



# Cleveland City Planning Commission

Friday, February 17, 2023

**\*\* PLEASE MUTE YOUR MICROPHONE \*\***

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

# Cleveland City Planning Commission

## Preamble

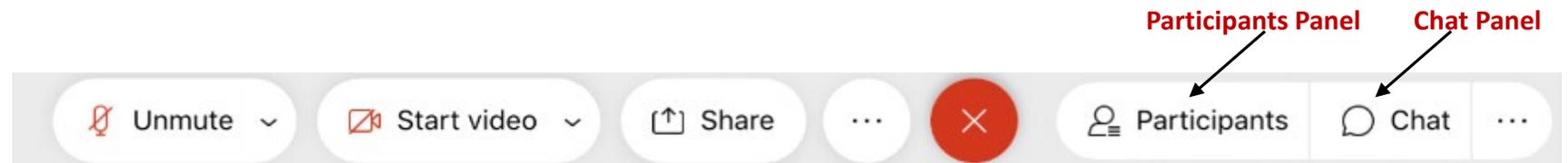
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING \*6



February 17, 2023

# Cleveland City Planning Commission

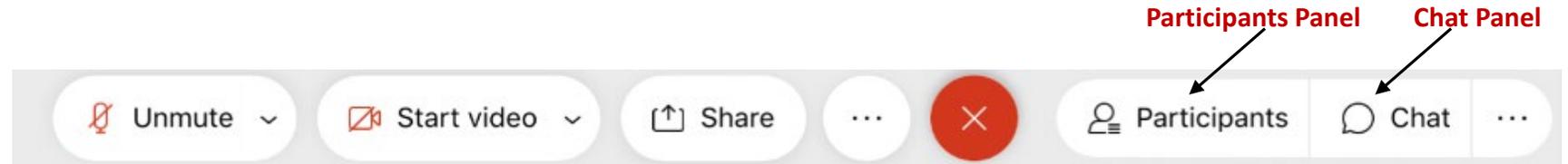
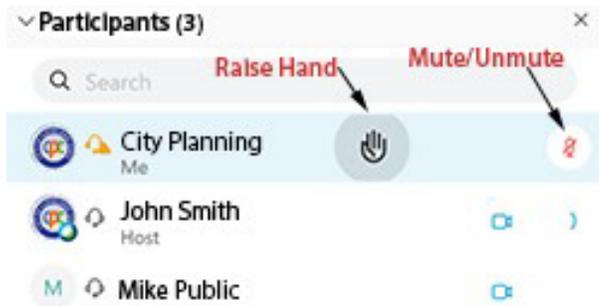
## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.**

**THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.**



February 17, 2023

# Cleveland City Planning Commission

## Call to Order and Roll Call

---



February 17, 2023

# Cleveland City Planning Commission

## Approval of Minutes from Previous Meeting

---



February 17, 2023

# Cleveland City Planning Commission

## Lot Consolidation / Splits

---



February 17, 2023

# Lot Consolidation / Split

---

February 17, 2023

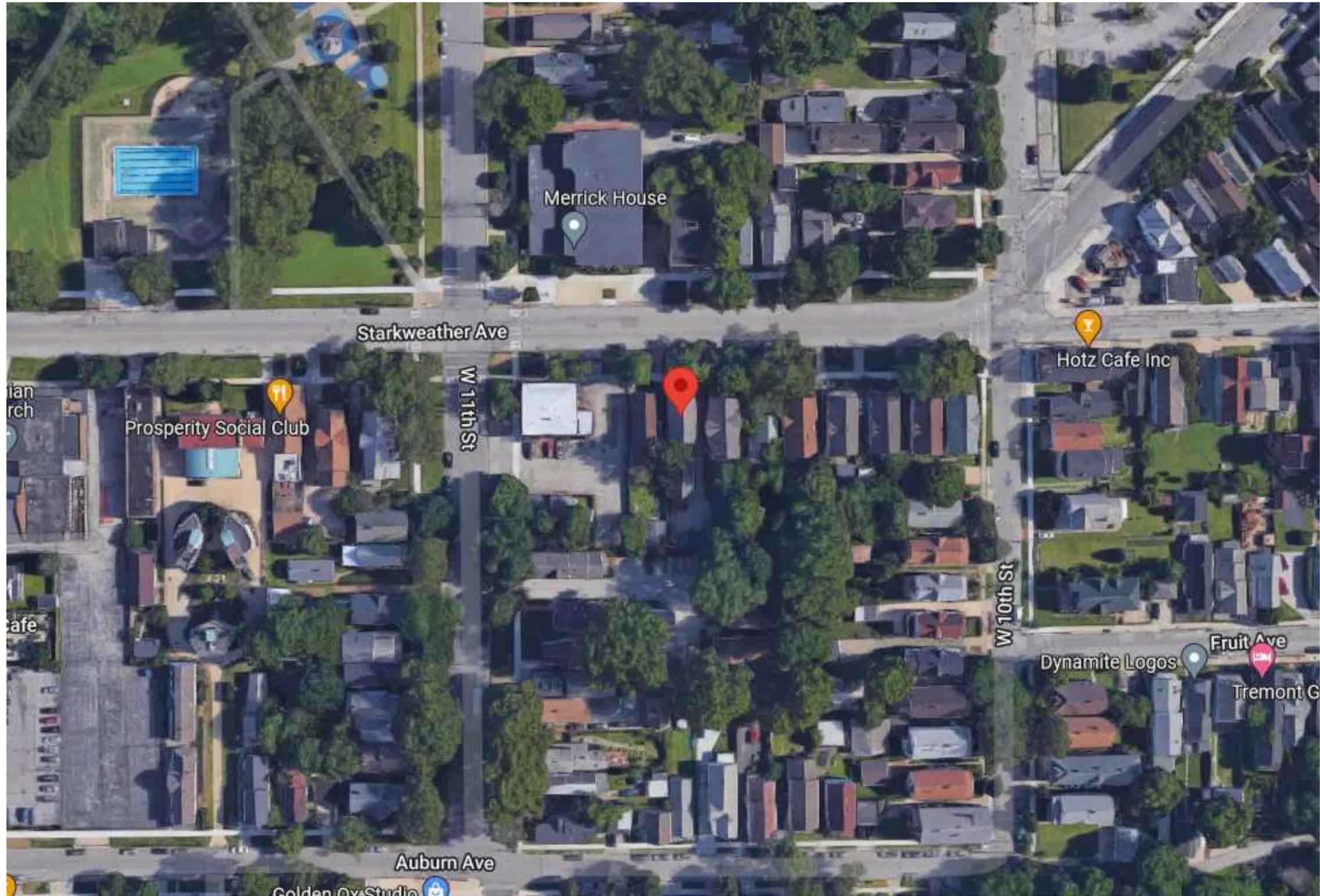


**For PPN# 004-21-009**

**Address: 1029 Starkweather Avenue**

Representative: Michael Wellman, Meld Architects

Ward 3 - Councilmember McCormack | SPA: Tremont



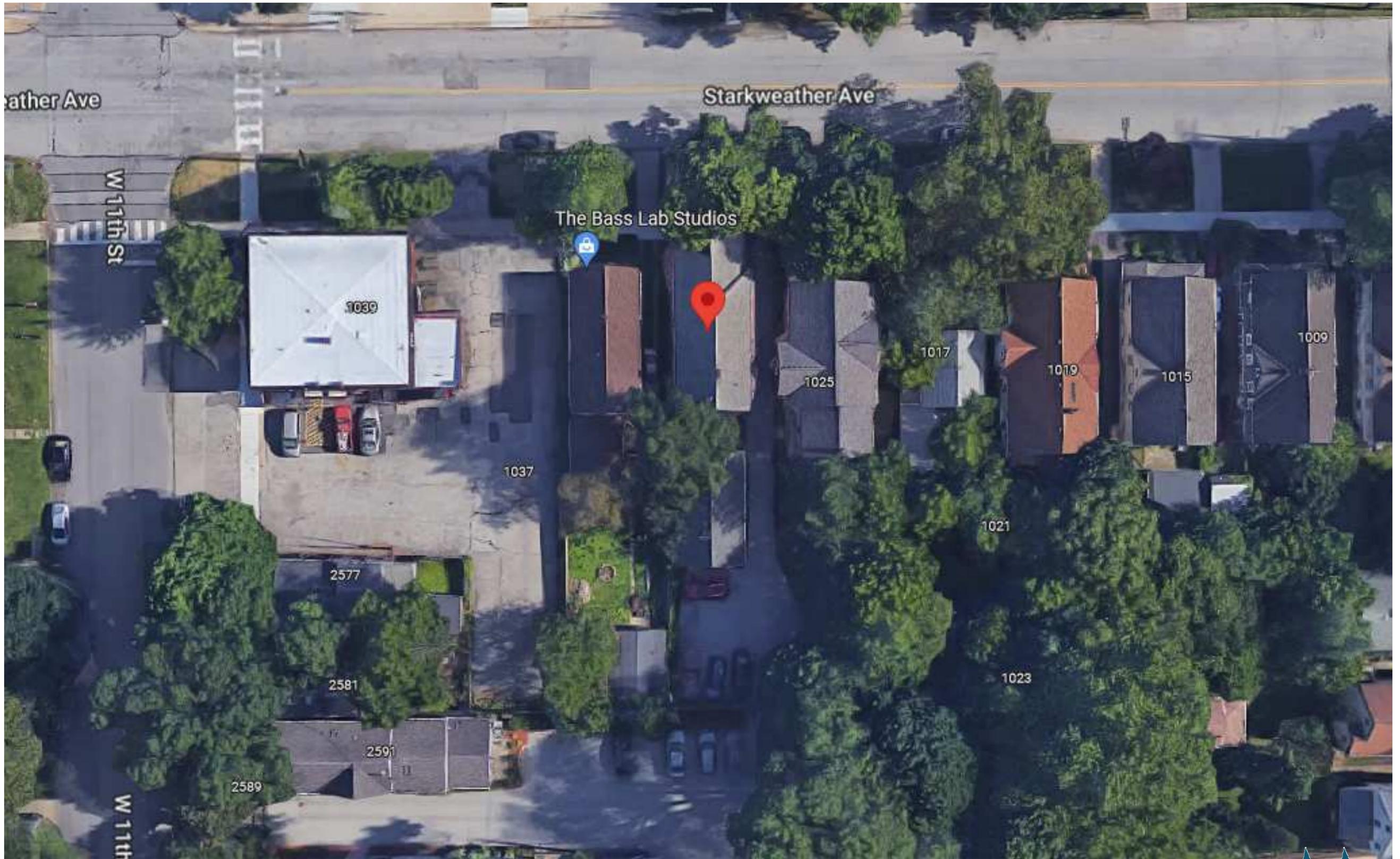
1029 STARKWEATHER - AERIAL VIEW 1



Property Lot Split

January 9, 2023





1029 STARKWEATHER - AERIAL VIEW 2



Property Lot Split

January 9, 2023





EXISTING CONDITIONS - 1029 STARKWEATHER

Property Lot Split  
David Perkowski

FRONT VIEWS LOOKING SOUTH



EXISTING CONDITIONS - 1029 STARKWEATHER

Property Lot Split  
David Perkowski

REAR VIEWS LOOKING NORTH, WEST, EAST

STARKWEATHER

EXISTING FRONT HOUSE

PPN 004-21-010  
LEONARD J. TOMA  
VOL. 84-3339 PG. 45 C.C.D.R.

S/L 99  
PPN 004-21-009  
MERCHANT AVENUE LIMITED PARTNERSHIP  
VOL. 96-1284, PG. 18 C.C.D.R.  
0.114 ACRE

PPN 004-21-008  
1025 STARKWEATHER PROPERTIES, LLC  
AFN 201810110617 C.C.D.R.

PROPOSED LOT SPLIT

EXISTING REAR HOUSE

BUILDABLE AREA

S/L 100  
004-21-009

±0.67'-0" ±

±0.85'-2.34" ±

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

1029 Starkweather  
Property Lot Split  
David Perkowski



January 9, 2023 MELDARCHITECTS

Meld Project #22009



LOT SPLIT SURVEY  
FOR  
**MERCHANT AVENUE LTD.**

KNOWN AS BEING PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NO. 71, AND PART OF SUBLOT NOS. 99 & 100 IN THE JOHN G. JENNINGS UNIVERSITY HEIGHTS ALLOTMENT, AS SHOWN IN VOLUME 1, PAGE 15 OF CUYAHOGA COUNTY MAP RECORDS, NOW SITUATED IN THE

CITY OF CLEVELAND  
COUNTY OF CUYAHOGA - STATE OF OHIO

**McSteen**  
LAND SURVEYORS

1415 East 286th Street Wickliffe, OH 44092  
Phone: 440.585.9800 www.mcsteen.com

THIS SURVEY IS A BOUNDARY SURVEY PREPARED IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL IRON PINS SHOWN AS SET ARE 30" LONG 5/8" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN CA 02236".

*Matthew A. Hildebrandt*  
MATTHEW A. HILDEBRANDT REG. PROF. SURV. No. 8817



JOB NO.: 22-046  
FIELD DATE: AUGUST 6, 2021  
SURVEY DATE: JUNE 10, 2022  
DRAWN BY: HKS  
PREVIOUS REFERENCE JOB NO.: 21-183

**BASIS OF BEARING**  
BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE (340), NAD83 (2011), 2010.0 EPOCH, AS DERIVED FROM GNSS OBSERVATIONS PER THE O.D.G.T. RTN (REAL-TIME-NETWORK).

- SURVEY REFERENCES**
- "LOT CONSOLIDATION FOR KAREN BULL, E." BY ETHELHAM M. SUHALI, DATED JANUARY 17, 2001.
  - "LOT CONSOLIDATION FOR AMO F. JUDD, III & MARGARET M. JUDD" BY CHRISTOPHER J. DEMPSEY, DATED MARCH 25, 2014.
  - "PELTON AND JENNINGS, ALLOTMENT" PLAT VOLUME 2, PAGE 10 C.C.M.R.
  - C.C.D.R. CUYAHOGA COUNTY DEED RECORDS
  - O.D.D.T. OHIO DEPARTMENT OF TRANSPORTATION
  - CUYAHOGA COUNTY DEEDS OF RECORD.
  - CUYAHOGA COUNTY TAX MAP RECORDS.
  - BOOK 34, PAGE 84-96 C.S.R.
  - BOOK 51, PAGE 24 C.S.R.
  - BOOK 55, PAGE 54 C.S.R.
  - BOOK 73, PAGE 29 C.S.R.
  - BOOK 95, PAGE 126-132 C.S.R.
  - BOOK 112, PAGE 134-139 C.S.R.

**LOT SPLIT ACCEPTANCE**  
I, DAVE PERKOWSKI, ON BEHALF OF MERCHANT AVENUE LIMITED PARTNERSHIP, OWNER OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS LOT SPLIT AS SHOWN HEREON.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**NOTARY PUBLIC**  
COUNTY OF CUYAHOGA  
STATE OF OHIO  
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED DAVE PERKOWSKI WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT, AND THAT IT WAS OF HIS FREE ACT AND DEED PERSONALLY. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT \_\_\_\_\_, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**APPROVALS**  
THIS PLAT IS HEREBY APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

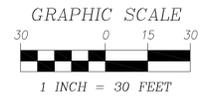
PLANNING DIRECTOR \_\_\_\_\_ PRINT NAME \_\_\_\_\_

THIS PLAT IS HEREBY APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

PLATTING COMMISSIONER \_\_\_\_\_ PRINT NAME \_\_\_\_\_

**SIGNIFICANT OBSERVATIONS**

- ASPHALT PAVEMENT CROSSES OVER THE SOUTHERLY LINE OF SURVEYED PROPERTY.
- ASPHALT PAVEMENT CROSSES OVER THE EASTERLY LINE OF SURVEYED PROPERTY.
- A FENCE CROSSES OVER THE WESTERLY LINE OF SURVEYED PROPERTY.
- A FENCE CROSSES OVER THE EASTERLY LINE OF SURVEYED PROPERTY.
- A BUILDING CROSSES OVER THE NORTHERLY LINE OF SURVEYED PROPERTY.



**KENILWORTH AVENUE (100')**  
(FORMERLY KELLOGG AVENUE)

**WEST 14TH STREET (60')**  
(FORMERLY JENNINGS AVENUE)

**WEST 10TH STREET (82')**  
(FORMERLY PARK AVENUE)

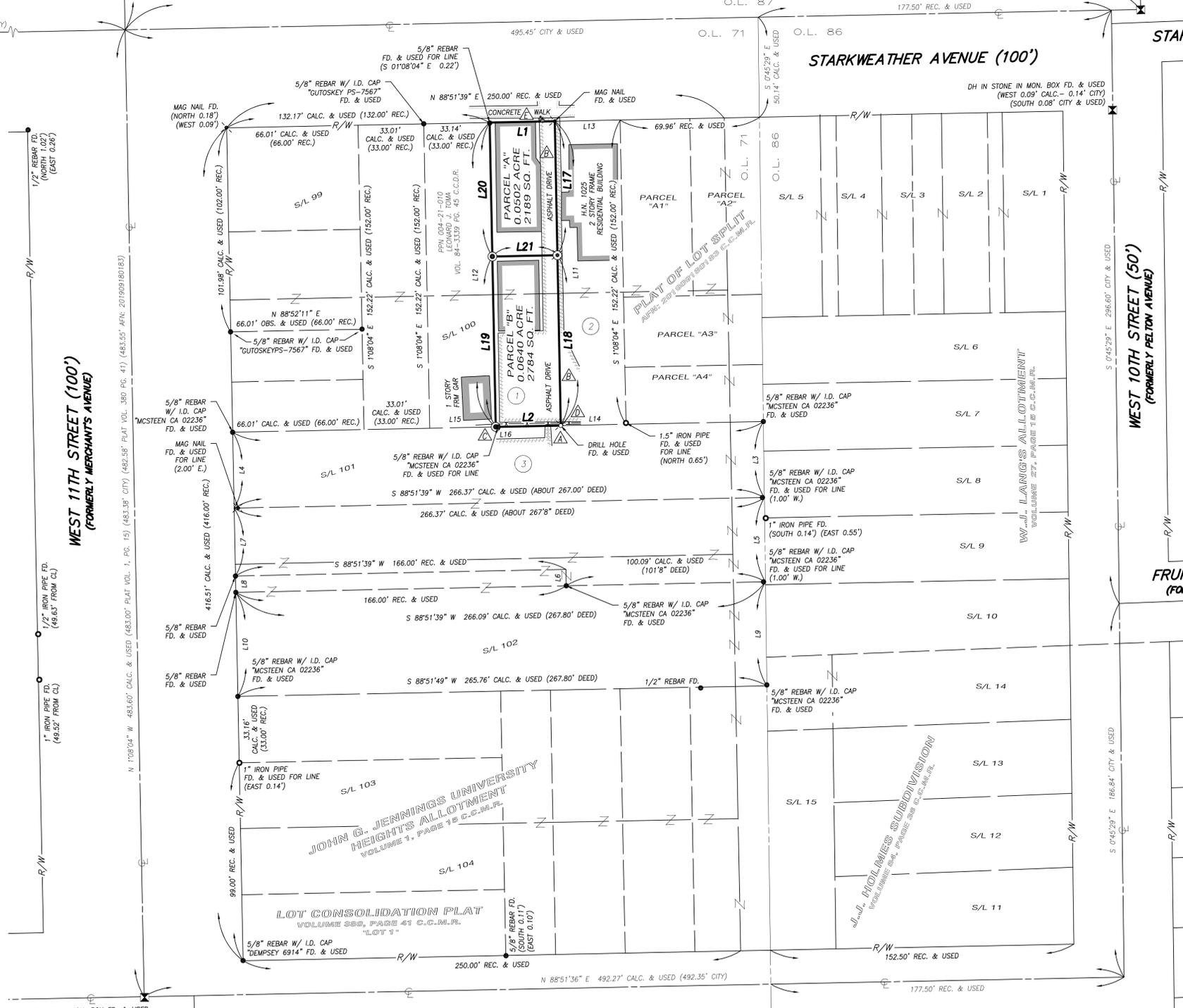
**STARKWEATHER AVENUE (100')**

**STARKWEATHER AVENUE (40')**  
(FORMERLY KELLOGG ALLEY)

**FRUIT AVENUE (50')**  
(FORMERLY FERN AVENUE)

**AUBURN AVENUE (66')**

**WEST 11TH STREET (100')**  
(FORMERLY MERCHANTS AVENUE)



**AREA OF SURVEYED PREMISES**  
PARCEL "A" ..... 0.0502 ACRE  
PARCEL "B" ..... 0.0640 ACRE  
TOTAL AREA ..... 0.1142 ACRE

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 88°51'39" E	32.67' REC. & USED
L2	S 88°51'39" W	32.67' REC. & USED
L3	S 00°45'29" E	38.00' REC. & USED
L4	N 01°08'04" W	38.00' REC. & USED
L5	S 00°45'29" E	42.08' CALC. & USED (42.00' REC.)
L6	N 01°08'04" W	8.18' CALC. & USED (8.00' REC.)
L7	N 01°08'04" W	33.97' CALC. & USED (34.00' REC.)
L8	N 01°08'04" W	8.18' CALC. & USED (8.00' REC.)
L9	S 00°45'29" E	52.04' CALC. & USED (52.00' REC.)
L10	N 01°07'43" W	52.04' CALC. & USED (52.00' REC.)
L11	S 1°08'04" E	152.22' CALC. & USED (152.00' REC.)
L12	N 01°08'04" W	152.22' CALC. & USED (152.00' REC.)
L13	N 88°51'39" E	32.82' CALC. & USED (32'10" REC.)
L14	N 88°51'39" E	32.82' CALC. & USED (32'10" REC.)
L15	N 88°51'39" E	33.14' CALC. & USED (33.00' REC.)
L16	N 88°51'39" E	266.62' CALC. & USED (ABOUT 267.00' DEED)
L17	S 1°08'04" E	67.00' CALC. & USED
L18	S 1°08'04" E	85.22' CALC. & USED
L19	N 1°08'04" W	85.22' CALC. & USED
L20	N 1°08'04" W	67.00' CALC. & USED
L21	S 88°51'39" W	32.67' CALC. & USED

**OWNER'S TABLE**

1	PPN 004-21-009 MERCHANT AVENUE LIMITED PARTNERSHIP, AN OHIO LIMITED PARTNERSHIP VOL. 96-1284, PG. 16 C.C.D.R.
2	PPN 004-21-008 1025 STARKWEATHER PROPERTIES, LLC, AN OHIO LIMITED LIABILITY COMPANY APN: 201810110617 C.C.D.R.
3	PPN 004-21-050 MERCHANT AVENUE LIMITED PARTNERSHIP, AN OHIO LIMITED PARTNERSHIP VOL. 94-6149, PG. 39 C.C.D.R. "PARCEL 1" 0.232 ACRE

**DECLARATION OF EASEMENTS, COVENANTS,  
AND RESTRICTIONS**

THIS DECLARATION is made as of the \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_  
by **MERCHANT AVENUE LIMITED PARTNERSHIP**, an Ohio limited partnership, with an  
address of P.O Box 91644 Cleveland, OH 44101-3644 (referred to herein as the “Declarant”).

**RECITALS AND DECLARATION**

- A. **WHEREAS**, the Declarant is the current owner of certain real property consisting of two (2) separate parcels located in Cleveland, Ohio, as further legally described in the attached EXHIBITS “A” and “B” (hereinafter referred to as the “Parcel” or collectively the “Parcels”):
- **Parcel A - PPN:** \_\_\_\_\_ (“Parcel A”)
  - **Parcel B - PPN:** \_\_\_\_\_ (“Parcel B”)
- B. **WHEREAS**, the Parcels will jointly share a certain driveway (the “Driveway”), which area is depicted on the drawings attached as EXHIBIT “C”;
- C. **WHEREAS**, the Declarant desires to create easements and a maintenance agreement for the benefit of all Parcels;
- D. **NOW, THEREFORE**, Declarant, for itself and its successors and assigns and subsequent owners of the Parcels, declares, grants, covenants, and agrees that the Parcels shall be owned, held, transferred, sold, conveyed, used and occupied subject to the following covenants, conditions, restrictions, and easements provided in this Declaration, which shall run with the land and shall be binding on and inure to the benefit of all persons having any right, title or interest in or to any part of the Parcels, and their respective heirs, personal representatives, successors and assigns.

**ARTICLE I.**  
General Terms

- E. **Easements, Covenants, and Restrictions to run with the land.** All easements, restrictions and rights described herein are appurtenant to the Parcels, shall run with said lands, perpetually and at all times shall inure to the benefit of and be binding upon the Declarant, its successors and assigns, and any owner, tenant, occupant, purchaser, mortgagee, or other person having an interest in the Parcels, or any part or portion thereof.
- a. **Instrument Reference.** Reference to the restrictions and rights described in any part of this Declaration, in any deed of conveyance, lease, mortgage, trust deed, declaration for another type of residential association, or other evidence of obligation, shall be sufficient to grant such easements, restrictions and rights to the respective grantees, lessees, mortgagees or trustees of such property, or any portion thereof as fully and completely as though such easements, restrictions, and rights were recited fully as set forth in their entirety in such document.
- F. **No Merger of Title.** Declarant hereby agrees, for itself and its successors and assigns, and any subsequent owners of the Parcels, that title to the fee simple estates and any easements created herein shall not be merged by reason of the same person or entity acquiring, owning, or holding title to both, whether presently or in the future.
- G. **Severability.** If any term or provision of this Declaration or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Declaration shall not be affected thereby, and each term and provision of this Declaration shall be valid and enforceable to the fullest extent permitted by law.
- H. **Mortgages.** Any mortgages encumbering all or any portion of the Parcels shall at all times be subordinate to the terms of this Declaration and any party foreclosing any such mortgage, or acquiring title by deed in lieu of foreclosure or trustee's sale, shall acquire title subject to all of the terms and provisions of this Declaration.

**ARTICLE II.**  
Easements

- I. **Shared Driveway Easement.** The Declarant and subsequent owner(s) of Parcel A hereby agree, grant and convey a non-exclusive Easement to the owner(s) of Parcel B for the Driveway in order to ingress and egress to Starkweather Avenue (the "Easement").
- J. **Utility Easement.** The Declarant and subsequent owner(s) of all Parcels agree, grant, and convey a reciprocal non-exclusive perpetual utility easement which is granted on, over, through, across, and under the Easement Area and all Parcels for purposes of installing, operating, using, repairing, maintaining, and replacing any utility lines, wires, cables, pipes, equipment and related utility facilities, including but not limited to, electric, gas, sewer, telephone, communications, cable and water utility facilities.

- K. **Purpose of Easement.** The Parcel owners are authorized to use said Easement for any lawful purpose related to the existence, use and maintenance of the Driveway consistent with the within Grant of Easement, including but not limited to, vehicular and pedestrian ingress and egress to Starkweather Avenue by non-commercial and commercial vehicles, for the benefit of themselves, their heirs, assigns, agents, employees, tenants, visitors, invitees and licensees, and all persons using the same for the benefit of said named persons. The Parcel owners shall be restricted to parking on their own respective Parcels and no easement rights are granted with respect to parking.
- L. **Destruction or Relocation.** Should the Driveway be destroyed or otherwise relocated, then this Easement shall terminate and be of no further force and effect.
- M. **Reserved Rights.** All Parcel owners reserve the right to use and enjoy their respective property portions affected by the Easement(s) for any and all purposes, provided such use and enjoyment shall not materially interfere with the easement rights and privileges granted herein.
- N. **Emergency/Service Easement.** A non-exclusive easement is granted to all utility providers and the City including all police, fire, and other emergency personnel, ambulance operators, delivery, garbage and trash removal personnel, and to the local governmental authorities, to enter upon the Parcels and Easement areas in the performance of their duties.

### ARTICLE III.

#### Restrictions & Maintenance Covenants

- O. **Shared Maintenance.** All Parcel owners covenant and agree that they shall be jointly and equally responsible for, and shall perform the necessary maintenance and upkeep of the Driveway and Easement area (including but not limited to, snowplowing and asphalt/resurfacing services), and further agree to equally share/split the cost(s) of any necessary repair and/or maintenance of the Driveway and Easement area.
- P. **Restrictions on Use.** The Parcel owners agree to keep the Driveway and Driveway Easement area unobstructed and to not block the access opening of the Driveway. No Parcel owner shall erect any building, fence or other improvement in the Driveway Easement area which interferes with the construction, operation and maintenance of said Driveway and easement rights granted herein. No Parcel owner shall use or permit any other persons to use the Driveway in any manner which would impair its operation and maintenance, constitute a nuisance, hazard or unsanitary condition or be in violation of any local, state, or federal law, ordinance, rule, regulation or statute.

- Q. **Workmanlike Manner.** All work done in connection with the installation, maintenance or repair of the Driveway shall be performed in an expeditious and workmanlike manner.
- R. **Insurance.** Each Parcel owner shall obtain and maintain general liability insurance including public liability and property damage in commercially reasonable amounts.
- S. **Default.** In the event that any Parcel owner fails to perform any provision in accordance with the requirements set forth herein, within ten (10) days following written notice thereof, the other Parcel owner(s) (the "Non-Defaulting Party") shall have the right, but not the obligation, to enter upon such other Parcel and perform said maintenance, repair or replacement for the account of the non performing party (the "Defaulting Party").
- a. The foregoing right to cure shall not be exercised if within ten (10) day notice (i) the Defaulting Party cures the default, or (ii) if the default is curable, but cannot reasonably be cured within that time period, the Defaulting Party begins to cure such default within such time period and thereafter diligently pursues such cure to completion.
  - b. The ten (10) day notice period shall not be required if, using reasonable judgment, the Non-Defaulting Party deems that an emergency exists. In the event of such an emergency, the Non-Defaulting Party shall give notice reasonable under the circumstances to the Defaulting Party.
  - c. Within ten (10) days following written demand, including copies of paid invoice, the Defaulting Party shall reimburse the Non-Defaulting Party any sum reasonably expended by the Non-Defaulting Party to cure the default. If such amounts are not paid within thirty (30) days of billing, then such amounts shall accrue interest until paid, and the Defaulting Party shall be responsible for reasonable attorneys' fees and costs in the enforcement and collection thereof.
  - d. Parcel owners shall also have the right to restrain by injunction any violation or threatened violation by the other party hereto of any of the terms, covenants, or conditions hereof, or to obtain a decree to compel performance if any such term, covenant, or condition is not adequate. All remedies are cumulative and shall be deemed additional to any and all other remedies to which any Parcel owner or permittee may have at law or in equity.
- T. **Lien.** In the event a lien is filed against all or any portion of the Parcels in connection with any maintenance obligations, the lien must be bonded, satisfied or removed by the Parcel owner responsible for said maintenance obligations within thirty (30) days following the filing thereof.





EXHIBIT "A"

File No. 22-046  
June 10, 2022

**LEGAL DESCRIPTION**  
**Parcel "A"**  
**Cleveland, OH**

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 71, part of Sublot Number 99 in the John G. Jennings University Heights Allotment, as recorded in Plat Volume 1, Page 15 of Cuyahoga County Map Records, and part of a parcel of land known as Cuyahoga County Permanent Parcel Number 004-21-009, now or formerly owned by Merchant Avenue Limited Partnership, an Ohio Limited Partnership, as recorded in Volume 96-1284, Page 16 of Cuyahoga County Deed Records, now being further known as **Parcel "A"** in the Lot Split Survey for Merchant Avenue LTD. as recorded in \_\_\_\_\_ of Cuyahoga County Map Records, containing **0.0502 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in June 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-046.



**EXHIBIT "B"**

File No. 22-046  
June 10, 2022

**LEGAL DESCRIPTION**  
**Parcel "B"**  
**Cleveland, OH**

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 71, part of Sublot Numbers 99 and 100 in the John G. Jennings University Heights Allotment, as recorded in Plat Volume 1, Page 15 of Cuyahoga County Map Records, and part of a parcel of land known as Cuyahoga County Permanent Parcel Number 004-21-009, now or formerly owned by Merchant Avenue Limited Partnership, an Ohio Limited Partnership, as recorded in Volume 96-1284, Page 16 of Cuyahoga County Deed Records, now being further known as **Parcel "B"** in the Lot Split Survey for Merchant Avenue LTD. as recorded in \_\_\_\_\_ of Cuyahoga County Map Records, containing **0.0640 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in June 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-046.

# Cleveland City Planning Commission

## Staff Report

---



February 17, 2023

# Lot Consolidation / Split

---

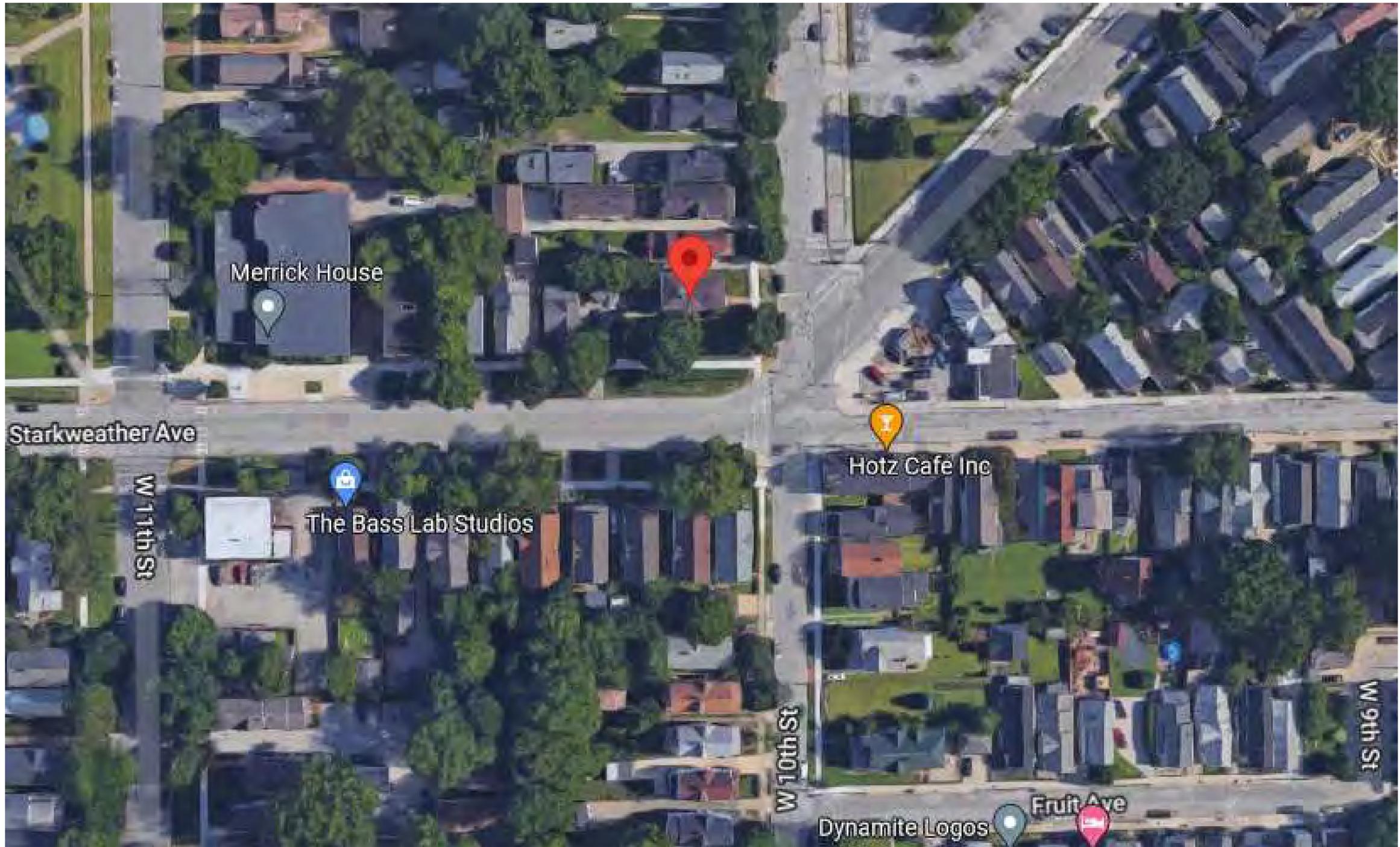


February 17, 2023

**For PPN# 004-13-017**

**Address: 2504 West 10<sup>th</sup> Street**

Representative: Michael Wellman, Meld Architects



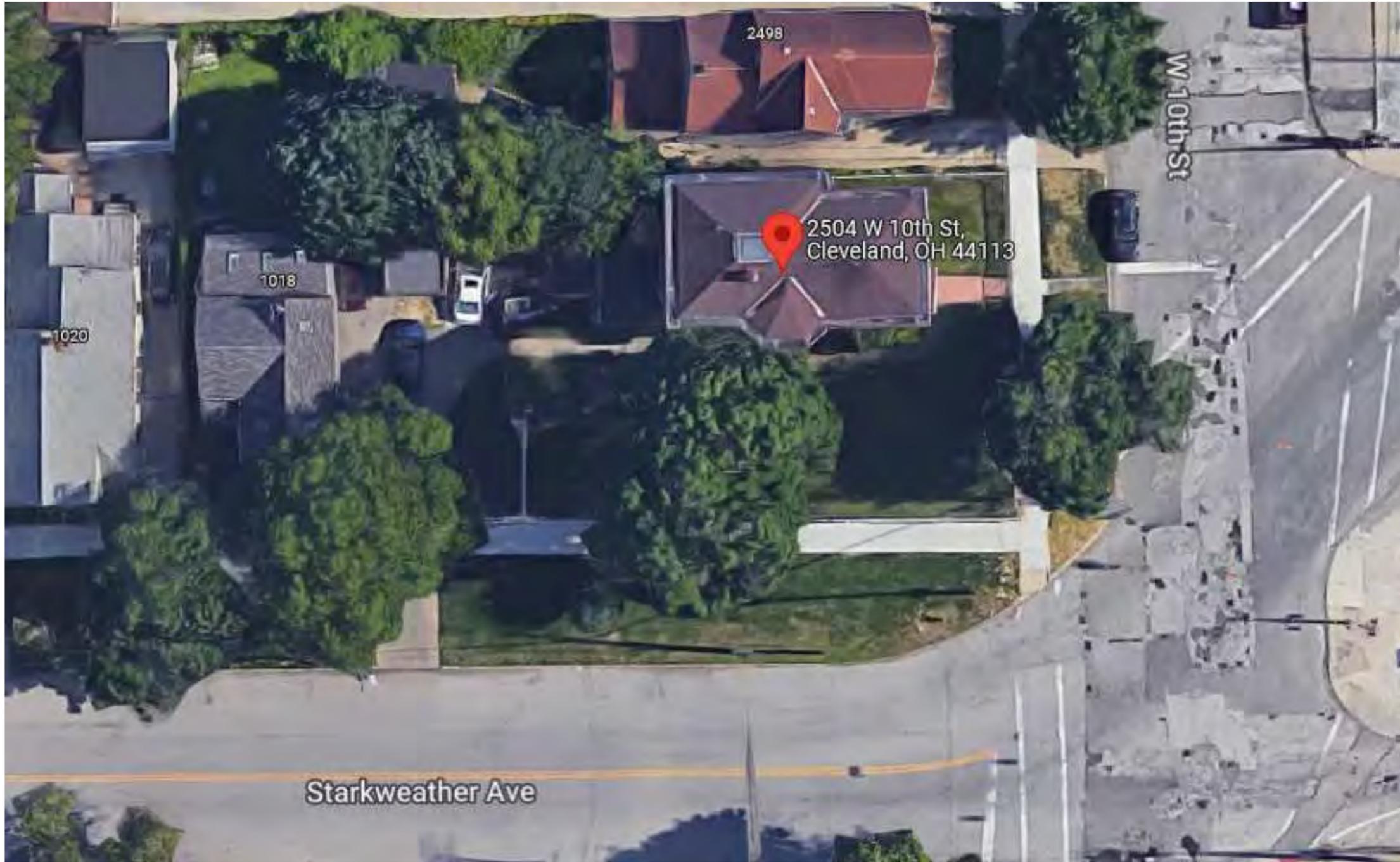
2504 WEST 10TH STREET - AERIAL VIEW 1



Property Lot Split

January 9, 2023





2504 WEST 10TH STREET - AERIAL VIEW 2



Property Lot Split

January 9, 2023





EXISTING CONDITIONS - 2540 W. 10th STREET

Property Lot Split  
David Perkowski

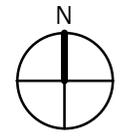
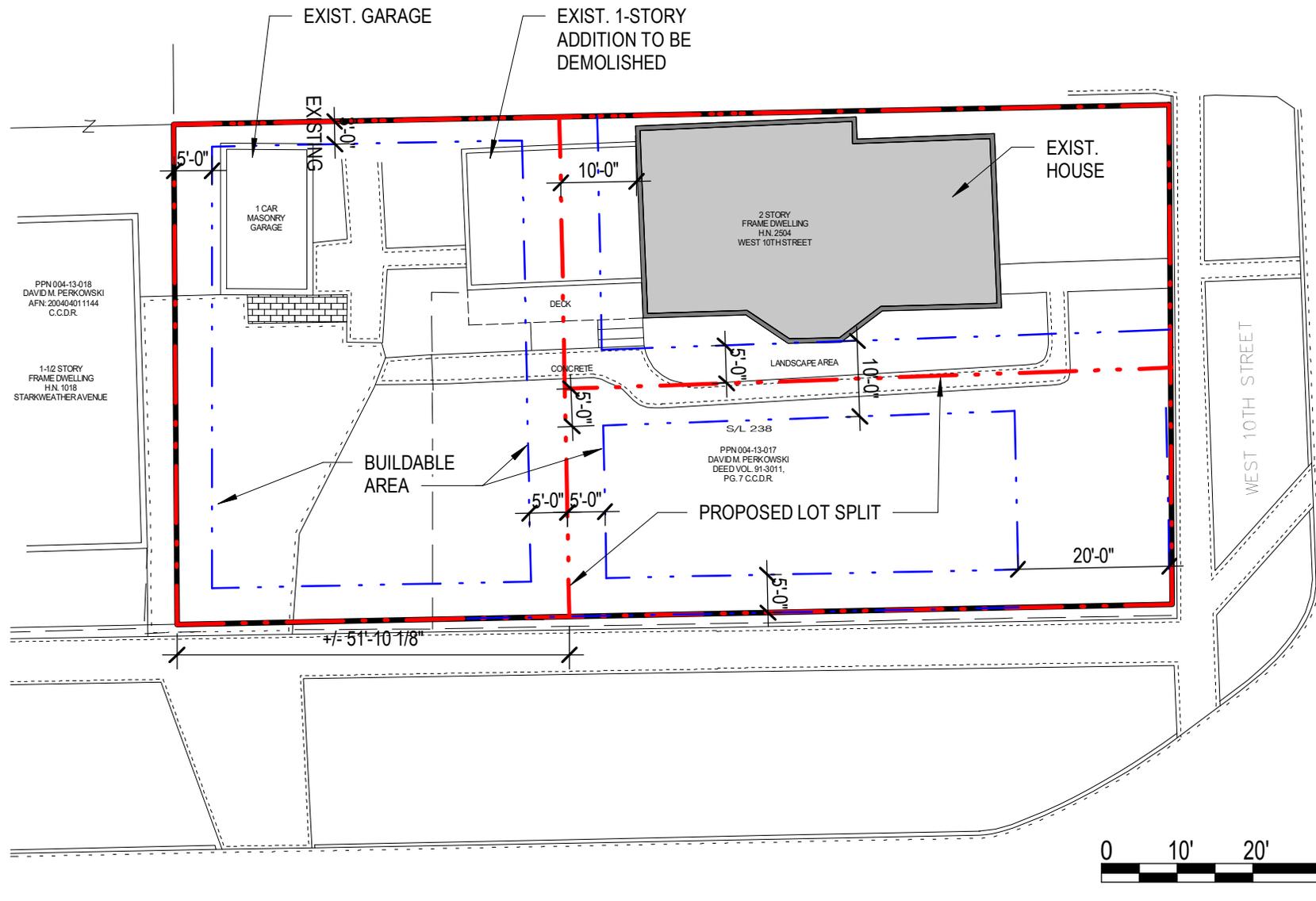
FRONT VIEWS LOOKING NORTHEAST, NORTHWEST

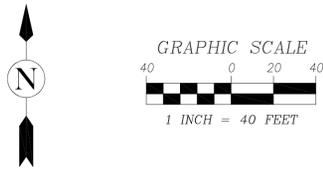
January 9, 2023



**2504 West 10th**  
**Property Lot Split**  
**David Perkowski**

January 9, 2023





**LOT SPLIT**  
FOR  
**2504 WEST 10TH STREET**

KNOWN AS BEING PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NO. 87, RANGE 7, TOWNSHIP 13 OF THE CONNECTICUT WESTERN RESERVE, AND BEING PART OF SUBLT NO. 238 IN THE PELTON AND JENNINGS ALLOTMENT AS RECORDED IN PLAT VOLUME 2, PAGE 10 CUYAHOGA COUNTY MAP RECORDS, NOW SITUATED IN THE

**CITY OF CLEVELAND**  
**COUNTY OF CUYAHOGA - STATE OF OHIO**

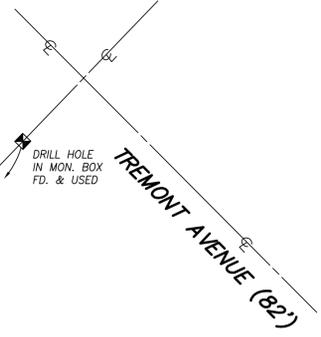
**McSteen**  
LAND SURVEYORS  
1415 East 286th Street Wickliffe, OH 44092  
Phone: 440.585.9800 www.mcsteen.com

THIS SURVEY IS A BOUNDARY SURVEY PREPARED IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL IRON PINS SHOWN AS SET ARE 30" LONG 5/8" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN CA 02236".



*Matthew A. Hildebrandt*  
MATTHEW A. HILDEBRANDT REG. PROF. SURV. No. 8817

Job No.: 22-094  
Field Date: May 13, 2022  
Survey Date: OCTOBER 13, 2022  
REVISED: DECEMBER 6, 2022  
Drawn By: TEE & JWW



**BASIS OF BEARING**  
BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE (3401), NAD83 (2011), 2010.0 EPOCH, AS DERIVED FROM GNSS OBSERVATIONS PER THE O.D.O.T. RTN (REAL-TIME-NETWORK).

**OWNERS ACCEPTANCE**  
I, DAVID M. PERKOWSKI, OWNER OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS LOT SPLIT AS SHOWN HEREON.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**NOTARY PUBLIC**  
COUNTY OF CUYAHOGA  
STATE OF OHIO  
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED DAVID M. PERKOWSKI, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT, AND THAT IT WAS OF HIS FREE ACT AND DEED PERSONALLY. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT \_\_\_\_\_, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**APPROVALS**  
THIS LOT SPLIT PLAT IS HEREBY ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_.

JOYCE PAN HUANG - PLANNING DIRECTOR

THIS LOT SPLIT PLAT IS HEREBY ACCEPTED AND APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_.

