access to healthy food and open green space.

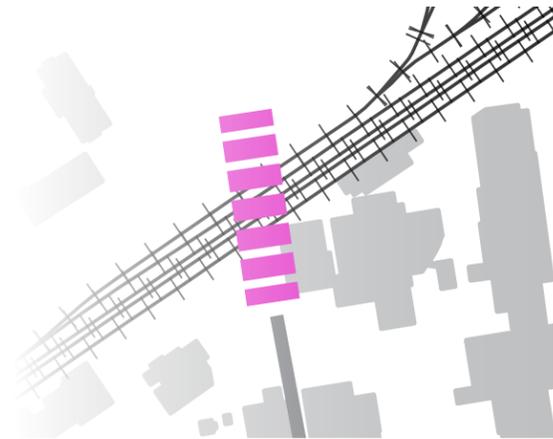
EASTSIDE STORY ADDISON ROAD

Addison Road serves as a primary north-south connector within the St. Clair-Superior neighborhood, yet its current vacancies and lack of connection to its surroundings prevent it from reaching its full potential. Several investments along the corridor can help support the neighborhood's access to its assets and improve neighborhood stability.





EASTSIDE STORY ADDISON ROAD



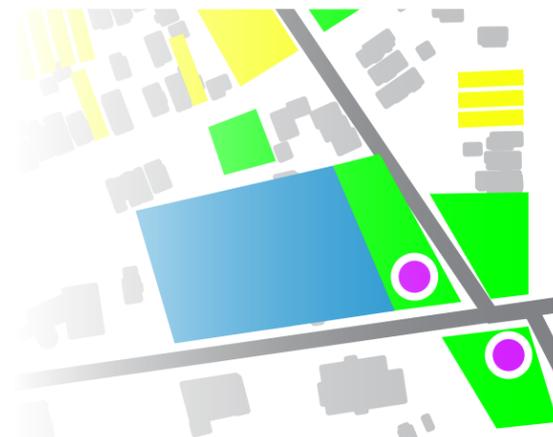
NEW BRIDGE CONNECTOR

Addison Road offers a unique connection both through the residential neighborhoods south of St. Clair Avenue and the industrial district located toward the north. The roadway dead ends at the CSX railroad, separating it from a future development site previously occupied by First Energy. This potential bridge connection links to this future development site, in addition to providing third access point to the lakefront to be paired with E 55th and E 72nd.



RESIDENTIAL DEVELOPMENT

Dozens of vacant lots, some privately held, others underneath the stewardship of the City or County Land Bank, allow for infill home opportunities. These vacant parcels allow for the neighborhood to offer a new housing typologies in instances where multiple lots can be combined in the form of multi-unit complexes and aging in-place homes designed with increased accessibility standards, bringing new construction to the neighborhood.



MIXED-USE DEVELOPMENT

The intersection of Addison Road and Superior Avenue is largely a vacant intersection filled with opportunity for new uses and re-purposed spaces. The largest piece of contiguous property located at the northwest quadrant of the intersection includes both vacant structures and land. Superior Avenue serves as a commercial corridor that supports a non-residential ground level use. Adjacent to intergenerational land uses with childcare facilities and Eliza Bryant senior living, there is an opportunity to bring services or goods that align with this diverse population's needs while also introducing a new multi-family housing type at this neighborhood node.

COMMERCIAL DEVELOPMENT

While many historical businesses along St. Clair Avenue have weathered the challenges COVID continues to bring, several have been unable to sustain operation, causing several vacancies along the corridor. Commercial storefront development that stitches together these swaths of vacancy would strengthen this midpoint of the district. The intersection of Addison and St. Clair is anchored by the Slovenian National Home, which serves as a historical marker for the neighborhood. There is an opportunity to capture the evolution of the neighborhood at this juncture blending the past with future entrepreneurs and opportunity.



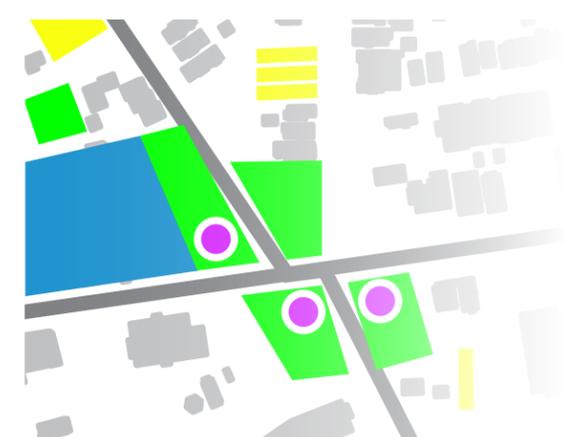
NEW/ENHANCED GREENSPACE

Neighborhood parks are sparsely sprinkled throughout the community, with Gordon Park and Carrie Cain Park located at opposite ends of the study area. Contiguous vacant land provides an opportunity to introduce a more centrally located neighborhood park / greenspace. Improved access to greenspace not only improves health and meets both real and perceived needs, but it also has a positive impact on adjacent property values.



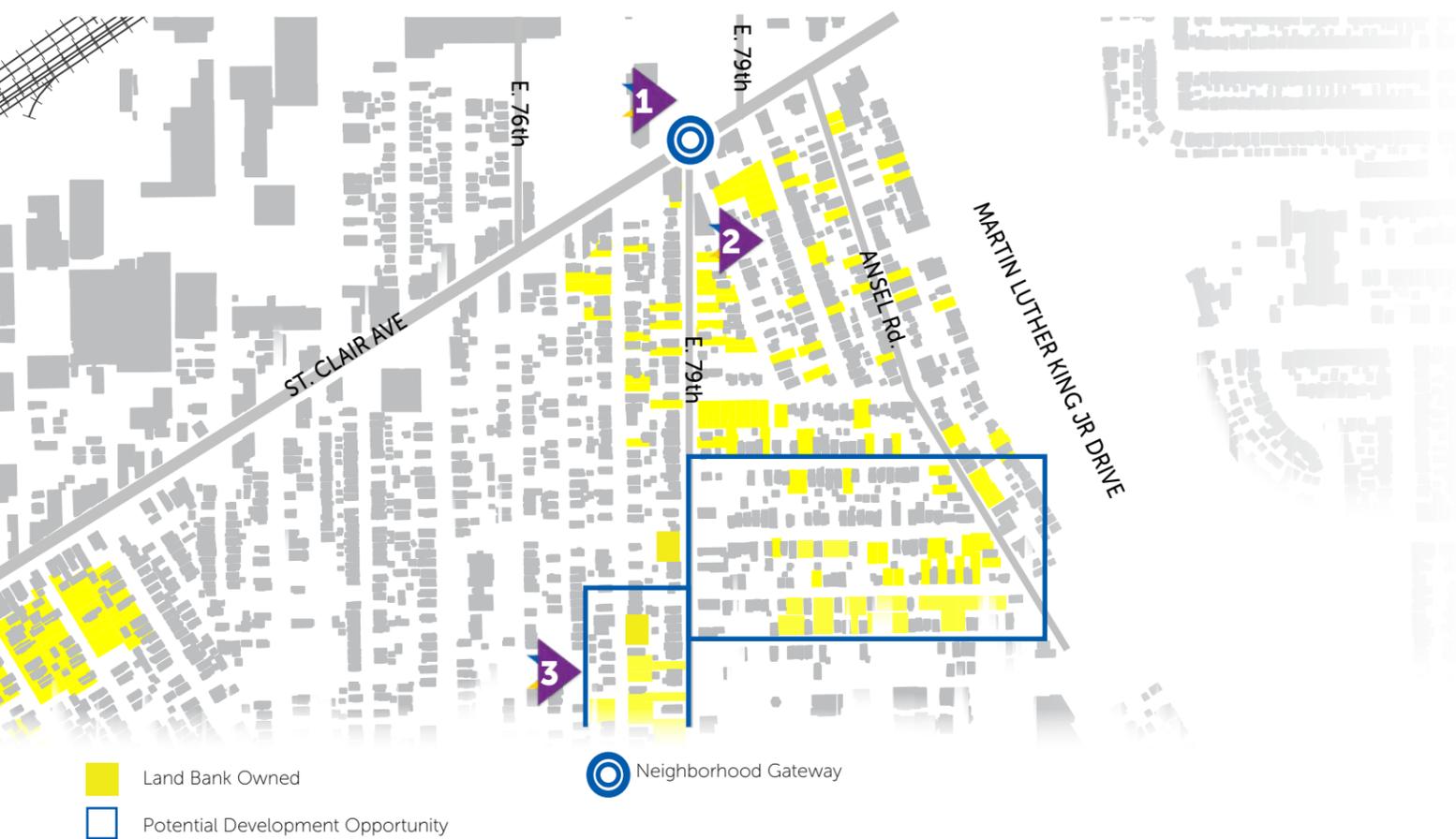
GATEWAY ELEMENT

The Slovenian National Home currently anchors the St. Clair-Addison intersection; however the Superior-Addison node lacks this similar presence currently. This southern intersection also serves as the adjoining line for both the Hough and St. Clair-Superior neighborhoods. Gateway signage, wayfinding elements or other representative public art/displays create space for celebrating this location and generating a new presence for the overall district.





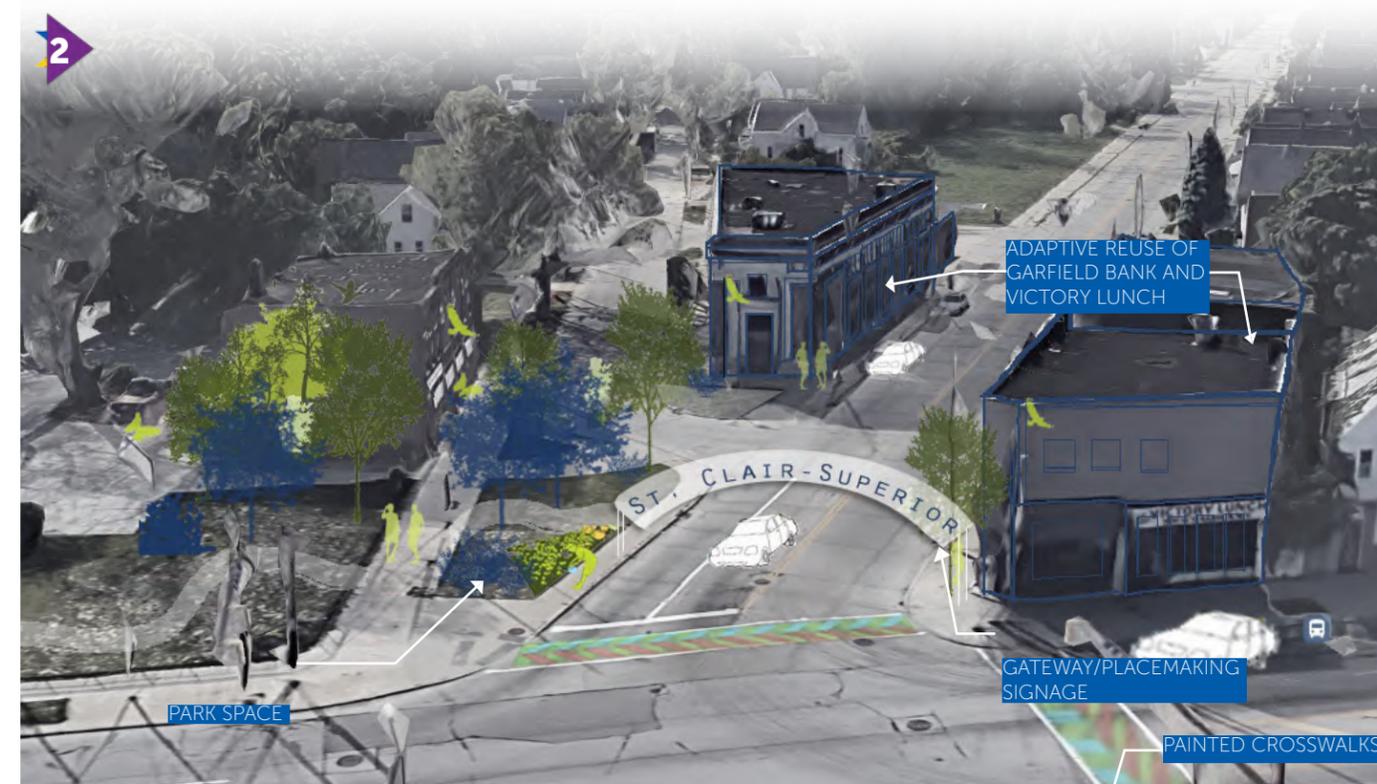
EASTSIDE STORY E 79TH ST.



The E 79th corridor is another major north-south connector within the St. Clair-Superior neighborhood, but, like several of the other corridors within the neighborhood, E 79th and its adjacent streets also suffer from significant vacancies of homes and land owned by the land bank. This vacant land, especially in its proximity to each other, offers promising redevelopment opportunities for new housing options, including both single family homes and townhomes.

