



Cleveland City Planning Commission

Friday, July 15, 2022

**** PLEASE MUTE YOUR MICROPHONE ****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

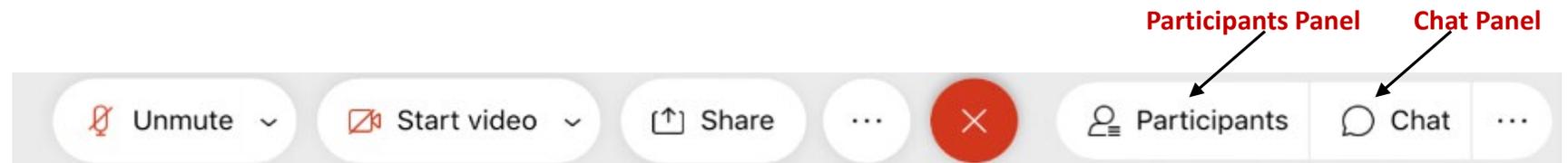
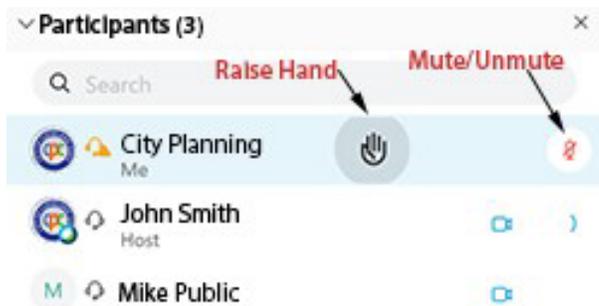
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



July 15, 2022

Cleveland City Planning Commission

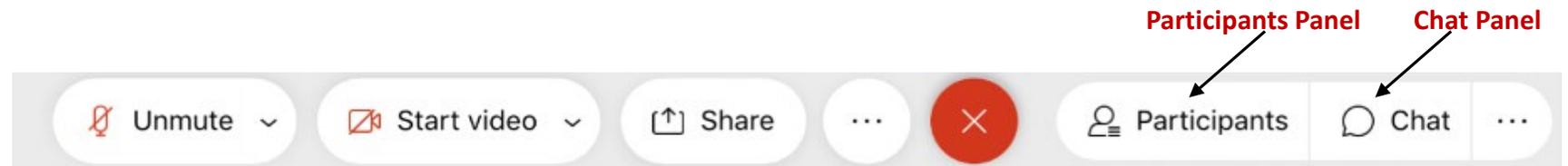
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



July 15, 2022

Cleveland City Planning Commission

Call to Order and Roll Call



July 15, 2022

Cleveland City Planning Commission

Zoning Map Amendments



July 15, 2022

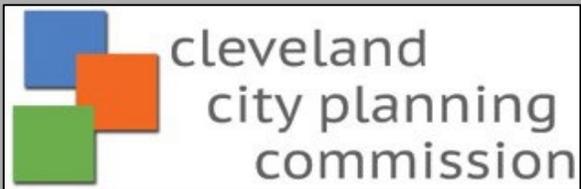


Ordinance No. xxx-2022 (Ward 10/Councilmember Hairston): Changing the Use, Area & Height Districts of parcels of land south of **Carr Avenue between East 88th and East 93rd Streets** and adding an Eight (8) foot Specific Mapped Setback. (Map Change 2651)

Presenter: Shannan Leonard, Staff Planner

Map Change 2651

City Planning Commission
July 15, 2022



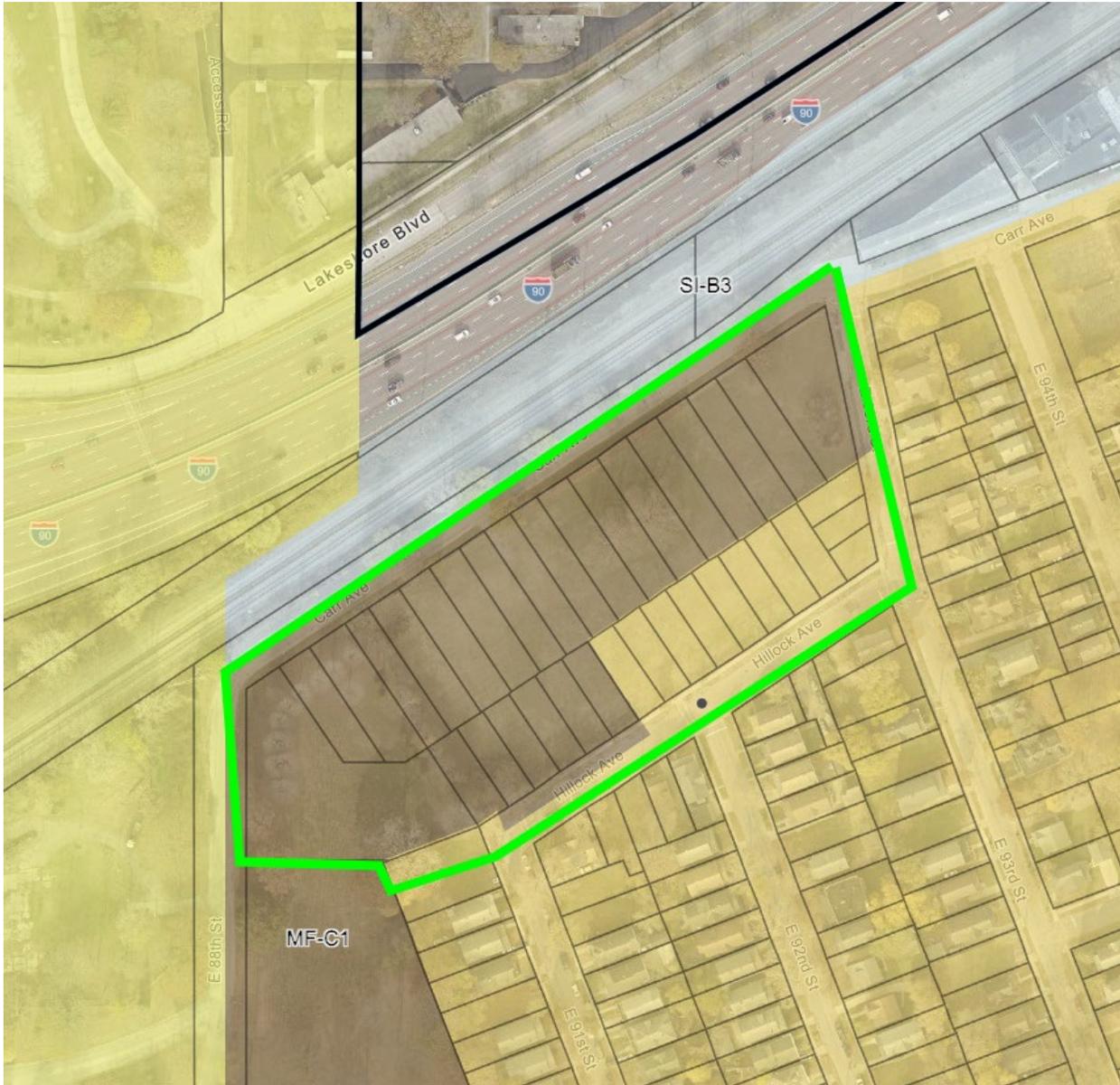
Proposal

Changing the Use, Area & Height Districts of parcels of land south of Carr Avenue between East 88th and East 93rd Street and adding an Eight Foot Specific Mapped Setback (Map Change 2651).

Purpose

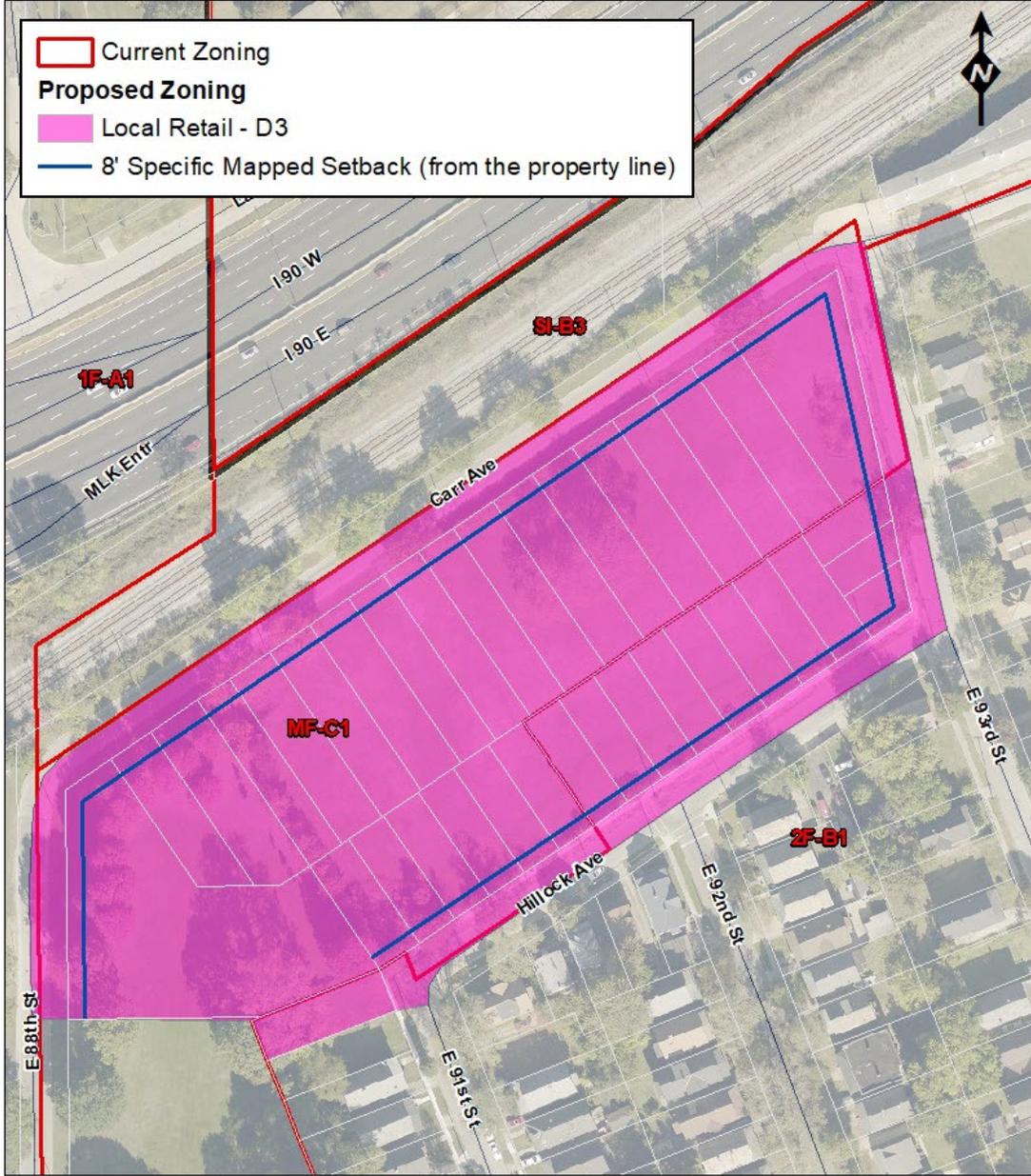
- To permit the redevelopment by right of the now vacant Charles H Lake School Site as per selected by CMSD/City of Cleveland (2021)
- To provide a variety of housing typologies and neighborhood retail (coffee shop) while also preserving and activating neighborhood green space
- Align existing and future land uses with zoning to enhance the character of the neighborhood





**ZONING -
SITE A
ZONE CODE:
MF-C1, 2F-B1**

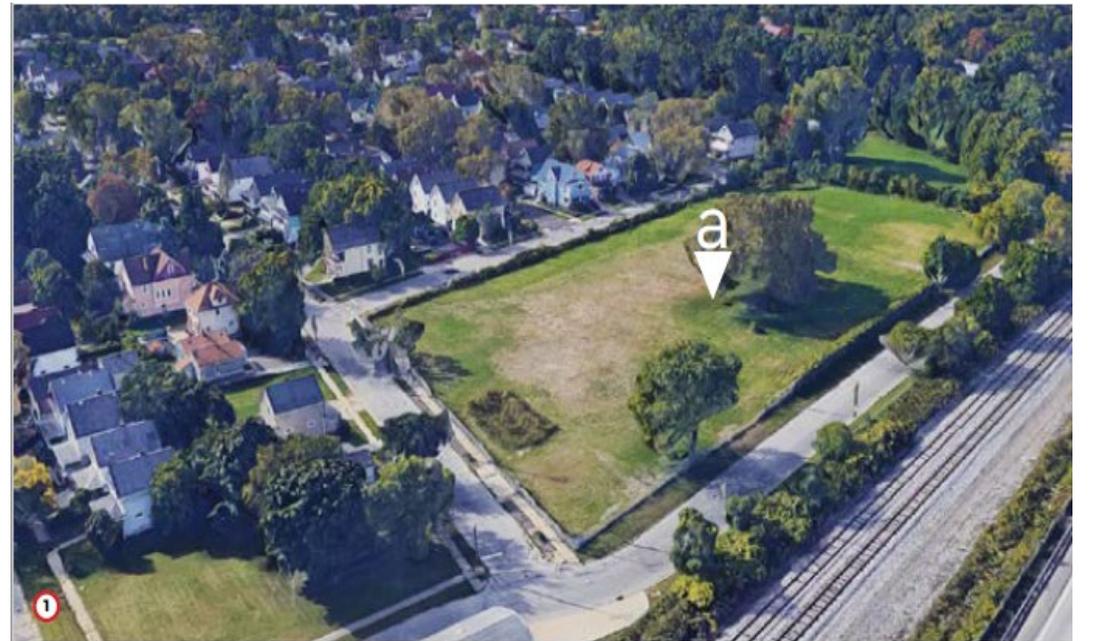
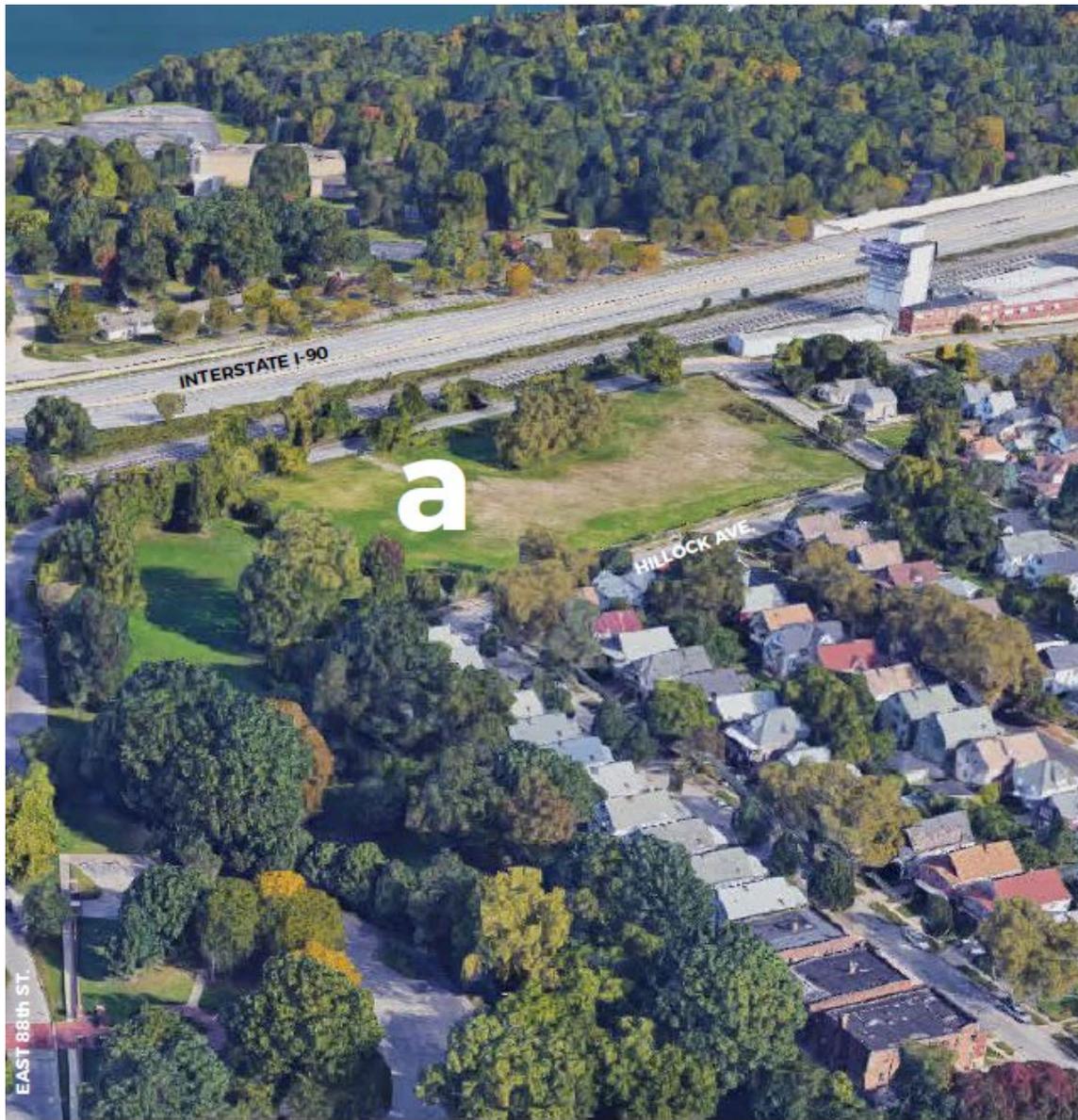
**USE
DISTRICT:
Multi-Family,
Two Family**



Map Change 2651
 Changing the Use, Area, & Height Districts of parcels of land south of Carr Avenue between East 88th and East 93rd and adding an Eight (8) Foot Specific Mapped Setback (Map Change 2651).

cpc cleveland city planning commission
 Date: June 21, 2022

100 Feet



McCORMACK
BARON
SALAZAR



RDL
ARCHITECTS



SINGLE FAMILY - SUMMARY

UNIT COUNT: 13

TOWNHOUSE- SUMMARY

UNIT COUNT: 19

PARKING:
 COVERED: 64 SPACES
 SURFACE: 6 SPACES
 TOTAL: 70 SPACES

APARTMENT - SUMMARY

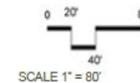
UNIT COUNT: 73

PARKING:
 COVERED: 14 SPACES
 SURFACE: 70 SPACES
 TOTAL: 84 SPACES

TOTALS - SUMMARY

UNIT COUNT: 105

PARKING:
 COVERED: 78 SPACES
 SURFACE: 64 SPACES
 TOTAL: 142 SPACES



- Building Massing of site is respectful of existing context of neighborhood
- 2 story brownstones line Hillock with ground floor garden terraces to ensure street level activity
- 3 story units facing Carr Avenue with stoops to create pedestrian scale on street
- 3rd floor allows visual connection to the best asset in neighborhood – Lake Erie
- Rooftop deck of apartment building also allows visual connectivity to Lake but also the slightly larger Massing of apartment building serves as buffer from travel paths and engages ground floor units with community terrace and garden fronting park.

03.10.2022 RDL 21120R

CHARLES LAKE | GLENVILLE, CLEVELAND | SITE A - SUMMARY

The drawings, specifications, plans, design and arrangements represented hereby are and shall remain the property of the architect. No part of said drawings, specifications or plans shall be used in any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual content will change drawings or specifications and specific conditions and/or materials of these drawings. Other drawings or those drawings shall have precedence over these drawings. Contractors shall verify all dimensions and conditions on the job site, and the office shall be notified of any variations from the dimensions and conditions shown by these drawings.



MCCORMACK
 BARON
 SALAZAR

ozanne

RDL
 ARCHITECTS



03.10.2022 RDL 21120R

CHARLES LAKE | GLENVILLE, CLEVELAND | COLOR RENDER

The drawings, specifications, plans, design and arrangements represented thereby are and shall remain the property of the architect. No part of said drawings, documents or plans or reproduction of any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. These drawings or specifications shall constitute complete evidence of acceptance of these conditions. Within dimensions on these drawings shall have precedence over verbal dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office shall be held of any variations from the dimensions and conditions shown by these drawings.



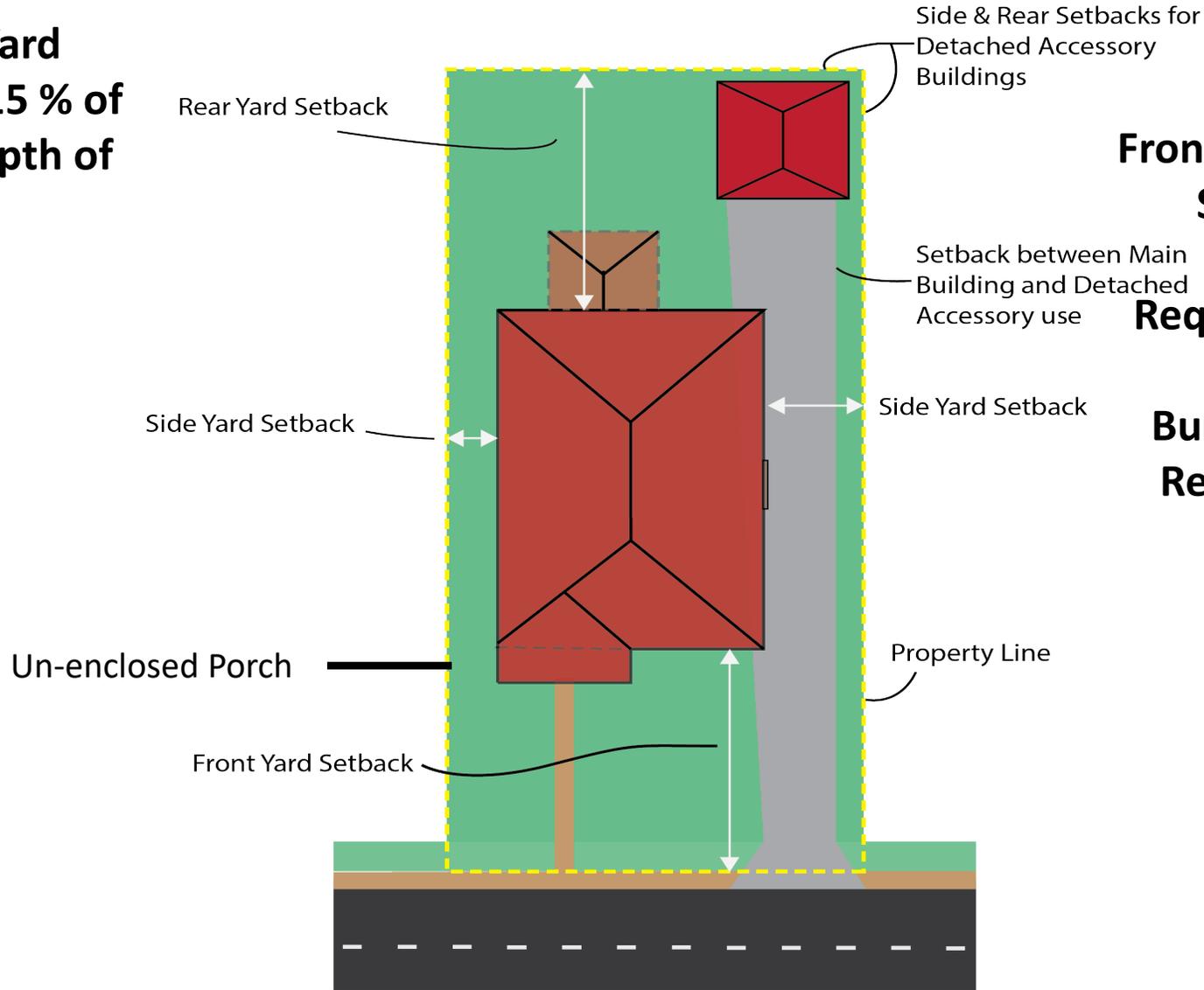
MCCORMACK
BARON
SALAZAR



RDL
ARCHITECTS

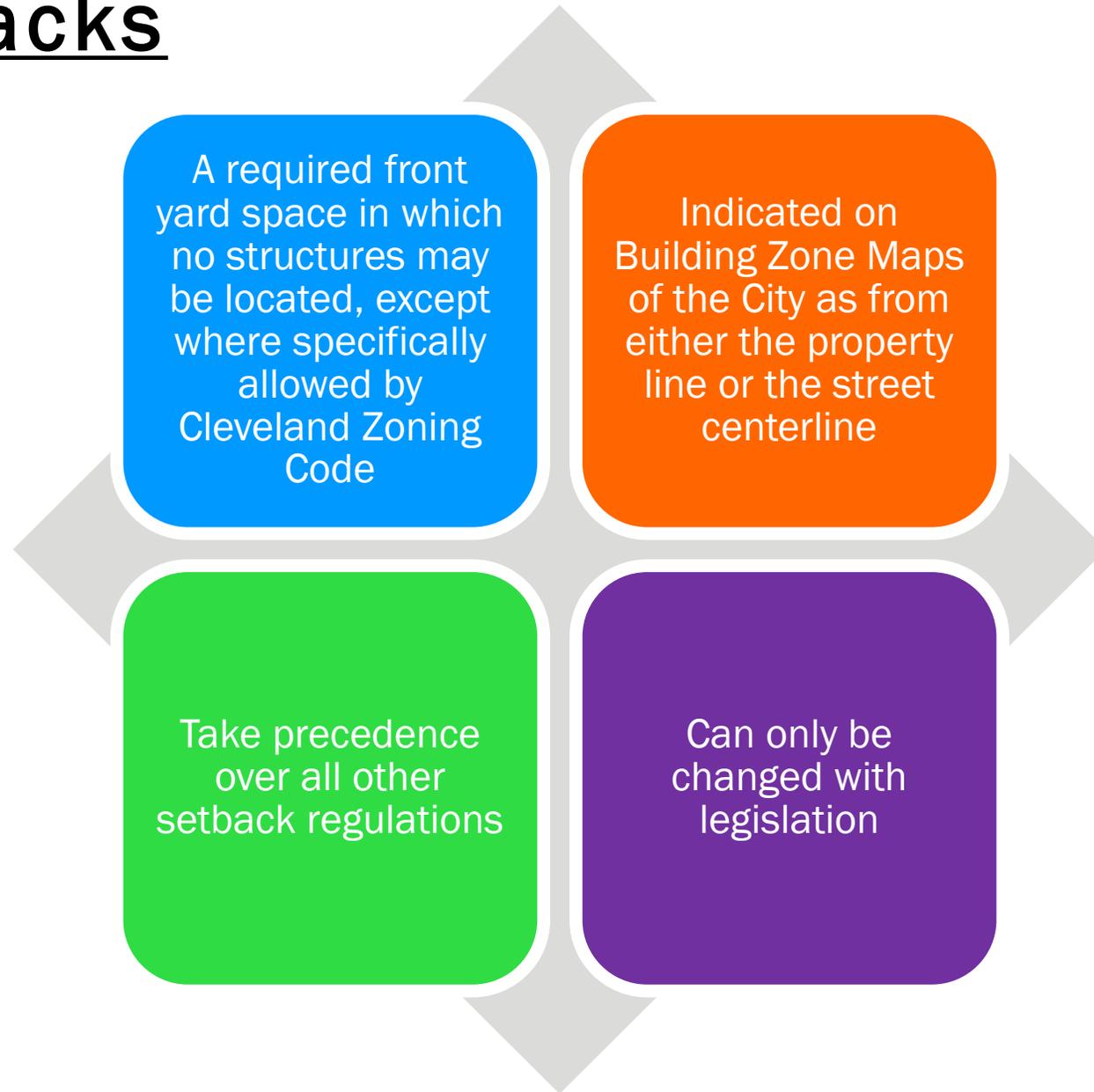
Residential Yard (Setback) Requirements

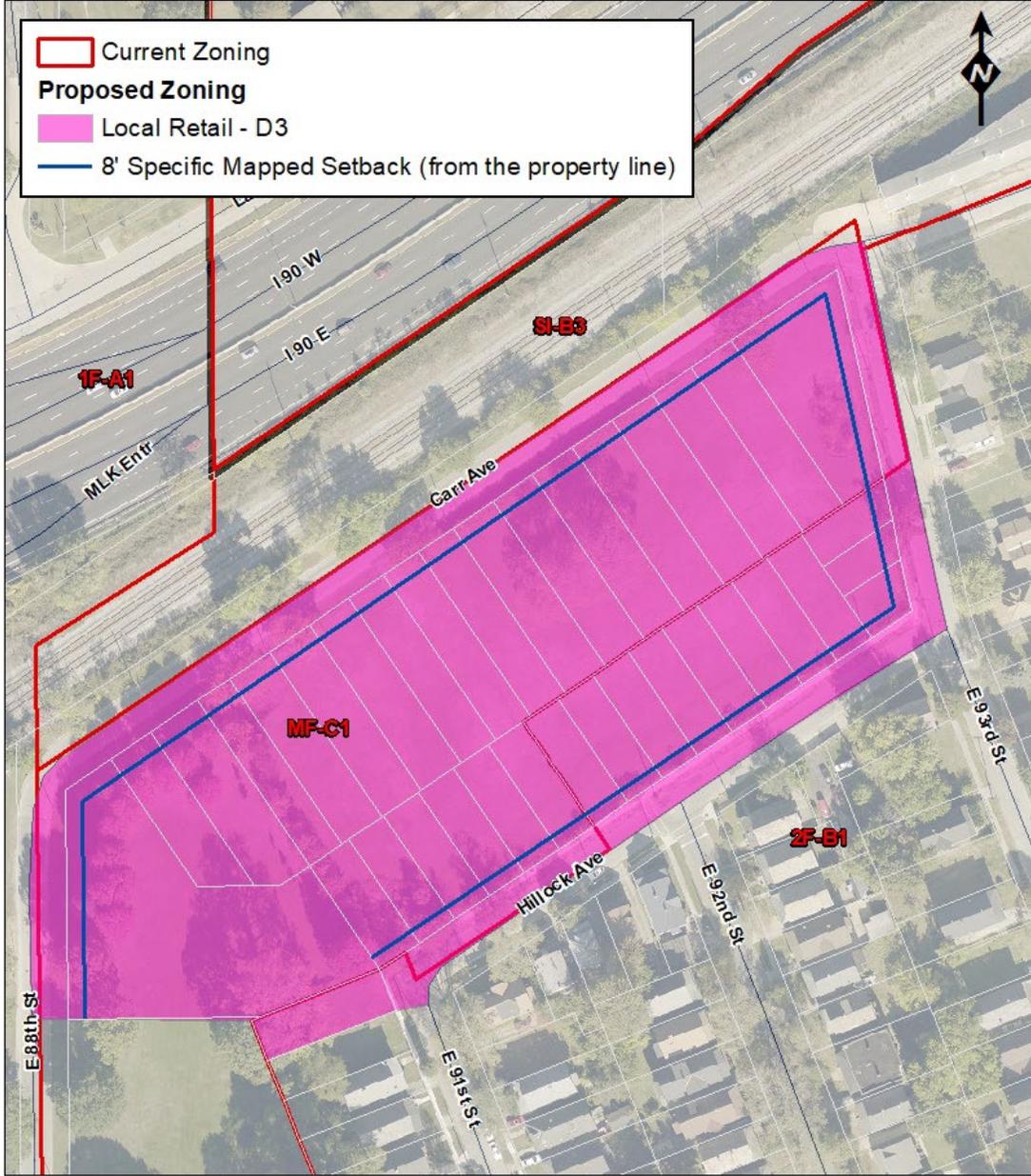
**Front Yard
Req = 15 % of
Avg Depth of
Lot**



**Front, Rear &
Side Yard
Setbacks
Required for
all Main
Buildings in
Residential
Districts**

Mapped Setbacks





Current Zoning
Proposed Zoning
 Local Retail - D3
 8' Specific Mapped Setback (from the property line)



Date: June 21, 2022

Map Change 2651

Changing the Use, Area, & Height Districts of parcels of land south of Carr Avenue between East 88th and East 93rd and adding an Eight (8) Foot Specific Mapped Setback (Map Change 2651).



Zoning Map Amendments

July 15, 2022



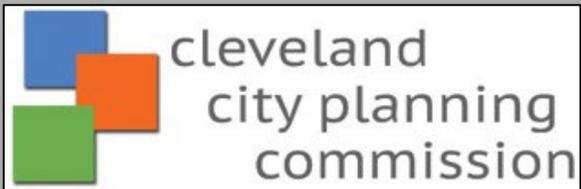
Ordinance No. xxx-2022 (Ward 9/Councilmember Conwell): Changing the Use, Area & Height Districts of parcels of land northeast of **Ansel Road between Derby Avenue and Superior Avenue** and adding a 15-foot Specific Mapped Setback from the property line. (Map Change 2653)

Presenter: Shannan Leonard, Staff Planner

SPA: St.Clair-Superior

Map Change 2653

City Planning Commission
July 15, 2022



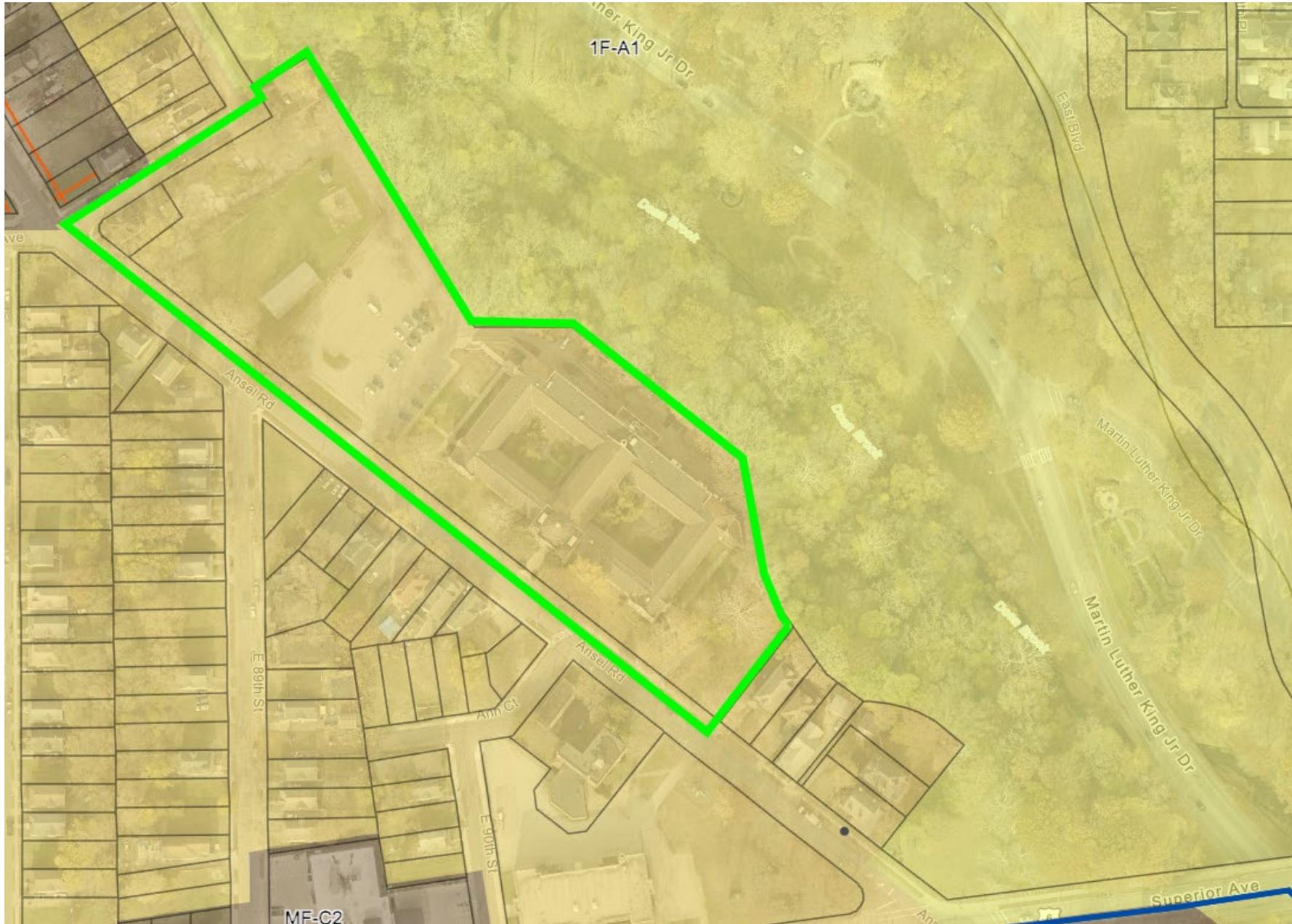
Proposal

Changing the Use, Area & Height Districts of parcels of land northeast of Ansel Road between Derby Avenue and Superior Avenue and adding a 15 Foot Specific Mapped Setback (Map Change 2653).