RICHARD SWITALSKI - PLATTING COMMISSIONER

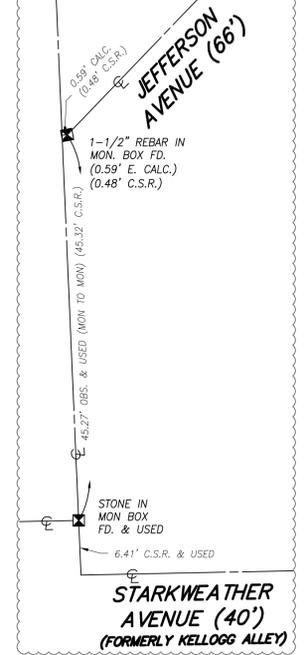
**SURVEY REFERENCES**

- CITY OF CLEVELAND SURVEY RECORDS  
BOOK 34, PAGE 84-96  
BOOK 51, PAGE 24  
BOOK 55, PAGE 54  
BOOK 73, PAGE 29  
BOOK 95, PAGE 126-132  
BOOK 112, PAGE 134-139  
BOOK 116, PAGE 56  
BOOK 120, PAGE 42
- "PELTON AND JENNINGS ALLOTMENT" RECORDED IN PLAT VOLUME 2, PAGE 10 C.C.M.R.
- "B. PELTON, TRUSTEE ALLOTMENT" RECORDED IN PLAT VOLUME 2, PAGE 18 C.C.M.R.
- "JOHN G. JENNINGS UNIVERSITY HEIGHTS SUBDIVISION" RECORDED IN PLAT VOLUME 1, PAGE 15 C.C.M.R.
- "LOT SPLIT AND CONSOLIDATION MADE AT THE INSTANCE OF MCM COMPANY, INC." RECORDED IN PLAT VOLUME 377, PAGE 48 C.C.M.R.
- "LOT SPLIT AND CONSOLIDATION PLAT" RECORDED IN PLAT VOLUME 318, PAGE 90 C.C.M.R.
- "PLAT OF LOT SPLIT OF 1019 STARKWEATHER AVENUE" RECORDED IN PLAT AFN 201909180183 C.C.M.R.
- "BOUNDARY SURVEY FOR MODERN SMART HOMES, LLC" PERFORMED BY MATTHEW A. HILDEBRANDT P.S. 8817 ON BEHALF OF MCSTEEN LAND SURVEYS UNDER JOB NO. 21-183, DATED AUGUST 2021.

**LEGEND**

- DRILL HOLE FOUND AS NOTED
- REBAR FOUND AS NOTED
- ⊙ 5/8" DIAMETER X 30" LONG REBAR WITH "MCSTEEN CA 02236" ID CAP SET
- ✕ MAG NAIL FOUND AS NOTED
- ⊠ MAG NAIL SET
- ⊞ MONUMENT BOX FOUND AS NOTED
- PIPE FOUND AS NOTED
- ⊕ CENTERLINE
- R/W RIGHT-OF-WAY
- CALC. CALCULATED DISTANCE OR ANGLE
- REC. RECORD DISTANCE OR ANGLE
- FD. FOUND
- MON. MONUMENT
- C.C.M.R. CUYAHOGA COUNTY MAP RECORDS
- C.C.D.R. CUYAHOGA COUNTY DEED RECORDS
- C.S.R. CLEVELAND SURVEY RECORDS

**DETAIL A**



**STARKWEATHER AVENUE (40')**  
(FORMERLY KELLOGG ALLEY)

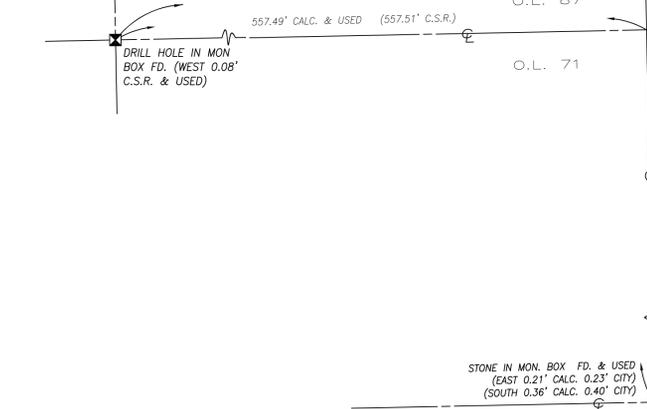
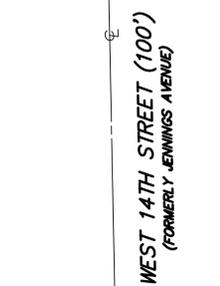
LINE	BEARING	DISTANCE
L1	S 88°51'58" W	79.21' CALC. & USED
L2	S 88°51'58" W	52.38' CALC. & USED
L3	N 01°08'04" W	65.89' CALC. & USED (66.00' REC.)
L4	N 88°52'11" E	52.38' CALC. & USED
L5	N 88°52'11" E	77.67' CALC. & USED
L6	S 02°28'37" E	36.28' CALC. & USED
L7	S 02°28'37" E	29.62' CALC. & USED
L8	N 88°51'58" E	78.52' CALC. & USED
L9	S 01°08'04" E	65.88' CALC. & USED
L10	S 01°08'04" E	29.60' CALC. & USED
L11	S 01°08'04" E	36.28' CALC. & USED
L12	S 02°28'37" E	65.90' CALC. & USED (66.00' REC.)
L13	N 01°08'04" W	96.00' REC. & USED
L14	S 88°51'58" W	31.10' CALC. & USED (31.00' REC.)
L15	N 01°08'04" W	96.00' REC. & USED
L16	S 88°51'58" W	31.10' CALC. & USED (31.00' REC.)
L17	S 01°08'04" E	30.11' CALC. & USED (30.00' REC.)
L18	N 02°28'37" W	30.13' CALC. & USED (30.00' REC.)
L19	N 88°51'58" E	129.37' CALC. & USED (129.00' REC.)

**OWNERS TABLE**

01	PPN 004-13-017 DAVID M. PERKOWSKI DEED VOL. 91-3011, PAGE 7 C.C.D.R.
02	PPN 004-13-018 CHADWICK RYAN PARKS AFN 202204260625 C.C.D.R.
03	PPN 004-13-016 DANIEL R. RENDEL & GREGORY R. MORRIS AFN 201212210458 C.C.D.R.

**AREA OF SURVEYED PREMISES**

PARCEL "A"	0.0650 ACRES (2,833 SQ. FT.)
PARCEL "B"	0.0536 ACRES (2,335 SQ. FT.)
PARCEL "C"	0.0792 ACRES (3,451 SQ. FT.)



STONE IN MON. BOX FD. & USED (EAST 0.21' CALC. 0.23' CITY) (SOUTH 0.36' CALC. 0.40' CITY)

**DECLARATION OF EASEMENTS, COVENANTS,  
AND RESTRICTIONS**

**THIS DECLARATION** is made as of the \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_  
by **David M. Perkowski**, with an address of 2504 W 10 St, Cleveland, OH 44113 (referred to herein  
as the "Declarant").

**RECITALS AND DECLARATION**

- A. **WHEREAS**, the Declarant is the current owner of certain real property consisting of three (3) separate parcels located in Cleveland, Ohio, as further legally described in the attached EXHIBITS "A", "B", and "C" (hereinafter referred to as the "Parcel" or collectively the "Parcels"):
- **Parcel A - PPN:** \_\_\_\_\_ ("Parcel A")
  - **Parcel B - PPN:** \_\_\_\_\_ ("Parcel B")
  - **Parcel C - PPN:** \_\_\_\_\_ ("Parcel C")
- B. **WHEREAS**, Parcels A and B require ingress/egress and access to Starkweather Avenue over Parcel C as depicted on the drawings attached as EXHIBIT "D";
- C. **WHEREAS**, the Declarant desires to create easements and a maintenance agreement for the benefit of all Parcels;
- D. **NOW, THEREFORE**, Declarant, for itself and its successors and assigns and subsequent owners of the Parcels, declares, grants, covenants, and agrees that the Parcels shall be owned, held, transferred, sold, conveyed, used and occupied subject to the following covenants, conditions, restrictions, and easements provided in this Declaration, which shall run with the land and shall be binding on and inure to the benefit of all persons having any right, title or interest in or to any part of the Parcels, and their respective heirs, personal representatives, successors and assigns.

**ARTICLE I.**  
General Terms

- E. **Easements, Covenants, and Restrictions to run with the land.** All easements, restrictions and rights described herein are appurtenant to the Parcels, shall run with said lands, perpetually and at all times shall inure to the benefit of and be binding upon the Declarant, its successors and assigns, and any owner, tenant, occupant, purchaser, mortgagee, or other person having an interest in the Parcels, or any part or portion thereof.
- a. **Instrument Reference.** Reference to the restrictions and rights described in any part of this Declaration, in any deed of conveyance, lease, mortgage, trust deed, declaration for another type of residential association, or other evidence of obligation, shall be sufficient to grant such easements, restrictions and rights to the respective grantees, lessees, mortgagees or trustees of such property, or any portion thereof as fully and completely as though such easements, restrictions, and rights were recited fully as set forth in their entirety in such document.
- F. **No Merger of Title.** Declarant hereby agrees, for itself and its successors and assigns, and any subsequent owners of the Parcels, that title to the fee simple estates and any easements created herein shall not be merged by reason of the same person or entity acquiring, owning, or holding title to both, whether presently or in the future.
- G. **Severability.** If any term or provision of this Declaration or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Declaration shall not be affected thereby, and each term and provision of this Declaration shall be valid and enforceable to the fullest extent permitted by law.
- H. **Mortgages.** Any mortgages encumbering all or any portion of the Parcels shall at all times be subordinate to the terms of this Declaration and any party foreclosing any such mortgage, or acquiring title by deed in lieu of foreclosure or trustee's sale, shall acquire title subject to all of the terms and provisions of this Declaration.

**ARTICLE II.**  
Easements

- I. **Ingress/Egress Easement.** The Declarant and subsequent owner(s) of all Parcels hereby agree, grant and convey a reciprocal non-exclusive Easement to each other for ingress/egress over Parcel C to access Starkweather Avenue as depicted in EXHIBIT "D" (the "Access Easement").
- J. **Utility Easement.** The Declarant and subsequent owner(s) of all Parcels agree, grant, and convey a reciprocal non-exclusive perpetual utility easement (the "Utility Easement") which is granted on, over, through, across, and under all Parcels for purposes of installing, operating, using, repairing, maintaining, and replacing any utility lines, wires, cables,

pipes, equipment and related utility facilities, including but not limited to, electric, gas, sewer, telephone, communications, cable and water utility facilities.

- K. **Purpose of Easement(s).** The Parcel owners are authorized to use the Easements for any lawful purpose consistent with the within Grant of Easement, including but not limited to, vehicular and pedestrian ingress and egress to Starkweather Avenue by non-commercial and commercial vehicles, for the benefit of themselves, their heirs, assigns, agents, employees, tenants, visitors, invitees and licensees, and all persons using the same for the benefit of said named persons.
- L. **Reserved Rights.** All Parcel owners reserve the right to use and enjoy their respective property portions affected by the Easement for any and all purposes, provided such use and enjoyment shall not materially interfere with the easement rights and privileges granted herein.
- M. **Emergency/Service Easement.** A non-exclusive easement is granted to all utility providers and the City including all police, fire, and other emergency personnel, ambulance operators, delivery, garbage and trash removal personnel, and to the local governmental authorities, to enter upon the Parcels and Easement areas in the performance of their duties.

### **ARTICLE III.**

#### Restrictions & Maintenance Covenants

- N. **Shared Maintenance.** All Parcel owners covenant and agree that they shall be jointly and equally responsible for, and shall perform the necessary maintenance and upkeep of the existing driveway located on Parcel C (including but not limited to, snowplowing and asphalt/resurfacing services), and further agree to equally share/split the cost(s) of any necessary repair and/or maintenance of the driveway. Provided, however, so long as Parcels B and C remain vacant, the owner(s) of Parcel A will be solely responsible for all maintenance and upkeep.
- O. **Restrictions on Use.** The Parcel owners agree to keep the existing driveway unobstructed and to not block the access opening of the driveway. No Parcel owner shall erect any building, fence or other improvement in the Easement areas which interferes with the easement rights granted herein. No Parcel owner shall use or permit any other persons to use the driveway in any manner which would impair its operation and maintenance, constitute a nuisance, hazard or unsanitary condition or be in violation of any local, state, or federal law, ordinance, rule, regulation or statute.
- P. **Workmanlike Manner.** All work done in connection with the installation, maintenance or repair of the driveway shall be performed in an expeditious and workmanlike manner.
- Q. **Insurance.** Each Parcel owner shall obtain and maintain general liability insurance including public liability and property damage in commercially reasonable amounts.

- R. **Default.** In the event that any Parcel owner fails to perform any provision in accordance with the requirements set forth herein, within ten (10) days following written notice thereof, the other Parcel owner(s) (the "Non-Defaulting Party") shall have the right, but not the obligation, to enter upon such other Parcel and perform said maintenance, repair or replacement for the account of the non performing party (the "Defaulting Party").
- a. The foregoing right to cure shall not be exercised if within ten (10) day notice (i) the Defaulting Party cures the default, or (ii) if the default is curable, but cannot reasonably be cured within that time period, the Defaulting Party begins to cure such default within such time period and thereafter diligently pursues such cure to completion.
  - b. The ten (10) day notice period shall not be required if, using reasonable judgment, the Non-Defaulting Party deems that an emergency exists. In the event of such an emergency, the Non-Defaulting Party shall give notice reasonable under the circumstances to the Defaulting Party.
  - c. Within ten (10) days following written demand, including copies of paid invoice, the Defaulting Party shall reimburse the Non-Defaulting Party any sum reasonably expended by the Non-Defaulting Party to cure the default. If such amounts are not paid within thirty (30) days of billing, then such amounts shall accrue interest until paid, and the Defaulting Party shall be responsible for reasonable attorneys' fees and costs in the enforcement and collection thereof.
  - d. Parcel owners shall also have the right to restrain by injunction any violation or threatened violation by the other party hereto of any of the terms, covenants, or conditions hereof, or to obtain a decree to compel performance if any such term, covenant, or condition is not adequate. All remedies are cumulative and shall be deemed additional to any and all other remedies to which any Parcel owner or permittee may have at law or in equity.
- S. **Lien.** In the event a lien is filed against all or any portion of the Parcels in connection with any maintenance obligations, the lien must be bonded, satisfied or removed by the Parcel owner responsible for said maintenance obligations within thirty (30) days following the filing thereof.
- T. **Declarant Not Liable.** All Parcel owners expressly agree to hold the Declarant harmless from any and all liability, costs and/or damages arising out of the Driveway and Easement rights described herein.





**EXHIBIT "A"**

File No. 22-094  
August 17, 2022

**LEGAL DESCRIPTION**

**Parcel "A"**  
**West 10<sup>th</sup> Street**  
**Cleveland, OH**

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 87, Range 7, Township 13 of the Connecticut Western Reserve, and being part of Sublot No. 238 in the Pelton and Jennings Allotment as recorded in Plat Volume 2, Page 10 Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by David M. Perkowski as recorded in Deed Volume 91-3011, Page 7 of Cuyahoga County Deed Records, now being further known as **Parcel "A"** in the Lot Split for 2504 West 10<sup>th</sup> Street as recorded in \_\_\_\_\_ of Cuyahoga County Map Records, containing **0.065 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in May 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-094



**EXHIBIT "B"**

File No. 22-094  
August 17, 2022

**LEGAL DESCRIPTION**

**Parcel "B"**  
**West 10<sup>th</sup> Street**  
**Cleveland, OH**

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 87, Range 7, Township 13 of the Connecticut Western Reserve, and being part of Sublot No. 238 in the Pelton and Jennings Allotment as recorded in Plat Volume 2, Page 10 Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by David M. Perkowski as recorded in Deed Volume 91-3011, Page 7 of Cuyahoga County Deed Records, now being further known as **Parcel "B"** in the Lot Split for 2504 West 10<sup>th</sup> Street as recorded in \_\_\_\_\_ of Cuyahoga County Map Records, containing **0.0536 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in May 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-094



EXHIBIT "C"

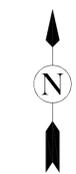
File No. 22-094  
August 17, 2022

**LEGAL DESCRIPTION**  
**Parcel "C"**  
**Starkweather Avenue**  
**Cleveland, OH**

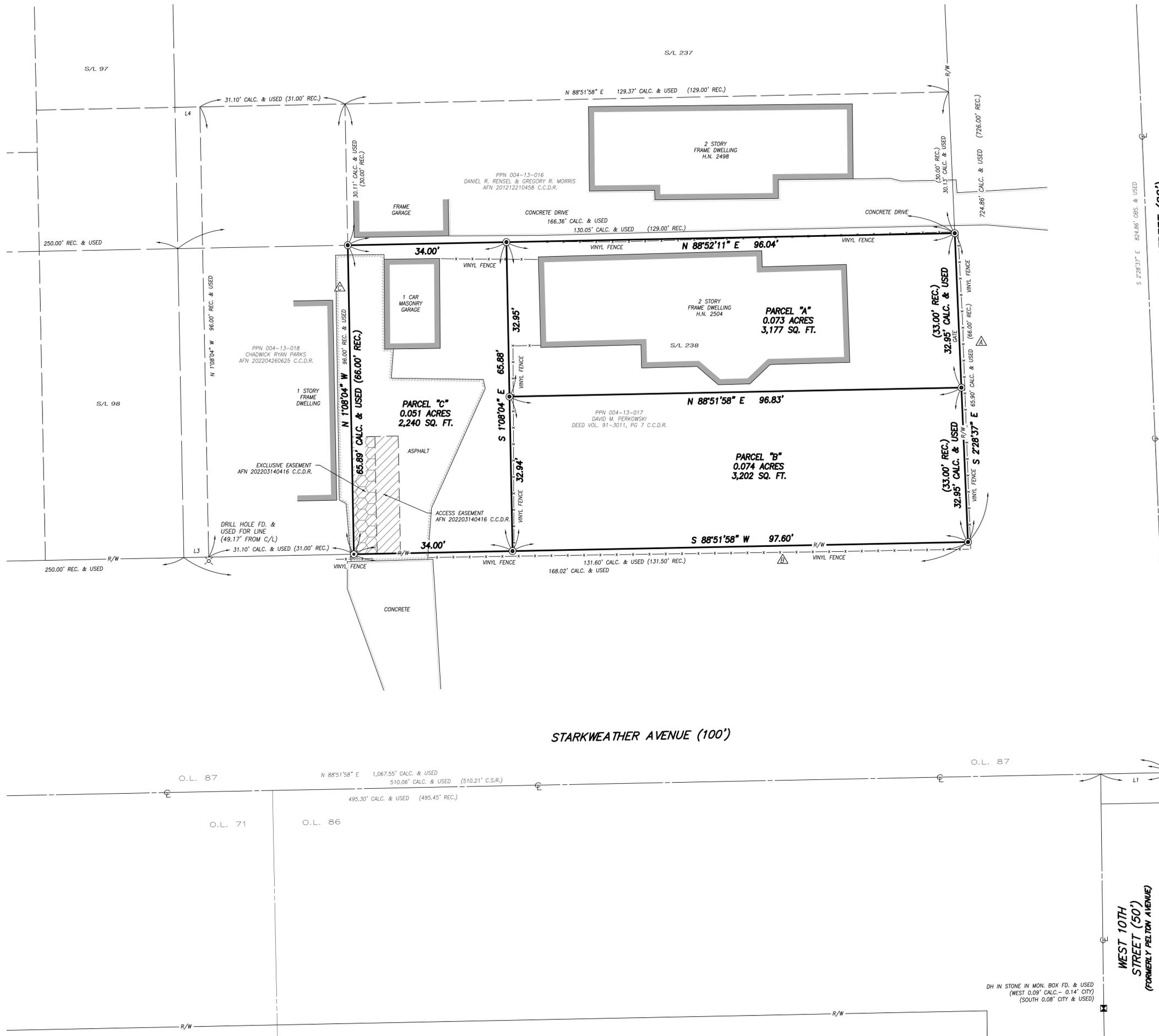
Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, being part of Original Brooklyn Township Lot No. 87, Range 7, Township 13 of the Connecticut Western Reserve, and being part of Sublot No. 238 in the Pelton and Jennings Allotment as recorded in Plat Volume 2, Page 10 Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by David M. Perkowski as recorded in Deed Volume 91-3011, Page 7 of Cuyahoga County Deed Records, now being further known as **Parcel "C"** in the Lot Split for 2504 West 10<sup>th</sup> Street as recorded in \_\_\_\_\_ of Cuyahoga County Map Records, containing **0.0792 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in May 2022 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 22-094

**INDEX OF SHEETS**

SHEET 1: OVERALL BOUNDARY SURVEY  
SHEET 2: BOUNDARY DETAIL OF SURVEYED PROPERTY



**BASIS OF BEARING**  
BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE (5401), NAD83 (2011), 2010.0 EPOCH, AS DERIVED FROM GNSS OBSERVATIONS PER THE O.D.O.T. RTN (REAL-TIME-NETWORK).



**LEGEND**

- x—x—x— FENCE LINE
- CONCRETE
- ASPHALT
- ⊗ DRILL HOLE FOUND AS NOTED
- REBAR FOUND AS NOTED
- ⊙ 5/8" DIAMETER X 30" LONG REBAR WITH "MCSTEEN CA 02236" ID CAP SET
- ⊗ MAG NAIL FOUND AS NOTED
- ⊙ MAG NAIL SET
- ⊗ MONUMENT BOX FOUND AS NOTED
- ⊙ PIPE FOUND AS NOTED
- ⊙ CENTERLINE
- R/W RIGHT-OF-WAY
- CALC. CALCULATED DISTANCE OR ANGLE
- REC. RECORD DISTANCE OR ANGLE
- FD. FOUND
- MON. MONUMENT
- C.C.M.R. CUYAHOGA COUNTY MAP RECORDS
- C.C.D.R. CUYAHOGA COUNTY DEED RECORDS
- C.S.R. CLEVELAND SURVEY RECORDS
- EXCLUSIVE EASEMENT AFN 202203140416 C.C.D.R.
- ACCESS EASEMENT AFN 202203140416 C.C.D.R.

**SIGNIFICANT OBSERVATIONS**

- ⚠ VINYL FENCE EXTENDS INTO WEST 10TH STREET RIGHT-OF-WAY.
- ⚠ VINYL FENCE EXTENDS INTO STARKWEATHER AVENUE RIGHT-OF-WAY.
- ⚠ ASPHALT EXTENDS OVER WESTERLY LINE.

**LINE DATA**

LINE	BEARING	DISTANCE
L1	N 88°51'58" E	14.76' C.S.R. & USED
L2	S 02°28'37" E	6.41' C.S.R. & USED
L3	N 88°51'58" E	5.32' CALC. & USED (5.00' REC.)
L4	S 88°51'58" W	5.32' CALC. & USED (5.00' REC.)

DH IN STONE IN MON. BOX FD. & USED (WEST 0.09' CALC. - 0.14' CITY) (SOUTH 0.08' CITY & USED)

EXHIBIT "D"

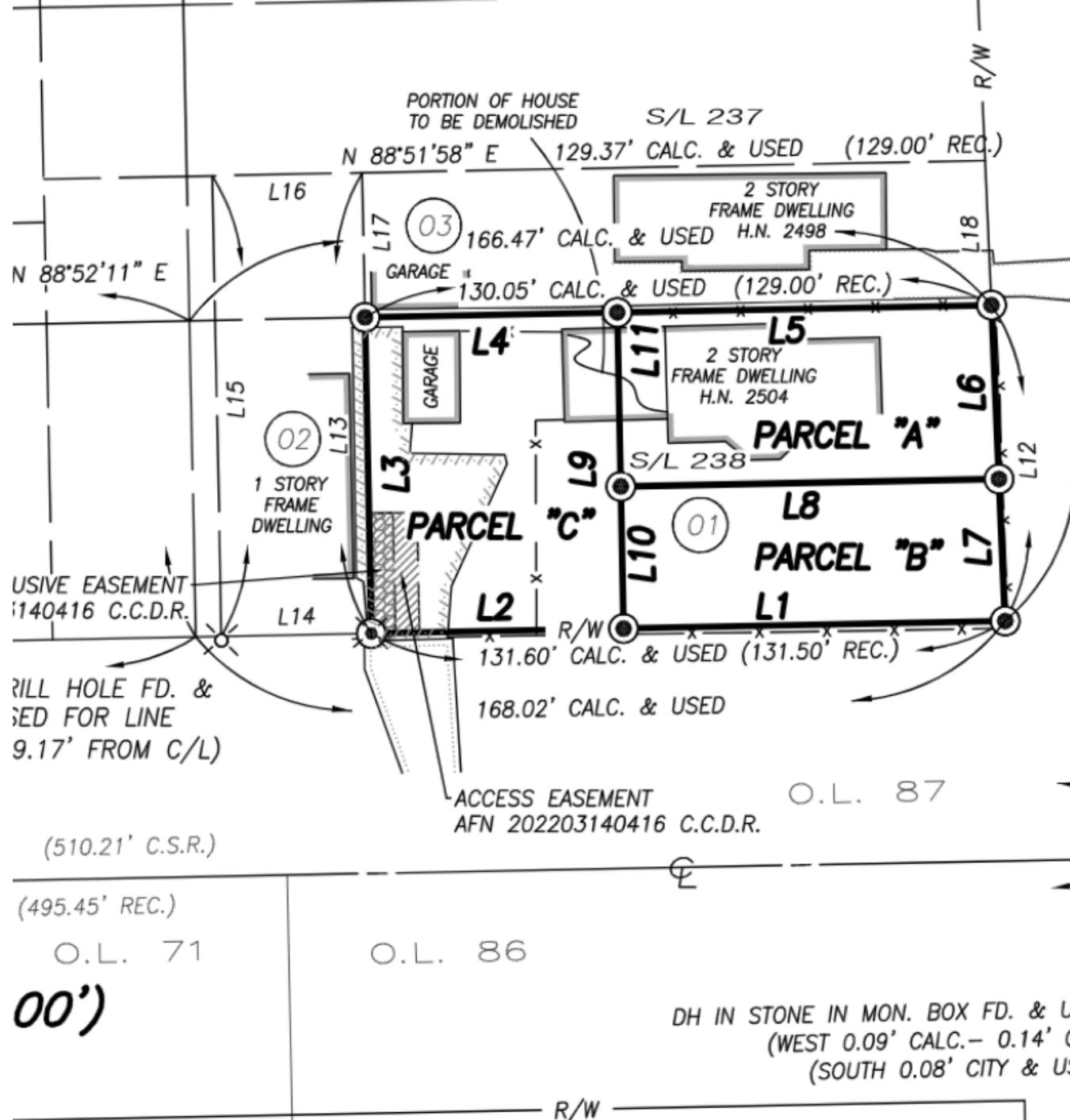
# Cleveland City Planning Commission

## Staff Report

---

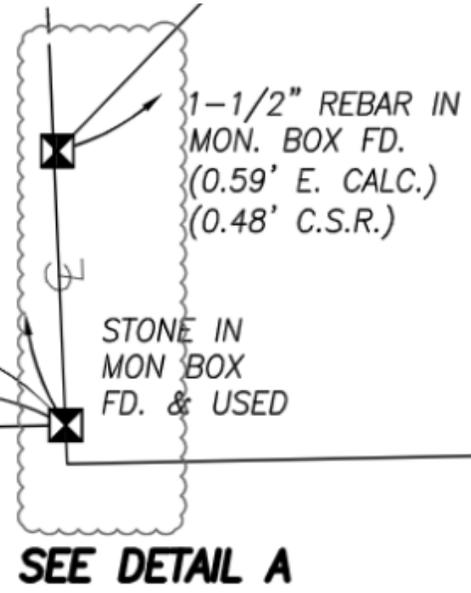


February 17, 2023



**AREA OF SURVEYED PREMISES**

PARCEL "A" .....	0.0650 ACRES (2,833 SQ. FT.)
PARCEL "B" .....	0.0536 ACRES (2,335 SQ. FT.)
PARCEL "C" .....	0.0792 ACRES (3,451 SQ. FT.)

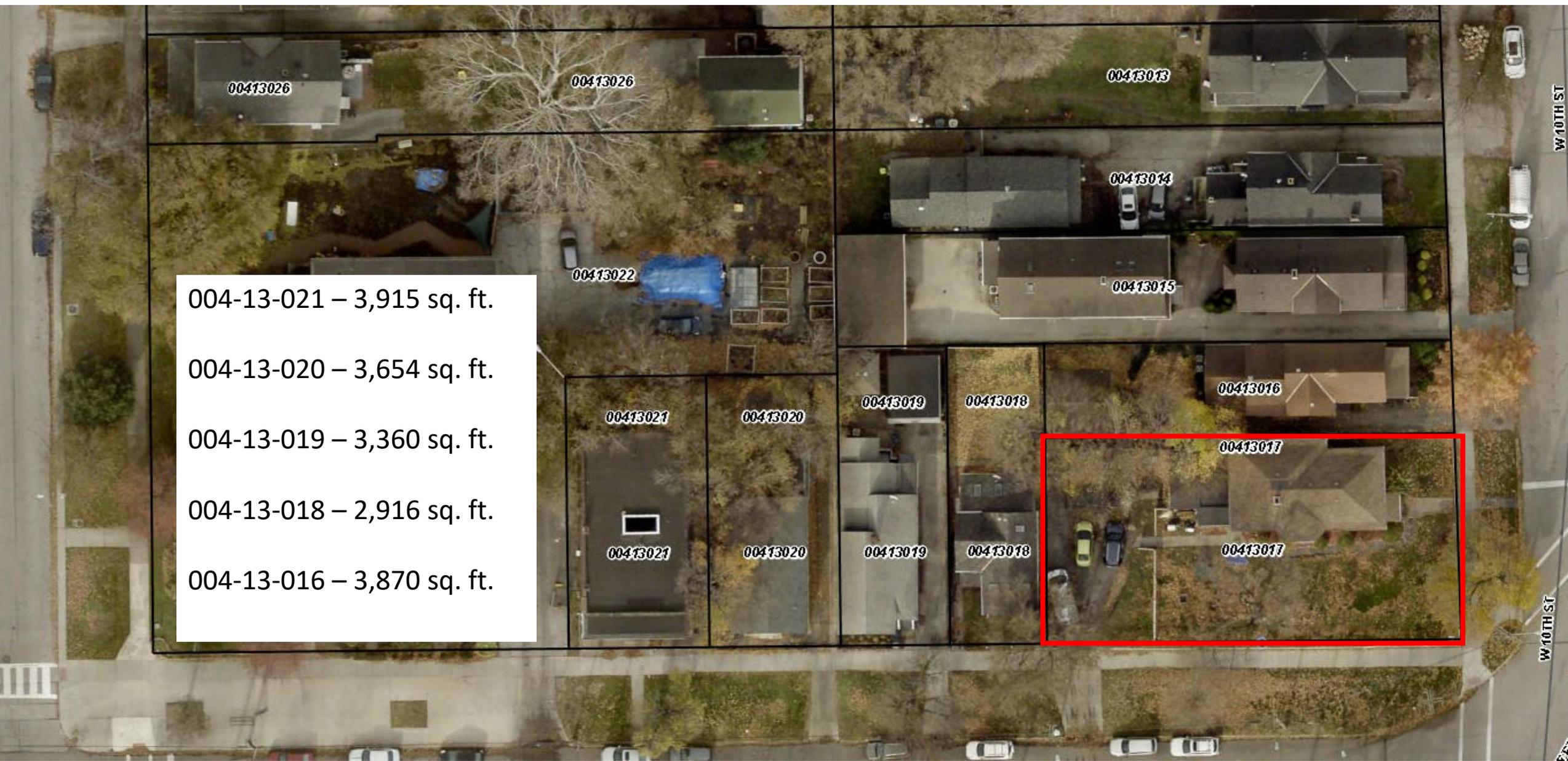


DH IN STONE IN MON. BOX FD. & USED  
 (WEST 0.09' CALC. - 0.14' CITY)  
 (SOUTH 0.08' CITY & USED)

# Criteria for “substandard” lot split approval (§309.26)

- CPC determines that the resulting lots will be similar in area and width to lots which are common in the immediate vicinity, and
- CPC determines that such lots can be developed in a manner which will not be detrimental to the public health, safety and welfare.

004-13-021 – 3,915 sq. ft.  
004-13-020 – 3,654 sq. ft.  
004-13-019 – 3,360 sq. ft.  
004-13-018 – 2,916 sq. ft.  
004-13-016 – 3,870 sq. ft.



# Key Concerns for a Suitable Development

- Due to the size and shape of Parcel “B”, it does not appear a garage could be successfully placed on the site without a variance
  - Detached garages: 18” from the property line, but must be 10’ from any main building on an adjoining lot
  - Attached garages (corner lot <40’ wide): must be located in the rear half of the lot. Any garage door fronting a Side Lot Line and within eighteen (18) feet of a Side Lot Line shall be limited to a maximum of nine (9) feet in width
- Driveway placement for Parcel “B” is problematic due to existing trees and utility poles

← 1007 Starkweather Ave

Cleveland, Ohio

 Google Street View

Sep 2014

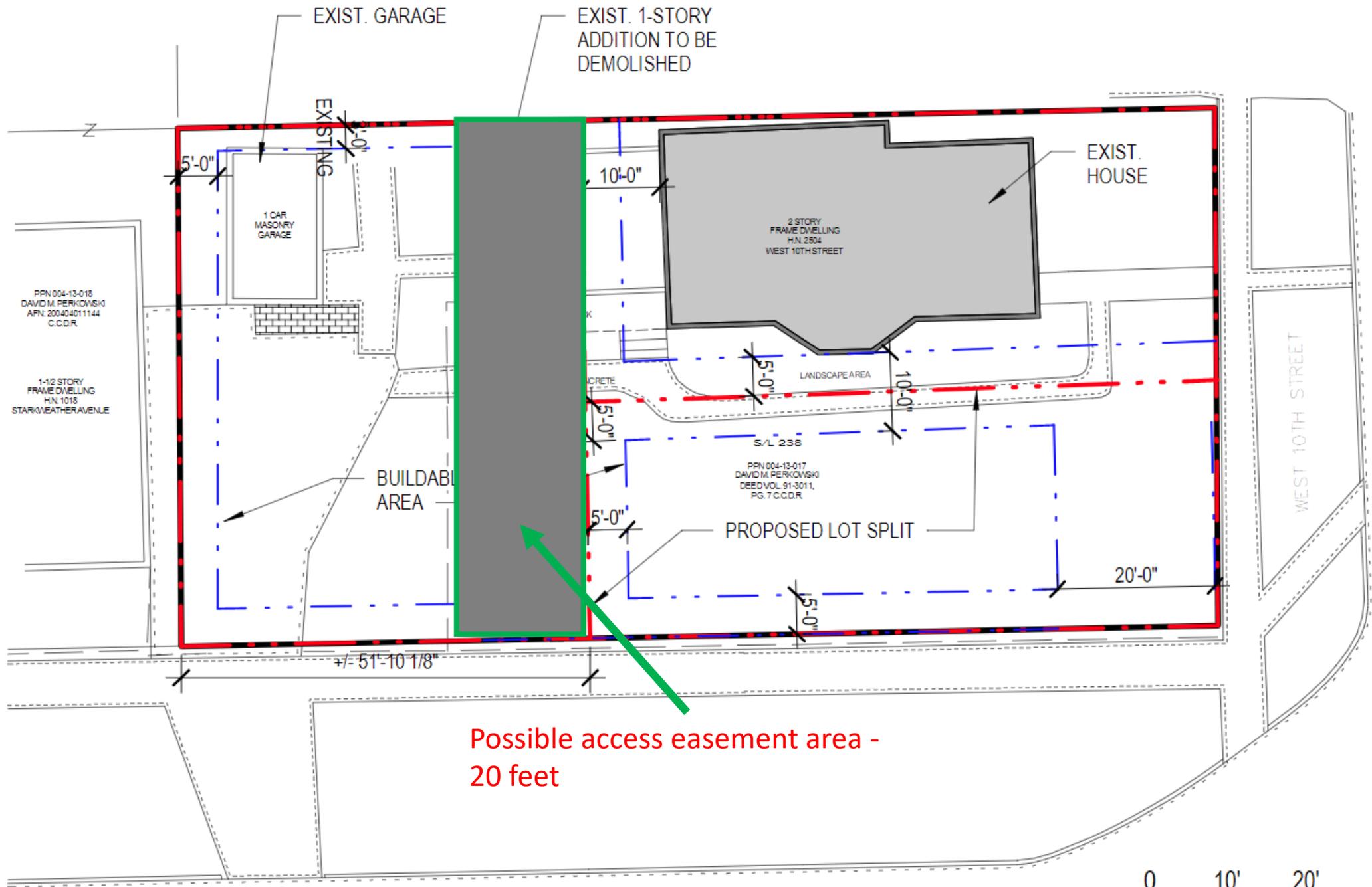
[See more dates](#)



SPEED  
LIMIT  
25



Google



Possible access easement area -  
20 feet

# Staff Recommendation

- Recommend tabling this lot split approval so the applicant can review this information and propose a thorough solution that achieves code-compliant drive access while preserving existing street trees and minimizing curb cuts.

# Cleveland City Planning Commission

## Design Review Cases

---



February 17, 2023



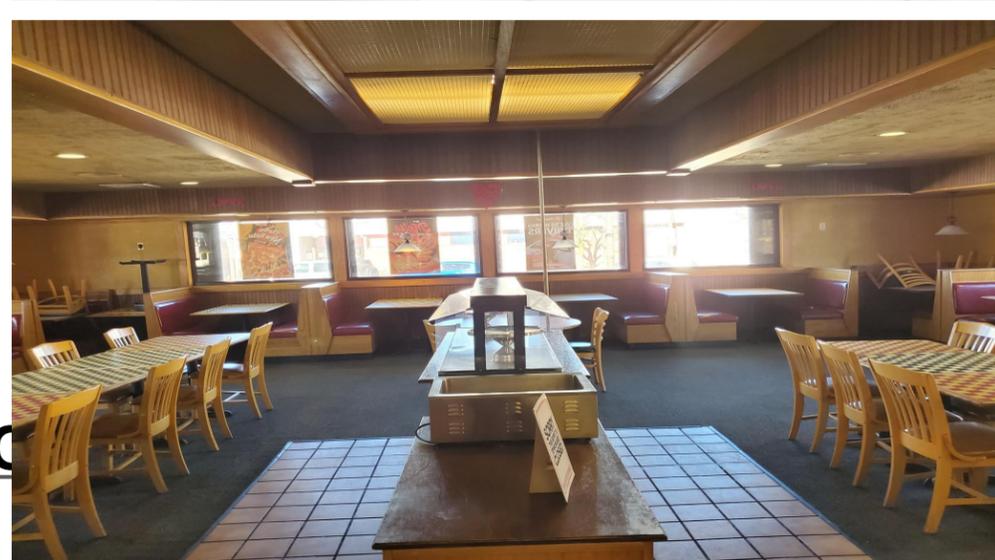
February 17, 2023

**FW2023-003** – Proposed Demolition of a 1-Story Commercial Building:  
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

**Project Address: 1407 West 117<sup>th</sup> Street**

Project Representative: Dave Sambor, Rare Design Studio

**Committee Recommendation:** Unanimously Approved as presented



The Niki Group, LLC

CONCEPTUAL/SCHEMATIC DESIGN  
PROPOSED URGENT CARE CENTER

**RARE DESIGN**  
STUDIO  
RESPONSIVE • ACCOUNTABLE • RELIABLE • EXPERIENCED

RDS #2023001

1407 WEST 117TH ST. CLEVELAND, OHIO 44102

February 10, 2023

# Cleveland City Planning Commission

## Staff Report

---



February 17, 2023



February 17, 2023

**FW2023-002** – West 117<sup>th</sup> Urgent Care New Construction:  
Seeking Schematic Design Approval

**Project Address: 1407 West 117<sup>th</sup> Street**

Project Representative: Dave Sambor, Rare Design Studio

**Committee Recommendation:** Unanimously Approved for Schematic Design with **Conditions:**

- Wrap corner entrance more to “face” Detroit. This can be accomplished by pulling the plantings back and installing seating/benches and/or different pavers to create more of a plaza-like setting.
- Re-evaluate treatment of windows on Detroit and W. 117<sup>th</sup>. The PRO is in place on both streets which speaks to a need for transparent glazing. Installing a hallway or modifying the floor plan to provide for walkways/active use space near the sides of the building is necessary to hold true to this zoning requirement.



- Suggest adding a canopy
- Suggest using different material than EFIS
- Add in southeast area of parking lot to add more landscaped area
- Reconsider far east side perimeter turf; possibly change to gravel
- Add more large trees to landscaping plan

# PROPOSED URGENT CARE

## CITY OF CLEVELAND PLANNING COMMISSION MEETING FEBRUARY 17, 2023

### TABLE OF CONTENTS

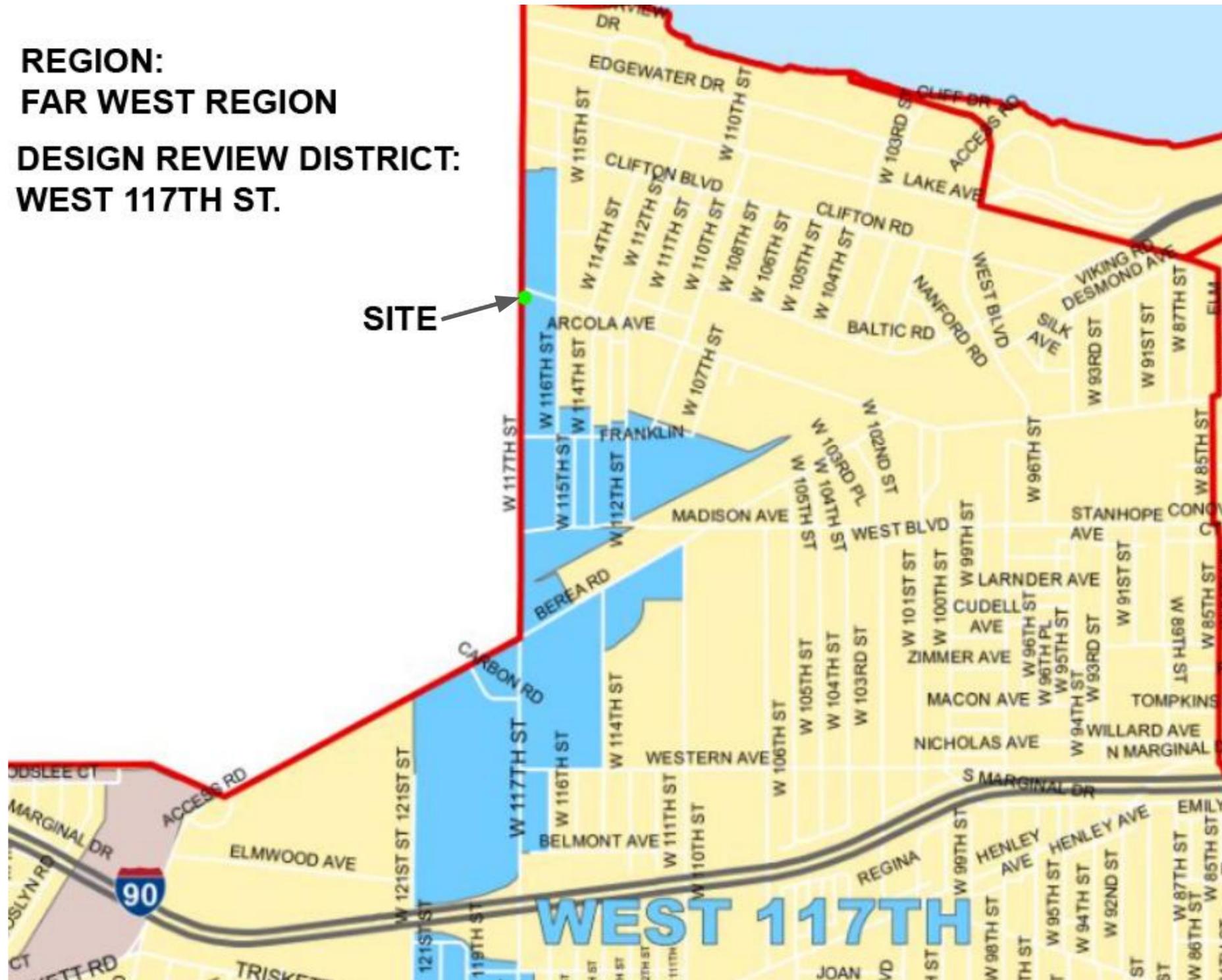
CS	COVER SHEET
1	DISTRICT MAP
2	ZONING MAP
3	LOCATION MAP
4	EXISTING SITE MAP
5	EXISTING CONDITIONS PHOTOS
6	EXISTING CONDITIONS PHOTOS
7	PROPOSED SITE PLAN
8	PROPOSED ELEVATIONS
9	PROPOSED ELEVATIONS
10	PROPOSED LANDSCAPE PLAN
11	PROPOSED PLANT LIST

### SITE INFORMATION

Parcel #: 00124063  
Address: 1407 W 117 ST, CLEVELAND, OH, 44107  
Legal Front: 50'  
Lot Size: 21050 (SqFt.), 0.483 Acres  
Topography: LEVEL  
Legal Description: 9 MARSHALL S/L 2 NP & 3 NWP 0001 NP  
Zoning: Local Retail Business with PRO Street Frontage  
Use: Urgent Care Center  
Area: 4,000 S.F.  
Height: Single story, 23'-4"  
Parking Provided: 25 Existing Spaces to Remain  
Code Concerns: Percentage of glazing. Parking setback

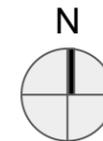
CS

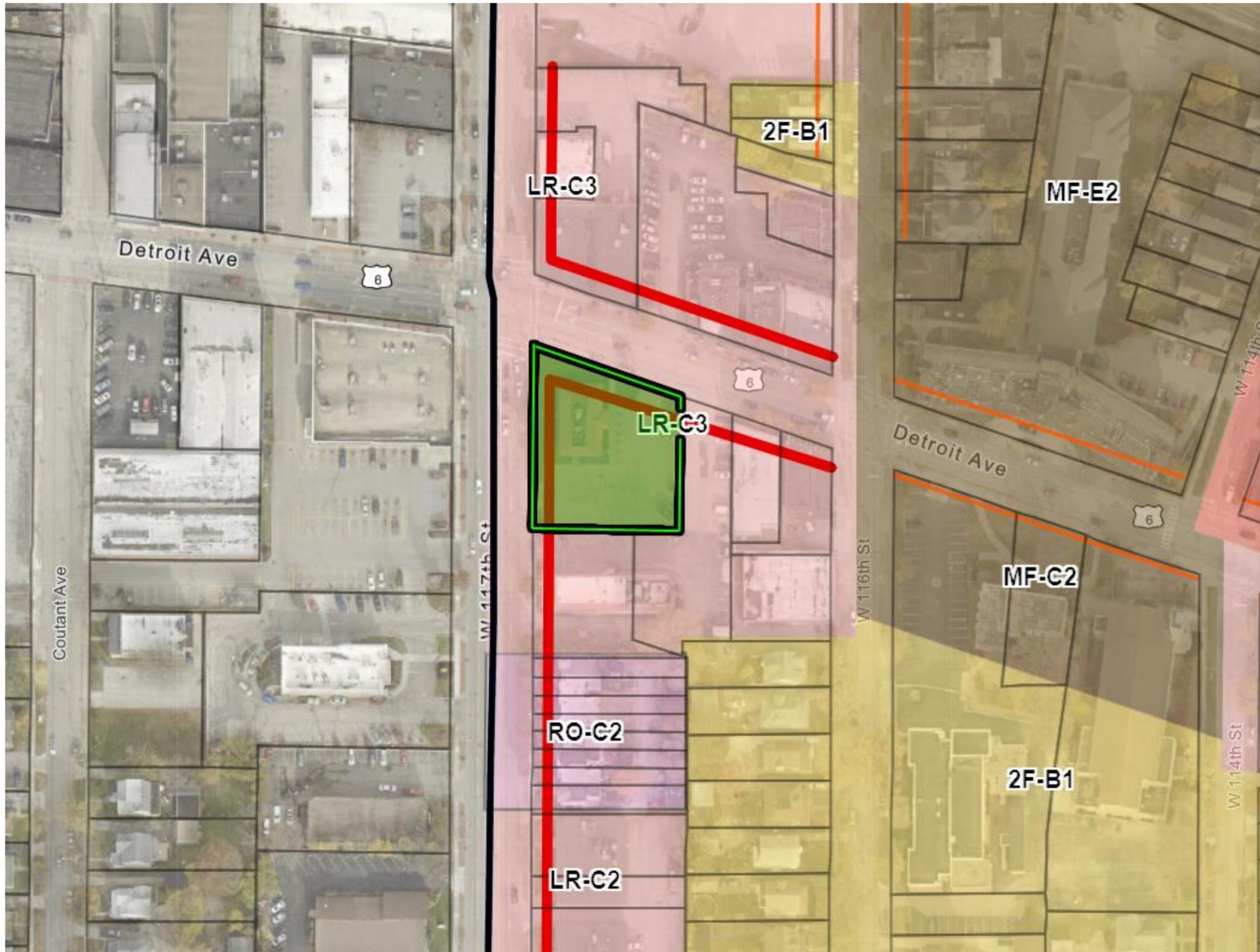
**REGION:  
FAR WEST REGION  
DESIGN REVIEW DISTRICT:  
WEST 117TH ST.**



**DISTRICT MAP**

SCALE: N.T.S.