The intersection of E 79th with St. Clair Ave is a significant

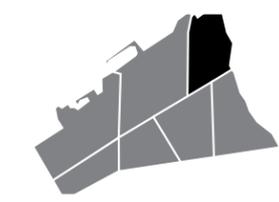
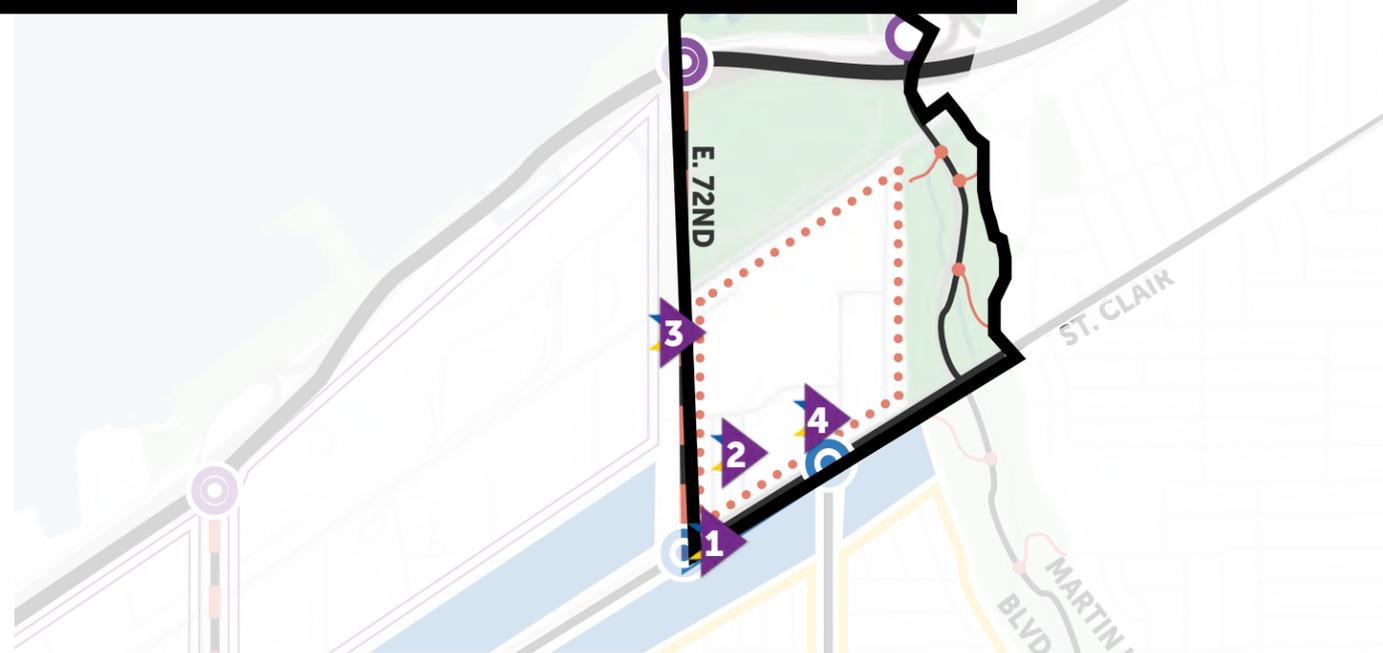
neighborhood gateway that presents other opportunities for (re) development. Gateway elements, once again, help to define a point of arrival. At this intersection additional treatment to the streetscape, including additional plantings, a pocket park on the corner, and painted sidewalks define a sense of place. At this corner, two buildings, the Garfield Bank and Victory Lunch are opportunities for adaptive reuse to salvage the icon buildings and promote mixed use development around the intersection.



Reimagined gateway and redevelopment around the intersection of E. 79th and St. Clair Ave.



IF YOU KNOW, YOU KNOW



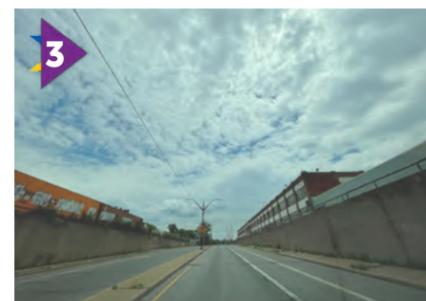
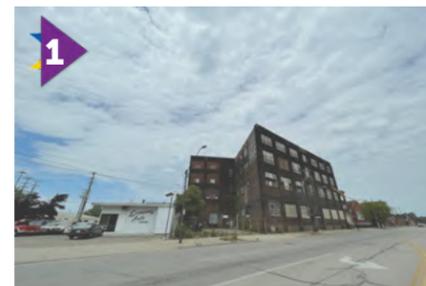
WHY HERE?

Recent and ongoing investments in the St. Clair-Superior neighborhood, specifically in this unique region, have the potential to make significant impacts on the neighborhood and its development trajectory and connection to the lakefront. Several major projects are already underway and aim to revitalize the lakefront assets, giving this neighborhood a unique and highly sought after access and opportunity to be connected to these assets. Other investments into businesses within the neighborhood, including Cinema

City and its commitment to workforce development and anti-displacement with the construction of its new studio spaces, and WRJ's development of homes made out of shipping containers are all positioned to bring resources back into the neighborhood and promote economic development. The location of and investment into small businesses located within this part of the neighborhood show hopeful signs of a renewing sense of pride for the neighborhood and positive economic and community growth. Its proximity

to Gordon Park, a significant asset for the City of Cleveland, and the Cultural Gardens will only be further amplified with upcoming investments into public infrastructure and neighborhood development and stability.

PLACE



PEOPLE



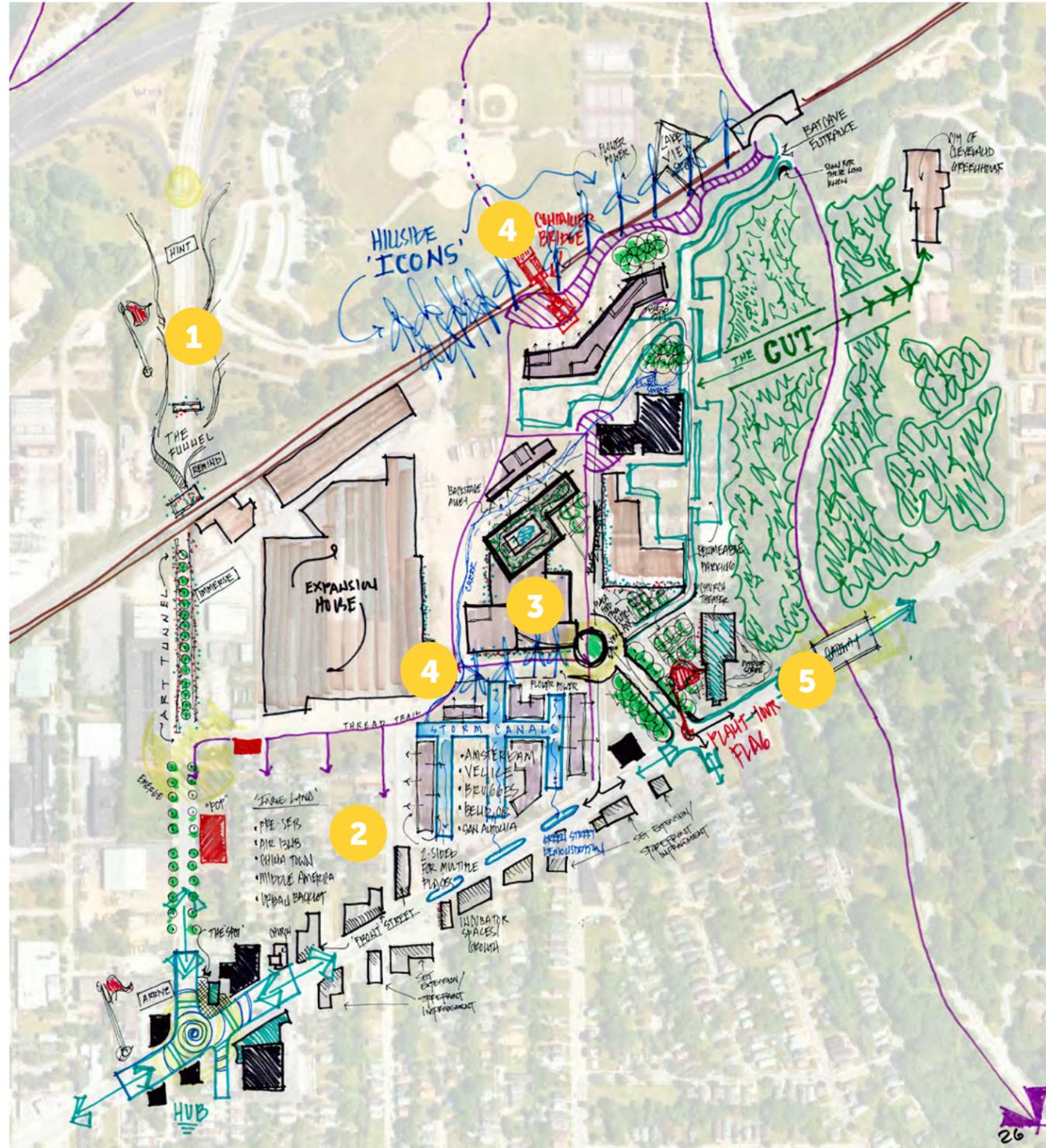
Marquette Williams

Born in Cleveland, Marquette spent years in Los Angeles honing his craft and has now been making films for over 20 years. His work has always had a social consciousness at its foundation. His vision for a film studio extends far beyond the economic impact, and is driven by how the project can lift up a neighborhood struggling to maintain its footing. Every piece of the project is designed to uplift the people currently living within St. Clair-Superior from job creation to wealth building.

Goal: To position the neighborhood to connect with recent and ongoing investments and connect to lakefront assets.



IF YOU KNOW, YOU KNOW CATALYTIC IMPACT



Several catalytic projects, proposed or currently in development, are set to make a significant impact to St. Clair-Superior with their strategic location in the northeast corner of the neighborhood, well positioned in proximity to assets and seeking to contribute to economic and community development.

- 1 E 72nd
- 2 Indie Land
- 3 Cinema City
- 4 Sustainable Practices
- 5 Neighborhood Gateway



IF YOU KNOW, YOU KNOW



ARKITAINER ON E. 72ND - WRJ



Willie, Rich and Jermaine of WRJ Development are currently leading an acquisition of multiple land bank lots across 3 to 4 blocks in the E 72nd Street portion of the neighborhood. This acquisition will result in the construction of duplex and triplex shipping container homes. Using their collective expertise in real estate, finance, and construction they are breaking the mold of real estate development in Cleveland, all while providing an affordable choice for housing and raising the neighborhood's value. The project is being branded as "Edgewater East," seeking to position this development and the neighborhood at large within greater proximity to the lakefront.