Purpose

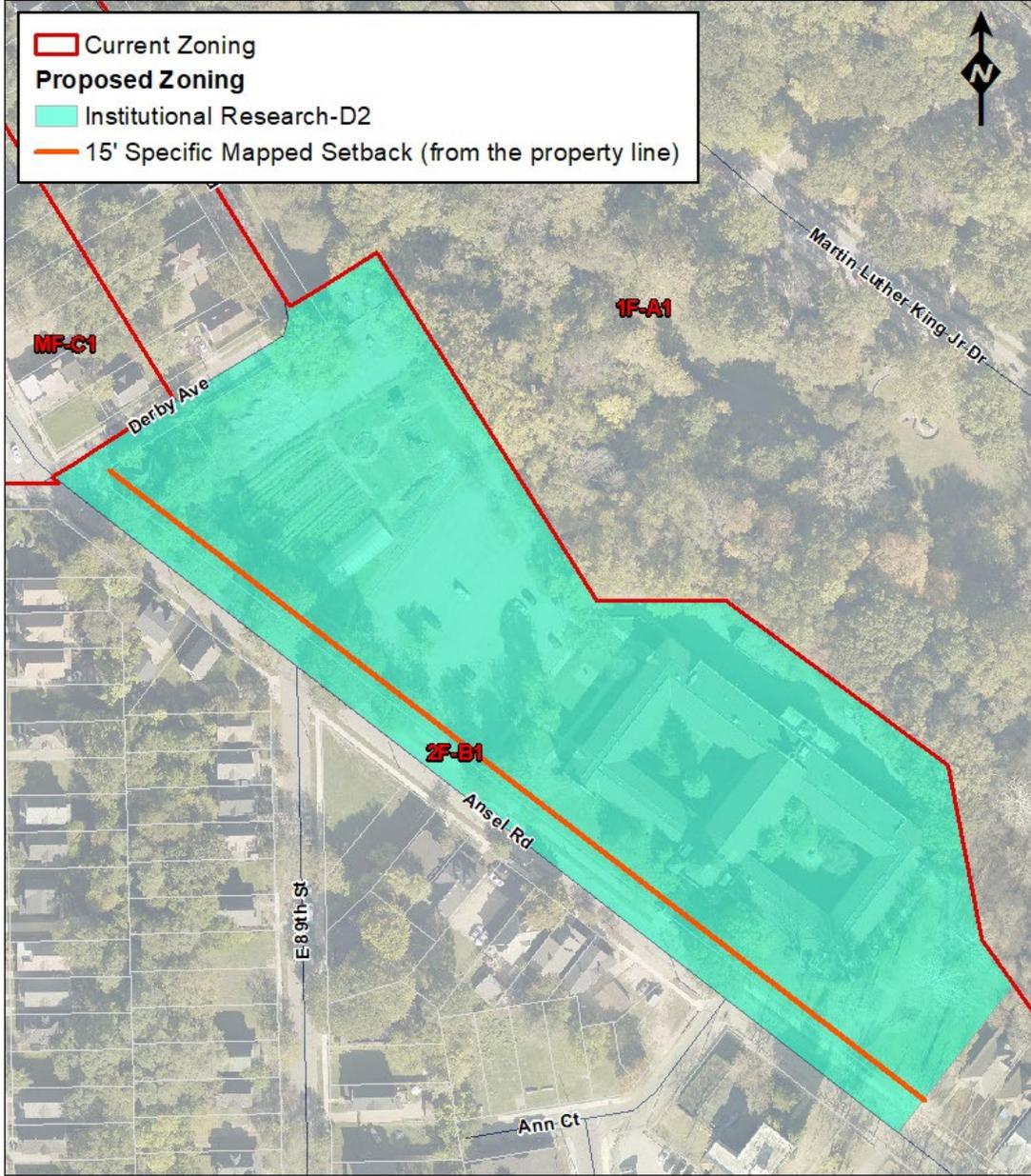
- To allow expansion of nonconforming use (mental health center – 36 bed - Residential Treatment Facility + 53 units of Recovery Housing)
- To permit new construction of the Hitchcock Center for Women to replace the existing building (Lot split & sold)
- Align existing and future land uses with zoning but also enhancing the character of the neighborhood





**ZONING –
2F-B1**

**USE
DISTRICT:
Two Family**



Map Change 2653

Changing the Use, Area, & Height Districts of parcels of land northeast of Ansel Road between Derby Avenue and Superior Avenue and adding a fifteen (15) foot Specific mapped Setback



Date: July 6, 2022





Existing Building

- ▶ Current HCFW building is functionally obsolete
- ▶ During HCFW's 30-year occupancy of the former seminary, there has been limited resources for capital improvements
- ▶ The age of the building and its complex architectural features are cost prohibitive to be renovated to meet current and expanding needs

New Residential Treatment Summary

36 short-term stay furnished bedrooms with private bath

6 Group Therapy Rooms

12 Therapist Consultation Offices

Dining Room with a Full-Service Kitchen

Designated Children's Play Area

Breastfeeding Areas and Changing Tables

Secured Prescription Storage/Dispensary

Kitchenette, Lounge, and Laundry Rooms on each Floor



New Recovery Housing Summary

53 Furnished Apartments

Common Laundry Room

2 Flexible Community Rooms

Site secured with Fencing and Surveillance Cameras

Sufficient Parking for Residents, Visitors, and Staff

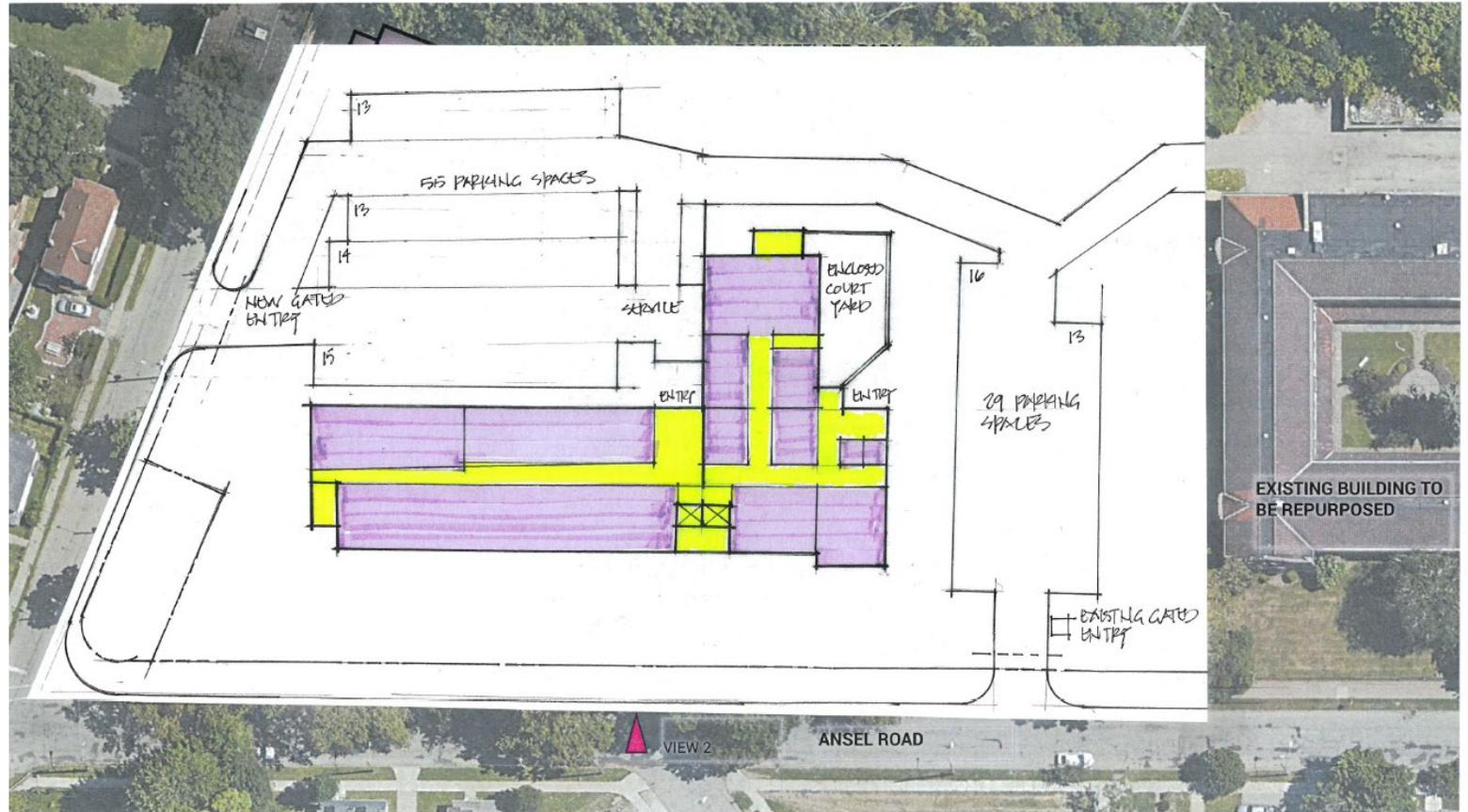
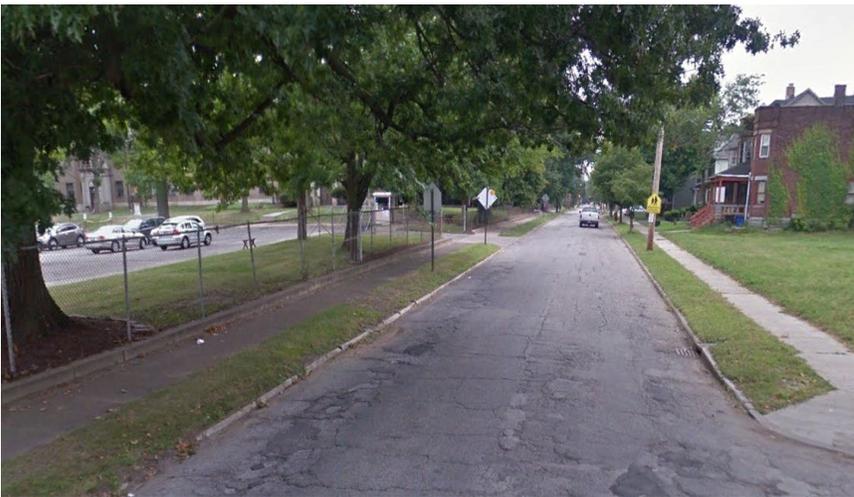
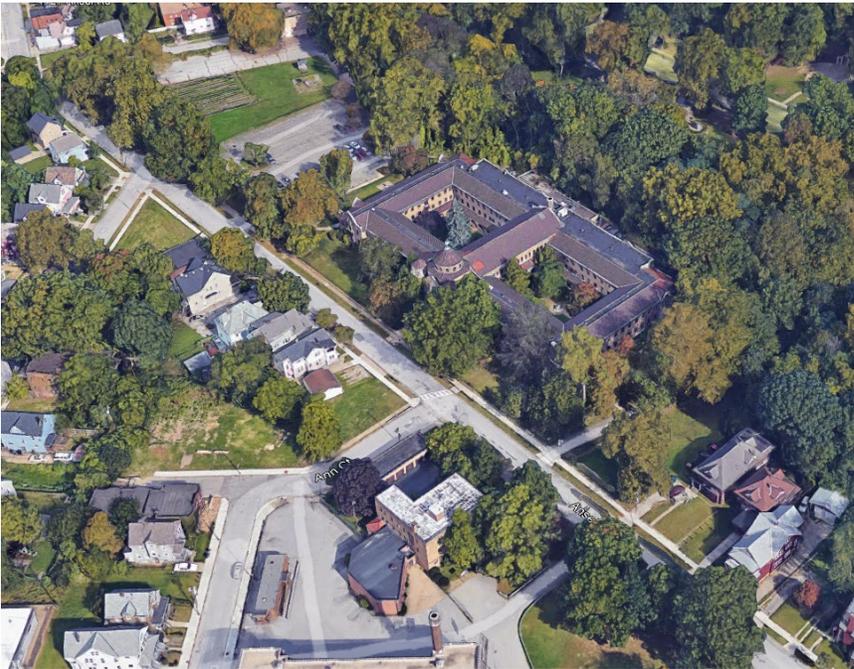
Enclosed Secure Courtyard

Arts & Crafts Room

Fitness Center

Screened service area





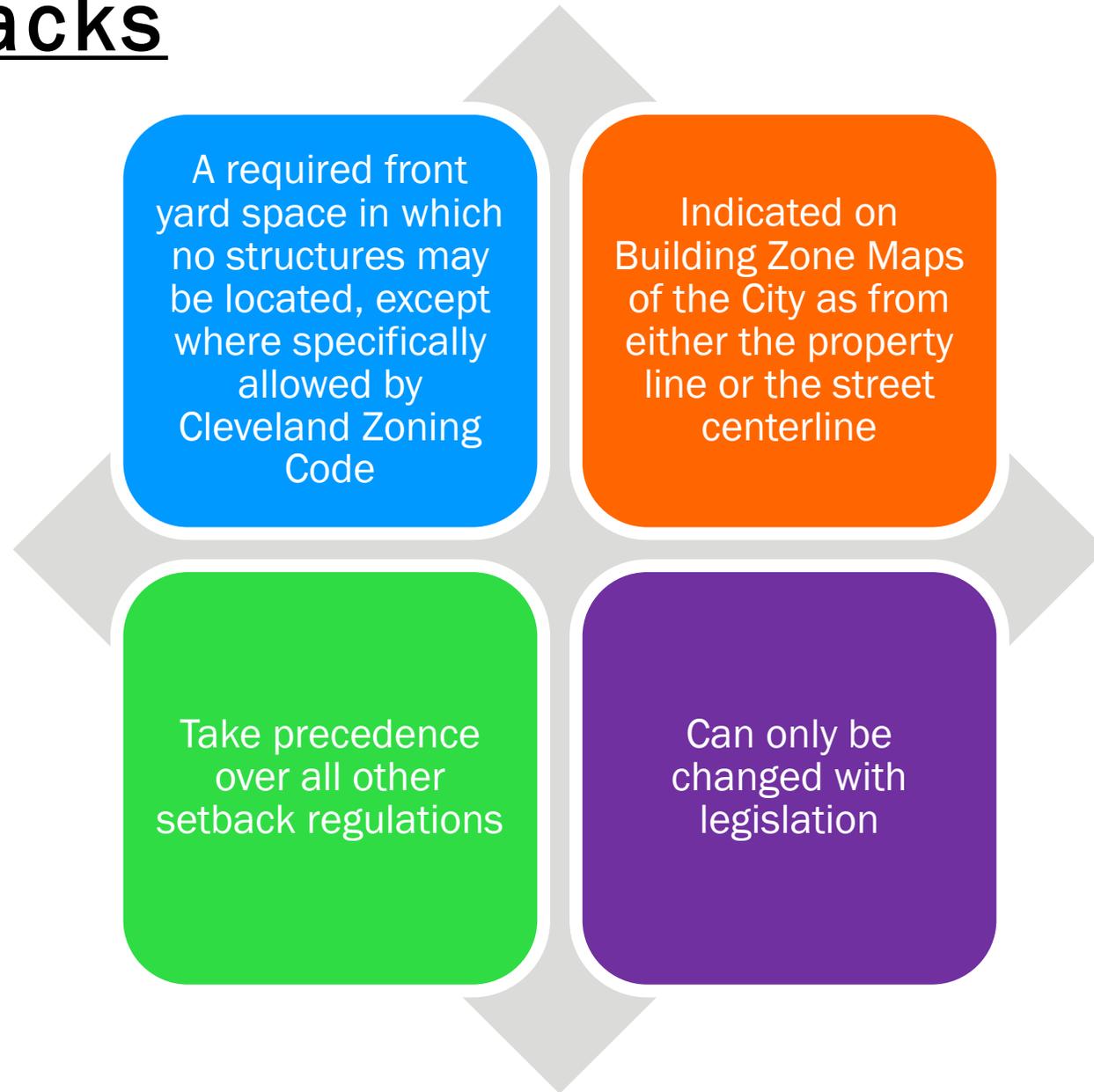
EXISTING BUILDING TO BE REPURPOSED

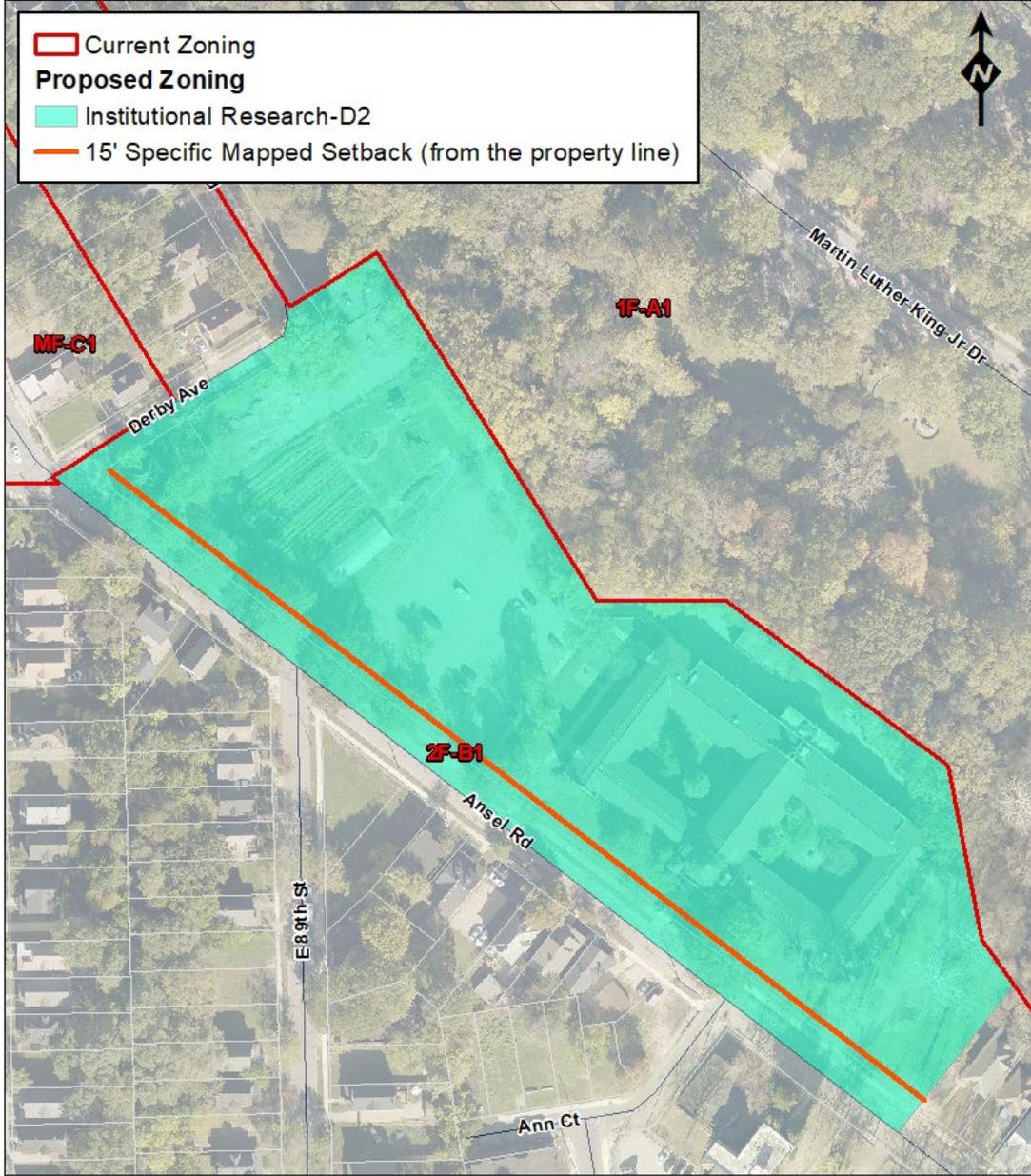


HITCHCOCK CENTER FOR WOMEN • CLEVELAND, OH • MAY 19, 2022
 REVIEW & JUNE 26, 2022

SITE PLAN

Mapped Setbacks



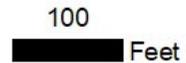


Map Change 2653

Changing the Use, Area, & Height Districts of parcels of land northeast of Ansel Road between Derby Avenue and Superior Avenue and adding a fifteen (15) foot Specific mapped Setback



Date: July 6, 2022





July 15, 2022

Ordinance No. xxx-2022 (Ward 14/Councilmember Santana): Changing the Use, Area & Height Districts of parcels of land along **West 25th Street between Sackett Avenue and Woodbridge Avenue**, and adding an Urban Form Overlay. (Map Change 2652)

Presenter: Matt Moss, Staff Planner

Clark Fulton - MetroHealth Rezoning Proposal



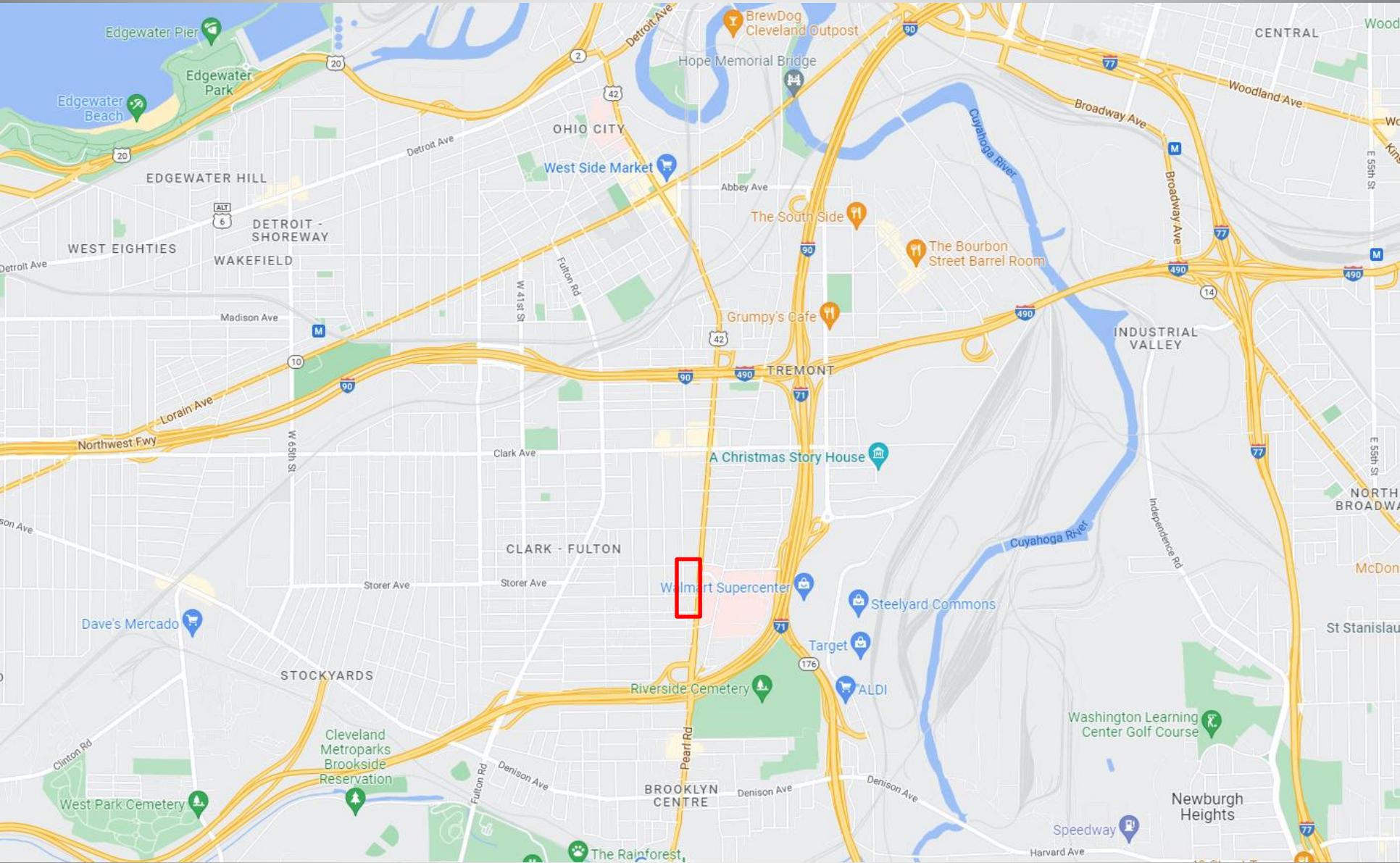
CITY OF CLEVELAND
Mayor Justin M. Bibb

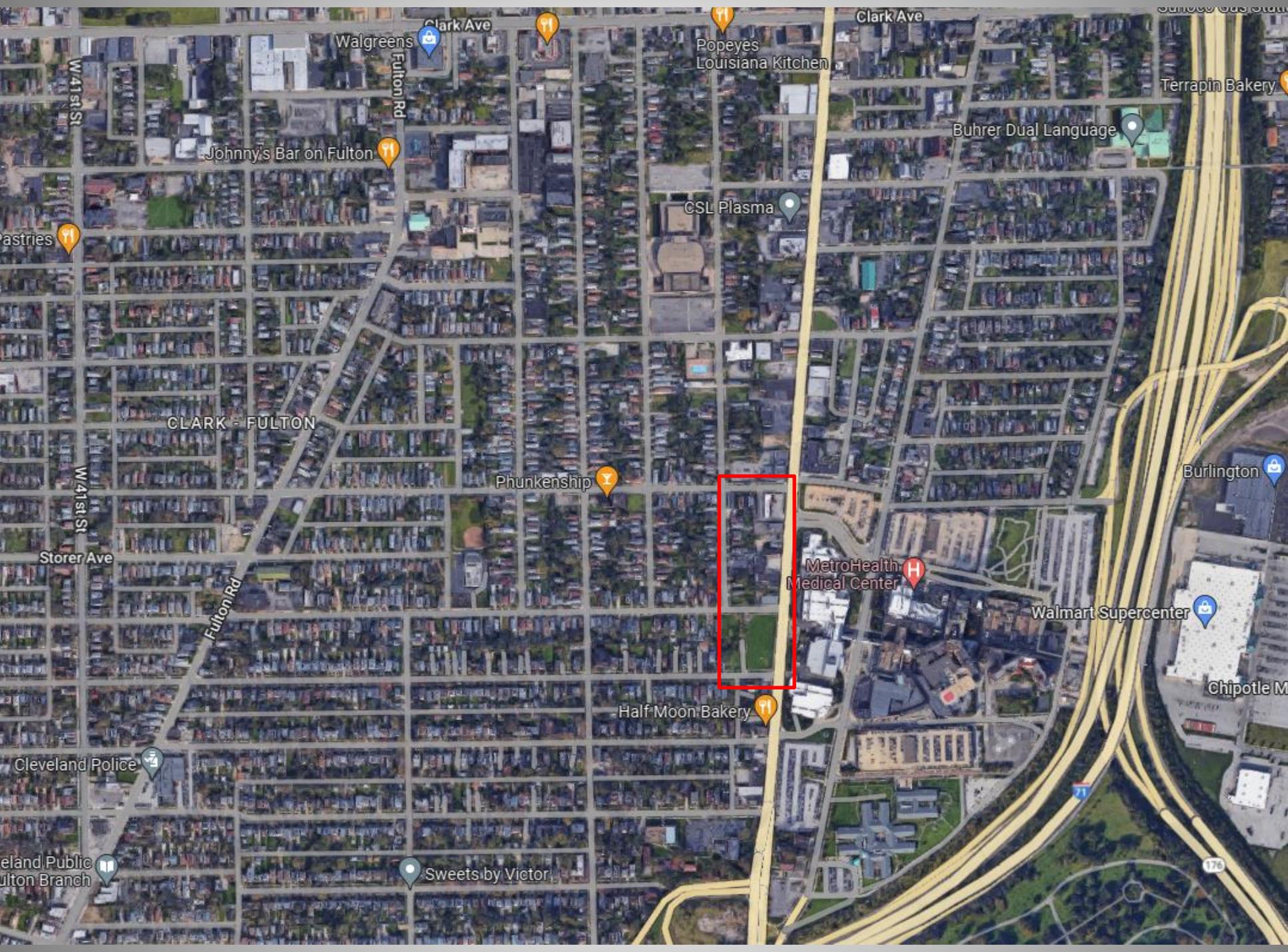
Proposal

To change the Use, Area and Height Districts in parts of the Clark Fulton Neighborhood and add the Urban Form Overlay

Purpose

To re-align the zoning use, area, and height districts to permit the development of affordable housing, and form and density conducive to the context of the West 25th Street Transit Oriented Development Corridor.





Walgreens

Clark Ave

Popeyes Louisiana Kitchen

Clark Ave

Terrapin Bakery

Buhrer Dual Language

Johnny's Bar on Fulton

CSL Plasma

Pastries

CLARK - FULTON

Phunkenship

Burlington

Storer Ave

MetroHealth Medical Center

Walmart Supercenter

Fulton Rd

Half Moon Bakery

Chipotle M

Cleveland Police

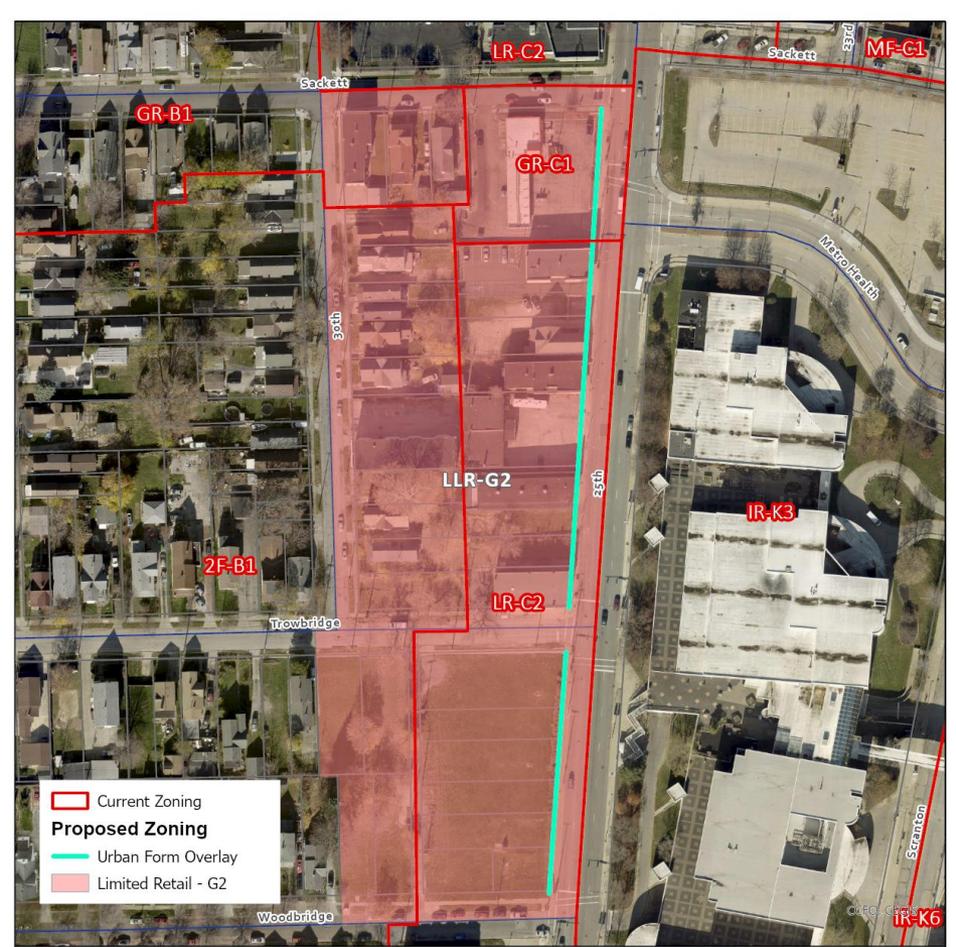
Sweets by Victor

Cleveland Public Fulton Branch

276

126

Neighborhood Rezoning Proposal



 Current Zoning
Proposed Zoning
 Urban Form Overlay
 Limited Retail - G2

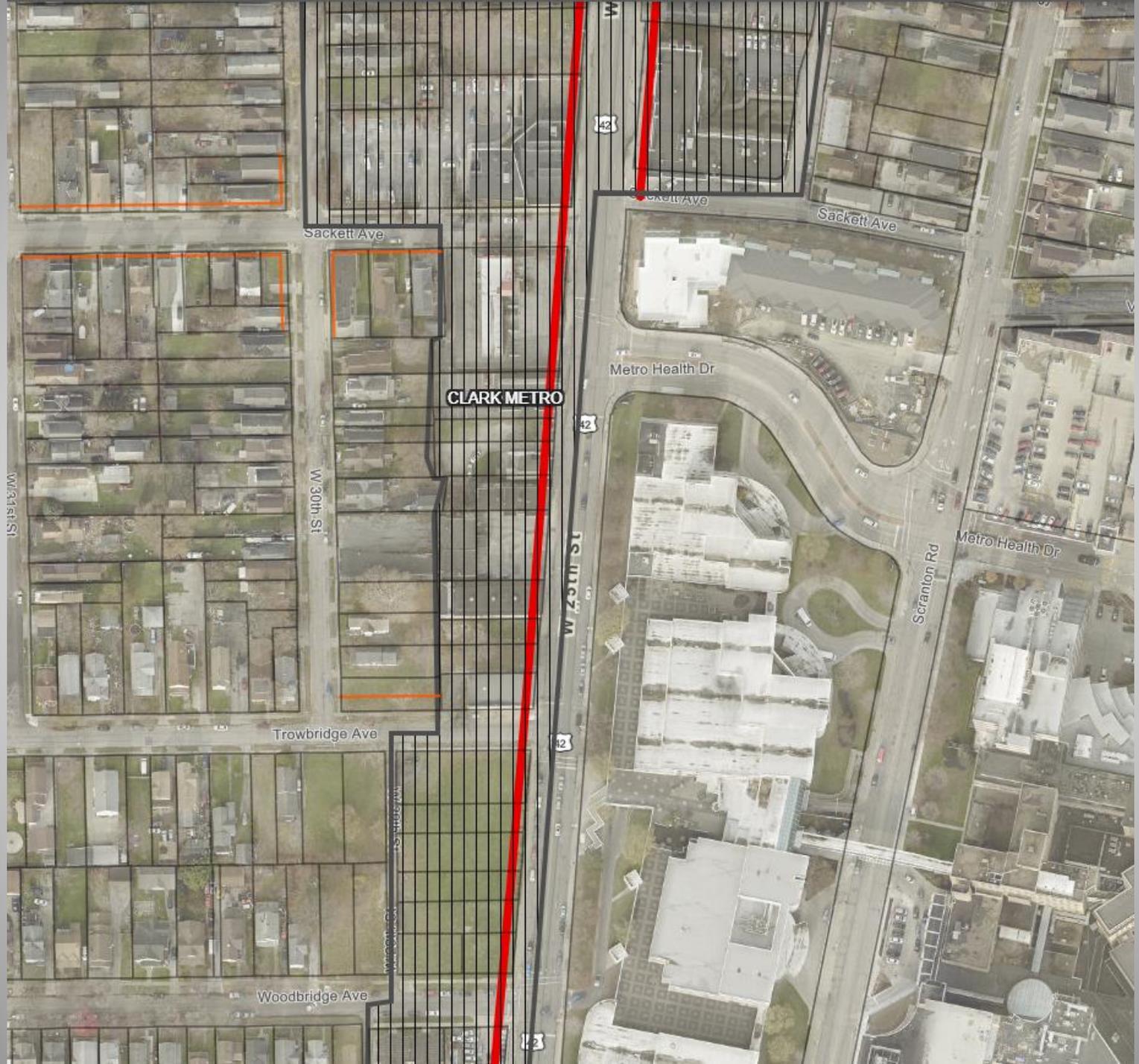
Map Change 2652

Changing the use, area, and height districts of parcels along West 25th Street between Sackett Avenue and Woodbridge Avenue, and adding the Urban Form Overlay.



Date Exported: 7/6/2022





CLARK METRO

Sackett Ave

Sackett Ave

Metro Health Dr

Metro Health Dr

Trowbridge Ave

Scranton Rd

Woodbridge Ave

W 31st St

W 30th St

W 29th St

W 28th St

W 27th St

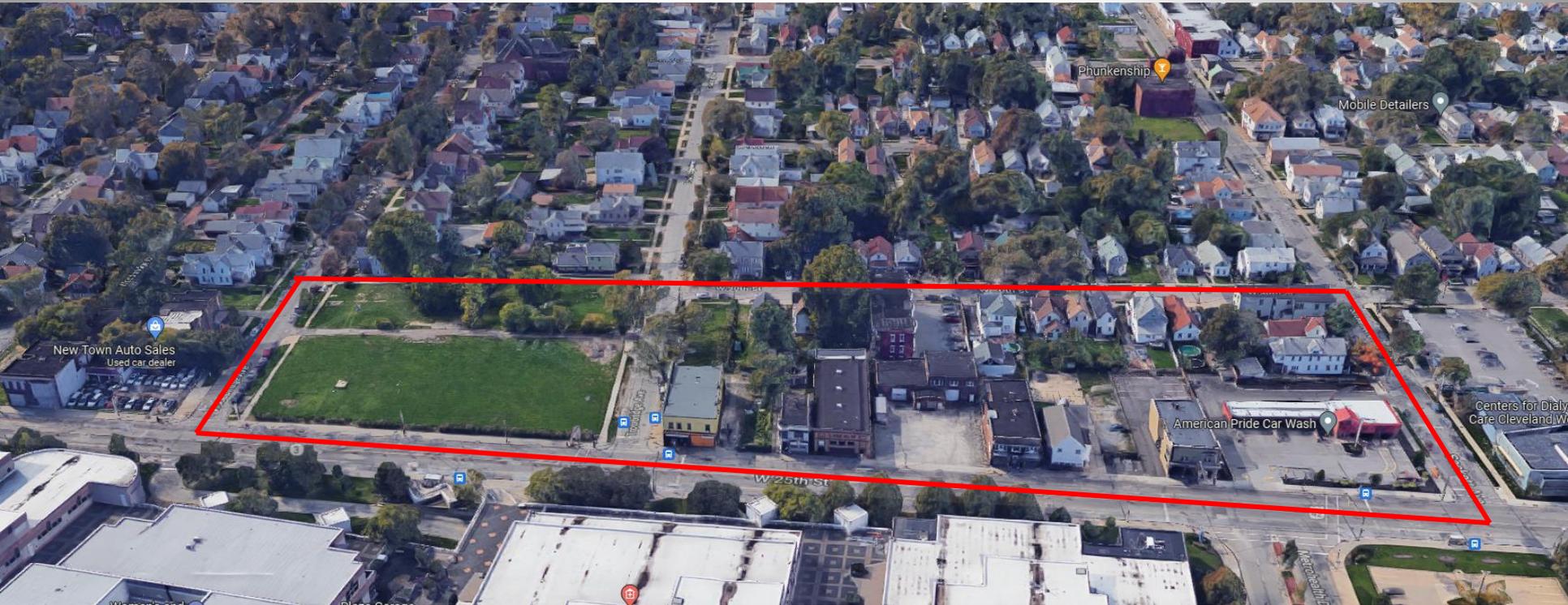
42

42

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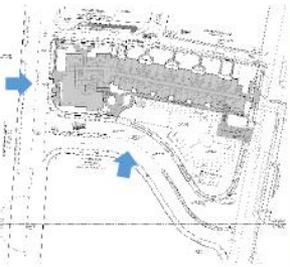
Neighborhood Rezoning Proposal





Sack

CAR WASH



BUILDING WEST ELEVATION - W 25TH STREET

BUILDING SOUTH ELEVATION SECTION 'A' - METROHEALTH DRIVE



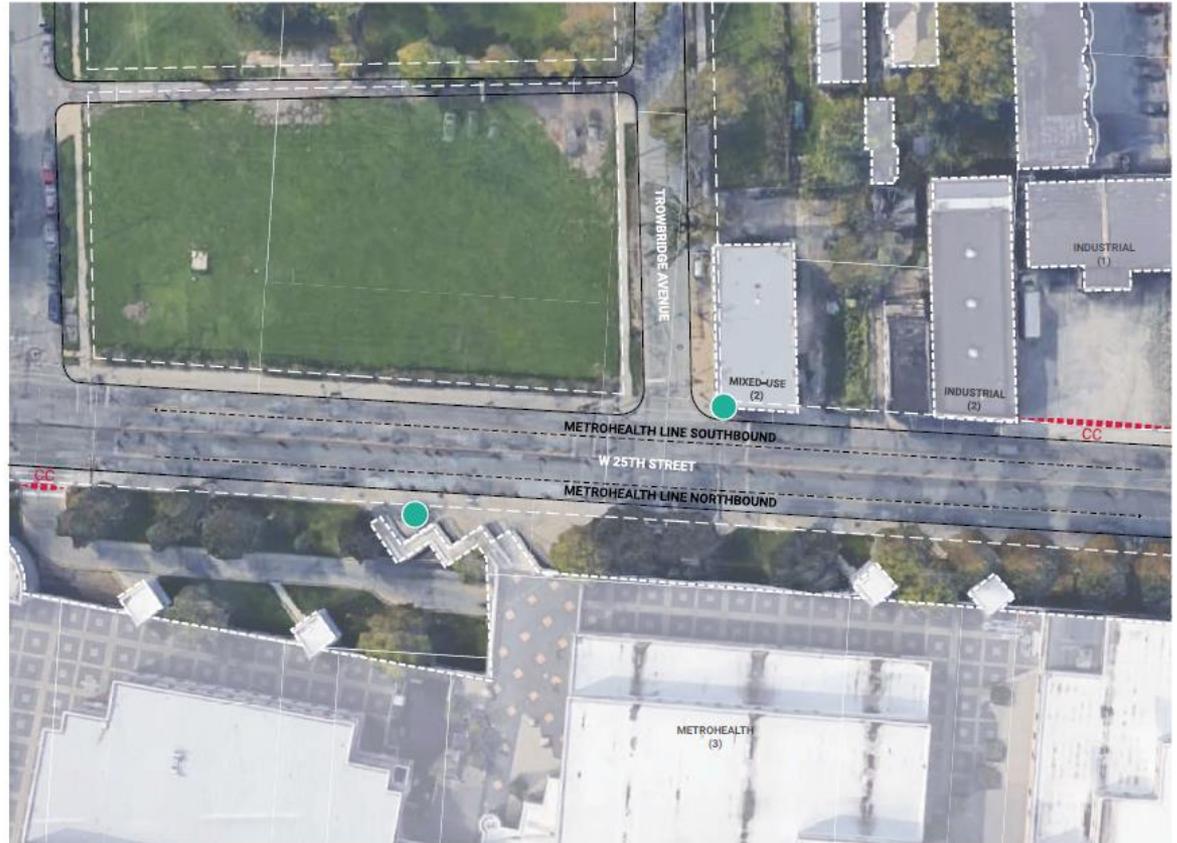
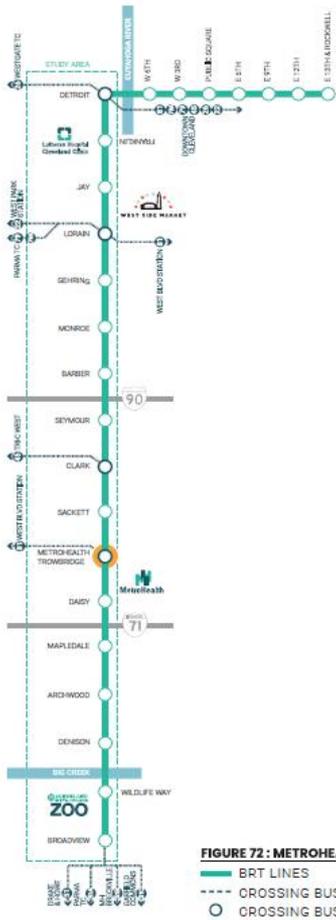
BUILDING SOUTH ELEVATION SECTION 'B' - METROHEALTH DRIVE

WEST ELEVATION / SOUTH ELEVATION – W. 25TH STREET / METROHEALTH DRIVE
 METRO HEALTH NORTH | CLEVELAND, OHIO





METROHEALTH/TROWBRIDGE STATION EXISTING CONDITIONS



SCALE: 1" = 60'
 * DIAGRAMMATIC PLAN



METROHEALTH/TROWBRIDGE PROPOSED STATION LOCATION

RECOMMENDATIONS

The existing station at Trowbridge optimizes access to the existing outpatient facility; it is located nearside of and set back from the intersection at the base of the access ramp to that building's main entrance. As part of the MetroHealth campus master plan, a new outpatient facility will be constructed one block east and two blocks south of this location; the existing building will be replaced by a large park, although timing of this change is unknown and has not been designated as a near-, mid- or long-term improvement. As such, the need for convenient access to the existing facility may continue for some time. Even after relocation of the outpatient facility, this location may be useful for accessing the new women's facility to be built immediately north of the central hospital facility.

Northbound: Type 2 Regular Station, maintain existing location

It is recommended that this station retain its current location and be re-assessed in tandem with MetroHealth as timelines for the outpatient move and design of the future park solidify. Creation of a Type 2 Regular station will minimize impact to adjacent tree plantings. If this station is retained as part of the future park, a Type 1 Wide Station may be considered dependent upon ridership levels at that time and could be integrated into the park design.

Southbound: Type 1 Wide Station, move to southwest corner of intersection

Moving the station to the southwest corner of the intersection optimizes bus operations and provides the opportunity for a Type 1 Wide station via private property agreements to utilize a portion of the adjacent vacant lot. It is understood that this parcel is already slated for redevelopment, so agreements relating to building setback should be secured as soon as (and if) possible.

Micromobility Facilities

MetroHealth's position as a major corridor destination, in tandem with planned densification of adjacent properties, suggest that a micromobility hub should be included in the area. Further coordination with MetroHealth and new developments can optimize the location of such a hub.