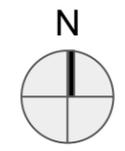


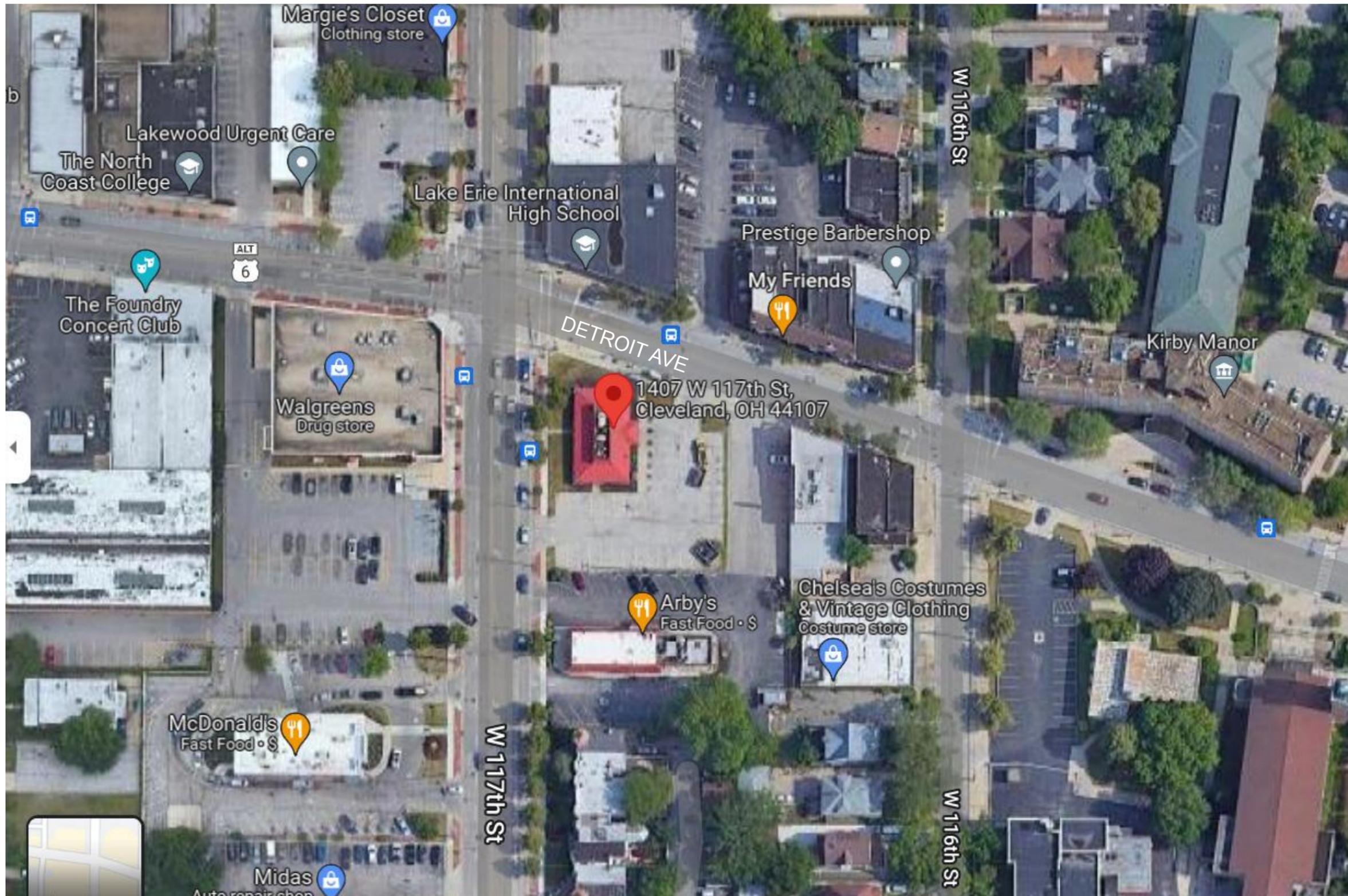
**Legend** ⤴ ✕

- Cleveland Parcels (MyPlace)
- Cleveland Condo Parcels (Cuyahoga GIS)
- City Boundary
- Planner Assignment Areas
- Specific Setbacks  Active
- Planned Unit Development Overlay
- Overlay Frontage Lines
- Frontage Type
- PRO Special Sign Provision
- PRO Street Frontage
- Urban Frontage Line

## ZONING MAP

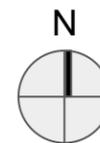
SCALE: N.T.S.

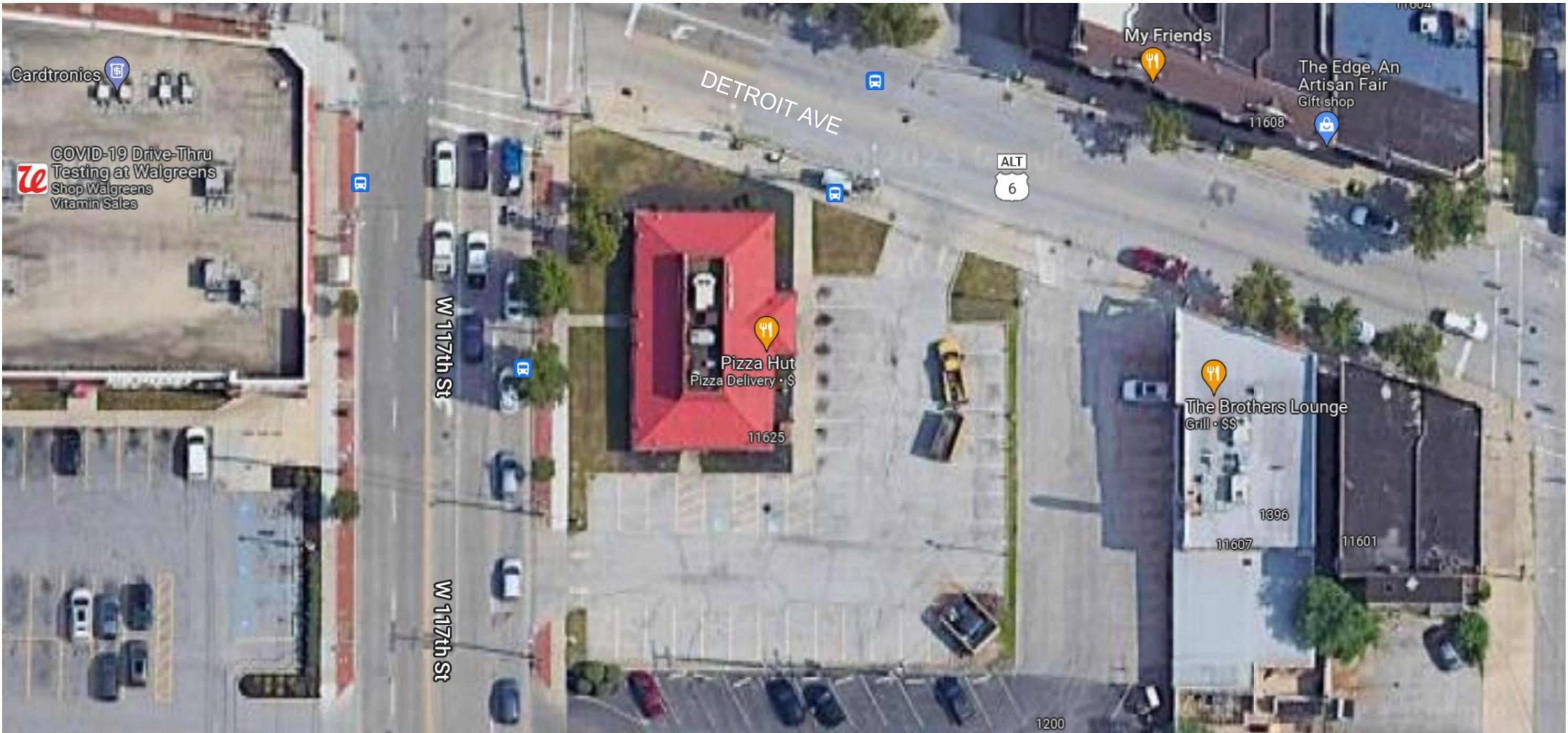




### LOCATION MAP

SCALE: N.T.S.





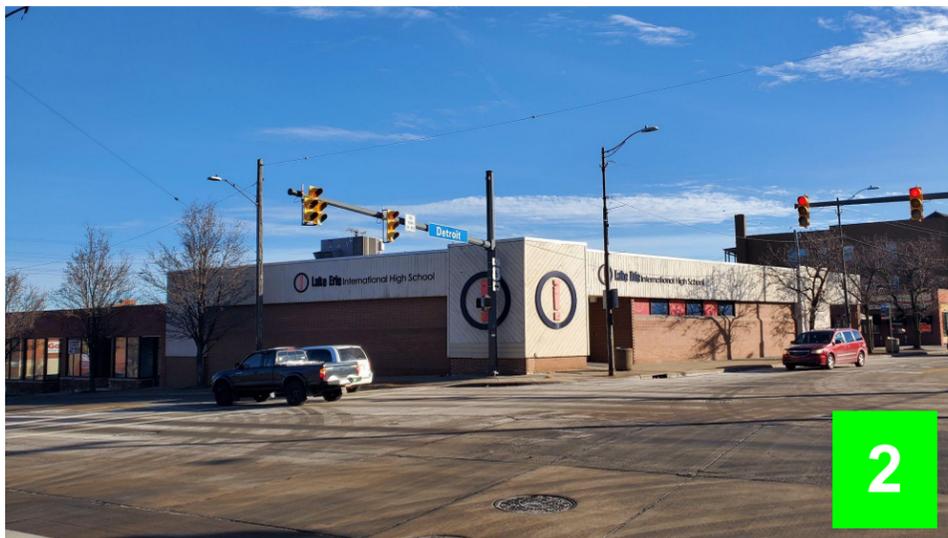
**EXISTING SITE MAP**

SCALE: N.T.S.

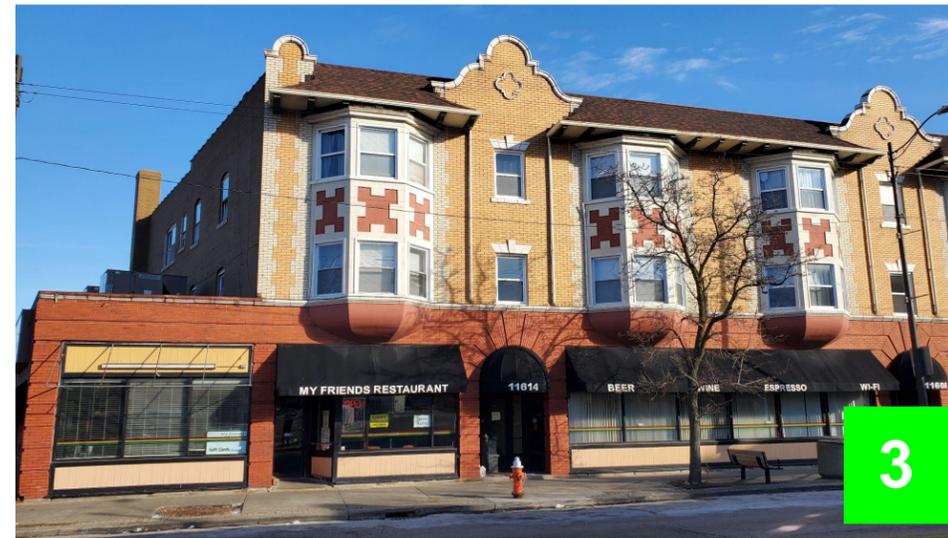




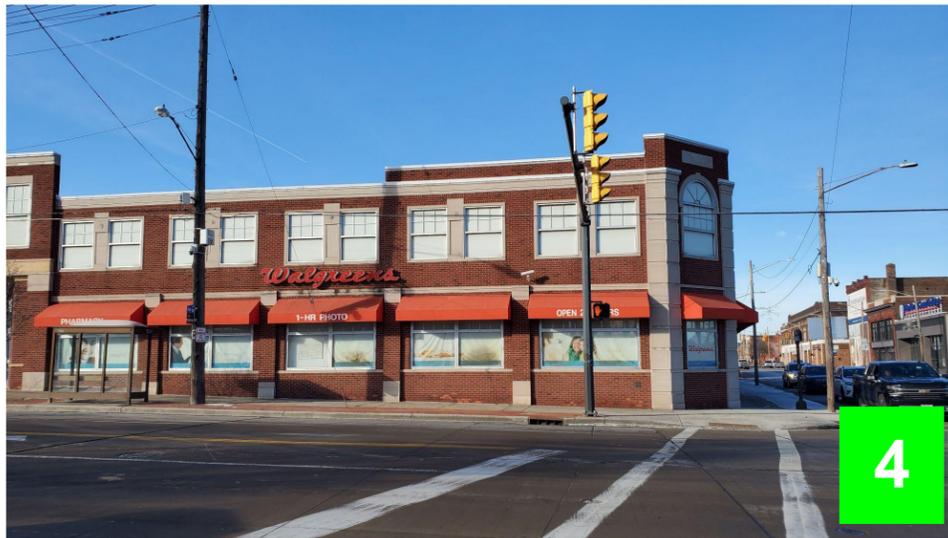
1



2



3



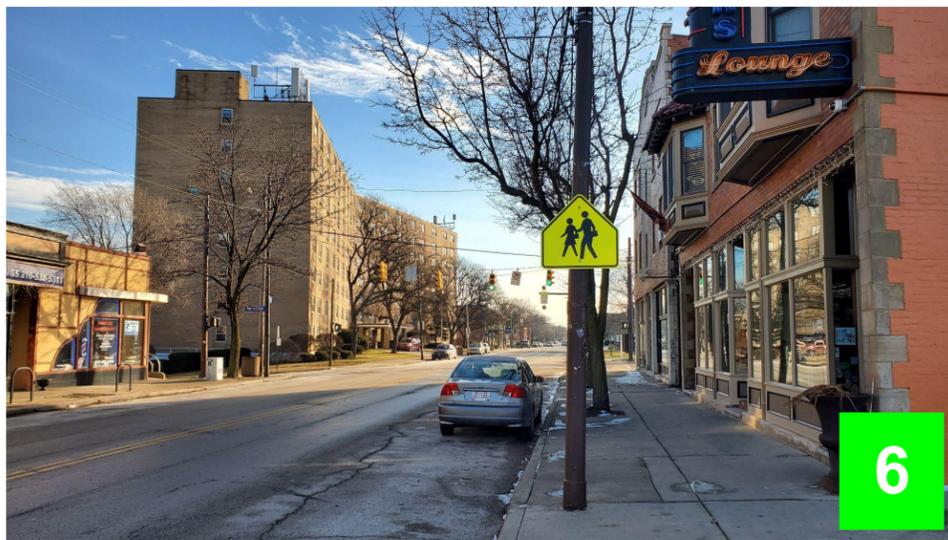
4



5



**EXISTING CONDITIONS PHOTOS**



6



7



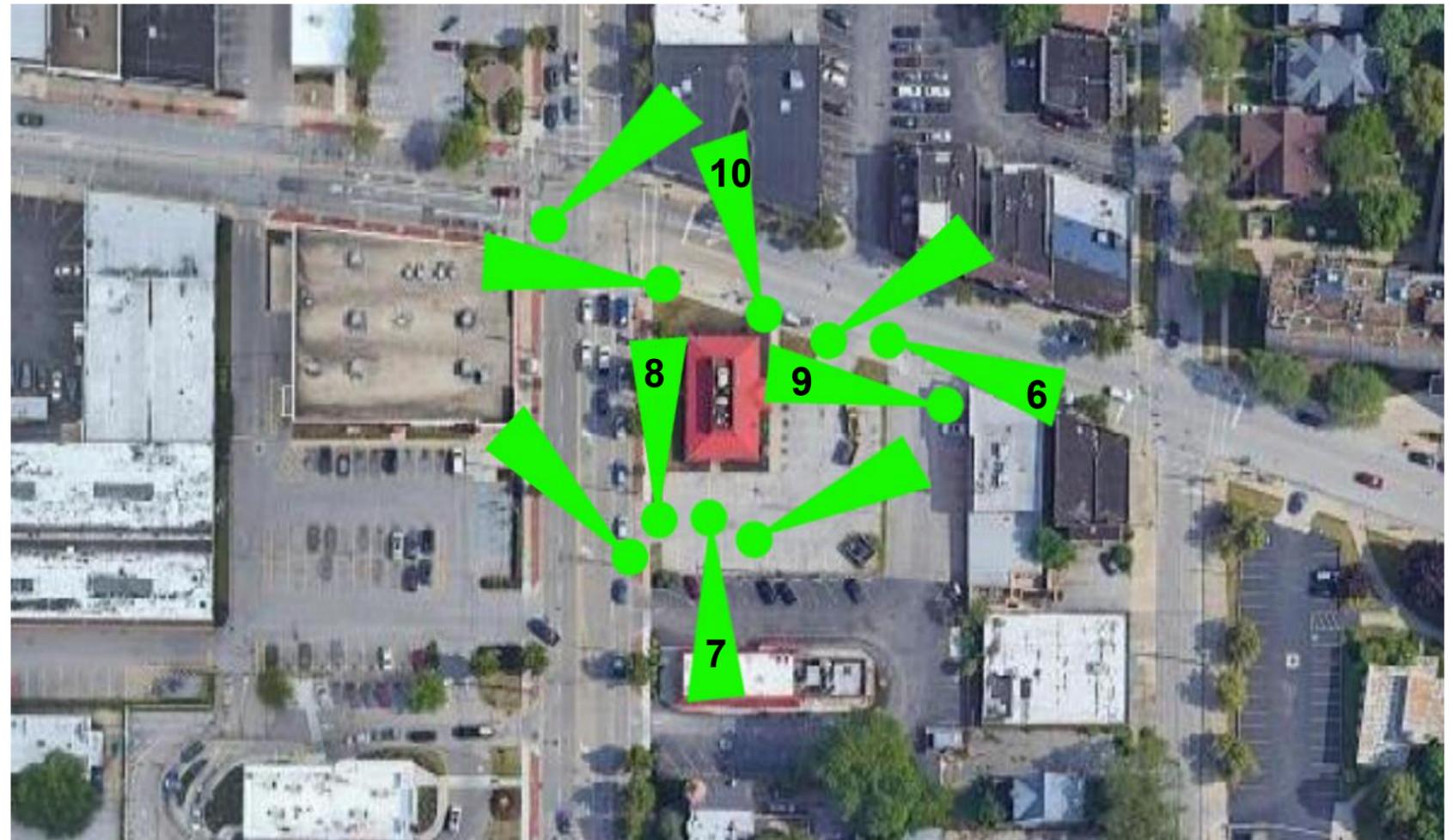
8



9

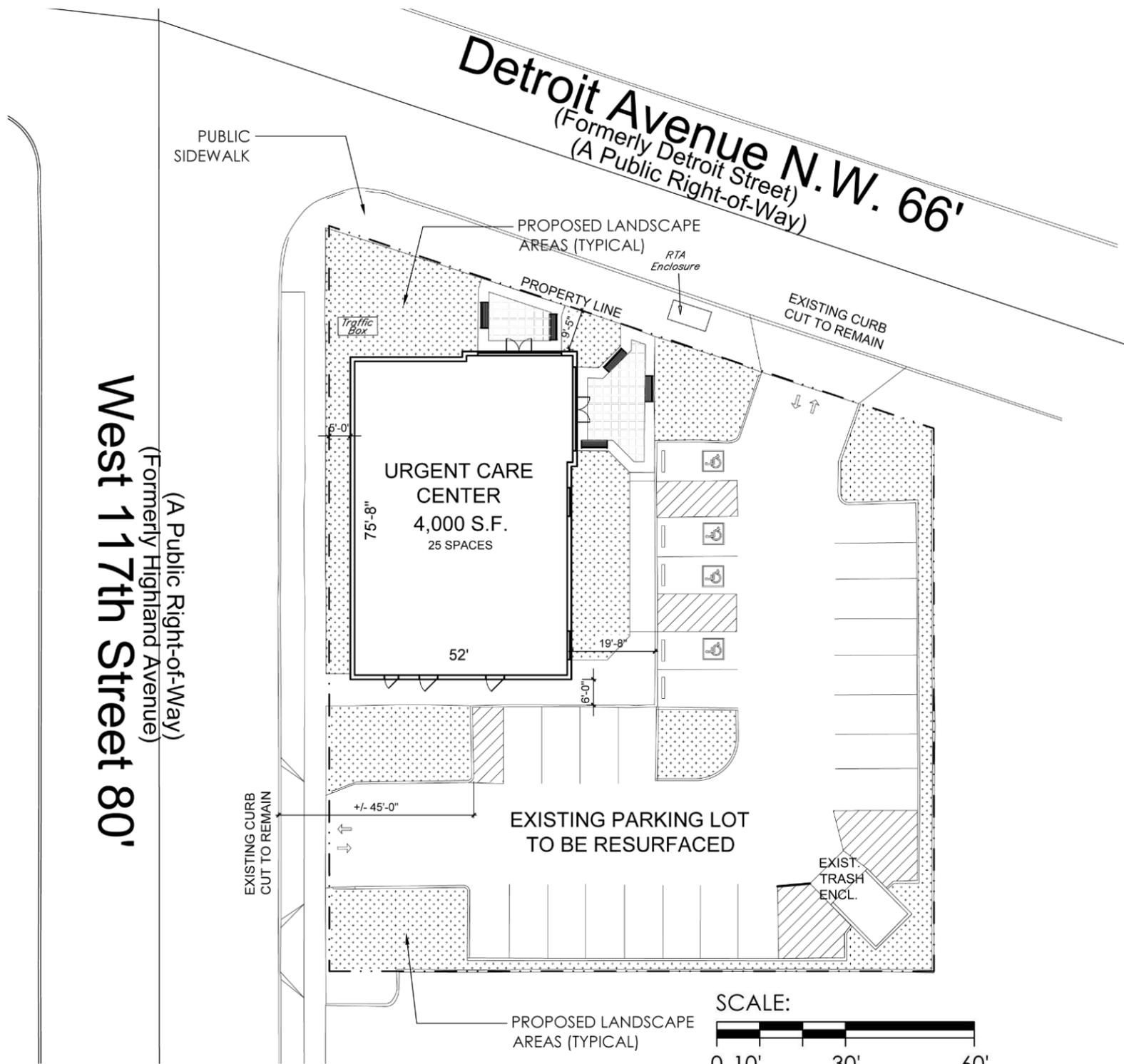


10



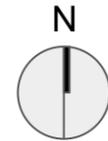
**EXISTING CONDITIONS PHOTOS**

6



**PROPOSED SITE PLAN**

SCALE: 1"=30'







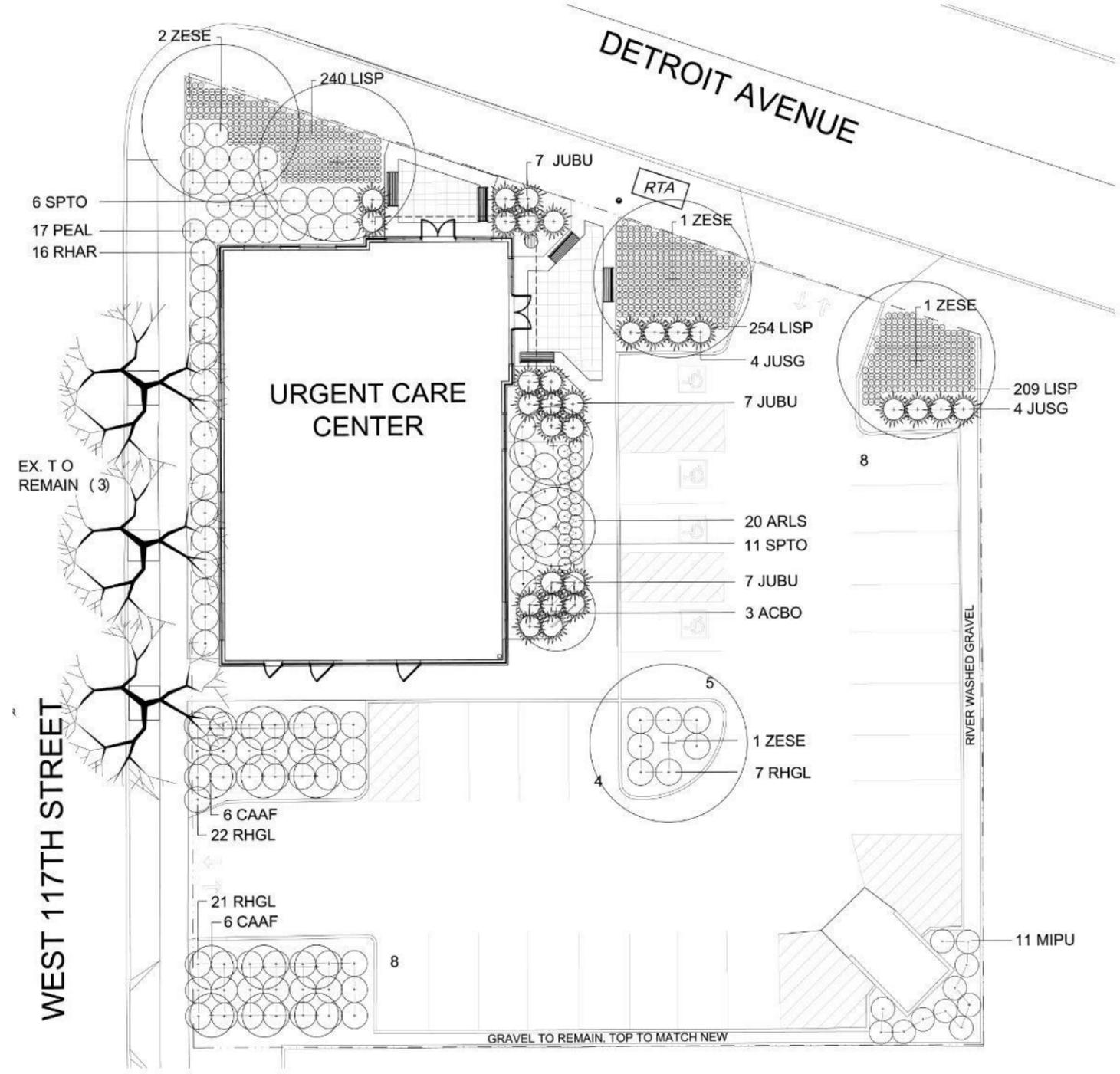
## WEST ELEVATION

SCALE: 1/8"=1'-0"

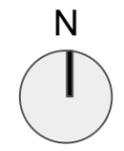


## NORTH ELEVATION

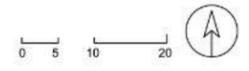
SCALE: 1/8"=1'-0"



**PROPOSED LANDSCAPE PLAN**



Peggy A. Brown  
landscape architect  
3295 Garrettsville Road  
Cleveland Heights, Ohio 44118  
216.932.1231 (o) 216.513.2699 (c)  
peggy@pablandscape.com





AUTUMN FIRE AMERICAN HORNBEAM



BOWHALL RED MAPLE



JAPANESE ZELKOVA



LOW SCAPE MOUND BLACK CHOKEBERRY



FRAGRANT SUMAC



GRO-LOW FRAGRANT SUMAC



FRAGRANT SUMAC FALL COLOR



TOR SPIRAEA



TOR SPIRAEA FALL COLOR



SEA GREEN JUNIPER



BUFFALO JUNIPER



FOUNTAIN GRASS



CREeping LIRIOPE



FLAME GRASS

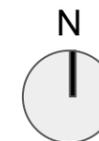


ARCATA BENCH BY LANDSCAPE FORMS

## SITE PLANT LIST

SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARK	NATIVE AND/OR ADAPTIVE
<b>DECIDUOUS TREES</b>						
ACBO	3	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" C	B&B; MATCHING	Y
CAAF	12	CARPINUS CAROLIANA 'AUTUMN FIRE'	AUTUMN FIRE AMERICAN HORNBEAM	1.75" C	B&B; MATCHING	Y
ZESE	3	ZELKOVA SERRATA	JAPANESE ZELKOVA	2.5" C	B&B	Y
<b>SHRUBS</b>						
ARLS	20	ARONIA MELANOCARPA 'LOW SCAPE MOUND'	LOW SCAPE MOUND BLACK CHOKEBERRY	15"	CONT	Y
JUSG	8	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24"	CONT	Y
JUBU	21	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	18"	CONT	Y
RHAR	18	RHUS AROMATICA	FRAGRANT SUMAC	24"	CONT	Y
RHGL	50	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	12"	CONT	Y
SPTO	17	SPIRAEA BETULIFOLIA 'TOR'	TOR SPIRAEA	24"	CONT	Y
<b>GRASSES AND PERENNIALS</b>						
LISP	703	LIRIOPE SPICCATA	CREeping LIRIOPE	NO. 1	CONT	Y
MIPU	11	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	NO. 2	CONT	Y
PEAL	16	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	NO. 2	CONT	Y

## PROPOSED PLANT LIST



## **Committee Recommendation: Unanimously Approved for Schematic Design with Conditions:**

- Wrap corner entrance more to “face” Detroit. This can be accomplished by pulling the plantings back and installing seating/benches and/or different pavers to create more of a plaza-like setting.
- Re-evaluate treatment of windows on Detroit and W. 117<sup>th</sup>. The PRO is in place on both streets which speaks to a need for transparent glazing. Installing a hallway or modifying the floor plan to provide for walkways/active use space near the sides of the building is necessary to hold true to this zoning requirement.
- Suggest adding a canopy
- Suggest using different material than EFIS
- Add in southeast area of parking lot to add more landscaped area
- Reconsider far east side perimeter turf; possibly change to gravel
- Add more large trees to landscaping plan

# Cleveland City Planning Commission

## Staff Report

---



February 17, 2023



February 17, 2023

**EAST2023-002** – Proposed Demolition of a 2-Story Residential Structure:  
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

**Project Address: 8910 Cumberland Avenue**

Project Representative: Maria Miceli, Miceli Dairy Products

**Committee Recommendation:** Approved as Presented

# **8910 Cumberland Avenue**

Demolition Permit Request

Case Number East 2023-002

# Purpose

---

Miceli-Lograsso Development Company LLC, seeks a permit to demolish 8910 Cumberland Avenue, Cleveland, OH 44104. The property has been condemned by the Cleveland Building Department and should be immediately demolished. Miceli-Lograsso purchased the property in late October 2022 for the purpose of demolishing building and landscaping the property to fit in with the surrounding lots that Miceli maintains. Miceli has contracted with DiFonzo Excavating to demolish the building and back fill the lot with clean fill. Grass will be planted on the lot. All trees on the lot will be preserved.

# Street view 8910 Cumberland

---



# Street view

---



# Corner of the building

---



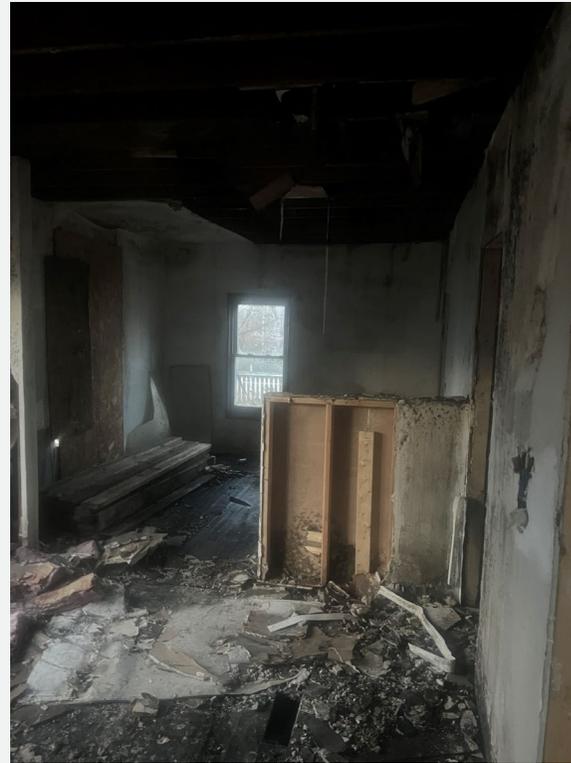
# Closeup of Exterior

---



# Interior of 8910 Cumberland

---



# Interior Wall

---



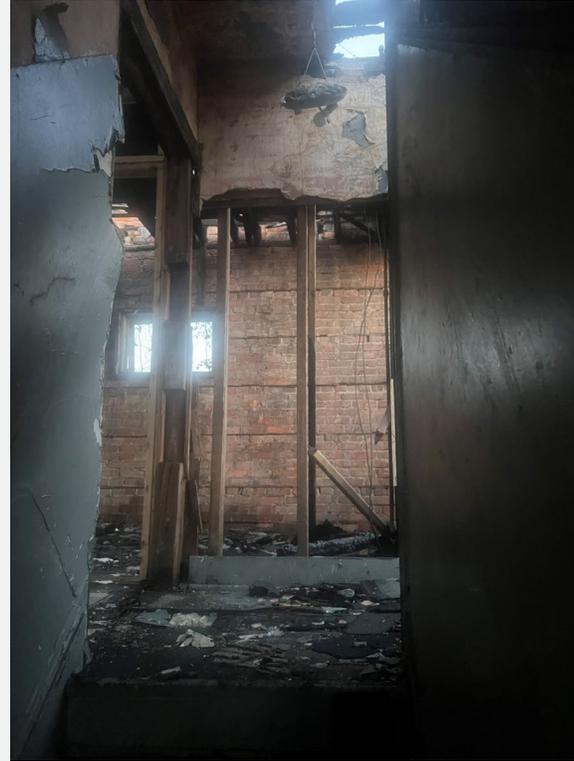
# Another interior picture

---

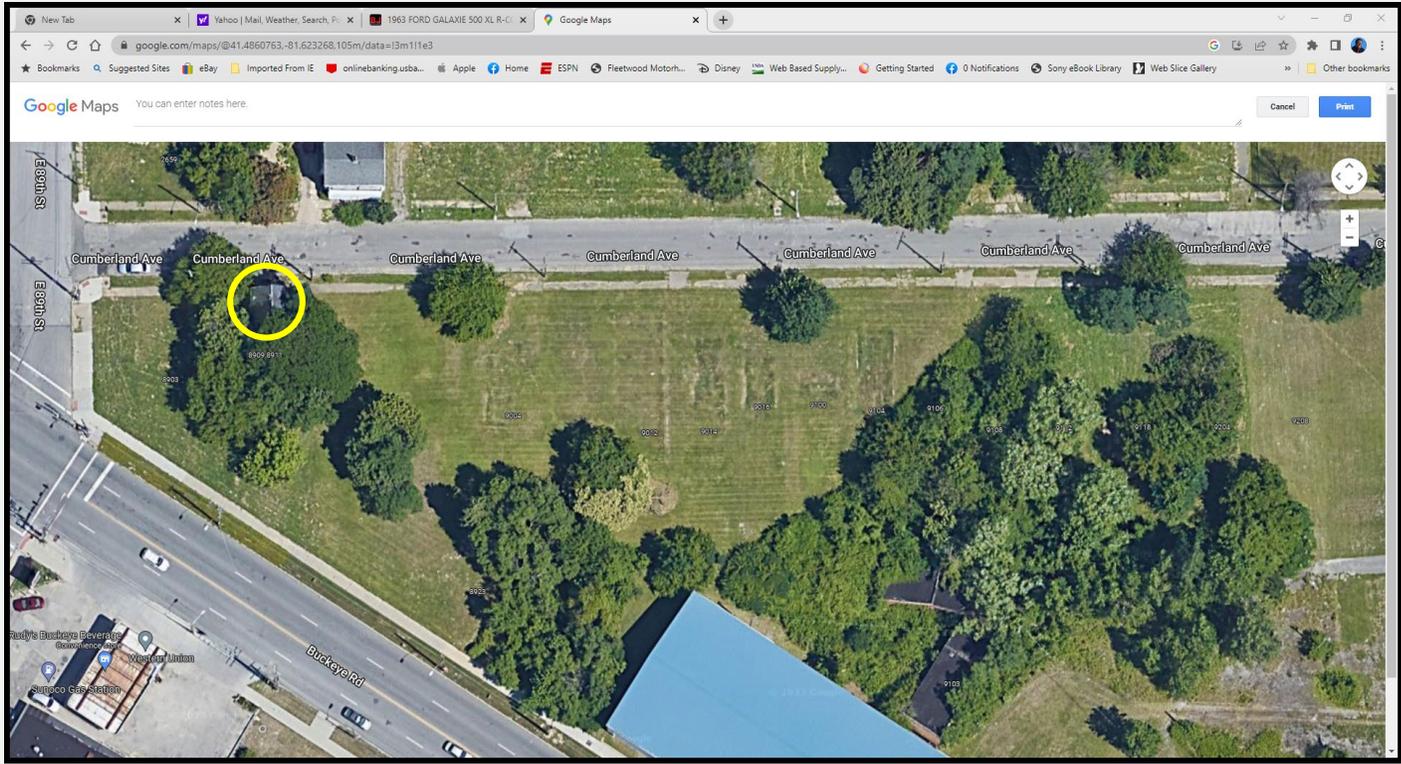


# Second Floor

---



# Aerial of the surrounding lots



# Aerial of the surrounding lots

---



# Property Before Demolition

---



# Property After Demolition

---



# View – Northbound, Buckeye Road

---



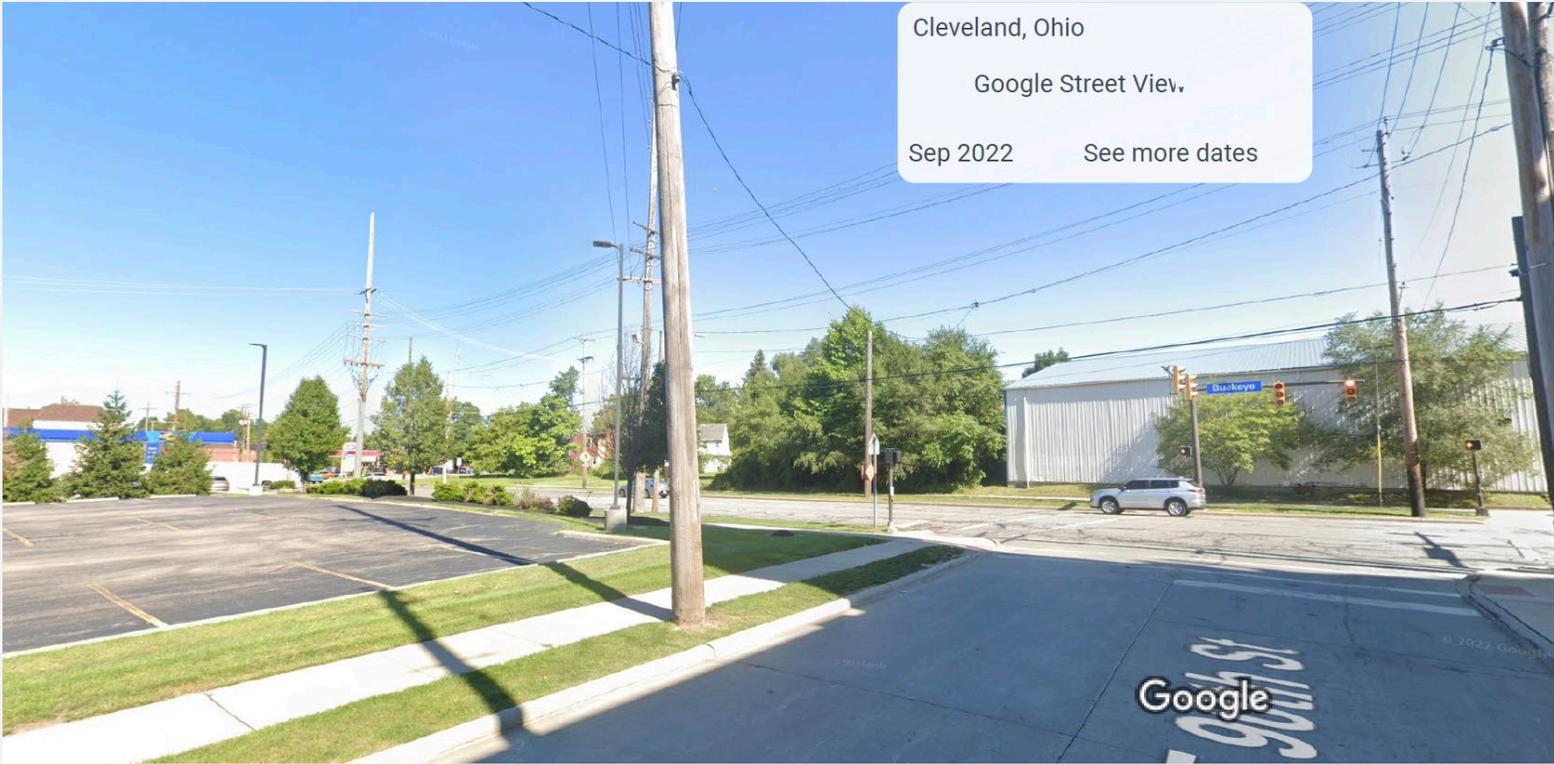
# View from Cumberland Road

---



# View from E. 90<sup>th</sup> & Buckeye Road

---



Cleveland, Ohio

Google Street View.

Sep 2022

[See more dates](#)

# Cleveland City Planning Commission

## Staff Report

---



February 17, 2023

**NE2022-032** – The Hitchcock Center New Construction:  
Seeking Schematic Design Approval

**Project Address: 1227 Ansel Road**

Project Representative: Brian Gerrity, Marous Brothers Construction

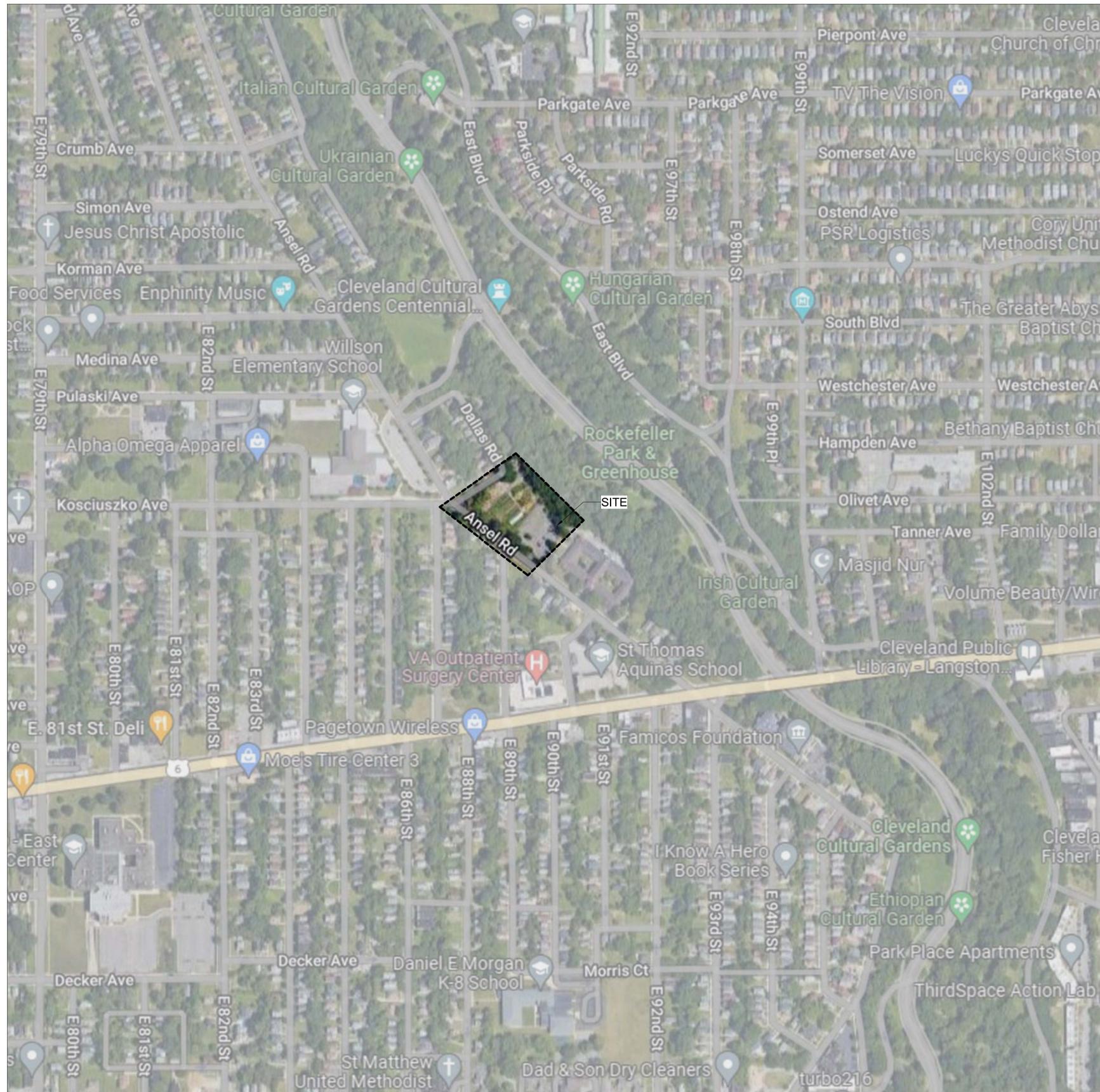
Note: the applicant withdrew this project after item had been placed on the January 6<sup>th</sup> Final Agenda. The Planning Commission subsequently Tabled the item.

**Committee Recommendation:** Unanimously Approved for Schematic design with Stated **Conditions:**

- Change fence configuration
- Submit color board for exterior materials
- Brick piers
- Planting plan with sizes, names, etc. and locations per requirement to make [the structure] look more residential and less institutional-looking.