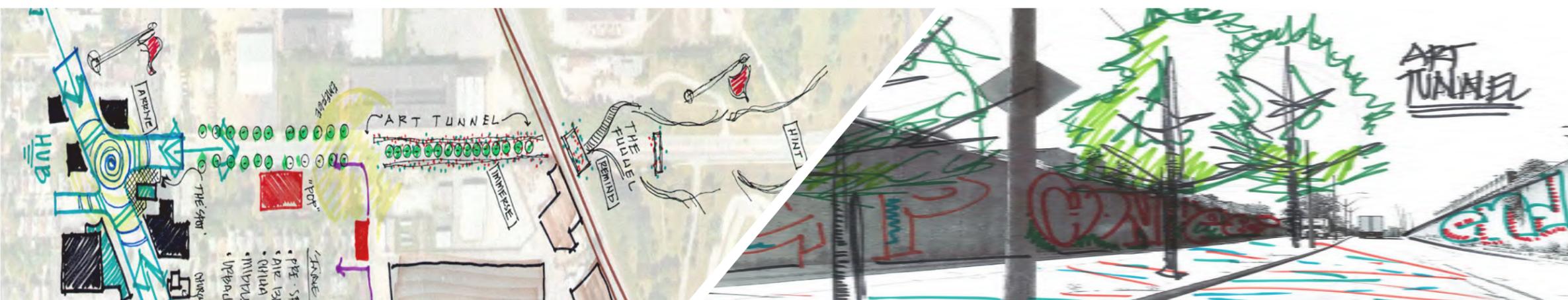


E. 72ND DUPLEXES AND TRIPLEXES - WRJ

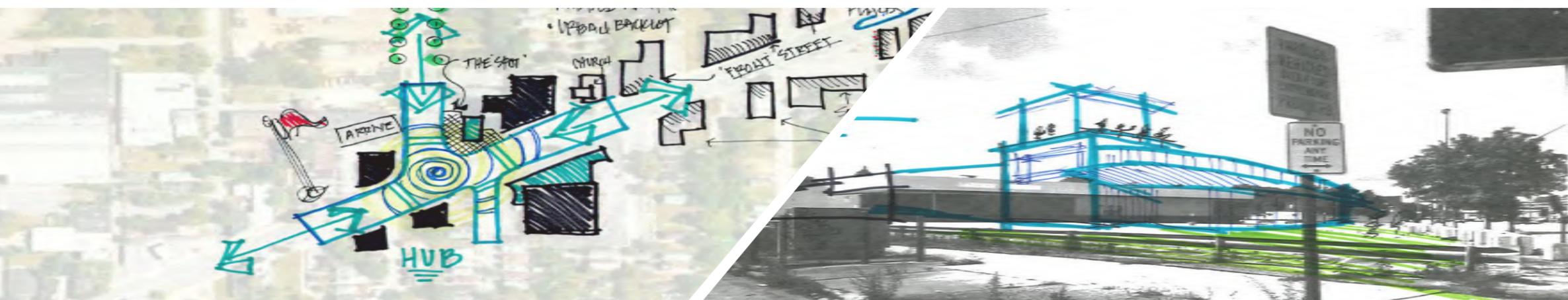




IF YOU KNOW, YOU KNOW



1) E 72ND



2) INDIE LAND



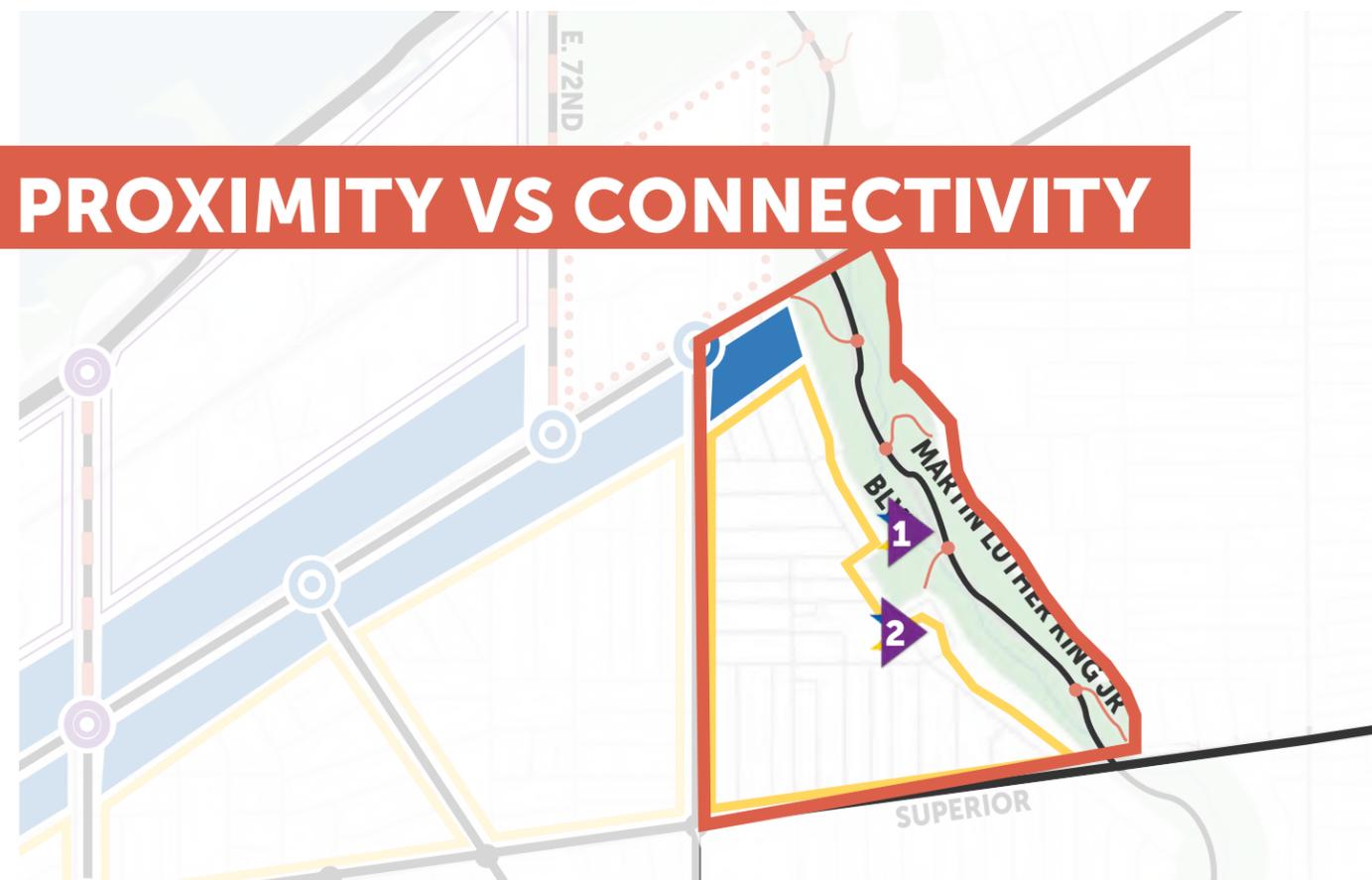
3) CINEMA CITY

Cinema City, an initiative driven by the film industry's Marquette Williams aims to develop a film and television production hub located right here in Cleveland. The current lack of studio space and a film making workforce serves as a barrier in putting Cleveland on the map of film production hubs.

Located north of St. Clair Avenue near East 79th street on the land of Glenville's Shoreway Commerce Park lies the site that Cinema City plans to occupy. What lies beneath the vision of a bustling creative campus of production studios, sound stages, and workforce training facilities is a vision of workforce development that serves as the driving foundation to the initiative. In addition to a central goal of workforce development, Cinema City is also committed to anti-displacement within the neighborhood, as well as sustainability. Its location within the neighborhood has the potential to serve as a critical economic turning point for the region's workforce, as well as boosting existing businesses through the project's ability to draw in commerce. As a demand for content-intensive streaming services surges, Cinema City will be well positioned to meet the demand for production space and a talented filmmaking workforce.



PROXIMITY VS CONNECTIVITY



WHY HERE?

Not unlike the neighborhood's relationship to Lake Erie, St. Clair-Superior is not unfamiliar with being proximate to significant amenities while not being truly connected. This notion of being physically close to something valuable but lacking real connection results in a diminished value and a feeling of exclusion.

Through the work of Cleveland Neighborhood Progress and Famicos Foundation it is evident that the neighborhood has a disconnected relationship with Rockefeller Park.

Significant elevation changes, severed historical access points, and violence fueled by racial tension have created a distinct difference between the east and west sides of the park. This linear park, approximately 2 miles long, was once a community park with playground equipment and active spaces.

While the Cultural Gardens that are embedded in the park have significant connections with many visitors and adjacent residents, particularly on the west side of the park, don't necessarily share this same connection. For residents,

it serves more as a public park space that is lacking in quality and accessibility.



PLACE



PEOPLE

Andrew Sargeant



Andrew Sargeant is a pioneer in the field of Landscape Architecture, incorporating both cutting edge technology and new perspectives to the field. Drew currently serves as Rose Fellow for Cleveland Neighborhood Progress and has spent a portion of his time in Cleveland studying the history and exploring the possibilities of Rockefeller Park. His ideas and findings have strongly influenced the recommendations within the section of the report.

Goal: To restore access to the Rockefeller Park that creates a deeper connection, sense of ownership and belonging that has been missing to the neighborhood adjacent.

LAKE ERIE

Cleveland Lakefront
Nature Preserve

PROXIMITY VS. CONNECTIVITY

The quality of each connection was assessed based on the following factors outlined. Each connection's quality is indicated on the map with an icon, with larger icons indicating a higher quality connections, and smaller icons indicating a lower quality connection.

- Accessible by car and foot
- Accessible by car
- Accessible by foot

St. Clair Ave.

Parkgate Ave.

Kosciusko Ave.

Superior Ave.

Wade Park Ave.

Wade Oval

EQUITABLE ACCESS TO PARKS

Not all connections are created equal. There are a number of factors to consider when determining the quality of a connection:

What makes a quality connection?

Whether there are (continuous) sidewalks; how wide the sidewalks are and the condition they are in; whether the connection accommodates multiple modes of transit (pedestrian only or multi-modal; whether the connection brings the user in close proximity of the park's amenities upon

arriving in the park; the type of access to the connection, such as whether accessing the connection requires crossing a busy road; and whether the connection leads to a heavily trafficked portion of MLK.

Types of connections identified in this area are:

- Car only (indicated by a yellow car icon)
- Pedestrian only (indicated by a blue footprint icon)
- Car and pedestrian friendly (indicated by a purple dual car and footprint icon)



E 88TH STREET



ST. CLAIR AVENUE



EAST BOULEVARD



ANSEL ROAD



ST. CASIMIR WAY



PARKGATE AVENUE



SHAKESPEARE PARKWAY



EAST 99TH STREET

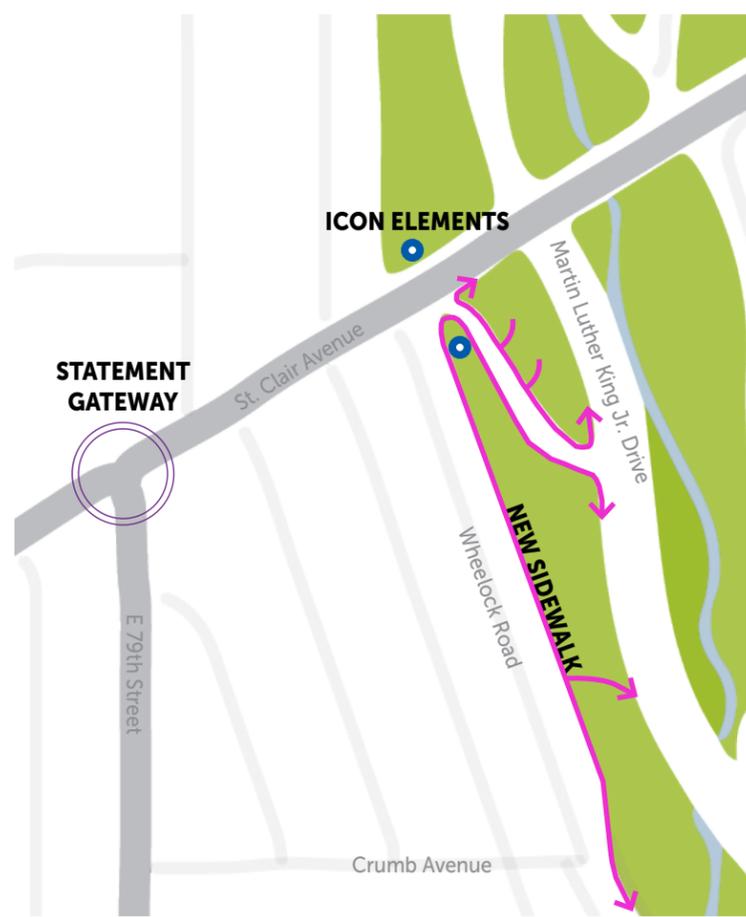


PROXIMITY VS. CONNECTIVITY



IMPROVED CONNECTIONS

Fortunately, a majority of the connections outlined previously can be accessed by pedestrians, yet not all of those connections promote multi modal transit, and, as the previous images demonstrate, the visual quality of many of the connections can be improved. Opportunities to create and enhance connections between the neighborhood and Rockefeller Park have been explored in various locations. Specifically, three focus areas have been identified to examine these improvements: St. Clair to Crumb, Crumb to St. Casimir, and St. Casimir to Superior. These are explored further on the following pages.



ST. CLAIR TO CRUMB

Entry to Rockefeller Park from St. Clair adjacent to Wheelock Road lacks a pedestrian friendly entry. This lack of sidewalk obstructs access for non-motorists. Martin Luther King Jr. Blvd. is lined with walking paths that are currently inaccessible from this entry. A simple addition of paved paths, and potentially an additional access point south of the African American cultural gardens, would also improve access to the park for Wheelock Road residents.



CRUMB TO ST. CASIMIR

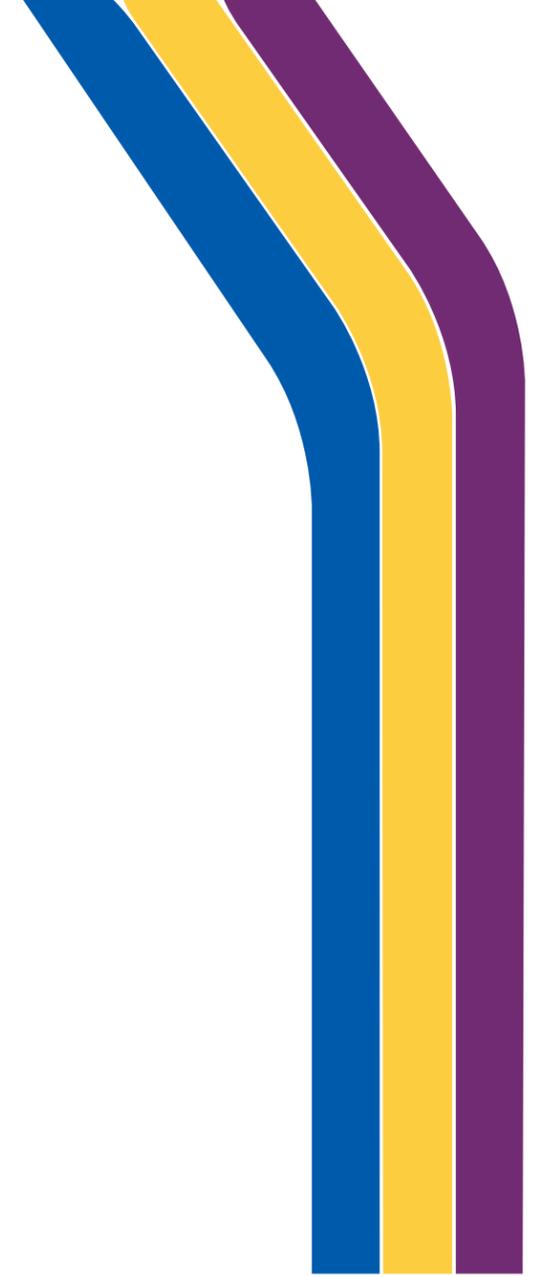
Dedicated paths into the park formerly existed just north of St. Casimir Way. Restore these pathways and tying them into the new sidewalk on the East side of Wheelock provides a clearly-defined access into the park that has been neglected. St. Casimir is the sole neighborhood connection to the park, as the other access points occur at more prominent intersections, such as St. Clair and Wade Park. A greater celebration of this access point and the inclusion of park space amenities that once existed would elevate this existing space.