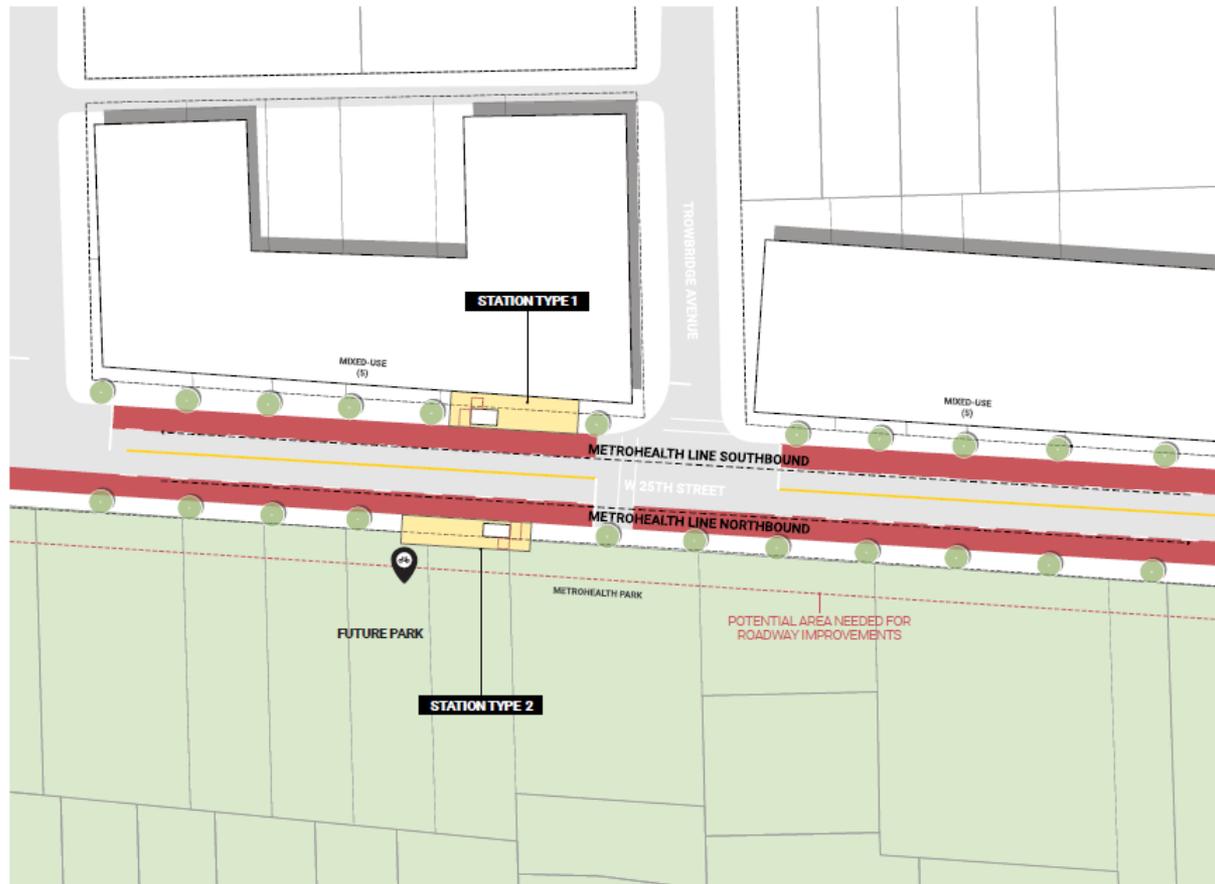


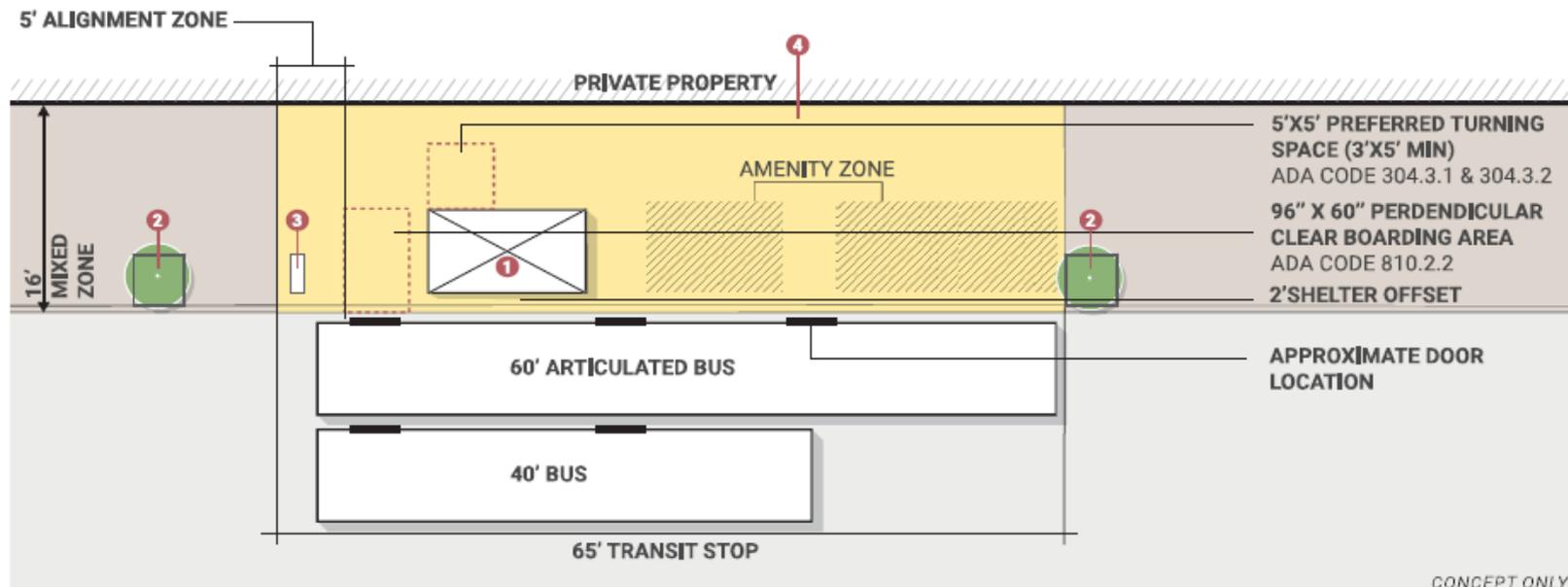
FIGURE 74 : METROHEALTH/TROWBRIDGE PROPOSED STATIONS

- (X) STRUCTURE HEIGHT IN STORIES
- RIGHT OF WAY
- PARCELS
- 24/7 GUIDEWAY
- PEAK HOUR GUIDEWAY
- MICROMOBILITY CORRALS

SCALE: 1" = 60'
* DIAGRAMMATIC PLAN

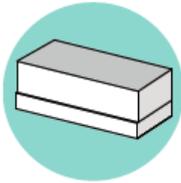
STATION TYPE 1: WIDE STATION

This platform type is the preferred condition for the MetroHealth BRT corridor; it represents an ideal condition where through-pedestrians can pass by the station without mixing with boarding/alighting passengers. This type of station is located on wide sidewalks with sufficient depth to accommodate a minimum 16-foot cross-section.



- 1** Station shelter (6'x12') with bench, system information and emergency phone
- 2** Tree, in grate
- 3** Station pylon
- 4** Special station paving, with door markers

TYPE 5: MIXED-USE BUILDING (RETAIL + RESIDENTIAL)

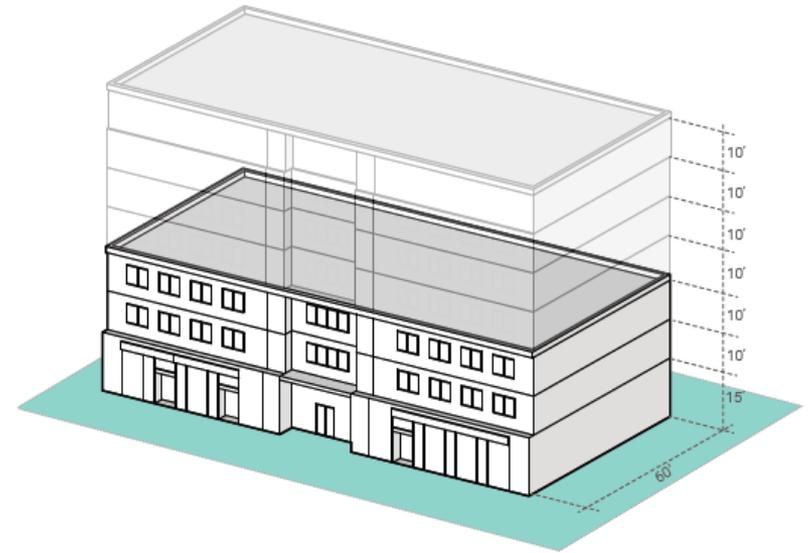


TYPE 5

SCALE	Medium - large
SITING	On W. 25th or adjacent streets
SETBACK	Minimal
HEIGHT	3-7 stories
ACCESS	Multiple entrances
Dimensions	60' x L
Use	Retail + Residential
Number of units	-

This mixed-use typology is recommended for buildings on the W. 25th Corridor because of its potential to create a pedestrian friendly public realm through ground floor retail and market-rate, upscale or affordable housing on upper floors.

Buildings are 60' wide and have double-loaded apartment floors. Height varies between 3 and 7 stories. These traditional / wood construction buildings have a minimal setback to accommodate BRT stop platforms, adequate streetscape, and any potential restaurant/café terraces.



** Typical diagram only*

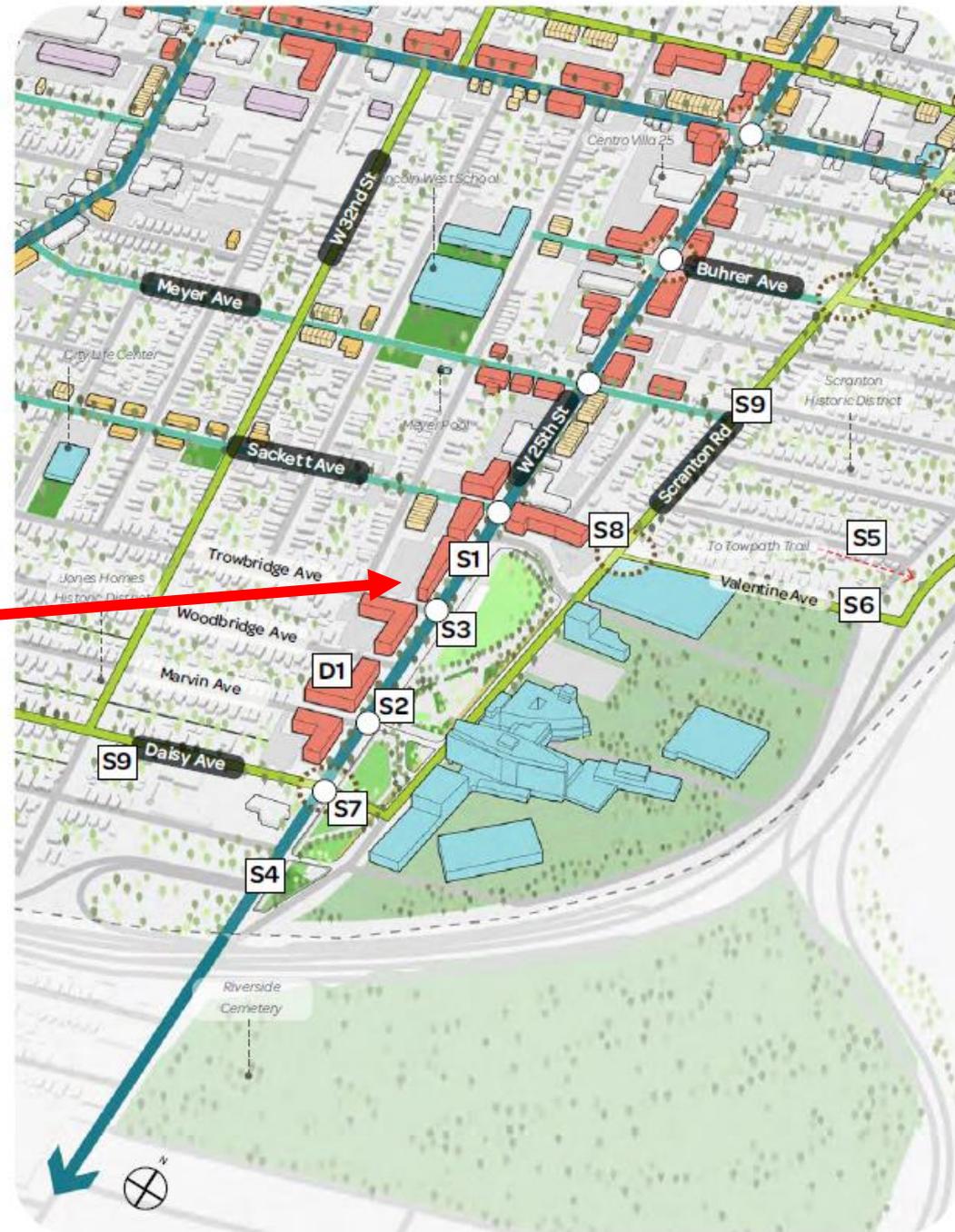
- Mixed-use development projects on West 25th Street
- 25 Connects Implementation/roadway design
- Improve connection points and intersections – major focus of design review
- Rezoning proposal today advances implementation of both plans.

Mobility Network

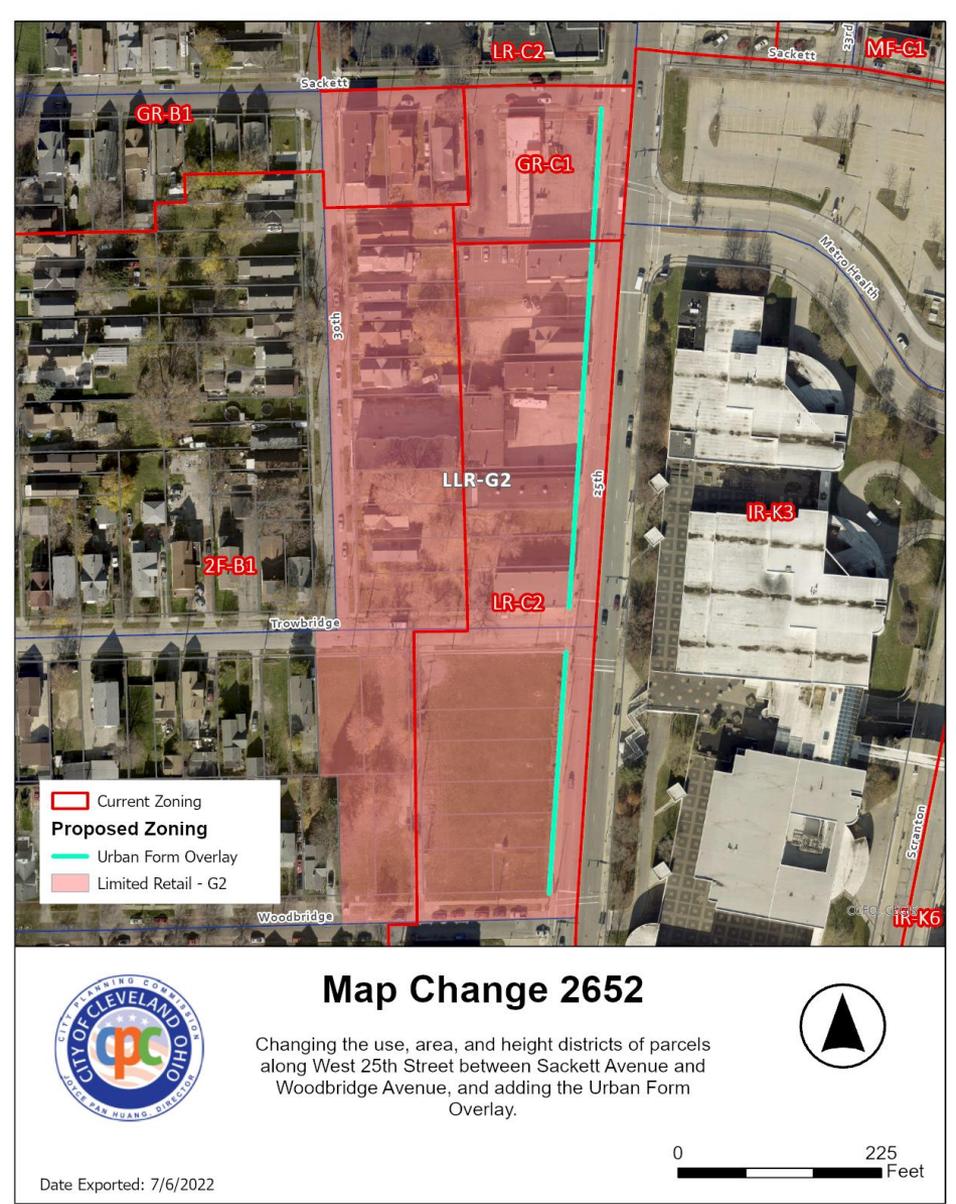
- Main Corridors**
Callees Principales
- Feature Streets**
Callees Caracteristicas
- Bikeways**
Vias de Bicicleta
- Neighborhood Streets**
Callees Vecinales
- Enhanced Intersections**
Intersecciones Mejoradas

Development

- Proposed Infill Development**
Desarrollo de Redensificación Propuesto
- Existing Buildings**
Edificios Existentes
- Institutional Buildings**
Edificios Institucionales
- Existing and New Parks**
Parques Existentes y Nuevos



Neighborhood Rezoning Proposal



Cleveland City Planning Commission

Lot Consolidation / Splits



July 15, 2022

Lot Consolidation / Split

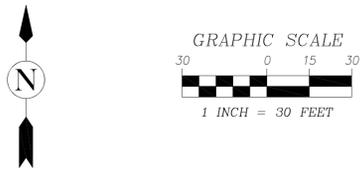


July 15, 2022

For PPN# 112-17-081

Project Addresses: 15304 – 15306 Lucknow Avenue

Project Representative: Demetrius Travis, Prospective Property Owner



BASIS OF BEARING

BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATES SYSTEM, NORTH ZONE (3401), NAD83 (2011), 2010.0 EPOCH, AS DERIVED FROM GNSS OBSERVATIONS PER THE O.D.O.T. RTH (REAL-TIME-NETWORK).

LEGEND

- FENCE LINE
- REBAR FOUND AS NOTED
- 5/8" DIAMETER X 30" LONG REBAR WITH "MCSTEEN CA 02236" 10 CAP SET
- ⊠ MONUMENT BOX FOUND AS NOTED
- EMPTY MONUMENT BOX FOUND
- PIPE FOUND AS NOTED
- CENTERLINE
- R/W RIGHT-OF-WAY
- CALC. CALCULATED DISTANCE OR ANGLE
- REC. RECORD DISTANCE OR ANGLE
- FD. FOUND
- MON. MONUMENT
- C.C.M.R. CUYAHOGA COUNTY MAP RECORDS
- C.C.D.R. CUYAHOGA COUNTY DEED RECORDS
- C.S.R. CLEVELAND SURVEY RECORDS

SURVEY REFERENCES

- "THE NELSON MOSES SUBDIVISION" RECORDED IN PLAT VOLUME 10, PAGE 17 CUYAHOGA COUNTY MAP RECORDS.
- "MAP OF C.W. MOSES' SUBDIVISION" RECORDED IN PLAT VOLUME 11, PAGE 35 CUYAHOGA COUNTY MAP RECORDS.
- "H.F. BALL AND G.H. PRENTICE ALLOTMENT" RECORDED IN PLAT VOLUME 31, PAGE 16 CUYAHOGA COUNTY MAP RECORDS.
- CLEVELAND SURVEY RECORDS BOOK 47, PAGES 74-76 BOOK 55, PAGE 18 BOOK 61, PAGES 42-43 BOOK 64, PAGES 142-143 BOOK 65, PAGES 32-33 BOOK 76, PAGE 100 BOOK 81, PAGE 54

LOT SPLIT

15304-15306 LUCKNOW AVENUE

KNOWN AS BEING IN RANGE 11, TOWNSHIP 8 OF THE CONNECTICUT WESTERN RESERVE, PART OF ORIGINAL EUCLID TOWNSHIP TRACT NO. 16, AND BEING SUBLT NO. 32 IN THE NELSON MOSES SUBDIVISION AS RECORDED IN PLAT VOLUME 10, PAGE 17 CUYAHOGA COUNTY MAP RECORDS, NOW SITUATED IN THE

CITY OF CLEVELAND
COUNTY OF CUYAHOGA - STATE OF OHIO

McSteen
LAND SURVEYORS

1415 East 286th Street Wickliffe, OH 44092
Phone: 440.585.9800 www.mcsteen.com

THIS SURVEY IS A BOUNDARY SURVEY PREPARED IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL IRON PINS SHOWN AS SET ARE 30" LONG 5/8" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN CA 02236".

PRELIMINARY

KYLE R. DANALS REG. PROF. SURV. No. 8704

Job No.: 22-054
Field Date: April 29, 2022
Survey Date: June 7, 2022
Drawn By: TEE

LINE DATA		
LINE	BEARING	DISTANCE
L1	N 88°34'59" E	40.00' REC. & USED
L2	S 01°21'14" E	64.98'
L3	S 01°21'14" E	76.64'
L4	S 89°01'57" W	40.00'
L5	N 01°21'16" W	76.33'
L6	N 01°21'16" W	64.98'
L7	N 88°34'59" E	40.00'
L8	N 89°01'57" E	25.01' CALC. & USED (24.98' REC.)
L9	S 02°35'33" E	25.01' CALC. & USED
L10	S 31°01'22" E	28.88' CALC. & USED (28.95' REC.)

OWNERS ACCEPTANCE

I, MAE G. HARRIS OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS LOT SPLIT AS SHOWN HEREON.

SIGNATURE _____ DATE _____

NOTARY PUBLIC

COUNTY OF CUYAHOGA
STATE OF OHIO
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED MAE G. HARRIS, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT, AND THAT IT WAS OF HER FREE ACT AND DEED PERSONALLY. IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

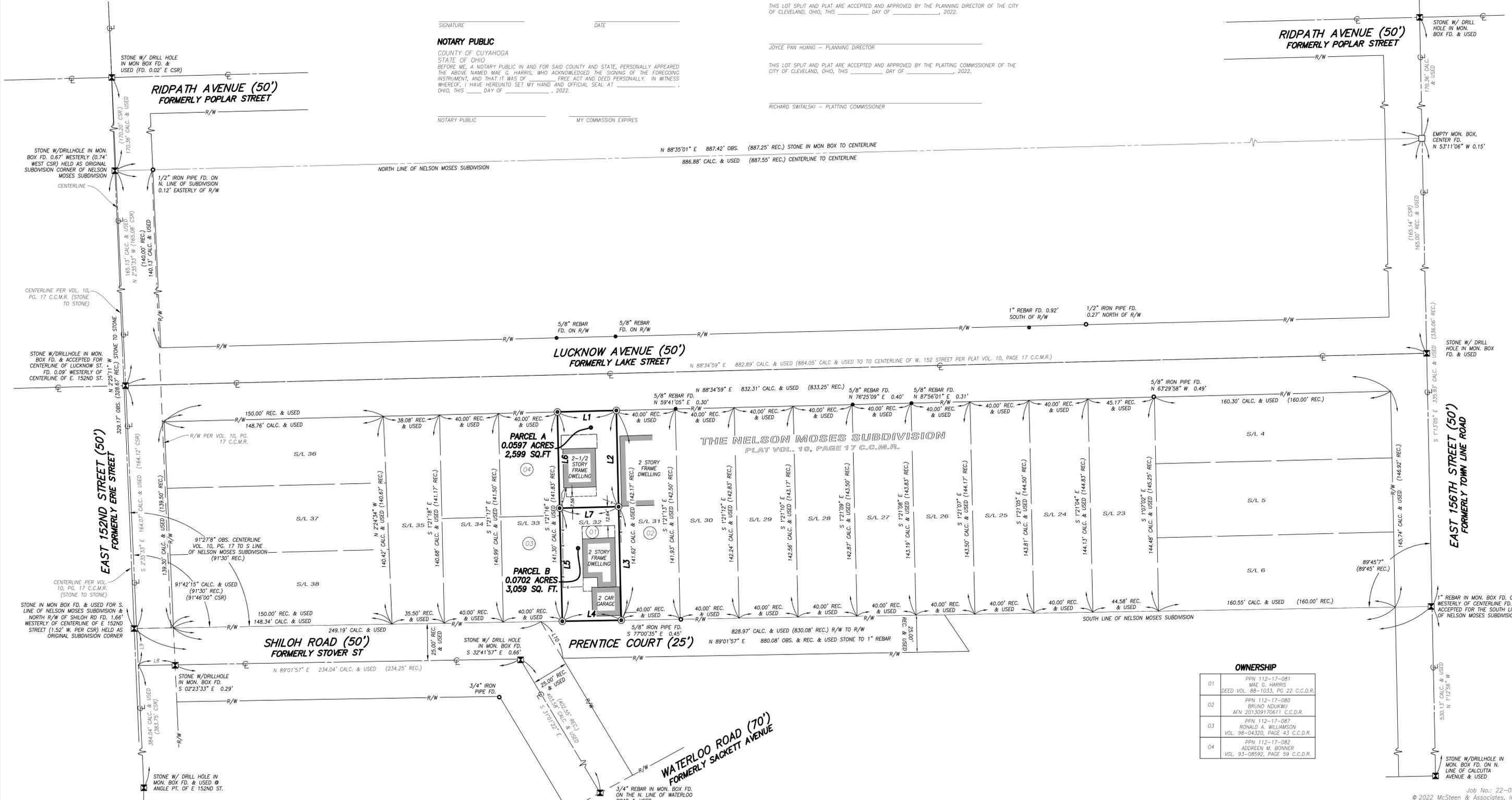
APPROVALS

THIS LOT SPLIT AND PLAT ARE ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO, THIS _____ DAY OF _____, 2022.

JOYCE PAN HUANG - PLANNING DIRECTOR

THIS LOT SPLIT AND PLAT ARE ACCEPTED AND APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO, THIS _____ DAY OF _____, 2022.

RICHARD SWITALSKI - PLATTING COMMISSIONER



OWNERSHIP

01	PPN 112-17-081 MAE G. HARRIS DEED VOL. 88-1033, PG 22 C.C.D.R.
02	PPN 112-17-080 BRUNO NDIKWU AFN 201309170611 C.C.D.R.
03	PPN 112-17-087 RONALD A. WILLIAMSON VOL. 98-04320, PAGE 43 C.C.D.R.
04	PPN 112-17-082 ADREEN M. BONNER VOL. 93-08592, PAGE 59 C.C.D.R.

Cleveland City Planning Commission

Design Review Cases



July 15, 2022

Downtown | Flats Design Review Case



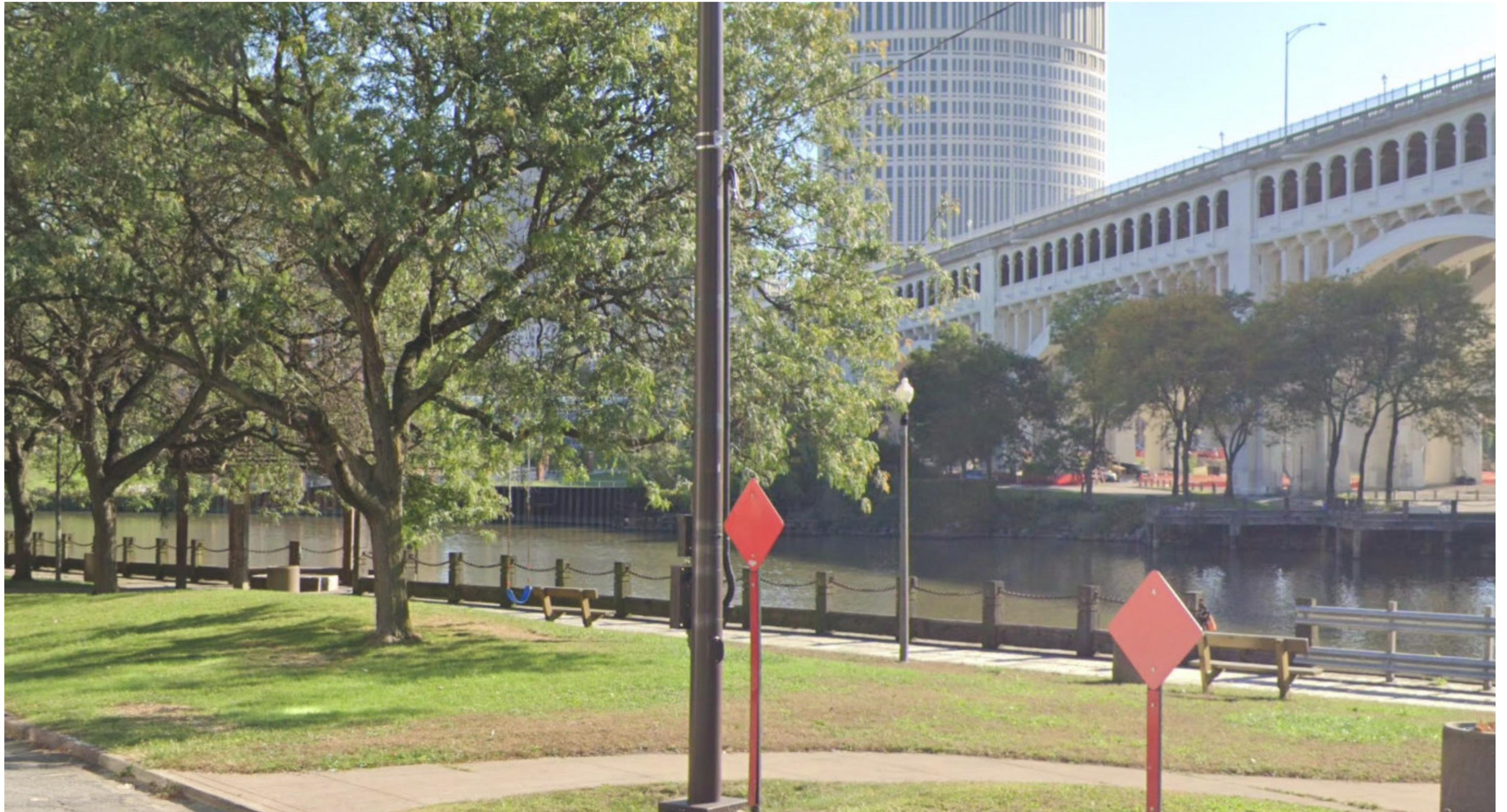
July 15, 2022

DF2022-042 - Heritage Park II Improvements: Seeking Final Approval

Project Address: 1283 Riverbed Street

Project Representative: James McKnight, City of Cleveland

Committee Recommendation: Approved as presented Unanimously

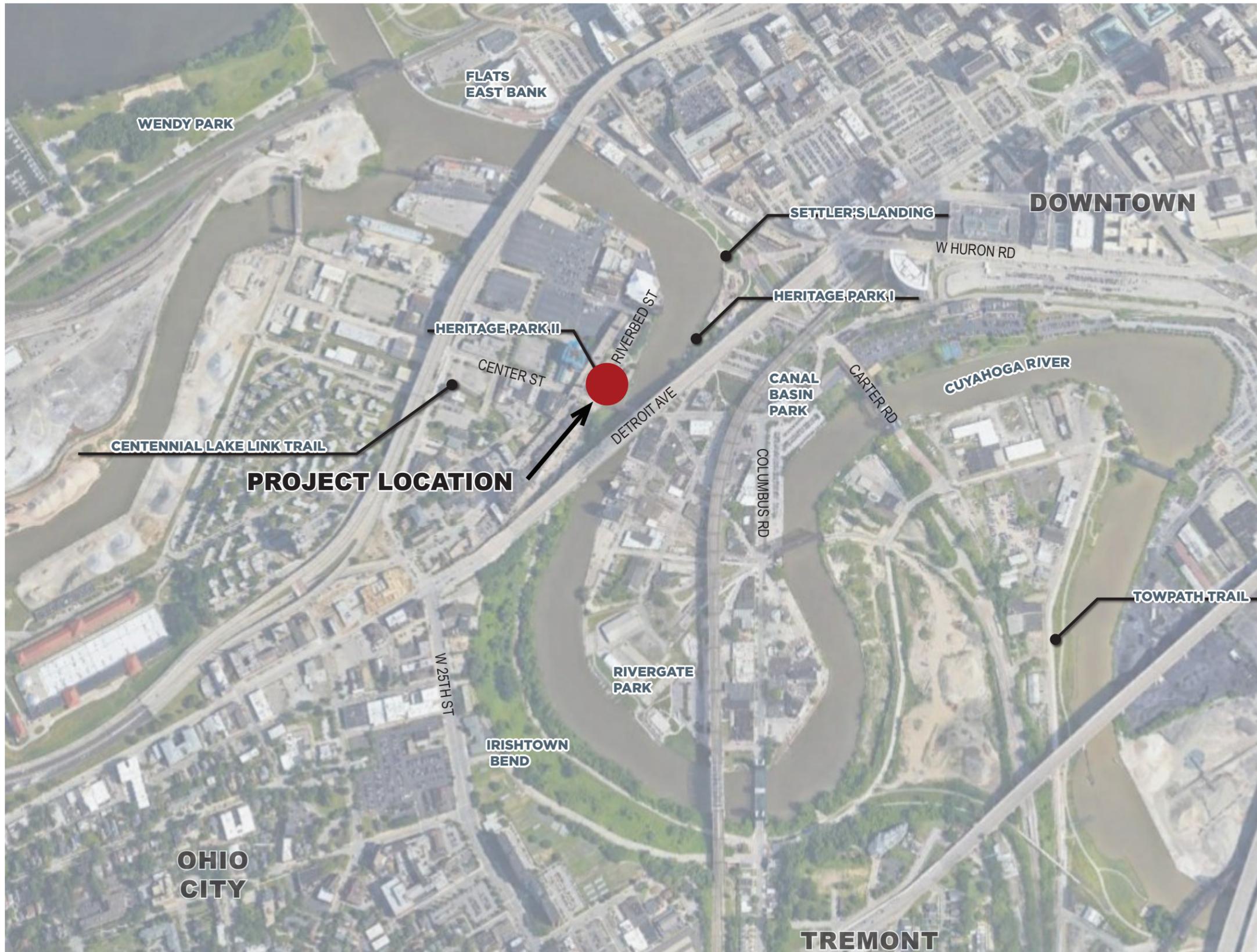


HERITAGE PARK II - PUBLIC IMPROVEMENTS

Riverbed Street and Elm Street - City of Cleveland

behnke
LANDSCAPE ARCHITECTURE





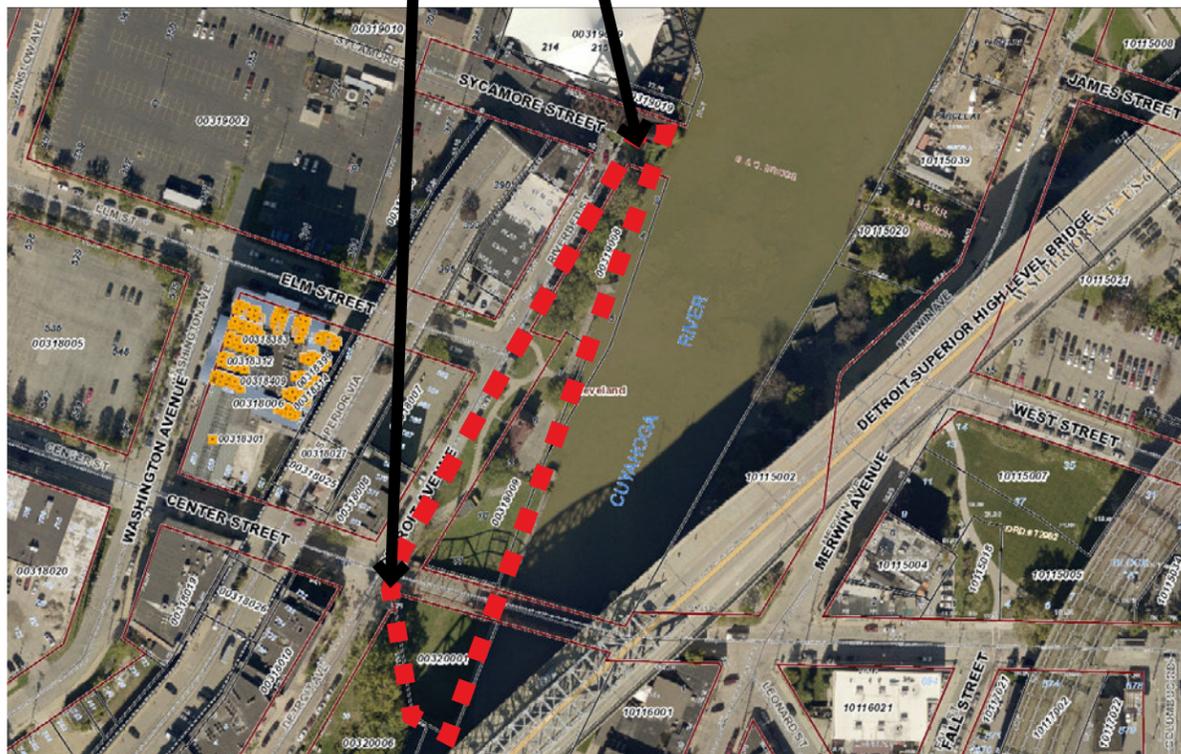
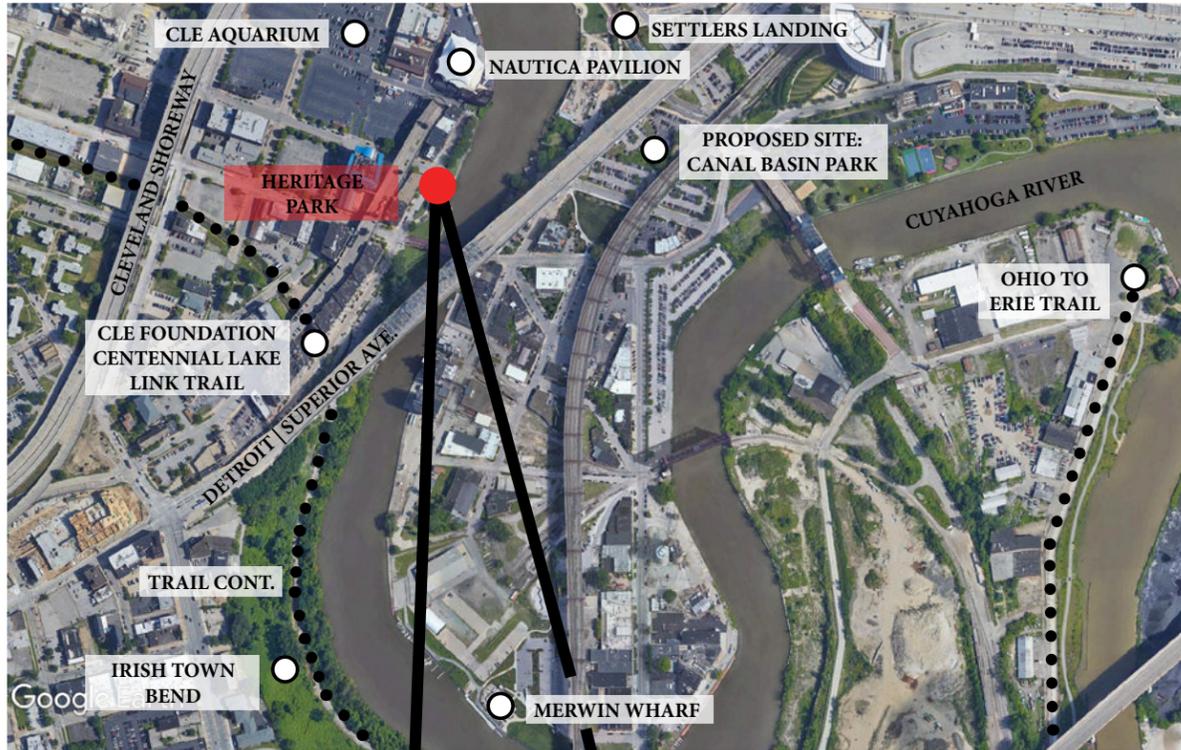
Heritage Park II Public Improvements - Location Map
Riverbed Street and Elm Street - City of Cleveland



Heritage Park II Public Improvements - Open Space Context Map
Riverbed Street and Elm Street - City of Cleveland

July 2022

CITY OF CLEVELAND
MAYORS OFFICE OF CAPITAL PROJECTS
HERITAGE PARK
SITE ANALYSIS



1. REMOVE AND REPLACE DECKING AND SHELTER
2. REPAIR BULKHEAD, IF NECESSARY
3. REMOVE AND REPLACE GUARD-RAIL
4. REPLACE SIDEWALK(S) AND CURBING
5. REPLACE ALL SITE FURNISHINGS: BENCHES, TRASH RECEPTACLES, BIKE RACKS PICNIC TABLES, ETC.
6. TRIM AND REMOVE EXISTING VEGETATION, AS NEEDED.
7. SURROUNDING NEIGHBORHOOD: UPSTART HOUSING AND APARTMENTS

1. PASSIVE PROGRAM ONLY
2. SHELTER AND GATHERING SPACE
3. POLE LIGHTING FOR NIGHT VISIBILITY
4. REPAIR SIDEWALK(S) AND CURBING
5. TRIM AND REMOVE EXISTING VEGETATION, AS NEEDED
6. MAINTAIN OPEN SPACE



VIEW: PARK ENTRANCE | RIVERBED RD. AT BRIDGE



VIEW: WALKWAY | EXISTING BUILDING



VIEW: EXISTING BUILDING | WATER ACCESS



VIEW: BOARDWALK | SHELTER



VIEW: ELECTRICAL BOX | BRIDGE



VIEW: MAIN ENTRANCE | EXISTING BUILDING



VIEW: BOARDWALK | SHELTER



VIEW: RIVERBED RD. DEADEND



VIEW: ELECTRICAL BOX | PARK ENTRANCE



VIEW: MAIN ENTRANCE



VIEW: BOARDWALK



VIEW: RIVERBED RD. PARKING



VIEW: UTILITY WATER ACCESS



VIEW: WATER ACCESS



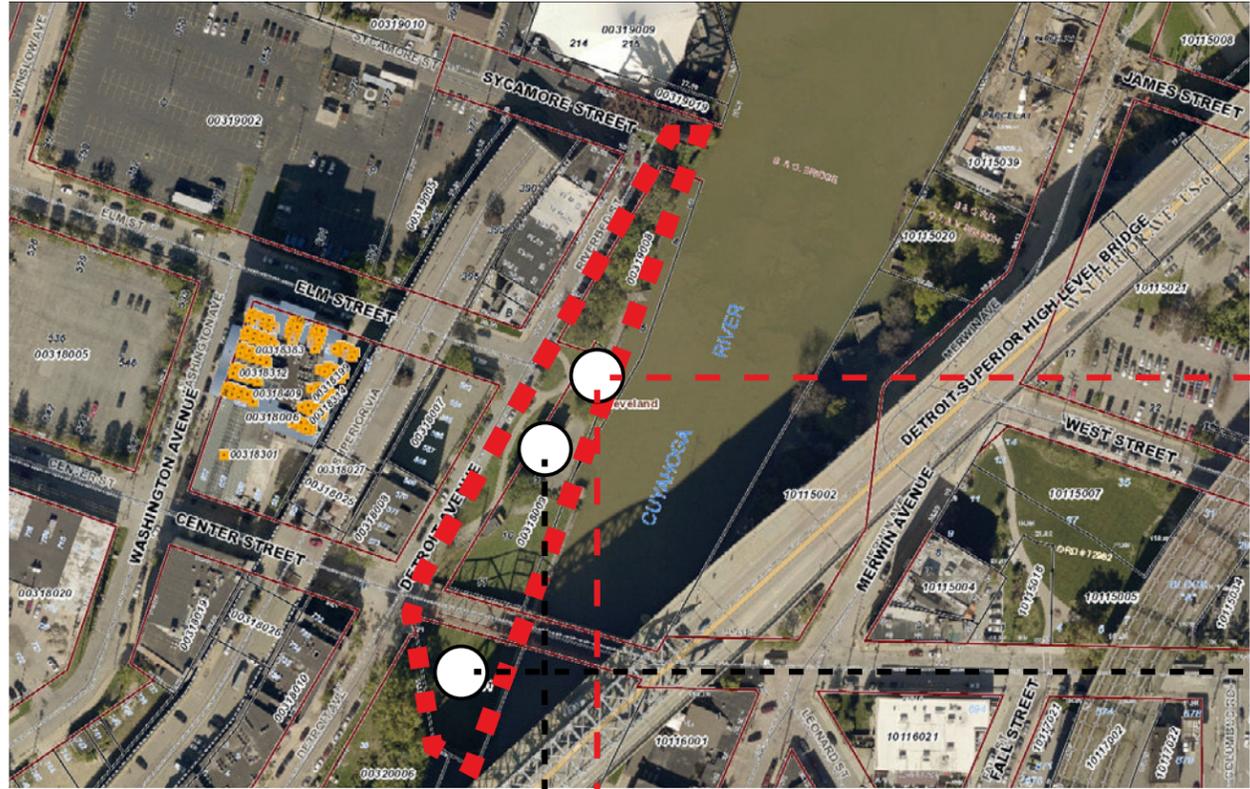
VIEW: SHELTER



VIEW: LAWN SPACE | PARKING



HERITAGE PARK
SITE ANALYSIS: cont.