SITE PERSPECTIVE



SITE LOCATION MAP

DALLAS RD.  
N.E. 40'  
A PUBLIC RIGHT OF WAY

KOSCIUSZKO AVE. N.E. 40'  
A PUBLIC RIGHT OF WAY

E 89TH STREET 50'

DERBY AVE. N.E. 30' (VACATED)

DALLAS RD. N.E. 40' (VACATED)



**SITE DEMOLITION NOTES**

- PRIOR TO STARTING DEMOLITION, THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND APPROVALS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES AND THE CITY OF CLEVELAND ON REMOVAL AND RELOCATION OF ALL UTILITIES AND SERVICE CONNECTIONS ABOVE AND BELOW GROUND.
- CONTRACTOR SHALL MAINTAIN ACCESS TO AND UTILITY SERVICE FOR ALL ADJACENT BUSINESSES, AND NEIGHBORING PROPERTIES AT ALL TIMES. CONTRACTOR SHALL NOTIFY BUSINESS OWNERS AND NEIGHBORS OF ANY POTENTIAL DISTURBANCES 48 HOURS IN ADVANCE.
- ALL EXISTING DISTRIBUTION & TRANSMISSION POLES WITHIN THE LIMITS OF DEMOLITION SHALL BE REMOVED OR RELOCATED PER DIRECTION OF UTILITY COMPANY.
- ANY ADDITIONAL UTILITY CONNECTIONS DISCOVERED DURING DEMOLITION AND CONSTRUCTION SHALL BE EVALUATED IN THE FIELD AND MAINTAINED OR ABANDONED AS DIRECTED BY THE OWNER.
- ALL EXISTING WATER CONNECTIONS TO BE ABANDONED MUST BE REMOVED UP TO WATER MAIN AS DIRECTED BY CLEVELAND WATER DEPT.
- REMOVE ALL ABOVE AND BELOW GRADE STRUCTURES ENCOUNTERED DURING DEMOLITION AS DIRECTED BY OWNER. SEE NOTE 12 FOR BACKFILL REQUIREMENTS.
- THE EXPORT OF ALL SOIL AND PAVEMENT TO OFF-SITE LOCATIONS MUST BE APPROVED BY OWNER. CONTRACTOR TO PREPARE AN AREA ON-SITE FOR STOCKPILING AND COVERING WITH A TARP. ANY CONTAMINATED SOILS FOUND DURING CONSTRUCTION. NOTIFY OWNER IMMEDIATELY OF ANY CONTAMINATION FOUND DURING CONSTRUCTION.
- LIMITS OF DEMOLITION/DISTURBANCE ARE CLEARLY NOTED ON THE DEMOLITION PLAN. ALL AREAS OUTSIDE THESE LIMITS SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY. CONSTRUCTION MATERIALS/VEHICLES/ETC. SHALL NOT BE DRIVEN OR STORED OUTSIDE OF THESE LIMITS WITHOUT CONSENT FROM THE OWNER.
- BELOW GRADE CONSTRUCTION: COMPLETELY REMOVE FOUNDATION WALLS AND OTHER BELOW-GRADE CONSTRUCTION, INCLUDING CONCRETE SLABS. THESE MATERIALS ARE NOT BE USED FOR MOUNDING.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES.
- USE SATISFACTORY SOIL MATERIALS CONSISTING OF DRAINED ODOT #304 LIMESTONE, OR ON-SITE SOILS APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER.
- PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS AND ARE FREE DRAINING.
- PLACEMENT OF FILL MATERIALS SHALL MEET OR EXCEED THE COMPACTION REQUIREMENTS AND SPECIFICATIONS NOTED IN THE SITE GRADING AND EARTHWORK NOTES BELOW.
- AFTER FILL PLACEMENT AND COMPACTION, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE FLOW TO SURFACE DRAINAGE STRUCTURES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
- CONTRACTOR SHALL PAY CLOSE ATTENTION TO WORK WITHIN ROAD RIGHT OF WAYS DURING CONSTRUCTION AND COORDINATE ANY CONSTRUCTION ACTIVITIES WITH THE CITY OF CLEVELAND.
- ALL RESIDENTIAL WATER WELLS TO BE ABANDONED OR REMOVED PER ORC. AND THE STATE OF OHIO HEALTH DEPARTMENT REQUIREMENTS. LOCATION OF EXISTING WELLS HAVE NOT BEEN DETERMINED, BUT IT SHOULD BE ASSUMED THAT EACH PROPERTY HAS AT LEAST ONE WELL NEEDING ABANDONMENT/REMOVAL.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY, AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
- LIMITS OF THE OWNER'S PROPERTY SHALL BE CLEARLY IDENTIFIED WITH FENCE AND/OR MARKERS PRIOR TO THE DEMOLITION OF VEGETATION NEAR PROPERTY LINES.
- ALL SWPPP MEASURES MUST BE IN PLACE PRIOR TO ANY EARTH DISTURBING ACTIVITY.

PRELIMINARY - NOT FOR CONSTRUCTION

Marous Brothers CONSTRUCTION

DESIGN BUILDER:  
36933 VINE STREET  
WILLOUGHBY, OH 44094  
marousbrothers.com  
440-951-3904

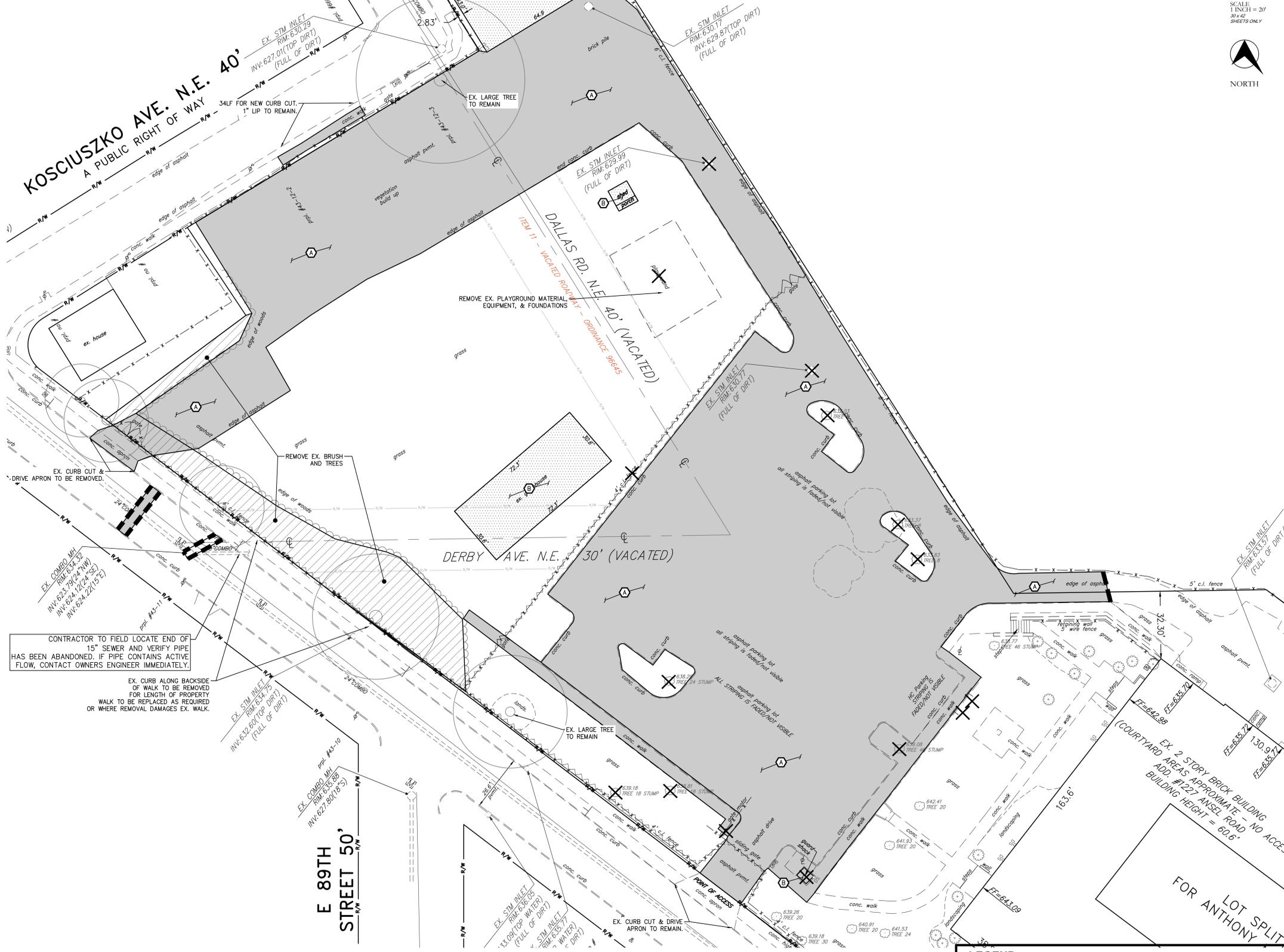
MAROUS BROTHERS CONSTRUCTION, INC.  
ALL RIGHTS RESERVED  
COPYRIGHT 2025

PROJECT: MBC JOB NUMBER: 22067-11

DATE: ISSUANCE:

EXISTING SITE CONDITIONS AND DEMOLITION PLAN

C1.0



CONTRACTOR TO FIELD LOCATE END OF 15" SEWER AND VERIFY PIPE HAS BEEN ABANDONED. IF PIPE CONTAINS ACTIVE FLOW, CONTACT OWNERS ENGINEER IMMEDIATELY.

EX. CURB ALONG BACKSIDE OF WALK TO BE REMOVED FOR LENGTH OF PROPERTY WALK TO BE REPLACED AS REQUIRED OR WHERE REMOVAL DAMAGES EX. WALK.

**GENERAL**

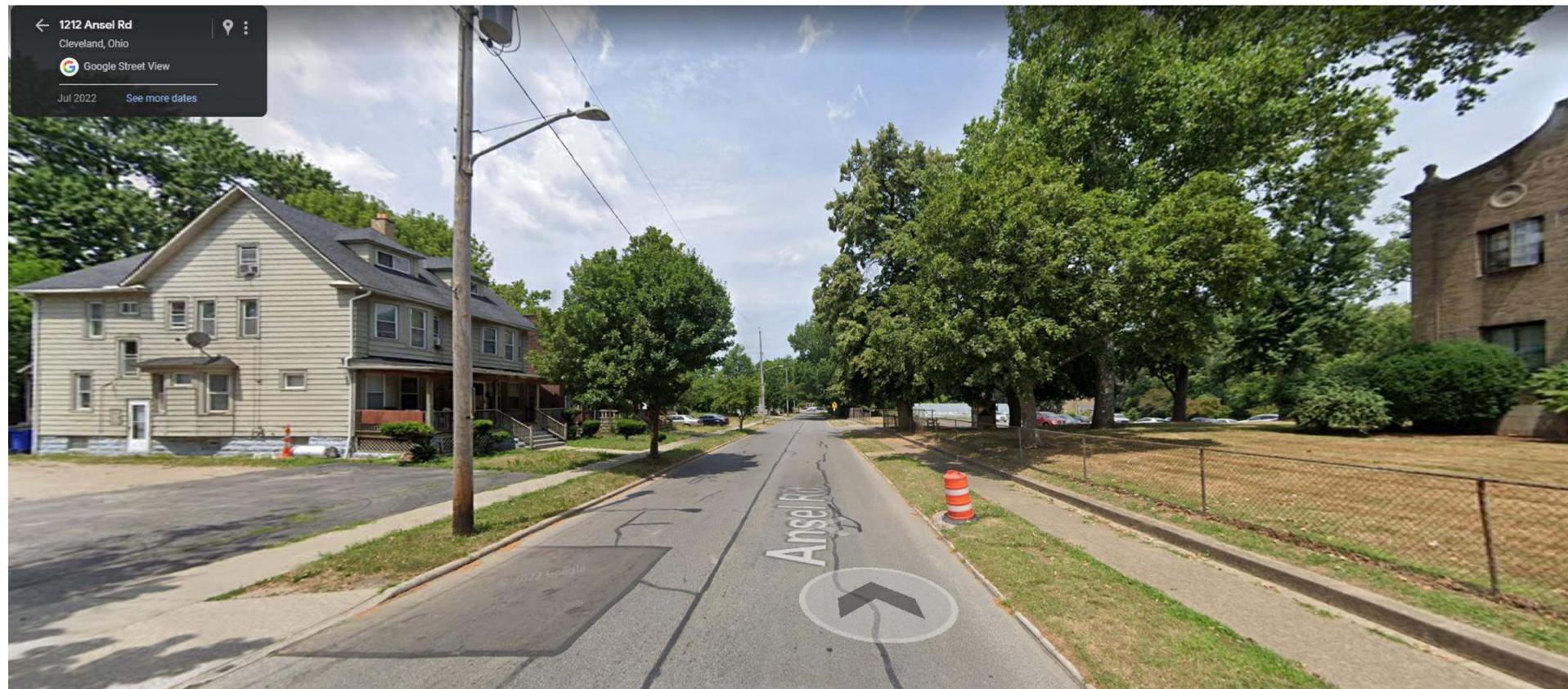
- ALL ROAD SURFACES, EASEMENTS OR RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE OWNER AND THE CITY OF CLEVELAND.
- THE CONTRACTOR SHALL OBTAIN A CITY OF CLEVELAND STREET OPENING PERMIT BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK OR AS DIRECTED BY THE CITY OF CLEVELAND.
- NO PARKING OF CONTRACTORS OR CONTRACTOR EMPLOYEE VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES.

**LEGEND**

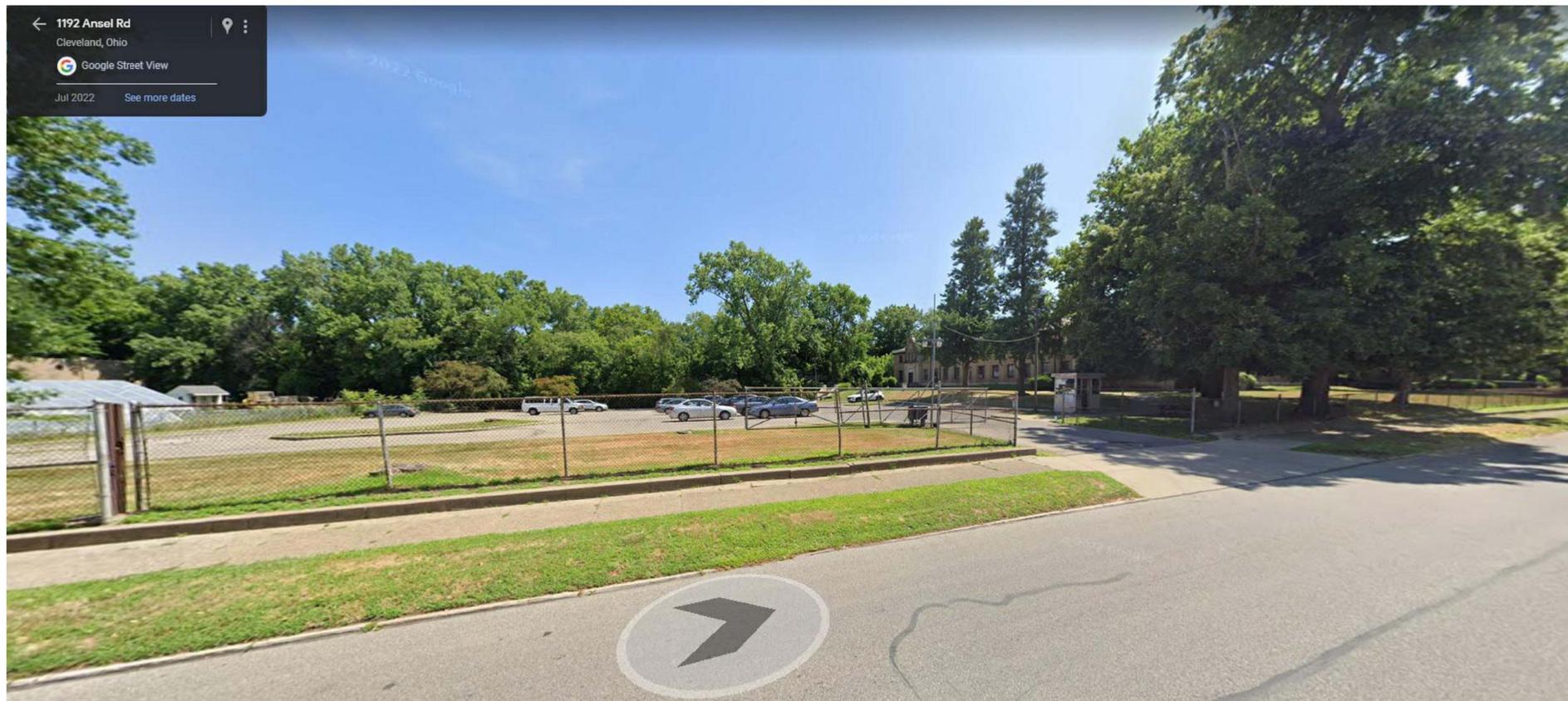
EX. UTILITY OR FENCE (TO BE REMOVED)		EX. PAVEMENT, CURBS, AND BOLLARDS (TO BE REMOVED)	
EX. CURB/PAVEMENT (TO BE SAWCUT)		EX. BUILDING (TO BE REMOVED)	
EX. TREE(S) (TO BE REMOVED)		EX. STRUCTURE/FOUNDATION (TO BE REMOVED)	



LOOKING SOUTHEAST ON ANSEL ROAD, NEAR DERBY AVENUE



LOOKING NORTHWEST ON ANSEL ROAD, NEAR ANN COURT



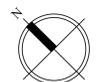
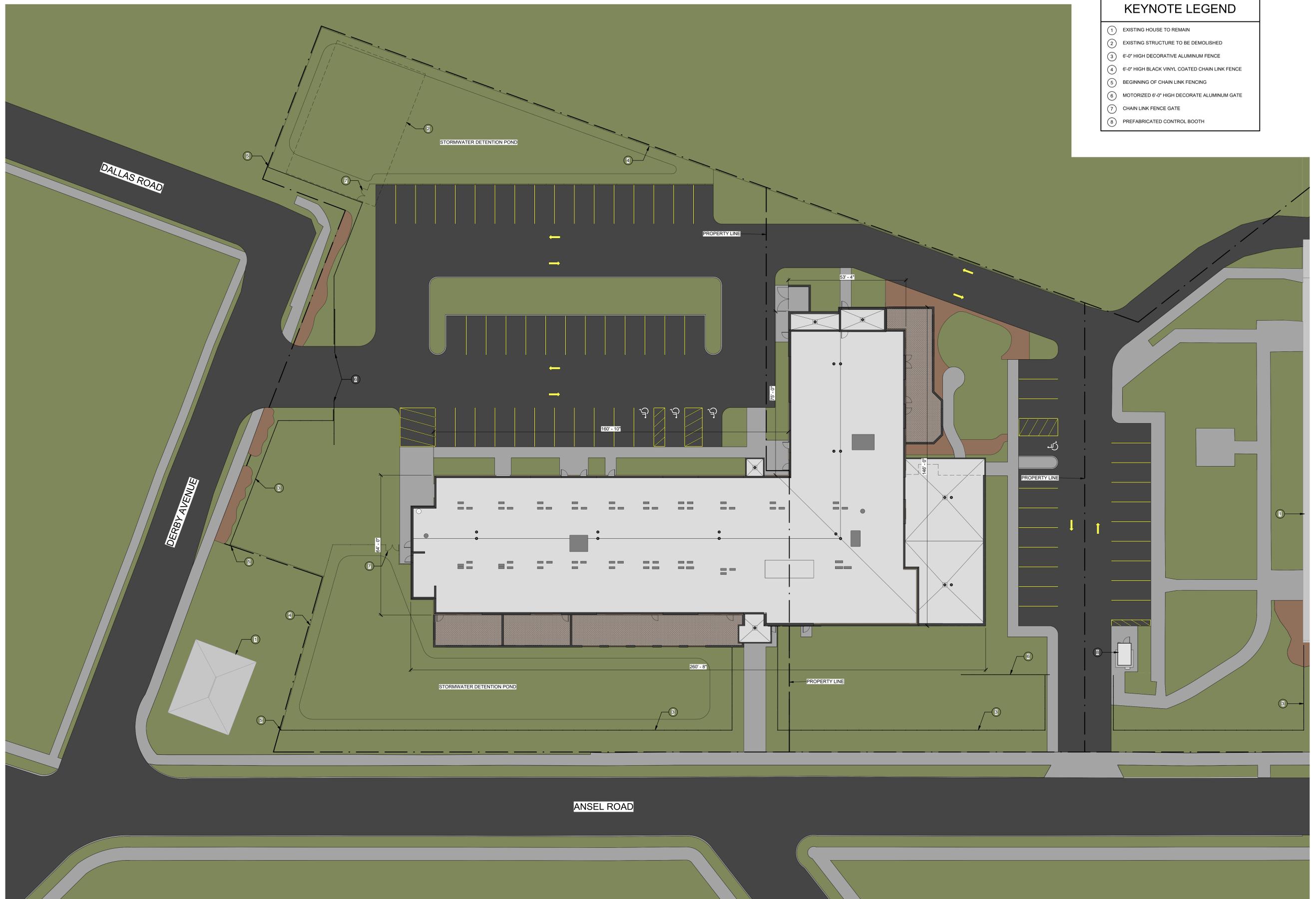
PROJECT SITE FROM ANSEL



LOOKING NORTH ON EAST 89TH STREET

**KEYNOTE LEGEND**

- ① EXISTING HOUSE TO REMAIN
- ② EXISTING STRUCTURE TO BE DEMOLISHED
- ③ 6'-0" HIGH DECORATIVE ALUMINUM FENCE
- ④ 6'-0" HIGH BLACK VINYL COATED CHAIN LINK FENCE
- ⑤ BEGINNING OF CHAIN LINK FENCING
- ⑥ MOTORIZED 6'-0" HIGH DECORATE ALUMINUM GATE
- ⑦ CHAIN LINK FENCE GATE
- ⑧ PREFABRICATED CONTROL BOOTH



STORMWATER BASIN SEEDED WITH NATIVE SEED MIX

SIDEWALK EXTENDED TO PROPERTY LINE

LONDON PLANE STREET TREES

JUNIPER SCREENING

SLIDING GATE AT ENTRANCE

PERVIOUS PAVERS IN COURTYARDS

NATIVE SEED MIX IN STORMWATER BASIN AND SHRUBS WITH WINTER INTEREST

6' HIGH DECORATIVE ALUMINUM FENCE ALONG ANSEL RD. AND KOSCIUSZKO AVE.

EXISTING TREES TO REMAIN

PROPOSED STREET TREES: LONDON PLANE AND TULIP TREE

6' HIGH CHAIN LINK FENCE AROUND RETENTION BASIN AND BACK PERIMETER OF SITE

STORMWATER SWALE WITH NATIVE SEED MIX

PERVIOUS PAVERS IN COURTYARD

PLAYGROUND

SLIDING GATE AT ENTRANCE



TREES



SERVICEBERRY



FOX VALLEY RIVER BIRCH



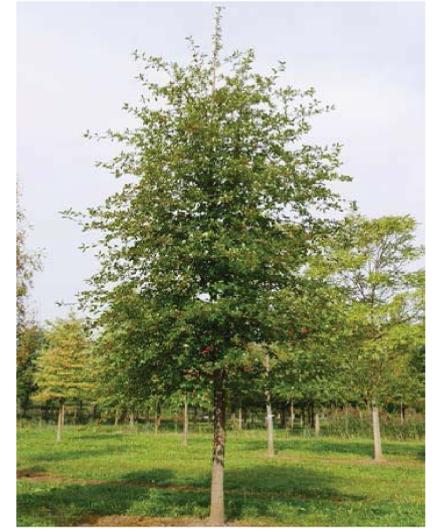
FLAME THROWER REDBUD



AUTUMN FIRE HORNBEAM



TULIP TREE



BLACK GUM



LONDON PLANE TREE



SWAMP WHITE OAK

**SHRUBS**



ARCTIC FIRE DOGWOOD



SIKES DWARF OAKLEAF HYDRANGEA



ATHENS SWEETSHRUB



LITTLE HENRY SWEETSPIRE



SEA GREEN JUNIPER



NORTHERN BAYBERRY

**PERENNIALS**



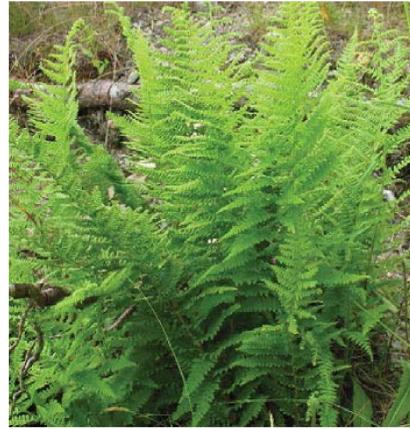
ALPINE CURRANT



THRILLER LADY'S MANTLE



PENNSYLVANIA SEDGE



HAY SCENTED FERN



GOLD DEW TUFTED HAIR GRASS



SHEPHERD'S WARNING GERANIUM

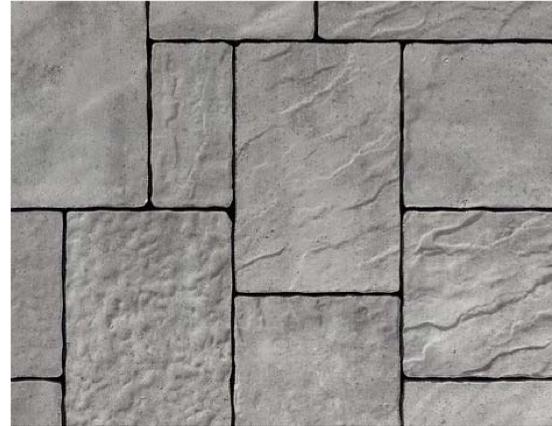


BLANCHE SANDMAN HONEYSUCKLE

**DECORATIVE FENCE**



ANSEL RD. FRONTAGE: DECORATIVE ALUMINUM FENCE. 6' HIGH. THREE RAIL, FLAT TOP DESIGN.



MISTA PERMEABLE PAVER FROM TECHO-BLOC. COLOR: SHALE GREY



RB-28 BENCH FROM VICTOR STANLEY. BLACK.

**NOTES**

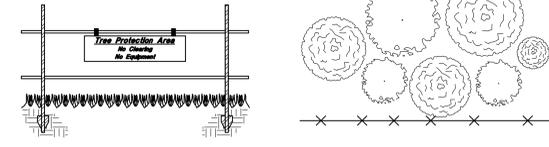
1. SEE LANDSCAPING PLANS FOR PROPOSED PLANTINGS.
2. ANY TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING SITE DEMOLITION & CONSTRUCTION WITH THE DETAIL PROVIDED ON THIS SHEET.

**LEGEND**



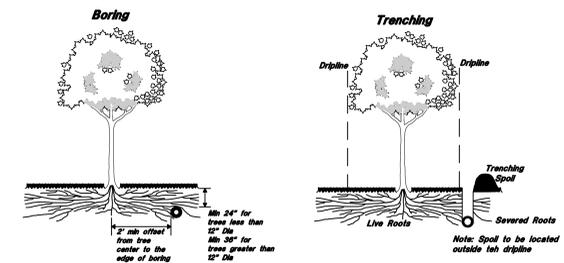
TP

Specifications for Tree and Natural Preservation

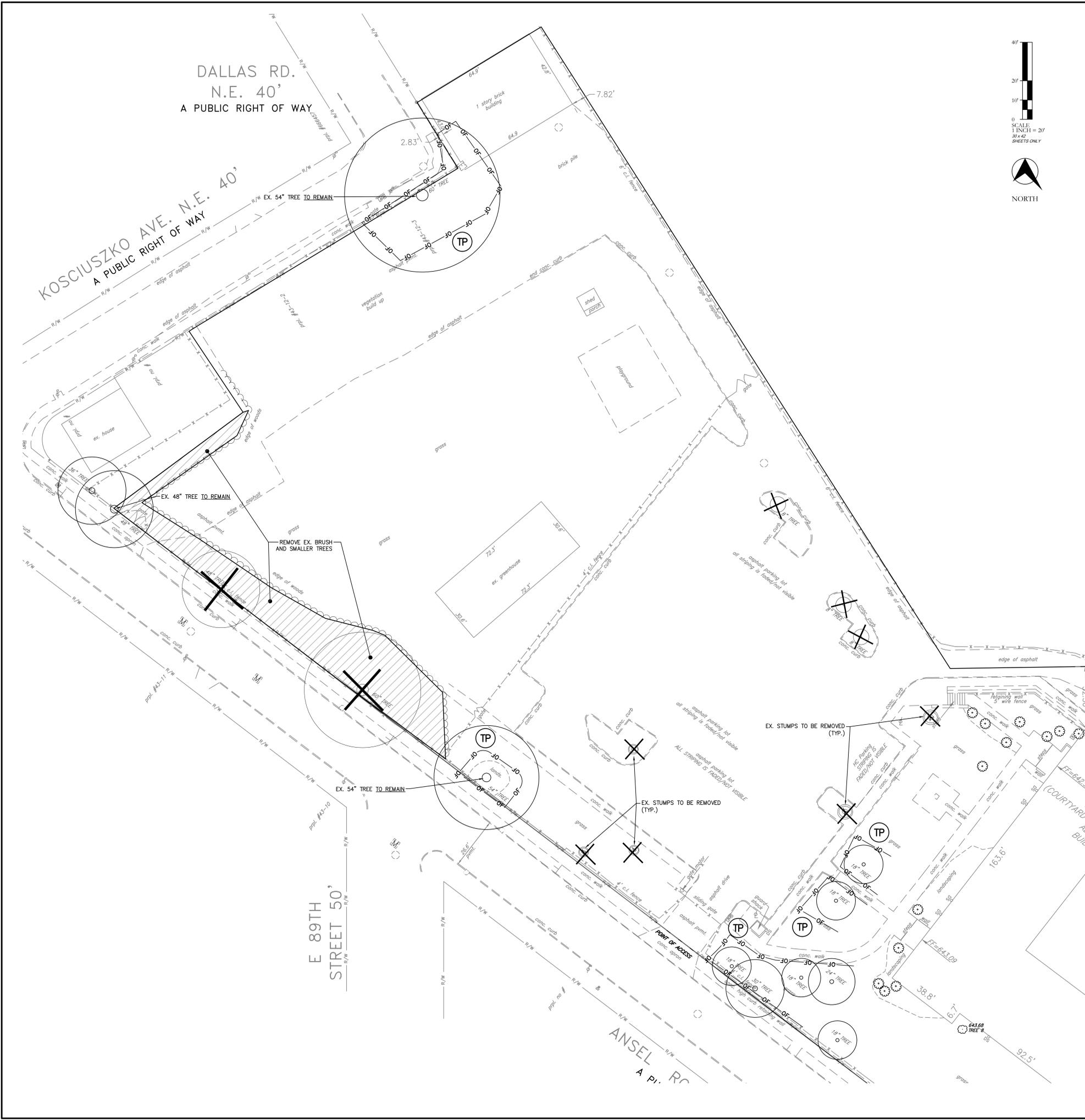


1. Tree and natural area preservation shall be fenced prior to beginning clearing operations.
2. Fence materials shall be metal fence posts with two strands of high tensile wire, plastic fence or snow fence.
3. Signage shall clearly identify the tree and natural preservation area and state that no clearing or equipment is allowed within it.
4. Fence shall be placed as shown on plans and beyond the drip line or canopy of trees to be protected.
5. If any clearing is done around specimen trees it shall be done by cutting at ground level with hand held tools and shall not be grubbed or pulled out. No clearing shall be done in buffer strips or other preserved forested areas.
6. If any clearing is done around specimen trees it shall be done by cutting at ground level with hand held tools and shall not be grubbed or pulled out. No clearing shall be done in buffer strips or other preserved forested areas.
7. No filling or stockpiling of materials shall occur within the tree protection area, including deposition of sediment.

Specifications for Protection During Utility Installation



1. Where utilities must run through a tree's dripline area, tunneling should be used to minimize root damage. Tunneling should be performed at a minimum depth of 24 inches for trees less than 12 inches in diameter or at a minimum depth of 36 inches for larger diameter trees.
2. Where tunneling will be performed within the dripline of a tree, the tunnel should be placed a minimum of 2 feet away from the tree trunk to avoid taproots.
3. Minimize excavation or trenching within the dripline of the tree. Route trenches around the dripline of trees.
4. Roots two inches or larger that are severed by trenching should be sawn off neatly in order to encourage new growth and discourage decay.
5. Soil excavated during trenching shall be piled on the side away from the tree.
6. Roots shall be kept moist while trenches are open and refilled immediately after utilities are installed or repaired.



PROJECT:

DATE: ISSUANCE:

TREE PRESERVATION  
PLAN

C1.1

MBC JOB NUMBER: 22067-11



**SITE DESCRIPTION**

Project Name and Location: Addis View Apartments 890th Street Cleveland, Ohio

Owner Name and Address: THE INSPIRON GROUP 2020 CARNEGIE AVE CLEVELAND, OHIO 44114

**Site Description:** (Nature and Types of Construction Activities)

This project will consist of a four-story apartment building and the installation of all utilities to service the new building and asphalt parking lot as well as construction of a pad ready site for a future outlet. Soil disturbing activities will include: clearing and grubbing; installing a stabilization construction entrance, perimeter, and other erosion and sediment controls; grading; storm sewer; grading to permanent subgrade; and, preparation for final planting and seeding as shown on the Storm Water Pollution Prevention Plan.

**Site Area:**

The site is approximately 1.47 acres of which 1.47 acres will be disturbed by construction activities. (Some improvements within the limits of disturbance take place off of the project site in neighboring parking areas.)

**Impervious Area (Acres)**

Table with 2 columns: Pre-Construction, Post-Construction (Full Build Out - Ph 1 & 2). Rows include 0.84 Ac. (Impervious), 0.62 Ac. (Pervious), 1.47 Ac. (Total), 57.6% (Impervious).

**Runoff Coefficient**

Table with 4 columns: Area (Ac.), Curve Number, Area x Curve Number. Rows for Soil Group D - Open Space (Good) Cover and Soil Group D - Impervious Cover.

**Post-Development Run-off Curve Number (CN) - 95**

Table with 4 columns: Area (Ac.), Curve Number, Area x Curve Number. Rows for Soil Group D - Open Space (Good) Cover and Soil Group D - Impervious Cover.

**Soil Types**

- A: USA -Urban Land - Encls complex, nearly level 100% of Site
B: % of Site
C: % of Site
D: % of Site

**Prior Land Use**

The site was previously a small business w/ parking and a single family home. There are no wetlands or streams on or near this site.

**Sequence of Major Activities**

Implementation of ALL necessary erosion, sediment, non-sediment pollutant controls, storm water management practices or facilities, and post-construction best management practices to be employed during each operation of the sequence.

The order of activities will be as follows:

- 1. Install stabilized construction entrance, silt fence, and inlet protection on all existing inlets.
2. Clear and grub site.
3. Strip & stockpile topsoil.
4. Stabilize denuded areas & stockpiles within 7 days of lot construction activity in that area.
5. Demolish existing building and asphalt pavement.
6. Commence earthwork activities.
7. Install underground utilities. Immediately install inlet protection when storm inlets are installed.
8. Finalize grade to permanent subgrade. Once subgrade is reached, immediately install aggregate base to all pavement areas to help reduce sediment laden runoff.
9. Apply temporary stabilization to all disturbed areas.
10. Install building foundation, pavement, and sidewalk per this plan.
11. Install proposed landscaping.
12. Clean, Jet, & Vac. Installed underground detention system to remove any sediment build-up from site construction activities.
13. Remove all temporary sediment controls upon establishment of permanent stabilization.
14. Reseed any disturbed areas.

**Name of Receiving Waters**

The site will ultimately drain into the existing combined sewer system along E. 90th Street.

**CONFORMANCE STATEMENT**

Implementation of sediment and erosion controls will conform to the Ohio EPA NPDES Construction General Permit #OH000005 and City of Cleveland/Cuyahoga County Codified Ordinances. If a conflict exists regarding the implementation of sediment and erosion controls, the more restrictive shall apply.

**GENERAL NOTES:**

Notice of Intent (NOI) must be submitted to the Ohio EPA for NPDES Permit 21 days prior to the start of clearing and grading.

All construction activities must comply with all local erosion and sediment control regulations.

All erosion and sediment control practices must meet the standards and specifications of the current edition of the Ohio Rainwater and Land Development Manual.

Other erosion control items may be necessary due to environmental conditions.

The contractor shall use erosion control measures as necessary to prevent sediment movement into areas designated as wetlands.

No solid or liquid waste shall be discharged into storm water runoff.

The contractor shall use indicated area designated for the storage or disposal of solid, sanitary, and toxic wastes, including dumpster, cement truck washout, and vehicle refueling areas.

Cast iron catch basins, grates, and inlet covers with messages such as, "Dump No Waste, Drains to Waterways" shall be utilized as a non-structural best management practice that promotes pollution prevention and conservation awareness. All catch basin grates and inlet covers shall be specified with an equivalent message.

**SEDIMENT AND EROSION CONTROLS**

**Non-Structural Preservation Methods**

Practices shall be used which preserve the existing natural condition as much as possible. Such practices may include: preserving riparian areas adjacent to surface waters of the State, preserving existing vegetation and vegetative buffer strips, phasing construction operations in order to minimize the amount of disturbed land at any one time, and designation of tree preservation areas or other protective clearing or grubbing practices. The recommended buffer that operators should leave undisturbed along a surface water of the State is 25 feet as measured from the ordinary high water mark of the surface water.

**Erosion Control Practices**

All disturbed areas of the site shall be protected by stabilization practices. Such practices may include: temporary seeding, permanent seeding, mulching, matting, sod stabilization, vegetative buffer strips, phasing of construction operations, use of construction entrances, and the use of alternative ground cover.

**Permanent Stabilization**

The timing specifications for the permanent seed can be found in the table below. The permanent seed shall be applied as per the permanent seeding specifications, see sheet C2.6. Note that 70% vegetative density is required on all disturbed soil areas for stabilization.

Table with 2 columns: Area requiring permanent stabilization, Time frame to apply erosion controls. Rows for areas that will lie dormant for one year or more, and areas within 50 feet of a surface water of the state and at final grade.

**Temporary Stabilization**

The timing specifications for the temporary seed can be found in the table below. The temporary seed shall be applied as per the temporary seeding specifications, see sheet C2.5. Areas of the site which are to be paved will be temporarily stabilized by applying stone sub-base until pavement can be applied. Note that 70% vegetative density is required on all disturbed soil areas for stabilization.

Table with 2 columns: Area requiring temporary stabilization, Time frame to apply erosion controls. Rows for areas within 50 feet of a surface water of the State and not at final grade, and areas within 50 feet of a surface water of the State.

Where vegetative stabilization techniques may cause structural instability or are otherwise unobtainable, alternative stabilization techniques must be employed.

**Permanent Stabilization of Conveyance Channels**

Operators shall undertake special measures to stabilize channels and outfalls and prevent erosive flows. Measures may include: seeding, dormant seeding, mulching, erosion control matting, sodding, riprap, natural channel design with bioengineering techniques or rock check dams.

**INVENTORY FOR POLLUTION PREVENTION PLAN**

The materials or substances listed below are expected to be present onsite during construction:

- Concrete
Detergents
Paints (enamel and latex)
Metal Studs
Asphalt
Fertilizers
Petroleum Based Products
Cleaning Solvents
Wood

**INSPECTION NOTES**

Regular inspection (by a qualified person) and maintenance will be provided for all erosion and sediment control practices. Inspections are to be performed until the Notice of Termination (N.O.T.) is filed. Permanent records of maintenance and inspections must be kept throughout the construction period and for 3 years after the (N.O.T.) is filed with the Ohio E.P.A. Inspections must be made a minimum of once every 7 days and immediately after storm events greater than 0.5 inches of rain in a 24 hour period by a qualified inspector. Provide name of inspector, major observations, date of inspection and corrective measures taken.

Temporary BMPs shall be repaired within 3 days of being identified as deficient. New temporary BMPs shall be installed within 10 days of identifying that a current BMP is not functioning as intended. Temporary BMPs that were not installed shall be installed within 10 days of being identified as missing.

**TIMING OF CONTROLS/MEASURES**

As indicated in the Sequence of Major Activities, stabilized construction entrance and silt fence will be constructed prior to clearing or grading of any other portions of the site. Areas where construction activity temporarily ceases for more than 14 days will be stabilized with a temporary seed and mulch within 7 days of the last disturbance. Once construction activity ceases permanently in an area, that area will be stabilized with permanent seed and mulch. After the entire site is stabilized, the accumulated sediment will be removed.

Disturbed areas that are to remain dormant for over 1 year or at final grade shall have permanent erosion controls applied within 7 days.

**SOIL PROTECTION CHART**

Grid chart for SOIL PROTECTION CHART with columns J, F, M, A, M, J, J, A, S, O, N, D and rows for Stabilization Type: Permanent Seeding, Dormant Seeding, Temporary Seeding, Sodding, Mulching.

- \* - IRRIGATION NEEDED
\*\* - IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SOD IS APPLIED

**Runoff Control Practices**

Measures shall be implemented which control the flow of runoff from disturbed areas so as to prevent erosion from occurring. Such practices may include: rock check dams, pipe slope drains, diversions to direct flow away from exposed soils, and protective grading practices. These practices shall divert runoff away from disturbed areas and steep slopes where practicable. Velocity dissipation devices shall be placed at discharge locations along the length of any outlet channel to provide non-erosive flow velocity from the structure to a water course so that the natural physical and biological characteristics and functions are maintained and protected.

**Sediment Control Practices**

Structural practices shall be used to control erosion and trap sediment from a site remaining disturbed for more than 14 days, which store runoff allowing sediments to settle and/or divert flows away from exposed soils or otherwise limit runoff from exposed areas. Such practices may include, among others: sediment settling ponds, silt fences, earth diversion dikes or channels which direct runoff to a sediment settling pond, and storm drain inlet protection. All sediment control practices must be capable of ponding runoff in order to be considered functional. Earth diversion dikes or channels alone are not considered a sediment control practice unless those are used in conjunction with a sediment settling pond.

Sediment Control Practices: (Implemented in this plan)

- Sediment Settling Ponds
Silt Fences
Earth Diversion Channels
Other

**Timing**

Sediment control structures shall be functional throughout the course of earth disturbing activity. Sediment basins and perimeter sediment barriers shall be implemented prior to grading and within seven days from the start of grubbing. They shall continue to function until the up slope development area is restabilized. As construction progresses and the topography is altered, appropriate controls must be constructed or existing controls altered to address the changing drainage patterns.

**Sediment Settling Ponds**

- A sediment settling pond is required for any one of the following conditions:
- Concentrated storm water runoff (e.g., storm sewer or ditch)
- Runoff from drainage areas, which exceed the design capacity of silt fence or other sediment barriers
- Runoff from drainage areas that exceed the design capacity of inlet protection
- Runoff from common drainage locations with 10 or more acres of disturbed land.

**Silt Fences and Diversions**

Sheet flow runoff from denuded areas shall be intercepted by silt fence or diversions to protect adjacent properties and water resources from sediment transported sheet flow. Where intended to provide sediment control, silt fence shall be placed on a level contour down slope of the disturbed area.

**Inlet Protection**

Inlet protection shall be used to minimize sediment laden water entering the active storm sewer system.

**Surface Waters of the State Protection**

If construction activities disturb areas adjacent to surface waters of the State, structural practices shall be implemented on site to protect all adjacent surface waters of the State from the impacts of sediment runoff. No structural sediment controls (e.g., the installation of silt fence or a sediment settling pond) shall be used in a surface water of the State. For all construction activities immediately adjacent to surface waters of the State, it is recommended that a setback of at least 25-feet, as measured from the ordinary high water mark of the surface water, be maintained in its natural state as a permanent buffer.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE. Table with columns for months (JAN to OCT) and rows for construction sequence (TEMPORARY CONSTRUCTION ENTRANCE, TEMPORARY CONTROL MEASURES, SEDIMENT CONTROL BASINS, STRIP & STOCKPILE TOPSOIL, ROUGH GRADE, STORM FACILITIES, SITE CONSTRUCTION, PERMANENT CONTROL STRUCTURES, FINISH GRADING, LANDSCAPING/SEED/FINAL STABILIZATION).

1) CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES. 2) THE SCHEDULE MUST CONFORM WITH SEQUENCE OF CONSTRUCTION.

**MAINTENANCE/INSPECTION PROCEDURES**

**Erosion and Sediment Control Inspection and Maintenance Practices**

These are the inspection and maintenance practices that will be used to maintain erosion and sediment:

- Less than 100% of the site will be denuded at one time.
- All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater.
- All measures will be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours of report.
- Built up sediment will be removed from silt fence when it has reached one-third the height of the fence.
- Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
- Diversion dikes will be inspected and any breaches promptly repaired.
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
- A maintenance inspection report will be made after each inspection. A copy of the report form to be completed by the inspector. The site superintendent will select individuals who will be responsible for inspections, maintenance and repair activities, and filling out the inspection and maintenance report.

**Non-Stormwater Discharges**

It is expected that the following non-stormwater discharges will occur from the site during the construction period:

- Water from water line flushings.
- Pavement wash waters (where no spills or leaks of toxic or hazardous materials have occurred).
- Uncontaminated groundwater (from dewatering excavation).
- There shall be no sediment-laden discharges to surface waters resulting from dewatering activities. It is recommended that if a trench or ground water contains sediment that it must pass through an effective sediment control device prior to being discharged from the construction site.

**Dewatering Procedures**

Should dewatering be required, e.g., from trenches, etc., during construction, all water shall be pumped to the temporary sediment basins, if possible, before being released to downstream channels, storm sewers, etc. If a temporary sediment basin is not shown on the plan, or not achievable for dewatering, the water shall be pumped into a sediment trap or through sediment bags onto a relatively flat surface away from inlet basins, streams, etc.

**SPILL PREVENTION**

**Material Management Practices**

The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances to stormwater runoff.

**Good Housekeeping**

The following good housekeeping practices will be followed onsite during the construction project:

- An effort will be made to store only enough product required to do the job.
- All materials stored on-site will be stored in a neat, orderly manner in their appropriate containers and, if possible, under a roof or other enclosure.
- Products will be kept in their original containers with the original manufacturer's label.
- Substances will not be mixed with one another unless recommended by the manufacturer.
- Whenever possible, all of a product will be used up before disposing of the container.
- Manufacturers' recommendations for proper use and disposal will be followed.
- The site superintendent will inspect daily to ensure proper use and disposal of materials on-site.

**Hazardous Products**

These practices are used to reduce the risks associated with hazardous materials:

- Products will be kept in original containers unless they are not resealable.
- Original labels and material safety data will be retained; they contain important product information.
- If surplus product must be disposed of, manufacturers' or Local and State recommended methods for proper disposal will be followed.

**Emergency Contact Information**

In the event of a spill of petroleum fuel over 25 gallons, the contractor shall contact the Ohio EPA at 1-800-282-9378, the Cleveland Fire Department at (216) 664-6800.

**POST-CONSTRUCTION INSPECTION PROCEDURE**

- 1. The property owner or its authorized representative(s) is responsible for the inspection of the newly installed structures for outlet damage, proper flow, and sediment accumulations.
2. Maintenance costs, if inspected by the owner or the owner's representative(s), will be paid by the owner.
3. The site shall be maintained per the Post-Construction Maintenance Plan following the submittal of the NOT.
4. Regular inspections, especially following major storm events, will require an inspection report that shall be kept by the owner and submitted, if required, to the Cleveland Engineers Office.

**VEGETATION MAINTENANCE PLAN**

This is a suggested schedule only. Vegetative needs may vary depending on site conditions.

Some maintenance needs include:

- pH adjustment (as required)
-pruning
-pest control
-reseeding (in particular after maintenance of forebay and micro pool if disturbances have occurred)
-thatch and weed removal
Thatch removal includes the following unwanted woody seedlings in shoreline areas:
-Cottonwood (Populus deltoides)
-Willow (Salix spp.)
-Silver Maple (Acer saccharinum)

Weed removal includes the following species detrimental to wetland plantings:

- Common Reed (Phragmites australis)
-Cattails (Typha spp.)
-Purple Loosestrife (Lythrum salicaria)

When removing the Purple Loosestrife it is important to remove the large root systems as well as the plant prior to flowering (June through September). The plant and its parts should be immediately placed in a bag to prevent further spread of the species. If this procedure is not possible, regular removal the flower heads before seeds are dispersed.

If Weed growth exceeds 10" in height in seeded areas trim or mow to 4". Do not cut areas where live plants were installed.

**LONG TERM MAINTENANCE PLAN**

**Typical Maintenance Activity For The Underground Detention System**

The Inspiron Group will be responsible for the long term maintenance of the underground system.

This is a suggested schedule only, depending on rainfall and site conditions, the need for maintenance may vary.

Monthly: Clean trash and debris from outlet structure. Address any accumulation of hydrocarbons.

Annually: Inspect outlet structure for proper flow. Monitor sediment accumulations in structure & isolator row(s).

3-7 Years: Remove sediment as needed.\*

15-20 Years: Monitor sediment throughout isolator rows and clean as the rows becomes autrophic or system volume is reduced significantly.

\* This preservation operation should be scheduled when the forecast calls for dry weather, and in conjunction with any scheduled vegetation maintenance to allow all disturbed or damaged areas to be properly restored.

