



Cleveland City Planning Commission

Friday, May 20, 2022

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

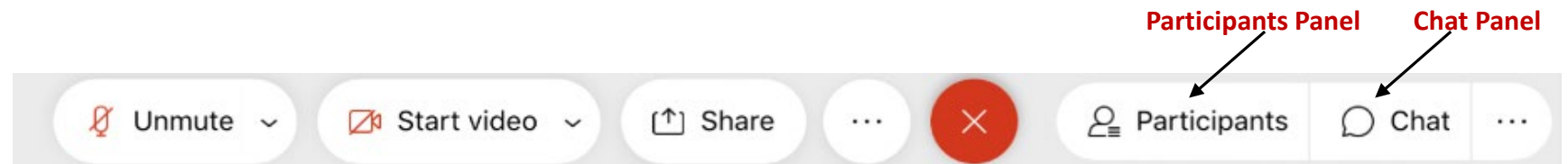
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



May 20, 2022

Cleveland City Planning Commission

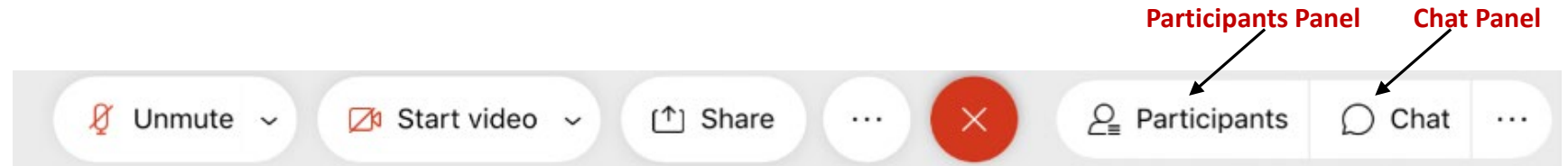
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



May 20, 2022

Cleveland City Planning Commission

Call to Order and Roll Call



May 20, 2022

Cleveland City Planning Commission

Zoning Map Amendments



May 20, 2022



Ordinance No. xxx-2022 (Ward 5/Councilmember Starr): Changing the **Use, Height & Area Districts** of parcels of land south of the Nickel Plate Railroad to north of Kinsman Road, between East 73rd Street and Buckeye Road and adding an **Urban Form Overlay** and a **5 ft. minimum and 25 ft. maximum Mapped Setback**. (Map Change 2646)

Map Change 2646

City Planning Commission

May 20, 2022



Map Change 2646: Opportunity Corridor Core Job Zone

City Planning Commission



Goals

- Update zoning districts for compatibility with adopted planning studies, development plans and projects
- Modify minimum & maximum mapped setback requirements
- Establish Urban Form Overlay

Cleveland Opportunity Corridor Brownfields Area Wide Plan



March 2013

East 79th Street Corridor Study

a transportation for livable communities initiative

BY THE NEIGHBORHOOD,
FOR THE REGION

REGIONAL CULINARY ZONE AREAS OF FOCUS

- Local industrial expansion
- Regional business development
- Transit station redevelopment
- Green space and gateways

JOB GENERATOR DISTRICT AREAS OF FOCUS

- Neighborhood gateway
- Regional business center
- Regional retail uses
- Higher-density housing
- Recreational uses

RESIDENTIAL CORE AREAS OF FOCUS

- Transit station redevelopment
- Lower-density housing
- Neighborhood retail
- Neighborhood services
- Senior housing and services
- Local agricultural businesses / programs
- Parks and public spaces

COMMUNITY HUB AREAS OF FOCUS

- Civic / community campus
- New housing
- Faith campus

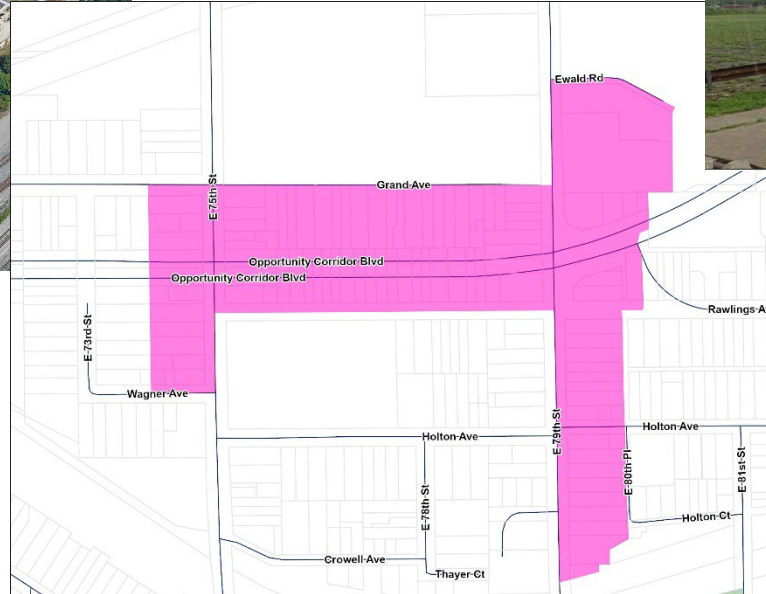


Date: March 22, 2022

Change from General Industry-B3, Semi-Industry-B2, General Retail-C1, Multi-Family-C1 > **Limited Retail Business-D2**



Looking South on E 79th



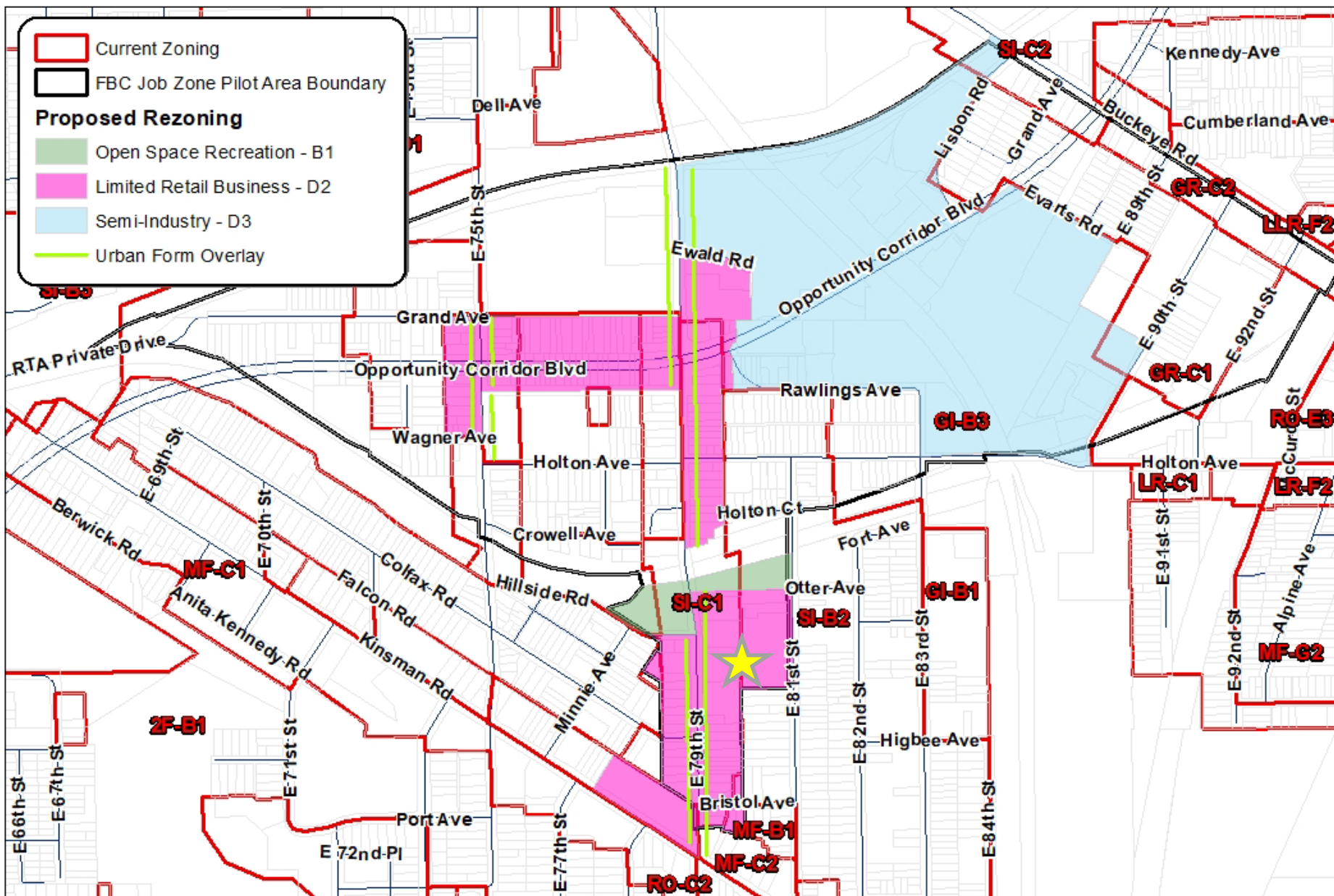
Looking North on E 79th



Looking East on OC



Future project on OC



Mayor Justin M. Bibb

500

Feet

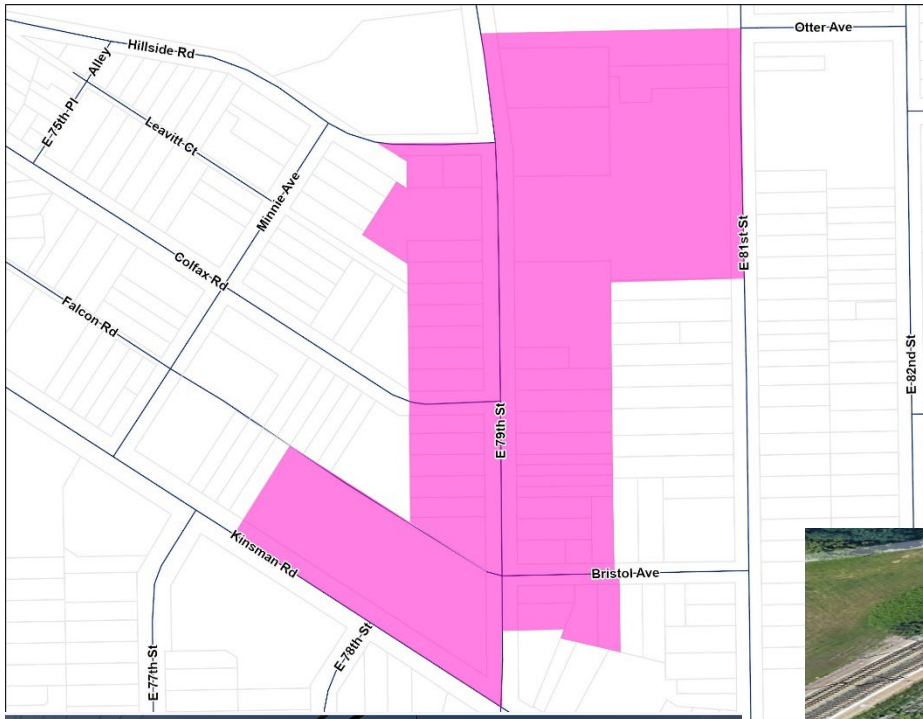
Map Change 2646

Changing the Use, Height & Area Districts of parcels of land south of the Nickel Plate Road to north of Kinsman Road, between East 73rd Street and Buckeye Road and adding an Urban Form Overlay (Map Change 2646).



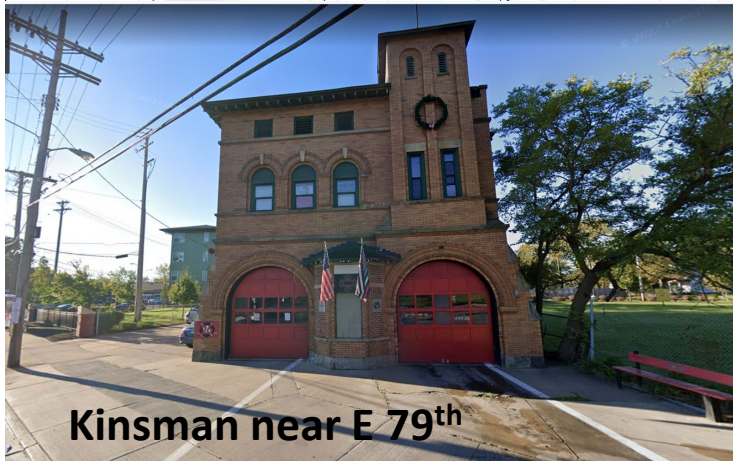
Date: March 22, 2022

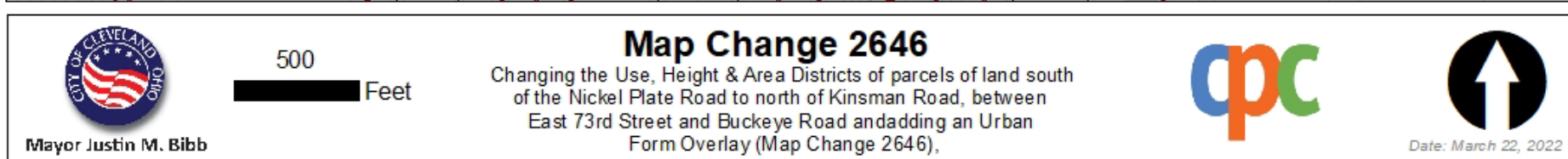
Change from Semi-Industry-B2 & C1, General Retail-C2, Multi-Family-B1 & C1 > **Limited Retail Business-D2**



Other projects planned or completed:

- Colfax Homes
- Kinsman senior housing (planned)





Mayor Justin M. Bibb

500

Feet

Map Change 2646

Changing the Use, Height & Area Districts of parcels of land south of the Nickel Plate Road to north of Kinsman Road, between East 73rd Street and Buckeye Road and adding an Urban Form Overlay (Map Change 2646).