ST. CASIMIR TO SUPERIOR

In addition to exploring new connections along Ansel Road that extend into the park below, there are a series of old paths that formerly connected users to the western side of Rockefeller Park. Cleveland Neighborhood Progress' Andrew Sargeant has led the rediscovery of one of these paths that extends between Superior and St. Casimir that could bring additional access to the St. Clair-Superior neighborhood while uncovering the history of these unique park spaces.





IMPLEMENT

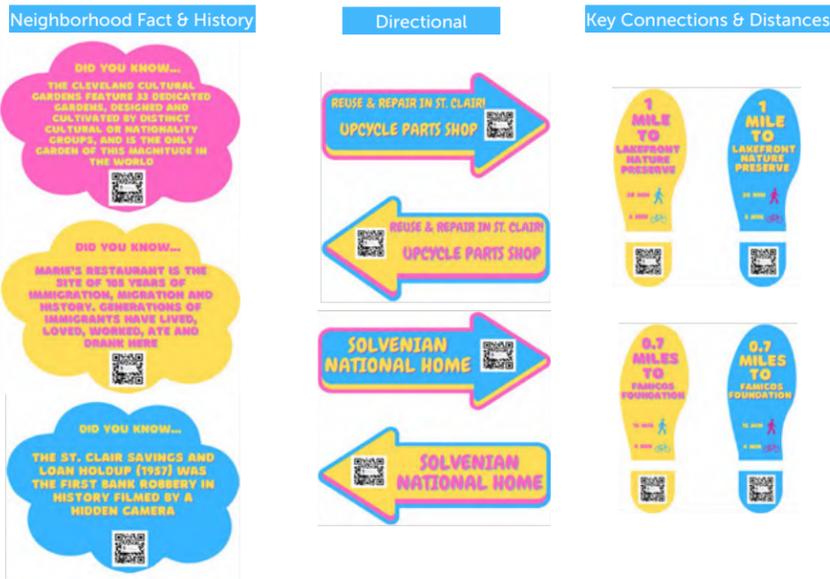
5

TAKING ACTION

PILOT PLACEMAKING/PLACEKEEPING

The planning team worked to develop a pilot decal program, which has been displayed at community events, helping to give an early sense of placemaking around the neighborhood. Shaped decals were developed in three different categories to be placed on sidewalks and walls:

interesting facts ("Did you know...?"), distances & walk and bike times to landmarks around the community, and directions to important places within the neighborhood. Approximately 75 locations around the neighborhood were identified for placement of the decals, and installation will likely begin in Spring of 2023.



Decal Shape:
Bubble, foot print, arrow

Content/Copy:
History, distance, fun fact, etc.

Location:
Business, intersections, landmarks

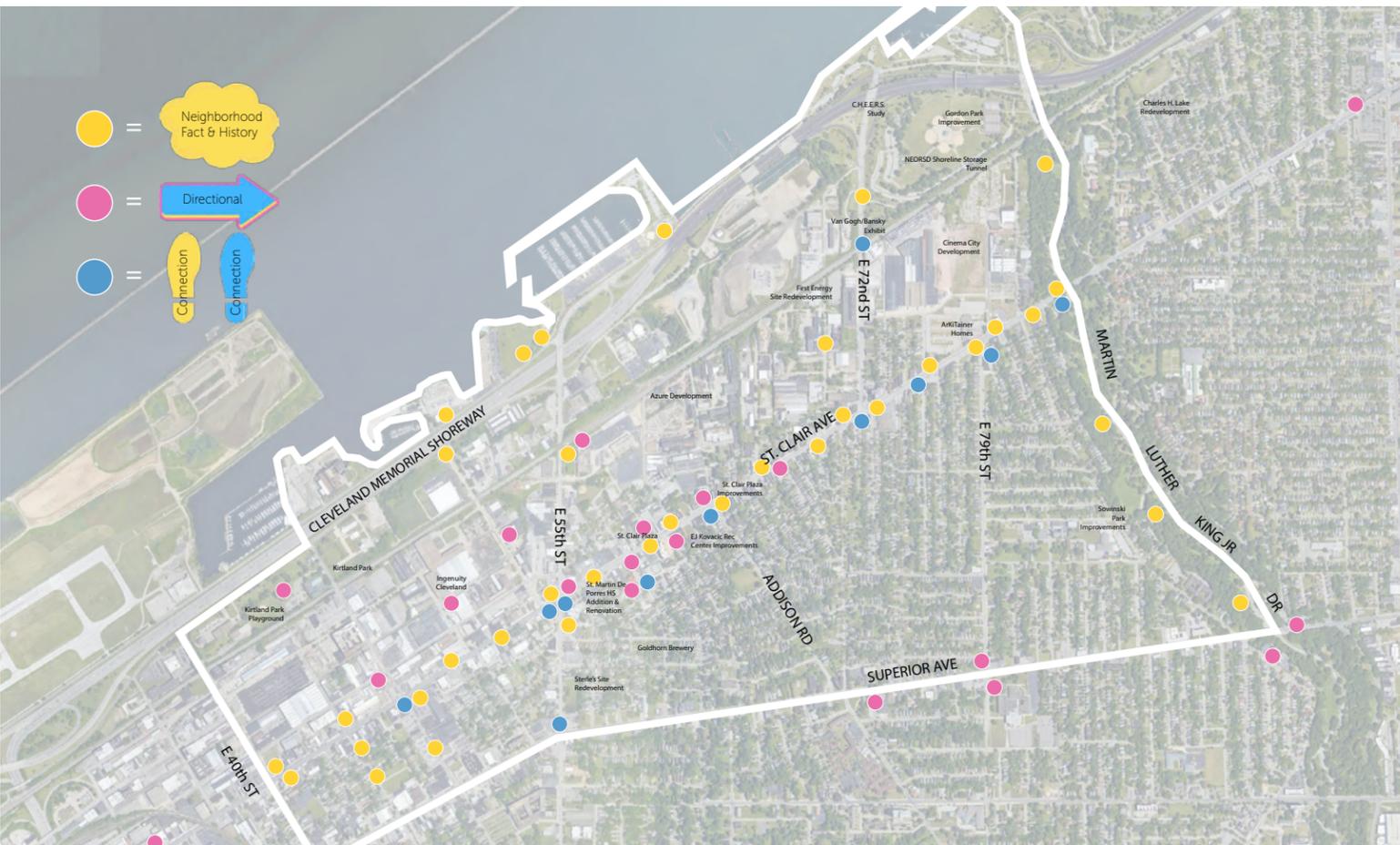
EARLY WINS



BICYCLE AND PEDESTRIAN SAFETY

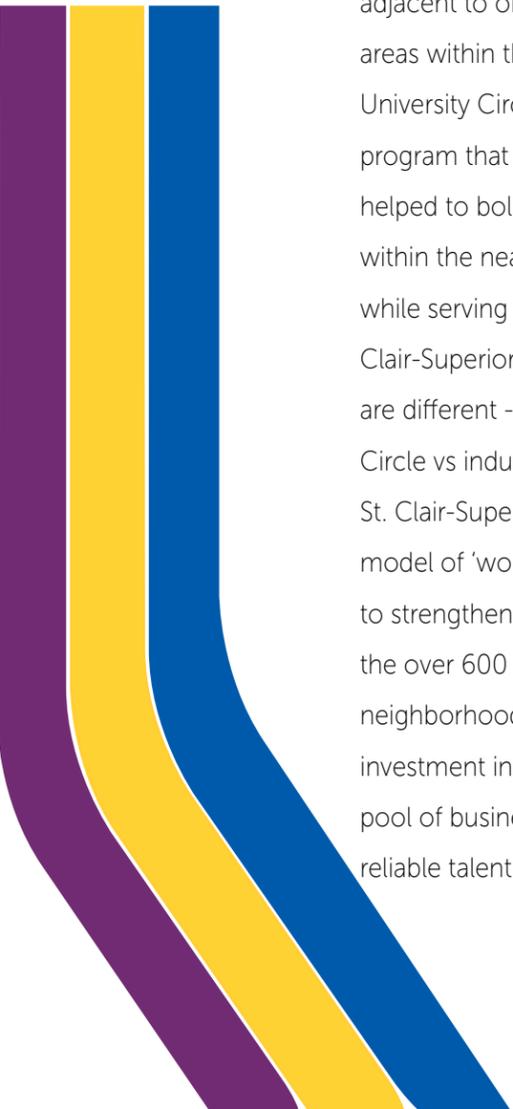
In Winter 2022, Bike Cleveland was awarded the America Walks Community Change grant to support the installation of plastic posts along the bike lane of E. 72nd north of St. Clair Ave. The protection of this bike lane will improve safety for bikers and pedestrians by narrowing the road

and slowing driving speeds of cars. This bike lane also connects St. Clair-Superior to the lakefront. Once the project receives a permit from the City of Cleveland, installation will begin in the Spring of 2023.





BIG IDEAS



In order to address several of the challenges and opportunities posed in each of the focus areas, recommendations have been made based on community input.

ESTABLISH A LIVE-WORK INCENTIVE PROGRAM

The St. Clair-Superior neighborhood lies adjacent to one of the higher demand areas within the Cleveland geography, University Circle. The live-work incentive program that this district deploys has helped to bolster investment and diversity within the nearby Glenville neighborhood, while serving as a potential model for St. Clair-Superior. While the business types are different -- healthcare in University Circle vs industrial/manufacturing in St. Clair-Superior, revisiting the historic model of 'workforce housing' would help to strengthen the relationship between the over 600 businesses located in the neighborhood's footprint by attracting investment in current housing stock by a pool of business owners looking to attract reliable talent for unfilled jobs.

DEVELOPMENT OF A SPECIAL IMPROVEMENT DISTRICT

Special Improvement Districts (SIDs) allow for a communal benefit across a neighborhood through a monthly/yearly fee collected by the management group of the district. These funds are pooled and reinvested in shared spaces and resources that benefit businesses, stakeholders, residents, and visitors of a neighborhood. The volume of businesses in St. Clair-Superior offer a wide range of opportunity for collective resources to be woven together for the greater benefit of the whole. It's important that the establishment of these types of entities remains democratic, voluntary, and, most importantly, that they start small. This is likely to be most successful if it is led by the Community Development Corporation.

ESTABLISH A MERCHANTS/BUSINESS OWNERS GROUP

The creation of a formal merchants or business owners group that fosters participation and community is strongly believed to be a supportive tool to drive unity, deeper collaboration, and a greater understanding of the large impact this neighborhood has on the greater Cleveland economy. There is a wealth of stories and history that has gone untold among neighbors of St. Clair-Superior, that if amplified beyond the community's artificial boundaries, could attract greater investment and improved conditions. The lack of unity that exists here is largely attributed to the little interaction businesses have with one another. Creating a space for more formal connections and collaboration fostered will only yield broader benefits across the neighborhood.

LEVERAGE FILM INDUSTRY TAX CREDITS

Cleveland continues to grow as a destination for film production for both small and large TV shows and movie productions. A key reason for this attraction is the Ohio Motion Picture Tax Credit, which provides refundable tax credit for a percentage of cast and crew wages, in addition to other eligible spending that occurs within the state of Ohio. As a singular subsidy, it adds great value, but packaging it with other features is how Cleveland can continue to differentiate itself and become a more attractive destination for film production. Cinema City's workforce development program which supplies film production teams with local skilled laborers provides an added dimension. Existing neighborhood businesses and industries can also support the expansion of the film industry's impact.



PRIMARY DEVELOPMENT SITES & BUILDING STOCK PRESERVATION

OVERALL PRESERVATION

This plan strongly recommends that existing buildings be retained to honor the layers of heritage that make up the St. Clair neighborhood. Buildings along primary corridors (St. Clair, Addison, Superior, East 55th and E 72nd) should be considered for retention and re-use before demolition. Where possible, housing stock should be retained and renovated. However, due to the conditions of housing and current/future demands, the existing housing stock may not be viable. In any event, new infill housing shall match the style and character of the existing homes. For larger structures, notably industrial uses, buildings should be first considered for re-purposing and/

or adaptive re-use. Cleveland can offer multiple local examples of this strategy: Warehouse District, multiple maker-spaces, and adaptive re-use properties.