**POST-CONSTRUCTION STRUCTURAL BMPs**

**Vegetative Controls**

- Forest Buffer Strip
Constructed Wetlands
Swales
Turf Reinforcement Mats
Preserving Natural Vegetation
Rain Gardens
Grass-Lined Channels and Swales
Grass Filter Strips
Filter Berms
Other

**Infiltration Controls**

- Infiltration Trenches
Dry Wells
Sand & Organic Filters
Porous Pavement
Infiltration Drainfields
Infiltration Basins
Other

**Treatment Controls**

- Separators
Filtration Devices
Catch Basin Inserts
Catch Basin Skimmers
Hydrodynamic Separators
Bretation
Other

**POST-CONSTRUCTION NON-STRUCTURAL BMPs**

- Education Materials
School Storm Water Programs
Public Meeting & Citizen Groups
Illicit Discharge Detection Programs
Regulatory Ordinances
BMP Operation & Maintenance Requirements
Street Sweeping, Catch Basin Cleaning
Wastewater Controls
Recycling & Pollution Prevention Programs
Alum Injection
On-Lot Treatment
Buffer Zones
Open Space Design
Urban Forestry
Conservation Ordinances
Eliminating Curbs and Gutters
Green Parking
Alternative Turn-A-Rounds
Alternative Powers
Zoning
Other

**Description and Rationale for the Post-Construction BMP(s) Used in This Plan**

- 1. See Post-Construction BMP Water Quality Design Rationale below.

**POST-CONSTRUCTION STORM WATER MANAGEMENT**

**ANTICIPATED IMPACTS ON WATER QUALITY, ETC.**

(Reference p. 20 of Ohio EPA's NPDES Permit) (Rev. April, 2018)

- 1. Post-construction practices shall provide for perpetual maintenance of runoff quality and quantity.
2. Refer to Maintenance & Inspection Procedure section.
3. Runoff quantity will be controlled by a proposed underground detention system.
4. Runoff quality during construction will be maintained by filtration through a subsurface geotextile filter system within the underground detention system.
5. Maintenance plan shall ensure that pollutants collected within structural post-construction practices will be disposed of in accordance with local, state, and federal regulations.

**POST-CONSTRUCTION BMP WATER QUALITY DESIGN**

The Ohio EPA's general permit for construction requires the implementation of post-construction BMPs on all projects where the larger common plan of development or site disturbs one or more acres. For new development the Ohio EPAs general construction permit requires that structural post-construction BMPs be provided on any projects where the larger common plan of development or site will result in 5 or more acres of disturbance. Structural BMPs must provide extended detention of the water quality volume. In addition, an extra 20% of the WQv must be provided within the area of the BMP where pollutants will accumulate to provide storage for these pollutants.

For redevelopment projects, the Ohio EPA's general permit requires that either (a) a 20% net reduction of site impervious area, (b) structural BMPs be provided to treat 20% of the WQv, or (c) a combination of (a) and (b) that has the same net effect.

**Rationale**

**REDEVELOPMENT ANALYSIS**

The project proposes to treat runoff from the proposed redevelopment site thru an underground detention system that utilizes filtration (underground detention system 1).

The proposed underground detention system 1 treats water from a drainage area of 2.20 acres. This treatment exceeds the required tributary runoff for treatment needed in order to satisfy requirements. Water quality calculations for the proposed site can be found below.

PRELIMINARY - NOT FOR CONSTRUCTION



DESIGN BUILDER: 36933 VINE STREET WILLOUGHBY, OH 44094 marousbrothers.com 440-951-3904

MAROUS BROTHERS CONSTRUCTION, INC. ALL RIGHTS RESERVED. COPYRIGHT 2023

PROJECT:

DATE ISSUANCE

SWP3 NOTES SHEET

C2.1



Call Before You Dig 1-800-362-2764

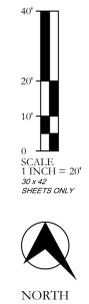
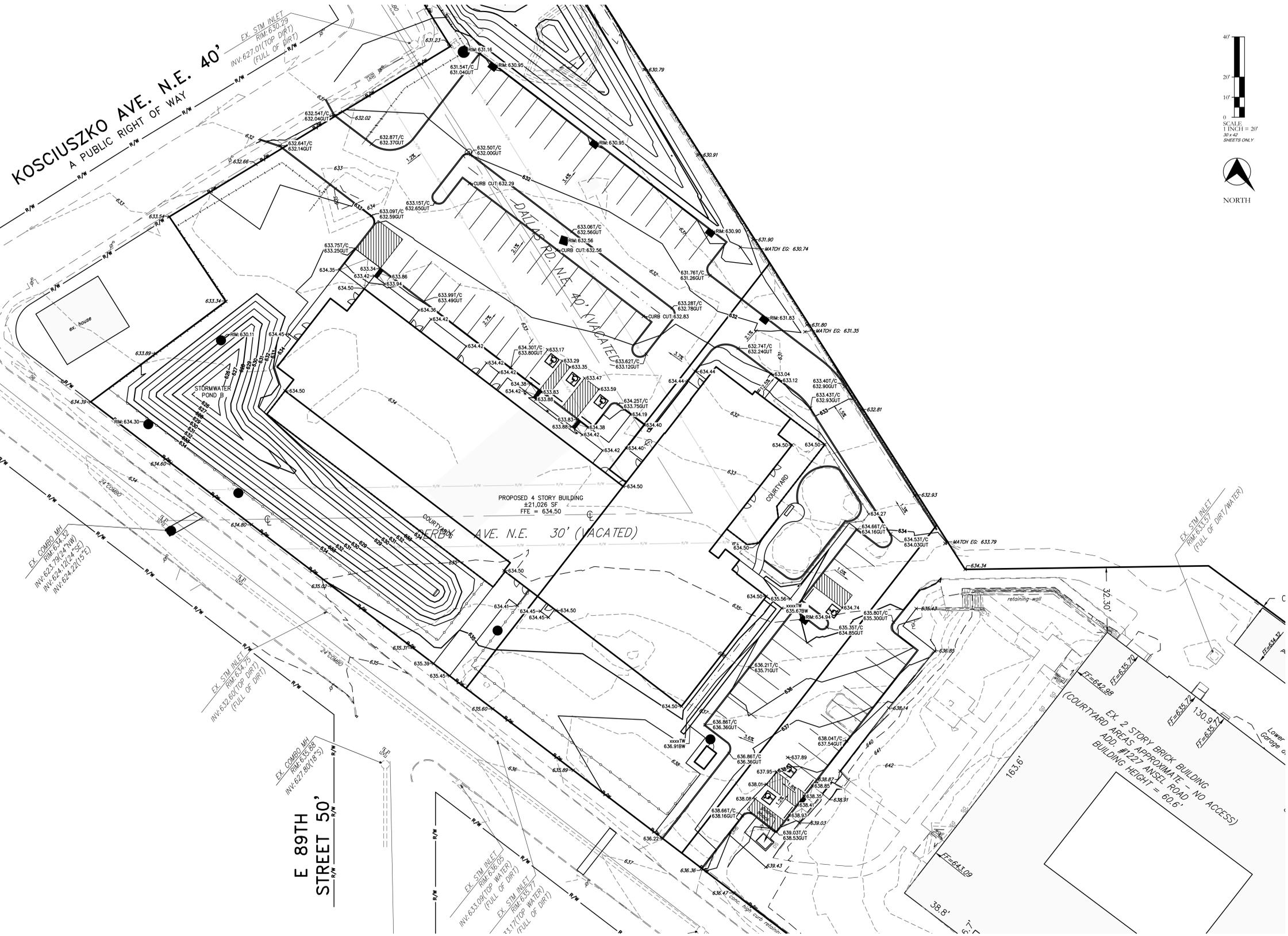
MBC JOB NUMBER: 22067-11

PRELIMINARY -  
NOT FOR  
CONSTRUCTION



DESIGN BUILDER:  
36933 VINE STREET  
WILLOUGHBY, OH 44094  
marousbrothers.com  
440-951-3904

MAROUS BROTHERS CONSTRUCTION, INC.  
ALL RIGHTS RESERVED  
© COPYRIGHT 2023



### SWP3 LEGEND

- CL CONSTRUCTION LIMITS (LIMITS OF DISTURBANCE)
  - SF SILT FENCE
  - FS FILTER SOCK
  - IP STORM DRAIN INLET PROTECTION
  - CE CONSTRUCTION ENTRANCE
  - PS PERMANENT SEEDING
  - TS TEMPORARY SEEDING
  - PC ADDITIONAL CONSTRUCTION SITE POLLUTION CONTROLS
  - CW CONCRETE WASHOUT
- 
- EX. 1' CONTOUR
  - EX. 5' CONTOUR
  - PROP. 1' CONTOUR
  - PROP. 5' CONTOUR

1. Concrete wash station must be established on site and clearly defined with signage.
2. Washout area may consist of an excavated pit or dumpster sized appropriately for anticipated concrete waste. Concrete should be recycled when possible.
3. Concrete wash water shall not be allowed to flow to streams, ditches, storm drains, or any other waste conveyance (use impermeable liner if there is a threat of discharge to water resource or stormwater conveyance).
4. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.

KOSCIUSZKO AVE. N.E. 40'  
A PUBLIC RIGHT OF WAY

PROPOSED 4 STORY BUILDING  
±21,026 SF  
FFE = 634.50

E 89TH STREET 50'

EX. 2 STORY BRICK BUILDING  
AREAS APPROXIMATE - NO ACCESS  
ADD. #1227 ANSEL ROAD  
BUILDING HEIGHT = 60.6'

PROJECT:

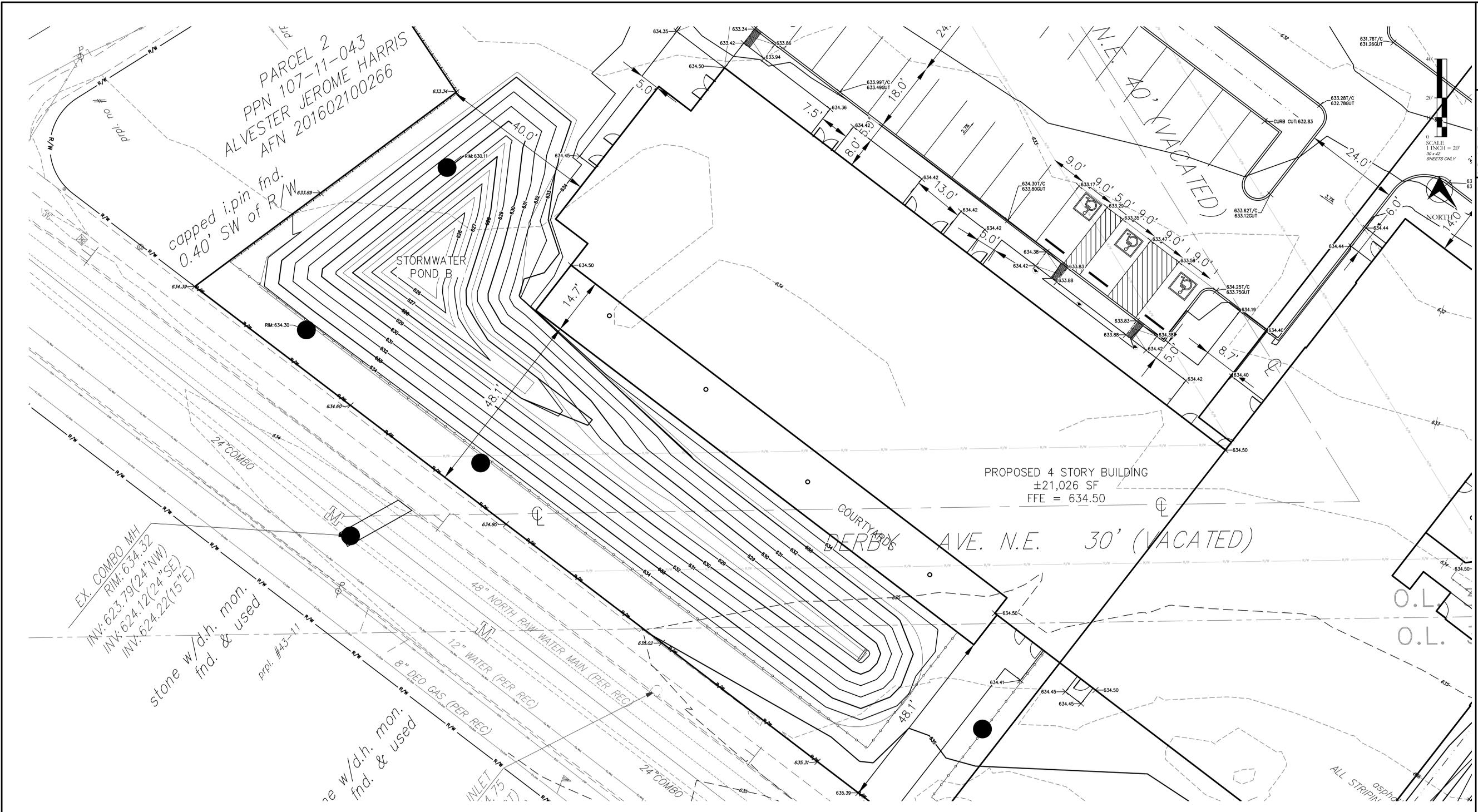
DATE: ISSUANCE:

STORMWATER  
POLLUTION  
PROTECTION PLAN

C2.2

MBC JOB NUMBER: 22067-11





POND B PLAN VIEW

1" = 10'

PARCEL 2  
PPN 107-11-043  
ALVESTER JEROME HARRIS  
AFN 201602100266

EX. COMBO MH  
RIM: 634.32  
INV: 623.79 (24" NW)  
INV: 624.12 (24" SE)  
INV: 624.22 (15" E)

stone w/d.h. mon.  
frd. & used

stone w/d.h. mon.  
frd. & used

PROPOSED 4 STORY BUILDING  
±21,026 SF  
FFE = 634.50

AVE. N.E. 30' (VACATED)

COURTYARDS  
PERB'S

STORMWATER  
POND B

ALL STRIP

NORTH

MBC JOB NUMBER: 22067-11

**Storm Drain Inlet Protection**

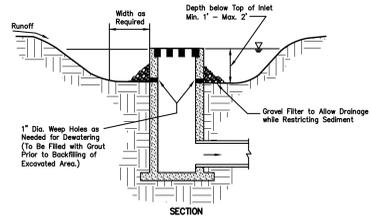


**Description**

Storm drain inlet protection devices remove sediment from storm water before it enters storm sewers and downstream areas. Inlet protection devices are sediment barriers that may be constructed of washed gravel or crushed stone, geotextile fabrics and other materials that are supported around or across storm drain inlets.

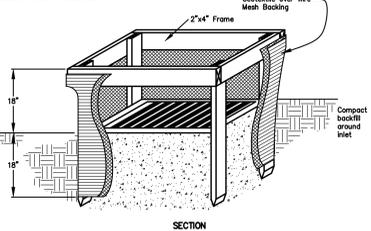
Inlet protection is installed to capture some sediment and reduce the maintenance of storm sewers and other underground piping systems prior to the site being stabilized. Due to their poorer effectiveness, inlet protection is considered a secondary sediment control to be used in conjunction with other more effective controls.

**Specifications for Excavated Drop Inlet Sediment Protection**



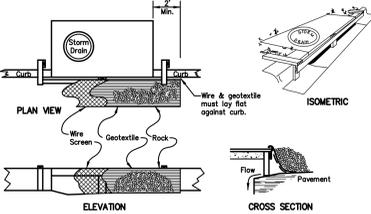
- The excavated trap should be sized to provide a minimum storage capacity calculated at the rate of 135 cubic yards for one (1) acre of drainage area. A trap should be no more than one (1) foot, nor more than two (2) feet deep measured from the top of the inlet structure. Side slopes should not be steeper than 2:1.
- The slopes of the trap may vary to fit the drainage area and terrain.
- Where the area receives concentrated flows, such as in the highway median, provide the trap with a shape having a 2:1 ratio of length to width, with the length oriented in the direction of flow.
- Sediment should be removed and the trap restored to the original depth when the sediment has accumulated to 40% the design depth of the trap. Removed sediment should be spread in a suitable area and stabilized so it will not erode.
- During final grading, the inlet should be protected with geotextile-stone inlet protection. Once final grading is achieved, sod or a suitable temporary erosion control material shall be implemented to protect the area until permanent vegetation is established.

**Specifications for Geotextile Inlet Protection**



- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- The earth around the inlet shall be excavated completely to a depth of at least 18 inches.
- The wooden frame shall be constructed of 2-inch by 4-inch construction-grade lumber. The 2 inch by 4-inch posts shall be driven one (1) ft into the ground at four corners of the inlet and the top portion of 2-inch by 4-inch frame assembled using the overlap joint shown. The top of the frame shall be at least 6 inches below adjacent roads if ponded water will pose a safety hazard to traffic.
- Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- Geotextile material shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 inches below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6 inch layers until the earth is even with notch elevation on ends and top elevation on sides.
- A compacted earth dike or a check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression. The top of the dike shall be at least 6 inches higher than the top of the frame.

**Specifications for Geotextile-Stone Inlet Protection for Curb Inlets**



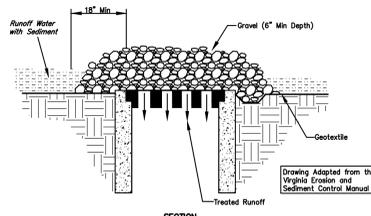
- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- Construct a wooden frame of 2-by-4-in. construction-grade lumber. The end spacers shall be a minimum of 1 ft beyond both ends of the throat opening. The anchors shall be nailed to 2-by-4-in. stakes driven on the opposite side of the curb.
- The wire mesh shall be of sufficient strength to support fabric and stone. It shall be a continuous piece with a minimum width of 30 in. and 4 ft longer than the throat length of the inlet, 2 ft on each side.
- Geotextile cloth shall have an equivalent opening size (EOS) of 20-40 sieve and be resistant to sunlight. It shall be at least the same size as the wire mesh.
- The wire mesh and geotextile cloth shall be formed to the concrete gutter and against the face of the curb on both sides of the inlet and securely fastened to the 2-by-4-in. frame.
- Two-inch stone shall be placed over the wire mesh and geotextile in such a manner as to prevent water from entering the inlet under or around the geotextile cloth.
- This type of protection must be inspected frequently and stone and/or geotextile replaced when clogged with sediment.

Manufacturer/Proprietor	Year Manufactured	Weight	Length	Width	Material
1. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
2. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
3. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
4. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
5. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
6. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
7. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
8. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
9. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene
10. Dandy Bag	2000	100 lbs	100 in	30 in	Non-woven polypropylene

Note: All Dandy Bags can be ordered with our optional aluminum frames.

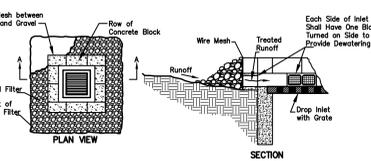
IN RIGHT-OF-WAY ROADWAY CATCH BASINS, USE ADS FLEXSTORM (OR APPROVED EQUIVALENT) THAT PROVIDES AN OVERFLOW FOR HEAVY RAIN EVENTS TO PREVENT PONDING ON ROADWAY.

**Specifications for Geotextile-Stone Inlet Protection**



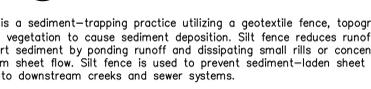
- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- Geotextile and/or wire material shall be placed over the top of the storm sewer and approximately six (6) inches of 2-inch or smaller clean aggregate placed on top. Extra support for geotextile is provided by placing hardware cloth or wire mesh across the inlet cover. The wire should be no larger than 1/2" mesh and extend an extra 12 inches across the top and sides of the inlet cover.
- Maintenance must be performed regularly, especially after storm events. When clogging of the stone or geotextile occurs, the material must be removed and replaced.

**Specifications for Block and Gravel Drop Inlet Filter**

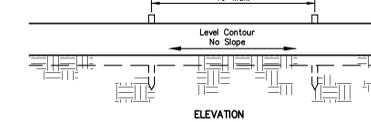


- Place 4-inch by 8-inch by 12-inch concrete blocks lengthwise on their sides in a single row around the perimeter of the inlet, with the ends of adjacent blocks abutting. The height of the barrier can be varied, depending on the design needs, by stacking combinations of the same size blocks. The barrier of blocks should be at least 12-inches high but no greater than 24-inches high.
- Wire mesh should be placed over the outside vertical face (webbing) of the concrete blocks to prevent stone from being washed through the block cores. Hardware cloth or comparable wire mesh with 1/2-inch openings should be used.
- Two-inch stone should be piled against the wire to the top of the block barrier, as shown above. If the stone filter becomes clogged with sediment so that it no longer adequately performs its function, pull stone away from the blocks, clean and/or replace.

**Silt Fence**



**Specifications for Silt Fence**



- Silt fence shall be constructed before upslope land disturbance begins.
- All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions that may carry concentrated flows to the silt fence are dissipated along its length.
- Ends of the silt fence should be brought upslope slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
- Silt fence shall be placed on the flattest area available.
- Where possible, vegetation shall be preserved for 5 feet (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
- The height of the silt fence shall be a minimum of 16 inches above the original ground surface.
- The silt fence shall be placed in an excavated or sliced trench cut a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, slicing machine, or other suitable device that will ensure an adequate uniform trench depth.
- The silt fence shall be placed with the stakes on the downslope side of the geotextile. A minimum of 8 inches of geotextile must be laid on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
- Seams between sections of silt fence shall be spliced together only at a support post with a minimum 6-in. overlap prior to driving into ground, (see detail).
- Maintenance - Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff overtops the silt fence, flows under the fabric or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed, 2) accumulated sediment shall be removed, or 3) other practices shall be installed.

- Sediment deposits shall be routinely removed when the deposit reaches approximately one-half the height of the silt fence.
  - Silt fences shall be inspected after each rainfall and at least daily during prolonged rainfall. The location of the existing silt fence shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.
- Criteria for Silt Fence Materials
- Fence post - The length shall be a minimum of 32 inches. Wood post will be 2-by-2-in. nominal dimensioned hardwood of sound quality. They shall be free of knots, splits, and other visible imperfections, that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 16 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
  - Silt fence fabric - See chart below.

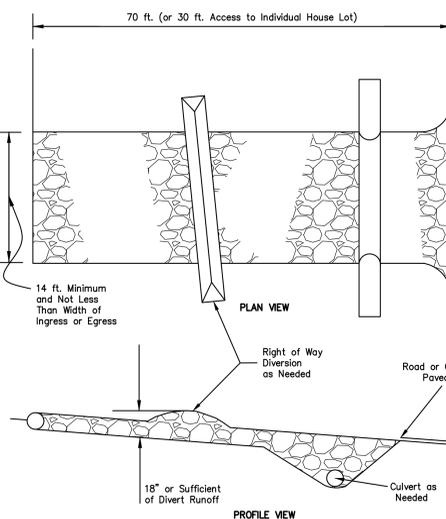
Fabric Properties	Values	Test Method
Minimum Tensile Strength	120 lbs (535 N)	ASTM D4632
Maximum Elongation at 60 lbs	50%	ASTM D4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D4533
Apparent Opening Size	≤ 0.84 mm	ASTM D4751
Minimum Permittivity	1X10 <sup>-2</sup> sec.-1	ASTM D4491
UV Exposure Strength Retention	70%	ASTM D4355

**Construction Entrance**

**Description**

A construction entrance is a stabilized pad of stone underlain with a geotextile and is used to reduce the amount of mud tracked off-site with construction traffic. Located at points of ingress/egress, the practice is used to reduce the amount of mud tracked off-site with construction traffic.

**Specifications for Construction Entrance**



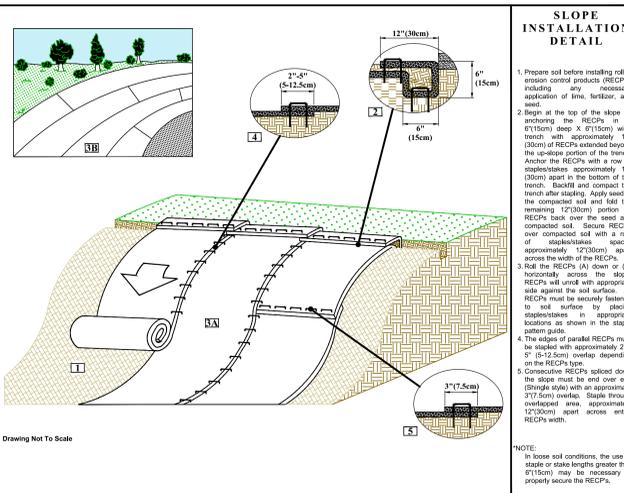
- Stone Size - 0007 # 2 (1.5-2.5 inch) stone shall be used, or recycled concrete equivalent.
- Length - The Construction entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (exception: apply 30 ft. minimum to single residence lots).
- Thickness - The stone layer shall be at least 6 inches thick for light duty entrances or at least 10 inches for heavy duty use.
- Width - The entrance shall be at least 14 feet wide, but not less than the full width at points where ingress or egress occurs.
- Geotextile - A geotextile shall be laid over the entire area prior to placing stone. It shall be composed of strong root-proof polymeric fibers and meet the following specifications:
 

Geotextile Specifications for Construction Entrances	Values
Minimum Tensile Strength	200 lbs
Minimum Puncture Strength	80 psi
Minimum Tear Strength	50 lbs
Minimum Burst Strength	320 psi
Minimum Elongation	22%
Equivalent Opening Size	EOS<0.6mm.
Permittivity	1x10 <sup>-3</sup> cm/sec.
- Timing - The construction entrance shall be installed as soon as is practicable before major grading activities.
- Culvert - A pipe or culvert shall be constructed under the entrance if needed to prevent surface water from flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.
- Water Bar - A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and onto paved surfaces.
- Maintenance - Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surface where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
- Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.
- Removal - The entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.

**EROSION CONTROL BLANKETING**

ALL AREAS WHERE SLOPE IS STEEPER THAN 3:1, OR AS SHOWN ON THE PLAN, SHALL RECEIVE EROSION CONTROL BLANKETING SUCH AS NORTH AMERICAN GREEN ST5BN OR APPROVED EQUAL. BLANKETING SHALL BE INSTALLED AND STAPLED AS SPECIFIED BY THE MANUFACTURE (SEE DETAIL BELOW).

SEEDING WITH EROSION CONTROL BLANKETING TO BE INSTALLED FOLLOWING COMPLETION OF EARTHWORK ACTIVITIES.

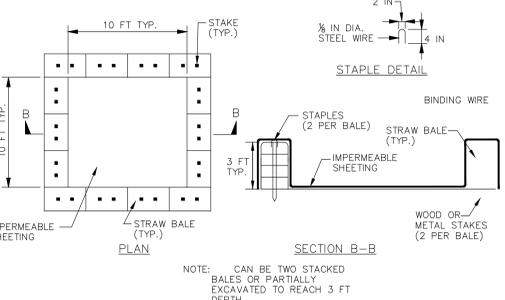
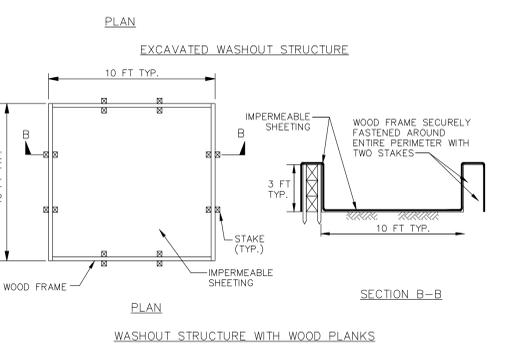
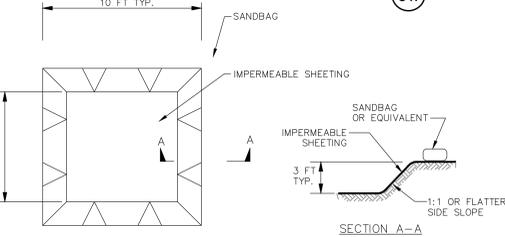


**SLOPE INSTALLATION DETAIL**

- Prepare soil before installing rolled erosion control products (RECPCs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the RECPCs in a 6" (150mm) deep x 6" (150mm) wide trench with approximately 1" (25mm) of RECPCs extended beyond the up-slope portion of the trench. Anchor the RECPCs with a row of staples/stakes approximately 12" (300mm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and till the remaining 12" (300mm) portion of RECPCs back over the seed and compacted soil. Secure RECPCs over compacted soil with a row of staples/stakes spaced approximately 12" (300mm) apart across the width of the RECPCs.
- Roll the RECPCs (A) down or (B) horizontally across the slope. RECPCs will unroll with appropriate side against the soil surface. All RECPCs must be securely fastened to soil surface by using staples/stakes in appropriate locations as shown in the slope system guide.
- The slope of equal RECPCs must be stapled with approximately 2" - 5" (50-125mm) overlap, depending on the RECPC type.
- Consecutive RECPCs rolled down the slope must be end over end (200mm) overlap. Staple through consecutive areas approximately 12" (300mm) apart across entire RECPCs width.

NOTE: In loose soil conditions, the use of staple or stake lengths greater than 6" (150mm) may be necessary to properly secure the RECPCs.

**Concrete Washout**



NOTE: CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

**WASHOUT STRUCTURE WITH STRAW BALES**

**CONSTRUCTION SPECIFICATIONS**

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

DESIGN BUILDER:  
36933 VINE STREET  
WILLOUGHBY, OH 44094  
marousbrothers.com  
440-951-3904

MAROUS BROTHERS CONSTRUCTION, INC.  
ALL RIGHTS RESERVED  
COPYRIGHT 2023

**Additional Construction Site Pollution Controls (PC)**

**Description**

Although sediment is the primary pollutant of concern resulting from construction activity, other pollutants need to be considered as well. These include petrochemicals: fuel, oil, and asphalt; and construction chemicals and materials: paints, solvents, fertilizer, soil additives, concrete wash water, etc. Also included are solid wastes and construction debris. Keeping these substances from polluting runoff can be accomplished to a large extent through good housekeeping and following the manufacturer's recommendations for their use and disposal.

**Specifications for Additional Construction Site Pollution Controls**

- Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:
  - Prevent spills
  - Use products up
  - Follow label directions for disposal
  - Remove lids from empty bottles and cans when disposing in trash
  - Recycle wastes whenever possible
  - Don't pour into waterways, storm drains or onto the ground
  - Don't pour down the sink, floor drain or septic tanks
  - Don't bury chemicals or containers
  - Don't burn chemicals or containers
  - Don't mix chemicals together
- Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.
- No construction related waste materials are to be buried on-site. By exception, clean fill (bricks, hardened concrete, soil) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.
- Handling Construction Chemicals. Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.
- Equipment Fueling and Maintenance, oil changing, etc., shall be performed away from watercourses, ditches or storm drains in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.
- Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged. For small projects, truck chutes may be rinsed away from any water conveyances.
- Spill Reporting Requirements: Spills on pavement shall be absorbed with sawdust or kitty litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-9378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min. of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA.
- Contaminated Soils. If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water run off associated with contaminated soils are not authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.
- Open Burning. No materials containing rubber, grease, asphalt, or petroleum products, such as tires, autoparts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within corporate limits; 2) within 1000 feet outside a municipal corporation having a population of 10,000; and 3) a one mile zone outside of a corporation of 10, 000 or more. Outside of restricted areas, no open burning is allowed within a feet of an inhabited building on another property. Open burning is permissible in a restricted area for: heating tar, welding, smudge pots and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.
- Dust Control or dust suppressants shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, catch basins, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control.
- Other Air Permitting Requirements: Certain activities associated with construction will require air permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required.
- Process Waste Water/Leachate Management. Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or septage is discharged; it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.
- A Permit to Install (PTI) is required prior to the construction of all centralized sanitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and three family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.

**Temporary Seeding (TS)**

**Description**

Temporary seedings establish temporary cover on disturbed areas by planting appropriate rapidly growing annual grasses or small grains. Temporary seeding provides erosion control on areas in between construction operations. Grasses, which are quick growing, are seeded and usually mulched to provide prompt, temporary soil stabilization. It effectively minimizes the area of a construction site prone to erosion and should be used everywhere the sequence of construction operations allows vegetation to be established.

**Specifications for Temporary Seeding**

Temporary Seeding Species Selection				
Seeding Dates	Species	Lb./1000 ft <sup>2</sup>	Lb./Acre	
March 1 to August 15	Oats	3	128 (4 Bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Ryegrass	1	40	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Annual Ryegrass	1.25	55	
	Perennial Ryegrass	3.25	142	
	Creeping Red Fescue	0.4	17	
	Kentucky Bluegrass	0.4	17	
August 16th to November	Oats	3	128 (3 Bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Rye	3	112 (2 Bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Wheat	3	120 (2 Bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Ryegrass	1	40	
November 1 to Feb. 29	Perennial Ryegrass	1.25	40	
	Perennial Ryegrass	3.25	40	
	Creeping Red Fescue	0.4	40	
	Kentucky Bluegrass	0.4	40	
	Use mulch only or dormant seeding			
	Note: Other approved species may be substituted.			

- Structural erosion and sediment control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction site.
- Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 21 days or greater. These idle areas shall be seeded within 7 days after grading.
- The seedbed should be pulverized and loose to ensure the success of establishing vegetation. Temporary seeding should not be postponed if ideal seedbed preparation is not possible.
- Soil Amendments - Temporary vegetation seeding rates shall establish adequate stands of vegetation, which may require the use of soil amendments. Base rates for lime and fertilizer shall be used.
- Seeding Method - Seed shall be applied uniformly with a cyclone seeder, drill, cultipacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

**Mulching Temporary Seeding**

- Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates on favorable, very flat soil conditions may not need mulch to achieve adequate stabilization. Materials:
  - Straw - If straw is used, it shall be unrotted small-grain straw applied at a rate of 2 tons/acre or 90 lbs./1,000 sq.-ft. (2-3 bales)
  - Hydroseeders - If wood cellulose fiber is used, it shall be used at 2,000 lbs./ac. or 46 lb./1,000 sq.-ft.
  - Other - Other acceptable mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 ton/ac.
- Straw mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
  - Mechanical - A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil.
  - Straw mechanically anchored shall not be finely chopped but left to a length of approximately 6 inches.
  - Mulch Netting - Netting shall be used according to manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
  - Synthetic Binders - Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petroset, Terra Track or equivalent may be used at rates recommended by the manufacturer.
  - Wood-Cellulose Fiber - Wood-cellulose fiber binder shall be applied at a net dry wt. of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal.

**Permanent Seeding (PS)**

**Description**

Perennial vegetation is established on areas that will not be re-disturbed for periods longer than 12 months. Permanent seeding includes site preparation, seedbed preparation, planting seed, mulching, irrigation and maintenance.

Permanent vegetation is used to stabilize soil, reduce erosion, prevent sediment pollution, reduce runoff by promoting infiltration, and provide storm water quality benefits offered by dense grass cover.

**Specifications for Permanent Seeding**

**Site Preparation**

- Subsoiler, plow, or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
- The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.
- Topsoil shall be applied where needed to establish vegetation.

**Seedbed Preparation**

- Lime - Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.
- Fertilizer - Fertilizer shall be applied as recommended by a soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1000 pounds per acre of a 10-10-10 or 12-12-12 analyses.
- The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil shall be worked on the contour.

**Seeding Dates and Soil Conditions**

Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the above specified dates, additional mulch and irrigation may be required to ensure a minimum of 80% germination. Tillage for seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.

**Dormant Seedings**

- Seedings should not be made from October 1 through November 20. During this period, the seeds are likely to germinate but probably will not be able to survive the winter.
- The following methods may be used for "Dormant Seeding":
  - From October 1 through November 20, prepare the seedbed, add the required amounts of lime and fertilizer, then mulch and anchor. After November 20, and before March 15, broadcast the selected seed mixture. Increase the seeding rates by 50% for this type of seeding.
  - From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.
  - Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.
  - Where feasible, except when a cultipacker type seeder is used, the seedbed should be firmed following seeding operations with a cultipacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible.

**Mulching**

- Mulch material shall be applied immediately after seeding. Dormant seeding shall be mulched. 100% of the ground surface shall be covered with an approved material.
- Materials:
  - Straw - If straw is used it shall be unrotted small-grain straw applied at the rate of 2 tons per acre or 90 pounds (two to three bales) per 1,000-sq. ft. The mulch shall be spread uniformly by hand or mechanically applied so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000-sq.-ft. sections and spread two 45-lb. bales of straw in each section.
  - Hydroseeders - If wood cellulose fiber is used, it shall be applied at 2000 lb./ac. or 46 lb./1,000 sq.-ft.
  - Other - Other acceptable mulches include rolled erosion control matings or blankets applied according to manufacturer's recommendations or wood chips applied at 6 tons per acre.
- Straw and Mulch Anchoring Methods:
  - Straw mulch shall be anchored immediately to minimize loss by wind or water.
  - Mechanical - A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
  - Mulch Netting - Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
  - Asphalt Emulsion - Asphalt shall be applied as recommended by the manufacture or at the rate of 150 gallons per acre.
  - Synthetic Binders - Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petroset, Terra Track or equivalent may be used at rates specified by the manufacturer.
  - Wood Cellulose Fiber - Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gallons of water.

**Irrigation**

Permanent seeding shall include irrigation to establish vegetation during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant growth.

Irrigation rates shall be monitored to prevent erosion and damage to seeded areas from excessive runoff.

Seed Mix	Seeding Rate		Notes:
	Lbs./Acre	Lbs./1,000 Sq. Feet	
General Use			
Creeping Red Fescue	20-40	1/2-1	For close mowing & for waterways with <2.0 ft/sec velocity
Domestic Ryegrass	10-20	1/4-1/2	
Kentucky Bluegrass	20-40	1/2-1	
Tall Fescue	40-50	1-1 1/4	
Turf-type (dwarf) Fescue	90	2 1/4	
Steep Banks or Cut Slopes			
Tall Fescue	40-50	1-1 1/4	
Crown Vetch	10-20	1/4-1/2	Do not seed later than August
Tall Fescue	20-30	1/2-3/4	
Flat Pea	20-25	1/2-3/4	Do not seed later than August
Tall Fescue	20-30	1/2-3/4	
Road Ditches and Swales			
Tall Fescue	40-50	1-1 1/4	
Turf-type (Dwarf) Fescue	90	2 1/4	
Kentucky Bluegrass	5	0.1	
Lawns			
Kentucky Bluegrass	100-200	2	For shaded areas
Perennial Ryegrass		2	
Kentucky Bluegrass	100-200	2	
Creeping Red Fescue		1-1/2	

Note: Other approved species may be substituted.

**Dust Control (DC)**

**Description**

Dust control involves preventing or reducing dust from exposed soils and other surfaces during land disturbing, demolition and construction activities to reduce the presence of airborne substances which may present health hazards, traffic safety problems or harm animal or plant life.

**Specifications for Dust Control**

- Vegetative cover and/mulch - Apply temporary or permanent seeding and mulch to areas that will remain idle for over 21 days. Saving existing trees and large shrubs will also reduce soil and air movement across disturbed areas. See Temporary Seeding, Permanent Seeding, Mulching Practices; and Tree and Natural Area Protection practices.
- Watering - Spray site with water until the surface is wet before and during grading and repeat as needed, especially on haul roads and other heavy traffic routes. Watering shall be done at a rate that prevents dust but does not cause soil erosion. Wetting agents shall be utilized according to manufacturer's instructions.
- Spray-On Adhesives - Apply adhesives according to the following table or manufacturer's instructions.

Adhesive	Water Dilution (Adhesive:Water)	Nozzle Type	Application Rate Gal./Ac.
Latex Emulsion	12.5:1	Fine	235
Resin in Water Acrylic Emulsion (No-Traffic)	4:1	Fine	300
Acrylic Emulsion (No-Traffic)	7:1	Coarse	450
Acrylic Emulsion (Traffic)	3.5:1	Coarse	350

- Stone - Graded roadways and other suitable areas will be stabilized using crushed stone or coarse gravel as soon as practicable after reaching an interim or final grade. Crushed stone or coarse gravel can be used as a permanent cover to provide control of soil emissions.
- Barriers - Existing windbreak vegetation shall be marked and preserved. Snow fencing or other suitable barrier may be placed perpendicular to prevailing air currents at intervals of about 15 times the barrier height to control air currents and blowing soil.
- Calcium Chloride - This chemical may be applied by mechanical spreader as loose, dry granules or flakes at a rate that keeps the surface moist but not so high as to cause water pollution or plant damage. Application rates should be strictly in accordance with supplier's specified rates.
- Operation and Maintenance - When Temporary Dust Control measures are used; repetitive treatment should be applied as needed to accomplish control.
- Street Cleaning - Paved areas that have accumulated sediment from construction should be cleaned daily, or as needed, utilizing a street sweeper or bucket-type endloader or scraper.

**Topsoil Restoration/Replacement (TR)**

**Description**

Topsoiling occurs during grading operations as the upper most organic layer of soil is stripped and stockpiled from areas being graded and subsequently replaced on the newly graded areas. Topsoil provides a more suitable growing medium than subsoil or on areas with poor moisture, low nutrient levels, undesirable pH, or in the presence of other materials that would inhibit establishment of vegetation. Replacing topsoil helps plant growth by improving the water holding capacity and nutrient content and consistency of the soils.

**Specifications for Topsoil Restoration/Replacement**

**Salvaging and Stockpiling**

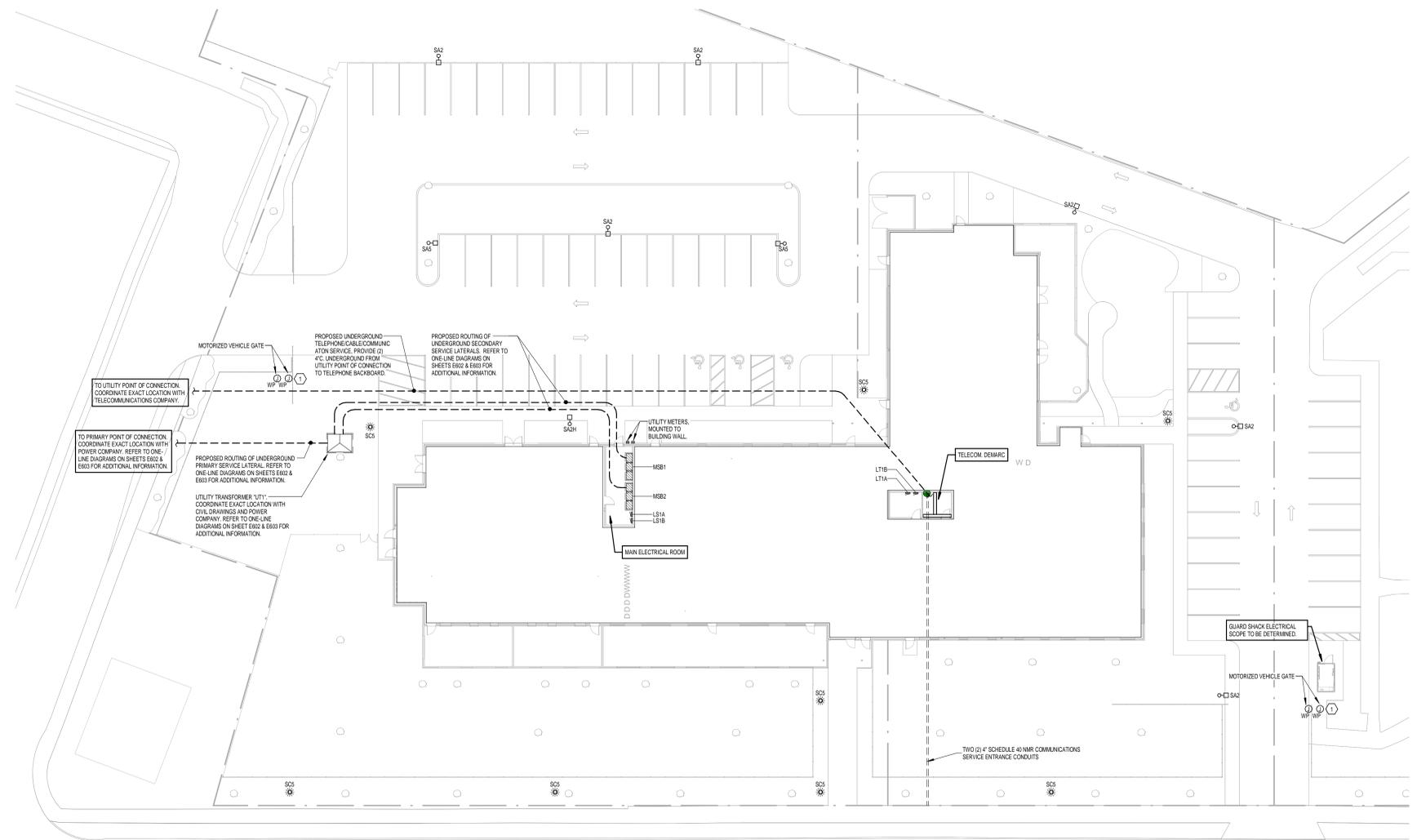
- Determine the depth and suitability of topsoil at the site. (For help, contact your local SWCD office to obtain a county soil survey report).
- Prior to stripping topsoil, install appropriate downslope erosion and sedimentation controls such as sediment traps and basins.
- Remove the soil material no deeper than what the county soil survey describes as "surface soil" (ie. A or Ap horizon).
- Construct stockpiles in accessible locations that do not interfere with natural drainage. Install appropriate sediment controls to trap sediment such as silt fence immediately adjacent to the stockpile or sediment traps or basins downstream of the stockpile. Stockpile side slopes shall not exceed a ratio of 2:1.
- If topsoil is stored for more than 21 days, it should be temporary seeded, or covered with a tarp.

**Topsoil Specifications for Respread:**

Prior to respreading topsoil to site, any existing stockpiles material, or any imported topsoil material must meet the following specifications:

- Topsoil shall have a loam, silt loam, or sandy loam texture.
- Clay content of topsoil must be less than 20%.
- Organic matter content must be >5% (by weight) - determined by loss-on-ignition or equivalent test.
- Bulk density (dry, settled - after placement & wetting) must be within the following ranges:
  - Silt Loam Topsoil - 1.20-1.35 g/cm<sup>3</sup> (75.0-85.0 lb/ft<sup>3</sup>)
  - Loam Topsoil - 1.25-1.40 g/cm<sup>3</sup> (78.0-87.5 lb/ft<sup>3</sup>)
  - Sandy Loam Topsoil - 1.30-1.45 g/cm<sup>3</sup> (81.0-90.5 lb/ft<sup>3</sup>)
- The soil profile to a depth of 12" must have penetration resistance less than 200 psi (1.4 MPa). (As measured by a cone penetrometer inserted at 0.8 in/s (2 cm/s))

Upon verification of topsoil that meets the above specifications, top should be spread to a minimum 6" depth of loose, friable soil. Immediately after spreading of topsoil, all areas shall be seeded, sodded, or planted.