Date: March 22, 2022

Change from Semi-Industry-B2 & C1 > **Open Space Recreation-B1**



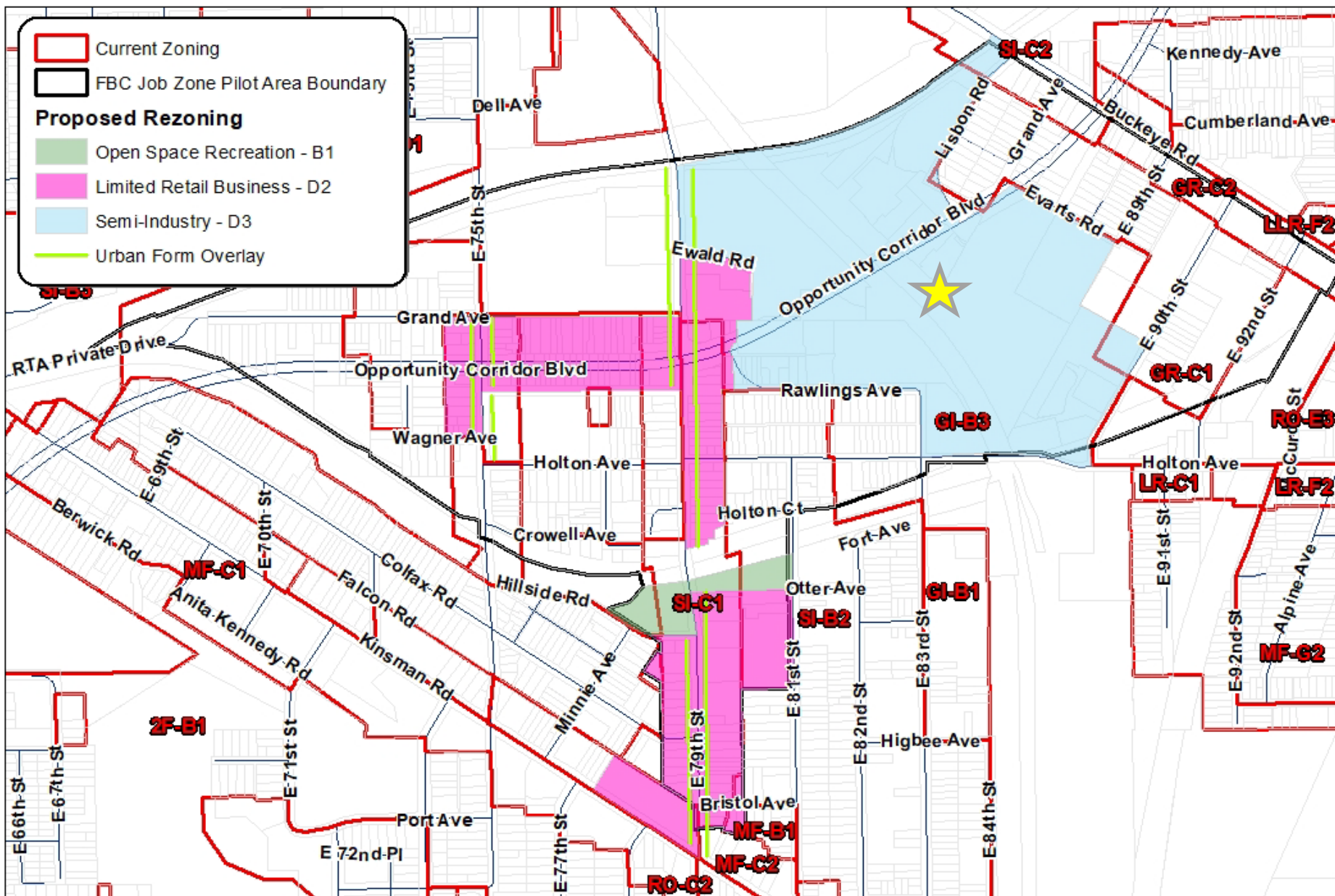
E 81st looking west



Hillside Park



East of E 81st - Ridall Green Partnership



Mayor Justin M. Bibb

500

Feet

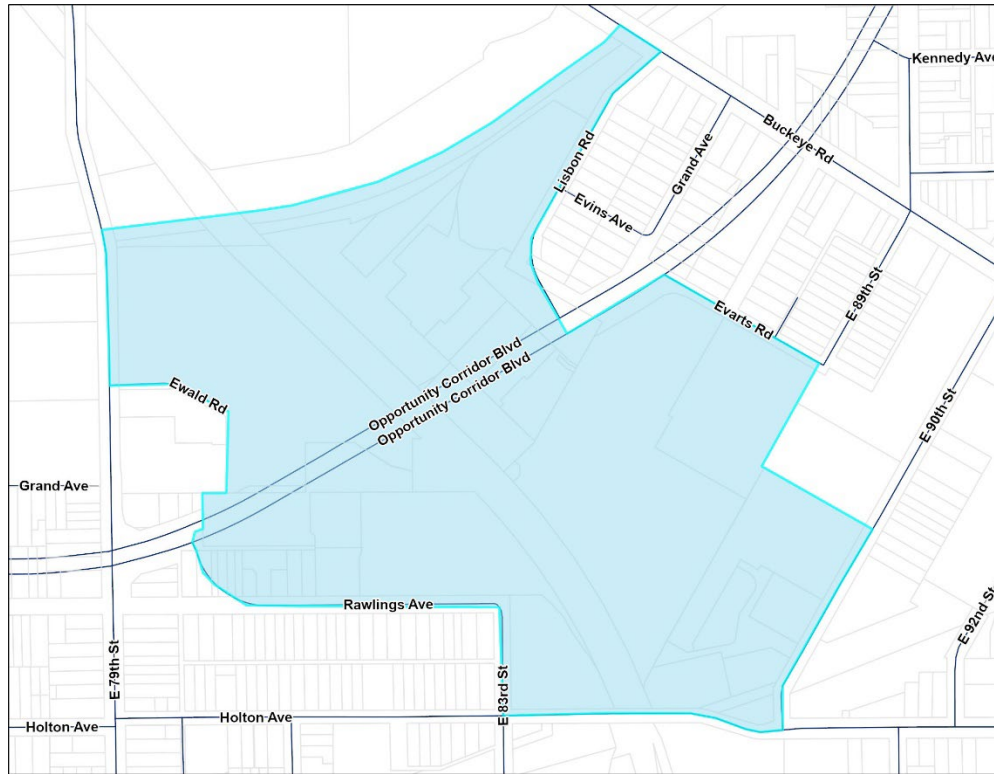
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Date: March 22, 2022

Change from General Industry-B3, Semi-Industry C2 > **Semi-Industry-D3**



Other projects proposed

- Construction Trades Institute
- A cold storage facility w/residential training component



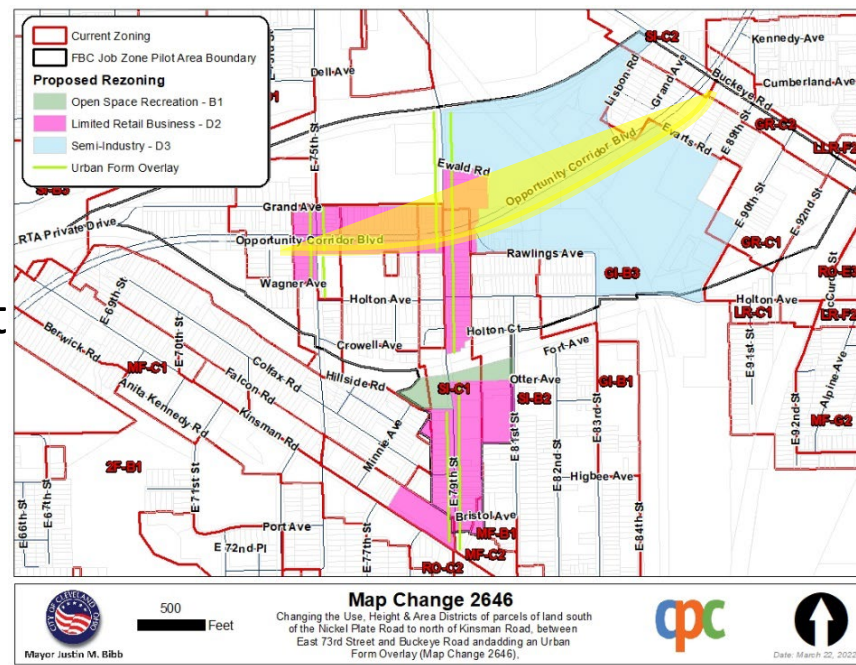
Aerial view



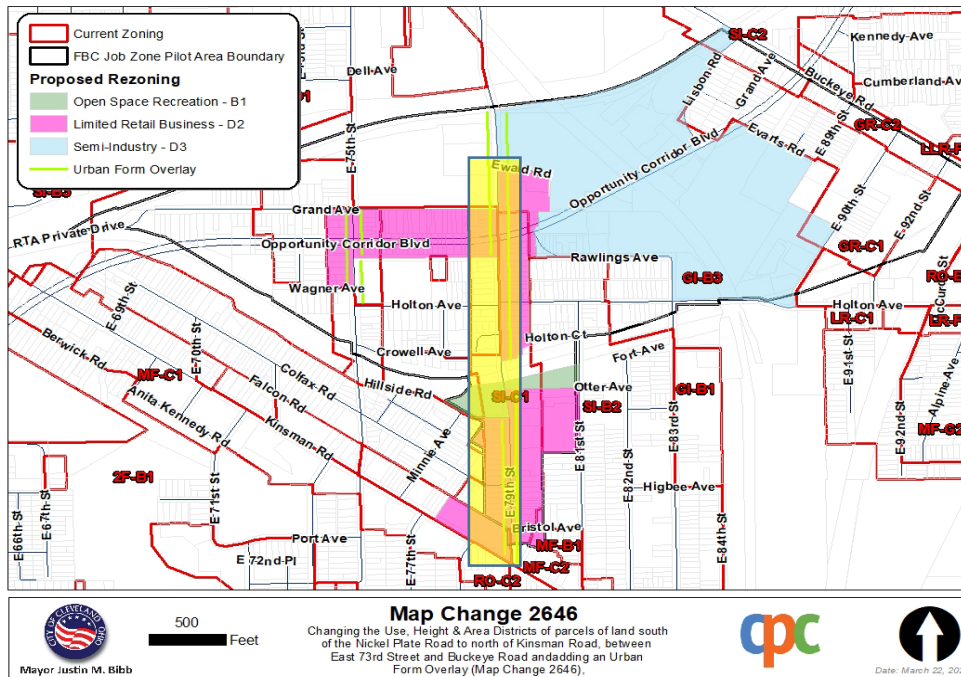
Looking southeast from Evarts

Mapped Setbacks

- Minimum setback = 5 ft
- Maximum setback = 25 ft



Urban Form Overlay





Ordinance No. xxx-2022 (Ward 7/Councilmember Howse): **Replacing a ten (10) foot Specific Mapped Setback** from the property line with a zero (0) foot Specific Mapped Setback from the property line along the southern side of Hough Avenue between E. 75 Street & Crawford Road. (Map Change 2647)

Madam C J Walker Business District



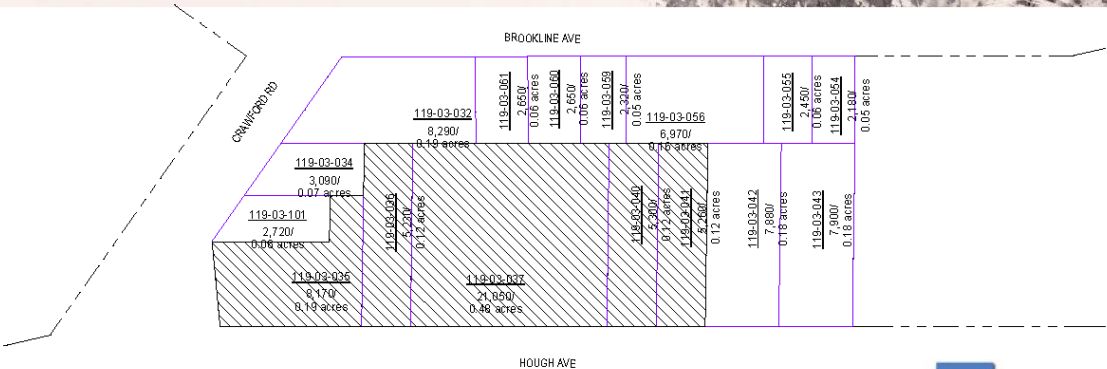
MAP CHANGE 2647
DEVELOPMENT, PLANNING & SUSTAINABILITY



architect **Hakk**
P.O. Box 347184
Cleveland, OH 44134
Phone 216.372.8447
www.archhakk.com

STRUCTURES UNLIMITED, LLC
9200 Edmonston Rd #300
Greenbelt, MD 20770

**Madam C J Walker
Business District**
8501 Hough Ave
Cleveland, OH 44106



1 LANDBANK LOT REQUEST
1" = 50'-0"



cleveland
city planning
commission

COVER SHEET

Date: JUNE 03, 2021
Status: schematic design
No. Re: Date



Proposal

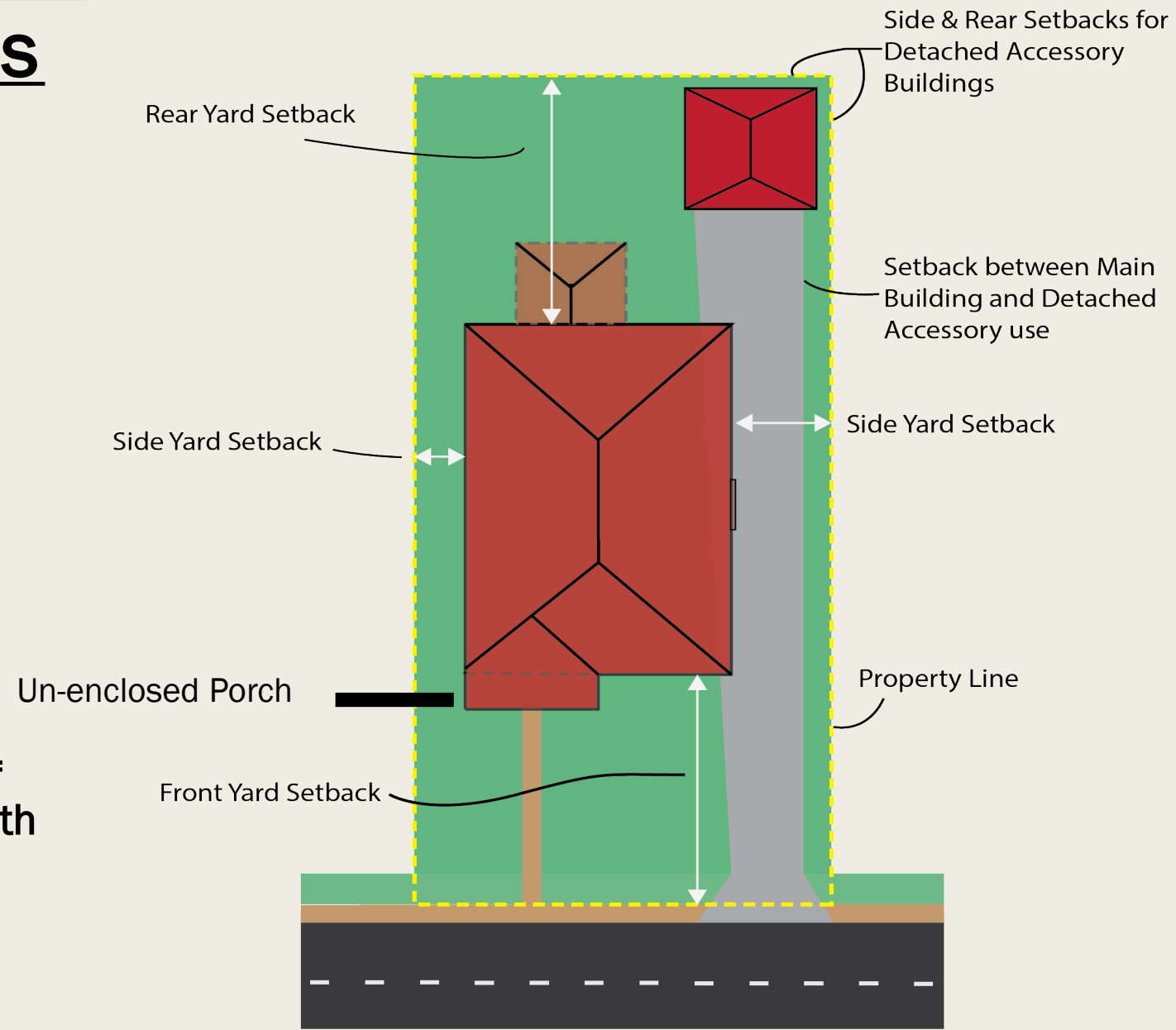
To remove the ten (10) foot Mapped Setback along the south side of Hough Avenue between E. 75 Street and Crawford Ave and replace it with a zero (0) foot Mapped Setback.