VIEW: CITY OF CLEVELAND BUILDING



VIEW: DAMAGED GUARDRAIL - WATERFRONT



VIEW: MISSING GUARDRAIL



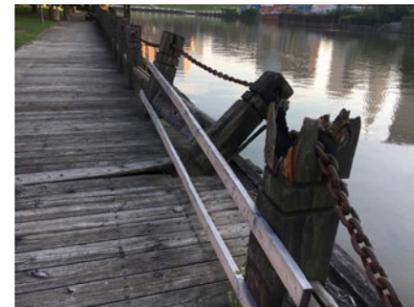
VIEW: BROKEN DECK RAIL



PROPOSED DECK RAIL



VIEW: BROKEN DECK RAIL



VIEW: BROKEN DECK RAIL



VIEW: SOUTH PORTION OF THE PARK



VIEW: SOUTH PORTION OF THE PARK



VIEW: SOUTH PORTION OF THE PARK

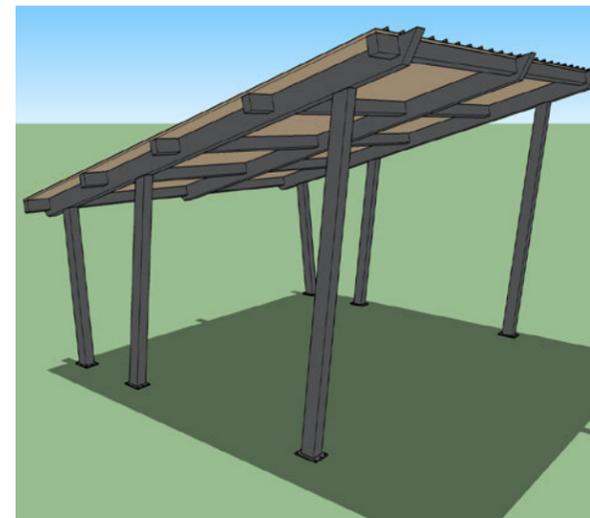


VIEW: BIKE TRAIL ENTRANCE: 700ft. FROM PARK



Heritage Park II Public Improvements
 Riverbed Street and Elm Street - City of Cleveland

July 2022



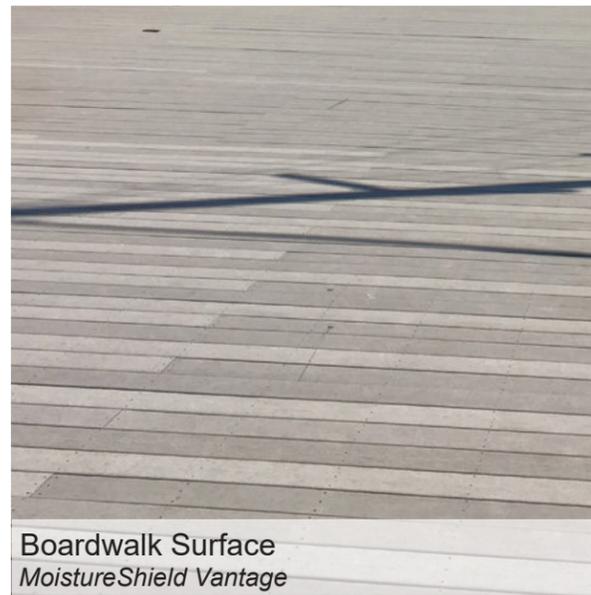
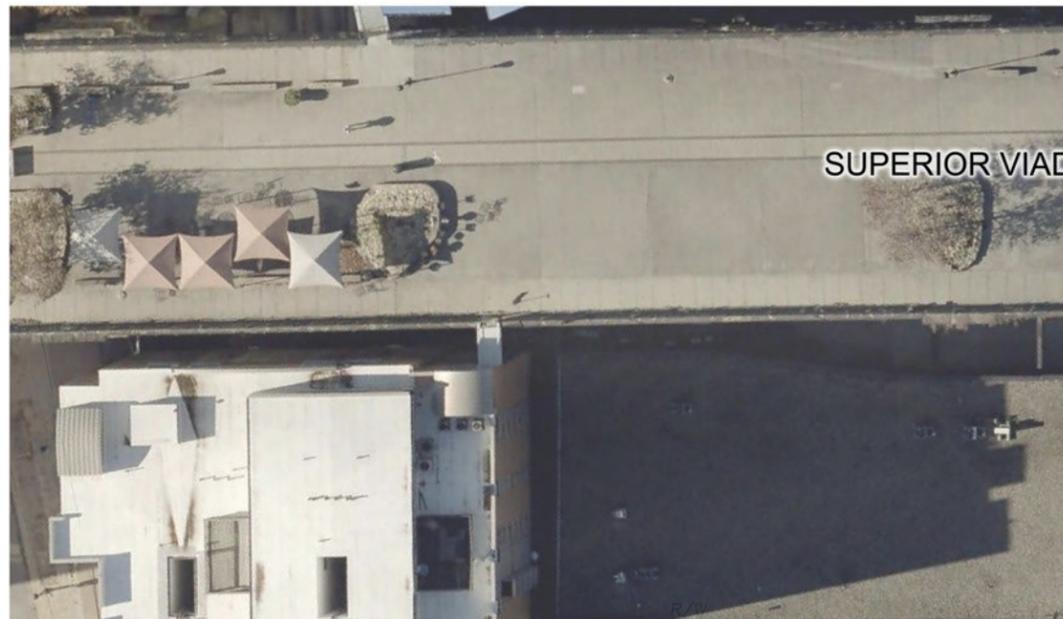
Monoslope Shelter
By ICON Shelters



RIO Swing Bench
By ICON Shelters

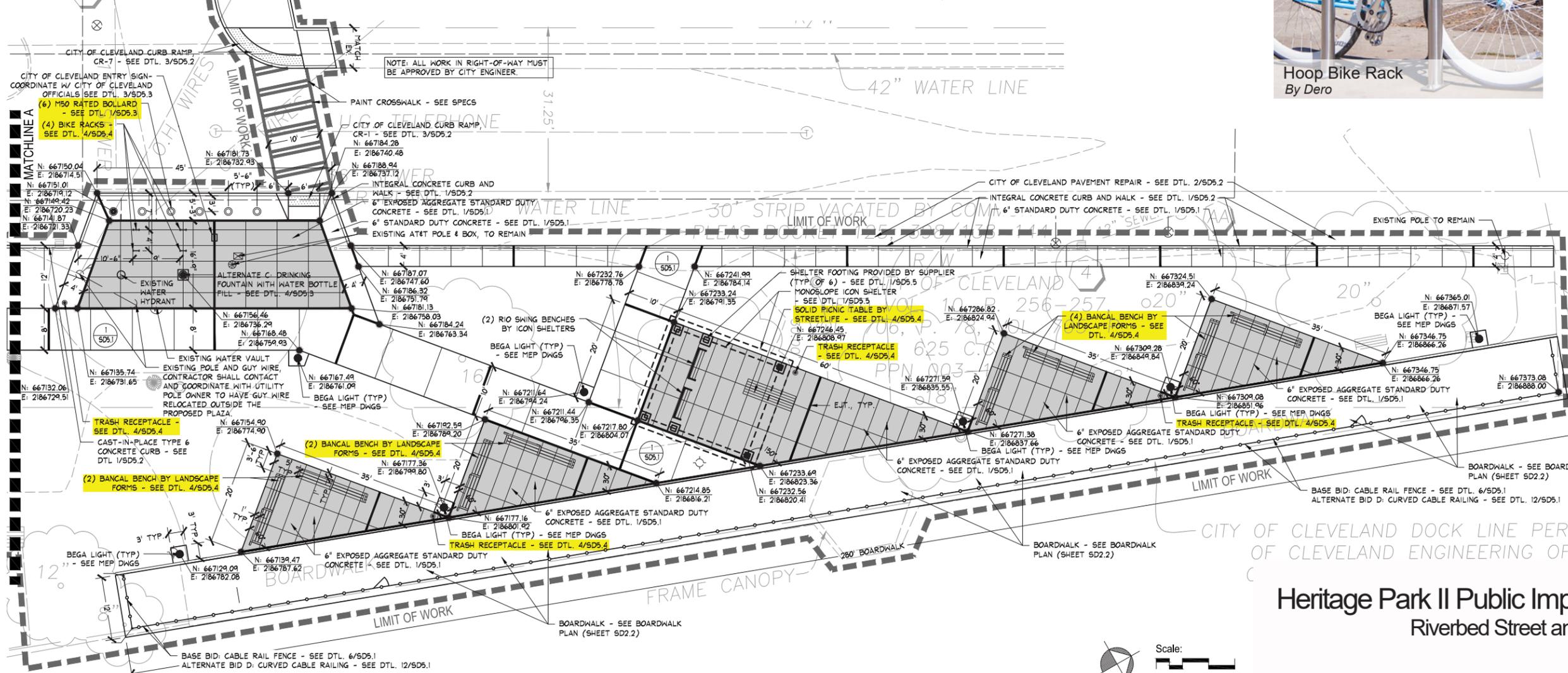
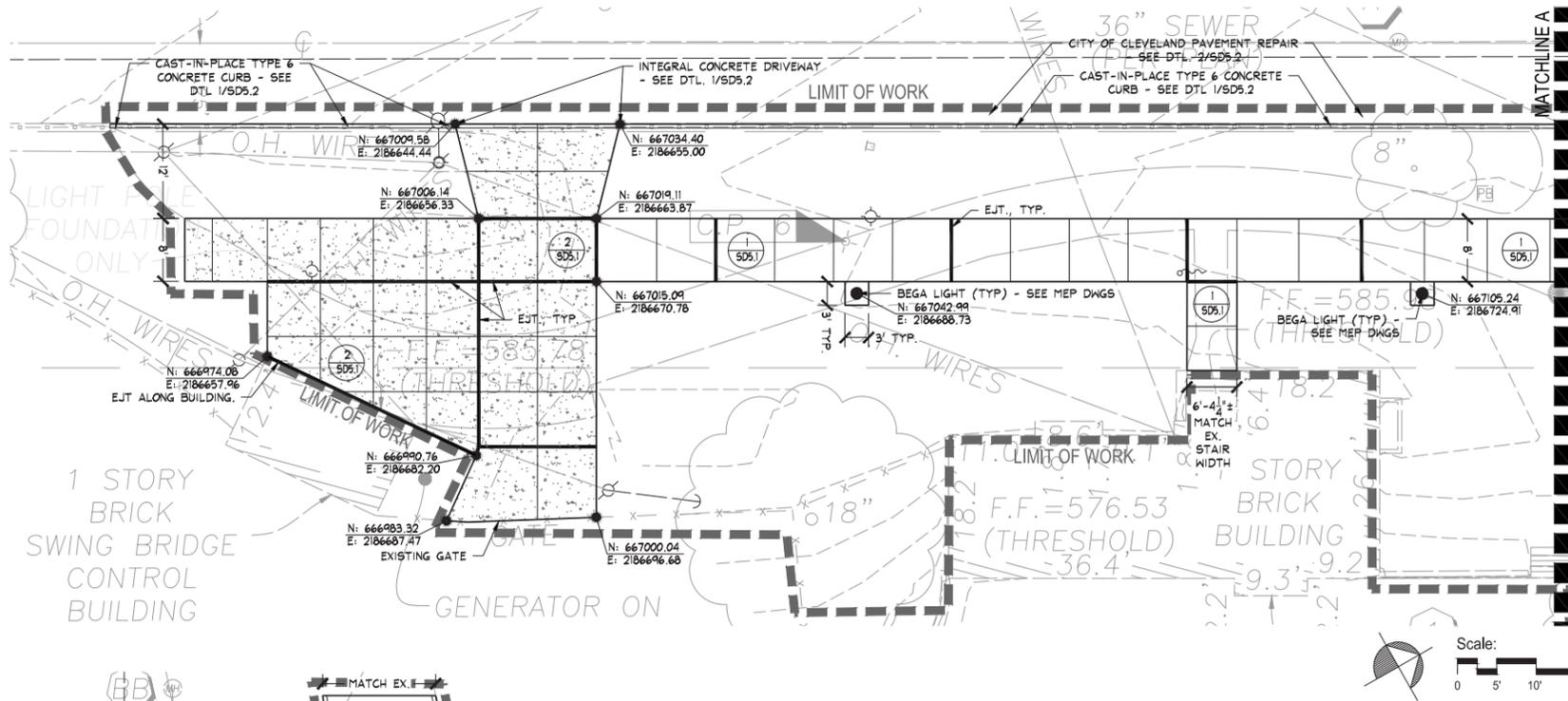
Heritage Park II Public Improvements - Shelter
Riverbed Street and Elm Street - City of Cleveland

July 2022



Heritage Park II Public Improvements - Surfaces and Railings
Riverbed Street and Elm Street - City of Cleveland

July 2022



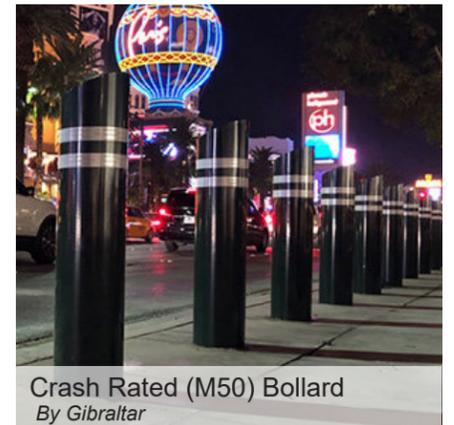
Bancal Bench
By Landscape Forms



Solid Picnic Table
By Streetlife



Hoop Bike Rack
By Dero



Crash Rated (M50) Bollard
By Gibraltar



Trash Receptacle
By Victor Stanley

Heritage Park II Public Improvements - Furnishings

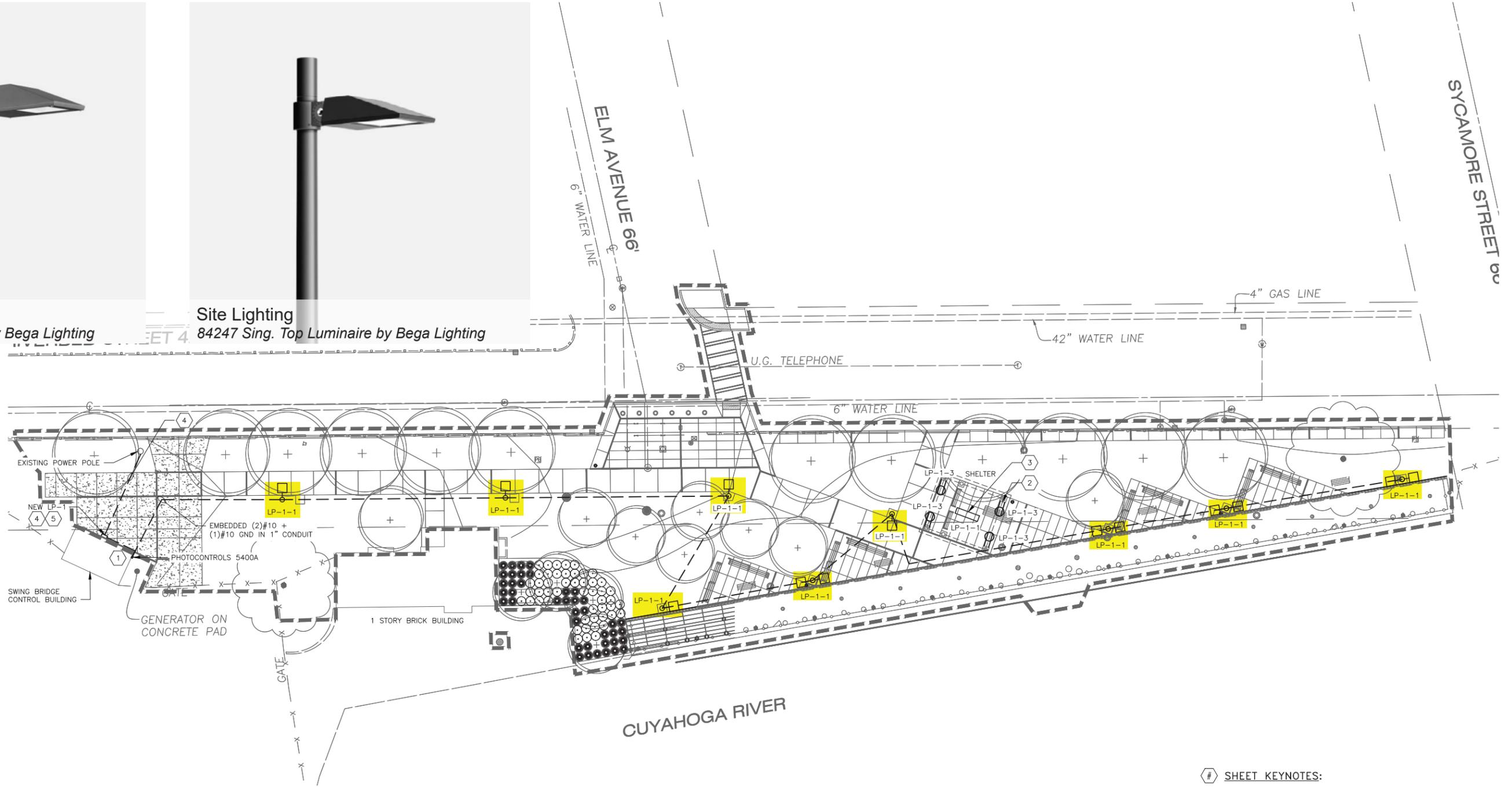
Riverbed Street and Elm Street - City of Cleveland



Site Lighting
84247 Twin Top Luminaire by Bega Lighting



Site Lighting
84247 Sing. Top Luminaire by Bega Lighting



HERITAGE PARK SITE PLAN
SCALE: 1/16" = 1'-0"

ELECTRICAL FIXTURE LEGEND:	
SYMBOL	DESCRIPTION
	120V, 20A, 1Ø DUPLEX RECEPTACLE MOUNTED 18"-24" AFF, TO BE WEATHERPROOF AND GROUND FAULT CURRENT INTERRUPTING
	120/277V, 26W, BEGA 84247-K3 MOUNTED ON BEGA 1508HR ALUMINUM POLE SINGLE LUMINAIRE
	120/277V, 52W, BEGA 84248-K3 MOUNTED ON BEGA 1508HR ALUMINUM POLE DOUBLE LUMINAIRE
	120/277V, 30W, WILLIAMS 96-4-L40-8-30 LED FULLY ENCLOSED & GASKETED INDUSTRIAL OR SIMILAR

- # SHEET KEYNOTES:
- ALL EXTERIOR LIGHTS SHOWN TO BE CONTROLLED BY THIS PHOTOCONTROLLER. CONTRACTOR TO SUPPLY YORK PHOTOCONTROLS 5400A SERIES OR EQUAL IN NEMA 3R ENCLOSURE
 - INSTALL (4) RECEPTACLES IN SHELTER, RECEPTACLES TO BE FED FROM ONE DEDICATED CIRCUIT IN PANEL LP-1
 - PROVIDE FIXTURE AND MOUNT TO UNDERSIDE OF SHELTER PER MANUFACTURER INSTRUCTIONS. CONNECT TO SAME CIRCUIT AS POLE LIGHTS
 - CONTRACTOR TO PROVIDE NEW LIGHTING PANEL AND FOLLOW ALL UTILITY SERVICE REQUIREMENTS FOR NEW SERVICE. CONTRACTOR TO LABEL PANEL WITH AVAILABLE FAULT CURRENT INFORMATION RECEIVED FROM UTILITY
 - CONTRACTOR TO INSTALL 3/4" COPPER CLAD STEEL 10' GROUND ROD AT PANEL LOCATION AND BOND TO PANEL BOARD NEUTRAL BUS

REW ELECTRONIC DRAWING FILE DISCLAIMER
THIS DRAWING IN ELECTRONIC FORM IS BEING PROVIDED FOR THE CLIENT'S USE ONLY. BECAUSE OF POTENTIAL DATA DEGRADATION AND FOR RECORD PURPOSES, R.E. WARNER AND ASSOCIATES INC. (REW) MAINTAINS AN ELECTRONIC COPY IN PORTABLE DOCUMENT FORMAT (ADOBE PDF) OF EACH ISSUE AS THE COPY OF RECORD. MODIFICATION AND/OR USE OF THIS FILE WITHOUT WRITTEN PERMISSION OF REW IS AT THE SOLE RISK OF THE USER. REW SHALL BE INDEMNIFIED AND HELD HARMLESS FOR ANY DAMAGES INCURRED CAUSED BY THE MISUSE OF THIS FILE BY THE USER, INCLUDING COSTS OF REW LEGAL EXPENSES INCLUDING BUT NOT LIMITED TO REW DEFENSE OF ANY CLAIMS, INCLUDING ATTORNEY FEES.

REW
R.E. WARNER
ENGINEERS | ARCHITECTS | SURVEYORS
25777 DETROIT ROAD, SUITE 200
WESTLAKE, OHIO 44145
JOB NUMBER 35421

Heritage Park II Public Improvements - Lighting
Riverbed Street and Elm Street - City of Cleveland

July 2022



Heritage River Birch



American Hornbeam



Skyline Honeylocust



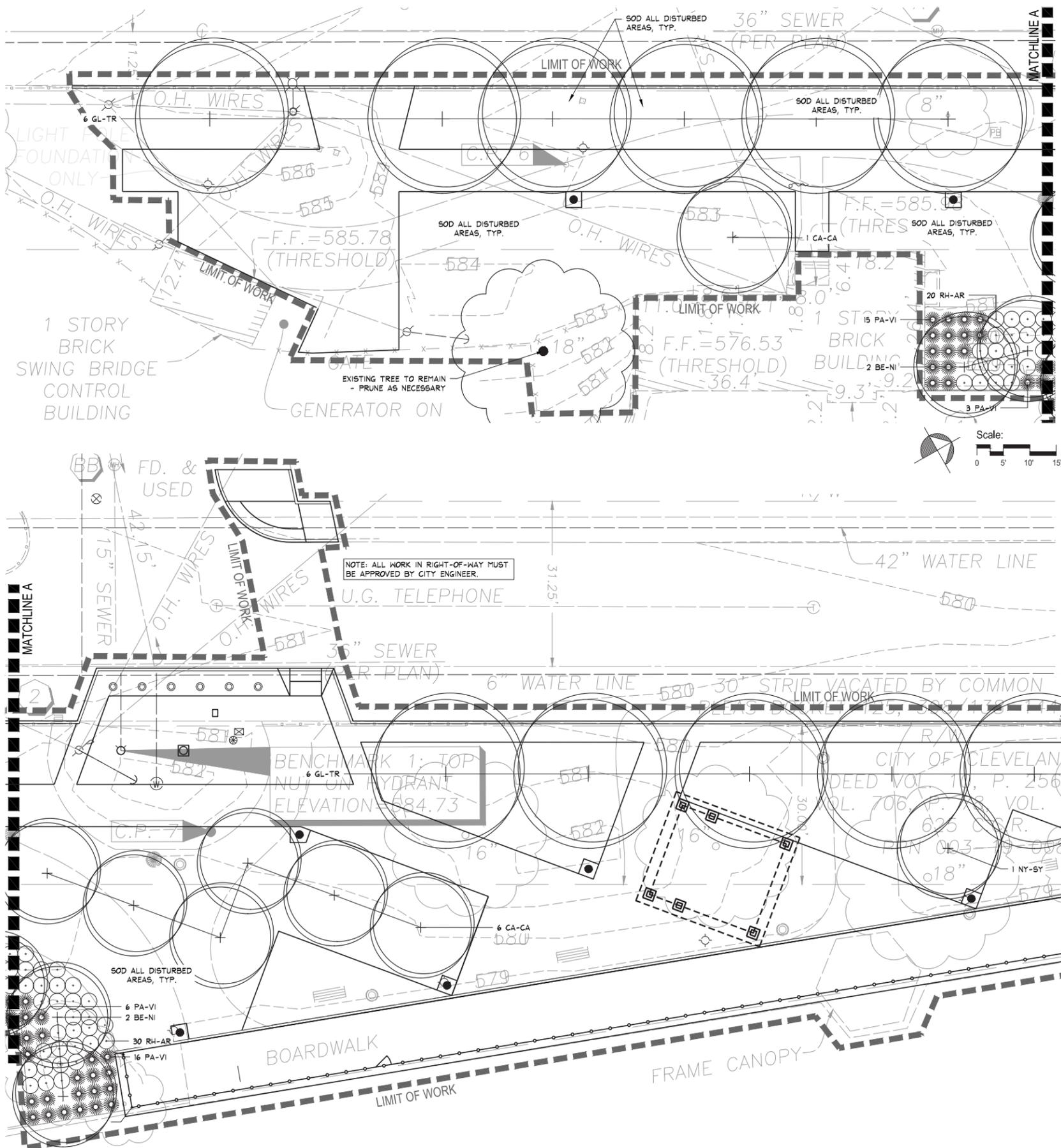
Black Gum



Switchgrass



Grow-Low Fragrant Sumac



LEGEND:

- DECIDUOUS SHADE TREE - SEE DTL. 1/SD5.4
- SHRUB AND GRASS PLANTINGS - SEE DTLs. 2,3/SD5.4
- EXISTING TREES TO REMAIN - PRUNE TREES AS NECESSARY

PLANTING GENERAL NOTES:

1. THIS SHEET IS FOR PLANTING AND TURF INSTALLATION PURPOSES ONLY.
2. REFER TO EXISTING CONDITIONS, DEMOLITION AND GRADING PLAN FOR INFORMATION REGARDING EXISTING AND PROPOSED UTILITIES. THE CONTRACTOR MUST VERIFY THE EXACT LOCATIONS OF UTILITIES, DRAINAGE PIPE AND STRUCTURES AND SHALL BE SOLELY RESPONSIBLE FOR ANY SUPPORT PRECAUTIONS AND/OR DAMAGES INCURRED.
3. REFER TO DEMOLITION PLAN FOR INFORMATION REGARDING EXISTING PLANT MATERIAL REMOVAL AND/OR PRUNING.
4. SEE PLANTING DETAILS ON SD5.4.
5. THE CONTRACTOR SHALL CUT AND REMOVE EXISTING TURF AREAS AS INDICATED ON THE DEMOLITION PLAN. THE CONTRACTOR SHALL STRIP, SALVAGE AND STOCKPILE ANY AND ALL AVAILABLE TOPSOIL AS PER SPECIFICATIONS. THE STOCKPILED TOPSOIL SHALL BE REDISTRIBUTED AS NEEDED AND AS PER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
6. ALL AREAS DISTURBED DURING CONSTRUCTION, UNLESS OTHERWISE NOTED, SHALL BE SEEDED INCLUDING A MINIMUM OF 4" APPROVED TOPSOIL AS PER SPECIFICATIONS AND AS DIRECTED BY THE LANDSCAPE ARCHITECT. TOPSOIL SHALL BE FLUSH WITH PAVED SURFACES AFTER SETTLING.
7. THE CONTRACTOR SHALL FURNISH AND INSTALL APPROVED FILL MATERIAL AND/OR TOPSOIL AS NECESSARY TO ACCOMMODATE THE REQUIREMENT OF THE PROPOSED GRADING PLAN PRIOR TO PLANT MATERIAL INSTALLATION.
8. ALL PLANT MATERIAL LOCATIONS SHALL BE FIELD LOCATED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. THE UNIT PRICE OF EACH PLANTING ITEM SHALL INCLUDE ALL MATERIAL, DIGGING AND INSTALLATION COSTS INCLUDING TOPSOIL, MULCH, FERTILIZER, STAKES, GUYS & WRAPPING.
10. REFER TO THE SPECIFICATIONS FOR INFORMATION REGARDING TOPSOIL, MULCH, STAKES, GUYING SYSTEM, TREE WRAP AND OTHER PLANTING MATERIALS. IN ADDITION, ALL MATERIAL TESTING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL TREES SHALL BE WRAPPED, STAKED, GUYED & MULCHED AS PER DETAILS AND SPECIFICATIONS AT THE TIME OF INSTALLATION. NO EXCEPTIONS!
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY WATERING ALL PLANT MATERIAL IMMEDIATELY UPON PLANTING. IN ADDITION, THE CONTRACTOR SHALL CONFORM TO THE STANDARD CITY OF CLEVELAND SPECIFICATIONS IN REGARDS TO MAINTENANCE, GUARANTEES AND THE REPLACEMENT OF PLANT MATERIAL. FAILURE TO COMPLY WILL RESULT IN WITHHOLDING OF PROPER PAYMENT.
13. EXISTING PLANT MATERIAL SCHEDULED TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF DEMOLITION AND/OR CONSTRUCTION. ANY ITEM DAMAGED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
14. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS, AS SHOWN ON THE PLANTING PLAN. QUANTITIES PROVIDED ON THE PLANT LIST ARE FOR ESTIMATION PURPOSES ONLY.
15. ALL SITE UTILITIES ARE SHOWN FOR COORDINATION ONLY. SEE SITE PLUMBING PLANS AND SITE ELECTRICAL PLAN.

PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS	NOTES
SHADE TREES						
4	BE-NI	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	8'H	B & B	
7	CA-CA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2' CAL.	B & B	
12	GL-TR	GLEDTISIA TRIACANTHOS F. INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2 1/2' CAL.	B & B	
1	NY-SY	NYSSA SYLVATICA	BLACK GUM	2 1/2' CAL.	B & B	
SHADE TREES						
40	PA-VI	PANICUM VIRGATUM	SWITCHGRASS	#2 CONT.	CLUMP	
50	RH-AR	RHUS AROMATICA 'GRO-LOW'	GROW-LOW FRAGRANT SUMAC	#2 CONT.	CLUMP	

CITY OF CLEVELAND DOCK LINE PER CI OF CLEVELAND ENGINEERING OF CONSTRUCTION, DECEMBER 11, 2011

OHIO Utilities Protection SERVICE
 Call Before You Dig
 1-800-362-2764
 CALL TWO WORKING DAYS BEFORE YOU DIG (NON MEMBERS MUST BE CALLED DIRECTLY)



July 15, 2022

DF2022-040 – I Heart Radio Projecting Sign (Not in conformance with Zoning Code):

Seeking Final Approval

Project Address: 668 Euclid Avenue

Project Representatives: Shannon Leonard, Staff Planner

Jessica Ruff, Ruff Neon

Committee Recommendation: Approved **unanimously** with Conditions

- Make canopy sign more 3-dimensional with lettering, taking cues from existing 668 signage
- Comment to building owner about sign standards

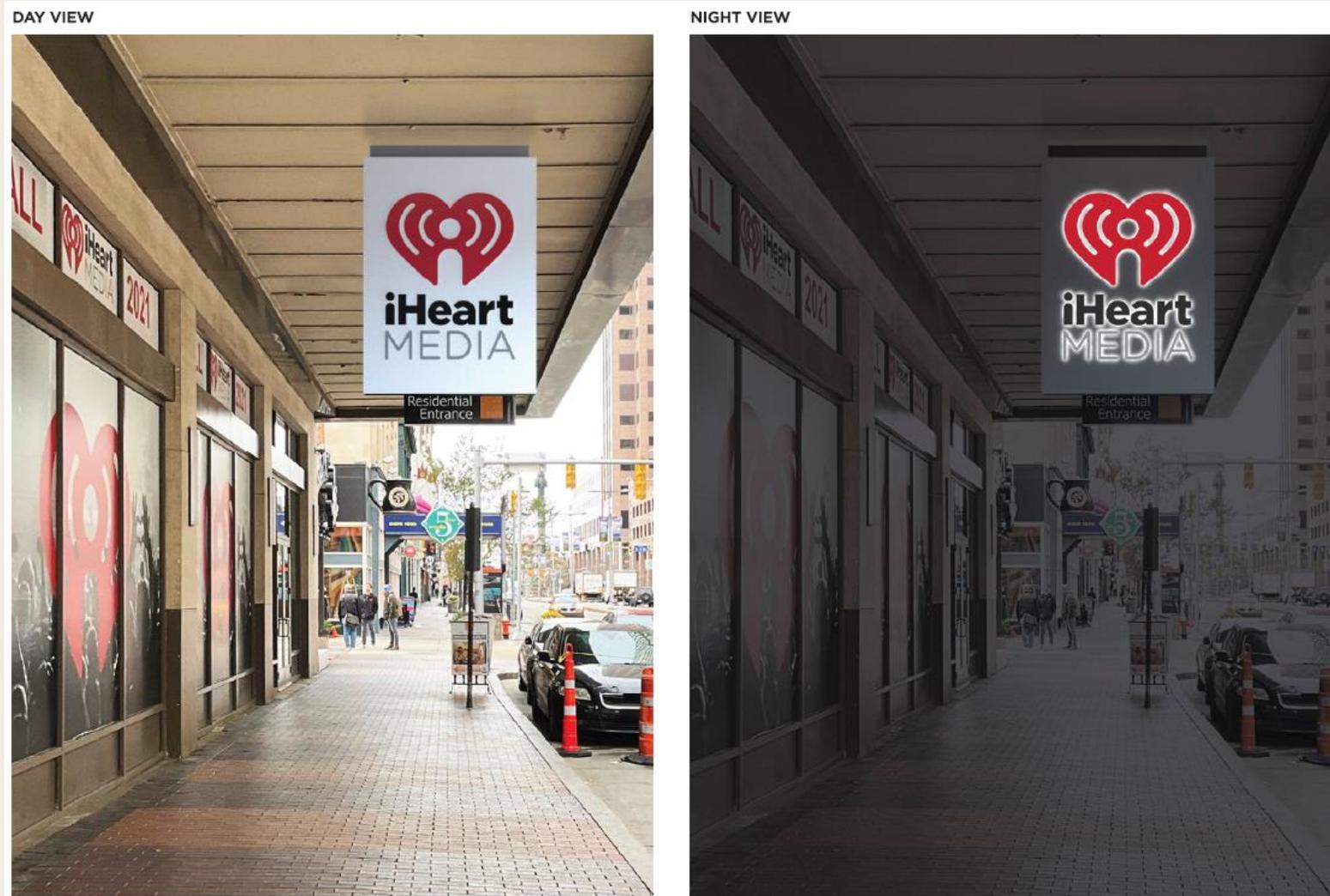
668 EUCLID AVE

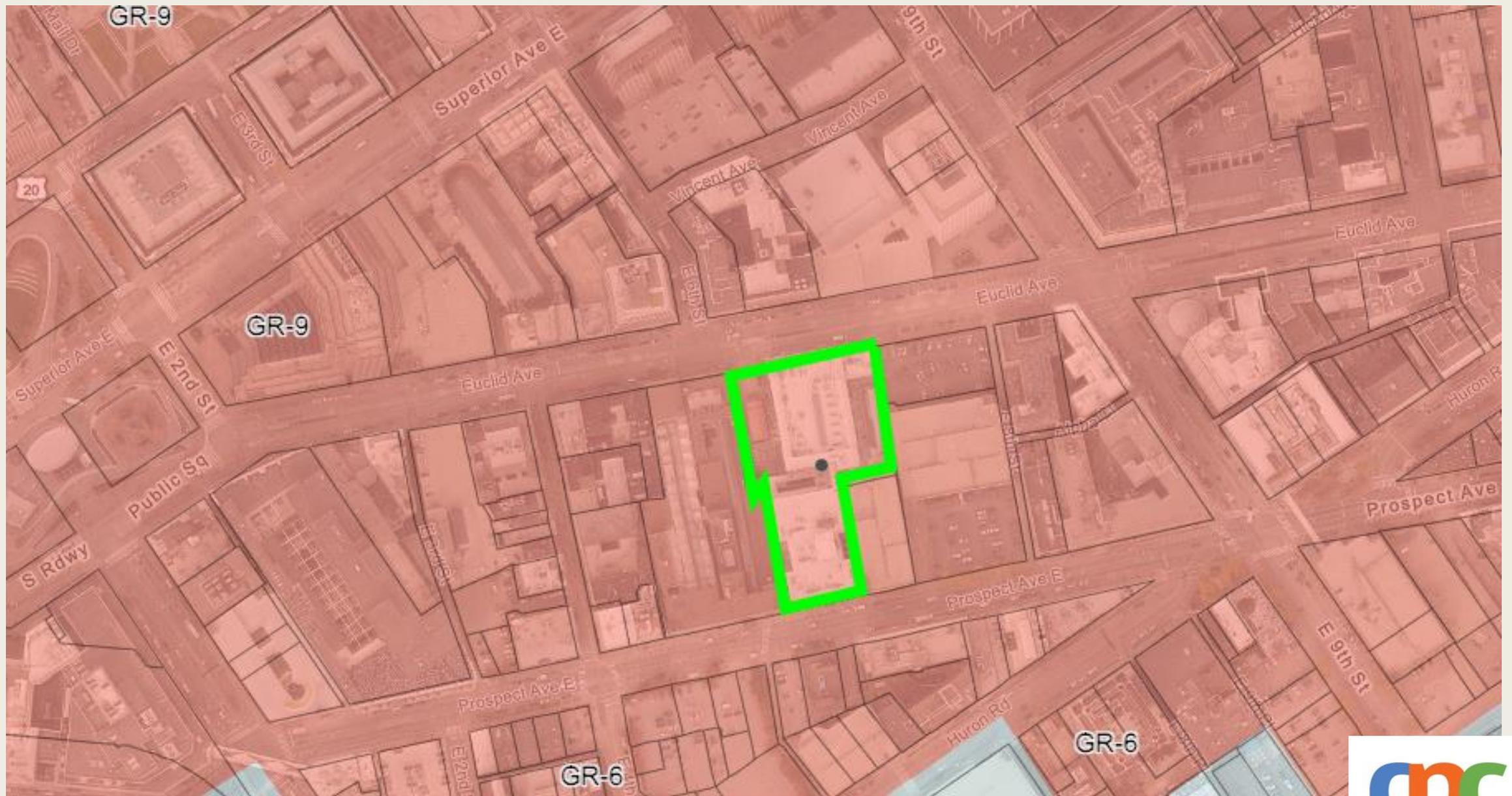
CITY PLANNING COMMISSION

JULY 15, 2022

Proposal

To permit an additional 25.44 sf business identification canopy sign at 668 Euclid Avenue





Why City Planning Commission?

- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: *(Administrative approval does not apply)*
 - **Design Compatibility:** may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
 - **Design Guidelines:** any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
 - **Minimum Variation:** Any variation shall be the **MINIMUM** necessary to ensure design compatibility



Business Identification Sign

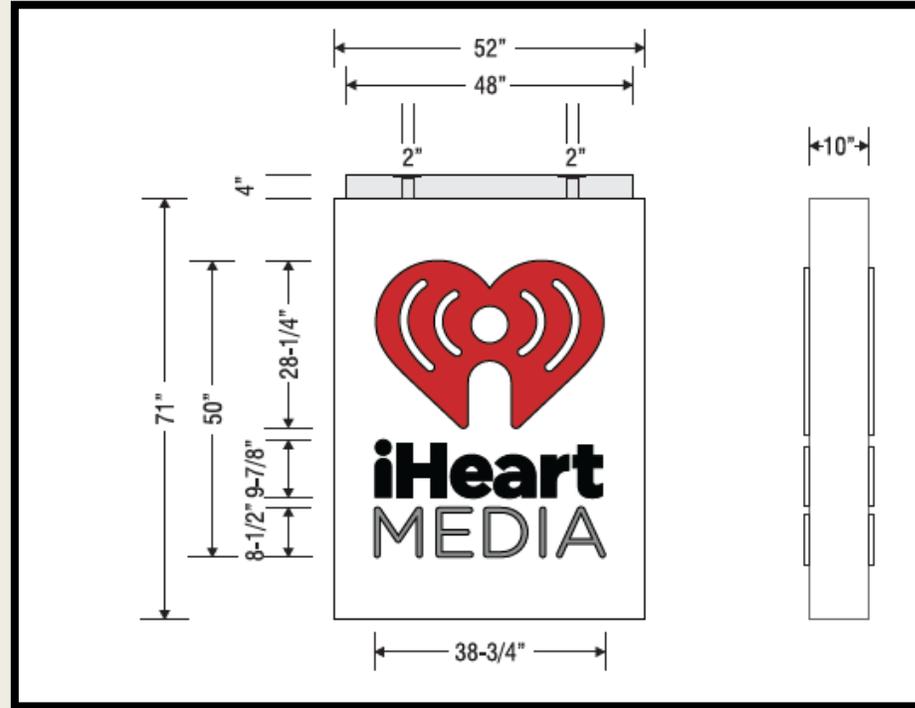
- **Business Sign:** An identification sign which may also display such detailed information about the operation of the business as brand names of goods or services offered on the premises, prices or special “sale” information, forms of payment accepted, hours of operation, telephone number and so forth
- **Identification Sign:** A sign identifying or naming of business, building, use, etc.
- **Canopy Sign:** A sign attached to or printed on the fascia or valence of a canopy, awning, or marquee or hanging from the soffit (underside) of such structure.