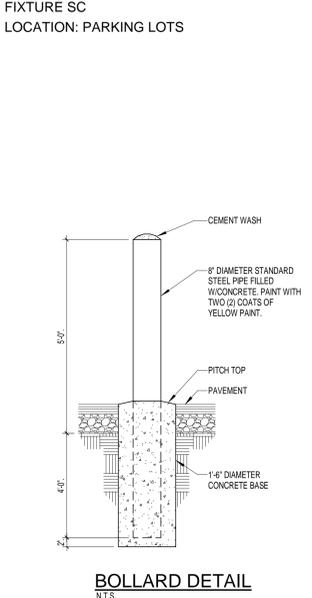
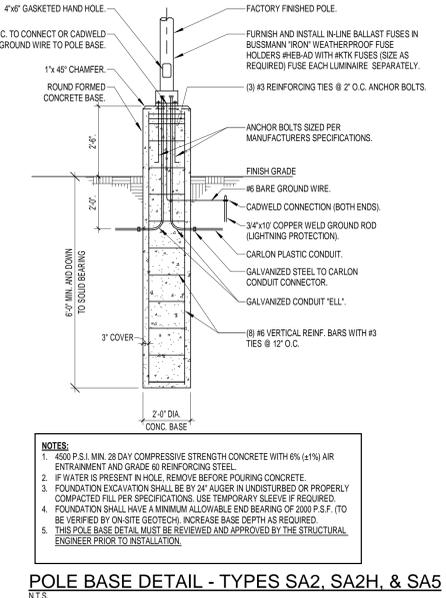
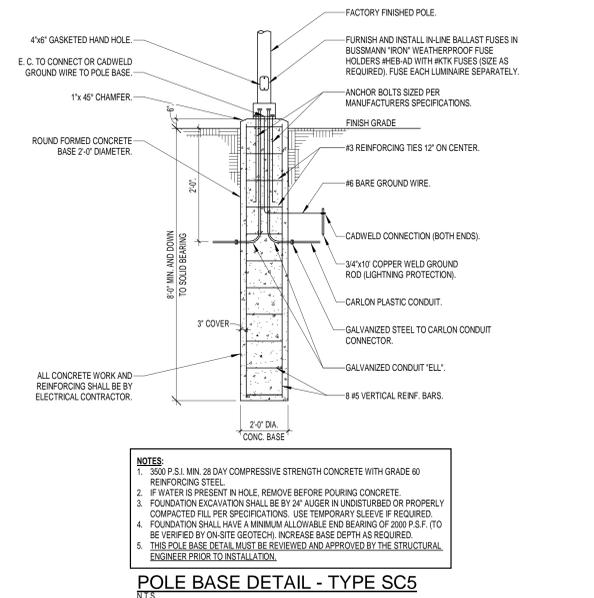


- GENERAL NOTES:**
- REFERENCE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION RELATED TO THE ELECTRICAL INSTALLATION.
  - REFERENCE MECHANICAL, PLUMBING, FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE ELECTRICAL WORK WITH OTHER TRADES.
  - WHERE THE UTILITY TRANSFORMER, SWITCHING AND/OR METERING EQUIPMENT SHALL BE INSTALLED PADMOUNTED IN A PAVED AREA ACCESSIBLE TO VEHICULAR TRAFFIC, THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL CONCRETE FILLED BOLLARDS AROUND ALL SUCH ELECTRICAL EQUIPMENT. PROVIDE BOLLARDS AT ALL ACCESSIBLE CORNERS OF EQUIPMENT WITH ADDITIONAL BOLLARDS IN BETWEEN AS REQUIRED FOR A MAXIMUM SPACING OF 4'-0" O.C. VERIFY EXACT LOCATION OF BOLLARDS WITH ENGINEER PRIOR TO INSTALLATION. MAINTAIN ALL REQUIRED CLEARANCE AND ACCESS REQUIREMENTS PER POWER COMPANY, CODE AND LOCAL AUTHORITY HAVING JURISDICTION.
  - MINIMUM UNDERGROUND CONDUIT SIZE SHALL BE 1" I.D. UNLESS OTHERWISE SPECIFIED.
  - TELEPHONE, DATA, CABLE TV, AND ELECTRIC UTILITY DUCT BANKS SHALL BE INSTALLED PER RESPECTIVE UTILITY COMPANY'S REQUIREMENTS.
  - CAP ALL CONDUIT STUBS AND MARK ENDS WITH IRON PINS.
  - PROVIDE PULL-WIRE IN ALL DUCT BANKS.
  - PROVIDE METALLIC MARKING TAPE OVER ALL DUCTS/DUCTBANKS.
  - TOP OF ELECTRICAL DUCT BANK SHALL BE A MINIMUM OF 8" BELOW FINISHED GRADE, TOP OF TELEPHONE, DATA, CABLE TV (COMMUNICATIONS) DUCT BANKS SHALL BE A MINIMUM OF 24" BELOW FINISHED GRADE, UNLESS OTHERWISE REQUIRED BY RESPECTIVE UTILITY COMPANIES.
  - CONCRETE ENCASE DUCT BANKS AND/OR CONDUIT WHERE ROLLED UNDER DRIVEWAYS, ROADWAYS OR PARKING AREAS.
  - COORDINATE ROUTING AND INSTALLATION OF PROPOSED ELECTRICAL PRIMARY, ELECTRIC SECONDARY, AND COMMUNICATION DUCTBANKS, WHERE DUCTBANKS CROSS PATHS MAKE NECESSARY ADJUSTMENTS TO BURIAL DEPTH AND DUCTBANK CONFIGURATION TO MAINTAIN CODE REQUIRED DEPTHS FROM TOP OF DUCTBANK TO FINISHED GRADE.
  - CONTRACTOR SHALL OBTAIN THE SERVICES OF A LICENSED SURVEYOR TO IDENTIFY, COORDINATE AND RECORD EXACT LOCATIONS OF UNDERGROUND UTILITIES. RECORD DRAWINGS (HARD COPIES AND ELECTRONIC CAD FILES) SHALL BE PROVIDED TO OWNER.
  - REFERENCE CIVIL UTILITY PLANS FOR SITE UTILITY DESIGN INFORMATION. COORDINATE WORK WITH OTHER TRADES.
  - ALL TRENCHING AND BACKFILLING ASSOCIATED WITH ELECTRICAL WORK SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTORS BID.
  - WHERE DEVICES AND EQUIPMENT ARE SUBJECT TO WATER AND OR MOISTURE, THE DEVICE OR ASSOCIATED CIRCUIT SHALL BE GFI PROTECTED. EQUIPMENT ENCLOSURES SHALL BE NEMA 3R RATED AT A MINIMUM.
  - REFERENCE SITE ELECTRICAL NOTES, THIS SHEET.
  - COORDINATE FINAL LOCATION OF ALL ELECTRICAL DEVICES AND EQUIPMENT WITH LANDSCAPE AND HARDSCAPE AREAS WITH ARCHITECT PRIOR TO INSTALLATION.
  - REFER TO ONE-LINE DIAGRAMS ON SHEET E002 & E003 FOR CONDUIT SIZES AND QUANTITIES ASSOCIATED WITH THE UNDERGROUND PRIMARY AND SECONDARY SERVICE LATERAL DUCT BANKS.
  - ALL CONDUIT IN UNDERGROUND DUCT BANKS SHALL BE SUPPORTED WITH BASE AND INTERMEDIATE DUCT SPACERS.

- SITE LOW VOLTAGE/TECHNOLOGY SYSTEM PATHWAY REQUIREMENTS:**
- CONDUIT RUNS FOR UNDERGROUND DUCT BANKS MAY EXTEND 300 FEET (MAX) BEFORE A PULL BOX, HAND HOLE OR MANHOLE IS REQUIRED.
  - PROVIDE PULL BOX, HAND HOLE OR MANHOLE AFTER EVERY TWO (2) 90 DEGREE BENDS OR 180 DEGREE BENDS, INCLUDING OFFSETS.
  - BENDS TO BE LONG SLOPE BENDS, BUT IN NO CASE SHALL BE LESS THAN 10 TIMES OUTSIDE DIAMETER OF CONDUIT.
  - ALL 90 DEGREE BENDS TO BE EITHER PVC CONCRETE ENCASED OR GALVANIZED RIGID STEEL.
  - SLOPE CONDUITS AWAY FROM BUILDING TOWARD MANHOLE OR HAND HOLE.
  - PVC DUCT SHALL STOP 5 FEET FROM CONCRETE MANHOLE AND TRANSITIONED TO RIGID GALVANIZED STEEL CONDUIT TO PENETRATE MANHOLE. ALTERNATIVELY, IF PVC CONDUIT PROCEEDS TO MANHOLE, CONCRETE DUCT SHALL BE PINNED WITH REBAR TO MANHOLE FACE TO PREVENT SHEARING OR SEPARATION OF DUCT FROM MANHOLE.
  - CONCRETE DUCT ENCASED CONDUIT SHALL BE PINNED TO FOUNDATION WALL TO PREVENT SHEARING.
  - WHERE SMALLER HAND HOLES ARE USED, CONCRETE AND PINNING ARE NOT REQUIRED.
  - FLEXIBLE NONMETALLIC INNERDUCT AND FITTINGS SHALL BE USED:
    - TO SEGMENT CONDUITS
    - AS PROTECTION TO FIBER OPTIC CABLES WHEN INSTALLED IN CABLE TRAY OR BUILDING STRUCTURE.
    - AS PROTECTION TO FIBER OPTIC CABLES WITHIN MDF AND TRS
  - INNERDUCT SHALL EXTEND TO EQUIPMENT RACKS AT SYSTEM ENDPOINTS.
  - WHERE NOT INSTALLED IN CONTINUOUS LENGTH, SPLICED INNERDUCT SEGMENTS USING COUPLINGS DESIGNED FOR THAT PURPOSE.
  - EMPTY INNERDUCT SHALL BE EQUIPPED WITH PULL CORD AND CAPPED AT BOTH ENDS. PULL CORD TO EXTEND BEYOND CAP FOR ACCESSIBILITY. PULL CORD TO BE LABELED AT EACH END.

- CODED NOTES:**
- 1" C. FOR DATA STUBBED UP AT TELECOM BACKBOARD IN MAIN TECHNOLOGY ROOM FOR MOTORIZED VEHICLE GATE.

**ELECTRICAL SITE PLAN**  
1" = 20'-0"

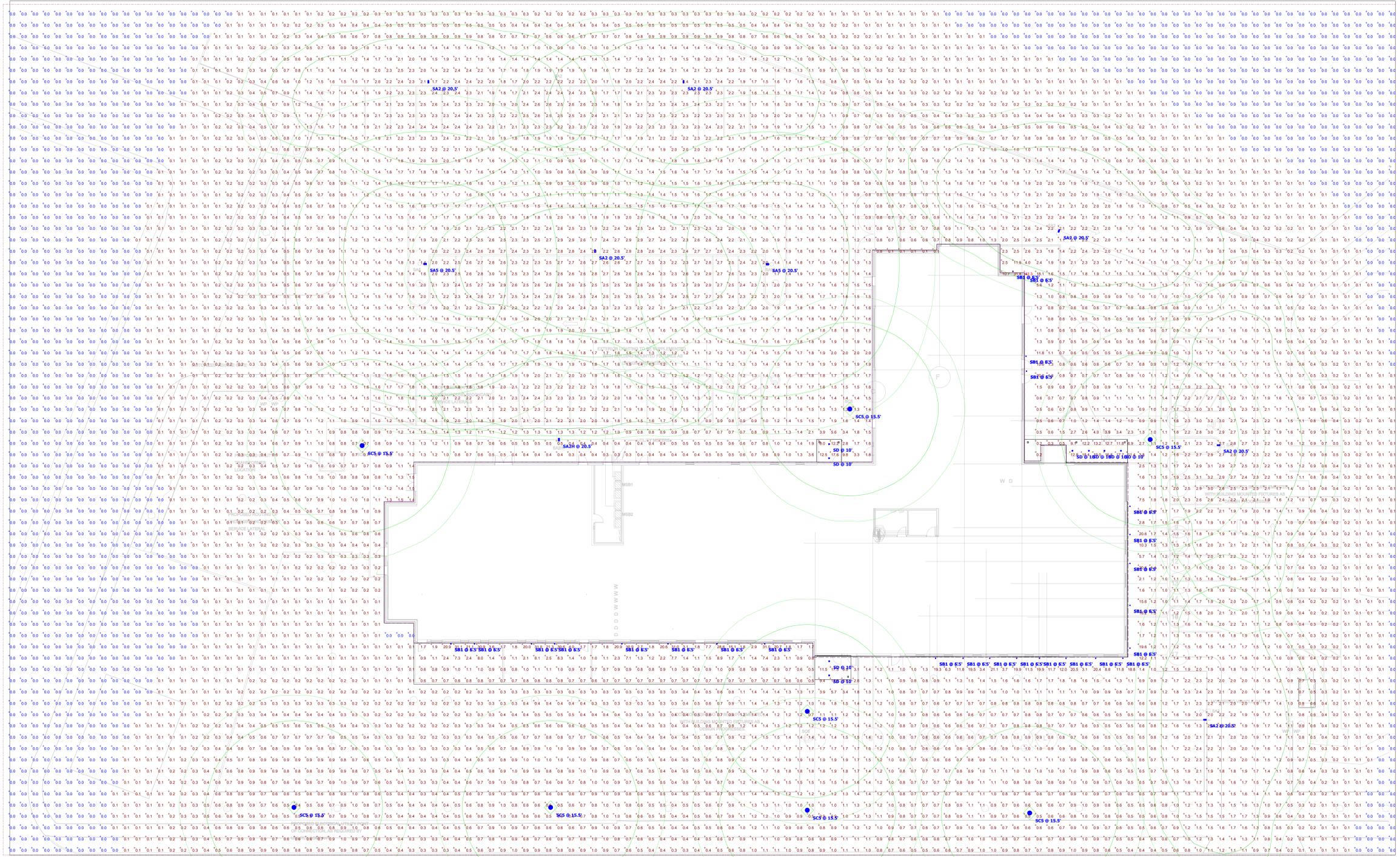


**FIXTURE SC**  
LOCATION: SIDEWALKS

**FIXTURE SB**  
LOCATION: BUILDING EXTERIOR



- SITE ELECTRICAL NOTES**
- EXACT LOCATIONS OF PARKING LOT LIGHTING FIXTURES SHALL BE COORDINATED WITH APPROVED ARCHITECTURAL SITE PLAN AND PARKING LOT LAYOUT.
  - ALL LIGHTING FIXTURES PROJECTING TOWARD ADJACENT RESIDENTIAL AREAS MUST BE PROPERLY SHIELDED TO PREVENT LIGHT SOURCE FROM EXTENDING INTO THIS AREA.
  - THE LUMINAIRE MANUFACTURER SHALL PROVIDE COMPUTER GENERATED POINT BY POINT FOOTCANDLE CALCULATIONS ALONG WITH THEIR SHOP DRAWINGS SUBMITTAL. THE FORMAT OF THIS POINT BY POINT CALCULATION SHALL BE IN THE FORM OF AN OVERLAY OF THE ENTIRE PARKING AREA WITH CALCULATED POINTS 25 FEET ON CENTER.
  - ALL SITE LIGHTING FIXTURES SHALL BE DESIGNED TO WITHSTAND 100 MPH WINDS WITH A 1.3 GUST FACTOR.
  - ELECTRICAL CONTRACTOR SHALL INSTALL EACH LIGHTING POLE PLUMB AND TRUE. ELECTRICAL CONTRACTOR SHALL PROVIDE NECESSARY LEVELING SHIMS.
  - ELECTRICAL CONTRACTOR SHALL BACKFILL ALL ELECTRICAL TRENCHES USING CLEAN FILL MATERIAL FREE OF ORGANIC CONTAMINATIONS AND OTHER DELETERIOUS MATTER. PLACE BACKFILL MATERIAL IN 8" THICK LAYERS WITH EACH LIFT COMPACTED AT NEAR OPTIMUM MOISTURE CONTENT. COMPACT LIFTS TO ACHIEVE A MINIMUM IN PLACE DENSITY OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698.
  - ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE PRIOR TO TRENCHING OR AUGERING FOR POLE BASE (TYPICAL).
  - WHERE THE UTILITY TRANSFORMER AND/OR METERING SHALL BE INSTALLED PAD MOUNTED IN A PAVED AREA ACCESSIBLE TO VEHICULAR TRAFFIC, THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL CONCRETE FILLED BOLLARDS AROUND ALL SUCH ELECTRICAL EQUIPMENT. PROVIDE BOLLARDS AT ALL ACCESSIBLE CORNERS OF EQUIPMENT WITH ADDITIONAL BOLLARDS IN BETWEEN AS REQUIRED FOR A MAXIMUM SPACING OF 4'-0" O.C. VERIFY EXACT LOCATION OF BOLLARDS WITH ENGINEER PRIOR TO INSTALLATION. MAINTAIN ALL REQUIRED CLEARANCE AND ACCESS REQUIREMENTS PER POWER COMPANY, CODE AND LOCAL AUTHORITY HAVING JURISDICTION.

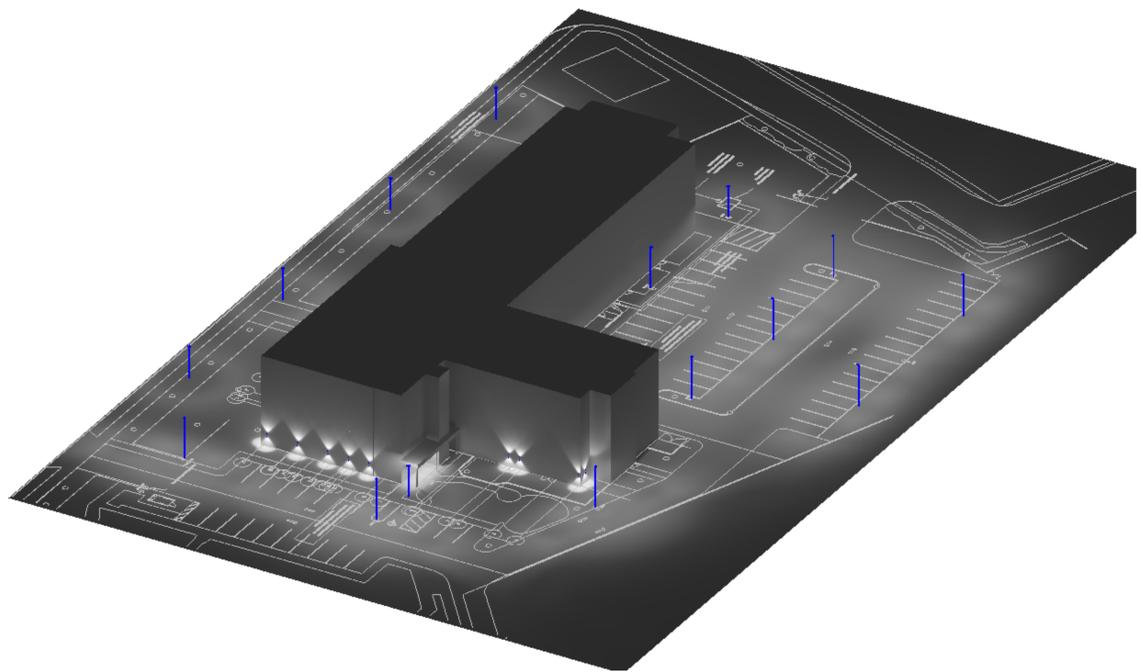


Statistics					
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
Calc Zone #8	+	1.0 f.c.	42.3 f.c.	0.0 f.c.	N/A N/A

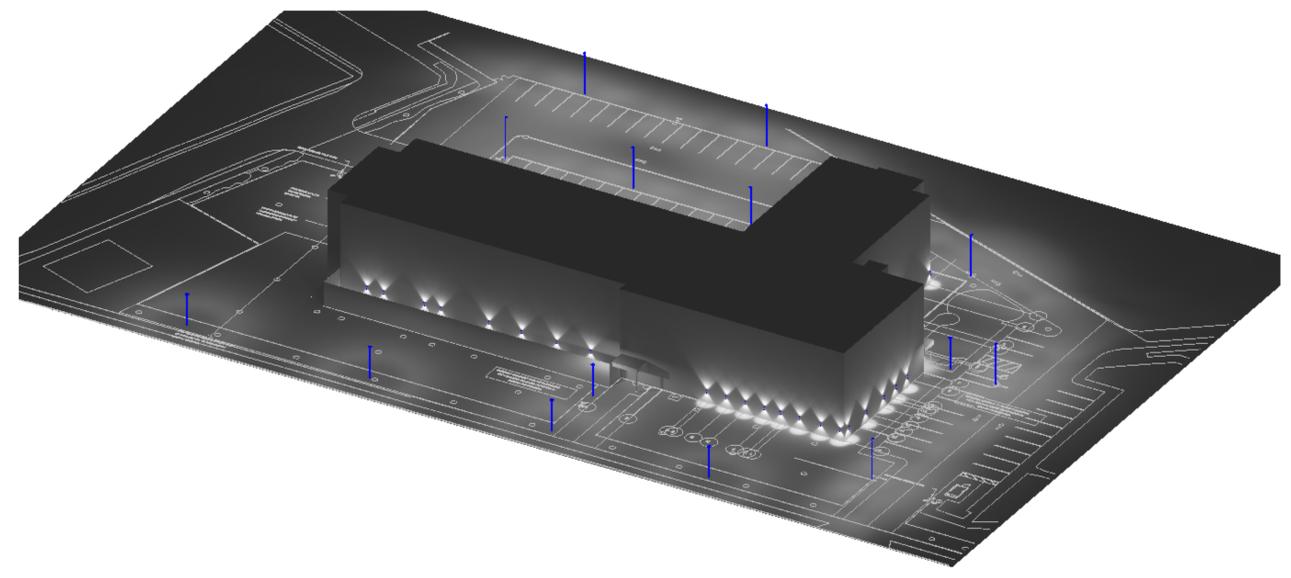
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
SA2			6	COOPER LIGHTING SOLUTIONS - INVUE (FORMERLY Eaton)	ICS-E03-LED-E1-T2	ICON SITE SMALL LED LUMINAIRE (3) LIGHTBARS WITH ACCULED OPTICS - TYPE 2	63	131	0.95	75.2	
SA2 H			1	COOPER LIGHTING SOLUTIONS - INVUE (FORMERLY Eaton)	ICS-E03-LED-E1-T2-HSS	ICON SITE SMALL LED LUMINAIRE (3) LIGHTBARS WITH ACCULED OPTICS - TYPE 2 W/ HOUSE SIDE SHIELD	63	69	0.95	75.2	
SA5			2	COOPER LIGHTING SOLUTIONS - INVUE (FORMERLY Eaton)	ICS-E04-LED-E1-SWQ	ICON SITE SMALL LED LUMINAIRE (4) LIGHTBARS WITH ACCULED OPTICS - TYPE 5 SQUARE WIDE	84	136	0.95	97.2	
SB1			50	CT	CYL6638KMDVCLCR-P	6" Cylinder, Series 6, 3000K/80CRI, Wide Specular Akas Reflector, 120-277V, Triac/ELV/D-10V Driver	1	4154	0.28	42.3	
SC5			8	COOPER LIGHTING SOLUTIONS - INVUE (FORMERLY Eaton)	ARB-B2-LED-D1-T5	ARBOR OUTDOOR ARCHITECTURAL POST TOP 70 CRI, 4000K LEDs AND TYPE V OPTIC	8	567	0.95	41	
SD			8	Lithonia Lighting	LDN6 40/10 L06AR LSS	6IN LDN, 4000K, 1000LM, CLEAR, SEMI-SPECULAR REFLECTOR, CUBIC	1	952	0.95	10.44	

**Note**  
 1. Fixture type "SB1" is ConTech Lighting CYL6140KMDVCPXW. An IES file for this fixture is not currently available, so a similar fixture with adjusted lumen output was used in this calculation.

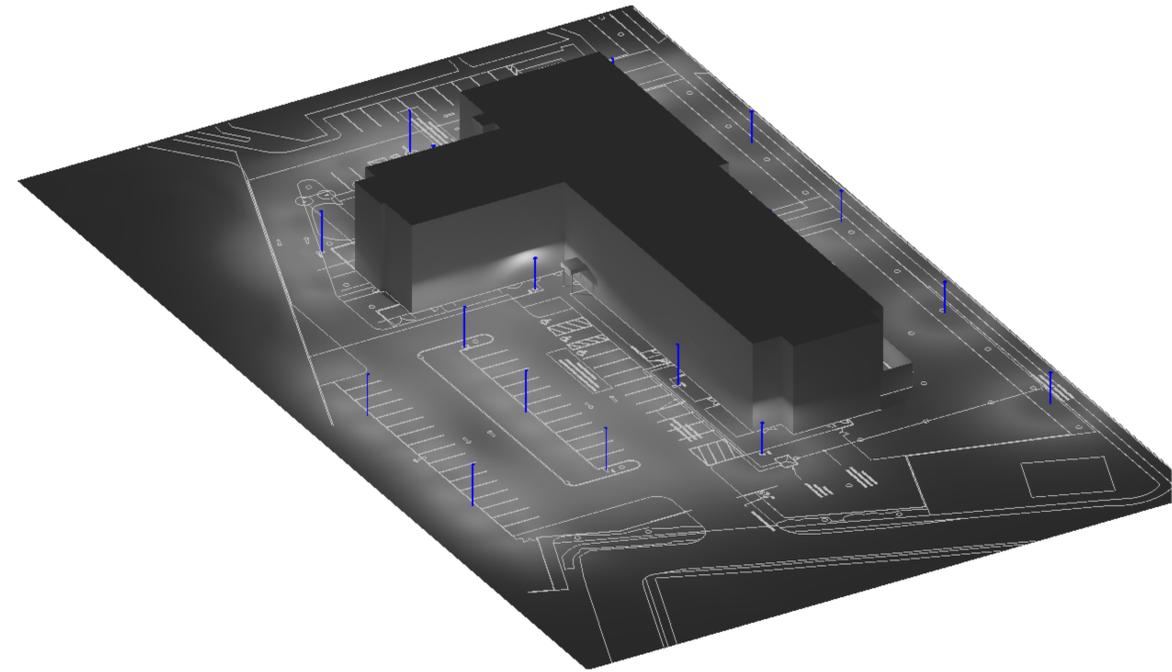
Plan View  
 scale: 1" = 10'



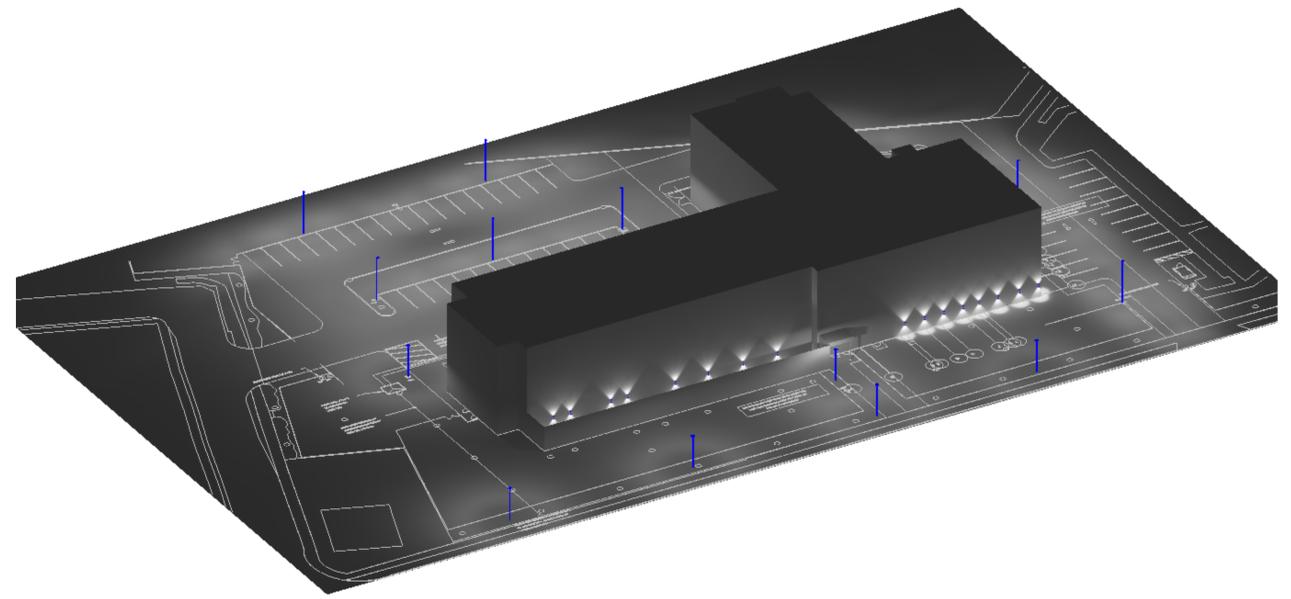
East Isometric View



South Isometric View

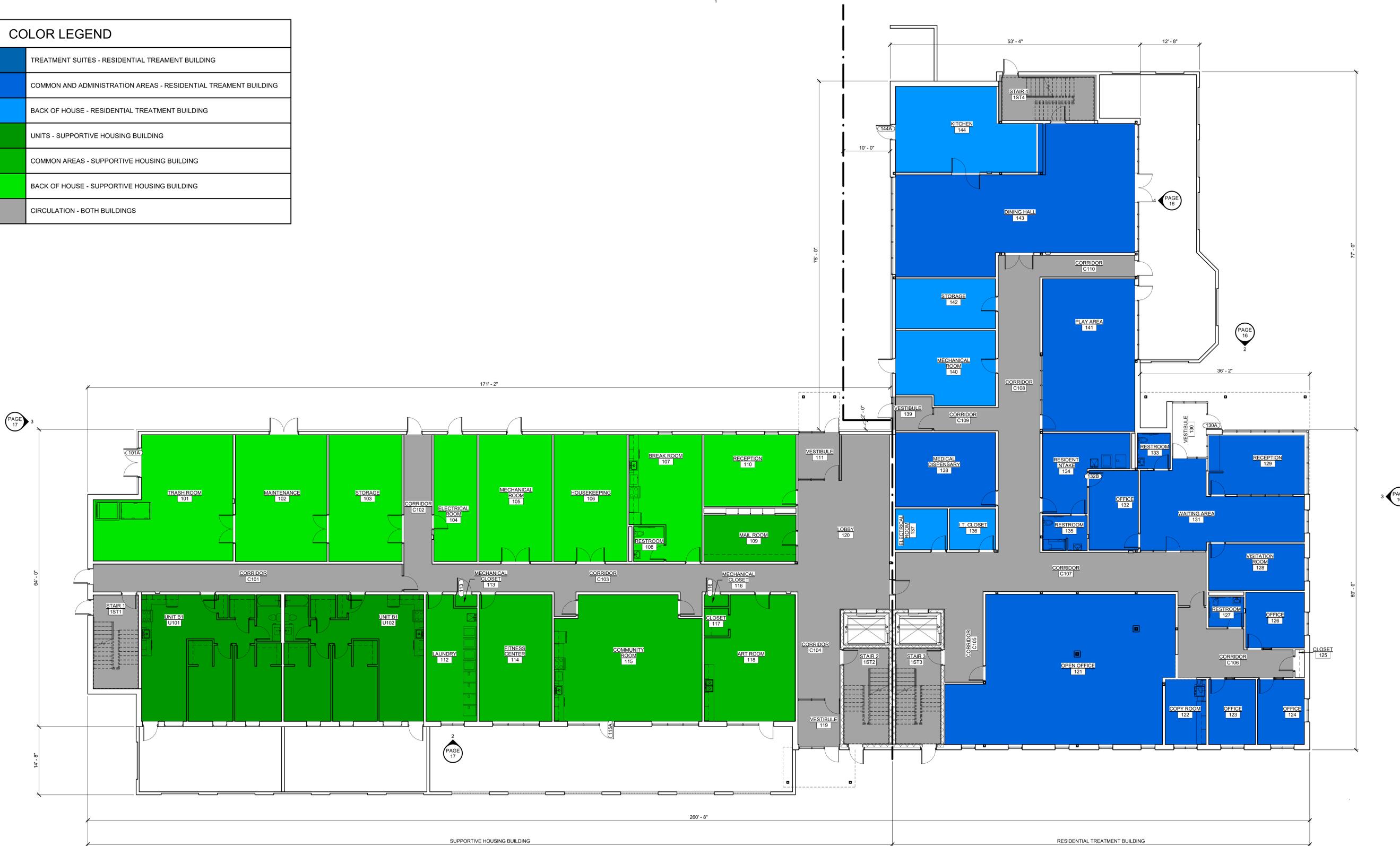


North Isometric View



West Isometric View

COLOR LEGEND	
	TREATMENT SUITES - RESIDENTIAL TREATMENT BUILDING
	COMMON AND ADMINISTRATION AREAS - RESIDENTIAL TREATMENT BUILDING
	BACK OF HOUSE - RESIDENTIAL TREATMENT BUILDING
	UNITS - SUPPORTIVE HOUSING BUILDING
	COMMON AREAS - SUPPORTIVE HOUSING BUILDING
	BACK OF HOUSE - SUPPORTIVE HOUSING BUILDING
	CIRCULATION - BOTH BUILDINGS



COLOR LEGEND	
	TREATMENT SUITES - RESIDENTIAL TREATMENT BUILDING
	COMMON AND ADMINISTRATION AREAS - RESIDENTIAL TREATMENT BUILDING
	BACK OF HOUSE - RESIDENTIAL TREATMENT BUILDING
	UNITS - SUPPORTIVE HOUSING BUILDING
	COMMON AREAS - SUPPORTIVE HOUSING BUILDING
	BACK OF HOUSE - SUPPORTIVE HOUSING BUILDING
	CIRCULATION - BOTH BUILDINGS



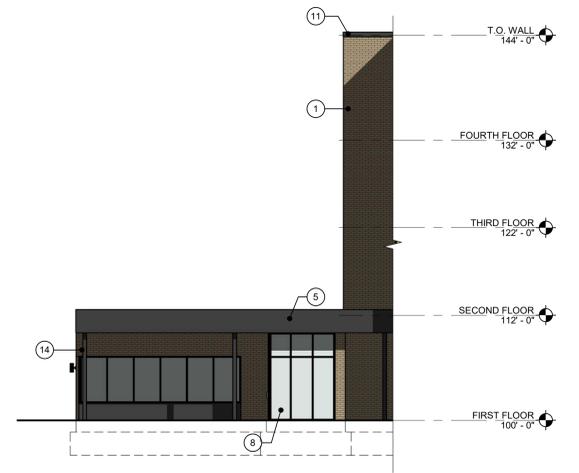
EXTERIOR MATERIALS SCHEDULE	
NO.	ITEM / MATERIAL
1	MODULAR FACE BRICK VENEER, RUNNING BOND PATTERN
2	FIBER CEMENT PANEL, FLAT
3	FIBER CEMENT PANEL, WOOD GRAIN APPEARANCE
4	FIBER CEMENT PANEL, RIBBED
5	PREFINISHED ALUMINUM COMPOSITE PANEL SYSTEM
6	VINYL SIDING, COLOR 1
7	VINYL SIDING, COLOR 2
8	PREFINISHED ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING
9	VINYL WINDOW WITH CLEAR, INSULATED, LOW-E GLAZING
10	GALVANIZED HOLLOW METAL DOOR AND FRAME, PAINTED
11	PREFINISHED ALUMINUM COPING
12	STRUCTURAL BRICK WALL
13	CAST STONE CAP
14	GALVANIZED STEEL COLUMN, PAINTED
15	VINYL PATIO DOOR WITH CLEAR, INSULATED, LOW-E GLAZING
16	PIN MOUNTED ILLUMINATED SIGNAGE
17	LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
18	CHAIN LINK GATE, BLACK VINYL COATED



4 EAST ELEVATION - PARTIAL  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - PARTIAL  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
NO.	ITEM / MATERIAL
1	MODULAR FACE BRICK VENEER, RUNNING BOND PATTERN
2	FIBER CEMENT PANEL, FLAT
3	FIBER CEMENT PANEL, WOOD GRAIN APPEARANCE
4	FIBER CEMENT PANEL, RIBBED
5	PREFINISHED ALUMINUM COMPOSITE PANEL SYSTEM
6	VINYL SIDING, COLOR 1
7	VINYL SIDING, COLOR 2
8	PREFINISHED ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING
9	VINYL WINDOW WITH CLEAR, INSULATED, LOW-E GLAZING
10	GALVANIZED HOLLOW METAL DOOR AND FRAME, PAINTED
11	PREFINISHED ALUMINUM COPING
12	STRUCTURAL BRICK WALL
13	CAST STONE CAP
14	GALVANIZED STEEL COLUMN, PAINTED
15	VINYL PATIO DOOR WITH CLEAR, INSULATED, LOW-E GLAZING
16	PIN MOUNTED ILLUMINATED SIGNAGE
17	LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
18	CHAIN LINK GATE, BLACK VINYL COATED



3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - PARTIAL  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



PERSPECTIVE FROM THE NORTH



PERSPECTIVE FROM THE SOUTH



**Committee Recommendation:** Unanimously Approved for Schematic design with Stated Conditions:

- Change fence configuration
- Submit color board for exterior materials
- Brick piers
- Planting plan with sizes, names, etc. and locations per requirement to make [the structure] look more residential and less institutional-looking.

# Cleveland City Planning Commission

## Staff Report

---



February 17, 2023

**EC2023-005** – Cleveland Clinic Cleveland Innovation District Research Buildings New

Construction: Seeking Schematic Design Approval

**Project Location: Cedar Avenue and East 100<sup>th</sup> Street**

Project Representative: Dallas Felder, HOK

Jayne Schwartzberg, DERU Landscape Architecture

**Committee Recommendation:** Approved with Conditions:

**1)** Facade and Massing needs further study:

a) Can penthouse be stepped back to create more articulation? Consider changes in plane to avoid a heavy / rigid / strict feeling. Building design references water and some changes can better illustrate that.

b) CBA building at corner could be reflected as active instead of mechanical. Is there an opportunity for some active programming at this location?



**2)** Landscape - plaza does not reflect actual placemaking and feels like a space of transition. Consider an opportunity to include an interpretive feature to describe what's going on inside. Benches are decorative and it doesn't feel like a true public space.

# Cleveland Innovation District Research Buildings

Euclid Corridor Design Review  
Schematic Design Submission

February 16, 2023



# Agenda

- Site Location
  - Location Plan, Context Plan, Existing Conditions Plan
- Site Plan
- Landscape Plan
- Floor Plans
- Exterior
  - Section/Elevations, Renderings



# Location Plan

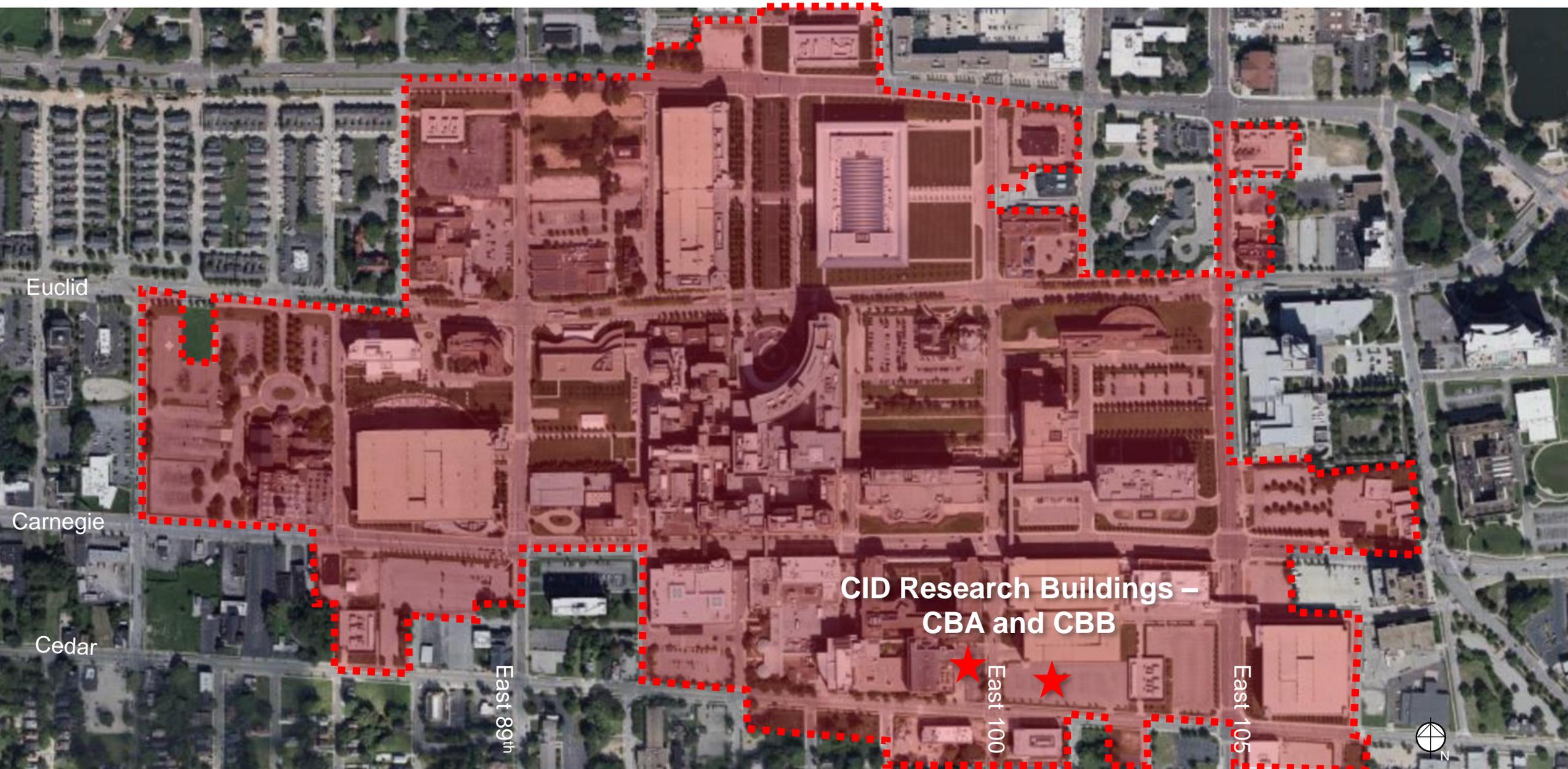


Downtown  
Cleveland

CID Research Buildings –  
CBA and CBB



# Context Plan



Euclid

Carnegie

Cedar

East 89th

East 100

East 105

CID Research Buildings -  
CBA and CBB



# Existing Conditions Plan



Carnegie Ave.

Lerner Research  
Institute

BBN Garage

BBS Garage

NC

CBA

CBB

Cedar Ave.