PRIMARY REDEVELOPMENT SITES

Due to the historic land-uses and overall urban form, redevelopment sites throughout the neighborhood are sparse. However, during the planning process two primary sites were identified. The former Sterle's Country House site (the original structure was lost in a fire November 2022) has been identified by Famicos Foundation as a primary location to offer new living options. Famicos Foundation submitted the site to the Housing and Urban Development (HUD) 2023 grant cycle

to provide new affordable housing options in a multi-family structure situated along the well-served East 55th Street corridor. Excerpts from the submission are shared on the right.

Additionally, the former First Energy Site's potential cannot be understated. Its location along the Shoreway can offer new connections between the lakefront (Cleveland Metroparks' E55th Marina) and the neighborhood. Future plans for the First Energy site should incorporate a balance of built and open spaces, make strong connections to the shoreline, and serve as a transition between the Shoreway and the neighborhood via mixed-use development.

OPTION 1

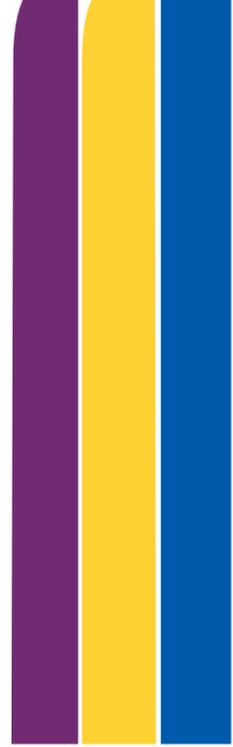
OPTION 2

OPTION 3

THE FIRST ENERGY SITE'S REDEVELOPMENT HAS NOT BEEN FINALIZED AT THE TIMING OF THIS REPORT. SEVERAL OPTIONS HAVE BEEN DEVELOPED, WITH LIMITED PUBLIC ENGAGEMENT AND PROCESS. THE FINAL REDEVELOPMENT VISION SHOULD INCORPORATE GREEN/OPEN SPACES AND A VARIETY OF BUILT FORMS AND USES (BEST REPRESENTED IN OPTION 2). IMAGES SOURCE: CALLISON RTKL



LIVING @55 OFFERS 59 NEW UNITS IN A MIXED-USE BUILDING THAT INCLUDES GROUND FLOOR AMENITY SPACES SUCH AS INTERIOR AND EXTERIOR FITNESS AREAS, MINI HEALTH CLINIC, LAUNDRY FACILITIES AND A COMMUNITY ROOM THAT ALL ACTIVATE THE GROUND FLOOR WITH THE NEIGHBORHOOD CONTEXT.



PRIORITIES

55 ARRIVE

SIGNAGE RFQ

Led by the community development corporation, issuing a Request for Proposals for placemaking and wayfinding signage at neighborhood gateways is the first step in gaining an understanding of what would be required financially to realize this vision. The cost estimation must include an understanding of the required maintenance and care required to sustain the signage. Additionally, a unified branding exercise that is resident-inclusive is highly recommended. There are several creative partnerships and business owners within the neighborhood that should be leaned on for this effort.

POTENTIAL DEVELOPMENT SITE

Along the E 55th corridor there is a potential redevelopment site adjacent to the CSX railroad. Located to the west of E 55th directly across from Dominion, where largely industrial uses dominate the landscape, this use is likely most suitable; however, there is the proposed future addition of residential units to the east along Dick Goddard Way. This large development site offers a unique opportunity for a possible new use, while making a statement at the primary gateway into the neighborhood.

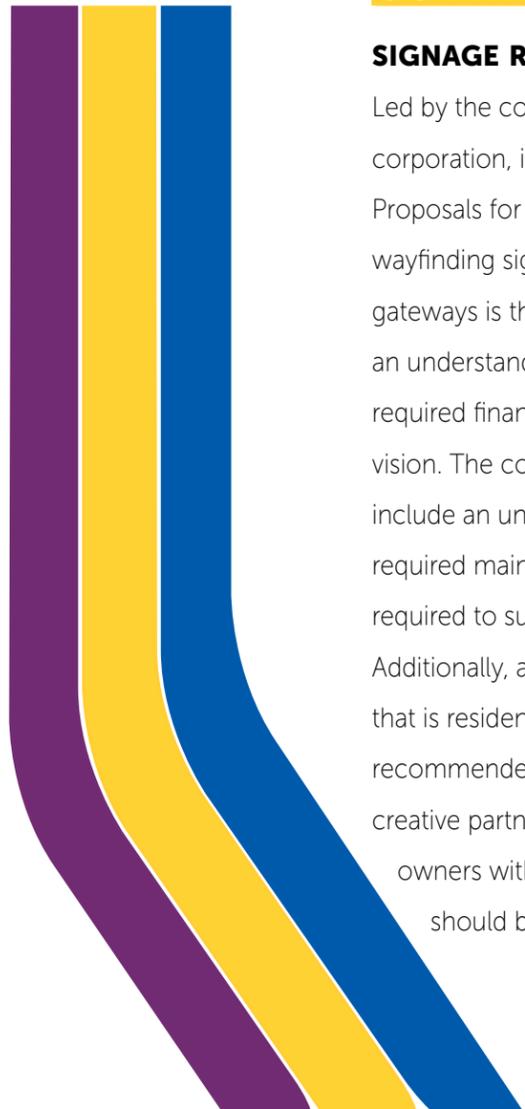
STEALTH WEALTH

INVESTMENT HAPPENING NOW

Gaining a firsthand understanding of the investment that business owners are making now in their spaces is critical. It is not always apparent how property owners are maneuvering in the vast industrial spaces that lie north of St. Clair Avenue. If there is a willingness to pull back the curtain on the presence of these diverse set of property owners, there is an opportunity to highlight their work, forge connections, and create a directory of businesses to increase business activity and foster deeper relationships/collaboration.

SIGNAGE RFQ

A release of an RFP aimed at developing signage for the collection of businesses that occupy St. Clair-Superior is a step toward bringing awareness of and engagement with this group of businesses. The group of businesses must first meet to jointly determine the most worthwhile signage to highlight their presence, and come to a consensus about the level of investment they might be interested in contributing and the influence they would like to have on the design.





IF YOU KNOW, YOU KNOW

SUPPORTING DEVELOPMENT

Additional residential and mixed-use development should be considered to support the adjacent commercial district, take advantage of lakefront proximity, and capitalize on ease of access via the St. Clair and East 72nd Street corridors. WRJ and other minority-owned development

organizations should be elevated here. Cinema City's growth and expansion can be considered simultaneously, prepossessing large tracts of underutilized and former industrial land. The large land areas and existing large buildings align with Cinema City's needs and can also bolster value and opportunities.

CONNECTIVITY VS PROXIMITY

COLLABORATION WITH W9

Martin Luther King Jr Blvd serves as the dividing line between both Glenville and St. Clair-Superior neighborhoods and Ward 10 and Ward 9. To ensure impact is made effectively, a defined collaboration must be established that is free of boundaries, and focused on the benefit of residents and visitors.

Continued work with Cleveland Neighborhood Progress and Andrew Sargeant will ensure the community remains engaged. Garnering additional financial support and alignment with key stakeholders is a primary next step.

EASTSIDE STORY

COLLABORATION WITH W7

Addison Road extends into the Ward 7 jurisdiction, which will require collaboration between councilmembers to align with development patterns and anticipated investment in their Wards. Superior Avenue has very similar traits to St. Clair Avenue, creating opportunity for

improved primary corridors through the neighborhood and investments into housing development. Conversations have been ongoing in Ward 7 about the intersection of Addison and Superior.



IMPLEMENTATION RECOMMENDATIONS: NEXT STEPS



Next Steps are outlined on the following pages and are organized into three main categories that correspond with priorities identified in the planning process.

Additionally, recommendations are prioritized, based on community feedback to provide clear implementation strategies. The project team has located each recommendation within the study area, and provided accompanying information related to potential costs, lead and support

agencies/organizations, and other pertinent details.

This plan's implementation strategy is intended to begin immediately, building on current momentum. This approach can continue to show investments while attracting new, larger investments.

This transformation will take time. However, immediate action should be taken and successes shared with residents and business owners that have lead and maintained the St. Clair Neighborhood. Their voices must drive the next chapters for St. Clair, and this process has culminated in intentional and meaningful recommendations borne from community conversations.

INFRASTRUCTURE

1. Roadway repairs along St. Clair and Superior Aves
2. Improved overhead lighting on St. Clair and Superior Aves
3. Neighborhood sidewalk reconstruction
4. Pocket park development on vacant properties until permanent businesses arrive
5. Sidewalk repairs on residential streets and commercial corridors

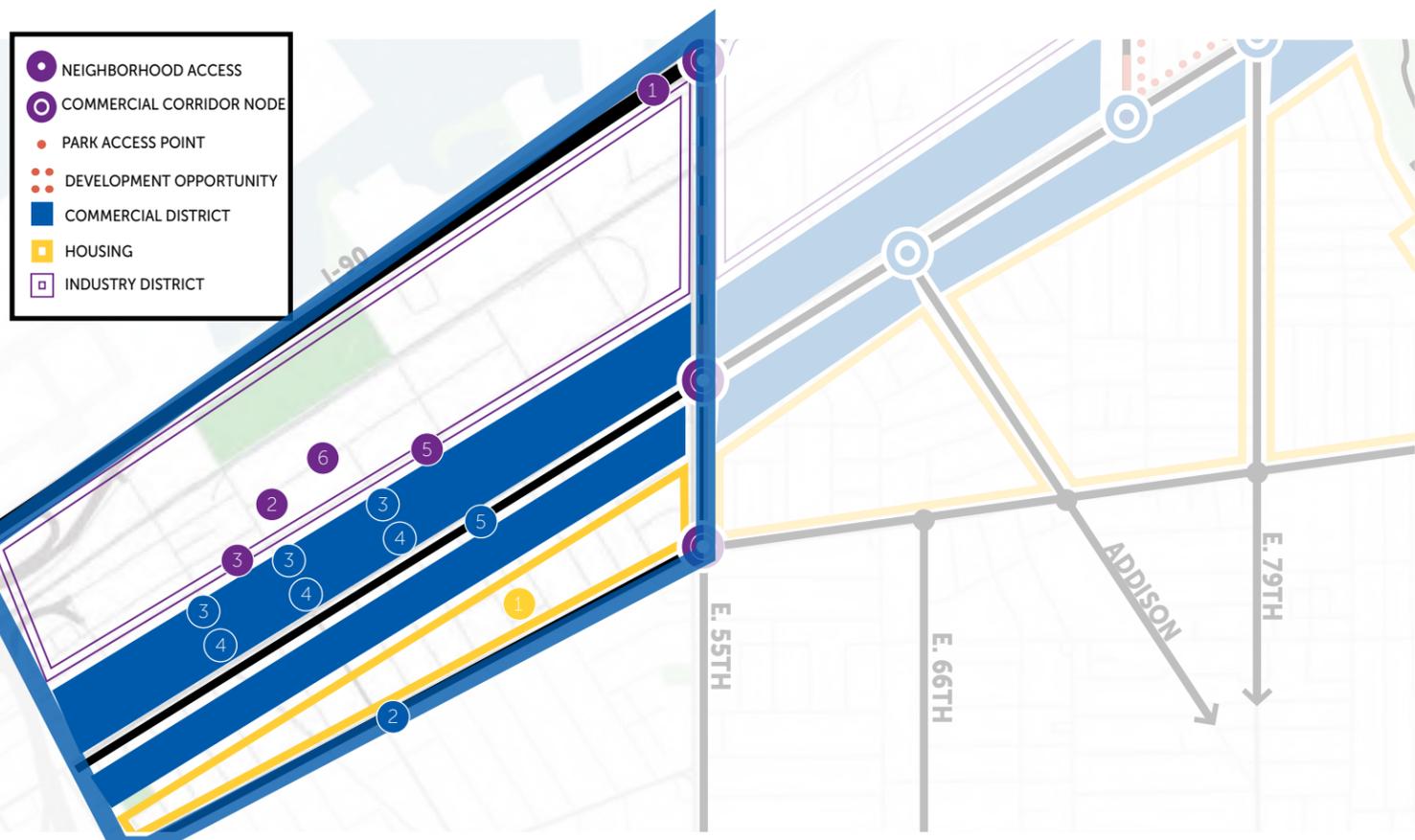
REAL ESTATE

1. Infill housing development
2. Porch repair programs
3. Storefront renovation programs and business development programs
4. Adaptive reuse of heritage buildings
5. Development corridor focus
6. Redevelopment of former Sterle's site and First Energy site, among others

PLACEMAKING

1. Neighborhood-wide placemaking and directional signage
2. Public art / murals on building surfaces and fencing
3. Ornamental fencing programs to replace chain link fences
4. Improved neighborhood arrival landscaping and frontage to reference proximity to lakefront
5. Underpass lighting and installations

STEALTH WEALTH



INFRASTRUCTURE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Focused roadway repairs along St. Clair Ave / Superior Ave			
2. Midway / Protected Bike Lane on Superior Ave			
3. Sidewalk Reconstruction along focused north-south sidewalks			
4. Industrial style light fixtures on side streets			
5. Improved / brighter overhead lighting on St. Clair and Superior Aves			

REAL ESTATE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Housing infill development			

PLACEMAKING

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Neighborhood signage along on/off-ramps near I-90 and E. 55th and E. 79th			
2. Wayfinding signage for business purposes (deliveries, pick-ups, etc.)			
3. Business directional signage and branding to be used throughout the neighborhood			
4. Ornamental fencing program for business lots / surface parking lots			
5. Funding for mural painting on fencing / walls used to hide industrial equipment / supplies			
6. Painted crosswalks using paint from DayGlo			



Positive adaptive reuse of industrial buildings; development opportunity of greenspace or open air market



Positive mural wall and storefront development at VNTG Home.