Purpose

To ensure that the Madam CJ Walker Business project that has been previously approved by CPC can move forward and offer a new, diverse mix of commercial uses in the Hough Neighborhood.



Residential Setbacks



**Front, Rear & Side
Yard Setbacks
Required for all
Main Buildings in
Residential
Districts**

**Front Yard Req =
15 % of Avg Depth
of Lot**

Mapped Setbacks


A required front yard space in which no structures may be located, except where specifically allowed by Cleveland Zoning Code

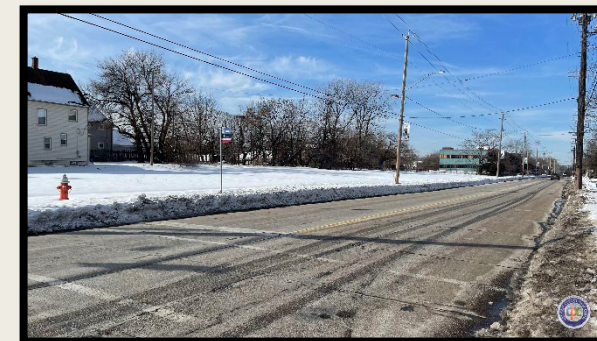
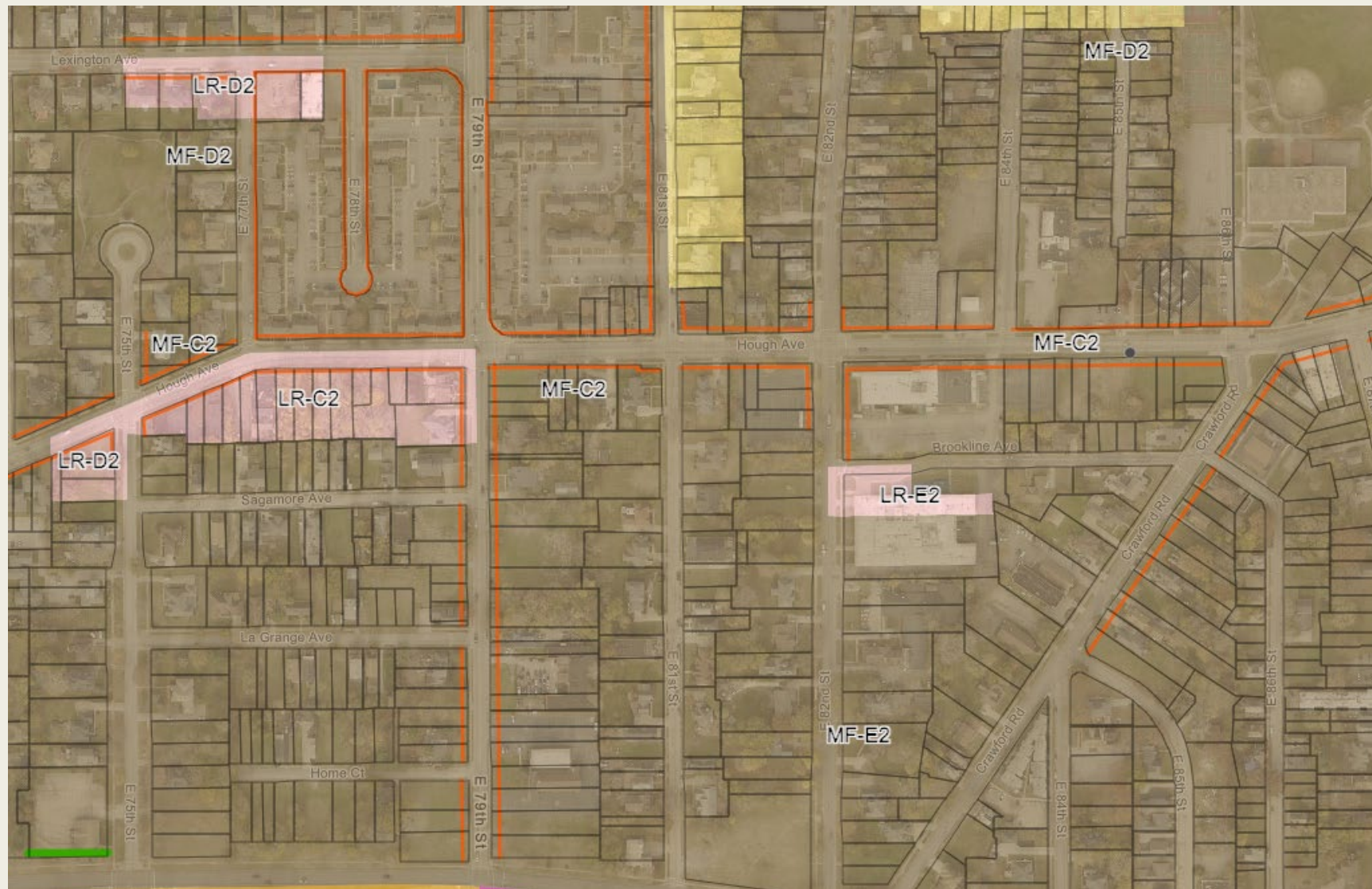
Indicated on Building Zone Maps of the City as from either the property line or the street centerline

Take precedence over all other setback regulations

Can only be changed with legislation

Mapped Setbacks

 Mapped Setback





Replacing a ten (10) foot Specific Mapped Setback from the property line with a zero (0) foot Specific Mapped Setback from the property line along the southern side of Hough Avenue between E. 75 Street & Crawford Road (Map Change 2647).

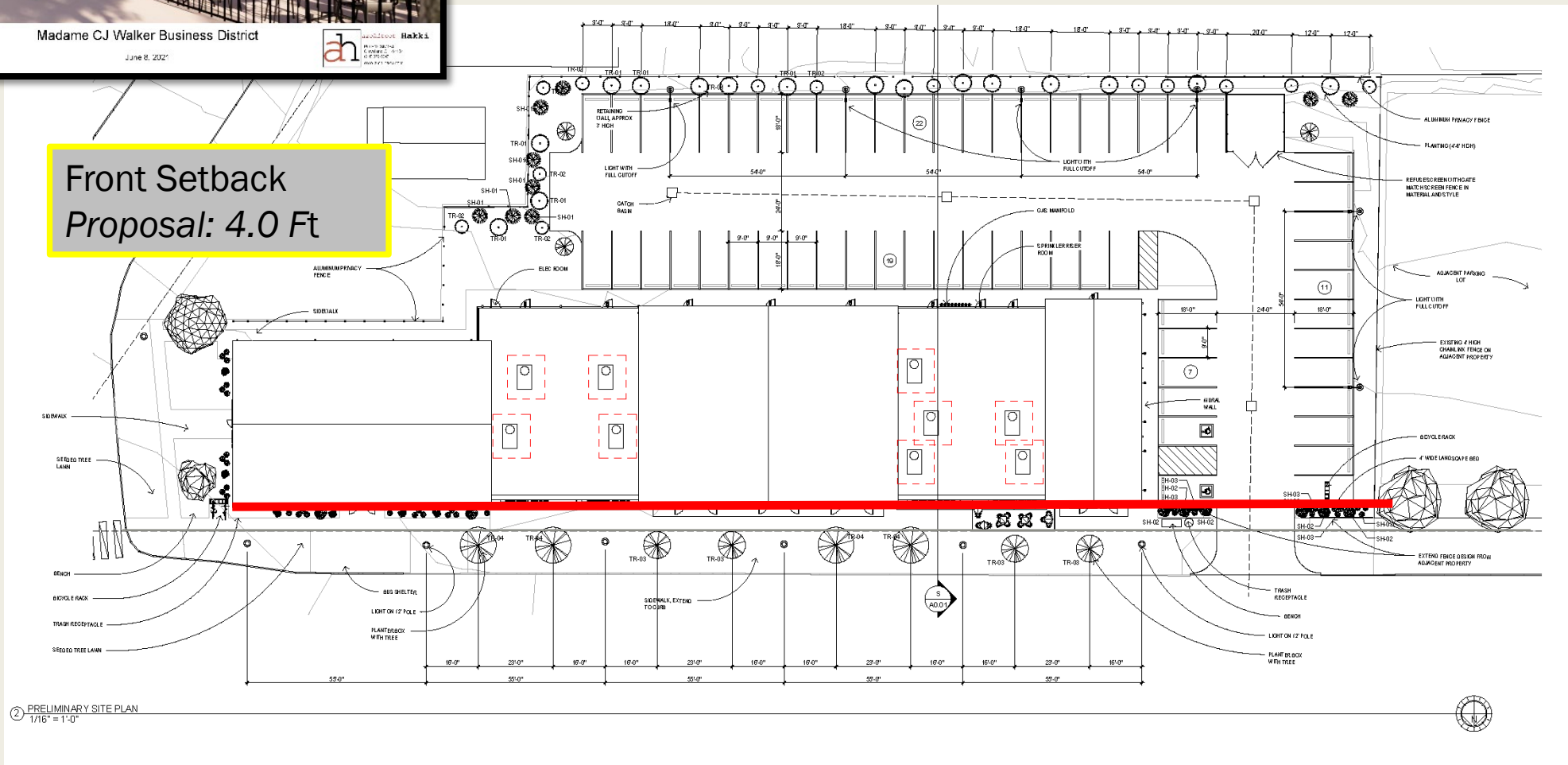


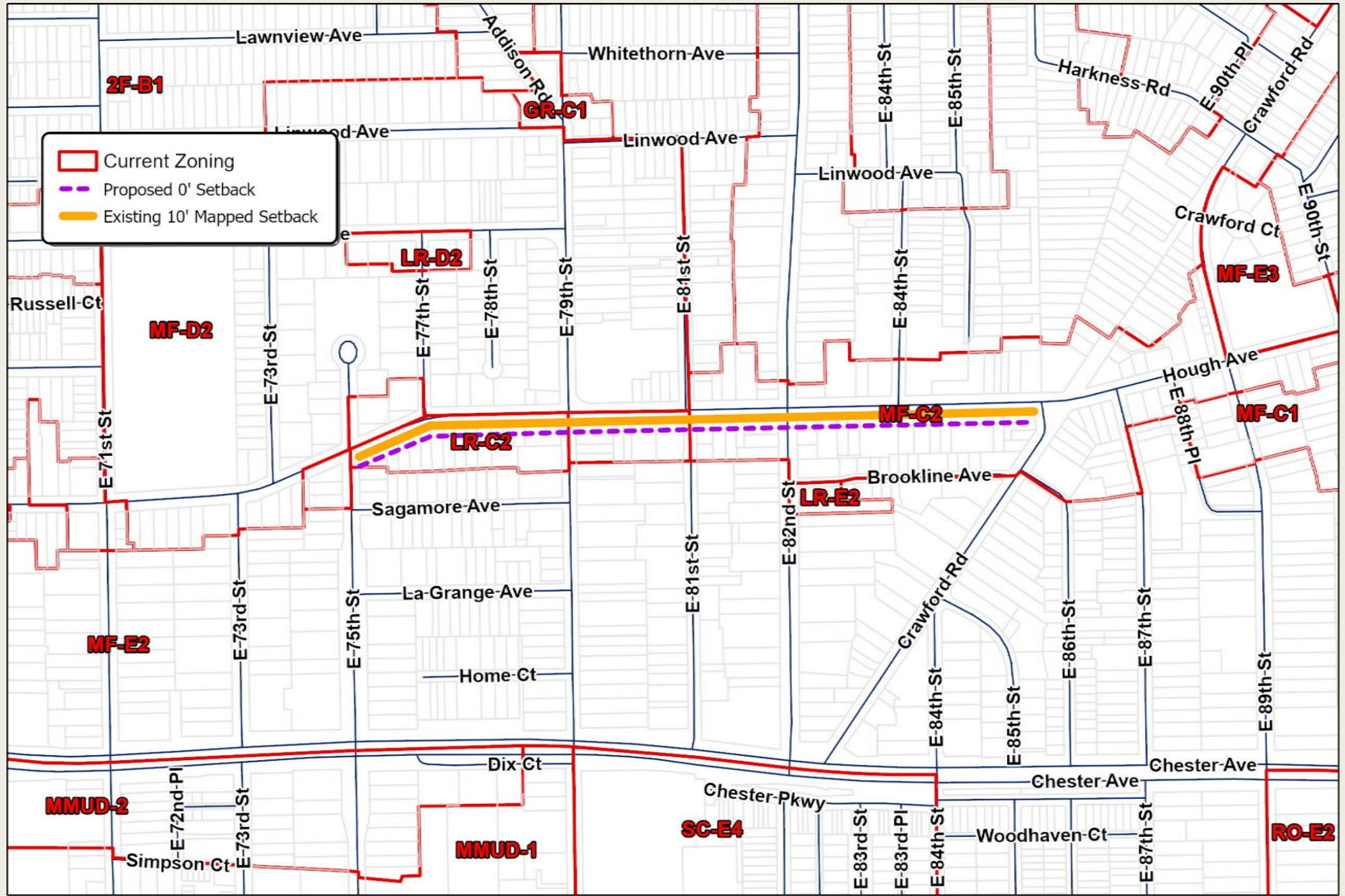
Date: March 22, 2022



- The 10' mapped setback would reduce the number of parking spaces in the rear.
- By reducing the mapped setback the development enhances the walkability of Hough Avenue and is consistent with the goals of the Form Based Code.

Front Setback
Proposal: 4.0 Ft





Mayor Justin M. Bibb

Map Change 2647

Replacing a ten (10) foot Specific Mapped Setback from the property line with a zero (0) foot Specific Mapped Setback from the property line along the southern side of Hough Avenue between E. 75 Street & Crawford Road (Map Change 2647).