Variances Required

Retail Business Districts permit one (1) 'Business Identification Canopy' Sign per building unit that has a maximum sign face square footage of six feet.

This will be the 3rd canopy sign, non ground floor use and will be 25.44 sf.

Variance of 19.44 sf required for Canopy Sign.



Variances Required

Canopy Business Identification signs are only permitted to have a maximum sign face of 6 square feet. **19 sf variance required**

General Retail Business districts only permit 1 canopy sign per unit **3rd Canopy Sign at 668 Euclid**



Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?



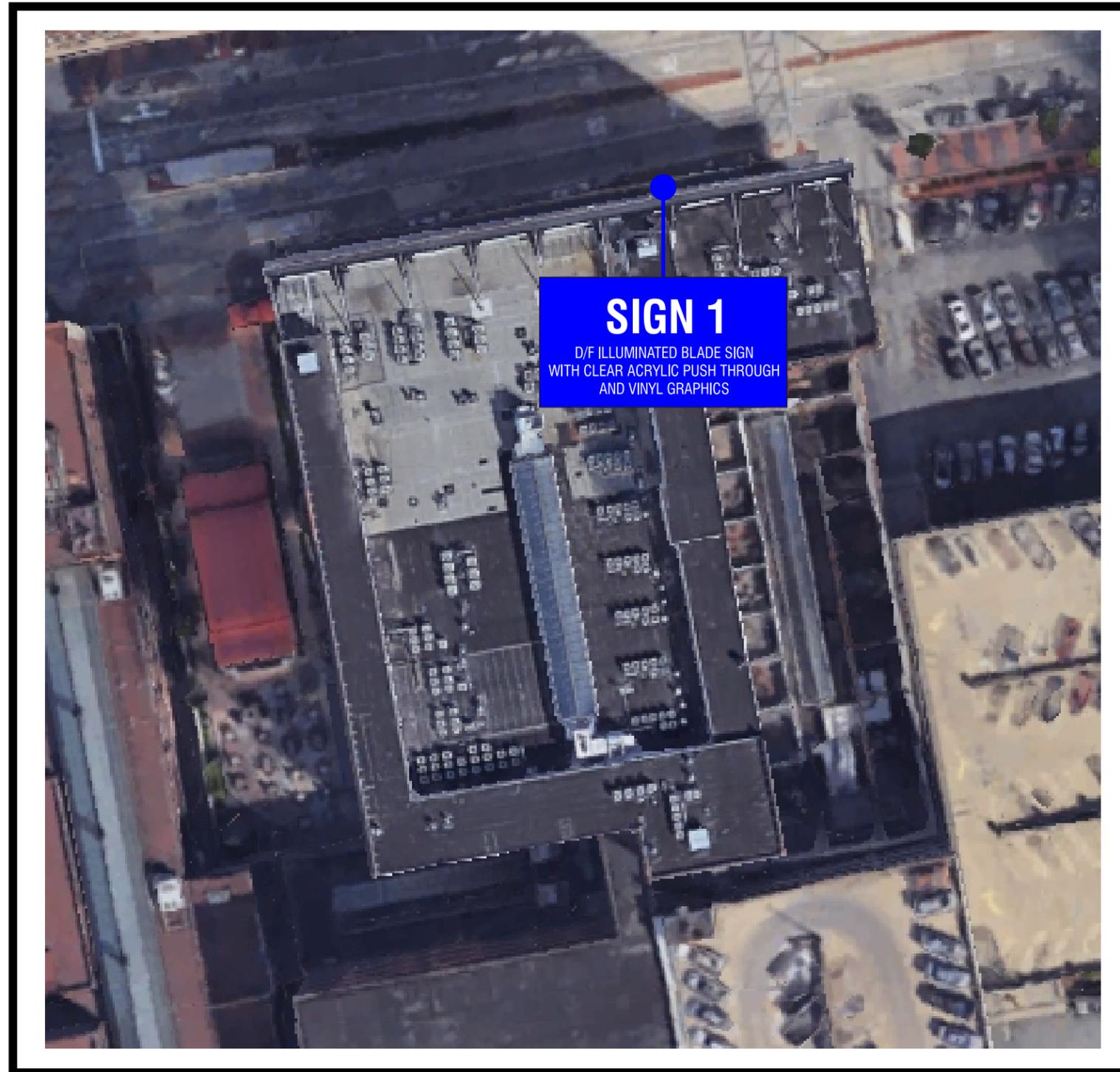


iHeart
MEDIA

Residential
Entrance



668 Euclid Ave., Cleveland, OH 44115



295 WEST PROSPECT
PAINESVILLE, OHIO 44077

TEL: (440) 350 6267

VISIT US AT RUFFNEONSIGN.COM

CLIENT:



CONTACT: Sean Calvery / XXX / XXX

ADDRESS: 125 W. 55TH ST New York, NY 10019

DRAWING: 22033002 Page 1 of 4

DATE: 3-30-2022

REPRESENTATIVE: Jessica Ruff / jessica@ruffneon.com

FILE: CUSHMAN AND WAKEFIELD / IHEART MEDIA / CUSHMAN AND WAKEFIELD IHEART MEDIA BLADE SIGN

DRAWING HISTORY

INFO	DESIGNER	DATE
PRELIMINARY DRAWING	JOHN RICHARDS	3-30-2022

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

FRONT VIEW



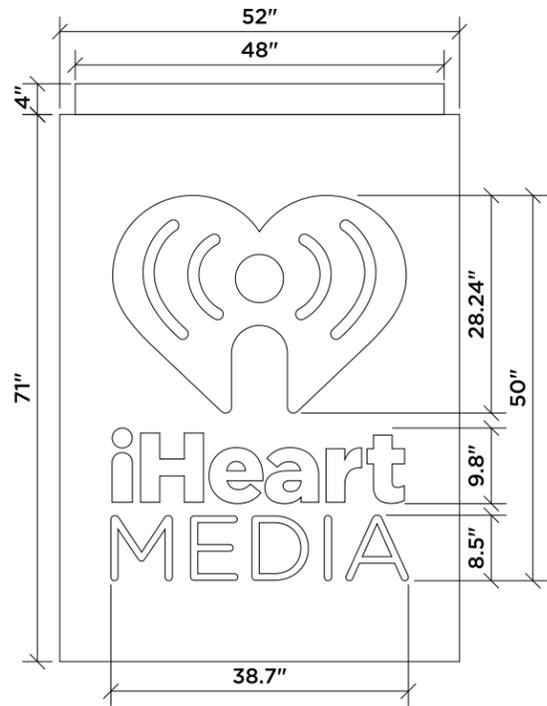
PERSPECTIVE BY DAY



PERSPECTIVE BY NIGHT



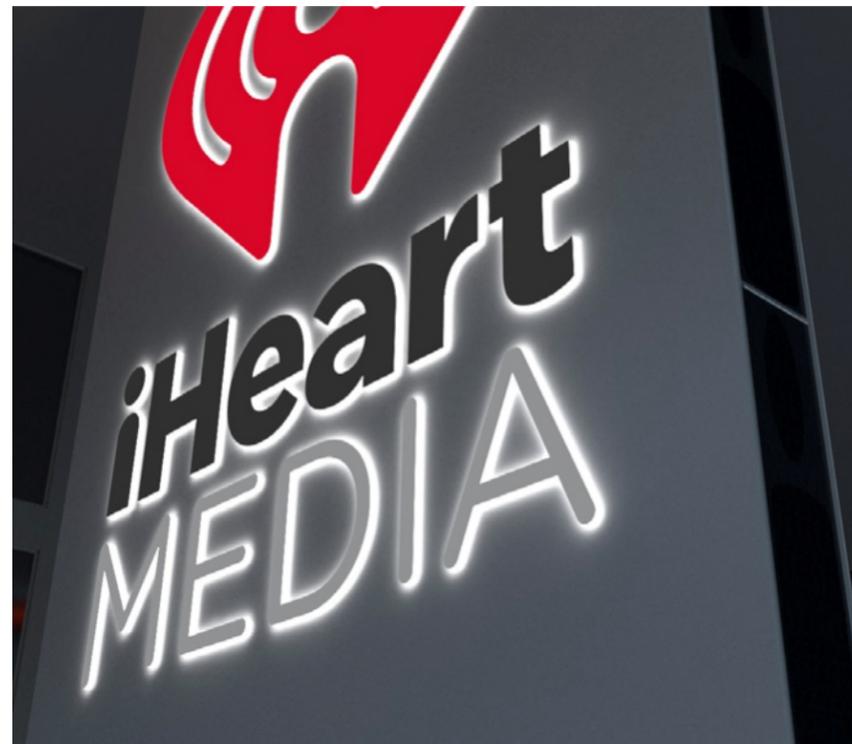
MEASUREMENTS



DETAIL BY DAY



DETAIL BY NIGHT



295 WEST PROSPECT
PAINESVILLE, OHIO 44077

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CLIENT:  

CONTACT: Sean Calvery / XXX / XXX

ADDRESS: 125 W. 55TH ST New York, NY 10019

DRAWING: 22033002 Page 2 of 4

DATE: 3-30-2022

REPRESENTATIVE: Jessica Ruff / jessica@ruffneon.com

FILE: CUSHMAN AND WAKEFIELD / I-HEART MEDIA / CUSHMAN AND WAKEFIELD I-HEART MEDIA BLADE SIGN

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CLIENT SIGNATURE:

DATE:

DAY VIEW



NIGHT VIEW



295 WEST PROSPECT
PAINESVILLE, OHIO 44077

TEL: (440) 350 6267

VISIT US AT RUFFNEONSIGN.COM

CLIENT:




CONTACT: Sean Calvery / XXX / XXX

ADDRESS: 125 W. 55TH ST New York, NY 10019

DRAWING: 22033002 Page 3 of 4

DATE: 3-30-2022

REPRESENTATIVE: Jessica Ruff / jessica@ruffneon.com

FILE: CUSHMAN AND WAKEFIELD / I-HEART MEDIA / CUSHMAN AND WAKEFIELD I-HEART MEDIA BLADE SIGN

DRAWING HISTORY

INFO	DESIGNER	DATE
PRELIMINARY DRAWING	JOHN RICHARDS	3-30-2022

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LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

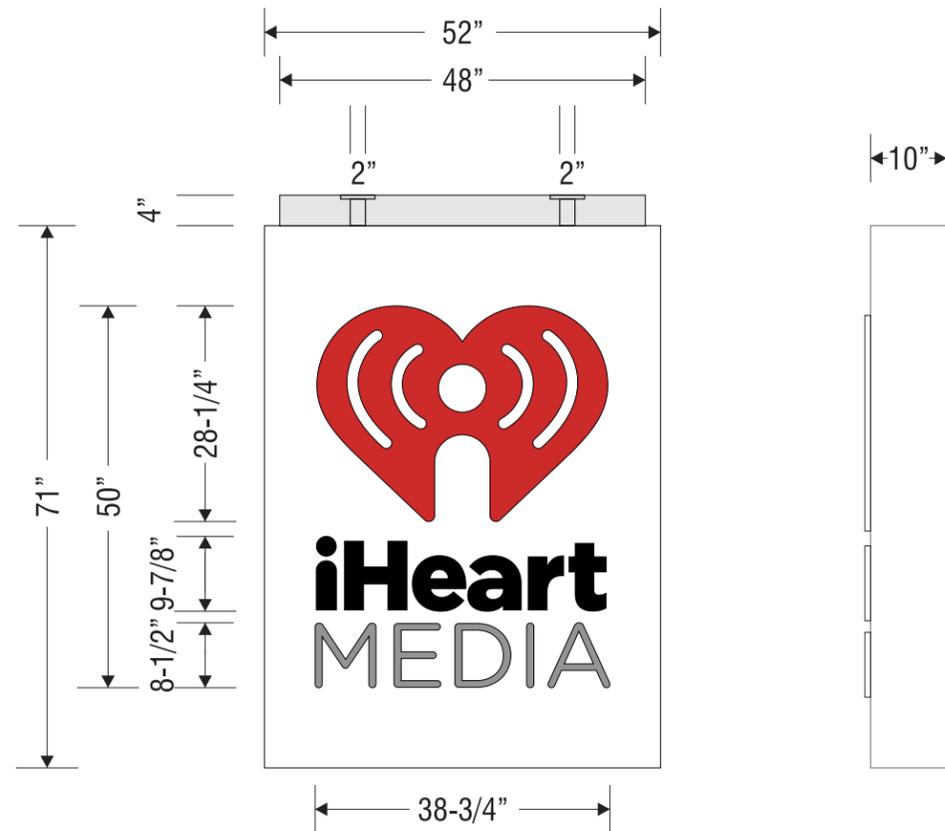
DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

D/F ILLUMINATED CABINET BLADE SIGN (SIGN 1)

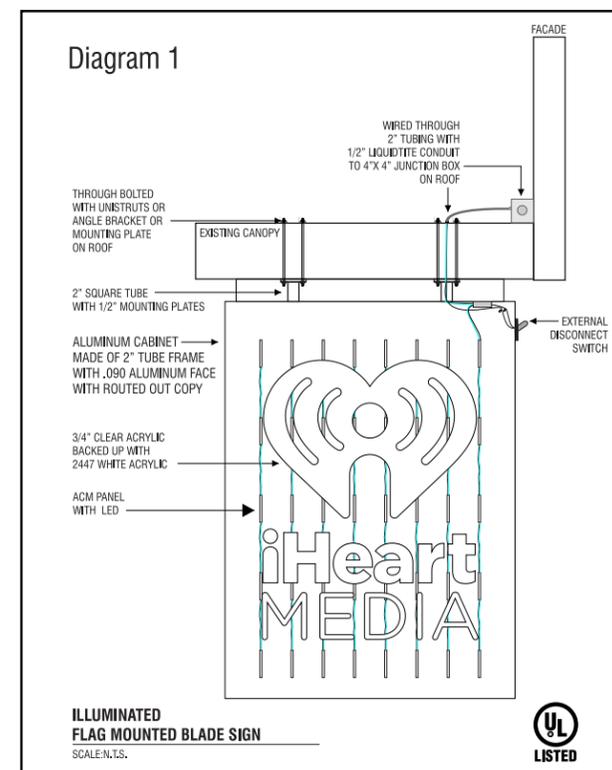


SCALE: 1/2" = 1'-0"

SIGNAGE REPRESENTS 25.63 SQ FT

D/F BLADE SIGN (ILLUMINATED) (See Diagram 1)

- Cabinet:** 71" X 52" X 10" deep D/F illuminated aluminum sign cabinet painted WHITE. Sign frame to be 2" aluminum square tube with 1/2" aluminum mounting plates.
- Faces:** (2) .090 aluminum faces with routed cut copy and logo to accept 1" acrylic push through letters and logo. Logo and letters to have 1st surface vinyl graphics.
- Illuminated:** Internally illuminated with WHITE LED.
- Mounting:** Flag mounted to canopy with (2) 2" X 4" square aluminum tube welded to mounting plates and through bolted to canopy. A 4" X 48" X 6" aluminum cover to hide mounting painted BLACK. Electrical feed through aluminum tube to junction box on top of canopy. Mounting and electrical to be verified.



COLOR SPECIFICATIONS

Customer Initials to approve colors



295 WEST PROSPECT
PAINESVILLE, OHIO 44077

TEL: (440) 350 6267

VISIT US AT RUFFNEONSIGN.COM

CLIENT:



CONTACT: Sean Calvery / XXX / XXX

ADDRESS: 125 W. 55TH ST New York, NY 10019

DRAWING: 22033002 Page 4 of 4

DATE: 3-30-2022

REPRESENTATIVE: Jessica Ruff / jessica@ruffneonsign.com

FILE: CUSHMAN AND WAKEFIELD / I-HEART MEDIA / CUSHMAN AND WAKEFIELD I-HEART MEDIA BLADE SIGN

DRAWING HISTORY

INFO	DESIGNER	DATE
PRELIMINARY DRAWING	JOHN RICHARDS	3-30-2022

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

StratusTM

stratusunlimited.com

888.503.1569

SITE ADDRESS:

668 EUCLID AVE
CLEVELAND, OH 44114



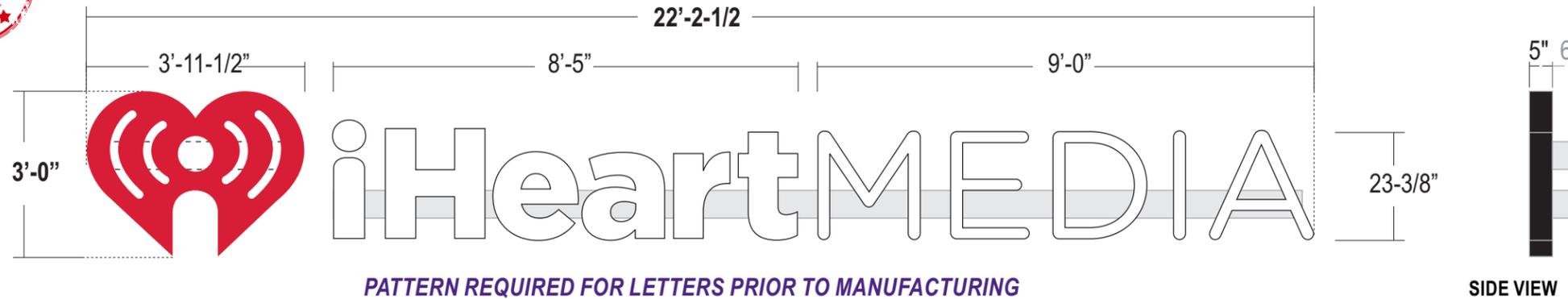
Infinite possibilities, ideal solutions.



CHANNEL LETTER RE-LOCATION

Scale: 3/8"=1'-0"

66.3 square feet



PATTERN REQUIRED FOR LETTERS PRIOR TO MANUFACTURING



EXISTING LETTERSET

SCOPE OF WORK:

Existing Letterset to be removed & retained;
 "iHEART" & 'MEDIA' faces to be removed and replaced w/ new White Acrylic faces
 Existing Raceway to be re-painted to match brick facade, re-assembled and re-installed in new location

FACES:

NEW 3/16" #7328 White Acrylic faces to replace existing

RACEWAY:

Existing (2) 6" x 6" Raceways to be retained & repainted to match brick facade

WALL MATL:

Brick

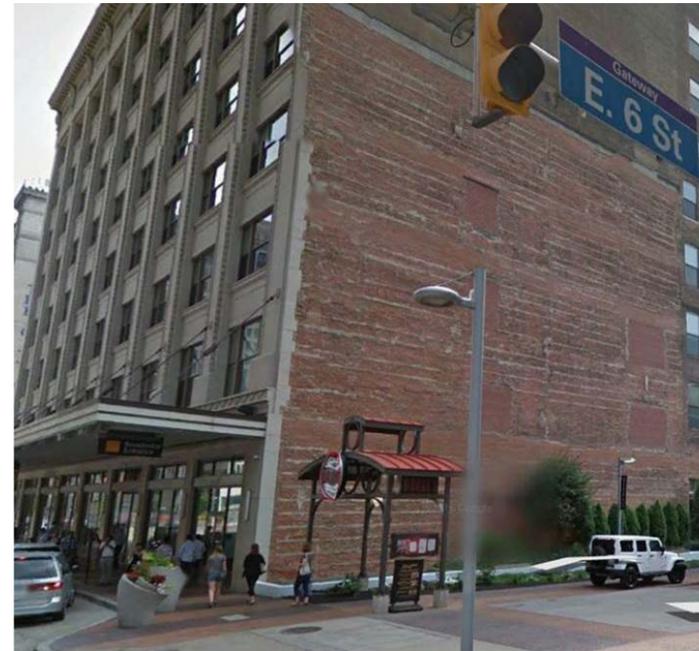
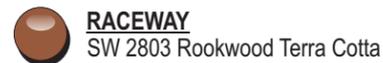
INSTALL:

Engineering approved alternate install method:
 1/2" diameter sleeve anchors w/ 3/8" diameter bolt w/ 2" embedment

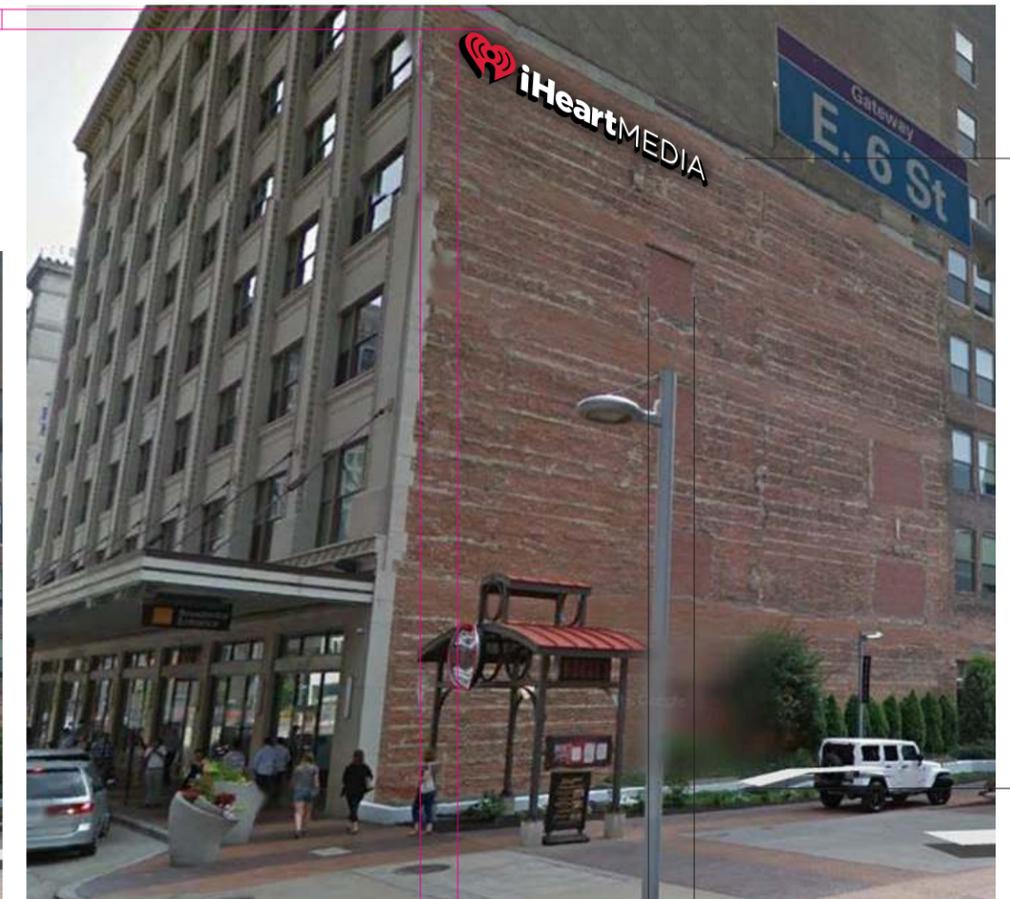
QUANTITY:

(1) One Sign Relocation &
 (1) One Set of Faces required

COLOR PALETTE



EXISTING CONDITIONS



PROPOSED SIGNAGE

Scale: 1/16" = 1'-0"

3'-0"

4'-0"

55'-0"

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
 Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

668 EUCLID AVE
 CLEVELAND, OH 44114

PAGE NO.:

2

ORDER NUMBER:

623754 | 4623754

SITE NUMBER:

251505

PROJECT NUMBER:

85854

PROJECT MANAGER:

ADRIANE FOURIE

ELECTRONIC FILE NAME:

G:\ACCOUNTS\I\ HEART RADIO\2021\OH\
 iHeart_Cleveland_R6.cdr

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	162866	04/20/21 TC					
Rev 1	163680	04/28/21 TC	Added Option				
Rev 2	165380	05/20/21 JT	Added LOCATION Option				
Rev 3	343337	07/09/21 JT					
Rev 4	-----	08/12/21 CA					
Rev 5	371750	03/08/22 CA	Removed options & added survey info				
Rev 6	387576	06/16/22 TC	Added Side View, corrected sizes of raceways				

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July 15, 2022

Committee Recommendation: Approved **unanimously** with Conditions

- Make canopy sign more 3-dimensional with lettering, taking cues from existing 668 signage
- Comment to building owner about sign standards



July 15, 2022

DF2022-025 - H5 Data Center Addition and Façade Improvement of Existing Structure:
Seeking Final Approval

Project Address: 1625 Rockwell Avenue

Project Representative: Dale Grieder, Arkinetics

Note: the Planning Commission granted Conceptual Approval with Conditions on May 6, 2022.

Conceptual Approval incorporating the DRAC's comments and consider also keeping the building set back, but beef up ornamental fence, trees, and landscaping. Also reduce fence height.

Committee Recommendation: Approved **unanimously** with Conditions

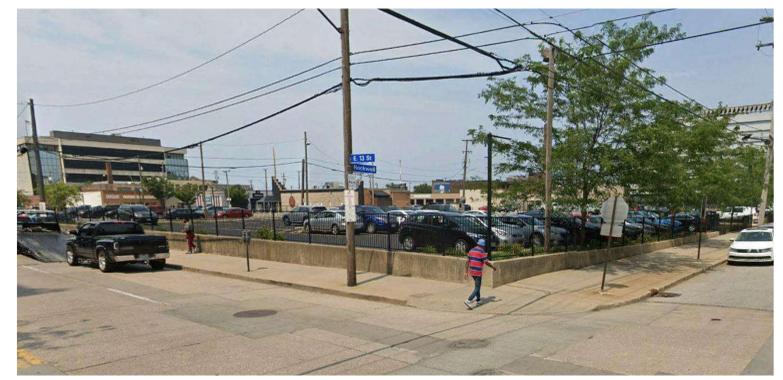
- Swap out buckthorn plant with non-invasive plant
- Step the fence several times inwards to create jogs in non-retaining wall section to break long wall of the fence
- If possible align curb cuts



Looking East down Rockwell at E14th



Looking East down Rockwell at H5 entry



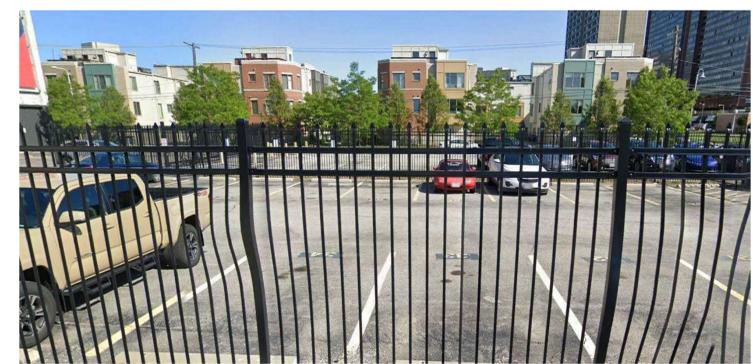
Looking Northeast from E13th and Rockwell



Looking Northwest at E13th and Rockwell



Looking south across Rockwell from Bldg 1



Looking South from Bldg 1



Looking Southeast at E13th and Emerald Ct



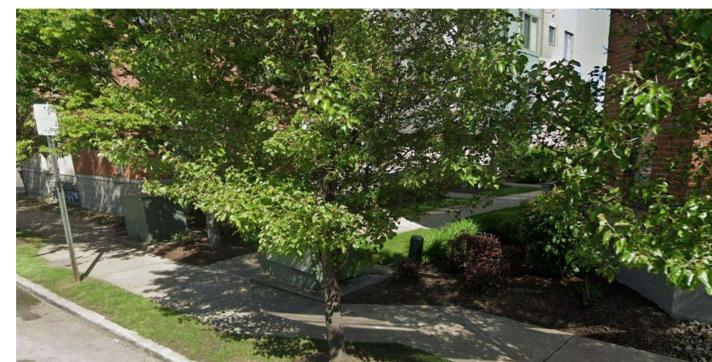
Looking Southwest at E13th and Rockwell



Looking West down Rockwell at E17th



Looking West down Rockwell



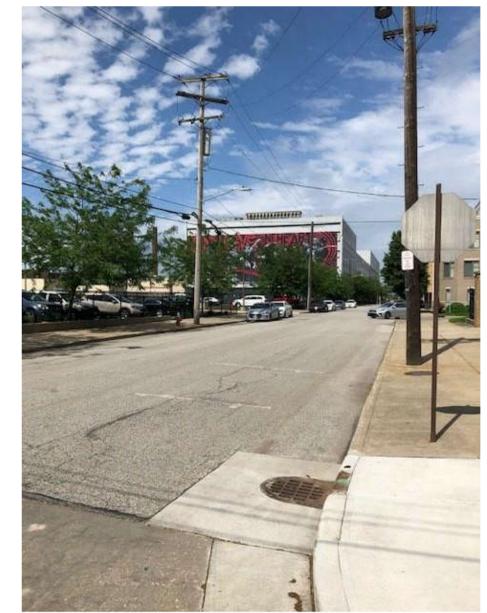
Pedestrian access to townhomes across from Bldg 1



Looking east from Building 1 drive



Looking east from E13th and Rockwell



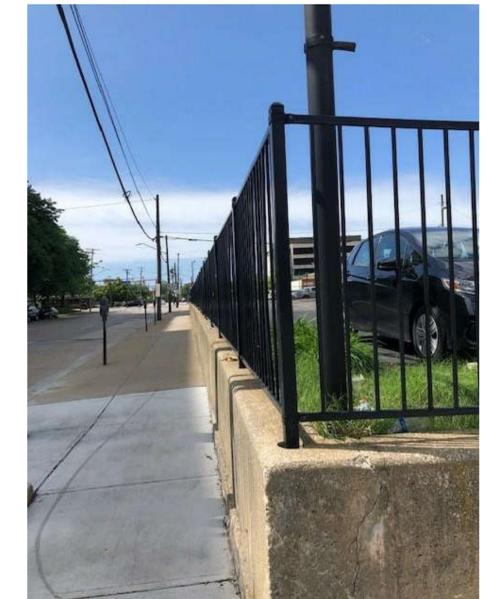
Looking east from E13th and Rockwell



Looking west from Bldg 1 drive



Fence transition at retaining wall on Rockwell



Looking north from E13th and Rockwell



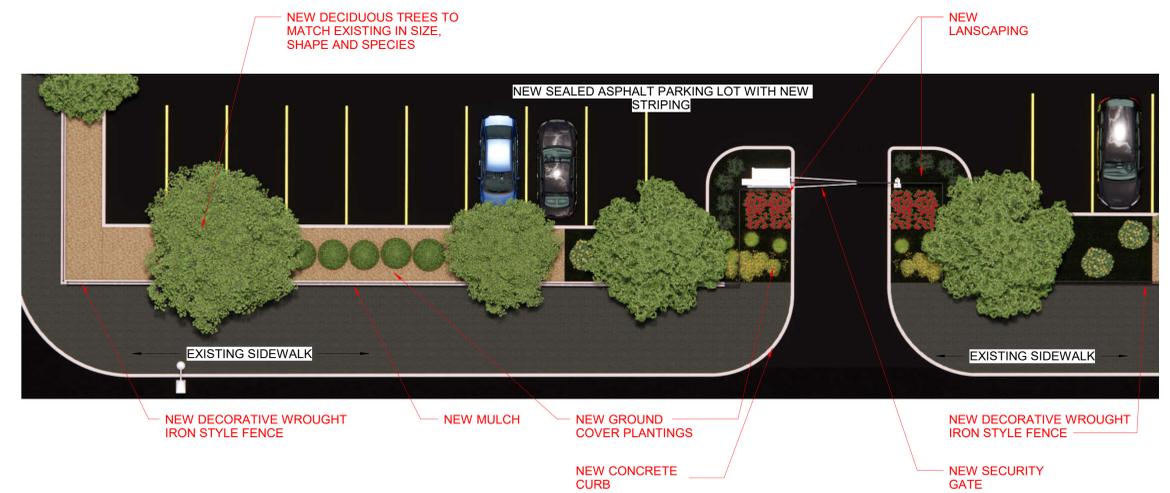
SITE PLAN - BLDG 1 THRU 4
SCALE: 1" = 30'-0"
NORTH



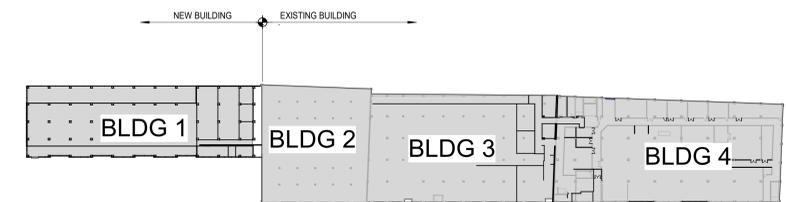
3 SITE PLAN DAY
A01.0 SCALE: NOT TO SCALE



5 SITE PLAN - BLDG 1
A01.0 SCALE: NOT TO SCALE



SITE PLAN PLANTING BED - BLDG 1
SCALE: NOT TO SCALE
NORTH



KEY PLAN
SCALE: 1" = 80'-0"
NORTH



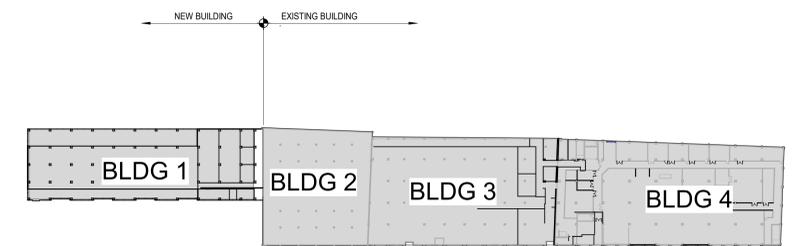
A SOUTH ELEVATION - BLDGS 1 THRU 4
A0.1.0 N SCALE: 1" = 30'-0"



SITE PLAN NIGHT - BLDGS 1 THRU 4
NORTH SCALE: NOT TO SCALE



SITE PLAN NIGHT - BLDG 1
NORTH SCALE: NOT TO SCALE



KEY PLAN
NORTH SCALE: 1" = 80'-0"























Company Introduction

Fibrelite is the world's leading manufacturer of high quality GFR composite manhole covers and watertight underground access and containment systems. Fibrelite sells to over 70 countries worldwide and was the very first company in the world to design and manufacture an easily removable composite manhole cover.

Fibrelite's commitment to quality

Fibrelite's products are manufactured in the Malaysia, UK and US under the strictest control on raw material quality and manufacturing standards.

Resin transfer moulding (RTM) manufacturing

Fibrelite's products are manufactured in a closed mould environment combining long strand multi-directional fibreglass with a specially formulated resin matrix. Producing an extremely durable and strong product.

Benefits

- Anisotropic surface
- Vacuum installable
- Liquid-light
- Fits to fill and vapour recovery lines
- Secure and easy access to the fill points for fuel deliveries are systematically assessed.
- Secondary contained
- Compatible with liquids
- Range of sizes available
- Secure and easy access to the fill points for fuel deliveries are systematically assessed.

Above Ground Fill Sumps

Manufactured using the latest GFR technology, Fibrelite's new range of above ground fill containment systems provide a non-concrete liquid-tight solution which can be vacuum tested.

Systems are designed to contain either single or double wall pipework and are available with or without a drain back to the tank or interceptor. The system includes a spill tray to collect fuel spills, providing secondary containment.

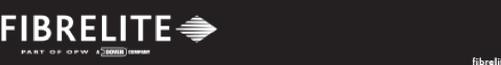


2240 x 686 x 1257mm (L x D x H) S22-2-AGF
1737 x 686 x 1257mm (L x D x H) S20-2-AGF
1237 x 686 x 1257mm (L x D x H) S19-2-AGF

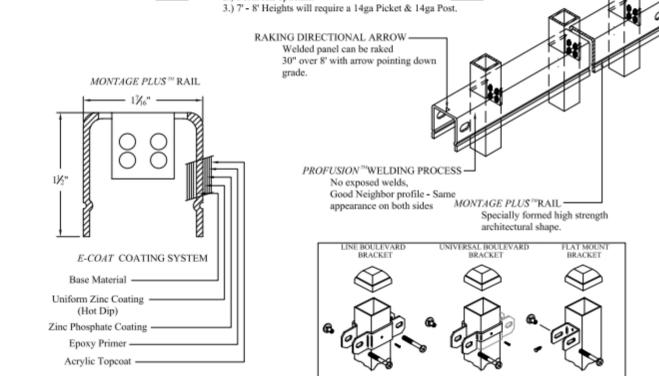
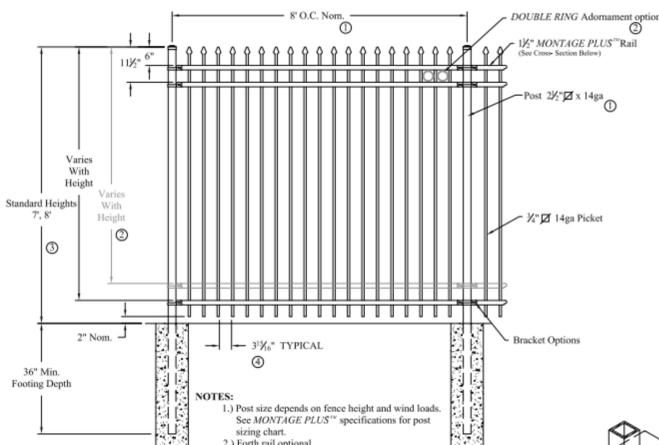
UK Offices: Shanghai Industrial Estate, Kaighley Road, Skipton, North Yorkshire, BD23 2DR, UK. Tel: +44 (0) 1756 799 773, Fax: +44 (0) 1756 799 839, E-mail: enquiries@fibrelite.com

USA Offices: 1292 US Highway 70 Business West, North Carolina, Smithfield, NC 27577, USA. Tel: +1 800 422 2555, Fax: +1 800 421 2329, E-mail: enquiries@fibrelite.com

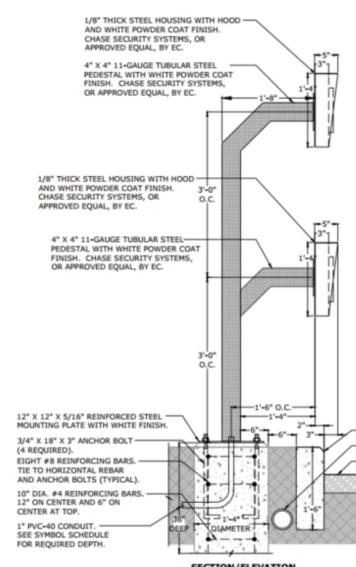
Malaysia Offices: Lot PT-27259, Jalan Sigma UHF-4, Bukit Charauah, Sekayan UHF, 42159 Shah Alam, Selangor Darul Ehsan, Malaysia. Tel: + 603-7647 1888, Fax: +603-7646 7788, E-mail: enquiries@fibrelite.com



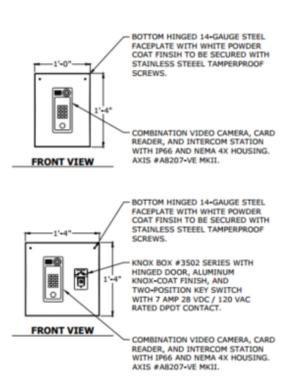
fibrelite.com



COMMERCIAL STRENGTH WELDED STEEL PANEL PRE-ASSEMBLED

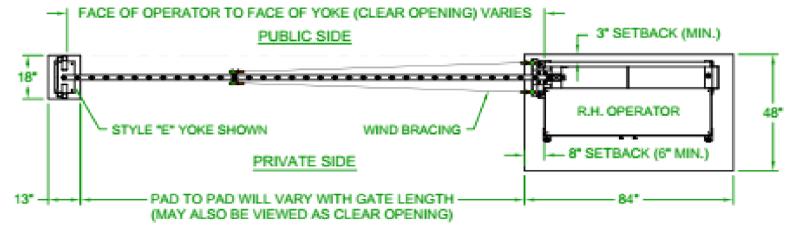


SECTION/ELEVATION

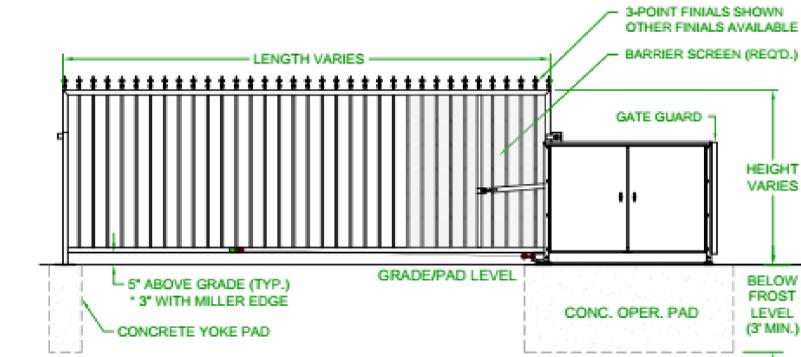


FRONT VIEW

proposed gate card reader at building #1 - south entry and north exit



PLAN VIEW



ELEVATION VIEW VIEWED FROM PRIVATE SIDE

proposed gate elevation at building #1 - gate to be 8'-0" high

proposed fuel filling port

proposed fence elevation ameristar - montage commercial classic - black - 8'-0" high

insight lighting PILOT EXTERIOR (PEX) | LOW PROFILE CONE/GRABER | COLOR CHANGING AND ACTIVE WHITE

PROJECT	TYPE	CAT. #	REV.	UNV.
---------	------	--------	------	------

PROFILE

LIGHT SOURCE	6.0 W/IT, 12.0 W/IT
CCT	RG830K, RG840K, RGB, AWHJ (22K-65K)
VOLTAGE	1PH, 0, 10V, 10V-277V (240V UNAVAILABLE)
POWER	INTEGRATED POWER SUPPLY
CONTROL	DMX / EDM
DIMENSIONS	2.50" x 1.75" x 12.00" OR 2.50" x 1.75" x 48.00"
WEIGHT	12.00" 1.65 LBS, 48.00" 6.185
HOUSING	EXTRUDED ALUMINUM HOUSING
LENS	TEMPERED GLASS
FINISH	METALLIC GRAY, CUSTOM
WARRANTY	5-YEAR LIMITED
OPERATING TEMP	-25° C TO 50° C
LUMEN MAINTENANCE	ETL AND eTL FOR WET LOCATION, IP67
CERTIFICATION	ETL, eTL FOR DAMP/DRY LOCATION

OPTICS (Not all available optics shown)

DIMENSIONS

DISCRETE CHIP RGBW AND AWH

The discrete LED array allows individual secondary optics per LED color (Red, Green, Blue, White). The array increases optical performance from 10° to 60° allowing for superior beam control and increased efficiency. The increased optical control allows for maximum peak candlepower/lumen output.