Potential office space leasing opportunity and / or residential development

*Timeframe: Immediate=less than 1 year; medium=1-2 years; permanent=more than 3 years



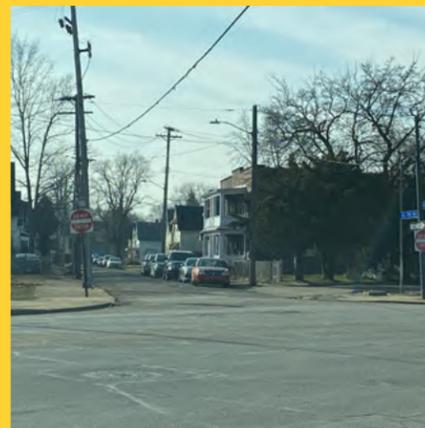
55 ARRIVE

LAKE ERIE

- NEIGHBORHOOD ACCESS
- COMMERCIAL CORRIDOR NODE
- PARK ACCESS POINT
- DEVELOPMENT OPPORTUNITY
- COMMERCIAL DISTRICT
- HOUSING
- INDUSTRY DISTRICT



Opportunities for underpass art / installations, mural walls, and median improvements along E. 72nd.



Proposed development at the intersection of St. Clair Ave and E. 72nd: streetfront development, pedestrian features



Positive use of mural walls on industrial businesses north of St. Clair Ave.

INFRASTRUCTURE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Focused roadway repairs along St. Clair Ave / Superior Ave			
2. Midway / Protected Bike Lane on Superior Ave			
3. Sidewalk Reconstruction along focused north-south sidewalks			
4. Industrial style light fixtures on side streets			
5. Improved / brighter overhead lighting on St. Clair and Superior Aves			
6. Bridge improvements to CSX train bridge crossing E. 55th			
7. Improved landscaping and frontage around E. 55th and I-90			

REAL ESTATE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Business development programs and incentives for existing buildings along St. Clair Ave			
2. Storefront renovations for businesses along St. Clair Ave			
3. Replacement of chain link fences with ornamental fencing along E. 55th			
4. Redevelopment / adaptive reuse opportunity for warehouse on E. 55th north of St. Clair Ave			
5. Focused development around intersection of E. 72nd and St. Clair Ave			

PLACEMAKING

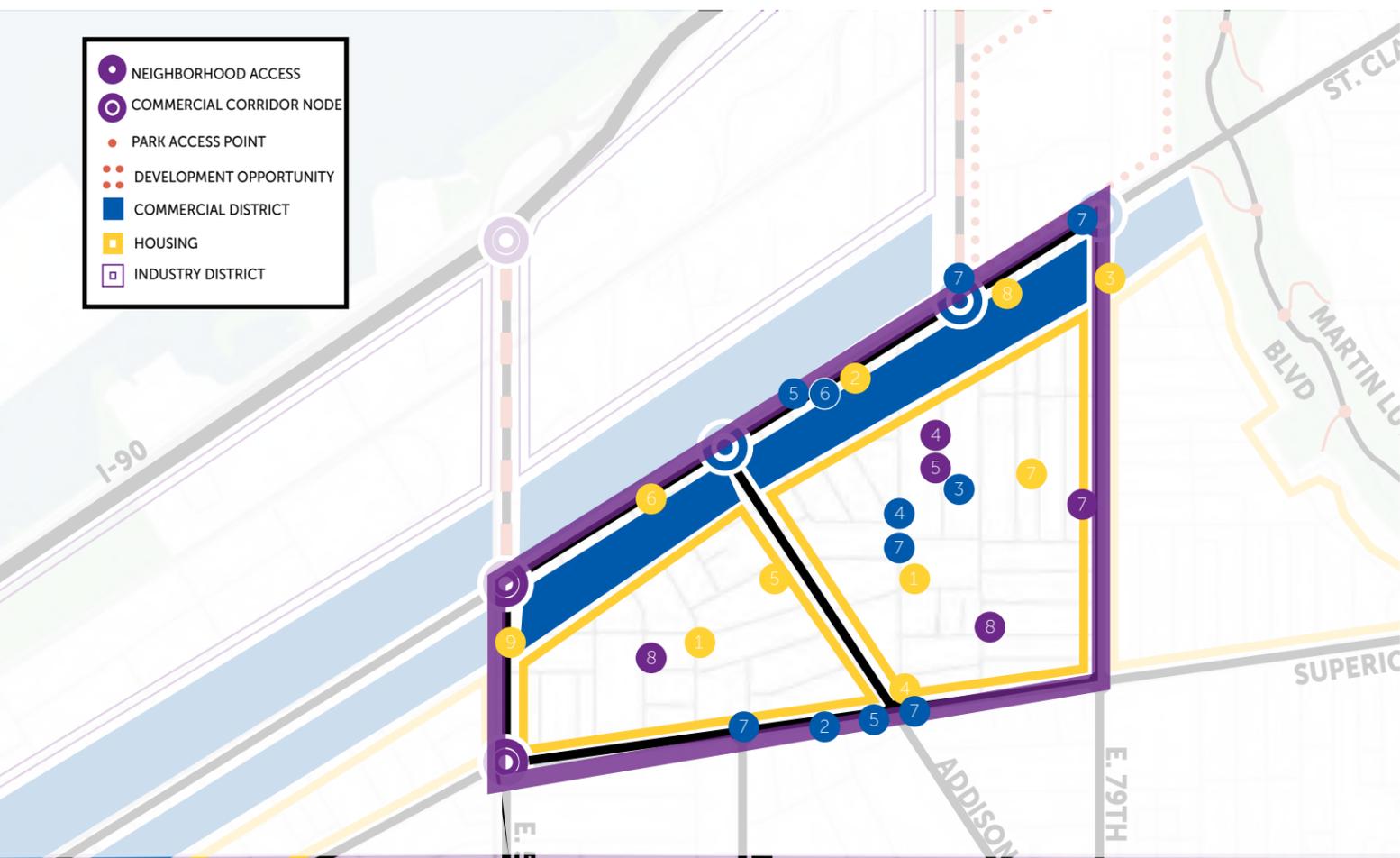
INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Neighborhood-wide Directional / Business Signage / Banner RFQ			
2. Neighborhood-wide Gateway Signage RFQ			
3. Underpass Installations: lighting, painting, sidewalk repairs			
4. Decal Implementation			
5. Ornamental fencing improvements to frontage on E. 70th and St. Clair			
6. Mural painting on fencing / walls north of St. Clair Ave			
7. Brick crosswalks and tree planting on Carry Rd.			
8. Placemaking gestures / landscaping that reference the lake along E. 55th Street			
9. Placemaking "rediscovery" programs: neighborhood mural walking tour			

*Timeframe: Immediate=less than 1 year; medium=1-2 years; permanent=more than 3 years

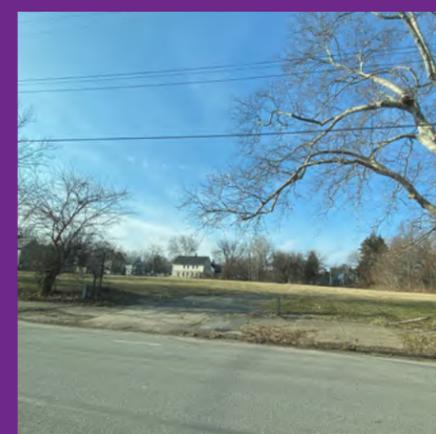


EASTSIDE STORY

- NEIGHBORHOOD ACCESS
- COMMERCIAL CORRIDOR NODE
- PARK ACCESS POINT
- DEVELOPMENT OPPORTUNITY
- COMMERCIAL DISTRICT
- HOUSING
- INDUSTRY DISTRICT



Potential neighborhood playground site; corner of Carl Ave and Norwood Rd



Potential development site along Addison Rd.



Positive townhome infill development along Addison Rd.

INFRASTRUCTURE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Focused roadway repairs along St. Clair Ave / Superior Ave			
2. Midway / Protected Bike Lane on Superior Ave			
3. Sidewalk Reconstruction along focused north-south sidewalks			
4. Development of E. 71st as a connector between St. Clair Ave-Superior Ave: business development on vacant properties along corridor			
5. Improved / brighter overhead lighting on St. Clair and Superior Aves			
6. Development of pocket parks on vacant pieces of land: E. 69th / St. Clair Ave			
7. Painted crosswalks at intersections of residential streets with major connectors			

REAL ESTATE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Housing / Mixed-use Development			
2. Vacant land transformation to pocket parks			
3. Restoration / Adaptive Reuse			
4. Redevelopment site at intersection of Addison Rd / E. 71st / Superior Ave			
5. Potential mixed use / residential development opportunity at intersection of Addison Road and Carl Rd			
6. Business development program for south side of St. Clair Ave			
7. Renovations and focused infill development on E. 74th			
8. Window replacement for building on E. 73rd and St. Clair			
9. Redevelopment of former Sterle's site			

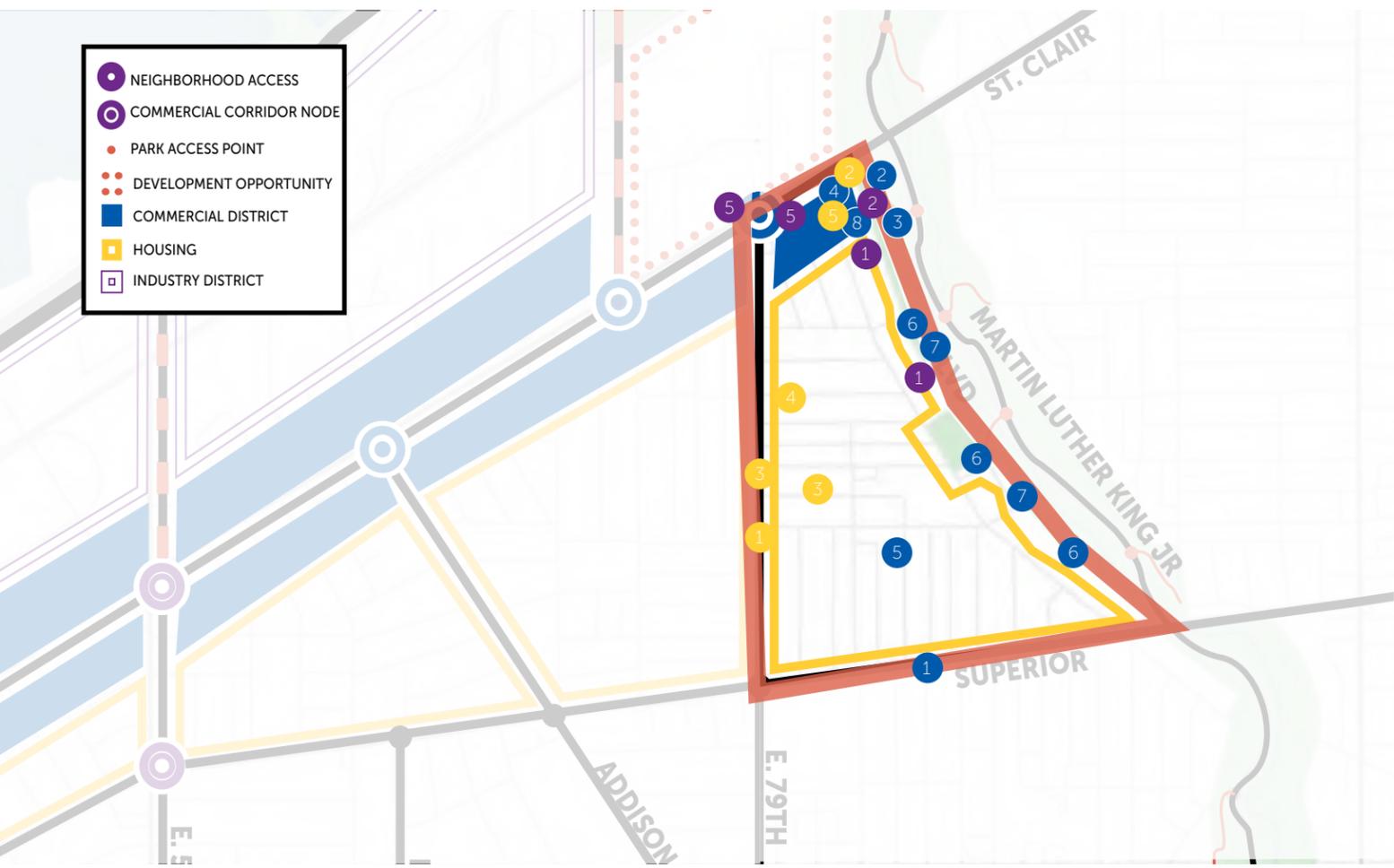
PLACEMAKING

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Decal Implementation			
2. Neighborhood-wide Gateway Signage RFQ			
3. Neighborhood-wide Directional / Business Signage / Banner RFQ			
4. House painting program for colorful houses on E. 72nd			
5. Colorful crosswalks painted on E. 72nd			
6. Fencing program: replacement of chain link fences with ornamental fencing on priority corridors			
7. Porch repair program for priority corridors: E. 79th			
8. Residential light fixture program			