Date: March 22, 2022



 **STRUCTURES
UNLIMITED, LLC**
3200 Edmonson Rd #300
Greenbelt, MD 20770

Madame CJ Walker Business District

June 8, 2021

 **architect Hakki**
PO Box 347104
Cleveland OH 44134
(216) 372-8047
www.arch-hakki.com



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Cleveland City Planning Commission

Design Review Cases



May 20, 2022



May 20, 2022

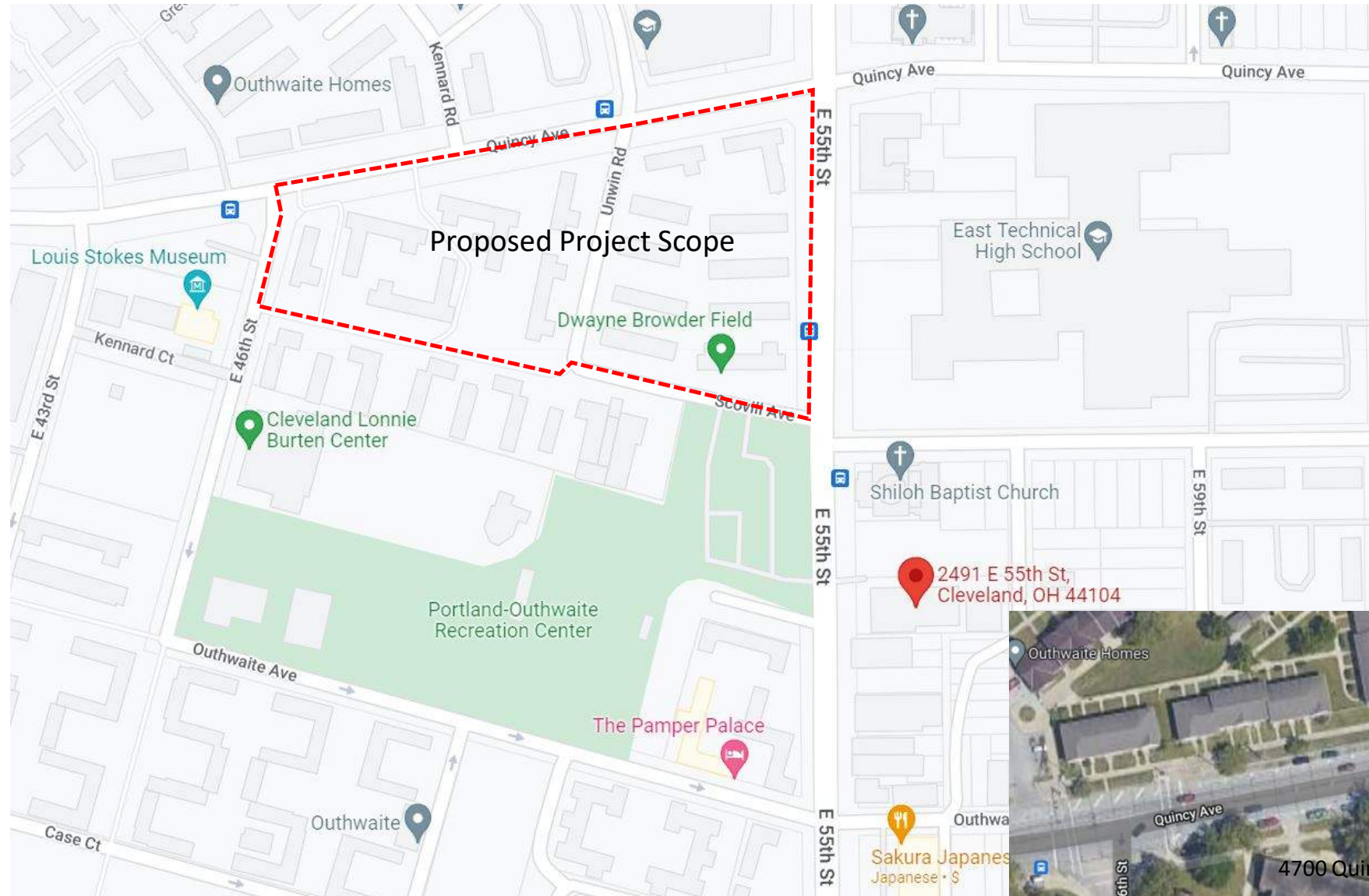
EAST2022-015 – Proposed Demolitions for Carver Park Blocks A & B:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Location: East 55th Street

Project Representatives: Kevin Cummings, GPD Group

Richard DeMarco, GPD Group

Committee Recommendation: Approved with Conditions



Project Name:

CMHA Carver Park Demolition of Block A & B

Project Address:

E 55th St, Cleveland, OH

Project Scope:

Demolition of Existing Buildings

Intended Future Use:

Greenspace

Presenters:

Jim Priscak, Deputy Director of Modernization and Development

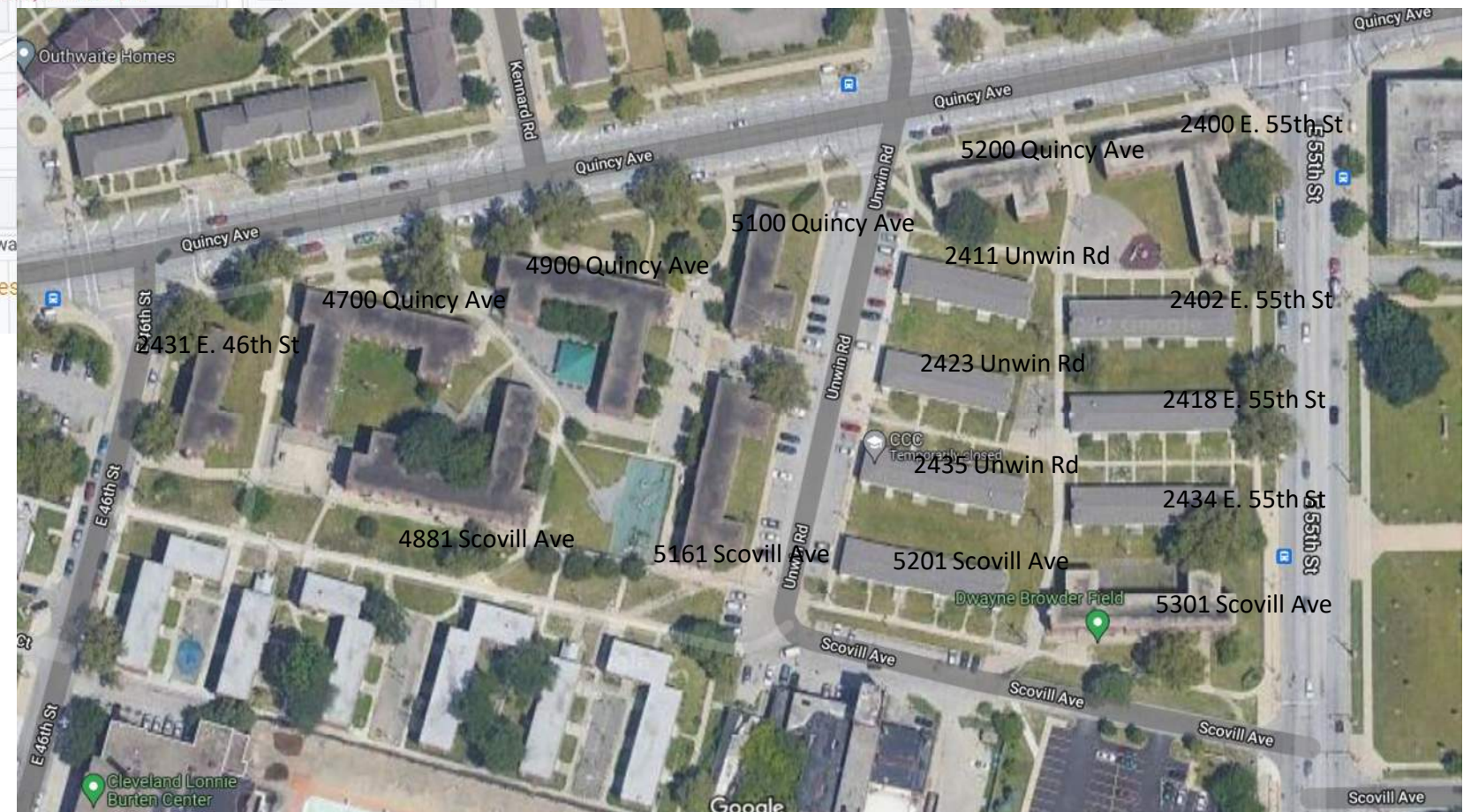
Cuyahoga Metropolitan Housing Authority

Rick DeMarco, Project Manager

GPD Group

Presentation:

- | | |
|--------------|---------------------------------|
| 1 | Presentation Cover |
| 2-4 | Exterior Site Photos |
| 5-7 | Typical Context Photos |
| 8-10 | Proposed Site Demolition |
| 11-13 | Proposed Site Plans |
| 14-17 | Proposed Abatement |





D1 PHOTO VIEW
NTS



B3 PHOTO VIEW
NTS



B4 PHOTO VIEW
NTS



C1 PHOTO VIEW
NTS



B1 PHOTO VIEW
NTS



B2 PHOTO VIEW
NTS



A1 PHOTO VIEW
NTS



A2 PHOTO VIEW
NTS



A3 AERIAL SITE PLAN
NTS

1	Presentation Cover
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1
2-4
5-7
8-10
11-13
14-17

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D1 PHOTO VIEW
NTS



D2 PHOTO VIEW
NTS



D3 PHOTO VIEW
NTS



D4 PHOTO VIEW
NTS



D5 PHOTO VIEW
NTS



C2 PHOTO VIEW
NTS



C3 PHOTO VIEW
NTS



C4 PHOTO VIEW
NTS



C5 PHOTO VIEW
NTS



B1 PHOTO VIEW
NTS



B2 PHOTO VIEW
NTS



A1 PHOTO VIEW
NTS



A2 PHOTO VIEW
NTS



A3 AERIAL SITE PLAN
NTS

1

Presentation Cover

2-4

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5-7

Typical Interior Photos

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Proposed Site Plans

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Proposed Abatement



C3 PHOTO VIEW
NTS



C4 PHOTO VIEW
NTS



C5 PHOTO VIEW
NTS



B1 PHOTO VIEW
NTS



B2 PHOTO VIEW
NTS



A1 PHOTO VIEW
NTS



A2 PHOTO VIEW
NTS



A3 AERIAL SITE PLAN
NTS



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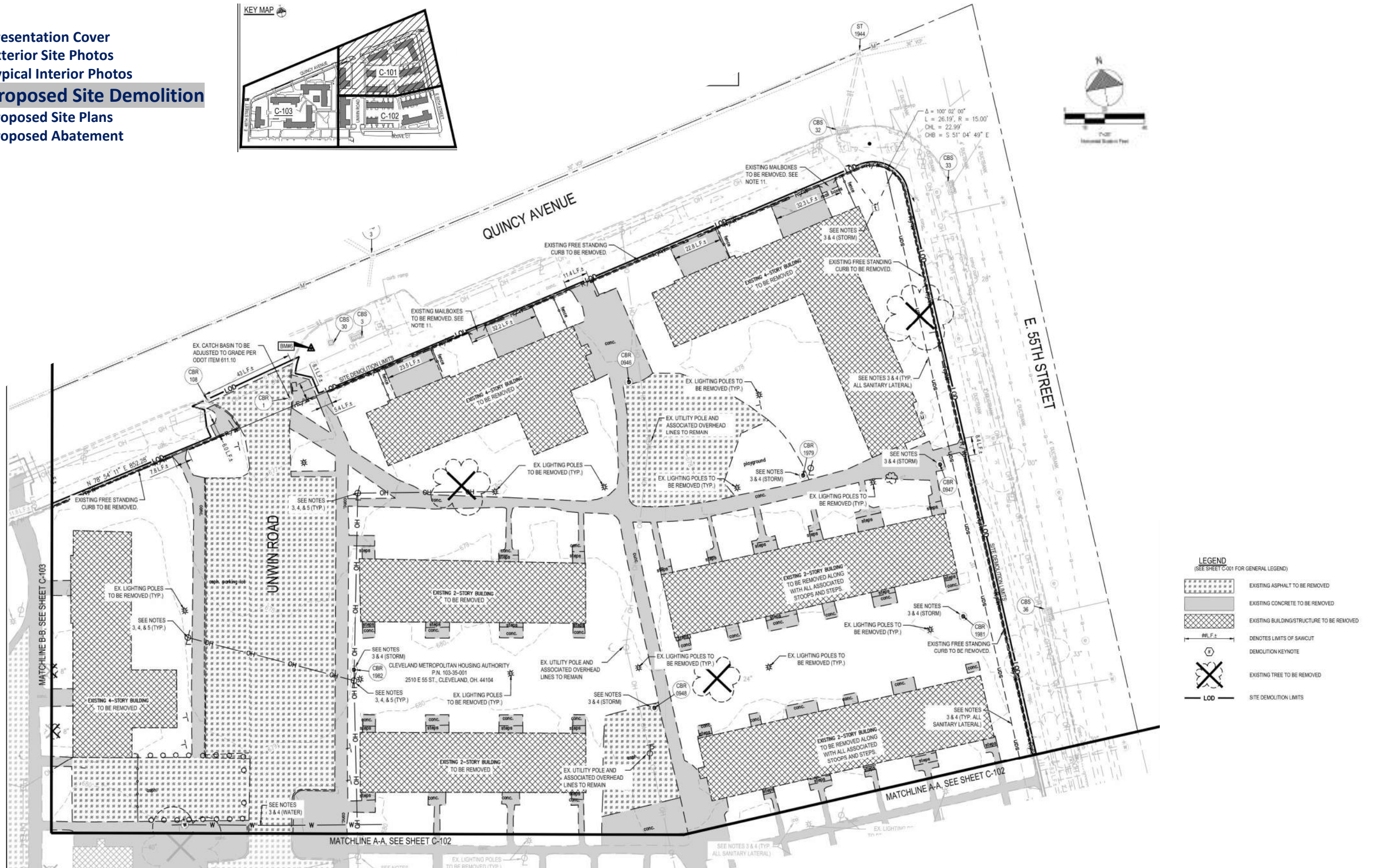


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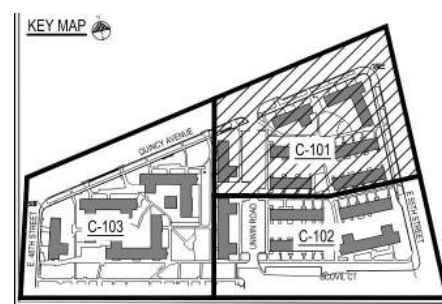


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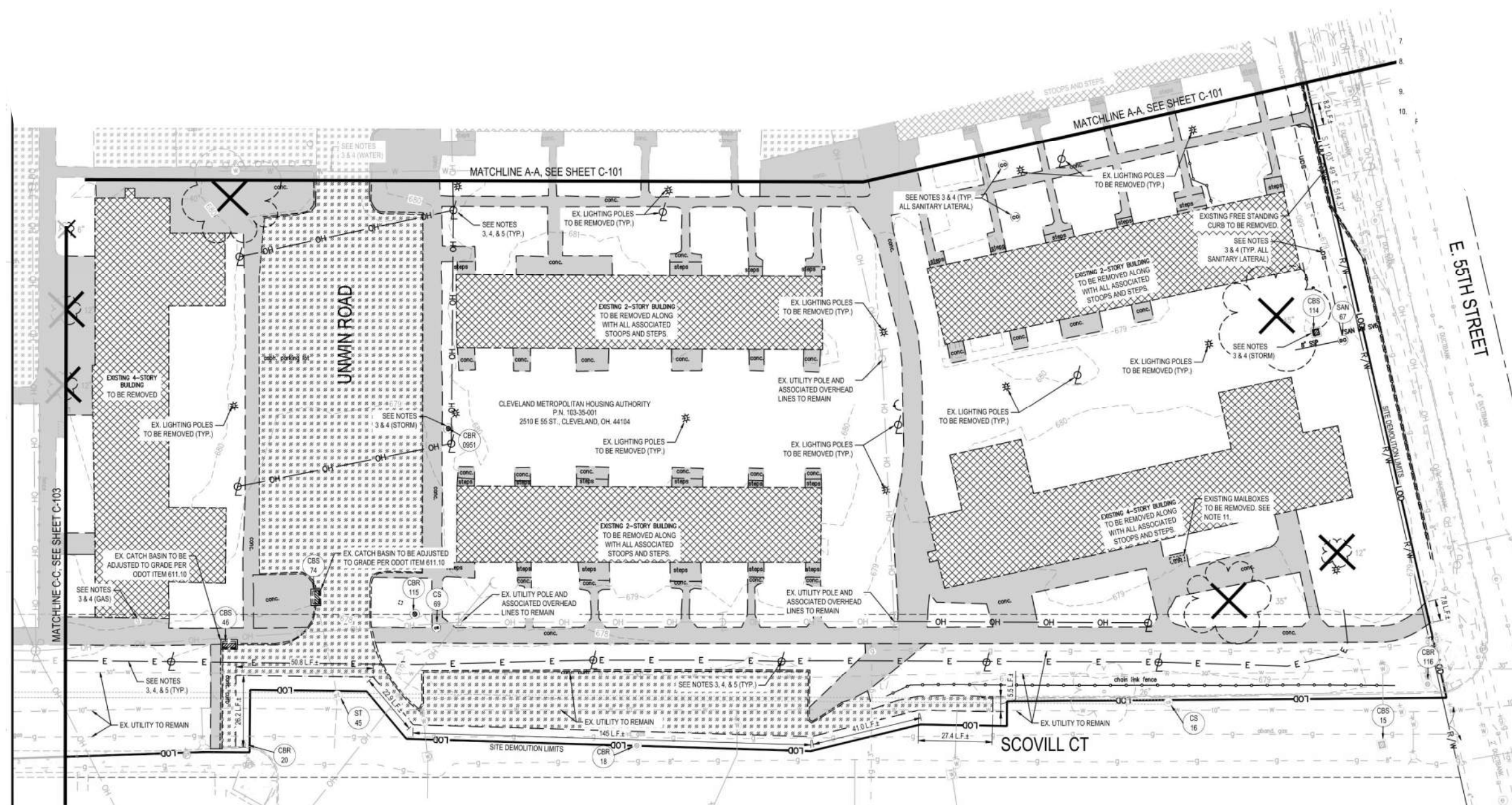
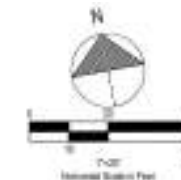