ACCESSORIES / OPTIONS

insight lighting SCOPE LARGE SCONCE | DIMENSION UP OR DOWN, UP/DOWN | WHITE LIGHT

PROJECT	TYPE	CATALOG #	REV.	UNV.
---------	------	-----------	------	------

PROFILE

WATTAGE	140 (DOWN) IN EITHER DIRECTION
OPTICS	15°, 30°, 35°, ASYMMETRIC
CCT	2700K, 3000K, 3500K, 4000K (80 CRI)
PERFORMANCE	82+ CRI
UP TO 107.25 PEAK CANDLEA (MOC)	
VOLTAGE	120V OR 277V
POWER	INTEGRATED POWER SUPPLY
DIMMING	0-10V, DIMX
DIMENSIONS	12.00" x 5.10", 16.00" x 5.10"
HOUSING	EXTRUDED ALUMINUM HOUSING
LENS	TEMPERED GLASS
FINISH	HIGH DURABILITY POWDER COATING
WARRANTY	5-YEAR LIMITED
OPERATING TEMP	-20° C TO 45° C
LUMEN MAINTENANCE	84,000 HOURS
CERTIFICATION	ETL AND eTL FOR WET LOCATION

STANDARD FINISHES

OPTICS (NOT ALL AVAILABLE OPTICS SHOWN)

PROFILE

PERFORMANCE SUMMARY

HLK MOC	15°	30°	35°
LUMENS	370	340	370
CANDLEA	230	230	414
EFFICACY	84.23 LM/W	82.67 LM/W	82.79 LM/W

Project	Catalog #	Type
Prepared By	Notes	Date

Streetworks GAW Galleon Wall

Wall Mount Luminaire

Product Features

- Light Attraction™

Product Certifications

Connected Systems

- WaveLinx
- Enlighted

Quick Facts

- Choice of thirteen high-efficiency, patented AccuLED Optics
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

Dimensional Details

COOPER Lighting Solutions

PROB0000201 - page 1
January 9, 2021 4:57 PM

Project	Catalog #	Type
Prepared By	Notes	Date

McGraw-Edison GALN Galleon II

Area / Site Luminaire

Product Features

- Light Attraction™

Product Certifications

Connected Systems

- WaveLinx Lite
- WaveLinx

Quick Facts

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 159 lumens per watt

Dimensional Details

Standard Arm

Number of Light Sources	Width 1/2"	Mounting Length 1/2"	Weight with Standard or 300 Arm	CFM with Standard or 300 Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-8	22"	28-1/8"	48 lb	1.1

NOTE: For all additional requirements and additional features, see Mounting Details section.

COOPER Lighting Solutions

PROB0000201 - page 1
January 9, 2021 4:57 PM

pta engineering
275 Springside Dr., Suite 300
Akron, Ohio 44333
Phone: 330-666-3702
ptaengineering.com

fixture Type T

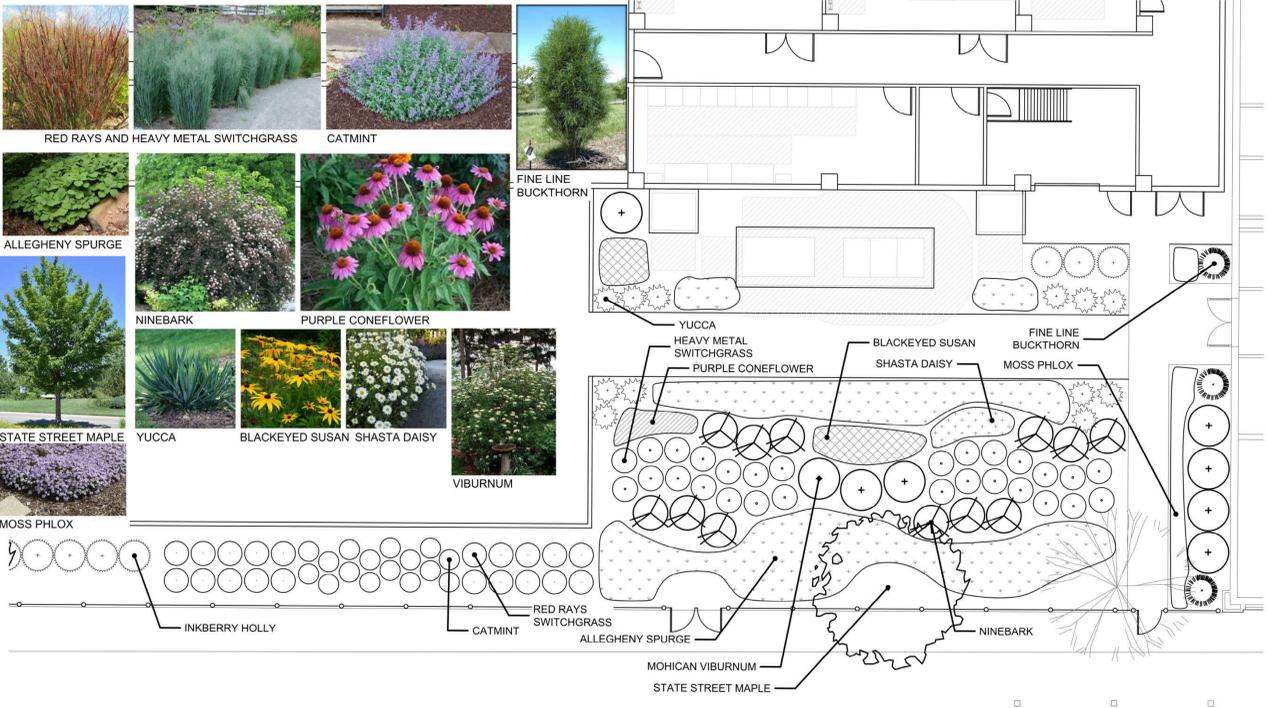
fixture S4 and S5

proposed wall sconce
sconce to be mounted at 15' above finished grade

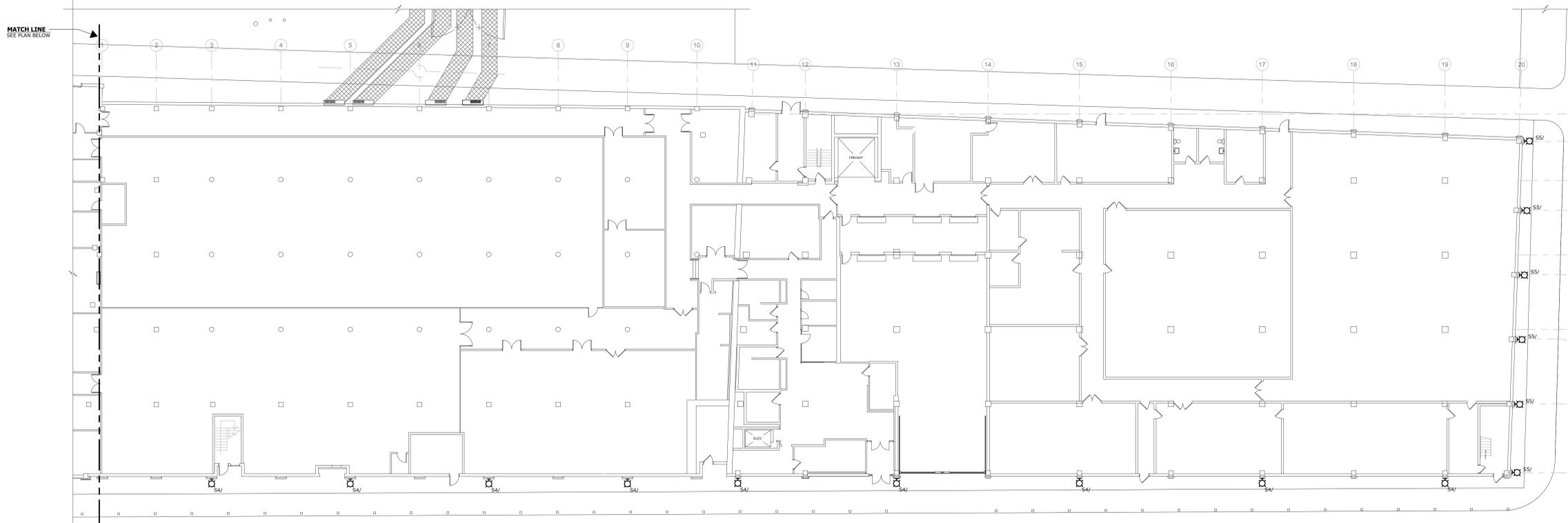
fixture S2 and S3

fixture S1

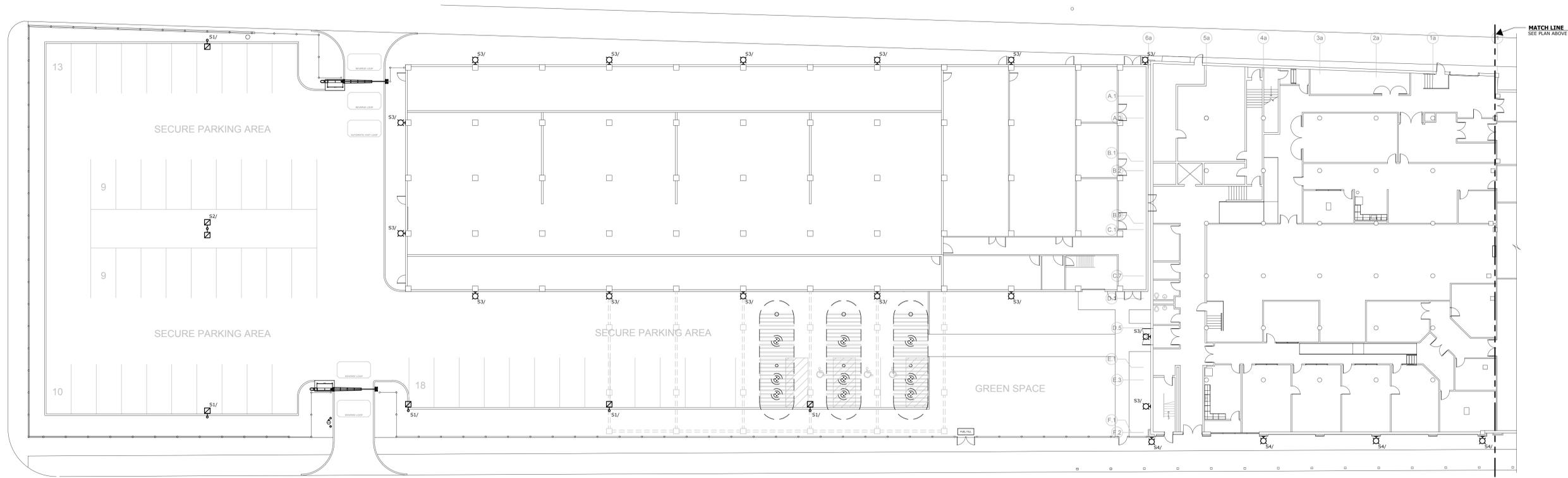
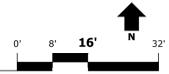
proposed site lighting
site lighting to be mounted on a 25' pole



GREEN SPACE
ENLARGED PLAN
NOT TO SCALE



SITE (EAST) LIGHTING PLAN



SITE (WEST) LIGHTING PLAN



REVISIONS:

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 Akron, Ohio 44333
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 ptaengineering.com

CLEVELAND DATA CENTER
 1625 ROCKWELL AVENUE
 CLEVELAND, OH 44114

H5 DATA CENTERS

BUILDING 4 - DATA CENTER EXPANSION

DWN: PTA INC.

CKD: J.J.J.

DATE ISSUED:

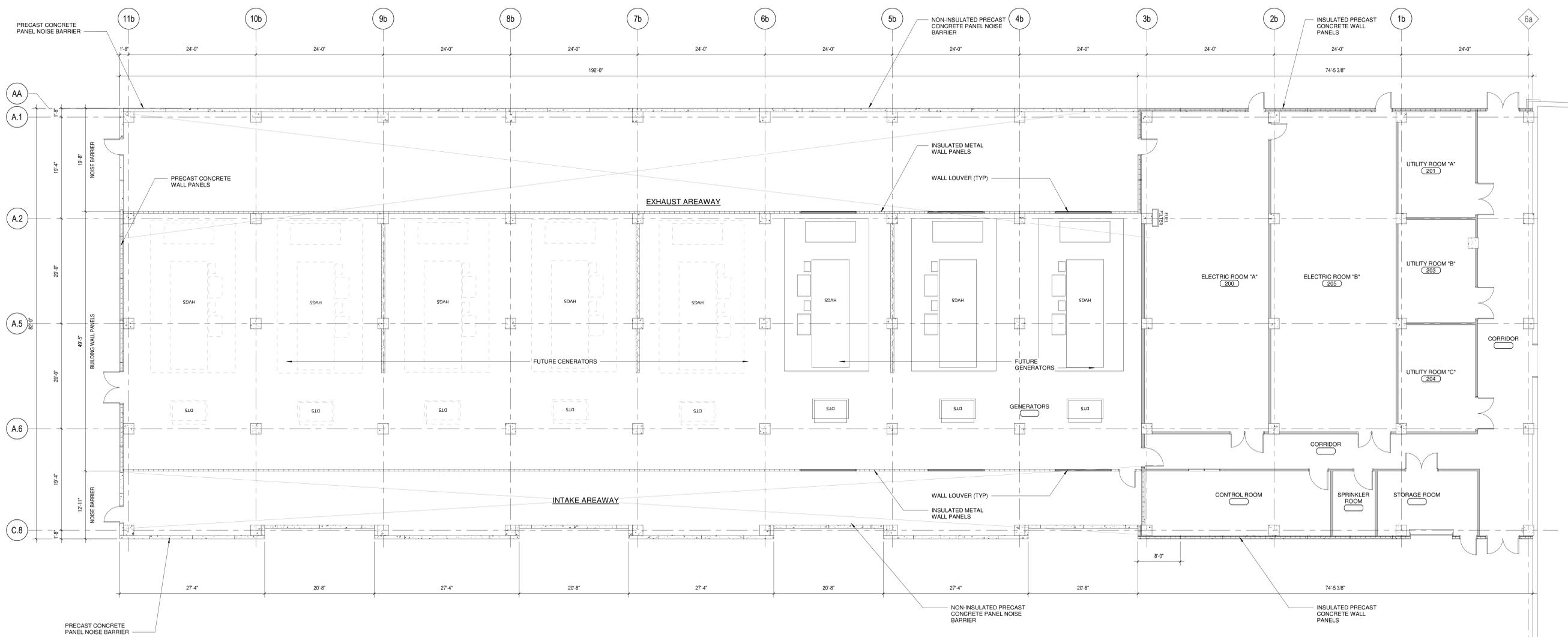
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SHEET TITLE:

SITE LIGHTING PLAN

DRAWING NUMBER:

ELO-1

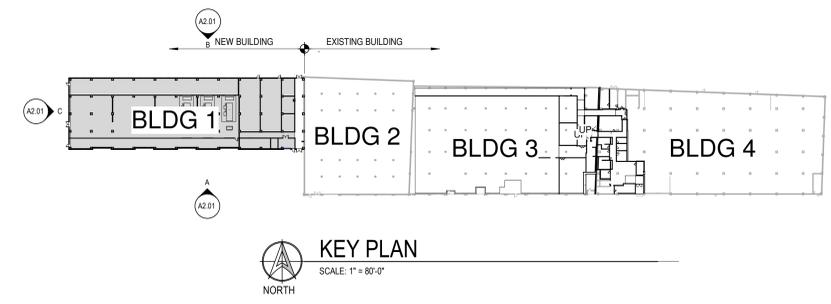


FIRST FLOOR PLAN - BLDG 1
 SCALE: 1/8" = 1'-0"
 NORTH

FLOOR PLAN KEYNOTES
 FP-01 -ENTER INFO-

- SYMBOL KEY**
- 100 DOOR TAG - REFER TO ENLARGED GUESTROOM PLANS FOR GUESTROOM DOOR TYPES
 - ⊙ FLOOR DRAIN - SLOPE FLOOR AS REQ.
 - ⬢ GYPSUM BOARD CONTROL JOINT LOCATION AS INDICATED AND AT 30'-0" MAX. SEE DETAIL ON WALL TYPE SHEET
 - ⊠ WINDOW TAG - COORDINATE WITH WINDOW TYPES
 - CG CORNER GUARD - COORDINATE WITH GUESTROOM AND PUBLIC AREA FINISHES

- GENERAL NOTES**
1. FIELD VERIFY EXISTING CONDITIONS / DIMENSION PRIOR TO START OF WORK.
 2. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED DURING CONSTRUCTION AND RENOVATION TO THE BUILDING.
 3. EXISTING FIRE DEPARTMENT VEHICLE ACCESS SHALL BE MAINTAINED DURING CONSTRUCTION.
 4. REFER TO CIVIL DRAWINGS FOR SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO: SIGNAGE, SIDEWALKS, CURBS, SITE SIGNAGE, IRRIGATION, AND STORM WATER MANAGEMENT.
 5. ALL NEW DOOR OPENING ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
 6. VERIFY ALL ROUGH OPENINGS OF ALL NEW DOORS AND WINDOWS WITH THE MANUFACTURER'S REQUIREMENTS.
 7. COORDINATE LOCATIONS OF NEW FIRE EXTINGUISHERS AND SEMI-RECESSED WALL CABINETS DESIGNATED AS FE OR FEO WITH THE LOCAL FIRE MARSHAL. COORDINATE WALL DEPTH REQUIRED FOR CABINET WITH FMR'S REQUIREMENTS.
 8. COORDINATE ALL FLOOR DRAIN LOCATIONS WITH PLUMBING DRAWINGS.



REVISIONS:
 03/23/22 PLANNING COMMISSION
 04/28/22 CITY REVIEW

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 ptaingineering.com

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 CLEVELAND, OH 44114

H5 DATA CENTERS

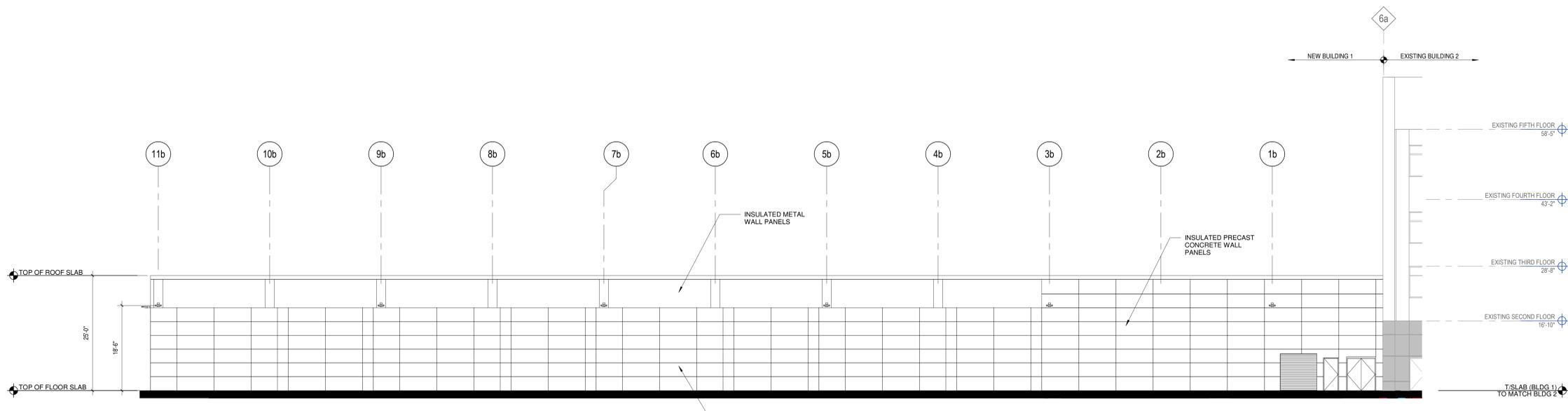
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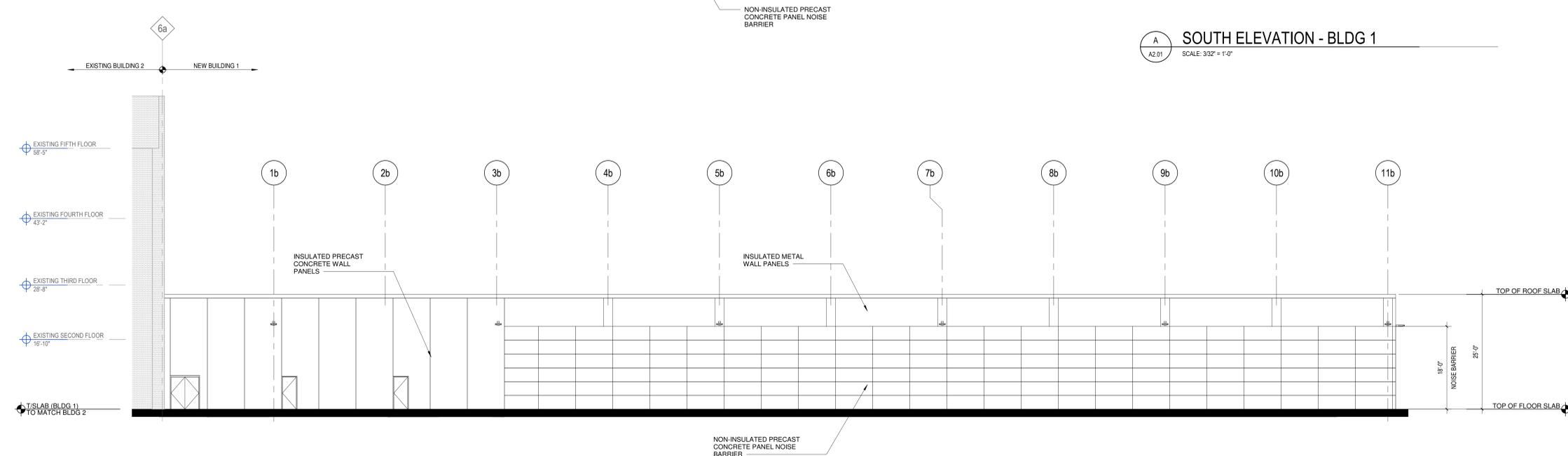
FIRST FLOOR PLAN - BLDG 1

DRAWING NUMBER:
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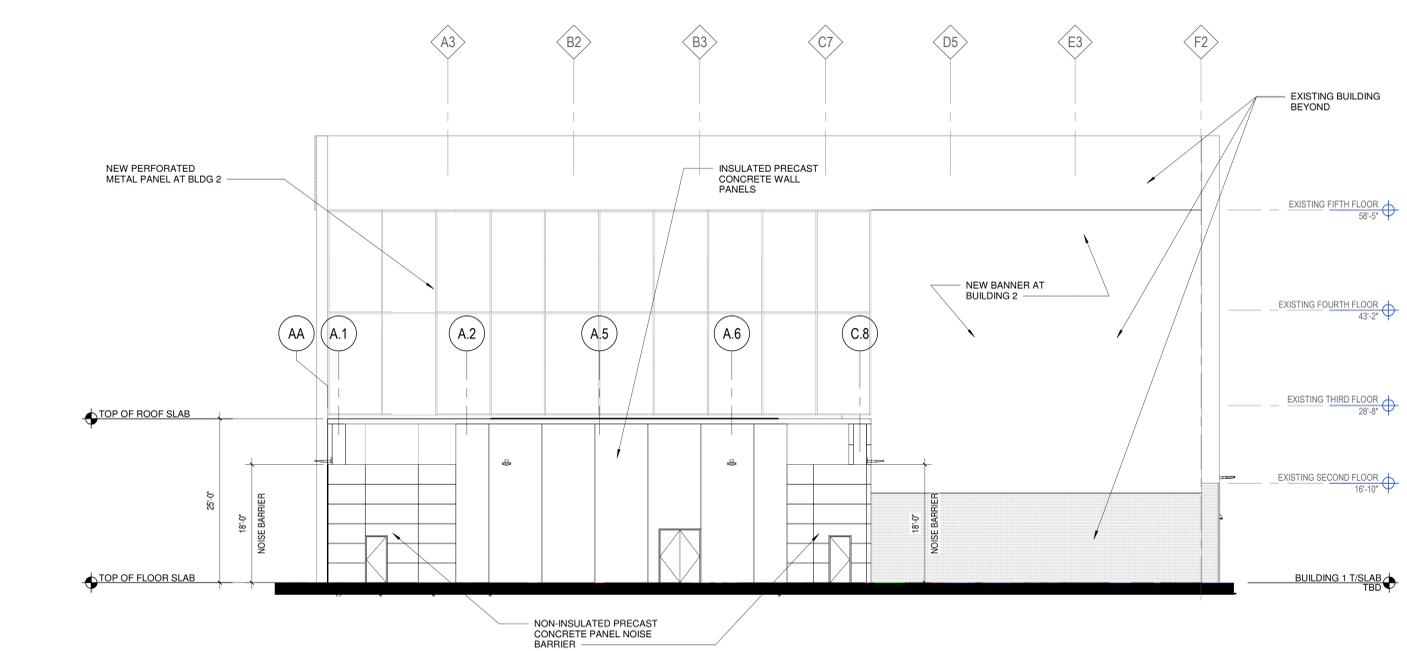
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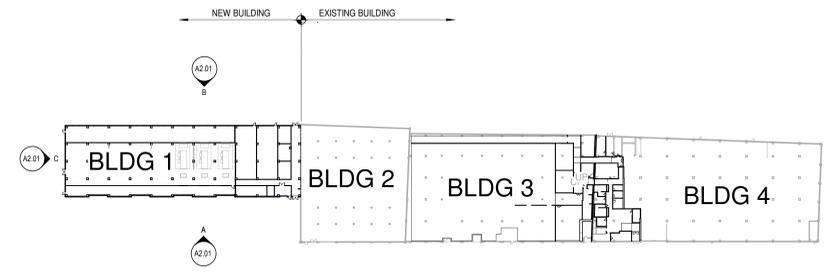
A SOUTH ELEVATION - BLDG 1
SCALE: 3/32" = 1'-0"



B NORTH ELEVATION - BLDG 1
SCALE: 3/32" = 1'-0"



C WEST ELEVATION - BLDG 1
SCALE: 3/32" = 1'-0"



KEY PLAN
SCALE: 1" = 80'-0"

ELEVATION KEYNOTES	
EE-01	KEY NOTE
EE-02	KEY NOTE
EE-03	KEY NOTE
EE-04	KEY NOTE

MATERIAL LEGEND	
COLOR	MATERIAL
1	EXTERIOR INSULATING FINISHING SYSTEM
2	MANUFACTURED STONE VENEER
3	ALUMINUM STOREFRONT
4	WINDOW WITH INTEGRAL LOUVER
5	LOUVER
6	WALL SIGN
7	HOLLOW METAL DOOR
8	WINDOW
9	MECHANICAL UNIT SCREEN WALL
10	SLIDING STOREFRONT DOOR
11	COPING SYSTEM
12	CANOPY
13	ALUMINUM DOOR
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REVISIONS:

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H5 DATA CENTERS

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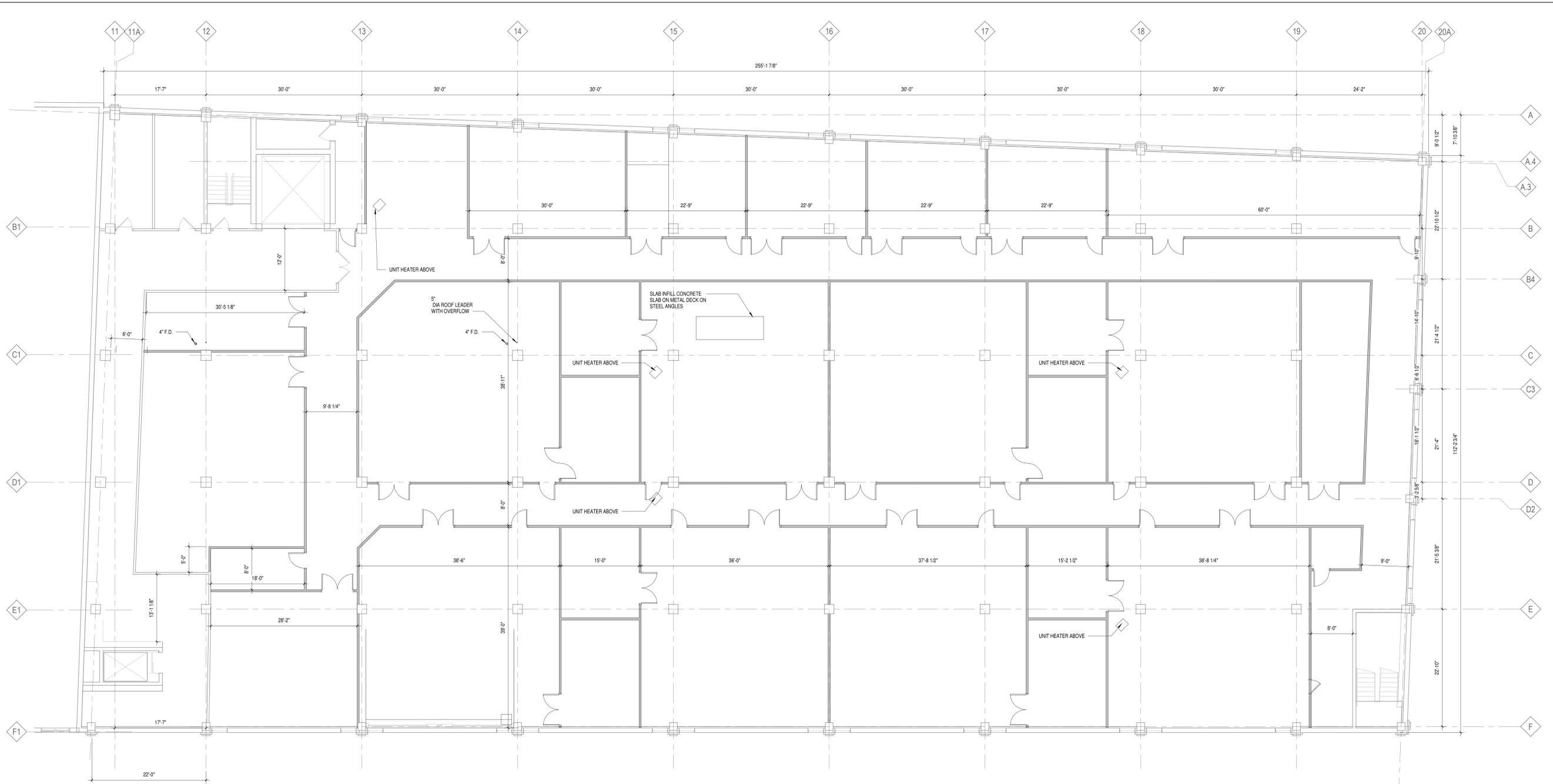
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SHEET TITLE:

EXTERIOR ELEVATIONS - BLDG 1

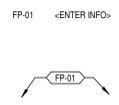
DRAWING NUMBER:

A2.01



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN KEYNOTES

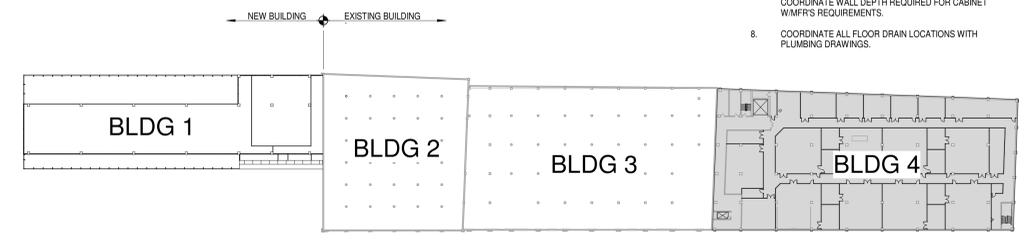


SYMBOL KEY

- 100 DOOR TAG - REFER TO ENLARGED GUESTROOM PLANS FOR GUESTROOM DOOR TYPES
- FLOOR DRAIN - SLOPE FLOOR AS REQ.
- GYPSUM BOARD CONTROL JOINT LOCATION AS INDICATED AND AT 30'-0" MAX. SEE DETAIL ON WALL TYPE SHEET
- WINDOW TAG: COORDINATE WITH WINDOW TYPES
- CORNER GUARD: COORDINATE WITH GUESTROOM AND PUBLIC AREA FINISHES
- SOUND ATTENUATING BATT INSULATION: PROVIDE WHERE INDICATED AND AS SPECIFIED ON THE WALL TYPES SHEET

GENERAL NOTES

1. FIELD VERIFY EXISTING CONDITIONS / DIMENSION PRIOR TO START OF WORK.
2. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED DURING CONSTRUCTION AND RENOVATION TO THE BUILDING.
3. EXISTING FIRE DEPARTMENT VEHICLE ACCESS SHALL BE MAINTAINED DURING CONSTRUCTION.
4. REFER TO CIVIL DRAWINGS FOR SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO: SIGNAGE, SIDEWALKS, CURBS, SITE SIGNAGE, IRRIGATION, AND STORM WATER MANAGEMENT.
5. ALL DOOR OPENING ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
6. VERIFY ALL ROUGH OPENINGS OF ALL DOORS AND WINDOWS WITH THE MANUFACTURER'S REQUIREMENTS.
7. COORDINATE LOCATIONS OF FIRE EXTINGUISHERS AND SEMI-RECESSED WALL CABINETS DESIGNATED AS FE OR FE(C) WITH THE LOCAL FIRE MARSHAL. COORDINATE WALL DEPTH REQUIRED FOR CABINET WITH FIRE REQUIREMENTS.
8. COORDINATE ALL FLOOR DRAIN LOCATIONS WITH PLUMBING DRAWINGS.



KEY PLAN - 2ND FLOOR
SCALE: 1" = 60'-0"

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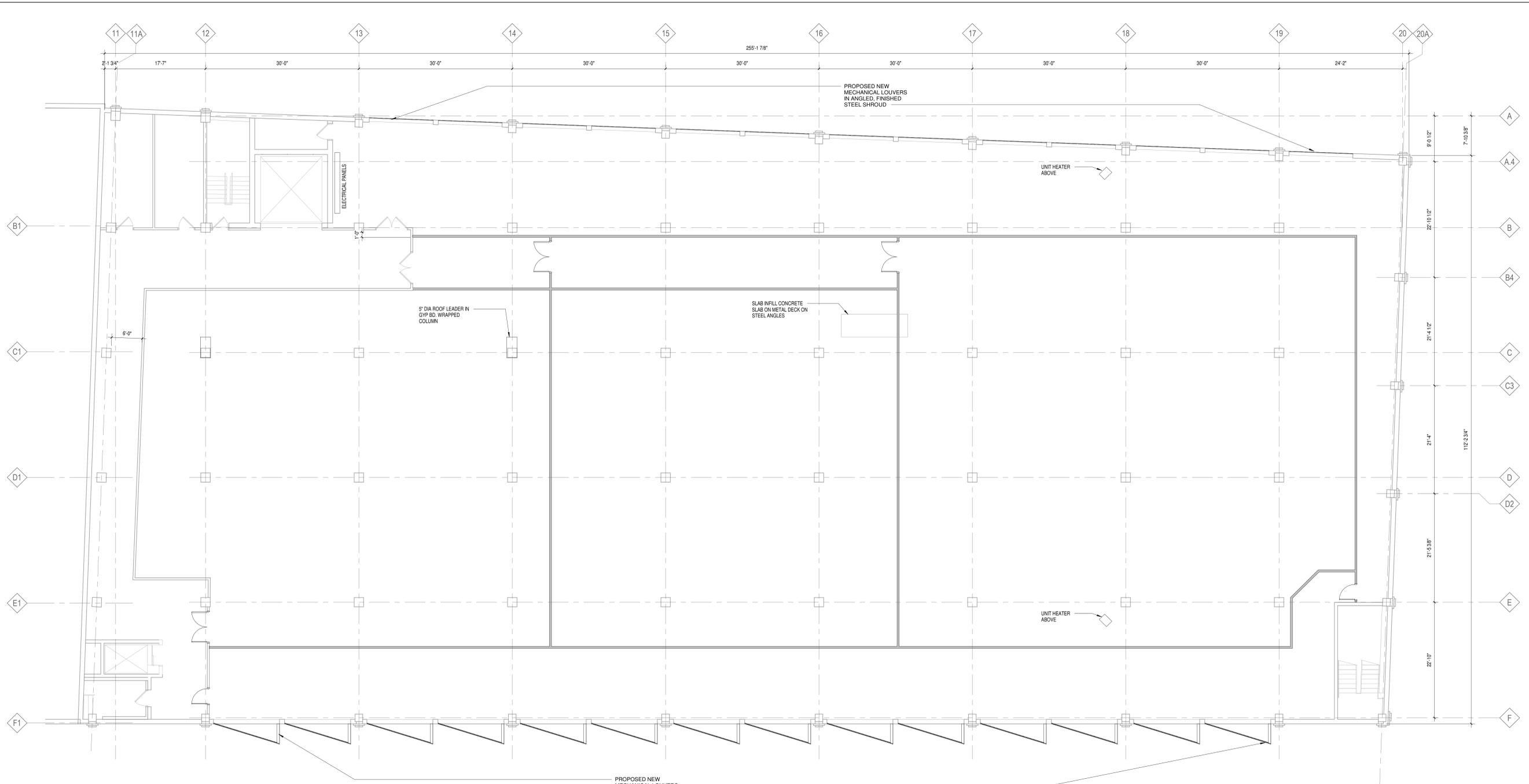
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SHEET TITLE:
SECOND FLOOR PLAN - BLDG 4

DRAWING NUMBER:
A1.02



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN KEYNOTES

- FP-01 <ENTER INFO>

SYMBOL KEY

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8. COORDINATE ALL FLOOR DRAIN LOCATIONS WITH PLUMBING DRAWINGS.