*Timeframe: Immediate=less than 1 year; medium=1-2 years; permanent=more than 3 years



PROXIMITY VS. CONNECTIVITY



INFRASTRUCTURE

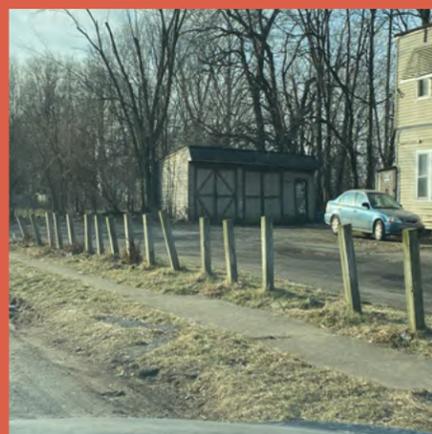
INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Midway / Protected bike lane			
2. Installation of sidewalk on east side of Wheelock Road connecting to Cultural Gardens			
3. Head-in parking and/or painted on street parking on Wheelock Road			
4. Ornamental fencing program to replace wood / chain link fencing throughout neighborhood			
5. Focused repaving of residential streets			
6. Repaving of park entrance sidewalks			
7. Improvements to access of Rockefeller park via car, walking, biking on west side of park			
8. Crosswalks, signage, paving, intersection improvements at Wheelock / Crumb Intersection			

REAL ESTATE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Porch repair / painting program on E. 79th			
2. Priority redevelopment site at Wheelock Rd./ St. Clair Ave: Cultural centerpiece			
3. Single family / Cleveland Duplex infill development on priority streets: E. 79th			
4. Neighborhood playground development site at E. 79th and Crumb			
5. Focused facade / porch repair for houses on Wheelock Road			

PLACEMAKING

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Dedicated Rockefeller Park signage			
2. Implementation of pavilion on Wheelock Rd			
3. Neighborhood-wide Directional / Business Signage / Banner RFQ			
4. Decal implementation			
5. Storefront restoration program on south side of St. Clair Ave			
6. Mural location on side of Cleveland Business Products building			



Replacement of wood (or chain link) fencing with ornamental fencing; potential development opportunity on corner lot



Wheelock Road: opportunity for porch repair program, improved on street or head in parking, sidewalks, and / or cultural gardens pavilion



Residential street repaving, porch repair programs, and infill development opportunities

*Timeframe: Immediate=less than 1 year; medium=1-2 years; permanent=more than 3 years



IF YOU KNOW, YOU KNOW

- NEIGHBORHOOD ACCESS
- COMMERCIAL CORRIDOR NODE
- PARK ACCESS POINT
- DEVELOPMENT OPPORTUNITY
- COMMERCIAL DISTRICT
- HOUSING
- INDUSTRY DISTRICT



Painting on wall on E. 72nd



Fencing around bus lot on St. Clair Ave: opportunity for murals / banners / public art to replace chain link fencing



Construction of shipping container homes on E. 73rd Street by WRJ Developers

INFRASTRUCTURE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Repavement, lighting, trees on E. 79th			
2. Workforce Development Programs			
3. Redevelopment of front lots on E. 79th and St. Clair Ave			
4. (Extension of) protected bike lane on E. 72nd			
5. Lighting and trees on E. 72nd			
6. Extension of Rockefeller Park into neighborhood			
7. Corner improvements to northeast corner of E. 72nd and St. Clair Ave: lighting, landscaping			

REAL ESTATE

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Business / Film Industry Investments			
2. Adaptive reuse of Garfield Bank building			
3. New development along E. 72nd			
4. Infill housing in residential blocks			
5. Residential renovation program			
6. Expansion of residential lighting program			
7. Fill in vacancies with neighborhood businesses along E. 72nd and St. Clair Ave			
8. Storefront program for Jasmine's Restaurant			

PLACEMAKING

INITIATIVE	TIMEFRAME	PARTNERS	FUNDING REQUIRED
1. Neighborhood-wide Directional / Business Signage / Banner RFQ			
2. Decal Implementation			
3. Replacement of fencing on bus lot at E. 79th / St. Clair Ave with art / banners / murals			
4. Neighborhood identity graphics and art at key intersections			
5. District banner program continued on E. 72nd			
6. Paint utility poles			
7. Lighting and public art effects on underpass of E. 72nd			
8. Improved landscaping around bridge underpass to lake with painted medians and lighted bollards			
9. Sculptural landscaping on hill of Gordon Park			
10. Reinforce lake proximity with boulders and other lakefront elements on E. 72nd			

*Timeframe: Immediate=less than 1 year; medium=1-2 years; permanent=more than 3 years



Cleveland City Planning Commission

Staff Report



March 3, 2023

Cleveland City Planning Commission

Special Presentations – Public Art



March 3, 2023



March 3, 2023

EC2023-002 – 1967 Cleveland Summit “I Am the Table” Sculpture: Seeking Final Approval

Location: 10501 Euclid Avenue

Representatives: Scott Larson, Artist/Fabricator

Carl Ziek, Artist/Fabricator

Hansen Coseo, Cleveland Cavaliers

Committee Recommendation: Approved as Presented

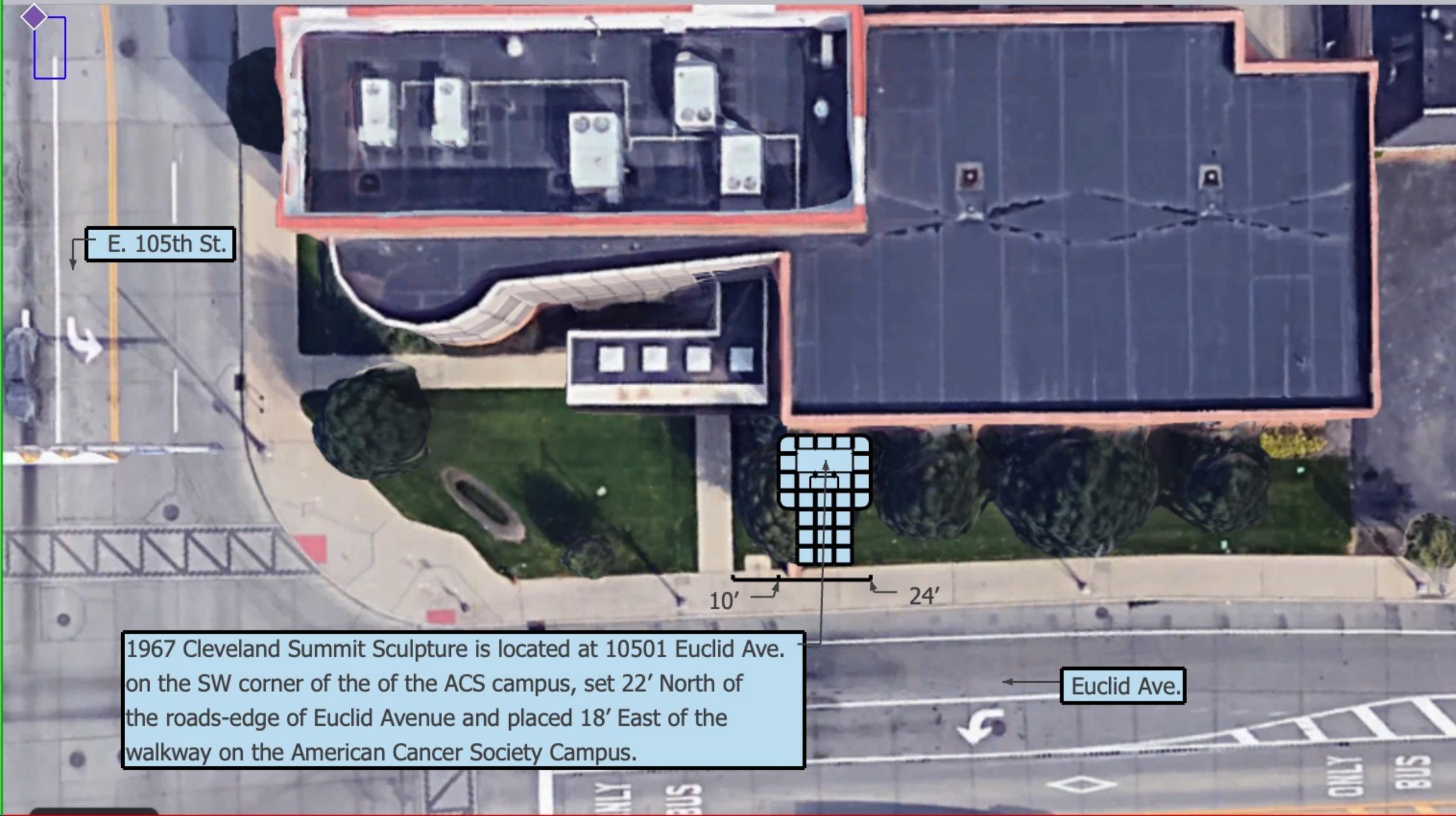


1967

CLEVELAND SUMMIT

I AM THE TABLE

The seat at the table is a reflection area that mimics the setup of the Cleveland Summit. The Twelve men will be represented in the form of microphone(s) mimicking the press setup from the iconic photo. This public art piece sets the stage to celebrate and honor that special day in Cleveland but also inspire guests to realize the power in their own Voice as they take the seat at the table.



E. 105th St.



10'

24'

1967 Cleveland Summit Sculpture is located at 10501 Euclid Ave. on the SW corner of the of the ACS campus, set 22' North of the roads-edge of Euclid Avenue and placed 18' East of the walkway on the American Cancer Society Campus.

Euclid Ave.