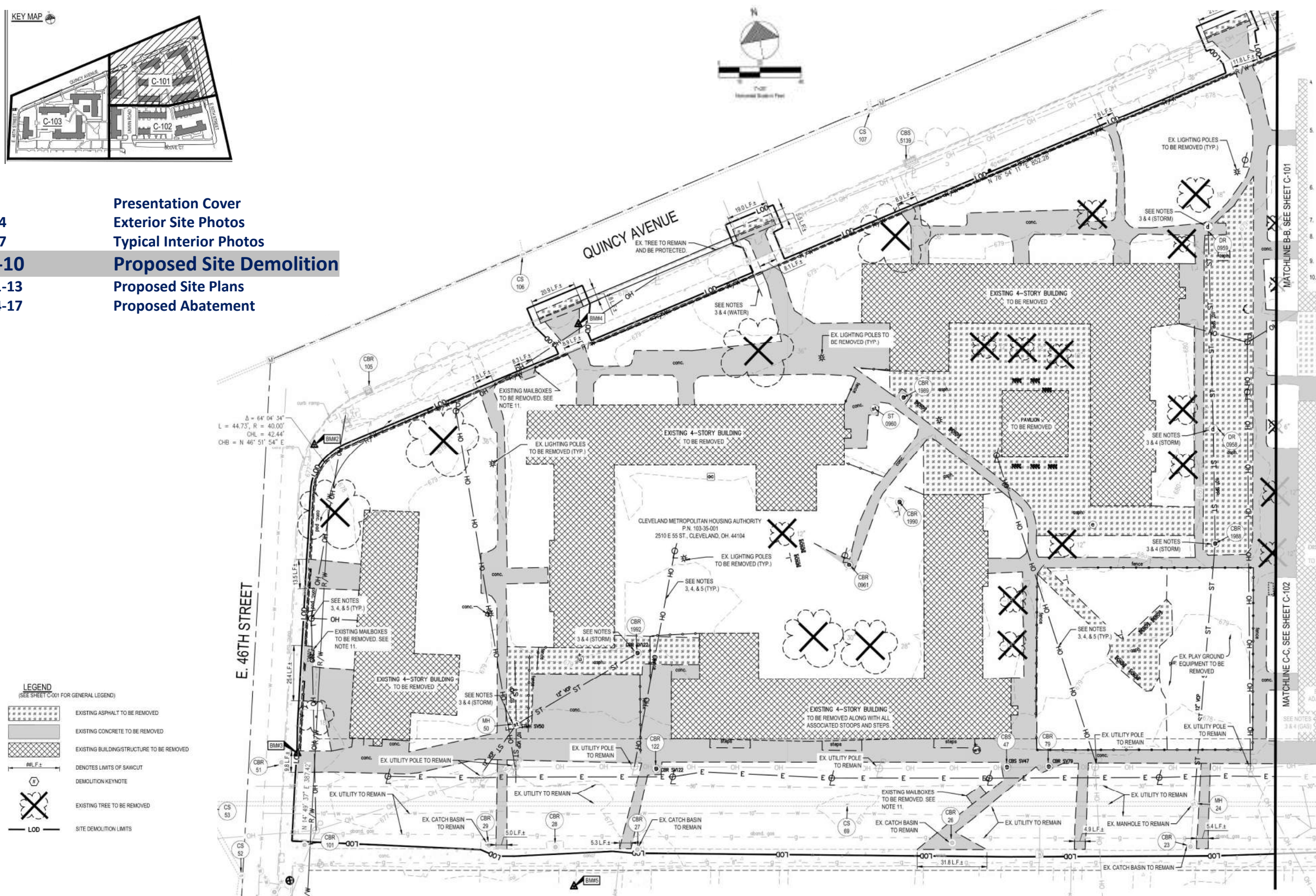
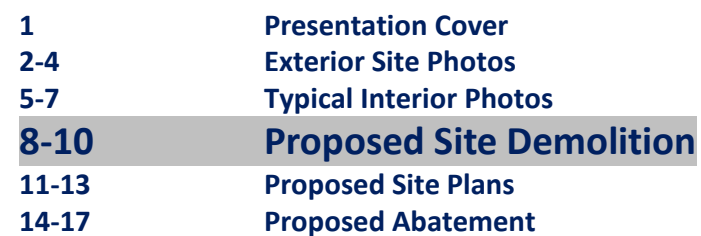
LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

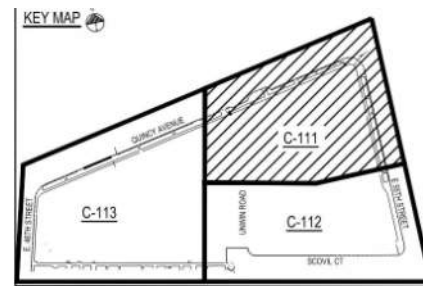
	EXISTING ASPHALT TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	DENOTES LIMITS OF SAWCUT
	DEMOLITION KEYNOTE
	EXISTING TREE TO BE REMOVED
	SITE DEMOLITION LIMITS



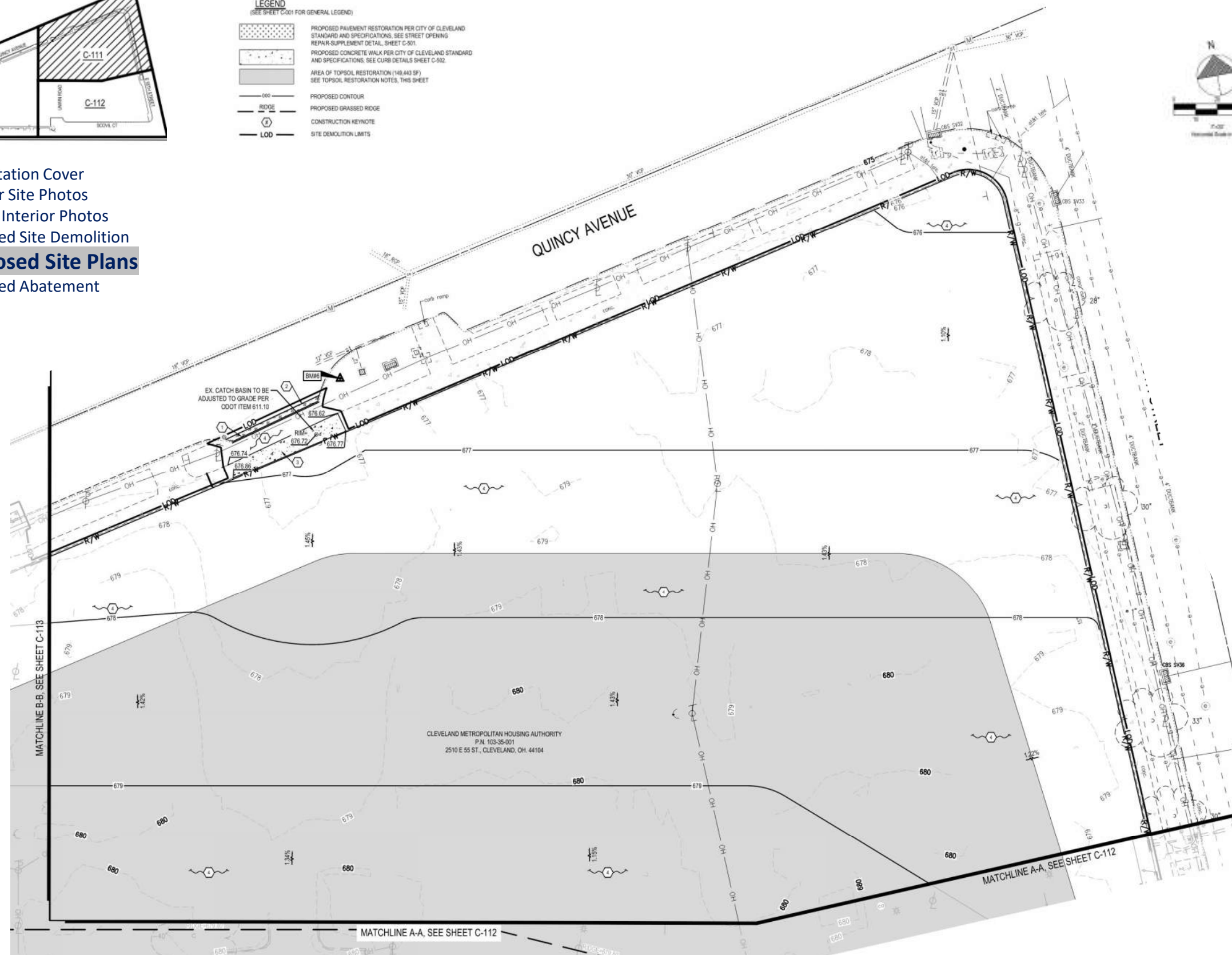
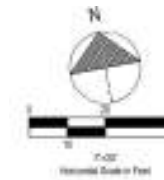
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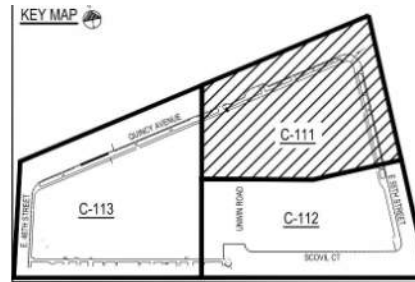




LEGEND (SEE SHEET C-001 FOR GENERAL LEGEND)	
	PROPOSED PAVEMENT RESTORATION PER CITY OF CLEVELAND STANDARD AND SPECIFICATIONS. SEE STREET OPENING REPAIR-SUPPLEMENT DETAIL, SHEET C-301.
	PROPOSED CONCRETE WALK PER CITY OF CLEVELAND STANDARD AND SPECIFICATIONS. SEE CURB DETAILS SHEET C-502.
	AREA OF TOPSOIL RESTORATION (149,443 SF) SEE TOPSOIL RESTORATION NOTES, THIS SHEET
	PROPOSED CONTOUR
	PROPOSED GRASSED RIDGE
	CONSTRUCTION KEYNOTE
	SITE DEMOLITION LIMITS

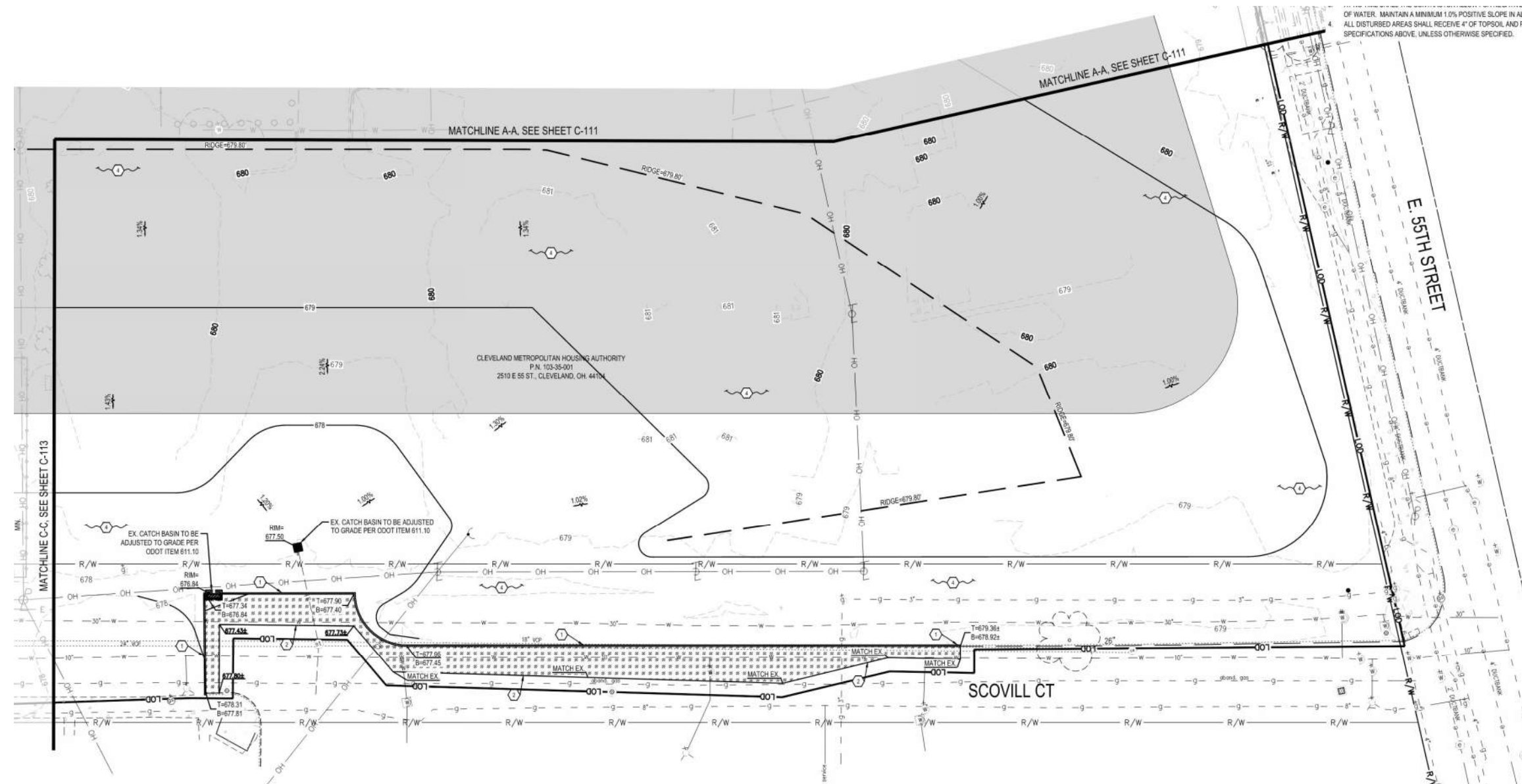
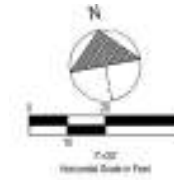