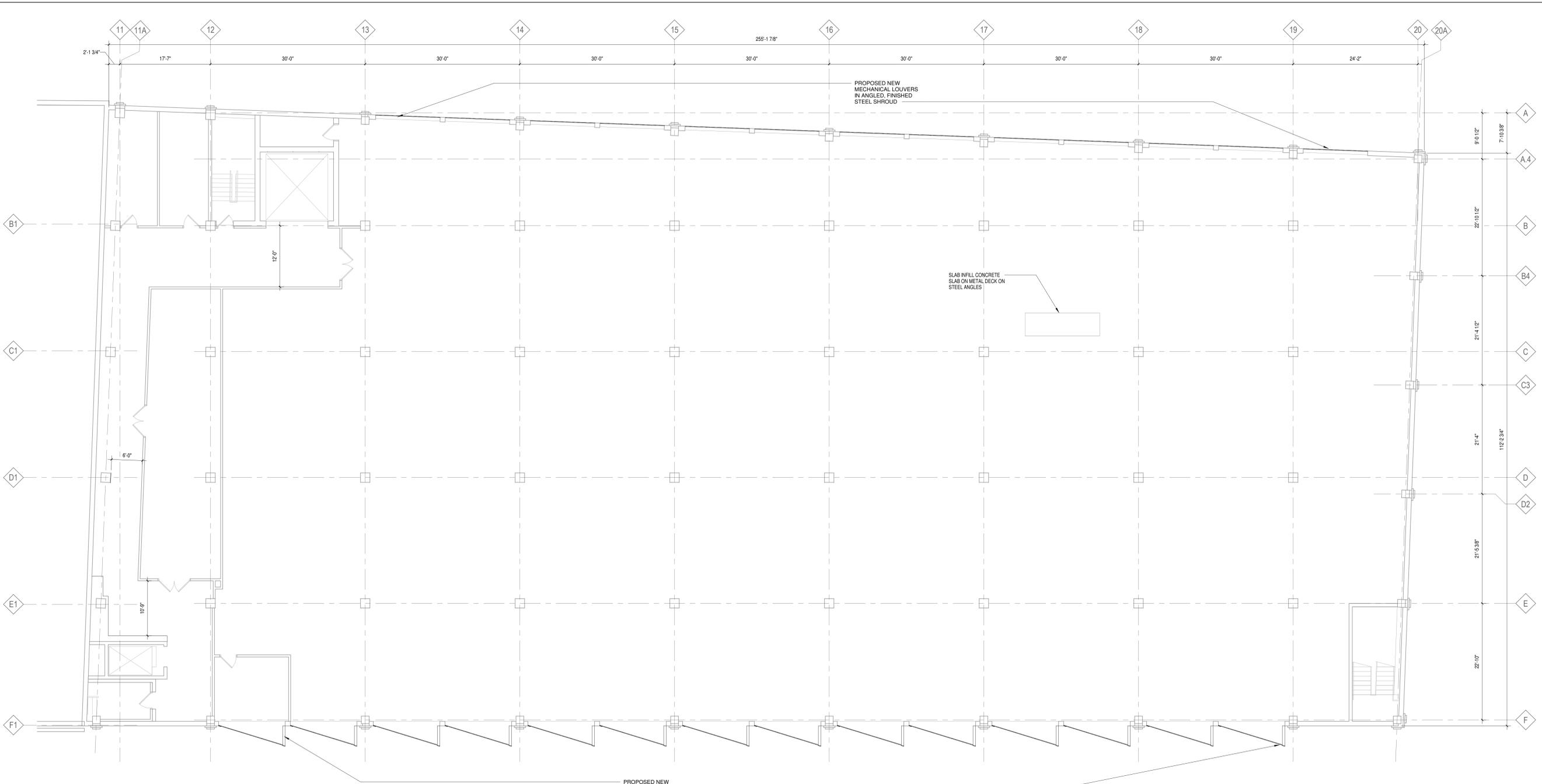
KEY PLAN - 3RD FLOOR
SCALE: 1" = 60'-0"



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<p>pta engineering 275 Springside Dr., Suite 300 Akron, Ohio 44333 Phone: 330-666-3702 ptaengineering.com</p>	
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<p>CKD: Checker</p>	
<p>DATE ISSUED:</p>	
<p>SHEET TITLE:</p>	
<p>THIRD FLOOR PLAN - BLDG 4</p>	
<p>DRAWING NUMBER:</p>	
<p>A1.03</p>	

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FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH

FLOOR PLAN KEYNOTES

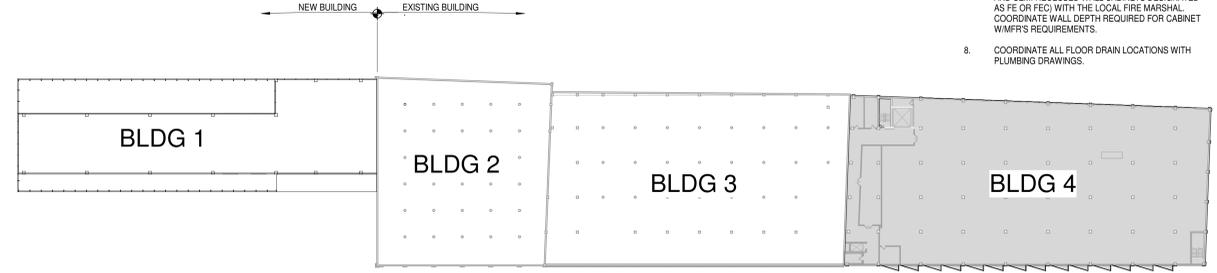
- FP-01 <ENTER INFO>
- FP-01

SYMBOL KEY

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8. COORDINATE ALL FLOOR DRAIN LOCATIONS WITH PLUMBING DRAWINGS.



KEY PLAN - 4TH FLOOR
SCALE: 1" = 50'-0"
NORTH

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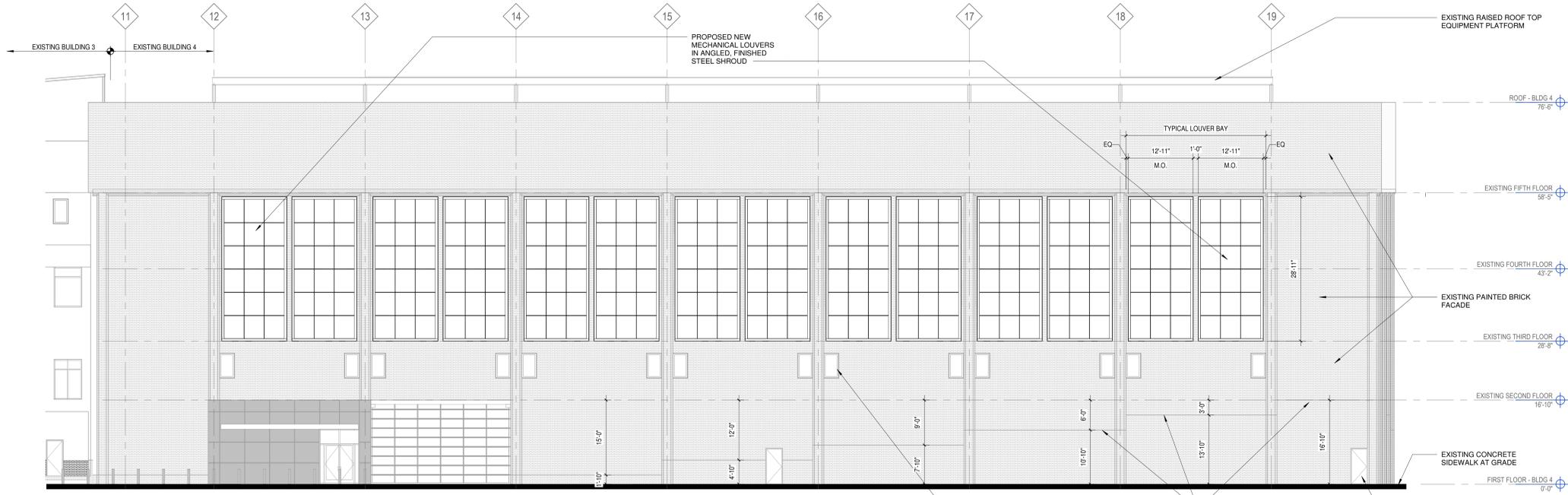
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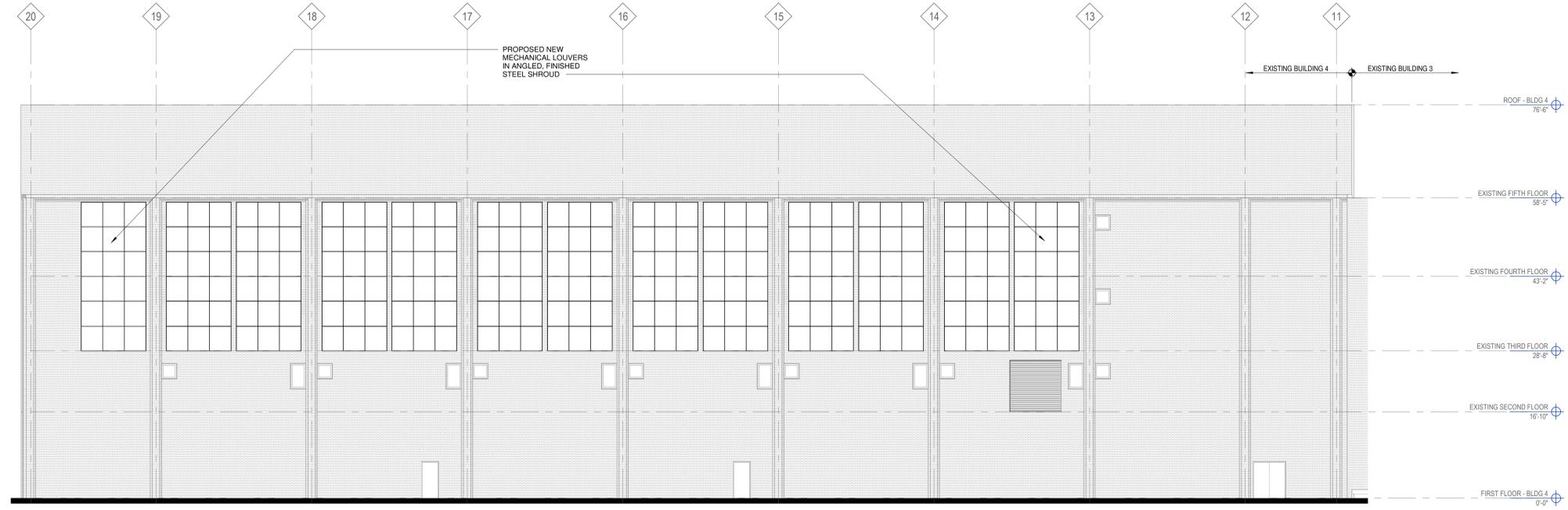
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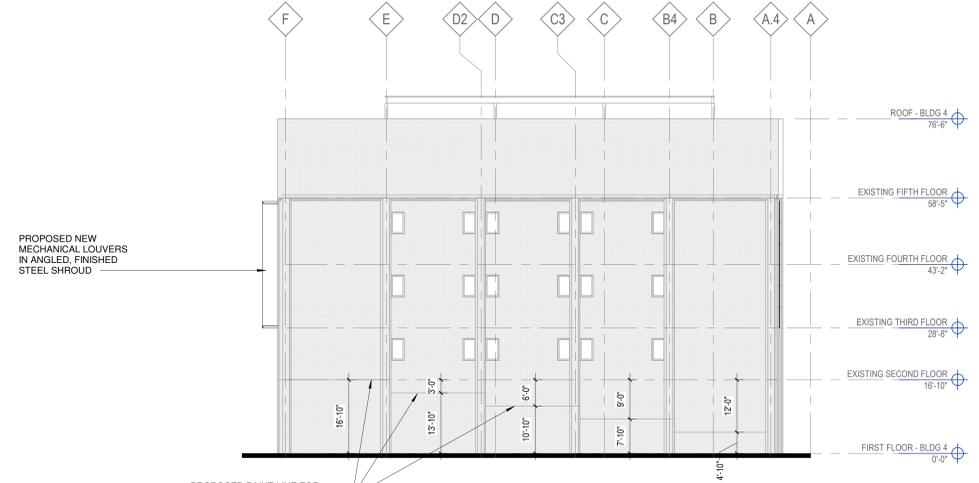
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SHEET TITLE:
FOURTH FLOOR PLAN - BLDG 4
DRAWING NUMBER:
A1.04



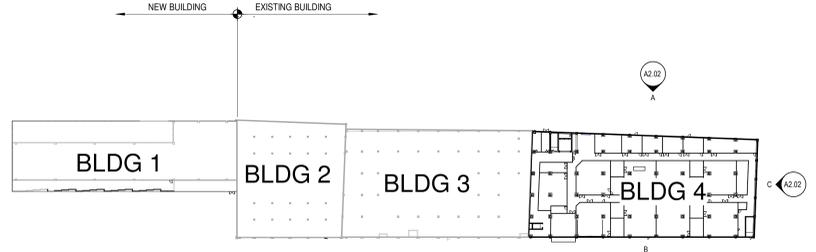
B SOUTH ELEVATION - BLDG 4
 A2.02 SCALE: 3/32" = 1'-0"



A NORTH ELEVATION - BLDG 4
 A2.02 SCALE: 3/32" = 1'-0"



C EAST ELEVATION - BLDG 4
 A2.02 SCALE: 1/16" = 1'-0"



KEY PLAN
 SCALE: 1" = 80'-0"

ELEVATION KEYNOTES	
EE-01	KEY NOTE
EE-02	KEY NOTE
EE-03	KEY NOTE
EE-04	KEY NOTE

MATERIAL LEGEND	
	MATERIAL
	COLOR

MATERIAL	
A	EXTERIOR INSULATING FINISHING SYSTEM
B	MANUFACTURED STONE VENEER
C	ALUMINUM STOREFRONT
D	WINDOW WITH INTEGRAL LOUVER
E	LOUVER
F	WALL SIGN
G	HOLLOW METAL DOOR
H	WINDOW
J	MECHANICAL UNIT SCREEN WALL
K	SLIDING STOREFRONT DOOR
L	COPING SYSTEM
M	CANOPY
N	ALUMINUM DOOR
P	
Q	
R	

COLOR	
1	SW-###
2	SW-###
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

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A2.02

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July 15, 2022

Committee Recommendation: Approved **unanimously** with Conditions

- Swap out buckthorn plant with non-invasive plant
- Step the fence several times inwards to create jogs in non-retaining wall section to break long wall of the fence
- If possible align curb cuts

Cleveland City Planning Commission

Special Presentations



July 15, 2022



July 15, 2022

Buckeye Neighborhood Plan: Seeking Final Approval

Presenter: Juleian Curtis, City Architecture



+

BUCKEYE NEIGHBORHOOD PLAN

City of Cleveland Planning Commission | July 15, 2022

PROJECT TEAM

PROJECT LEAD – Burten, Bell, Carr Development, Inc.

Joy Johnson

Bianca Butts

Ciara Wilson

Tiffany Allen-White

Michael McBride

Dawn Mayes (formerly)

CONSULTANT TEAM – CITY+

CITY ARCHITECTURE Planning & Urban Design

Alex Pesta

Michelle Bandy-Zalatoris

Juleian Curtis

Kentrell Lodge

SEVENTH HILL Community Outreach

David Jurca

Ariel Vergez

DESIGNEXPLORR Project Branding & Youth Engagement

Jacinda Walker

URBAN PARTNERS Market Analysis

Isaac Kwon

Christopher Lankenau

STEERING COMMITTEE

Lynda Bernays

Resident, Coordinator of Britton-127th St Block Club

Brandon Chrostowski

Founder, EDWINS Leadership & Restaurant Institute

Marka Fields

Resident, Assistant Planning Director, Cleveland City Planning

Bonita Henderson

Site Coordinator, Harvey Rice Wraparound School

Myichel Mallory

Resident, Promotion Solutionist

Michelle Walsh

Strategic Initiatives Director, Providence House

Pastor Robert Willard

Resident, The Meeting Place Church

Koya X

Resident, Founder, Coalition of the Willing

PROJECT GOALS



Goal #1

Develop a comprehensive community plan for the Greater Buckeye Neighborhood.



Goal #2

Consult with and convene the project steering committee to inform the framework of the planning strategy.



Goal #3

Lead a series of innovative and creative community gatherings that possess a positive user experience, while gaining insights and feedback from residents and stakeholders. Ensure that these events have a virtual and in-person option for participation.



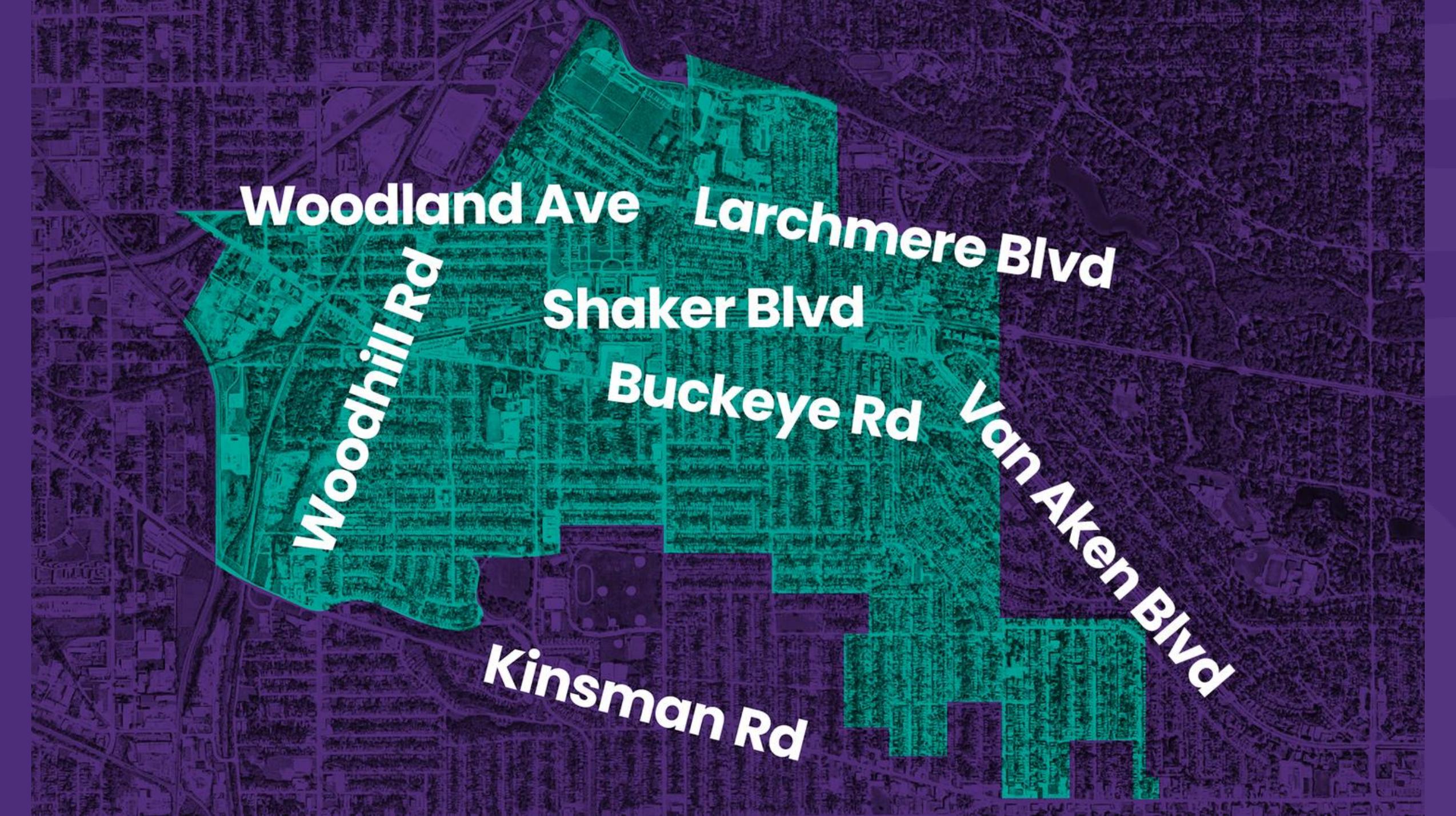
Goal #4

Embed within the masterplan existing redevelopment in the area, including new residential units on Larchmere, and the Woodhill Estates redevelopment strategy.



Goal #5

Identify opportunities for new developments and determine recommendations for implementation of the plan.



Woodland Ave

Larchmere Blvd

Shaker Blvd

Buckeye Rd

Van Aken Blvd

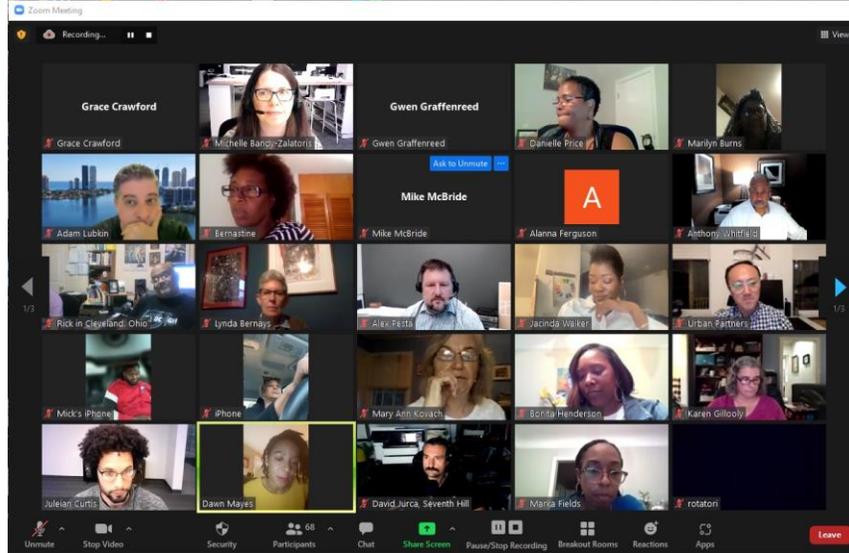
Kinsman Rd

Woodhill Rd

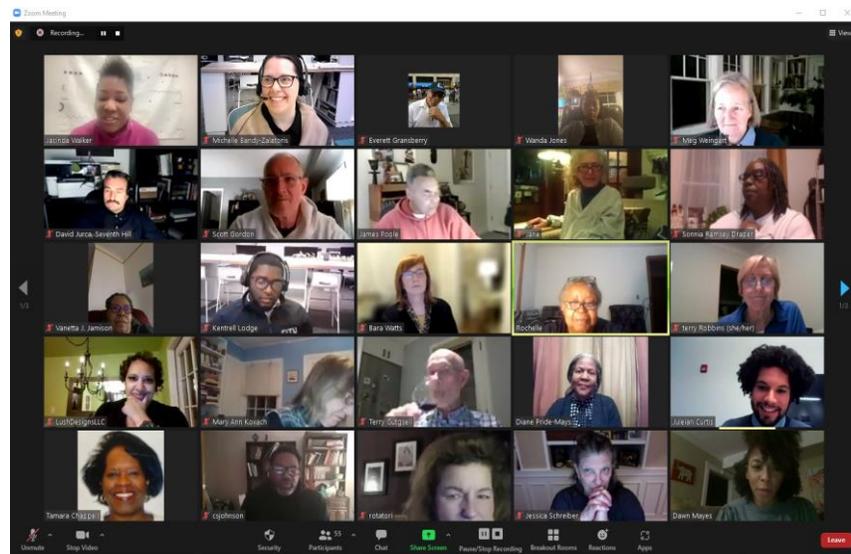
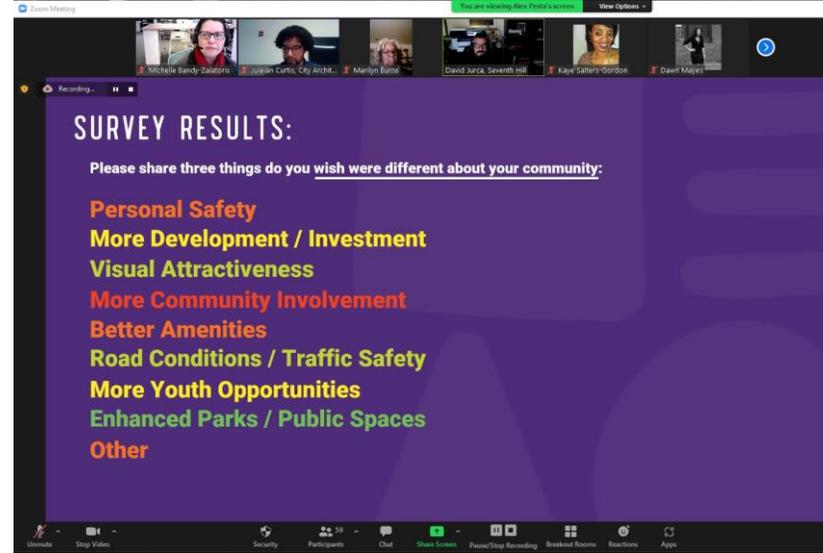


COMMUNITY EVENTS

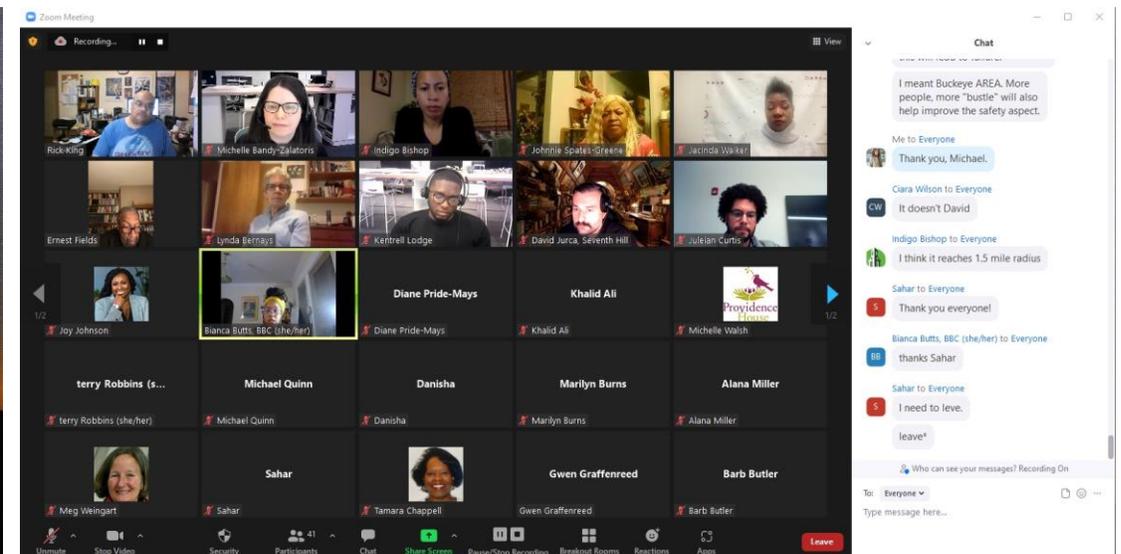
Kickoff Event – October 13, 2021 (74 participants)



Event #2 – November 30, 2021 (62 participants)



Event #3 – January 20, 2022 (58 participants)



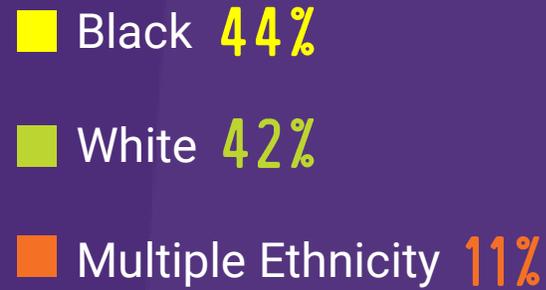
Event #4 – February 24, 2022 (64 participants)

SURVEY RESULTS: 120 PARTICIPANTS

74%

LIVE IN
BUCKEYE

SURVEY PARTICIPANTS



MY NEIGHBORHOOD IS CALLED...

Buckeye
Buckeye/Shaker
Larchmere
Shaker Square

Woodland Hills
Buckeye-Woodhill
CHALK

ABOUT MY NEIGHBORHOOD

I LOVE

People

Potential

Proximity

Places

Public Transportation / Mobility

I WISH THIS WAS DIFFERENT

Personal Safety

Better Amenities

More Development / Investment

Road Conditions / Traffic Safety

Visual Attractiveness

More Youth Opportunities

More Community Involvement

Enhanced Parks / Public Spaces





DESIGN
LEARNING
CHALLENGE

The Buckeye Neighborhood Youth Engagement workshop asks:

How might we design a better community?

The workshop produces a physical prototype, then concludes in a shared collaborative experience where students reflect and present their design solutions.

Top three things the students loved about their community:

**The houses,
the people,
and the parks**



HARVEY RICE

13
student attendees

SUNBEAM

12
student attendees

**INTERGENERATIONAL
SCHOOL**

15
student attendees

Top three problems students recognized about their community:

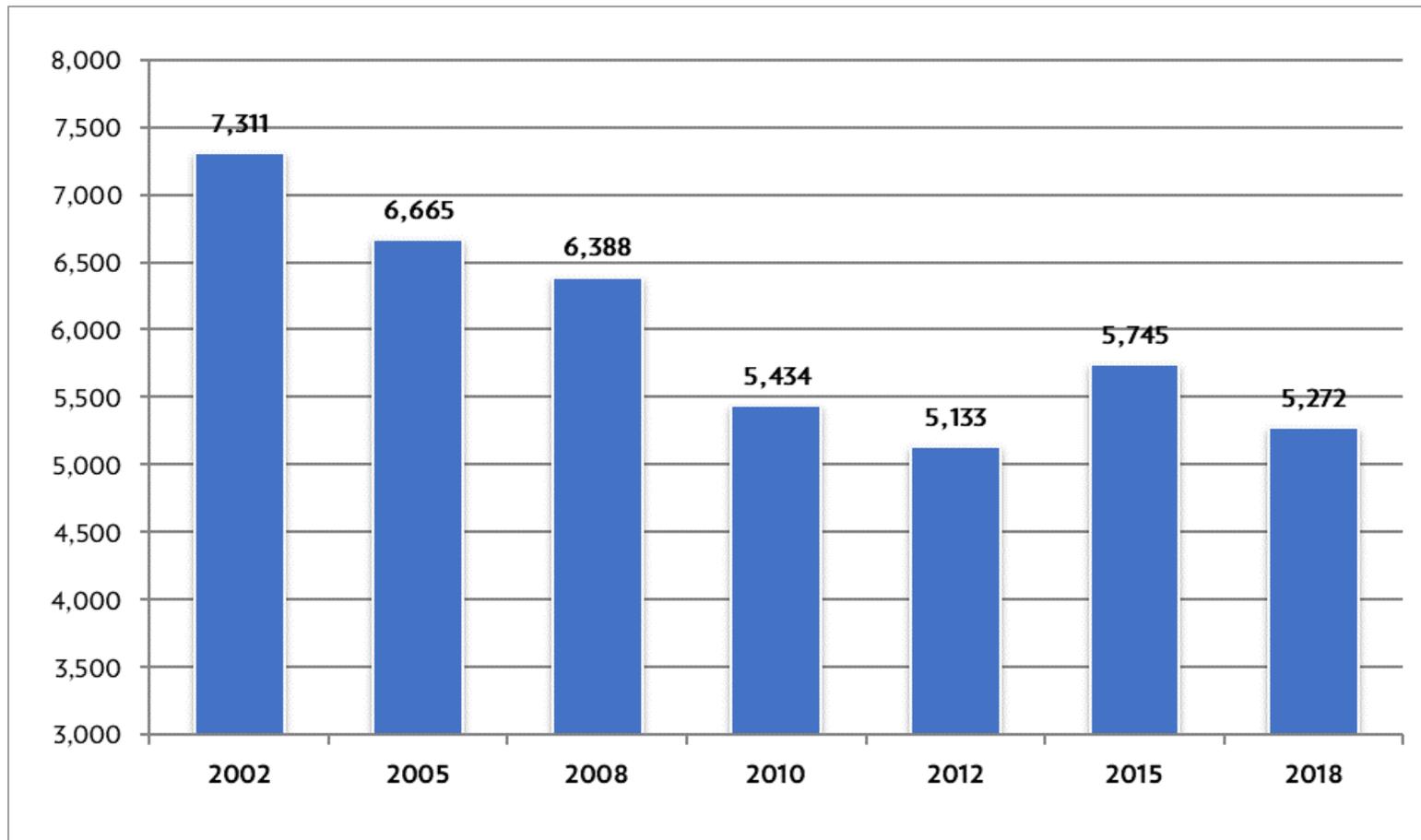
Safety, bullying, & world hunger



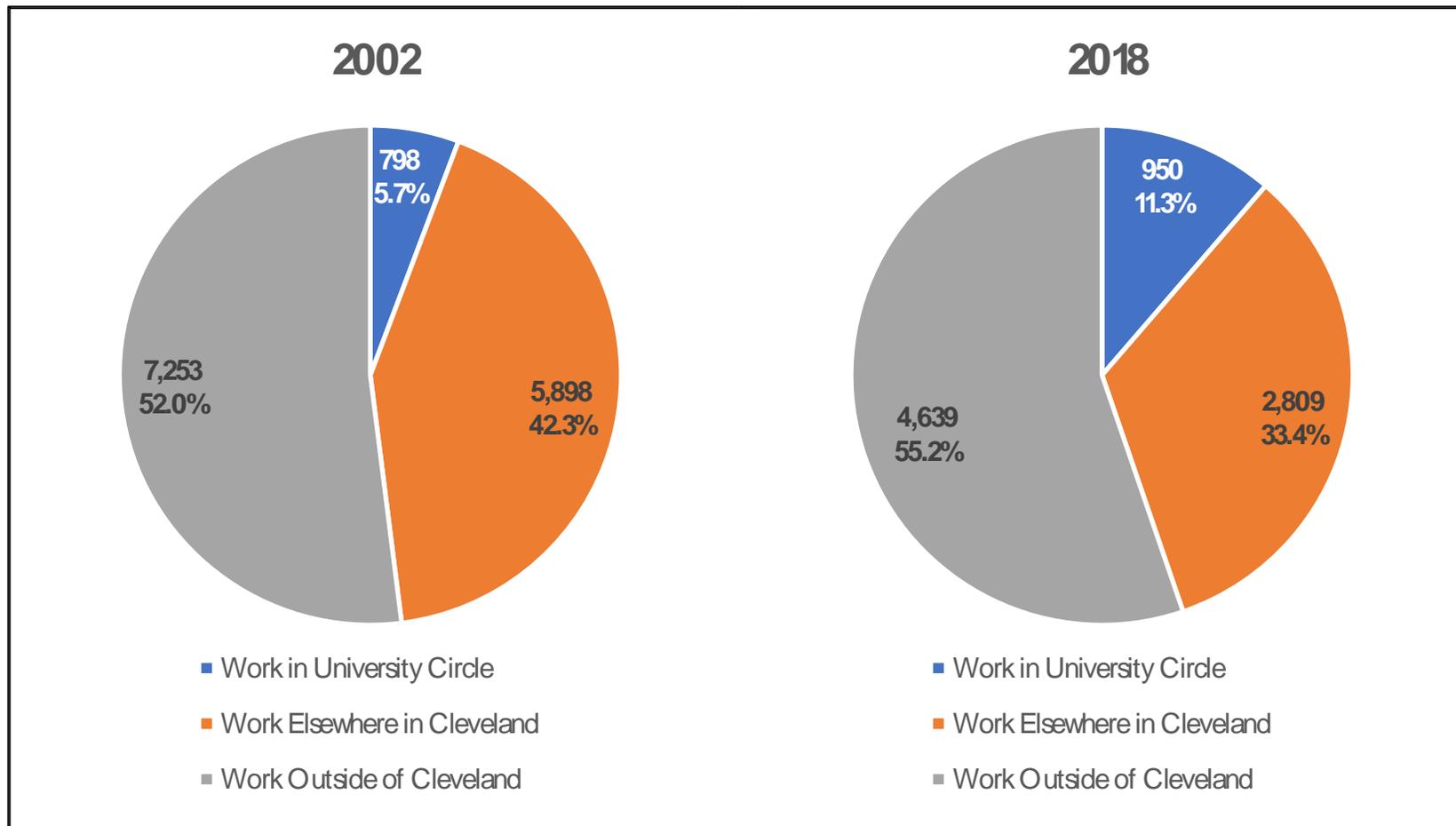
MARKET FINDINGS AND OPPORTUNITIES



JOBS LOCATED IN BUCKEYE



COMMUTING PATTERNS FOR RESIDENTS

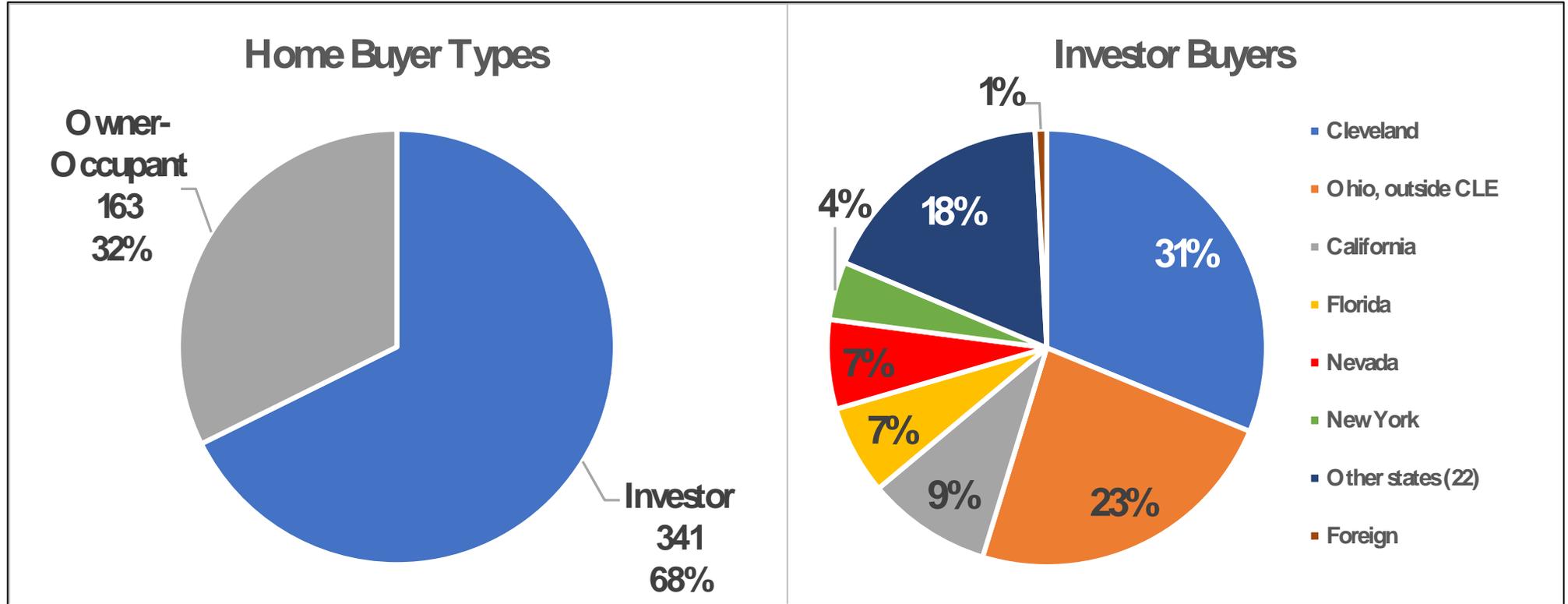


	Owner Occupants	%	Renter Occupants	%
Buckeye Households	4,255		8,062	
Less than 20%	2,489	58.5%	1,614	20.0%
20 to 29%	659	15.5%	1,551	19.2%
30% or more (cost burdened)	975	22.9%	4,050	50.2%
Zero or negative income/no cash rent	132	3.1%	847	10.5%

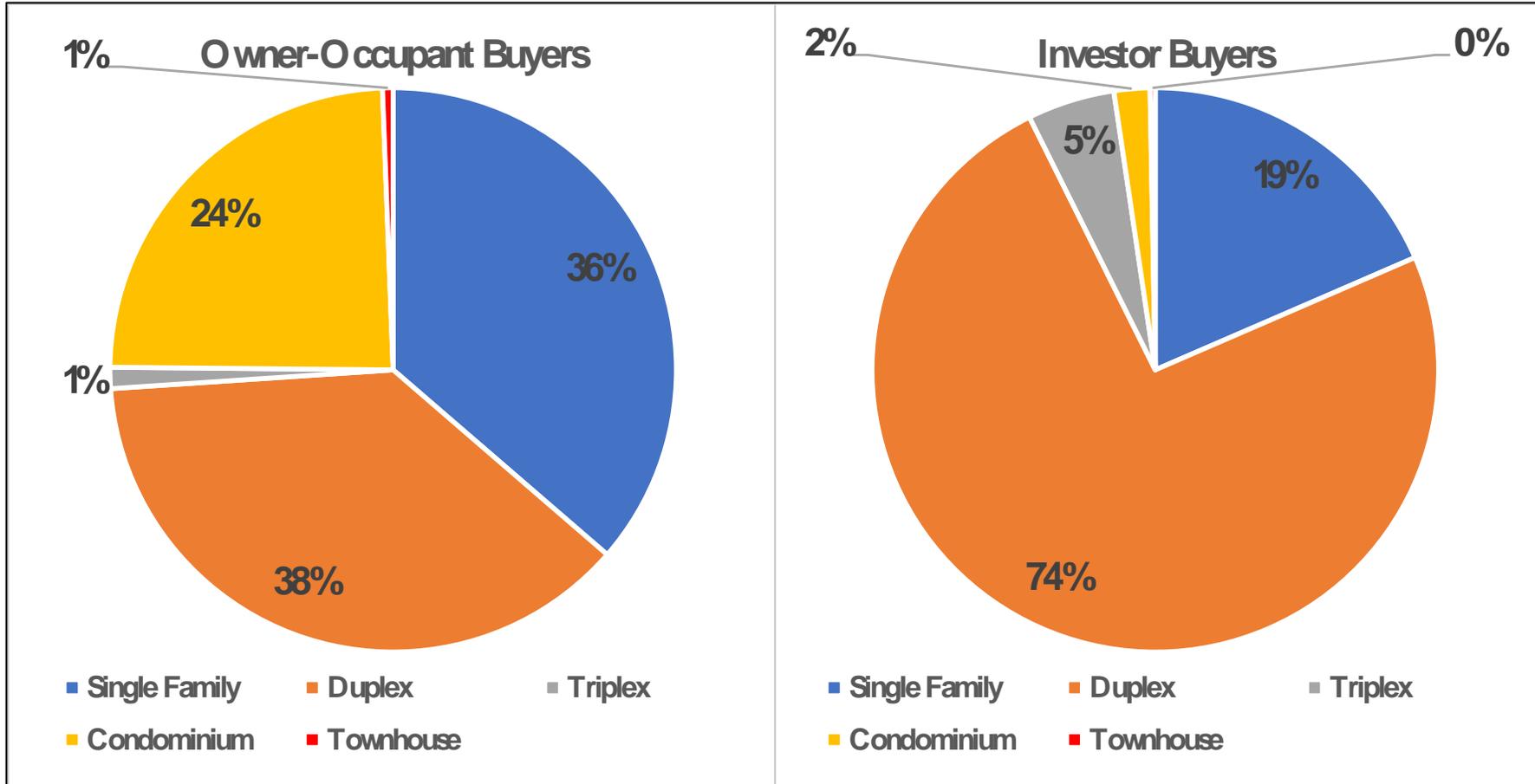
Over 60% of renters and 25% of homeowners are cost burdened

An affordable housing 'GAP' exists in the neighborhood

RESIDENTIAL INVESTOR ACTIVITY IN BUCKEYE



DISTRIBUTION OF SALES BY HOME AND BUYER TYPE



SALES HOUSING

GUIDED BY COMMUNITY INPUT

Economic Growth

Improved Safety

Neighborhood Unity

Inclusion

Affordability

Community-Wide Stability

Design Standards

ANTI-GENTRIFICATION!