Bio Repository

East 100th

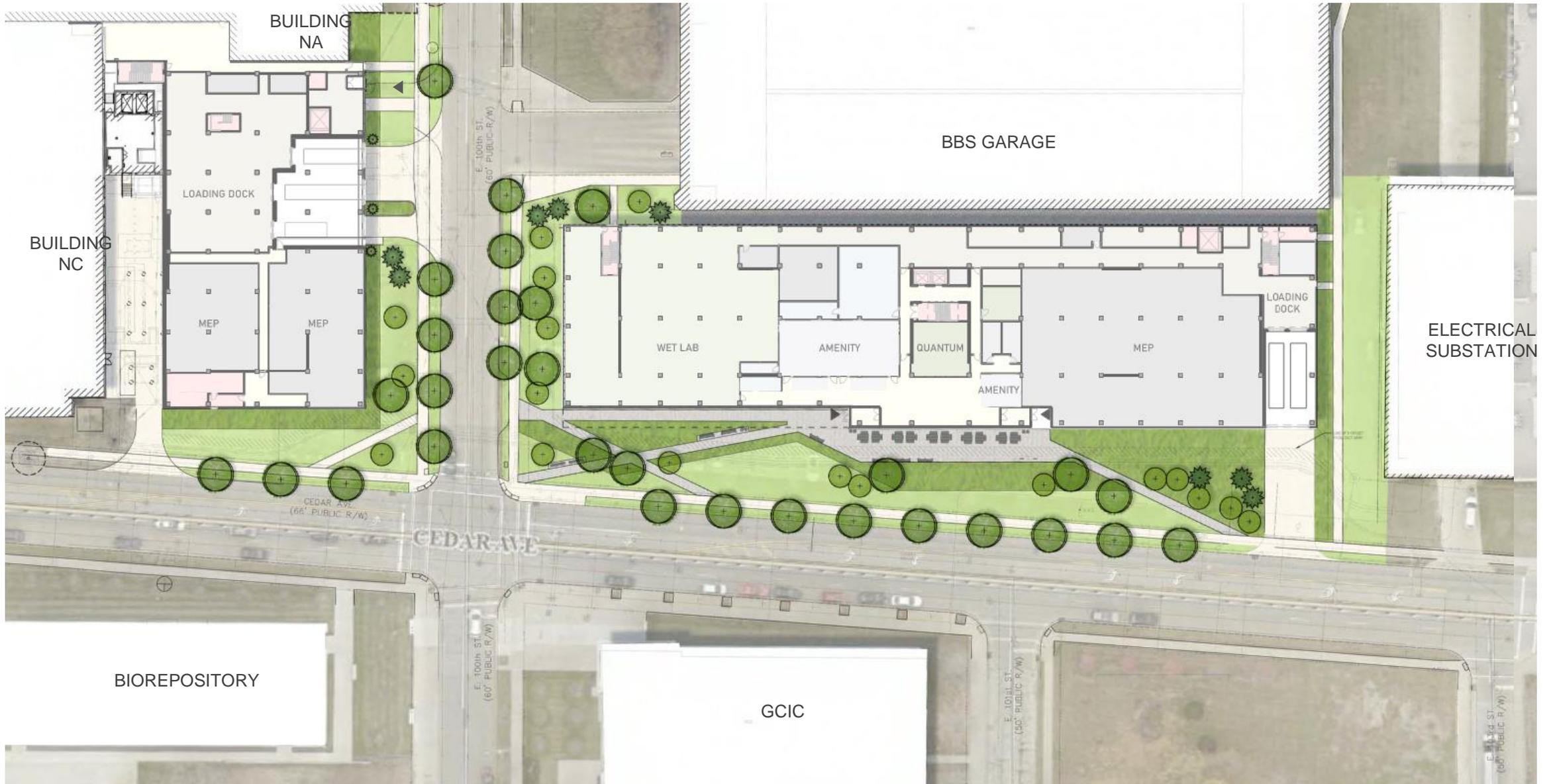
GCIC

MEIJER  
DEVELOPMENT

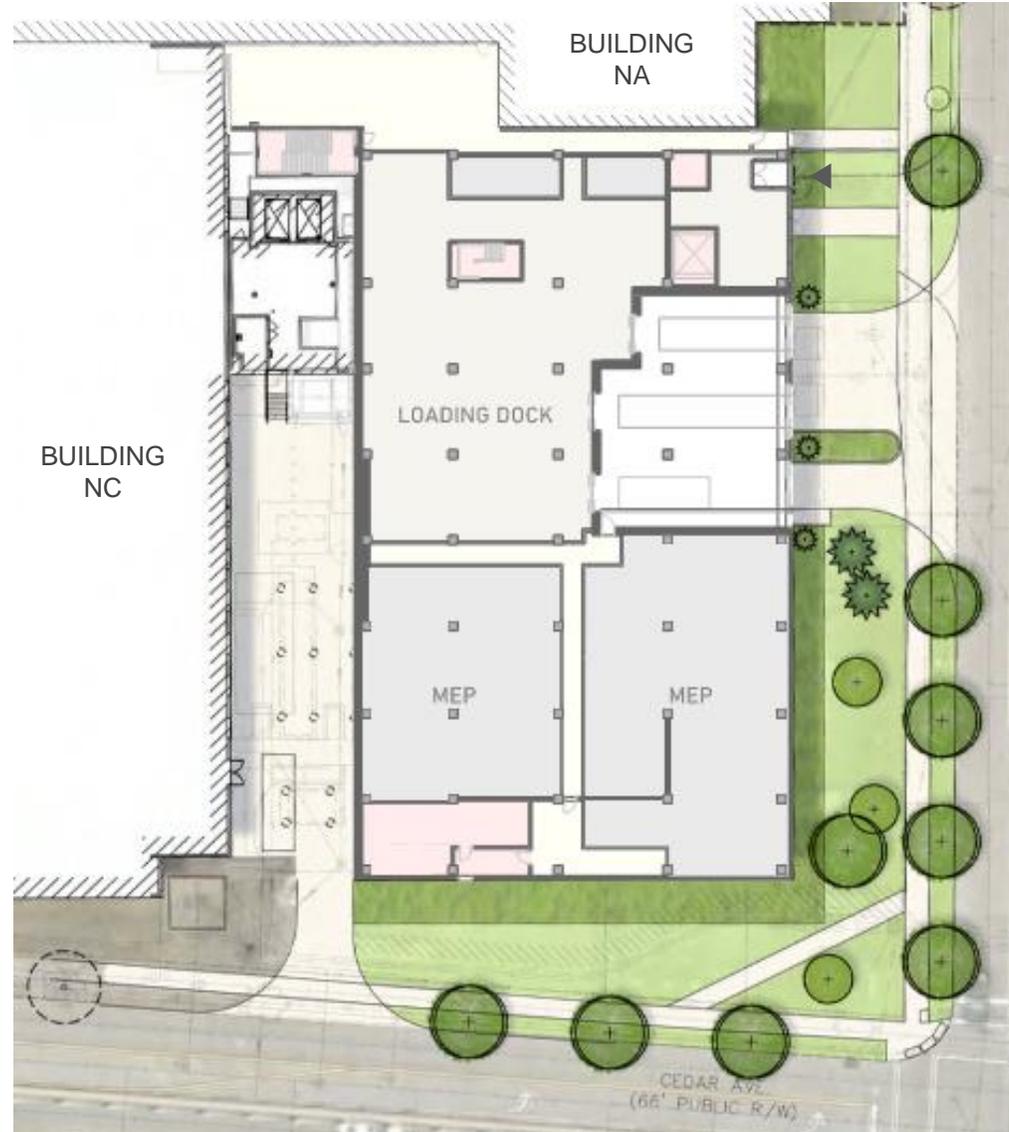
East 105th



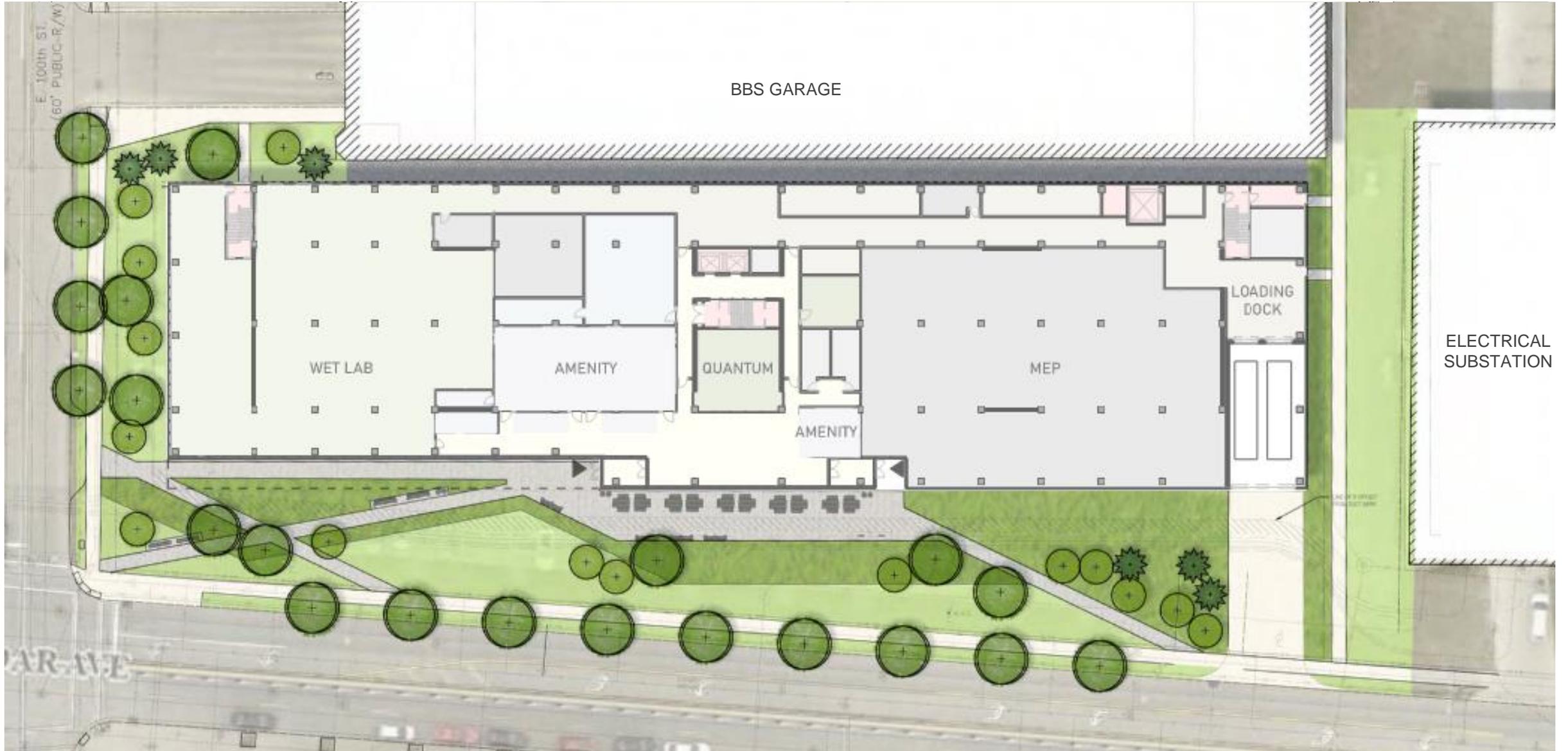
# Conceptual Landscape Plan



# Conceptual Landscape Plan – Building A



# Conceptual Landscape Plan – Building B



# Site Furniture

\*Colors TBD



STRATA Beam Bench



Bishop Light Bollard



Petosky Litter Receptacle



Loop Bike Rack

# Plant Palette

## TREES



MAGNOLIA



LINDEN



ELM



EASTERN RED CEDAR

## SHRUBS



JUNIPER



WHITE DRIFT ROSE



DOUBLEFILE VIBURNUM

## PERENNIALS

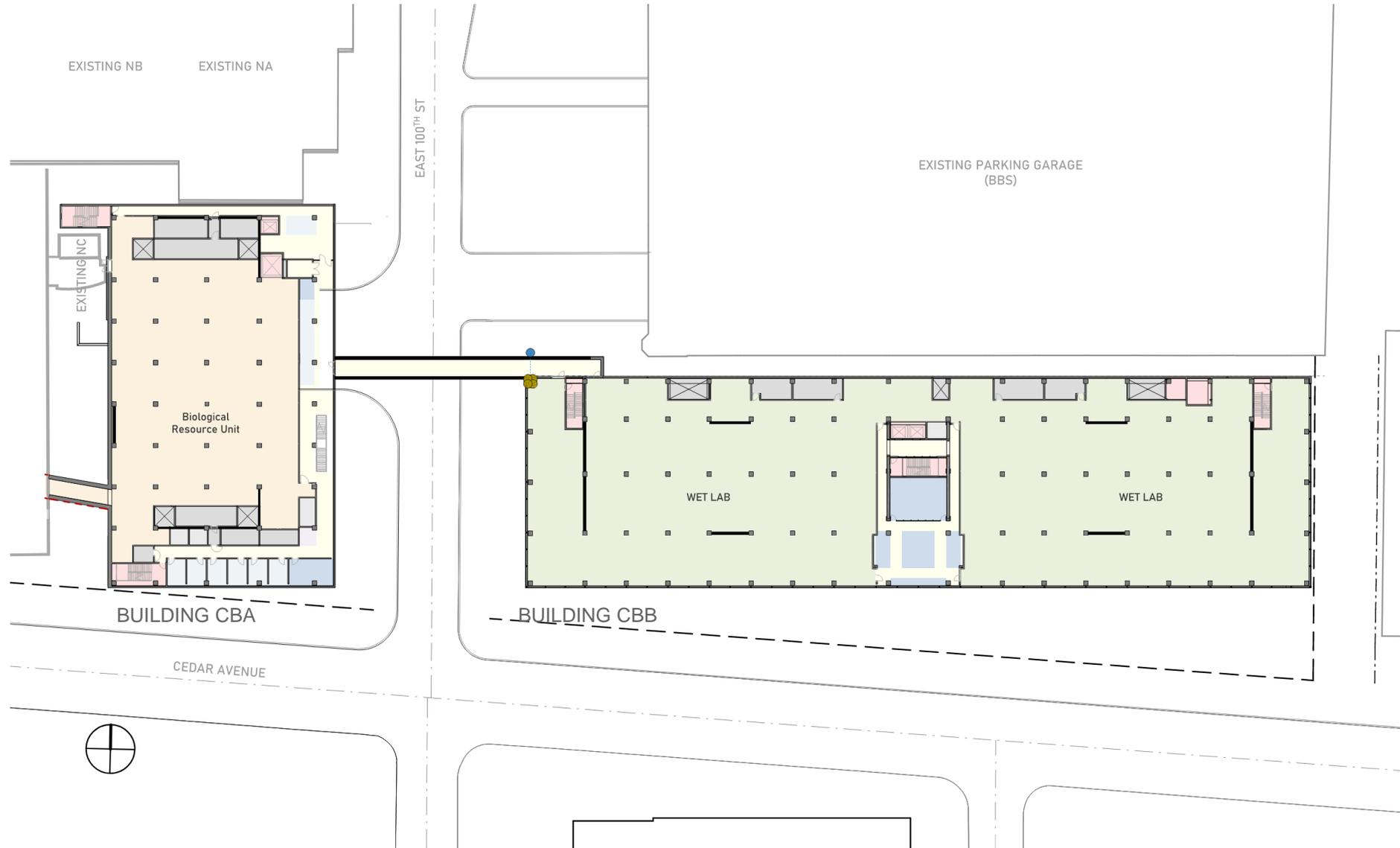


WHITE CATMINT

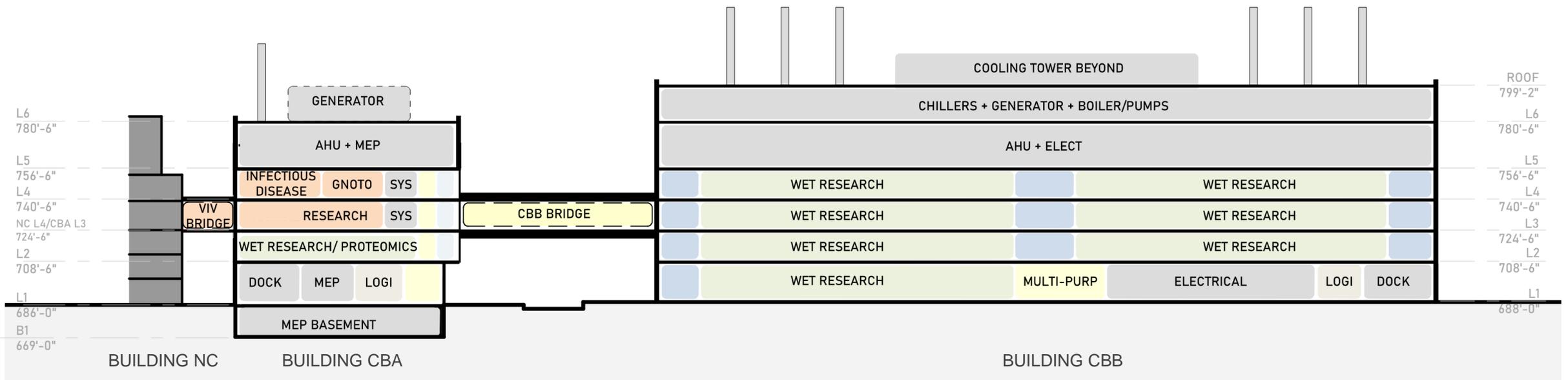
# First Floor



# Typical Upper Floor

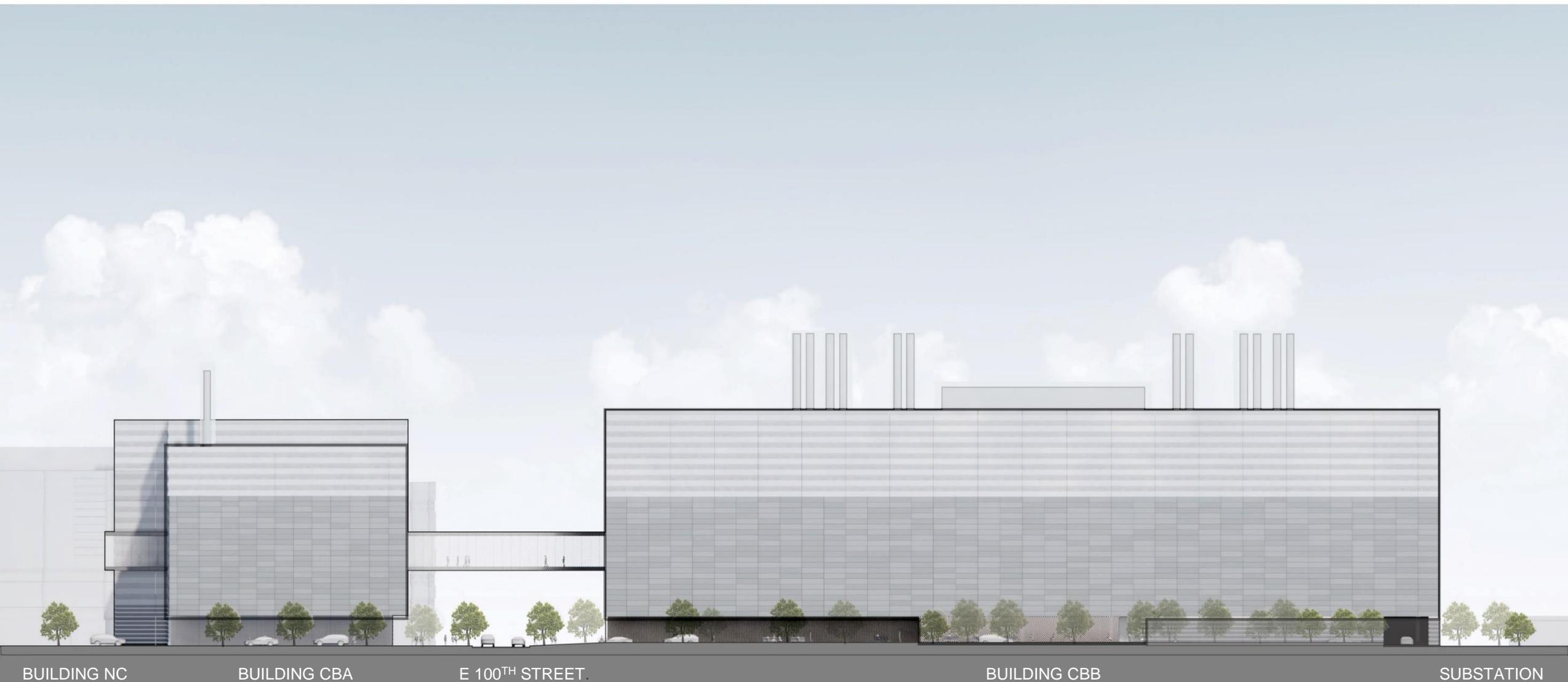


# Building Sections





# South Facade



BUILDING NC

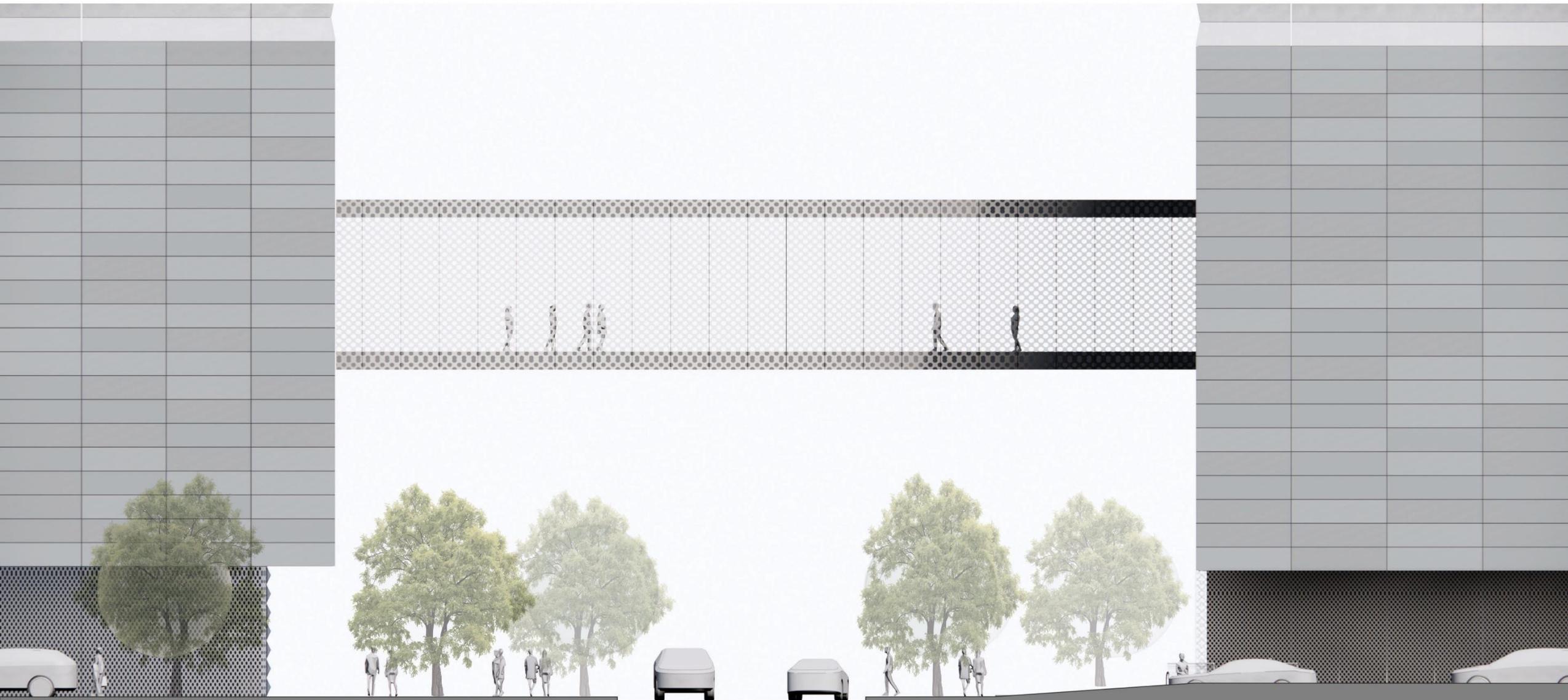
BUILDING CBA

E 100<sup>TH</sup> STREET

BUILDING CBB

SUBSTATION

# E 100<sup>th</sup> Street



BUILDING CBA

E. 100<sup>TH</sup> STREET.

BUILDING CBB

# North Facade



BBS GARAGE

NA

SUBSTATION

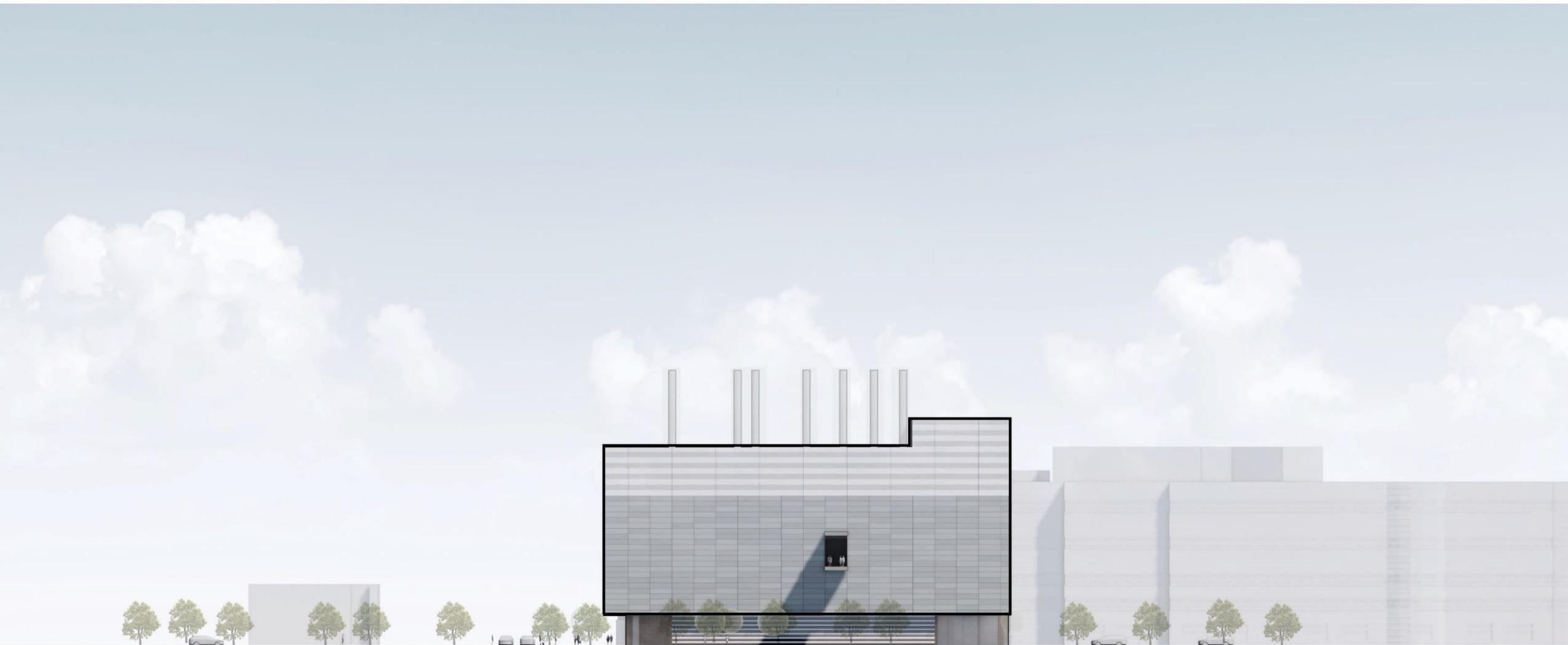
BUILDING CBB  
(BEYOND)

E. 100TH STREET.

BUILDING CBA  
(BEYOND)

BUILDING NC

# East Façade - CBA



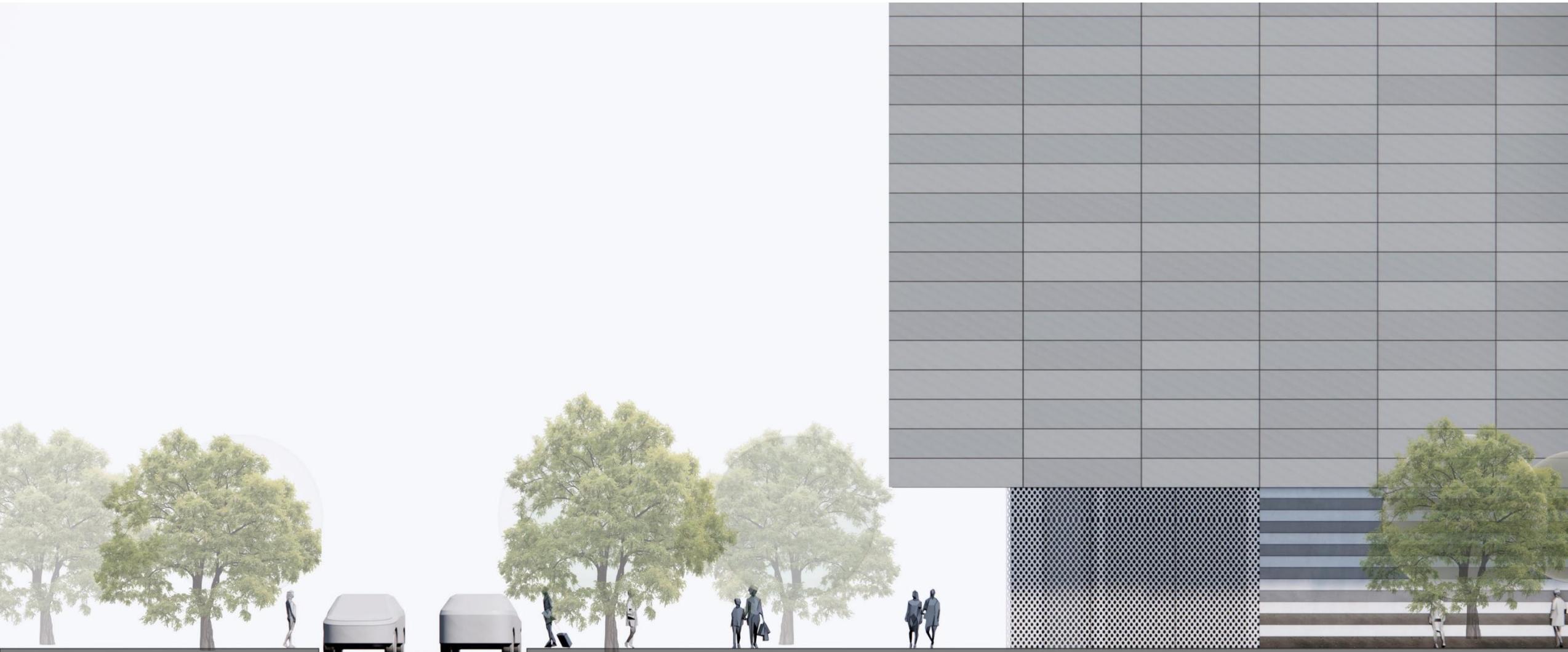
BIO-REPOSITORY

CEDAR AVENUE

BUILDING CBA

BUILDING NA

# Cedar Avenue



CEDAR AVENUE

BUILDING CBA

# West Façade - CBB



BBN GARAGE

BBS GARAGE

BUILDING CBB

CEDAR AVENUE.

GCIC

MEIJER  
DEVELOPMENT

# Cedar Avenue







# THE FUTURE OF HEALTHCARE SINCE 1921



## **Committee Recommendation:** Approved with Conditions:

### **1)** Facade and Massing needs further study:

a) Can penthouse be stepped back to create more articulation? Consider changes in plane to avoid a heavy / rigid / strict feeling. Building design references water and some changes can better illustrate that.

b) CBA building at corner could be reflected as active instead of mechanical. Is there an opportunity for some active programming at this location?

**2)** Landscape - plaza does not reflect actual placemaking and feels like a space of transition. Consider an opportunity to include an interpretive feature to describe what's going on inside. Benches are decorative and it doesn't feel like a true public space.

# Cleveland City Planning Commission

## Staff Report

---



February 17, 2023

# Cleveland City Planning Commission

## Special Presentations

---



February 17, 2023



## **Bedrock Cleveland Cuyahoga Riverfront Private Development Plan:**

Informational Purposes Only

Presenters: Deb Janik, Bedrock

Cullen Meves, MKSK

Russell Crader, Adjay Associates

Cissy Wong, Adjay Associates



**BEDROCK**

**CUYAHOGA RIVERFRONT  
MASTER PLAN**

**CLEVELAND CITY PLANNING COMMISSION**

February 17, 2022 | Adjaye Associates |

# OBJECTIVES



DEVELOP DOWNTOWN CLEVELAND AS  
A 15-MINUTE NEIGHBORHOOD THAT  
POSITIONS CLEVELAND TOWARDS  
BECOMING AN 18-HR CITY



LEVERAGE SUSTAINABLE  
INFRASTRUCTURE AND PUBLIC SPACES  
AS DRIVERS FOR INVESTMENT



ENSURE EQUITABLE DELIVERY OF  
ECONOMIC GROWTH AND EQUITABLE  
OPPORTUNITIES

# OVERVIEW

## WHY ARE WE HERE TODAY?

- INFORMATIONAL OVERVIEW OF THE CUYAHOGA RIVERFRONT MASTER PLAN
- OUTLINE THE MASTER PLAN VISION AND KEY PUBLIC IMPROVEMENTS
- FIRST STEP IN WORKING TOWARDS MASTER PLAN APPROVAL
- UPDATES ON CONTINUING ENGAGEMENT & PLAN DEVELOPMENT PROCESS
- SEEKING FEEDBACK TO INFORM DEVELOPMENT PROCESS & IDENTIFY COMMITTEE/ COMMISSION PRIORITIES

# OVERVIEW

## A 15 TO 20-YEAR VISION WITH IMMEDIATE ACTION

APPROVAL OF MASTER PLAN FRAMEWORK



EXECUTION OF MASTER DEVELOPMENT AGREEMENT



INITIATION OF KEY INFRASTRUCTURE AND PUBLIC ACCESS COMPONENTS



ONGOING IMPLEMENTATION REVIEWS WITH EACH DEVELOPMENT SEQUENCE

CONCEPTUAL - SCHEMATIC - FINAL APPROVALS

# CLEVELAND PROJECT TEAMS

**BEDROCK**

**ADJAYE ASSOCIATES**  
MASTER PLAN DESIGN LEAD

## LAND DEVELOPMENT TEAM

- OSBORN\*
- NELSON/ NYGAARD\*
- KS ASSOCIATES\*
- DAVID V LEWIN\*
- SKIDMORE, OWINGS & MERRILL
- BURO HAPPOLD
- HZW ENVIRONMENTAL CONSULTANTS\*
- EUTHENICS\*
- METRO-CONSULTING\*

## MASTER PLAN SUPPORT TEAM

- MKSK\*
- BIALOSKY\*
- ARUP
- THINKWELL
- EMERALD BUILT ENVIRONMENTS\*

## CONSULTANT TEAM

- SQUIRE PATTON BOGGS\*
- PROJECT MANAGEMENT CONSULTANTS\*
- ALLEGRO REAL ESTATE ADVISORS\*
- THOMPSON HINE
- TUCKER ELLIS\*
- LESIC & CAMPER\*

## PHASE 00 TEAM

- LAND STUDIO\*
- MKSK\*
- OSBORN\*
- AKA TEAM\*

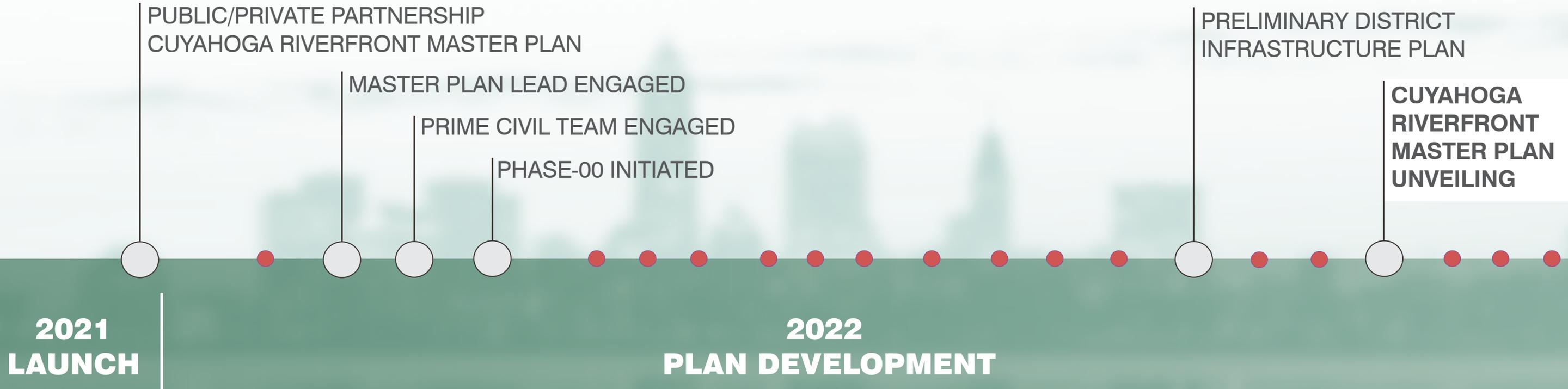
\* CLEVELAND-BASED FIRMS

# TIMELINE



**PROJECT LAUNCH:**  
ANNOUNCED INTENTION TO  
LAUNCH DUE DILIGENCE  
PERIOD FOR REDEVELOPMENT  
OF THE RIVER

# 2021/2022



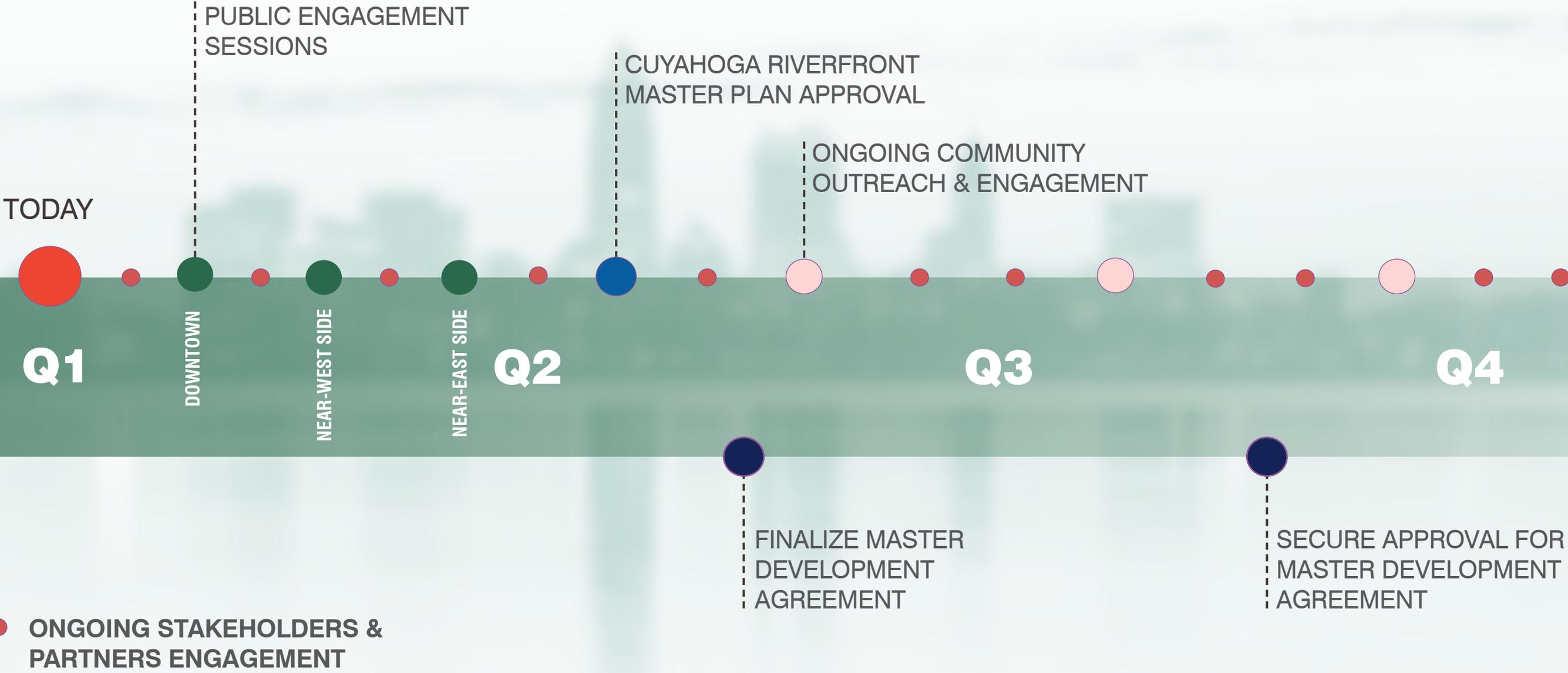
● **STAKEHOLDER MEETINGS:**

- CITY OF CLEVELAND
- CLEVELAND CITY COUNCIL
- CUYAHOGA COUNTY
- STATE OF OHIO
- NOACA
- GCRTA

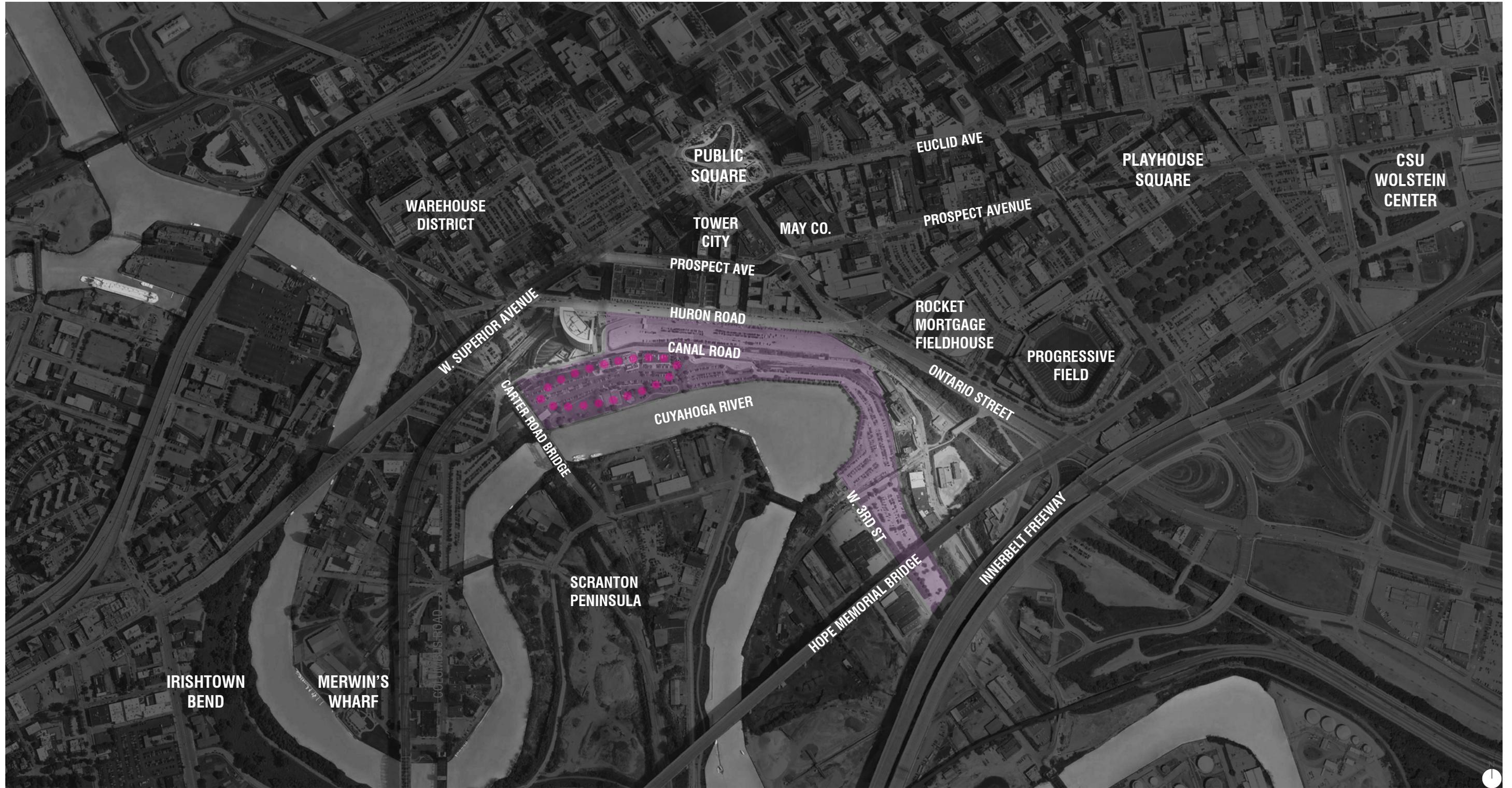
- CLEVELAND METROPARKS
- NORTHEAST OHIO REGIONAL SEWER DISTRICT
- PORT OF CLEVELAND
- US ARMY CORPS OF ENGINEERS
- CIVIC & PHILANTHROPIC INSTITUTIONS

- GREATER CLEVELAND PARTNERSHIP
- DOWNTOWN CLEVELAND ALLIANCE
- TEAMNEO/JOBS OHIO
- CLEVELAND BUSINESS LEADERSHIP
- DOWNTOWN PROPERTY OWNERS

# 2023



# PHASE 1 MASTER PLAN SITE MAP - EXISTING CONDITION



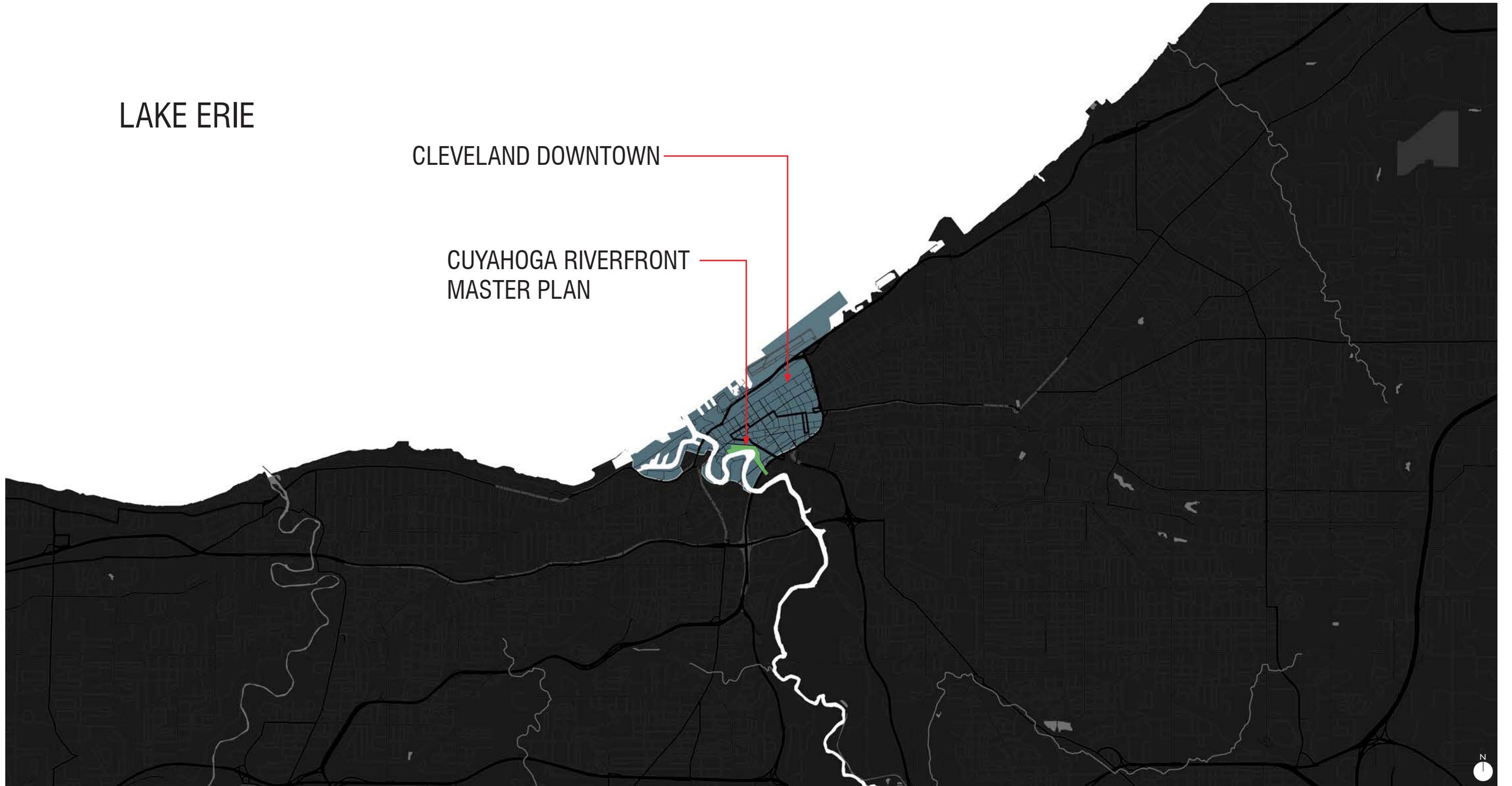


# OBSERVATIONS

LAKE ERIE

CLEVELAND DOWNTOWN

CUYAHOGA RIVERFRONT  
MASTER PLAN

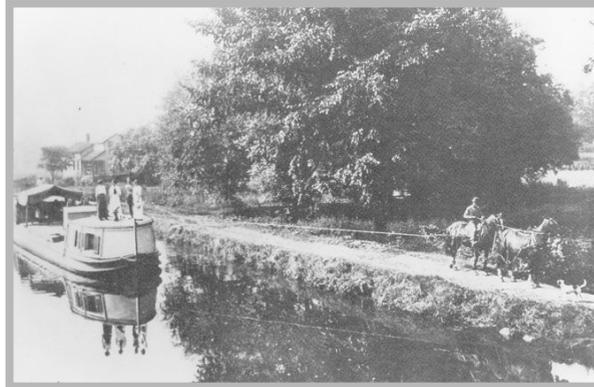


# CYCLES OF INDUSTRY AND RECREATION



## 200 B.C. - 17TH CENTURY

CUYAHOGA RIVER USED BY NATIVE AMERICANS FOR FOOD AND TRANSPORTATION



## 19TH CENTURY

OHIO & ERIE CANAL AS TRANSPORTATION INFRASTRUCTURE



## EARLY 20TH CENTURY

DISUSED CANAL TRANSFORMED INTO RECREATIONAL LANDSCAPE



## MID-20TH CENTURY

INDUSTRIAL POLLUTION SETS RIVER ON FIRE



## 21ST CENTURY

RESTORED TO RECREATIONAL LANDSCAPE

# INDUSTRIAL WATERFRONT LEGACY LIMITS PUBLIC ACCESS

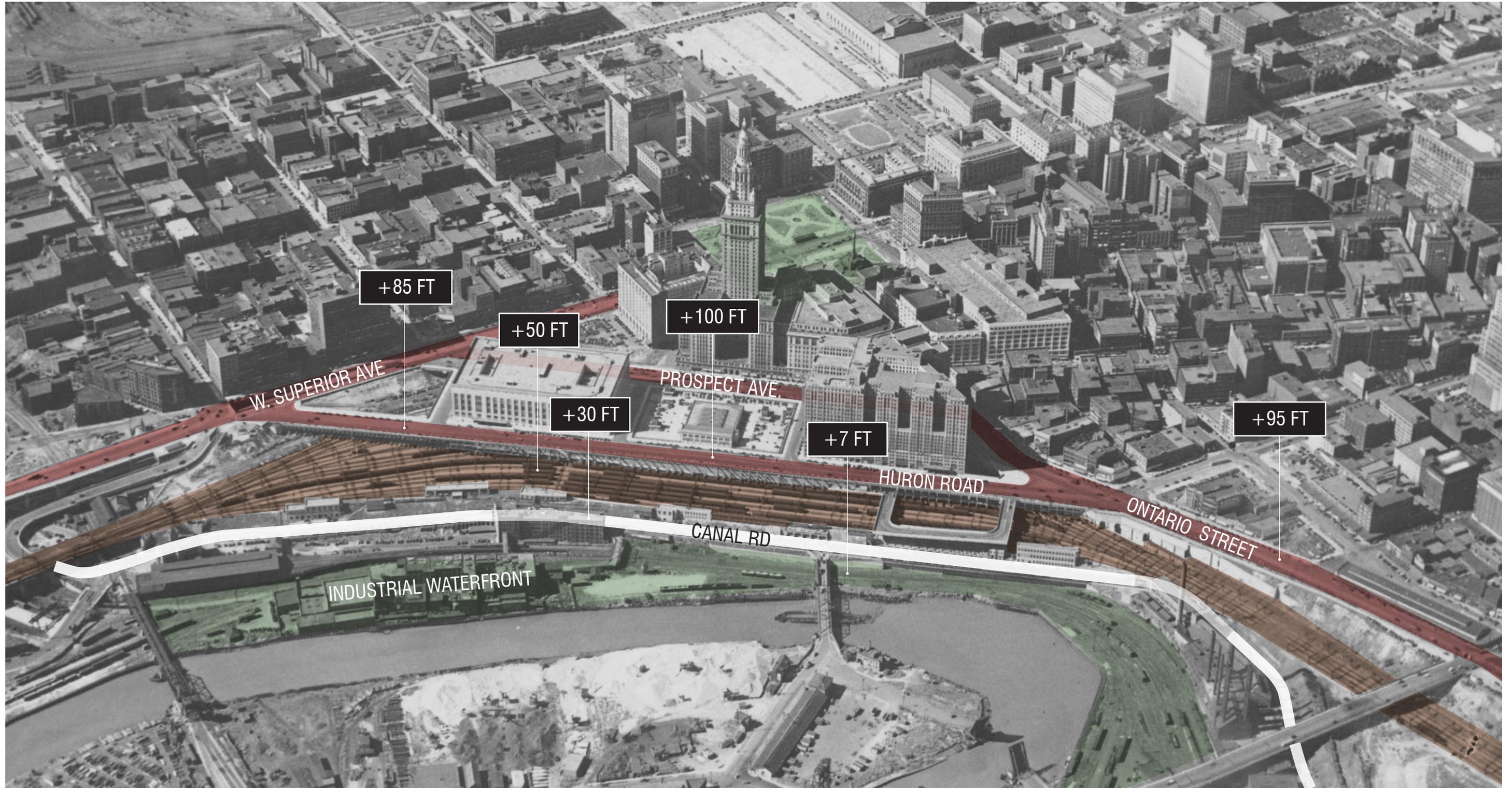


20TH CENTURY



CURRENT

# SITE HISTORY AND LAYERS



# SECTION PERSPECTIVE | EXISTING CONDITIONS



# SECTION PERSPECTIVE | EXISTING CONDITIONS





**18-HOUR / 15-MINUTE CITY**



WHISKEY ISLAND

IRISHTOWN BEND

A PLACE OF RESIDENCE

PROXIMITY TO ENTERTAINMENT

A PLACE TO LAUNCH CAREERS

PROXIMITY TO RECREATION

FIRSTENERGY STADIUM

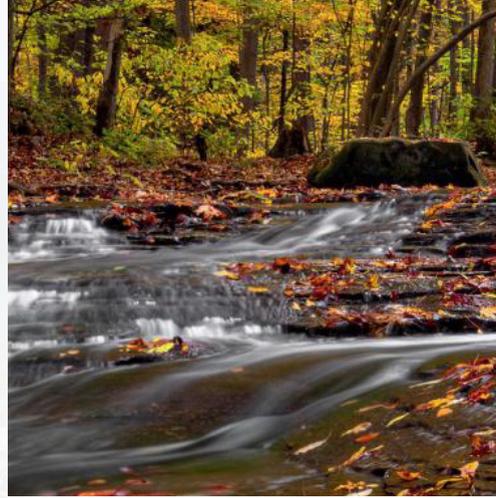
ROCKET MORTGAGE FIELDHOUSE

PLAYHOUSE SQUARE

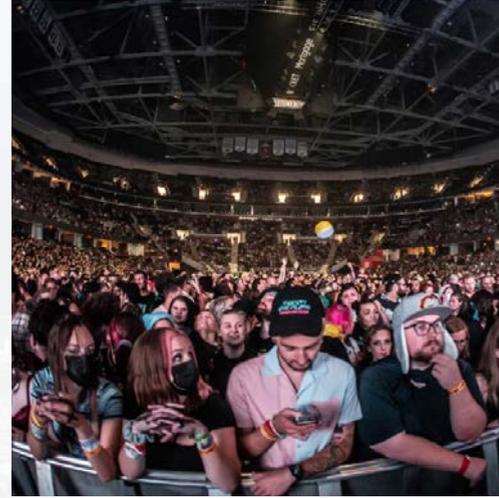
PROGRESSIVE FIELD

'BEING THERE' VS 'GETTING THERE'