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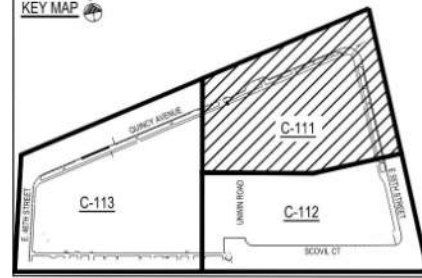


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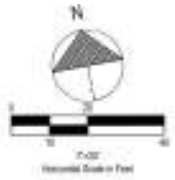
KEY MAP



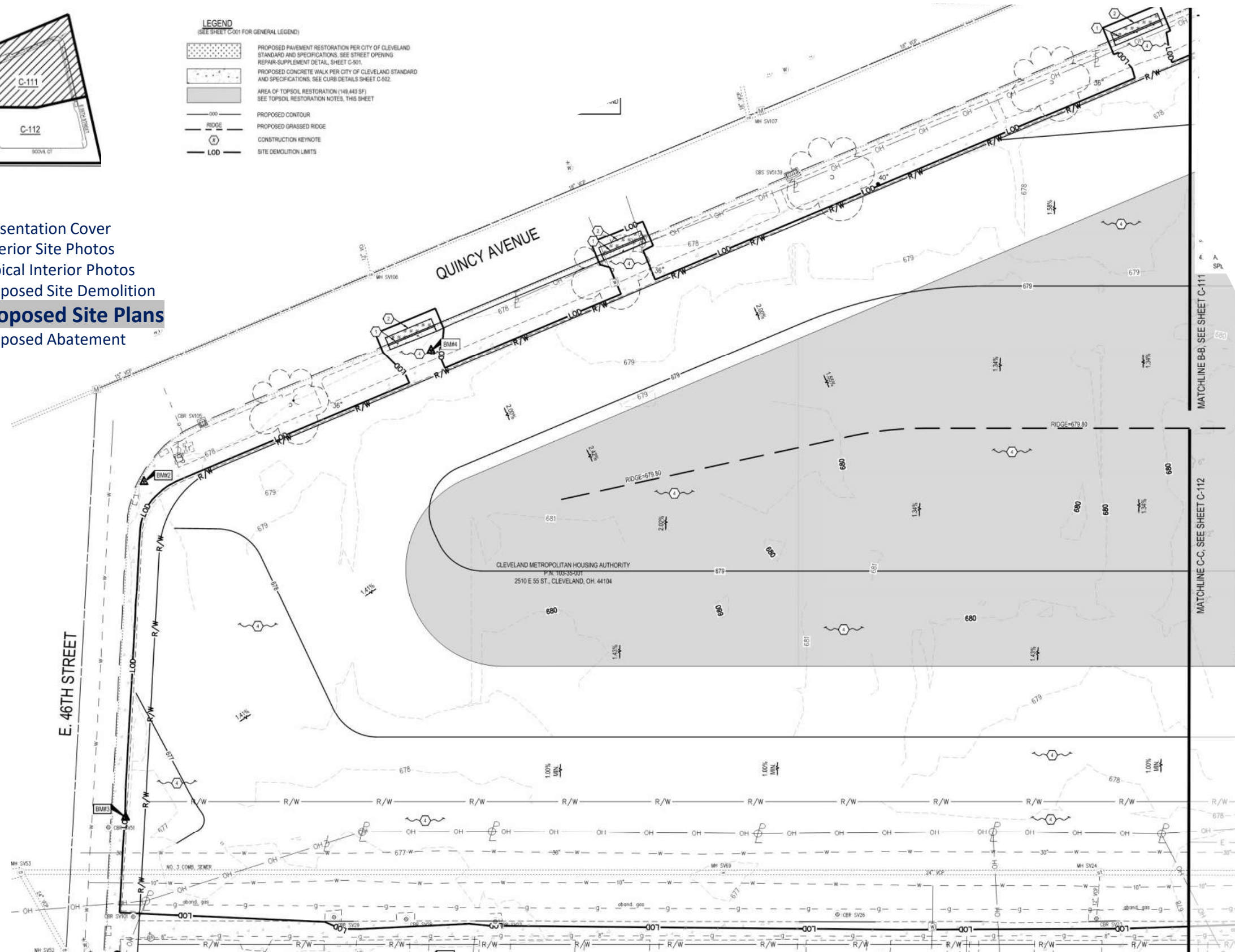
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CMHA- CARVER PARK ESTATES ASBESTOS AND UNIVERSAL WASTE REMOVAL

LEGEND:

- PAGES A1-A2
BRICK APT BUILDINGS
- PAGE A3
TOWNHOME BUILDINGS
- PROJECT AND
CONSTRUCTION BOUNDARY



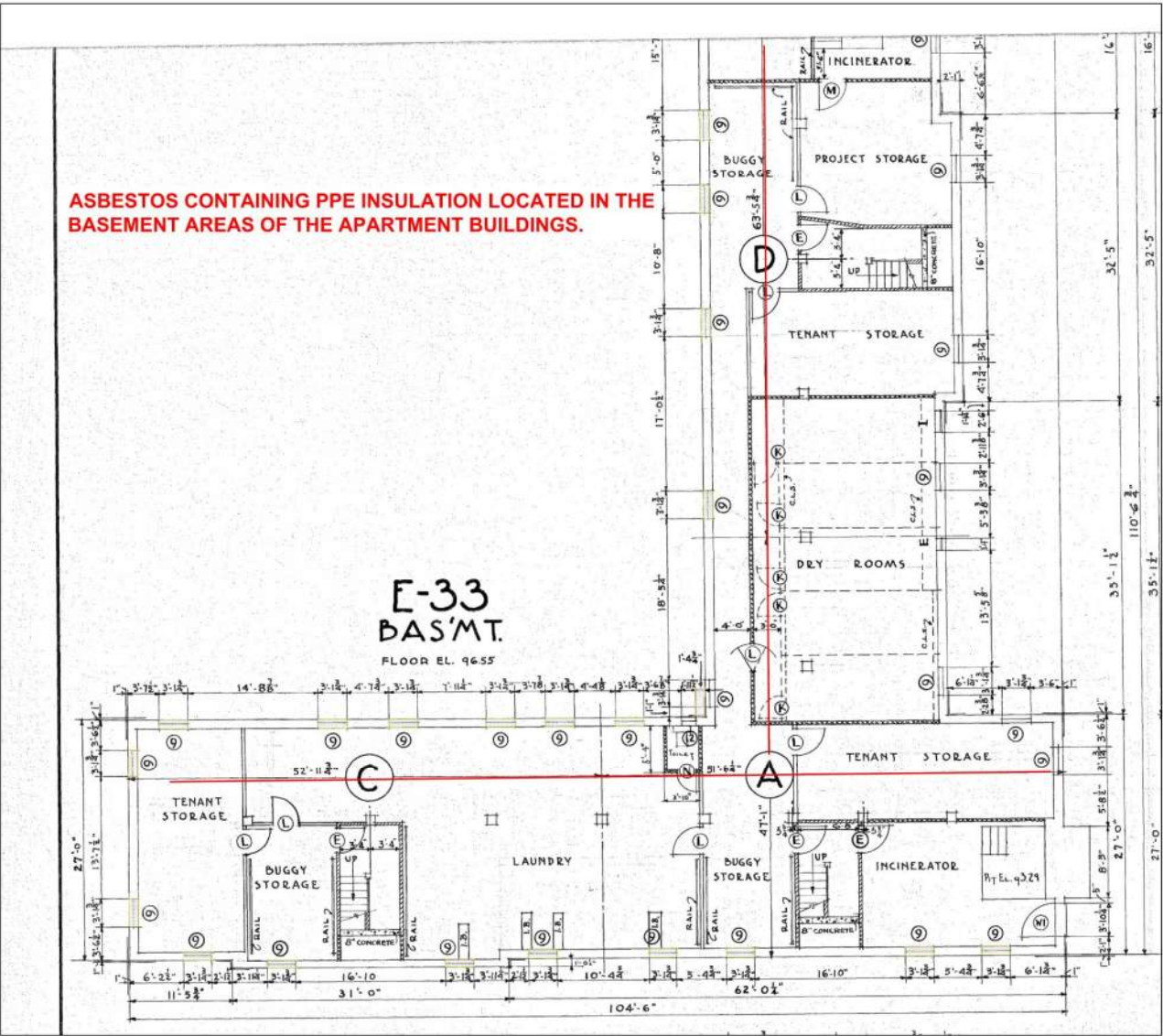
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ASBESTOS ABATEMENT GENERAL NOTES

- FIGURES ASB-001 THROUGH ASB-003 REPRESENT TYPICAL BUILDING CONFIGURATIONS AND APPROXIMATE ASBESTOS-CONTAINING MATERIAL (ACM) LOCATIONS.
- ASBESTOS-CONTAINING MATERIAL LOCATIONS AND QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW ALL OTHER TRADE DRAWINGS.
- ALL ASBESTOS WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS, STATE-OF-THE-ART WORK PRACTICES, AND SPECIFICATION SECTION 020800.
- PORTIONS OF THE PROJECT AREA MAY REQUIRE THE CONTRACTOR TO PROVIDE A TEMPORARY, AIR-TIGHT STUD AND PLYWOOD INSULATED OPENING CLOSURE WITH A LOCKABLE ACCESS DOOR AT THESE AREAS. IN ADDITION, THE CONTRACTOR SHALL SEAL ALL OPENINGS, ADJACENT TO THE PROJECT AREA PRIOR TO ANY ABATEMENT ACTIVITIES. THE AIR-TIGHT SEALS SHALL REMAIN FOR THE DURATION OF THE ABATEMENT ACTIVITIES. CONTRACTOR SHALL PROVIDE SHOW DRAWINGS OF THE WALLS TO THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THERMAL SYSTEM INSULATION (TSI) CONSISTING OF PIPE INSULATION AND ASSOCIATED HARD FITTINGS ARE LOCATED THROUGHOUT THE CARVER PARK COMPLEX BUILDINGS (CRAWLSPACE, MECHANICAL EQUIPMENT ROOMS, EXPOSED AND HIDDEN RISERS BEHIND WALLS, AND ASSOCIATED LATERALS ABOVE CEILINGS) ARE VERIFIED ACM. DEBRIS SHALL BE TREATED AS AN ASBESTOS-CONTAINING MATERIAL. PERFORM WORK ACCORDING TO OSHA CLASS I REQUIREMENTS.
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LEGEND:

- DENOTES ASBESTOS CONTAINING PIPE INSULATION
- ASBESTOS CONTAINING WINDOW CAULK AND SEALANTS (SEE KEYNOTE 11)



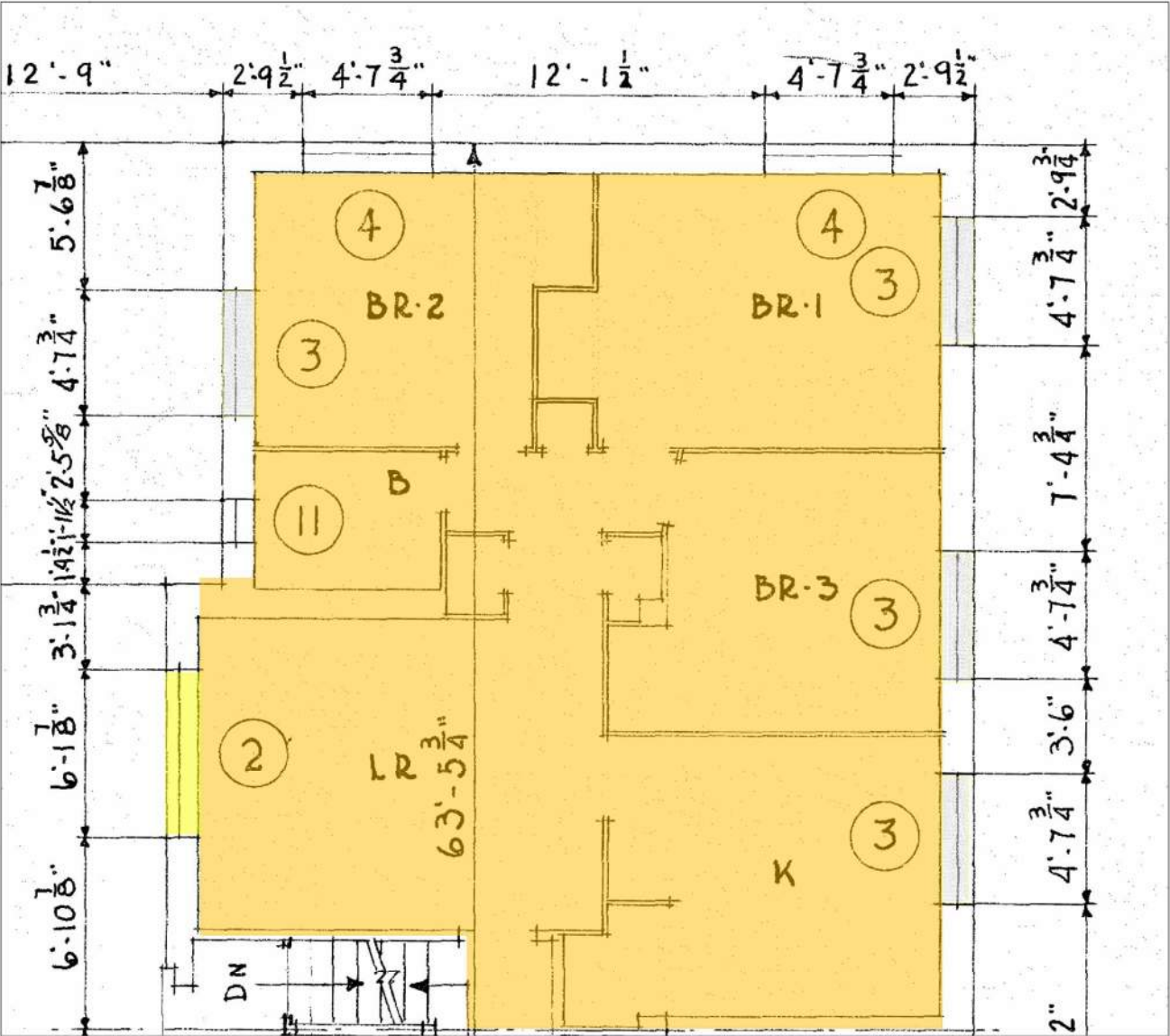
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LEGEND:

-  DENOTES ASBESTOS CONTAINING FLOOR TILE (SEE KEYNOTE 10)
-  ASBESTOS CONTAINING WINDOW CAULK AND SEALANTS (SEE KEYNOTE 11)



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LEGEND:

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GENERAL TOWNHOUSE LAYOUT



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Cleveland City Planning Commission

Design Review Committee Motion

May 20, 2022



Approved with the following conditions:

1. Consider temporary installation signage to inform public of future development of the site.
2. Developer will clean and green.