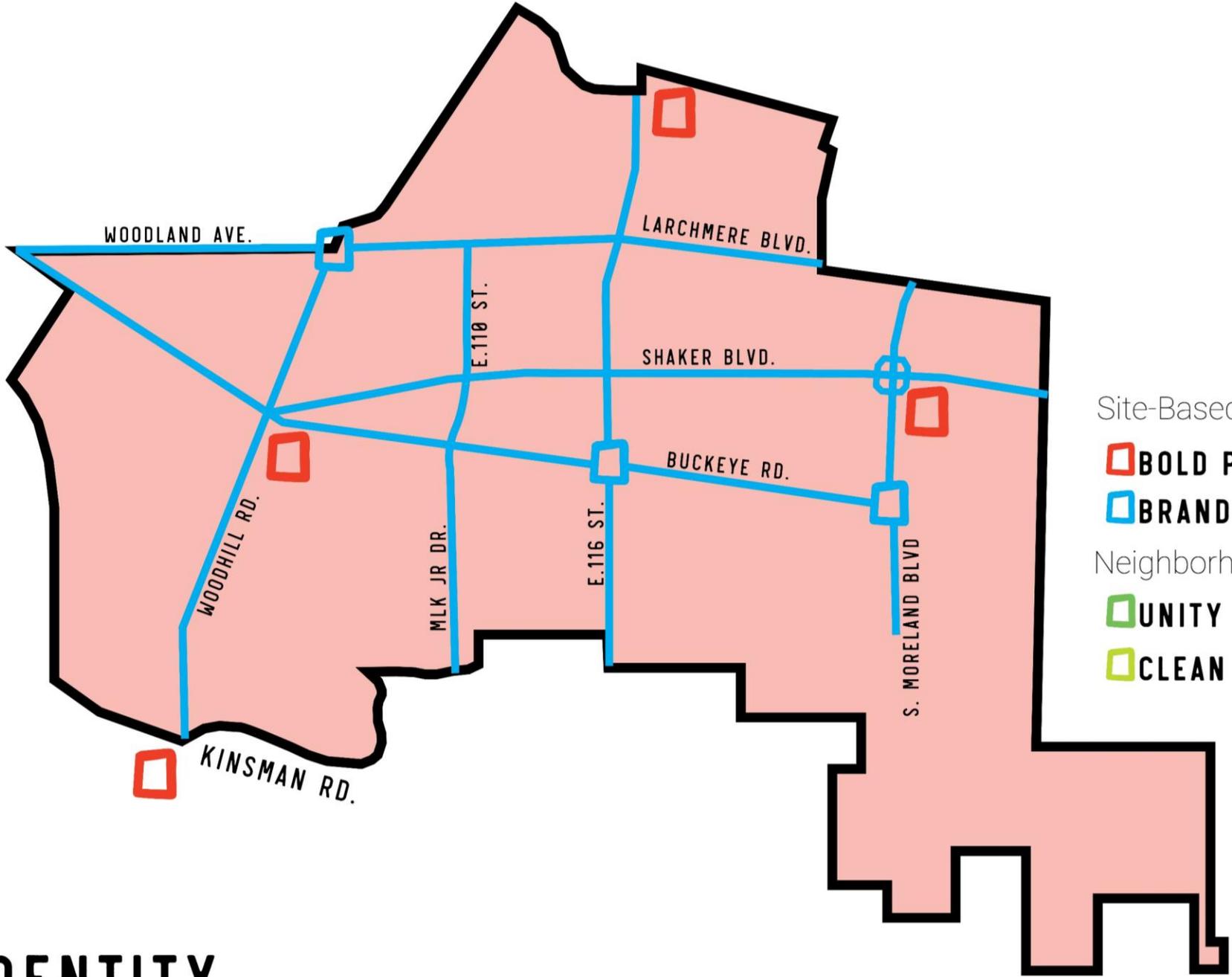
IDENTITY

ECONOMIC
STRENGTH

HOUSING
CHOICE

HEALTHY
CONNECTIONS





Site-Based

 **BOLD PLACEMAKING**

 **BRANDING & WAYFINDING**

Neighborhood-Wide

 **UNITY**

 **CLEAN UP**

RECOMMENDED ACTIONS

NEIGHBORHOOD CLEAN-UP

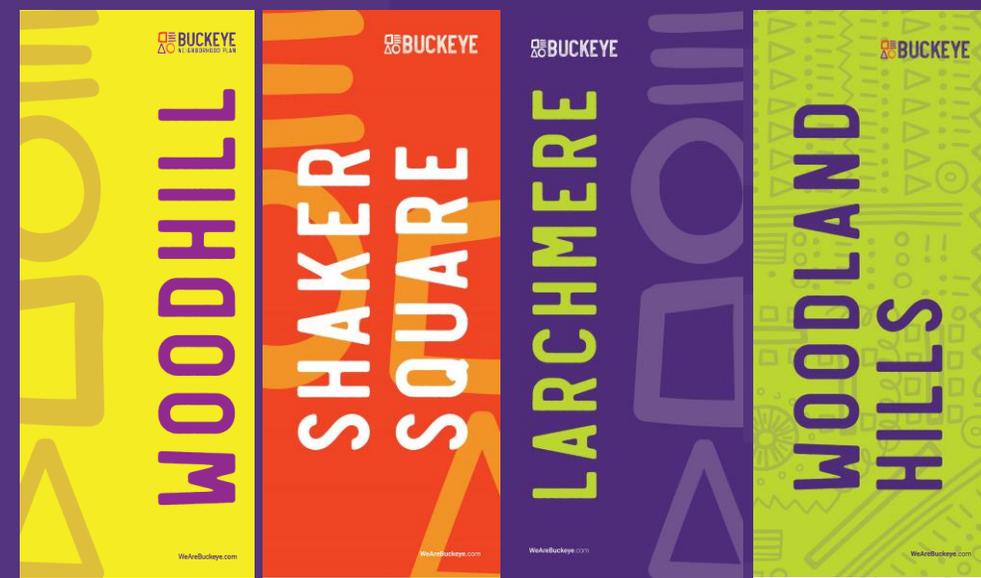
- BBC LED COMMUNITY CLEAN UP EVENTS
- CUYAHOGA COUNTY SOLID WASTE DISTRICT'S LITTER CLEAN-UP SUPPLIES PROGRAM
- BUILD UNITY THROUGH 'BEAUTIFUL BLOCK'

BRANDING & WAYFINDING

- ADOPTION OF A BUCKEYE NEIGHBORHOOD BRAND IDENTITY
- UTILIZE THE RECOMMENDATIONS SET FORTH IN ELEVATE THE EAST
- BUILDING OFF THE 'PROVIDENCE HOUSE EFFECT'
- NEIGHBORHOOD COMMUNITY MARKETING CAMPAIGN

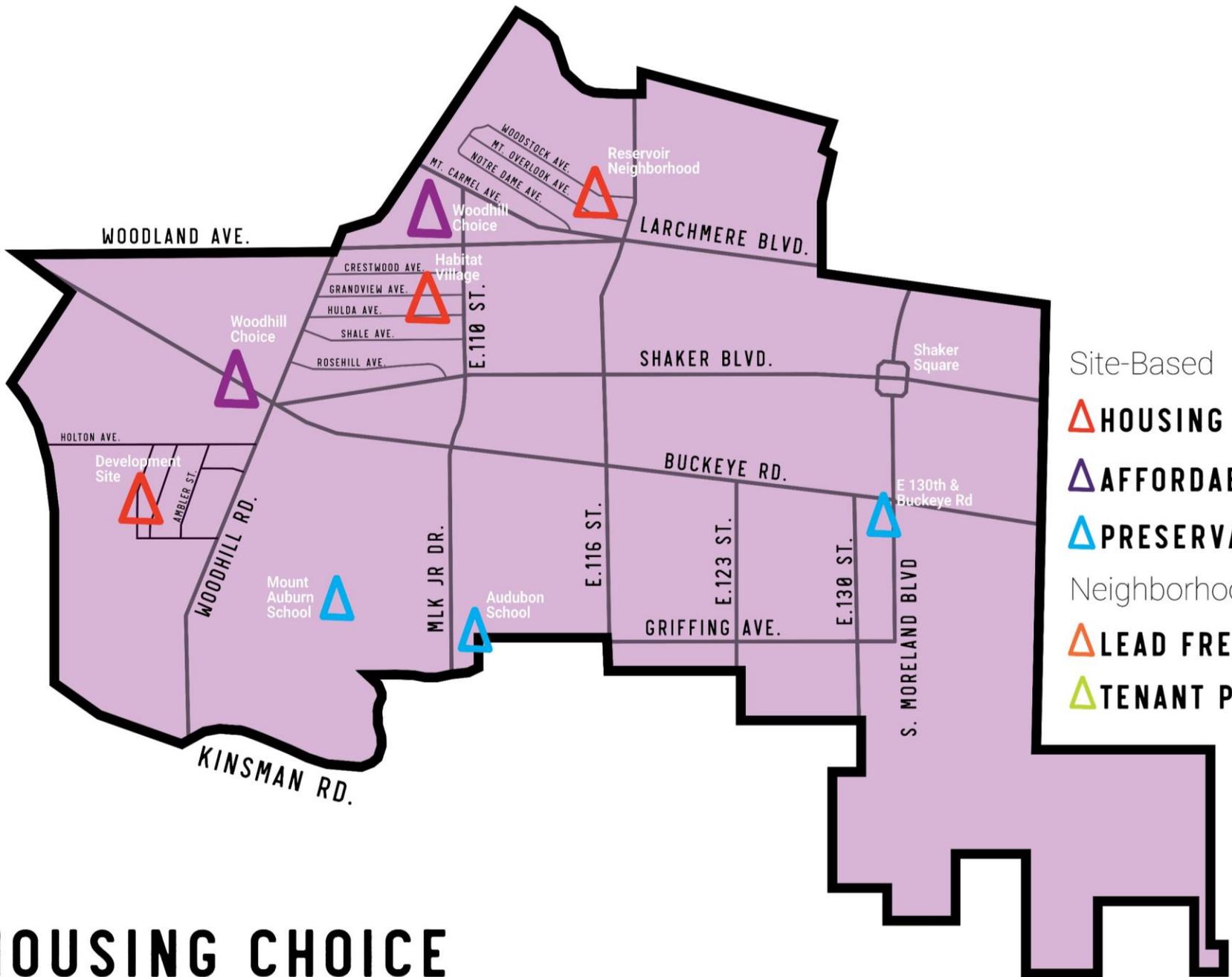
UNITY

- LEVERAGING THE LOCAL GRASSROOTS LEADERS TO BRING PEOPLE TOGETHER
- STRENGTHEN COLLABORATION BETWEEN WARD 6 AND WARD 4
- TARGETED OUTREACH IN WARD 4
- IMPROVING NEIGHBORHOOD PERCEPTIONS



BUCKEYE ROAD





Site-Based

 HOUSING OPTIONS

 AFFORDABILITY

 PRESERVATION & ACQUISITION

Neighborhood-Wide

 LEAD FREE BUCKEYE

 TENANT PROTECTION

 HOUSING CHOICE

[#WOODHILLUPNEXT](https://twitter.com/WOODHILLUPNEXT)

Mayor's Transformation Initiative

RECOMMENDED ACTIONS

PRESERVATION & ACQUISITION

- LIMIT OUT-OF-TOWN INVESTOR OWNERSHIP
- CREATION OF A LOAN POOL PROGRAM THAT ALLOWS FOR LOW INTEREST HOME LOANS
- LOCAL LABOR HELPING TO BUILD LOCAL WEALTH.
- COMMUNITY LAND TRUST

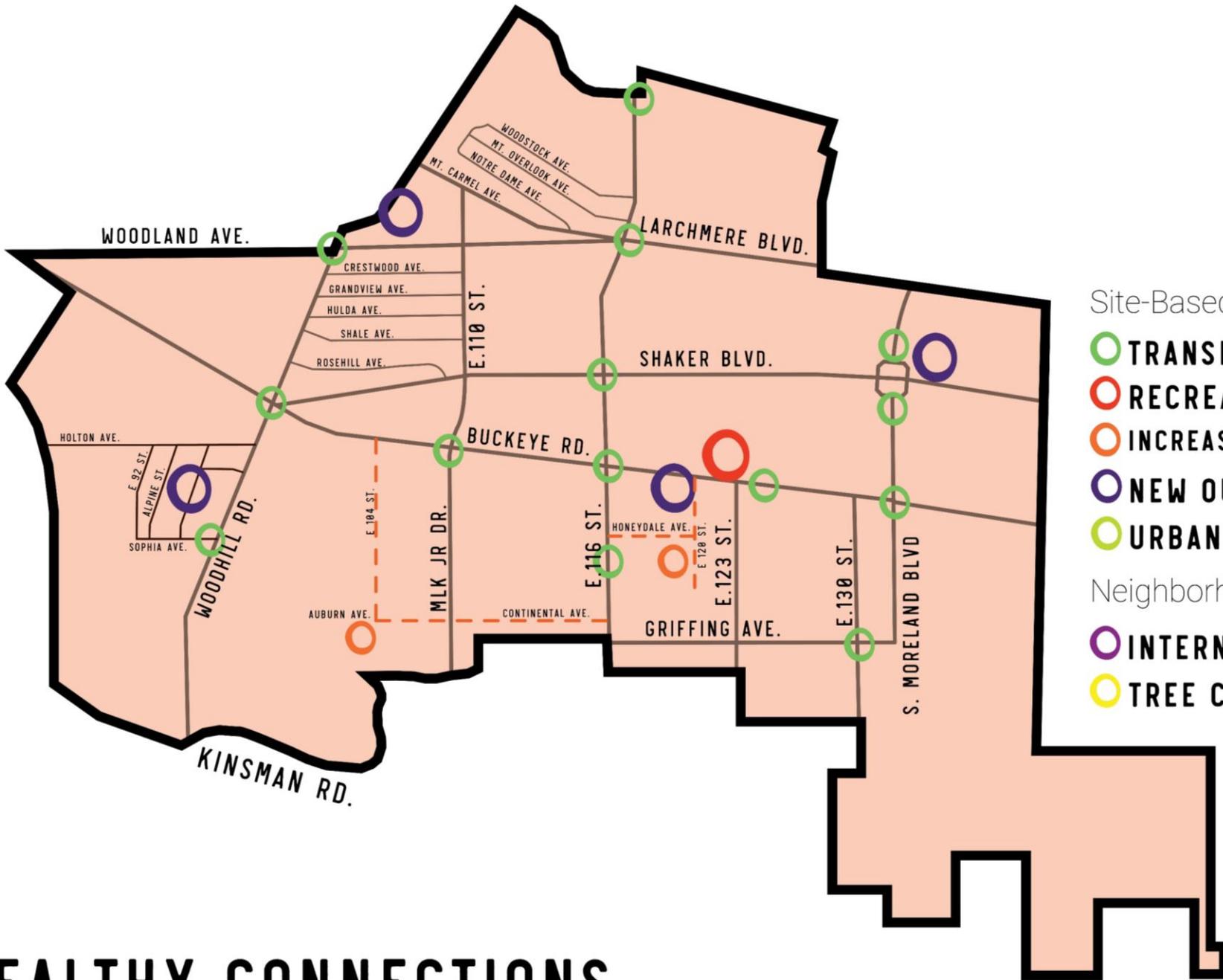
MAINTAINING AFFORDABILITY

- LEVERAGING THE WOODHILL HOMES CHOICE REDEVELOPMENT
- COMMUNITY BENEFITS AGREEMENT
- LEASE PURCHASE PROGRAM MANAGED BY BBC OR OTHER ENTITY

PROVIDING HOUSING OPTIONS

- MULTIPLE HOUSING TYPES TO ATTRACT AND MAINTAIN A VARIETY OF USERS
 - TOWNHOUSE
 - SINGLE FAMILY
 - DUPLEX
 - MIXED-USE
 - OTHER
- BLENDING RENTAL, HOMEOWNERSHIP, LEASE TO OWN, CONDOMINIUMS, AND OTHERS





Site-Based

- TRANSIT STOPS
- RECREATION FACILITY
- INCREASED MULTI-MODAL OPTIONS
- NEW OUTDOOR SPACES
- URBAN FARM

Neighborhood-Wide

- INTERNET ACCESS
- TREE CANOPY



RECOMMENDED ACTIONS

IMPROVED TRANSIT WAITING ENVIRONMENTS

- BETTER PROTECT USERS FROM THE ELEMENTS, AND ENHANCE TECHNOLOGY
- STRATEGIC PLACEMENT OF BUS SHELTERS ALONG BUCKEYE ROAD CORRIDOR
- PLACEMAKING FEATURES AND PUBLIC ART

NEW & CREATIVE OUTDOOR SPACES TO GATHER

- LEVERAGE CONTIGUOUS LAND BANK LOTS FOR PUBLIC GATHERING SPACES
- NEW ACTIVE SPACES: DOG & SKATE PARK
- RETURN LONG VACANT LAND TO ITS NATURAL STATE
- ANIMAL SANCTUARY (HIGH YOUTH DEMAND!)

EQUITABLE INTERNET ACCESS

- EXTENSION OF EMPOWERCLE NETWORK

INCREASED TRANSPORTATION OPTIONS

- USING THE BUCKEYE ROAD REFRESH AS A GUIDE FOR ROADWAY ENHANCEMENT
- CREATE SPACES FOR SHARED SCOOTER DOCKING AND UTILIZATION
- TRAFFIC CALMING MEASURES ALONG NEIGHBORHOOD STREETS

RECREATION CENTER

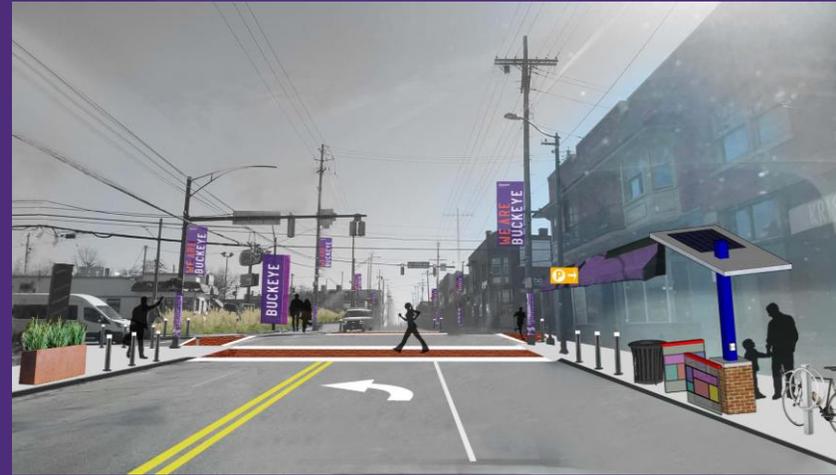
- EXPLORE THE FEASIBILITY OF ADDING A RECREATION CENTER
- MULTI-USE SPACE WITH TECHNOLOGY INTEGRATION



BUCKEYE ROAD



BUCKEYE RD & MLK JR DR

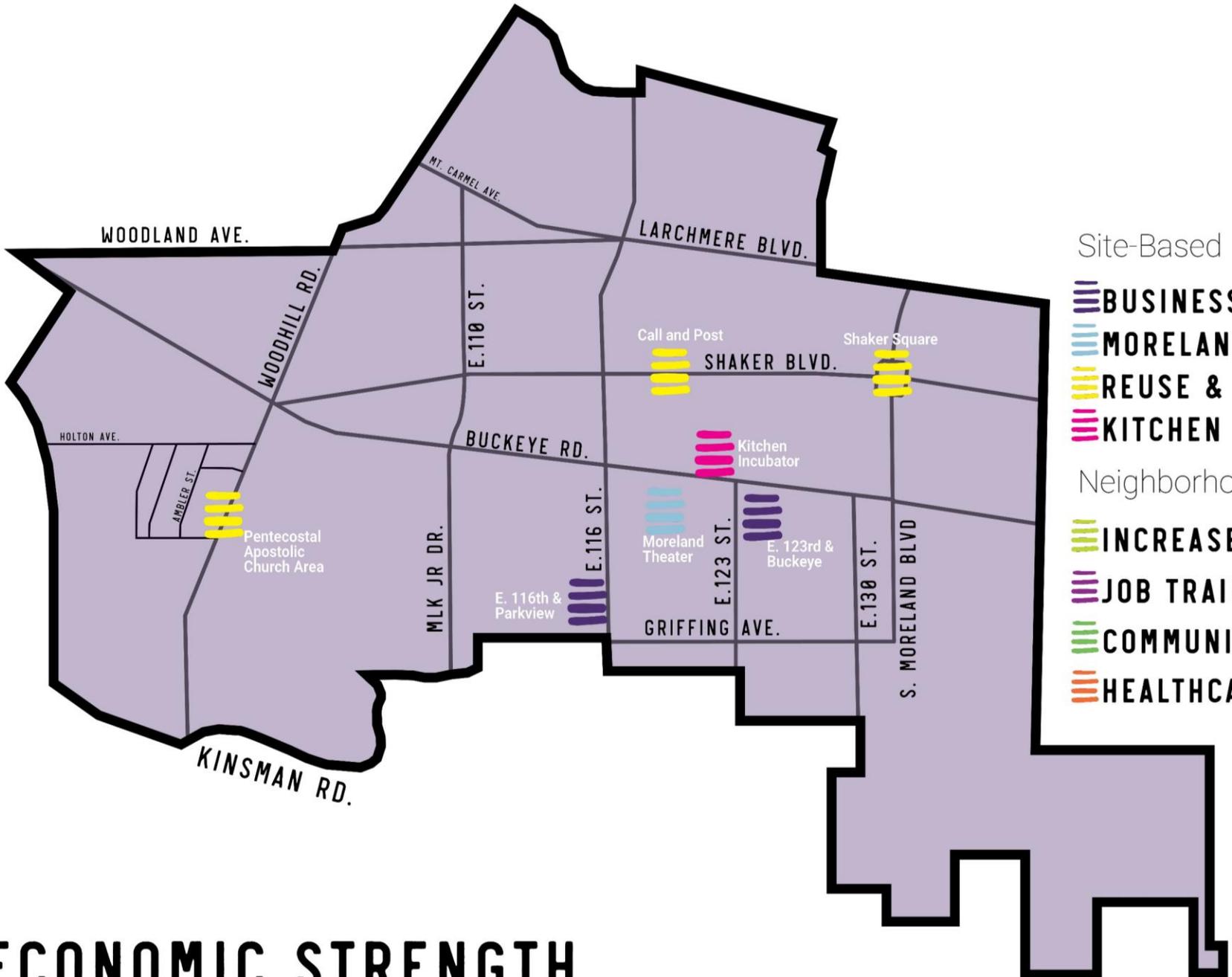


BUCKEYE RD & E 116TH ST



BUCKEYE RD & E 125TH ST

ECONOMIC STRENGTH



Site-Based

-  BUSINESS STARTUPS
-  MORELAND THEATER
-  REUSE & RESTORATION
-  KITCHEN INCUBATOR

Neighborhood-Wide

-  INCREASED BUSINESS VARIETY
-  JOB TRAINING
-  COMMUNITY DIRECTORY
-  HEALTHCARE OPPORTUNITIES



RECOMMENDED ACTIONS

SMALL BUSINESS STARTUPS/INCUBATORS

- PROMOTION OF BUSINESS STARTUPS ON BUCKEYE ROAD
- ESTABLISH CO-OP PROGRAM - 'CLEVELAND OWNS'
- SMALL BUSINESS SUPPORTS
- COLLABORATION AND COORDINATION WITH LARGE LAND HOLDERS ON BUCKEYE
- UTILIZE VACANT SPACES FOR POP-UP SHOPS

JOB TRAINING & SUPPORT

- YOUTH TRAINING PROGRAMS CONNECTED TO STEAM AND CONSTRUCTION TRADES
- INTERNSHIP/SHADOWING OPPORTUNITIES FOR SMALL BUSINESS DEVELOPMENT AND STARTUPS
- UNION LED TRAINING PROGRAMS WITHIN VACANT SPACES
- FINANCIAL LITERACY TRAINING

KITCHEN INCUBATOR

- NEW FOOD HUB IN VACANT SPACE ALONG BUCKEYE
- PURSUE CLEVELAND CENTRAL KITCHEN INCUBATOR EXPANSION
- SUPPORT GHOST KITCHEN SPACE
- CONNECTING WITH EDWINS TRAINING PROGRAM MODEL

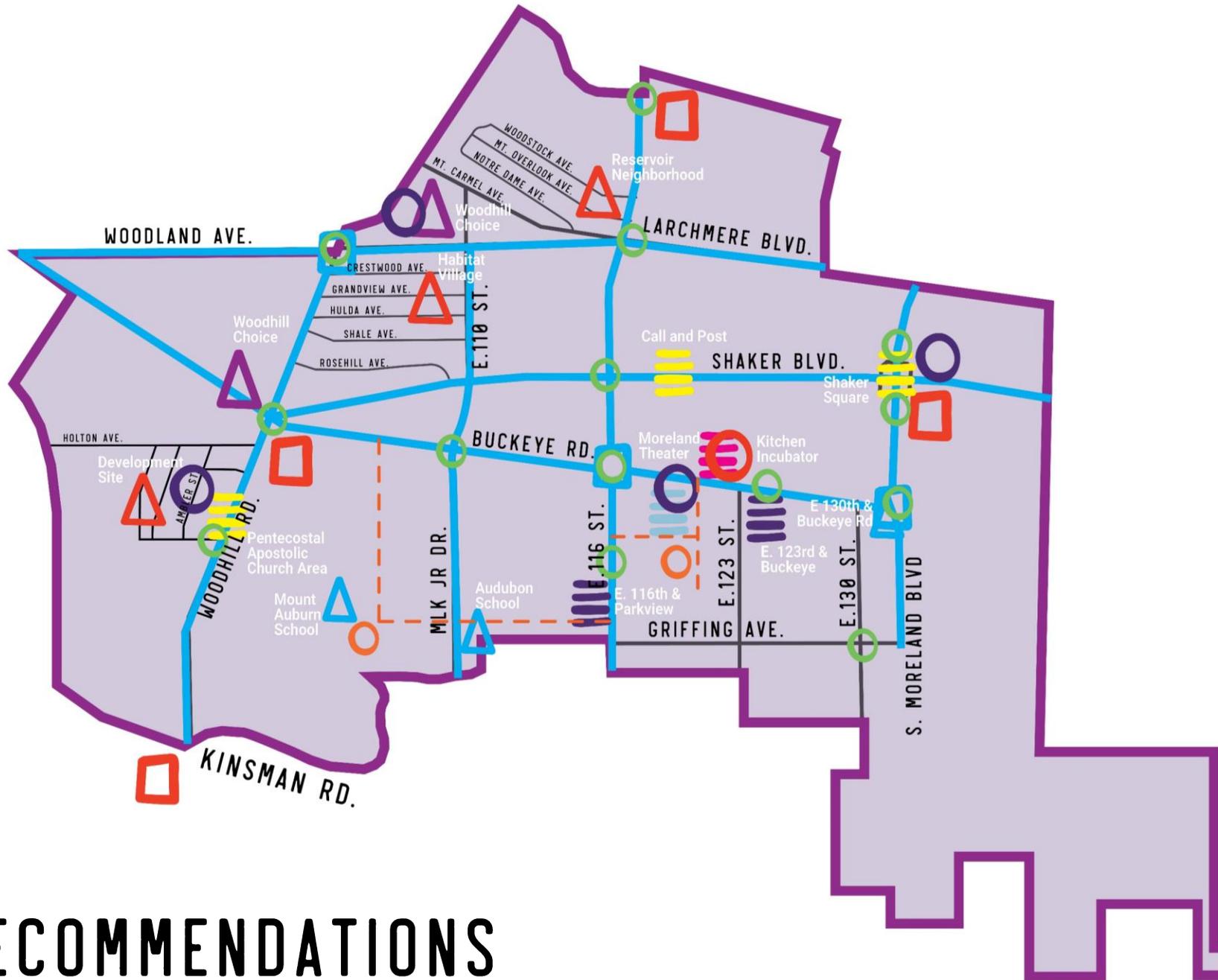
RE-USE & RESTORATION

- VACANT LOT & STRUCTURE RE-USE
- MORELAND THEATER!

BUCKEYE ARTS, INNOVATION, & TECHNOLOGY DISTRICT







PLAN RECOMMENDATIONS

Housing	Preservation and Acquisition	Tenant & Neighborhood Protection
<p>GOAL: Provide new and renovated housing that meets the needs and preferences of Clevelanders of all incomes, ages and lifestyles</p>	<p>Buckeye is home to numerous duplex residents, and a noticeable share of housing stock is being acquired by out-of-town investors, reducing homeownership opportunities, and creating challenges with absentee landlords. The creation of a loan pool program that allows for low-interest home loans to make properties more accessible, could clear the way for more affordable owner-occupied housing. Additionally, in many cases, rehabs and repairs are necessary to preserve existing housing stock. Strategically connecting a construction trades training program with housing repair and improvement in Buckeye could lead to a local labor force helping to both restore local housing and build local wealth.</p>	<p>Increased support for and awareness of landlord credentials and tenant protection programming offered at the neighborhood level.</p>
	<p>Maintaining Affordability</p>	<p>Providing Housing Options</p>
	<p>The HUD Choice Implementation Grant for Woodhill Homes is leading the preservation of affordable housing in the Buckeye Neighborhood by both replacing existing aging units and adding new units to the community. Layering this with housing affordability mechanisms like Community Benefits Agreements and establishing a Community Land Trust will further protect access to affordable housing in the neighborhood.</p>	<p>Blending housing options allows for increased access to a community. These housing options are recommended to span both ownership type (rental, homeownership, lease to own, condominiums, etc.) and housing typology (apartments, townhomes, single-family homes, etc.).</p>
	<p>Lead Free Buckeye</p> <p>Residents of the Buckeye Neighborhood expressed a desire for their neighborhood to be the first lead free community in the City of Cleveland. Strengthening partnership with Lead Free Coalition to formulate a system to increase tracking of known cases and lead assessments upon property transfer. Additionally, providing resources for lead remediation for property owners, with benefits and requirements tied to remediation.</p>	
Recreation and Open Space	New Creative Outdoor Spaces to Gather	Recreation Facility
<p>GOAL: Provide high-quality recreation opportunities and facilities that meet the needs of Clevelanders of all ages, ability levels, incomes and interests</p>	<p>The youth of Buckeye are craving new ways to gather together safely outdoors. Collections of vacant lots, particularly held by the City of Cleveland Land Bank offer opportunities for unique nature based gathering spaces to occur within the urban context.</p>	<p>Across age groups in the neighborhood, access to recreational spaces in walking proximity is desired. Leveraging technology, such as esports, drone racing, robotics, music production, and graphic arts, a recreational space not solely centered on sports can stimulate multiple users interests, while layering an intergenerational component.</p>
Arts and Culture	Branding & Wayfinding	Bold Placemaking
<p>GOAL: Enrich the lives of Clevelanders and strengthen economic vitality by establishing Cleveland as a world-class center for the arts</p>	<p>The planning process established a We Are Buckeye community brand that both celebrates the unique qualities of the many neighborhoods that comprise Buckeye, while also creating a unifying element to connect the historic, current, and incoming residents of the community. It is recommended that this branding be utilized in plan implementation.</p>	<p>Building from the work of the Elevate the East Plan and public art that currently occupies the community, establishing a bold placemaking feature at a central location to celebrate the culture and unique characteristics of the neighborhood. Buckeye Road and Woodhill Road, and Buckeye Road and E 116th serve as two potential centerpieces for the neighborhood.</p>
Transportation and Infrastructure	Improved Transit Waiting Environments	Increased Multi Modal Options
<p>GOAL: Provide a variety of transportation options that serve residents of all income levels and that promote economic development while protecting the quality of life in neighborhoods</p>	<p>Layering multiple plan recommendations, including the Buckeye Road Refresh (TLCL) to support transit ridership by strategically installing transit waiting environments equipped with representative artwork, technology and features that support multiple generations to increase comfort and accessibility.</p>	<p>In response to increasing options for transportation, such as bike and scooters, to support this alternative movement, installation of bike lanes and other paths. Buckeye like many Cleveland neighborhoods will benefit from alternative forms of safe access couple with increased lighting coverage to support safer movement.</p>
	<p>Safe Paths and trails</p> <p>Utilizing multiple vacant lots that are dispersed throughout the neighborhood to establish new, well lit pedestrian scaled areas. These additional access points throughout the neighborhood, are to largely be separated from vehicular traffic and movement, and help to influence smaller scale neighborhood gathering spaces also.</p>	
Economic Development	Small Business Startups/Incubators	Kitchen Incubator
<p>GOAL: Increase economic prosperity through job creation and improved access to jobs and business ownership by all segments of the Cleveland community</p>	<p>Leveraging the access to commercial spaces along Buckeye Road provides an opportunity to deploy a startup business model supported by co-op programs like Cleveland Owns. Additionally, with recent acquisitions by the Three Black Knights LLC, there presents an opportunity for collaboration among property owners and prospective new small businesses. The Economic & Community Development Institute (ECDI) also serves as a resource for providing the necessary capital to for startup business support.</p>	<p>Utilizing the Cleveland Central Kitchen model, to provide spaces for culinary related entrepreneurs to develop their products and provide new local food options for the neighborhood and beyond.</p>
	<p>Job Training Support</p> <p>Targeted effort on Job Training focused on the youth population with a particular focus around the construction trades and new technologies.</p>	
Preservation	Moreland Theater	
<p>GOAL: Foster preservation of historically and architecturally significant buildings and districts in the City of Cleveland</p>	<p>The Moreland Theater represents a piece of Cleveland's historic landscape, and a significant piece of the fabric of the Buckeye neighborhood. Burten, Bell, Carr Development Inc. is leading the preservation and restoration of this asset to create an economic development tool to support local entrepreneurs and artists.</p>	

PLAN ALIGNMENT

NEXT STEPS

COMMUNITY ROLLOUT!

WE
ARE
BUCKEYE



July 15, 2022

DF2022-039 – Stella Maris Mural: Seeking Final Approval

Project Address: 1320 Washington Avenue

Project Representative: Allison Hennie, Graffiti HeArt

Committee Recommendation: Approved as presented **unanimously**



Stella  Maris
Mural Project

1320 Washington Avenue | Cleveland, Ohio 44113

Project Overview



- Project reviewed and gained support by Stella Maris
- Project made possible by Graffiti HeArt 501(c)3, who is funding the project through existing funds.
- Installation to take place during July 2022

Background



- **Stella Maris** has provided transformational addiction and mental health treatment services to the people of Greater Cleveland since 1948.
- **Stella Maris' Mission**
 - To provide transformational chemical dependency treatment and mental health services to our community regardless of race, gender, religion or ability to pay.

Background

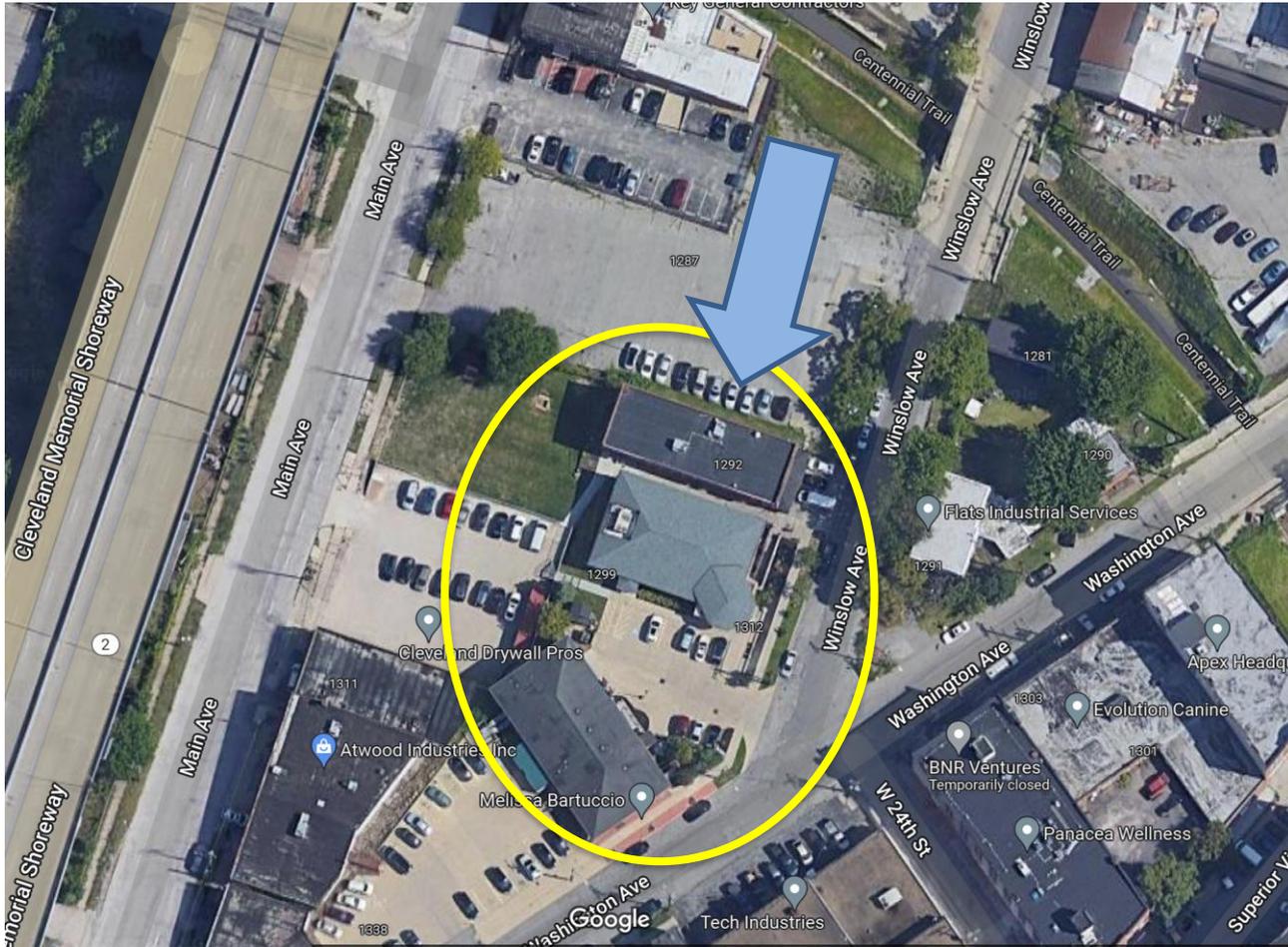


“We highly value the power of art”

– Stella Maris Team

Aerial View

Stella Maris



1292 Winslow
1320 Washington Avenue | Cleveland, Ohio 44113

Project Location

Panorama of Site



Project Location



Approximately 105' x 30'

Stella Maris Mural Final Design



Artist: Michael Roy, aka Birdcap

Stella Maris Mural Final Design



Artist: Michael Roy, aka Birdcap

Base color: Existing grey

Montana Paints



A GraffitiHeArt Production

Inspiring health and art in the community

#graffitiheart

Cleveland City Planning Commission

Director's Report



July 15, 2022

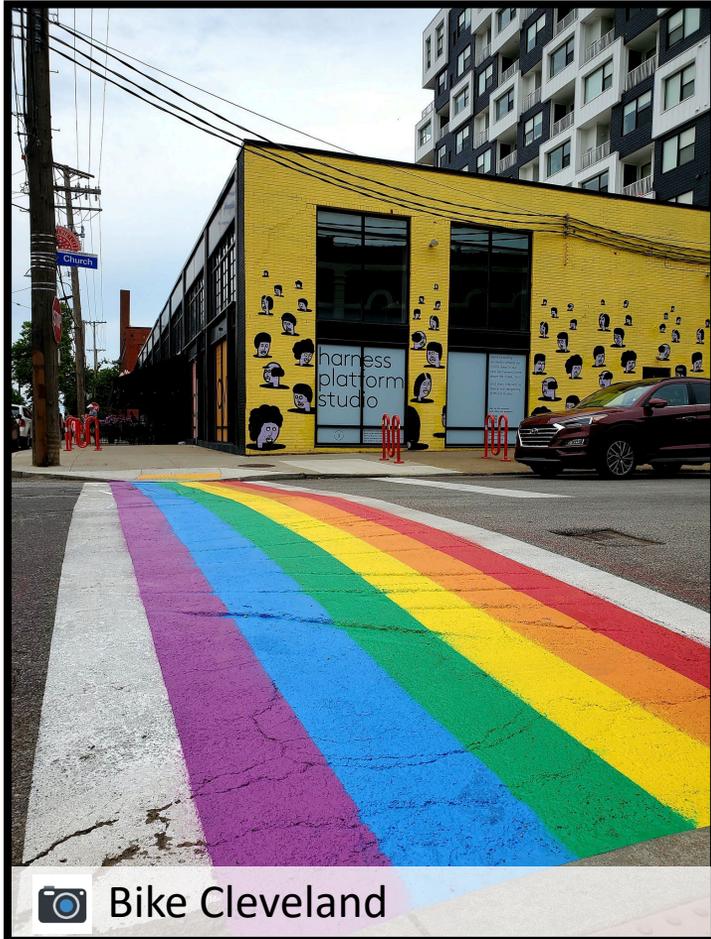
Decorative Sidewalks Learning Lab



The City is partnering with resident leaders on a Learning Lab for neighbors interested in what it takes to do their own decorative street painting projects. The Learning Lab will be held at **2999 Payne Avenue on Wednesday, July 20 from 3:30-5:30pm.**

July 15, 2022

City signs off on first rainbow crosswalks at one of the City's historic LGBTQ+ neighborhoods at W. 29th and Church Street



 Bike Cleveland





Staffing Update

- Allison Hennie – Urban Design and Architecture Section Lead
- Matt Moss – Manager, Strategic Planning Initiatives
- Waverly Bowens – Assistant Administrator, Board of Building Standards and Building Appeals

Position postings

- City Planner in **Near West, Southeast** or **Northeast** neighborhoods
- Senior Assistant Urban Planner – Landmarks Commission

[Apply at governmentjobs.com](https://www.governmentjobs.com)

Cleveland City Planning Commission

Adjournment



July 15, 2022