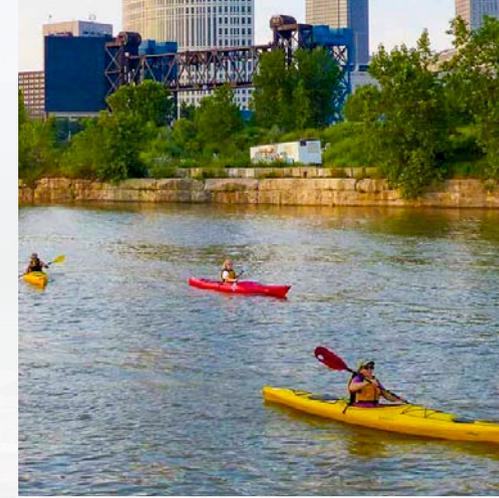
# KEY ASSETS



NATIONAL PARK CONNECTION



ENTERTAINMENT



RECREATION



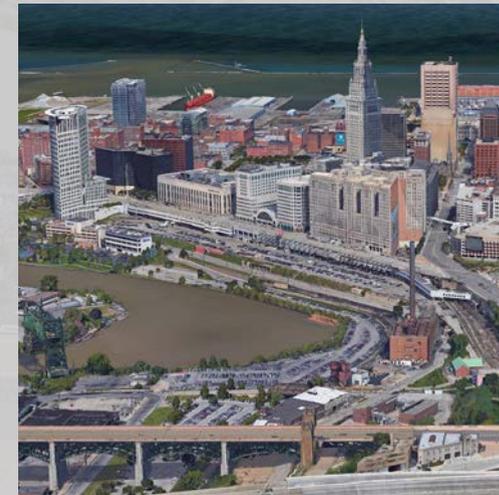
EXISTING COMMERCE



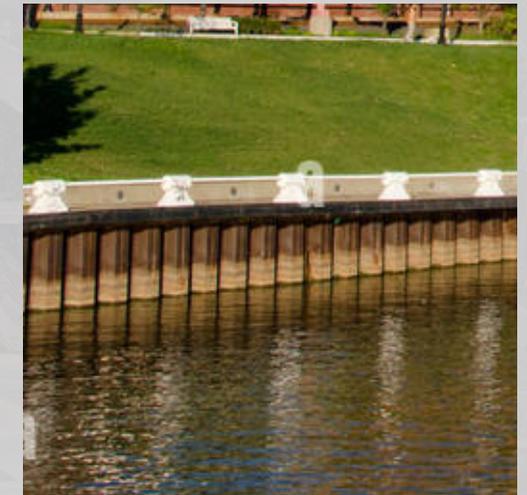
PUBLIC TRANSPORTATION



OTR TRUCKS + DELIVERIES

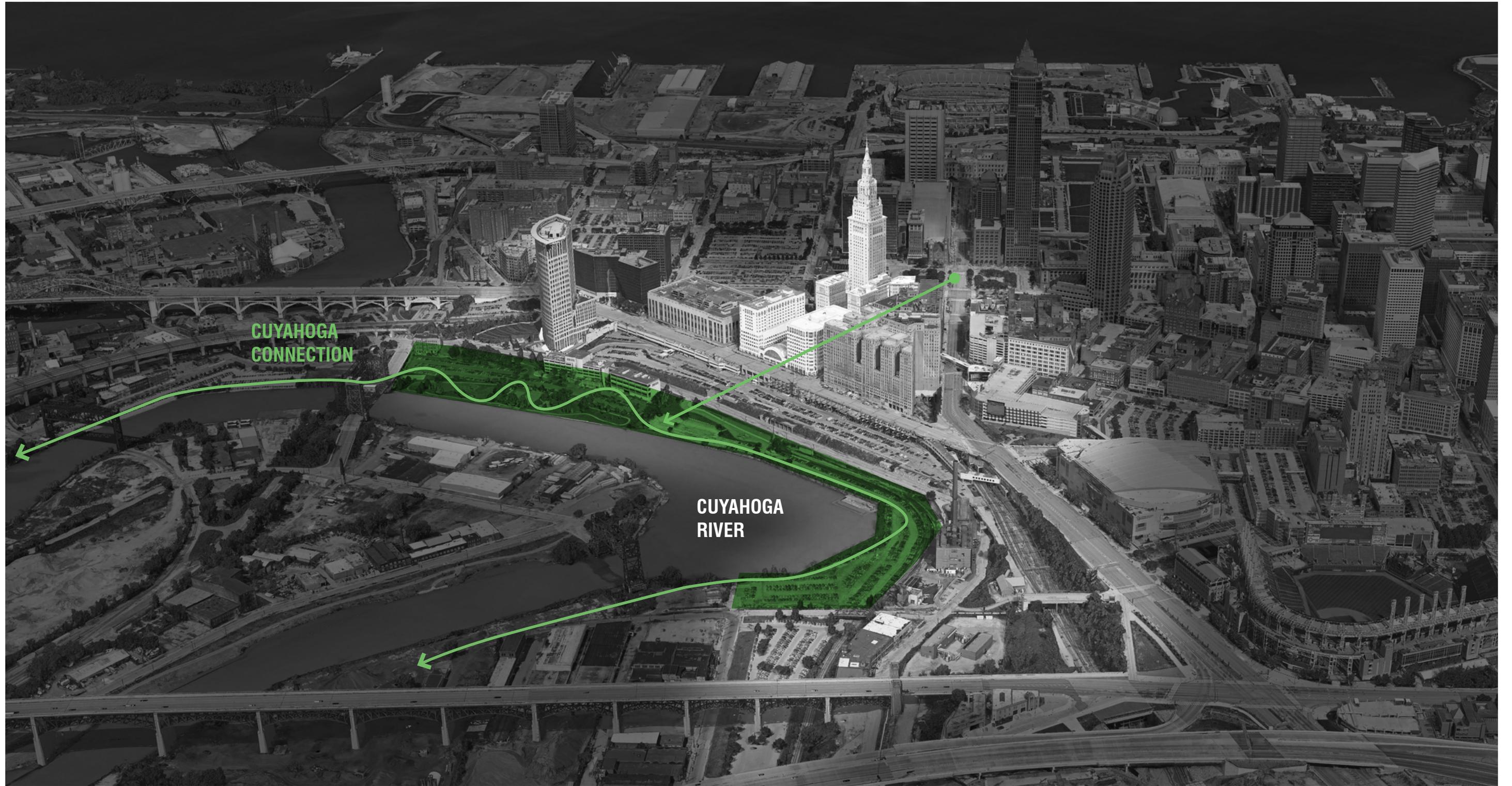


SITE TOPOGRAPHY

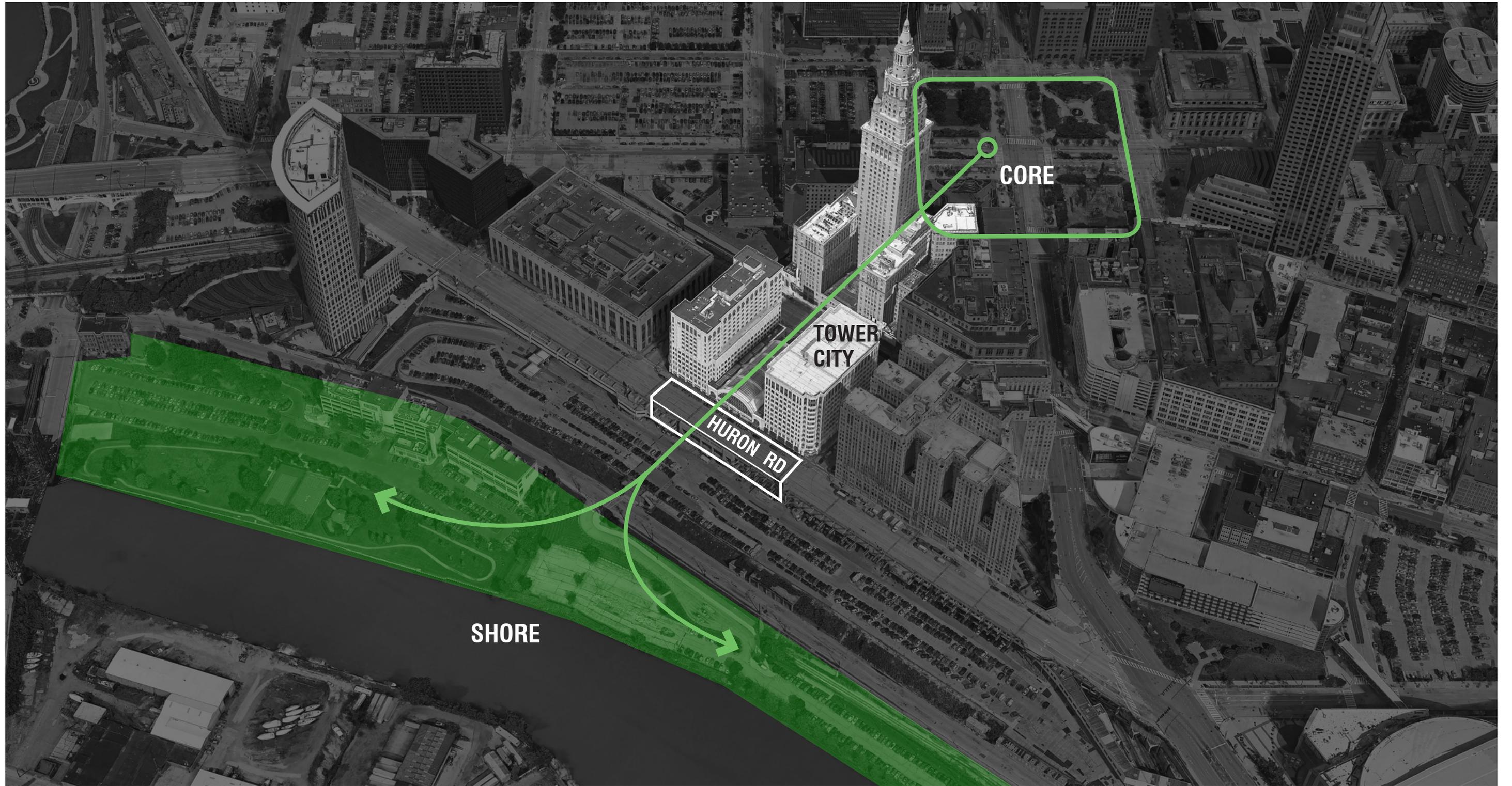


RIVER BULKHEADS

# PEOPLE & NATURE AT THE RIVER



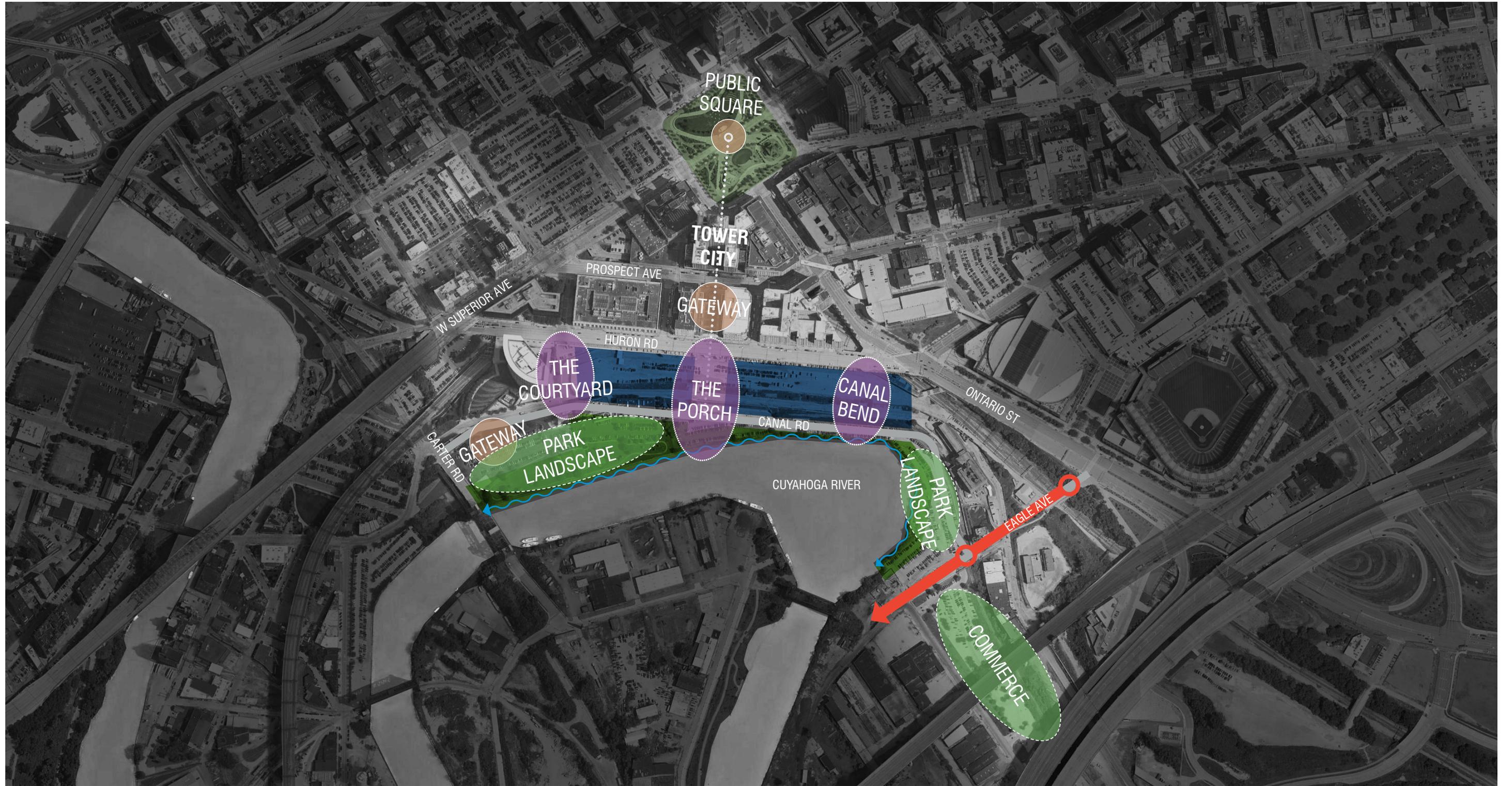
# CONNECTING CORE AND SHORE





**DESIGN**

# CONCEPT PLACEMAKING





**3.5 MILLION SF**  
DEVELOPMENT AREA

**12 ACRES**  
PUBLIC OPEN SPACE

**2,000 UNITS**  
RESIDENTIAL

**1.4 MILLION SF**  
NON-RESIDENTIAL

OFFICE

HOTEL

RETAIL

RESIDENTIAL

COMMUNITY

ENTERTAINMENT

# STEPS TO DEVELOPING OHIO'S LARGEST TRANSIT-ORIENTED NEIGHBORHOOD

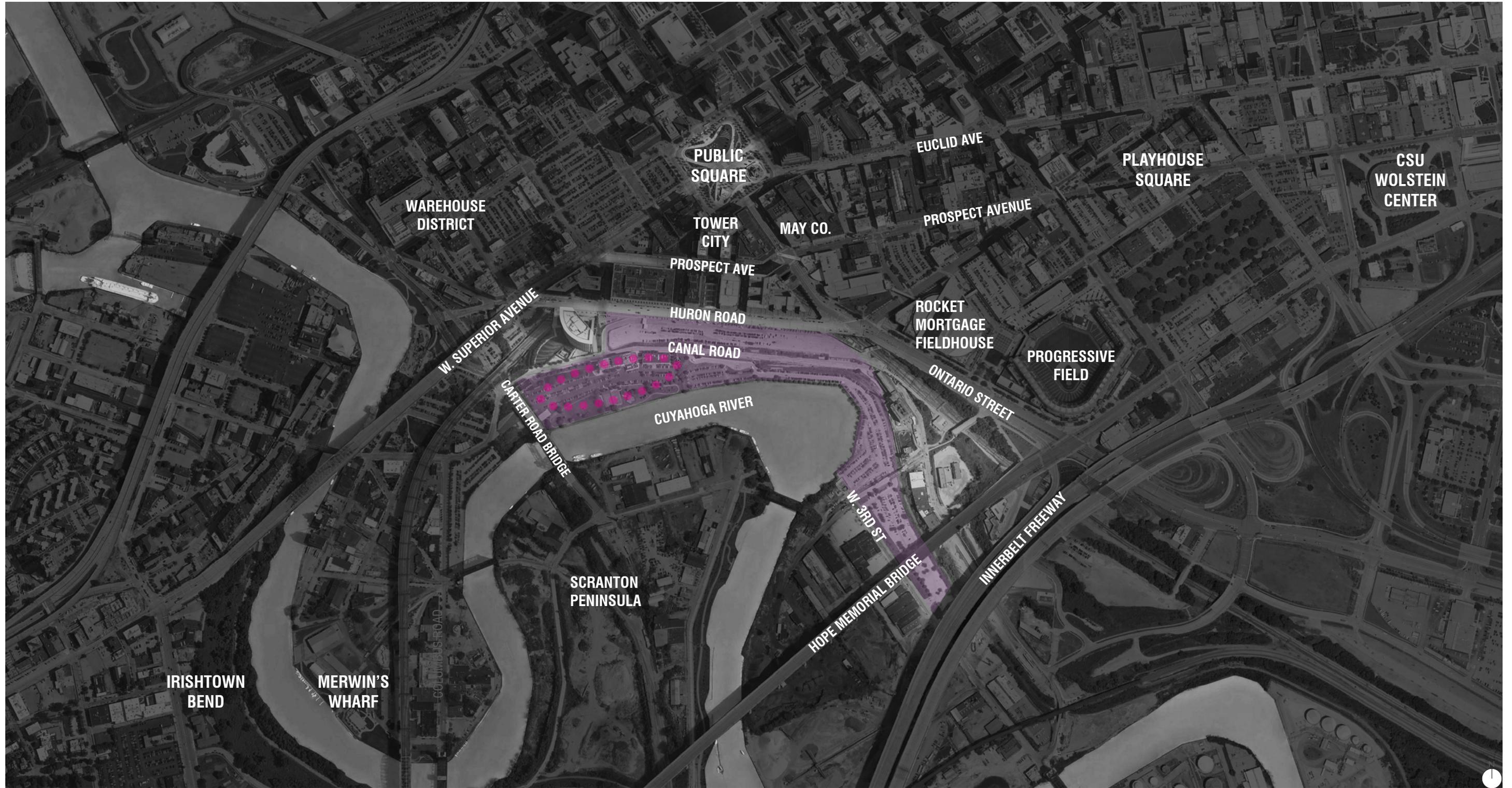
- COMPLETE TRAFFIC IMPACT ASSESSMENT
- PROVIDE MULTI-MODAL MOBILITY AND ACCESS
- REHABILITATE RIVERFRONT BULKHEAD
- CONSTRUCTION OF NEW EAGLE RAMP
- REALIGNMENT OF CANAL ROAD
- RECONFIGURATION OF HURON BRIDGE
- REPURPOSING OF PROSPECT AVENUE

**DEVELOP DOWNTOWN CLEVELAND AS  
A 15-MINUTE NEIGHBORHOOD THAT  
POSITIONS CLEVELAND TOWARDS  
BECOMING AN 18-HOUR CITY**

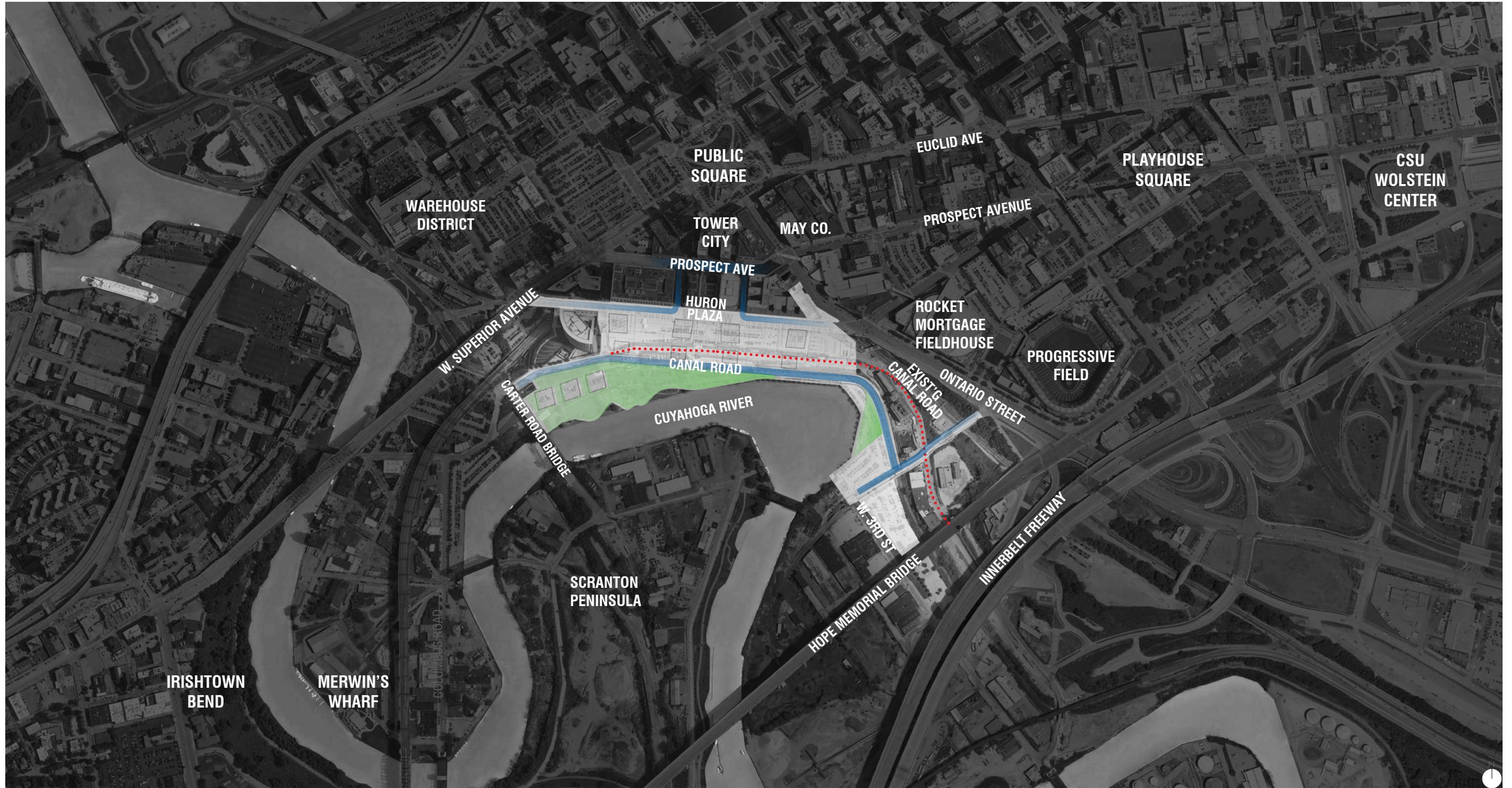
**LEVERAGE SUSTAINABLE  
INFRASTRUCTURE AND  
PUBLIC SPACES AS DRIVER FOR  
INVESTMENTS**

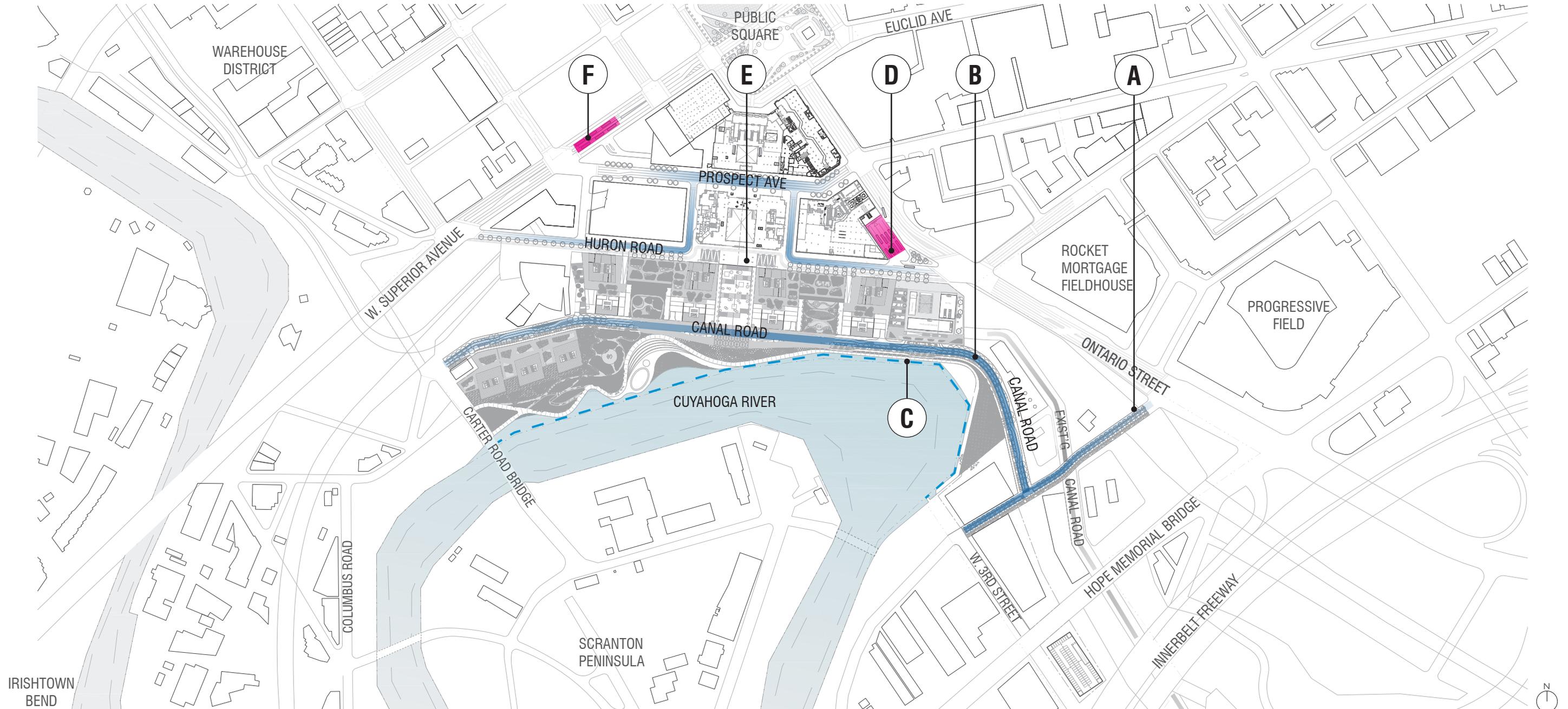
**ENSURE EQUITABLE DELIVERY  
OF ECONOMIC GROWTH AND  
EQUITABLE OPPORTUNITIES**

# PHASE 1 MASTER PLAN SITE MAP - EXISTING CONDITION



PHASE 1 MASTER PLAN SITE MAP -



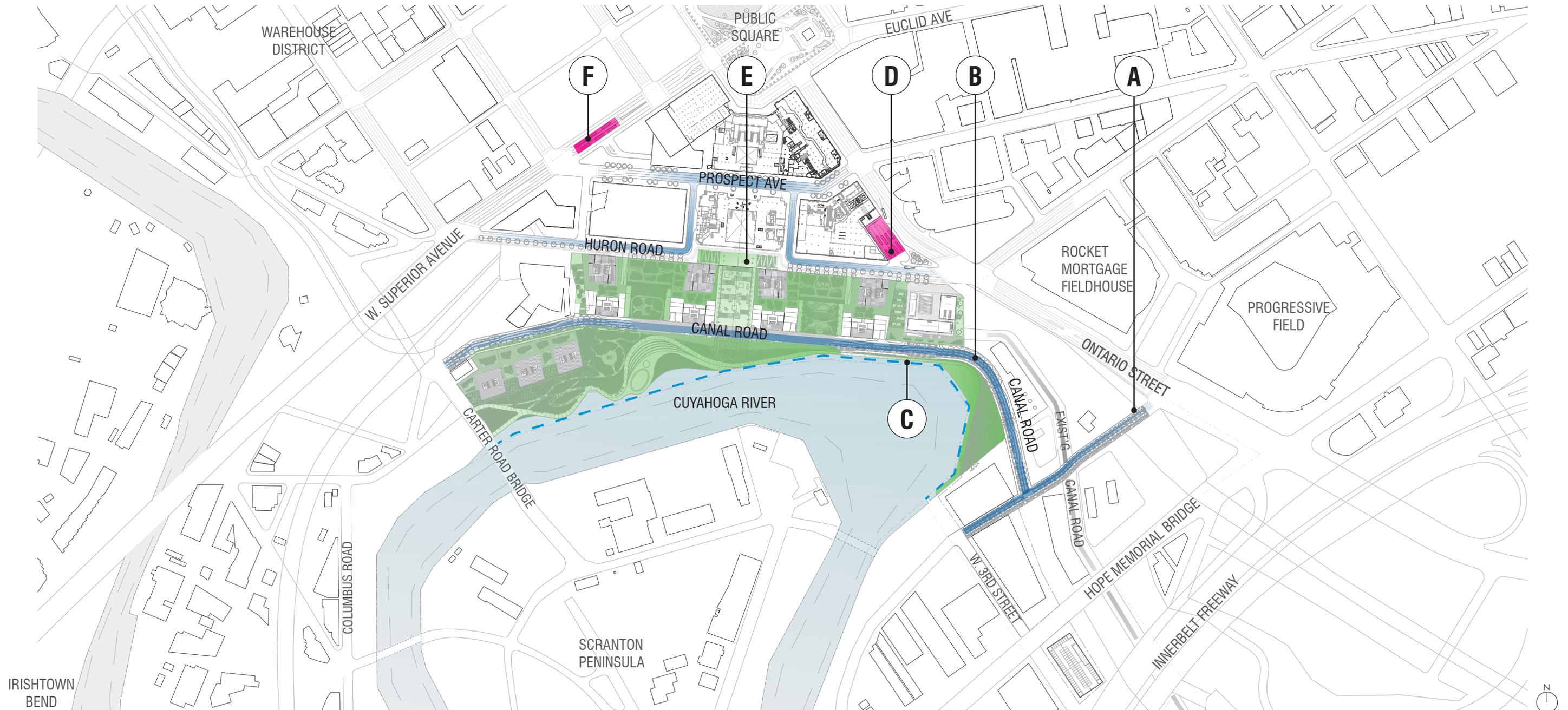


- A. PROPOSED NEW EAGLE RAMP, IMPROVING ACCESS TO RIVERFRONT**
- B. PROPOSED NEW CANAL ROAD ALIGNMENT WITH UNDERGROUND UTILITIES**
- C. BULKHEAD REHABILITATION, ENABLING A NEW RIVERFRONT**

- D. PROPOSED NEW BUS FACILITY OFF OF ONTARIO STREET**
- E. PROPOSED HURON PLAZA, CONNECTING CORE TO SHORE**
- F. PROPOSED NEW RTA TRANSFER HUB ON SUPERIOR AVENUE**

# KEY INFRASTRUCTURE ENHANCEMENTS

# ENABLING CONNECTIVITY AND PUBLIC OPEN SPACE



- A. PROPOSED NEW EAGLE RAMP, IMPROVING ACCESS TO RIVERFRONT**
- B. PROPOSED NEW CANAL ROAD ALIGNMENT WITH UNDERGROUND UTILITIES**
- C. BULKHEAD REHABILITATION, ENABLING A NEW RIVERFRONT**

- D. PROPOSED NEW BUS FACILITY OFF OF ONTARIO STREET**
- E. INTRODUCE HURON PLAZA, CONNECTING CORE TO SHORE**
- F. PROPOSED NEW RTA TRANSFER HUB ON SUPERIOR AVENUE**

# MOBILITY AND ACCESS



- ① PUBLIC SQUARE
- ② PROSPECT PLAZA (RTA ELEVATOR)
- ③ HURON PLAZA
- ④ BUS STATION AT SUPERIOR AVENUE
- ⑤ BUS FACILITY AT ONTARIO STREET
- VEHICULAR
- PEDESTRIAN
- RTA ELEVATOR
- BIKE

# MOVING TOWARDS A LOW CARBON, LOW IMPACT DEVELOPMENT

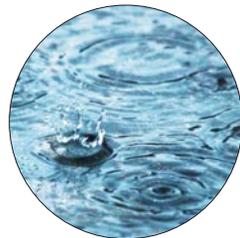
## ECOLOGY

NATURALIZED RIVER EDGE, PUBLIC PARKS, TREES



## WATER

WATER CONSERVATION, REUSE OF STORM-WATER, GREEN ROOFS, PERMEABLE PAVEMENTS



## ENERGY

ON-SITE ENERGY GENERATION AND STORAGE, DISTRICT ENERGY SYSTEMS, LEED CERTIFICATION



## WASTE

WASTE SEPARATION AND MANAGEMENT, SUSTAINABLE BUILDING MATERIALS LIKE MASS TIMBER



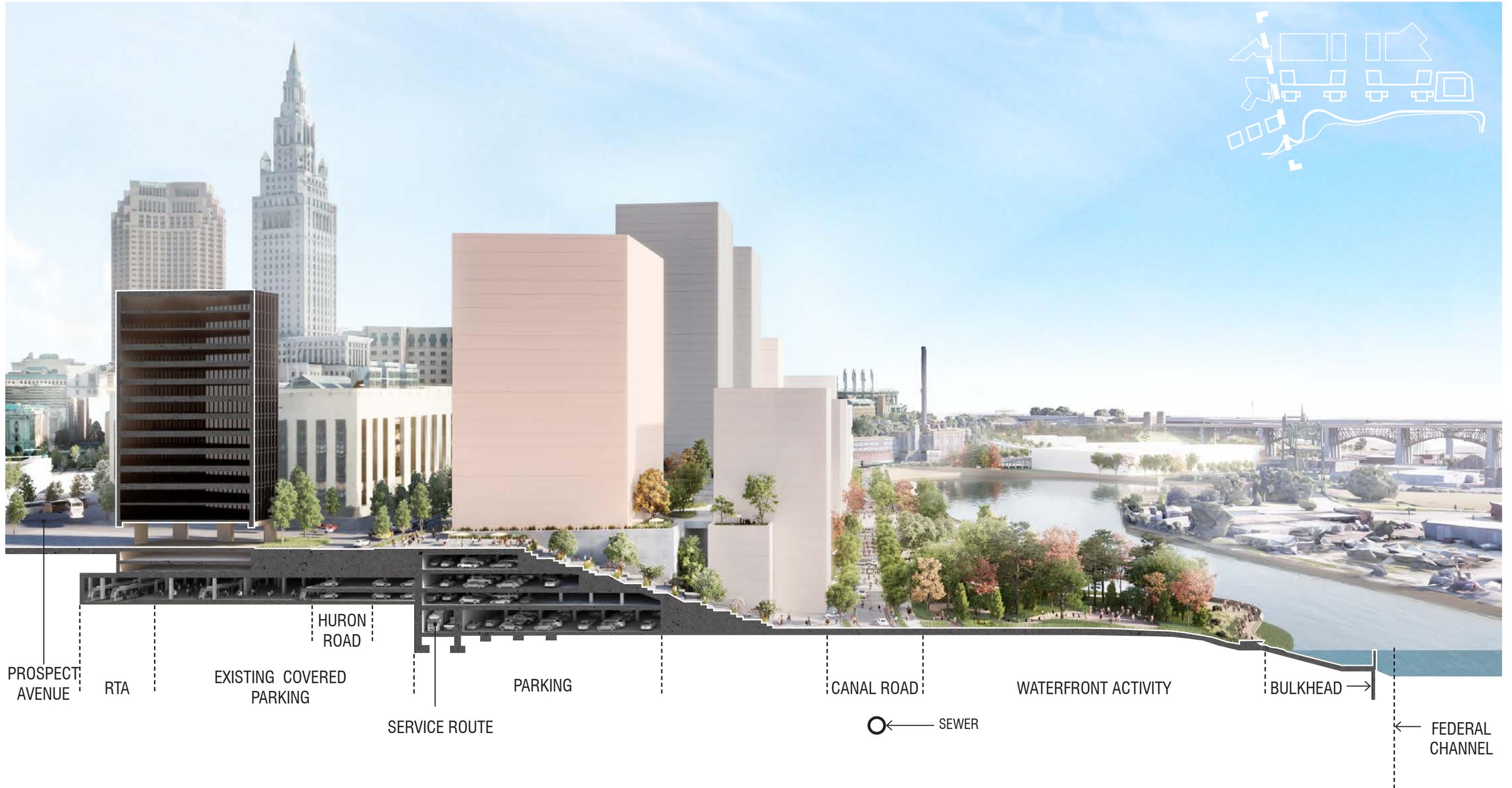
## MOBILITY

EV CHARGING, MULTI MODAL PATHWAYS, CONNECTION BETWEEN RAIL AND BUS, MICRO-MOBILITY HUBS, RIVERFRONT ACCESS FOR PEOPLE OF ALL ABILITIES



- SUN
- AIR
- WATER
- TRANSPORTATION

# SECTION PERSPECTIVE | COURTYARD / FOREST



# NORTH-SOUTH SECTION PERSPECTIVE - HURON PLAZA TO WATERFRONT



























# STEPS TO DEVELOPING OHIO'S LARGEST TRANSIT-ORIENTED NEIGHBORHOOD

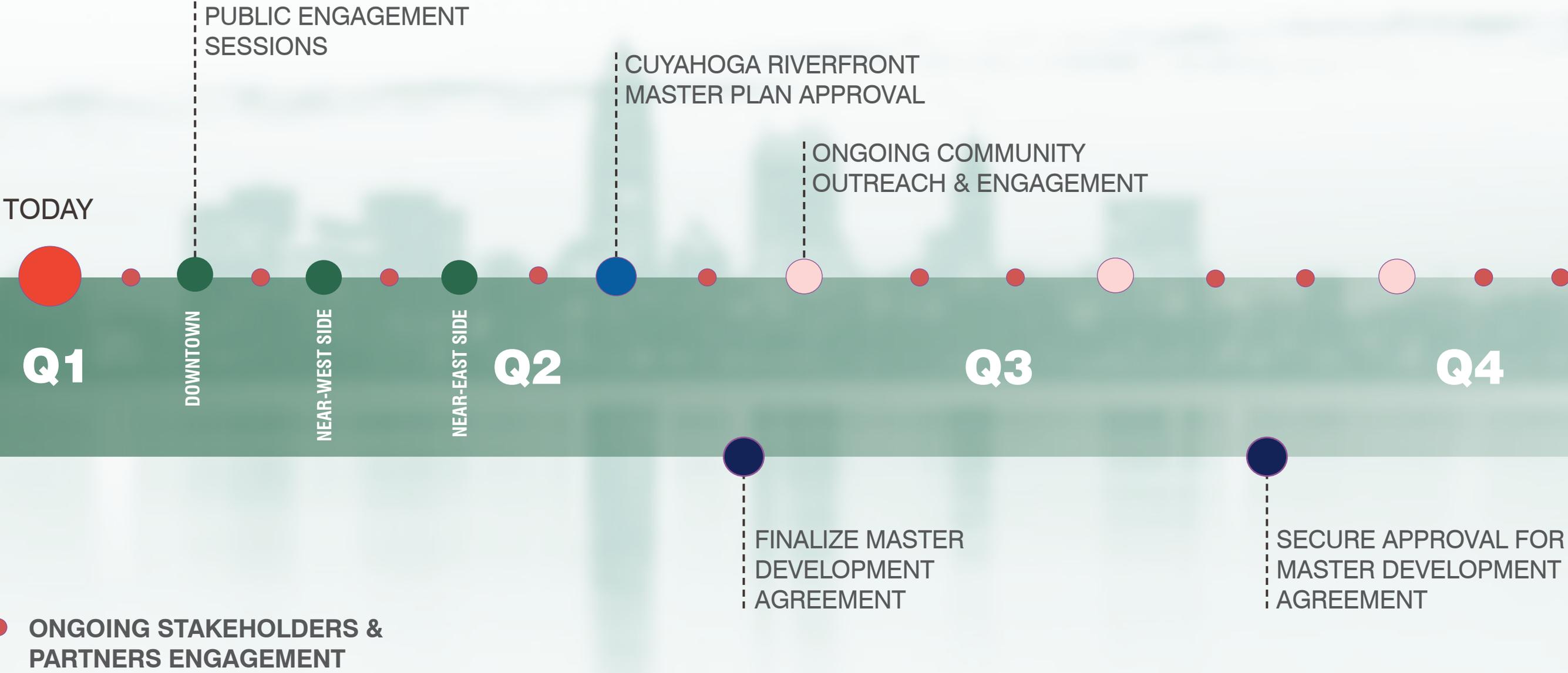
- COMPLETE TRAFFIC IMPACT ASSESSMENT
- PROVIDE MULTI-MODAL MOBILITY AND ACCESS
- REHABILITATE RIVERFRONT BULKHEAD
- CONSTRUCTION OF NEW EAGLE RAMP
- REALIGNMENT OF CANAL ROAD
- RECONFIGURATION OF HURON BRIDGE
- REPURPOSING OF PROSPECT AVENUE

**DEVELOP DOWNTOWN CLEVELAND AS  
A 15-MINUTE NEIGHBORHOOD THAT  
POSITIONS CLEVELAND TOWARDS  
BECOMING AN 18-HOUR CITY**

**LEVERAGE SUSTAINABLE  
INFRASTRUCTURE AND  
PUBLIC SPACES AS DRIVER FOR  
INVESTMENTS**

**ENSURE EQUITABLE DELIVERY  
OF ECONOMIC GROWTH AND  
EQUITABLE OPPORTUNITIES**

# 2023



# QUESTIONS & ANSWERS

A blurred, teal-tinted image of a city skyline reflected in water, serving as the background for the slide.

# Adjaye Associates

1 Liberty Plaza, Suite 2701  
New York, NY 10006  
Tel: +1 212 965 8477  
[www.adjaye.com](http://www.adjaye.com)

# Cleveland City Planning Commission

## Staff Report

---



February 17, 2023

# Cleveland City Planning Commission

## Administrative Approvals

---



February 17, 2023

# Administrative Approvals

---

February 17, 2023



**Ordinance No. 181-2023** (Introduced by Councilmembers Spencer, Bishop and Griffin – by departmental request): Accepting the offer of dedication of public right-of-way and public improvements shown on the recorded plat for Father Caruso Drive.

Ward: 15 - Councilmember Spencer | SPA: Detroit-Shoreway



February 17, 2023

## **Ordinance No. 185-2023**

(Introduced by Councilmembers McCormack, Hairston and Griffin – by departmental request):  
Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by 1900 East 6<sup>th</sup> Street, LLC, and/or its designee, located at 1900 East 6<sup>th</sup> Street for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the Fidelity Hotel Project.



February 17, 2023

## **Ordinance No. 188-2023**

(Introduced by Councilmembers McCormack, Hairston and Griffin – by departmental request):

Authorizing the Director of Economic Development to enter into a Tax Increment Financing Agreement with 1900 East 6<sup>th</sup> Street, LLC, and/or its designee, to assist with the financing of the Fidelity Hotel Project to be located at 1900 East 6<sup>th</sup> Street; to provide for payments to the Cleveland Metropolitan School District; and to declare certain improvements to real property to be a public purpose.



February 17, 2023

## **Ordinance No. 186-2023**

(Introduced by Councilmembers Hairston and Griffin – by departmental request):

Authorizing the Director of Community Development to lease the Five Pointe Building, also known as the Collinwood Community Center, located at 813 East 152<sup>nd</sup> Street to the Famicos Foundation to operate and provide a range of social services and to maintain the Five Pointe Building, for a period of one year.

# Administrative Approvals

---

February 17, 2023



**Ordinance No. 220-2023** (Introduced by Councilmember McCormack):  
Changing the Use, Area and Height Districts of parcels of land north of University Road between I-90 East and West 3<sup>rd</sup> Street (MC 2666).

Ward: 3 - Councilmember McCormack | SPA: Cuyahoga Valley



## **Ordinance No. 213-2023**

(Introduced by Councilmembers McCormack, Bishop, Hairston and Griffin – by departmental request): Authorizing the Director of Capital Projects to apply for and accept a grant from the United States Department of Transportation for the Reconnecting Cleveland I-90 Program; authorizing the Director to employ one or more professional consultants to provide a feasibility study for the I-90 corridor between East 22<sup>nd</sup> Street and Martin Luther King, Jr. Drive; authorizing other agreements; and authorizing the Commissioner of Purchases and Supplies to acquire, accept, and record for right-of-way purposes real property and easements.

**Wards:** 10/Councilmember Hairston; 3/Councilmember McCormack; 7/Councilmember Howse; and 5/Councilmember Starr

**SPAs:** Central, Goodrich-Kirtland Park, St Clair-Superior, and Glenville

# Cleveland City Planning Commission

## Director's Report

---



February 17, 2023



## Budget Hearings

- The four boards and commissions under the Planning Department presented to City Council earlier this week for budget hearings on February 14, 2023
- Key 2023 goals:
  - Initiate key citywide and neighborhood planning efforts
  - Implement key plans and major projects
  - Resource planning staff with tools and training
  - Refine internal entitlement and permitting process

# Director's Report

## Staff Appreciation

February 3, 2023



City Planning Commission



Landmarks Commission

Board of Zoning Appeals



Board of Building Standards





## Zoning Code Updates

- Regarding the **Townhouse Code** – we have received robust feedback in January. Staff will require additional time for review. The approval process is a two-step process:
  - Planning staff will post the final draft on the Planning Department website prepared for the Planning Commission members to review.
  - At the following meeting, staff will present the changes to the Planning Commission for discussion and approval.
- We have received robust input for the **Small Changes to the Zoning Code**. Staff is currently reviewing the feedback and will bring the changes back to the Planning Commission at a later date.
- We have received interest in the **Form-Based Code**. Staff are preparing the draft, which will first go through review with Law followed by a public posting of the draft for public comment at a later date.

# Cleveland City Planning Commission

## Adjournment

---



February 17, 2023