May 20, 2022

SE2022-008 – Proposed Demolition of a 2-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 3514 East 143rd Street

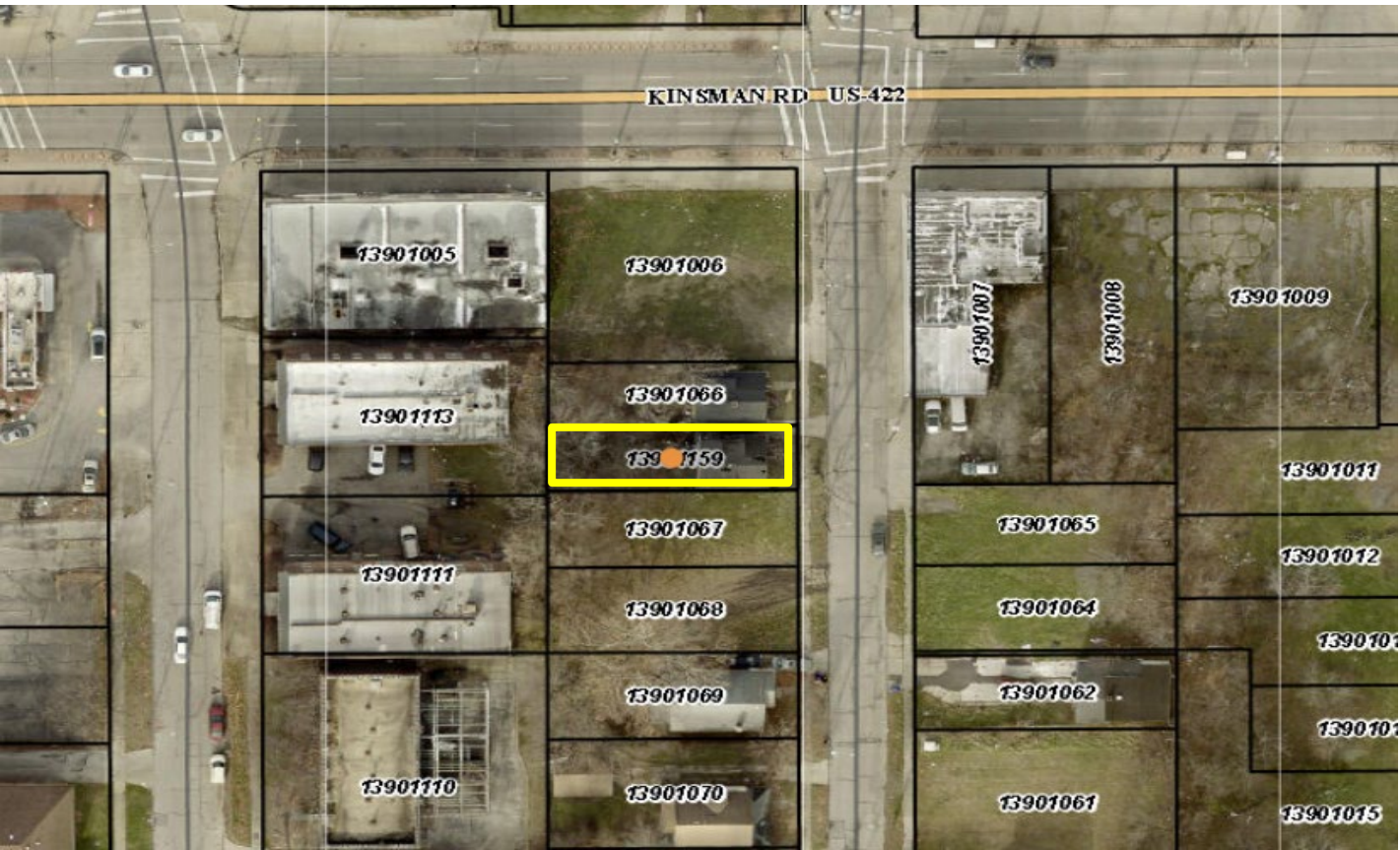
Project Representative: Steven Billington, CCLRC

Committee Recommendation: Approved as Presented



- 3514 East 143rd St
- 139-01-159
- Mt. Pleasant Design Review Committee Hearing
- Requesting Approval for Demolition Permit

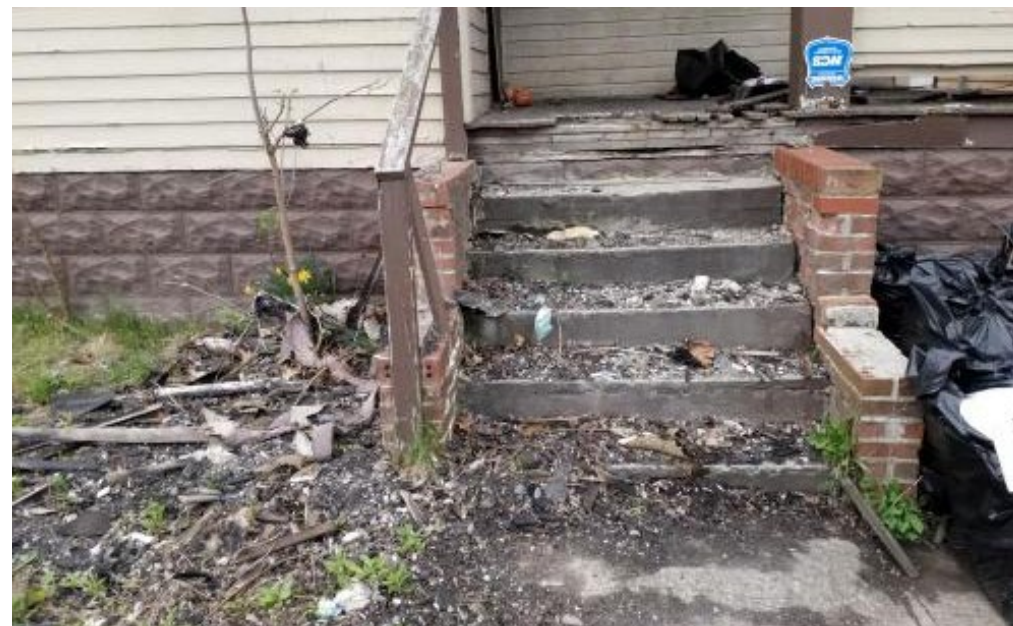




- **3514 East 143rd St 139-01-159**
- **Aerial View**



3514 East 143rd St 139-01-159 Neighborhood Conditions



3514 East 143rd St 139-01-159

Exterior Conditions



3514 East 143rd St 139-01-159

Interior Conditions



3514 East 143rd St 139-01-159

Interior Conditions

3514 East 143rd St 139-01-159
Site Finish Proposal

	Proposed Site Work
1	Demolish the vacant fire damaged residential building
2	Finish grade, install topsoil, seed and straw per specifications
3	Maintain mature healthy trees.





May 20, 2022

EC2022-009 – Proposed Demolition of a 2-Story Apartment Building:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Addresses: 10713-10723 Cedar Avenue

Project Representative: Steve Jennings, LDA Architects

Note: the Planning Commission Tabled this project on April 1, 2022.

Committee Recommendation: Approved as presented

EC2022-010 – UCI Development | Stokes West New Construction:
Seeking Schematic Design Approval

Project Location: NW corner of Cedar Avenue and Stokes Blvd.

Project Representatives: Steve Jennings, LDA Architects

Elise Yablonsky, University Circle Inc.

Dominick Durante, LDA Architects

Note: the Planning Commission Tabled this project on April 1, 2022.

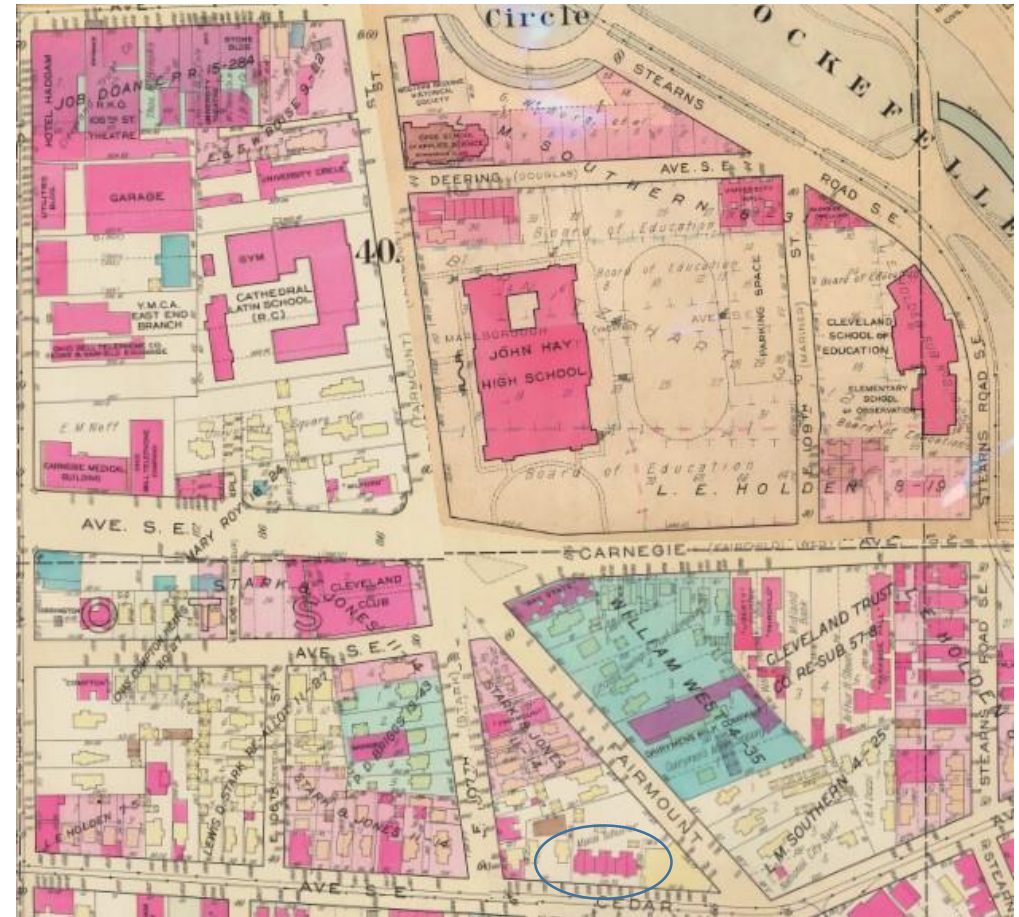
Committee Recommendation: Approved with Conditions