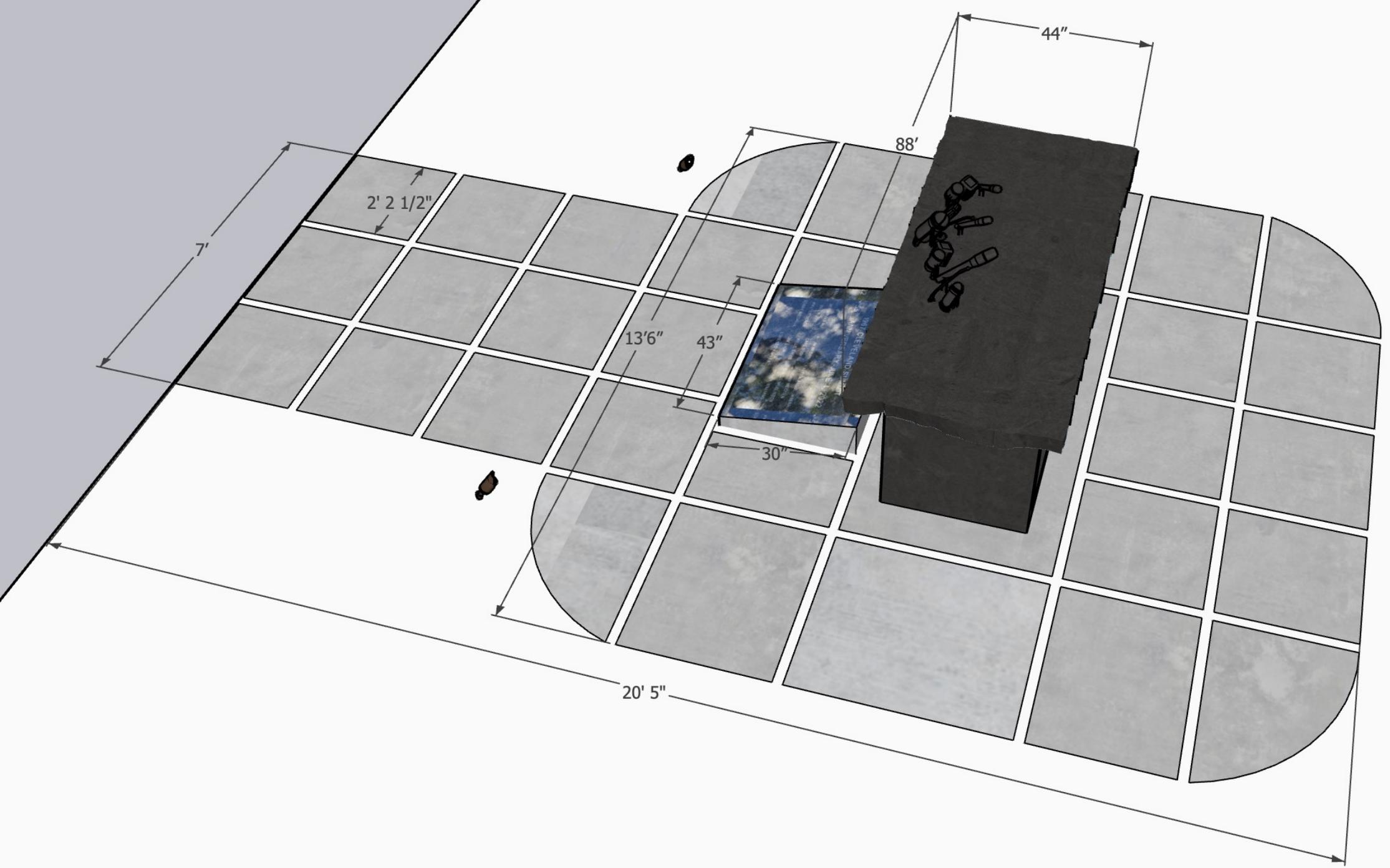
ONLY BUS



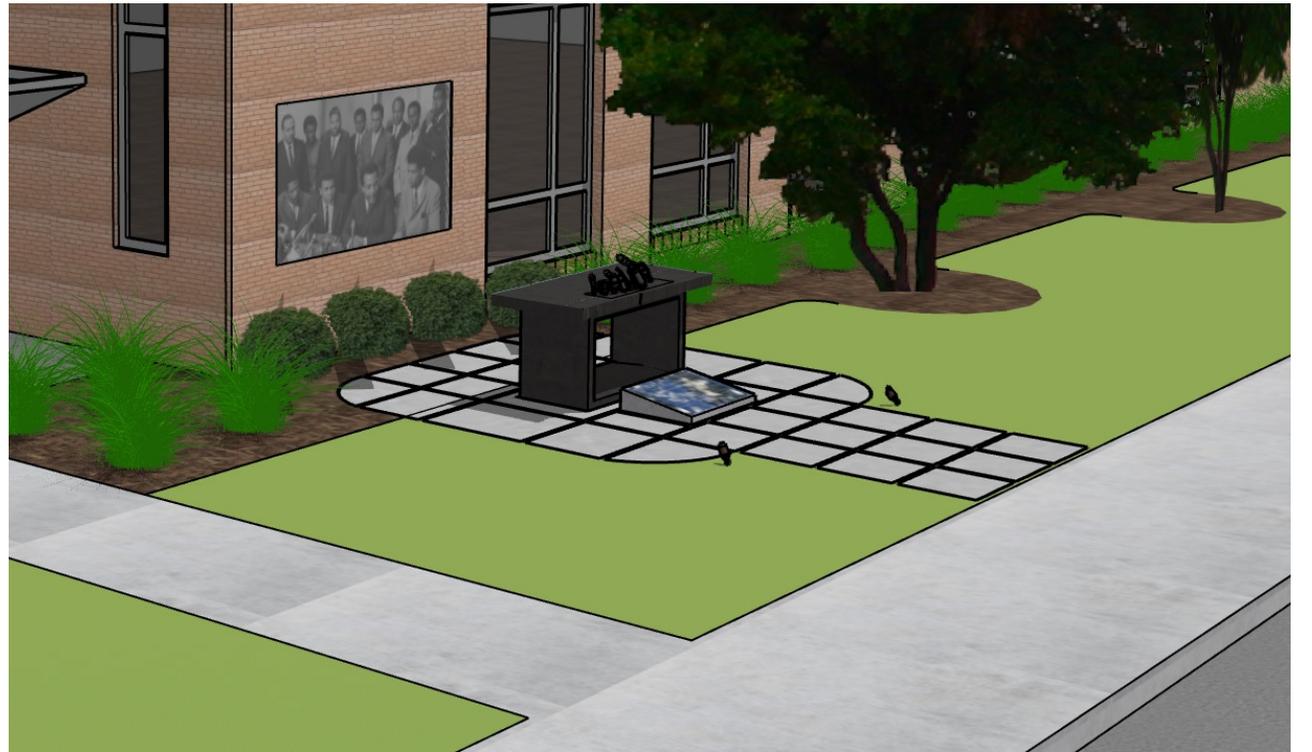
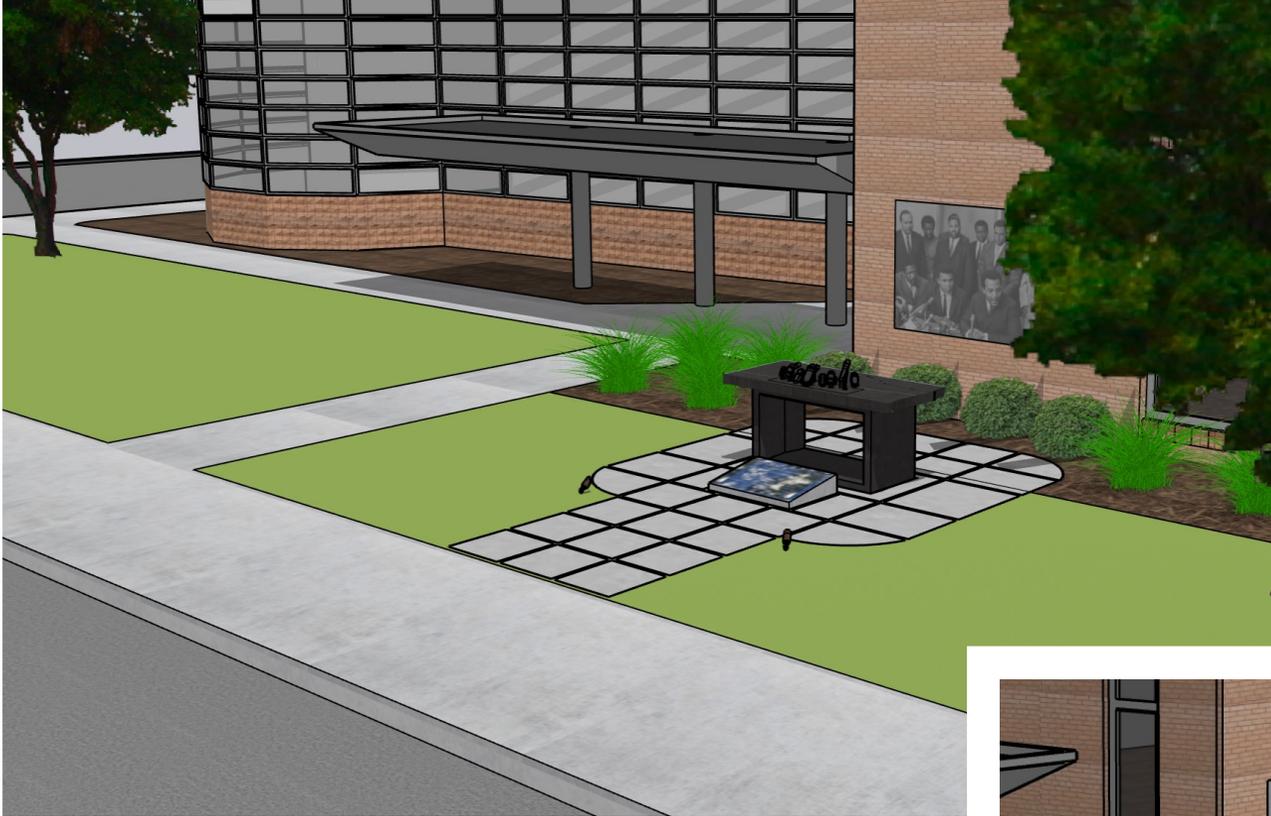
- top image: intersection of E. 105th St and Euclid Ave.



- bottom image: American Cancer Society Building looking NE.





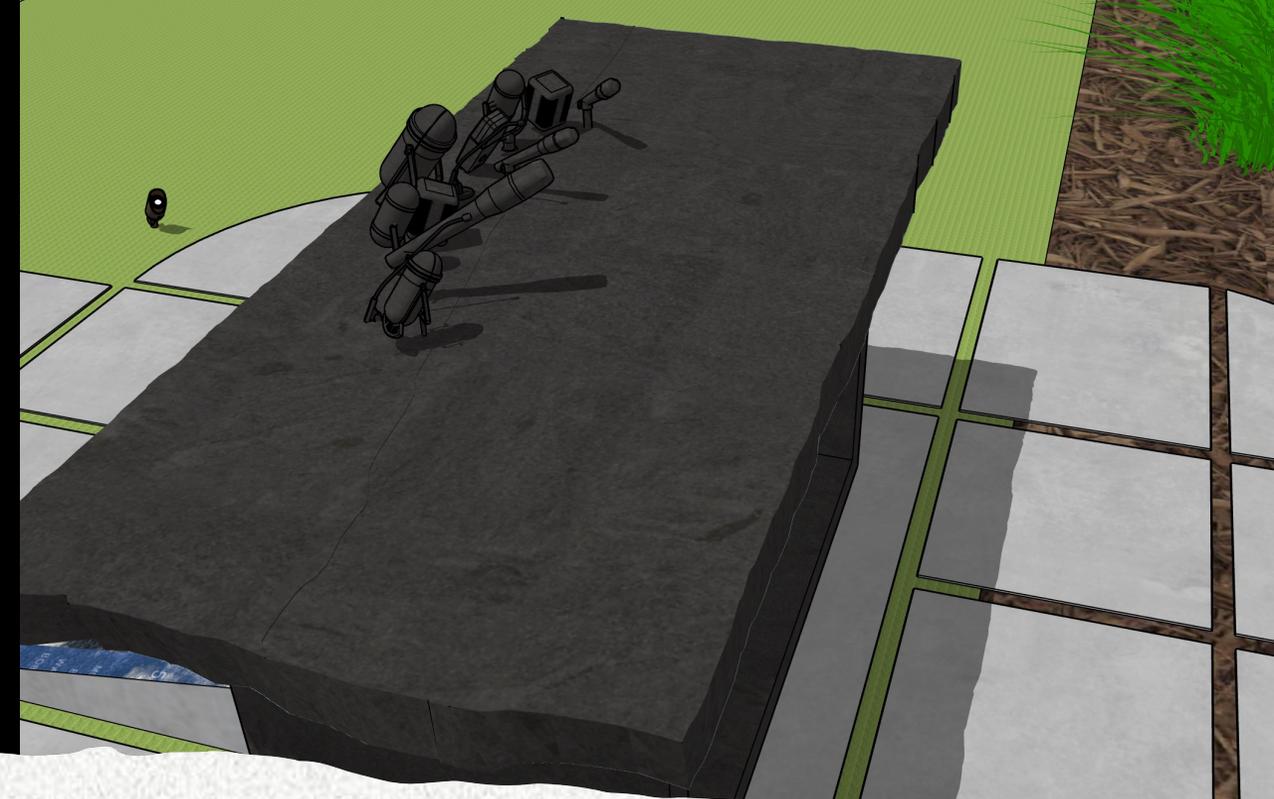




1967 CLEVELAND SUMMIT
22 - 55th ANNIVERSARY - JUNE 4, 2022 - 5



- heat applied vinyl image
108"L x 61"H, 40" off the ground
- up light spotlights at the foot of the building.



- 12 sculptural steel microphones representing the 12 individuals at the summit.



-The table sculpture will be made from carbon steel, the steel top will be shaped, sculpted, and patinated to resemble a thick slab of slate. Twelve microphones affixed to the tabletop that will be sculpted and forged from steel to symbolize the men in attendance of this meeting in 1967. The piece will be sealed using an industrial matte lacquer product. Placed in front of the table is a commemorative granite plaque honoring this event. A 9' x 5' vinyl image of the 1967 Cleveland Summit will be applied to the wall behind the sculpture.

- Concrete pavers will be poured in place creating a walkway from the sidewalk to the sculpture. The pavers will border the sculpture allowing views to experience the sculpture from all sides.

-Two spotlights will be installed to illuminate the structure at dark. Up lighting will be installed at the foot of the building to illuminate the imagery applied to the wall.

-Both the table and plaque will be placed on 12" deep reinforced concrete footers.

-A small laser engraved placard will be affixed to the underside of the tabletop noting artist, title of project, installation year, and commissioner for documentation and archival purposes.

-Engineers with Cleveland Cavaliers organization will upkeep and preform routine maintenance on sculpture.

-In the event of damage or severe vandalism Shred and Company will be contracted by the Cavaliers to make any necessary repairs to the sculpture.

CLEVELAND
Summit



Cleveland City Planning Commission

Staff Report



March 3, 2023

Cleveland City Planning Commission

Director's Report



March 3, 2023



Departmental Updates

- New neighborhood planning staff to join by end of March
- New job posting: Major Transportation Projects Coordinator (1 of 2 transportation positions in Planning)

March-April CPC calendar

- March 17
- March 31
- April 21

There will not be a meeting on April 7 - City Hall is closed for Good Friday.



Zoning Code Updates

- We are aiming for a release of the updated Townhouse Code draft at the March 31 Planning Commission meeting
- All other zoning code updates are TBD

Cleveland City Planning Commission

Adjournment



March 3, 2023