Schuster Terrace

10713 – 10723 Cedar Avenue

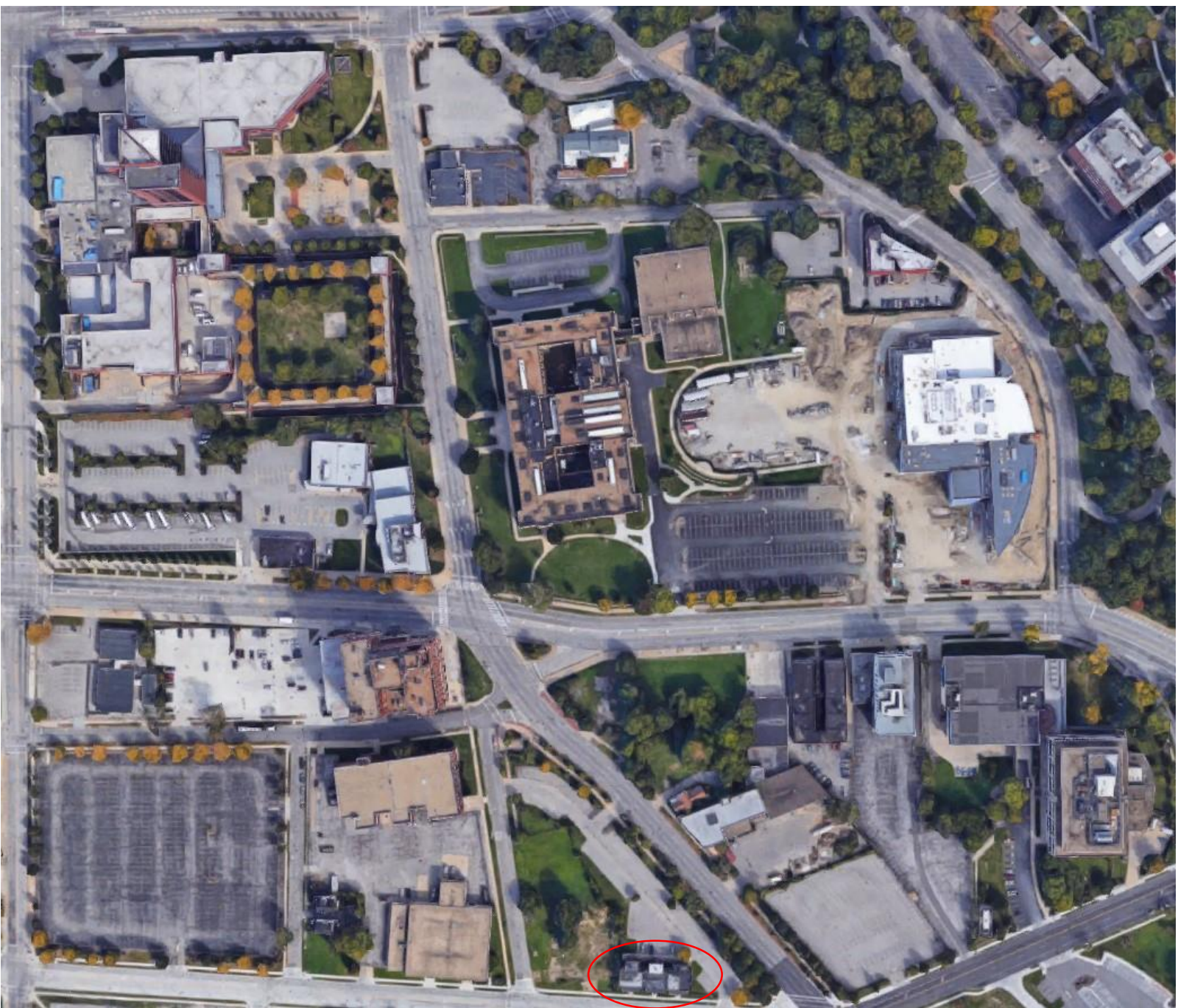
Site Visit 5/4/2022

1912 - 1937



1951 - 1979















10717 had most integrity on primary facade



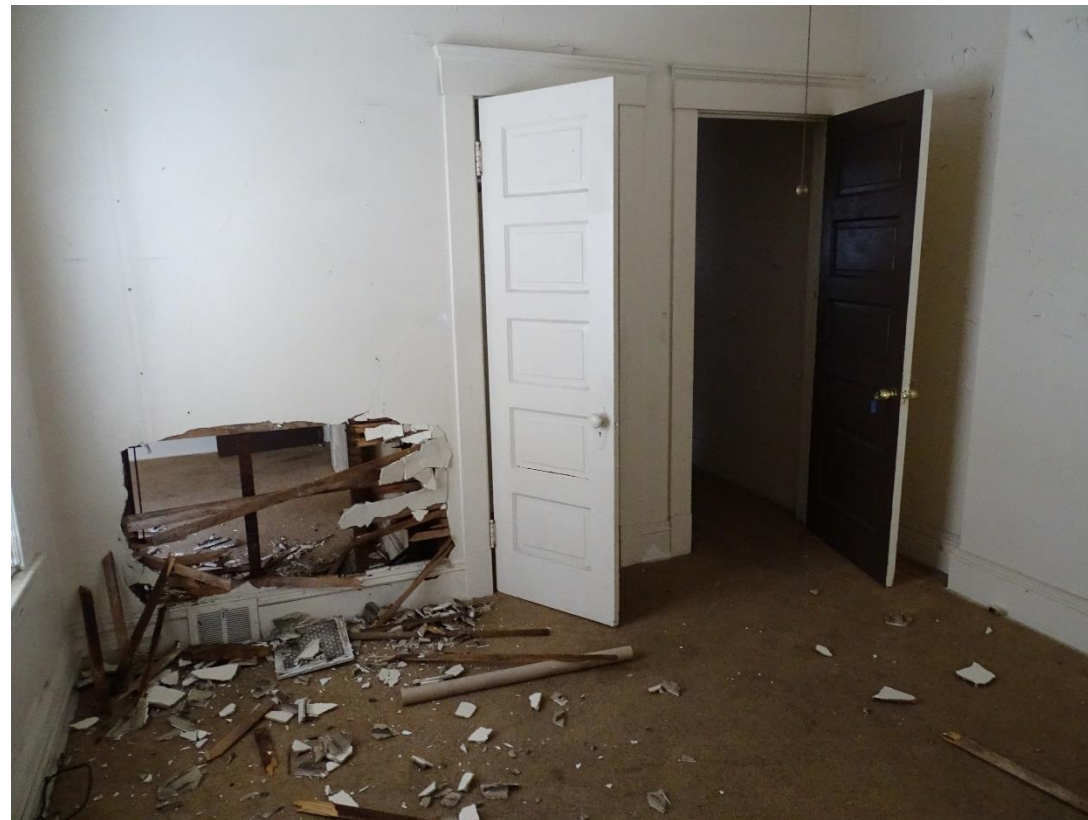
Interior 10723

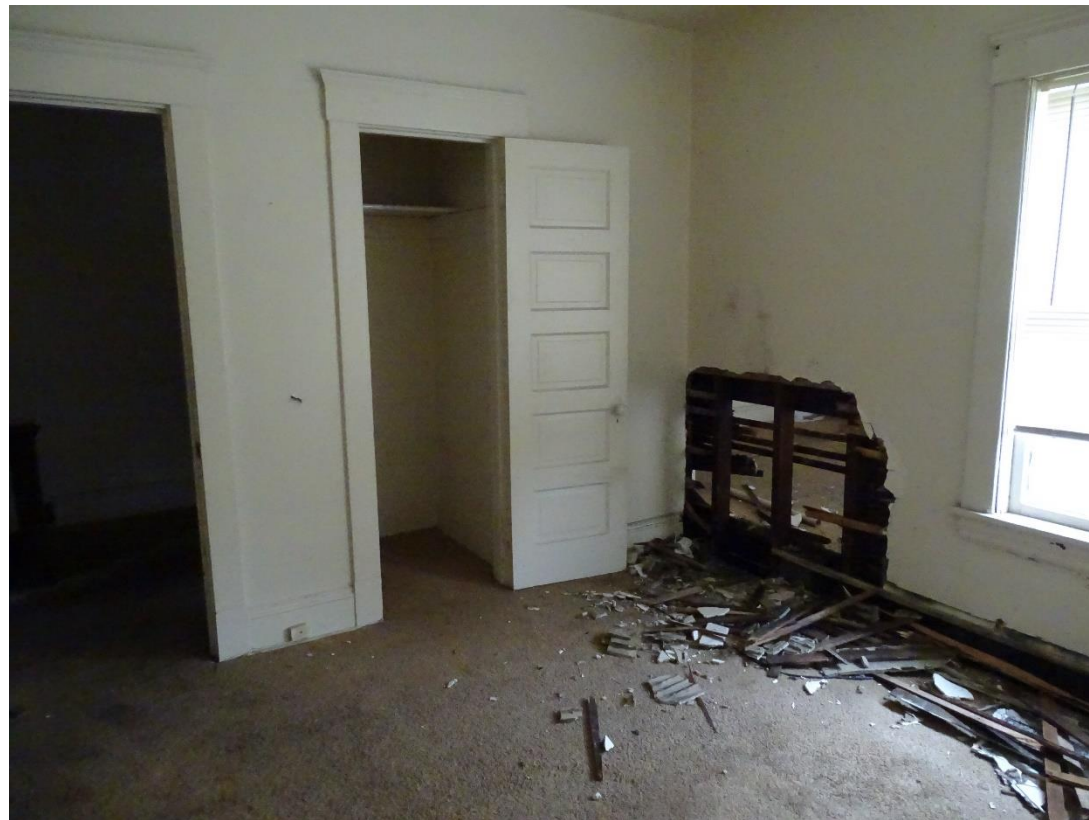
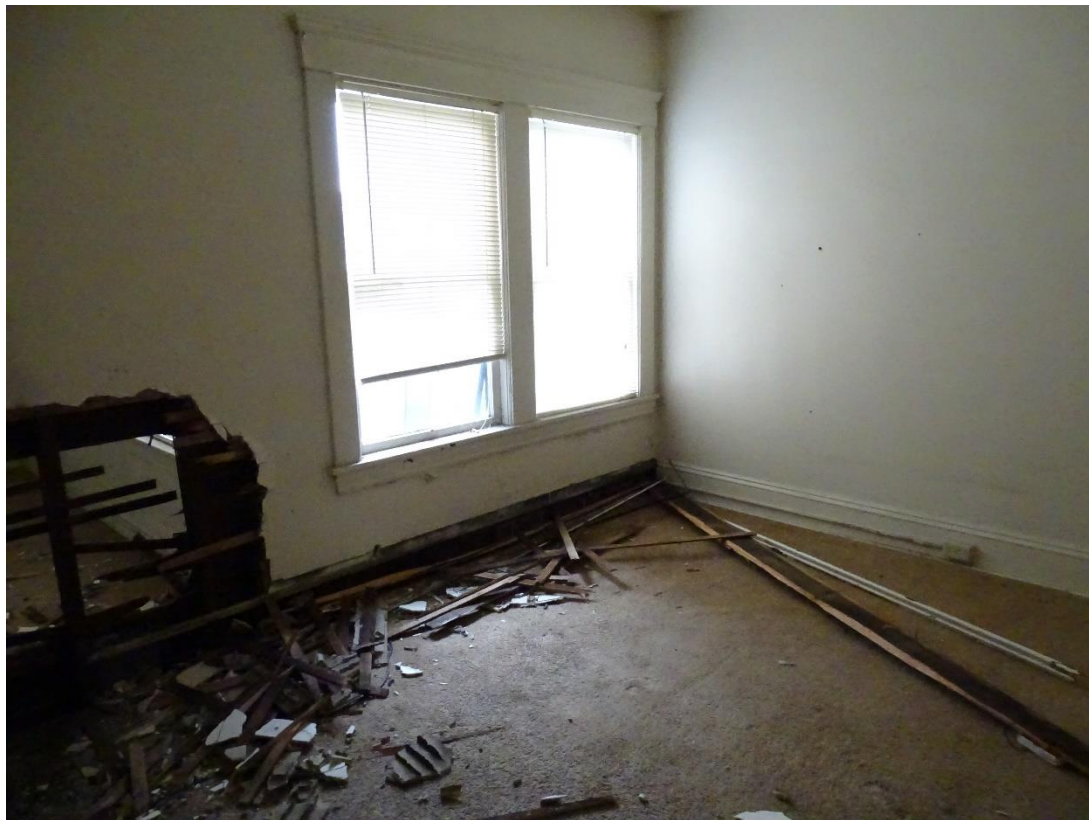








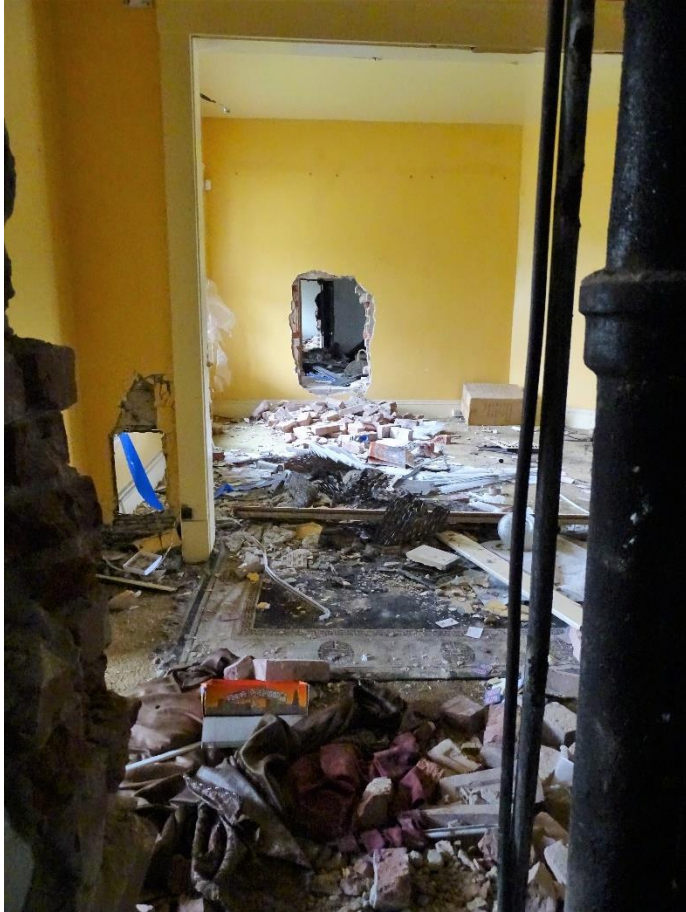








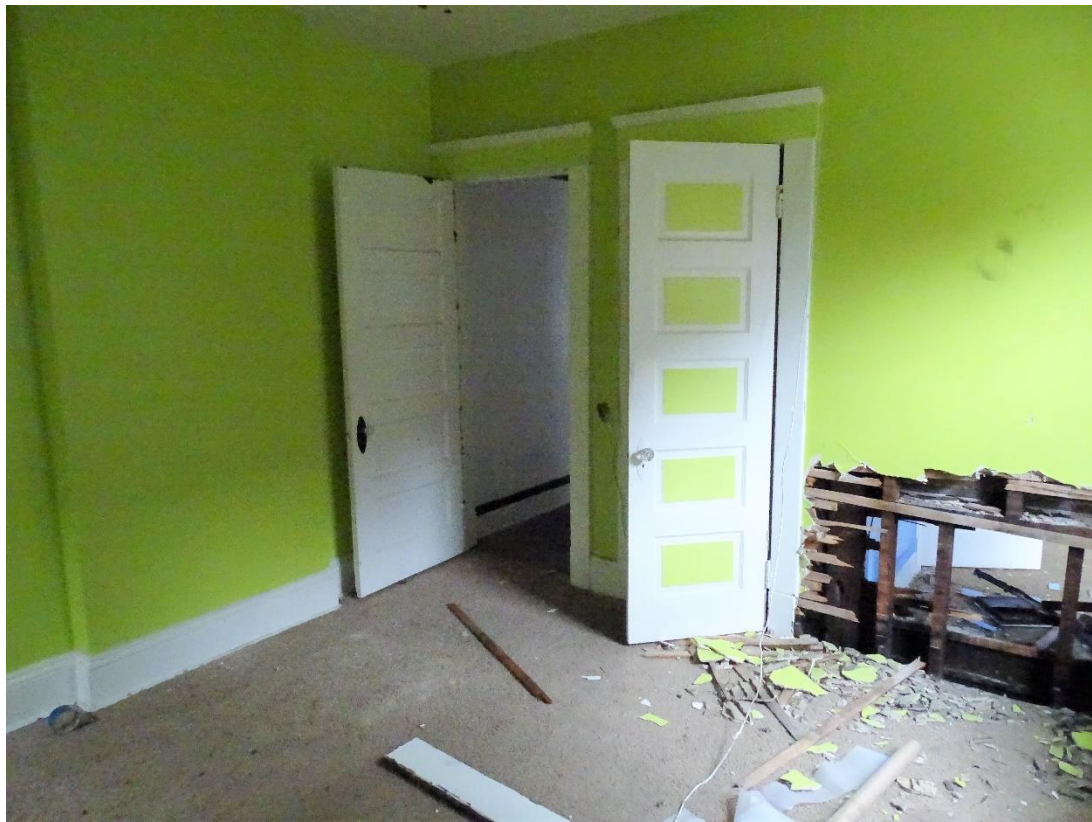
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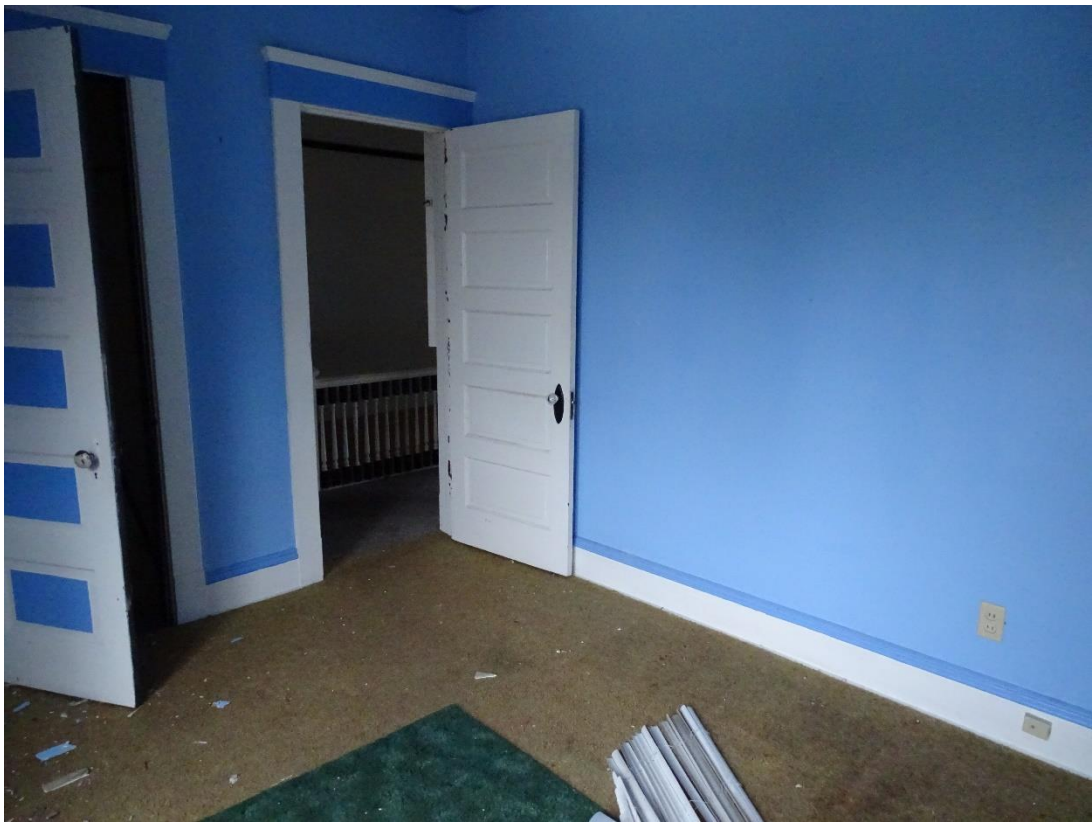










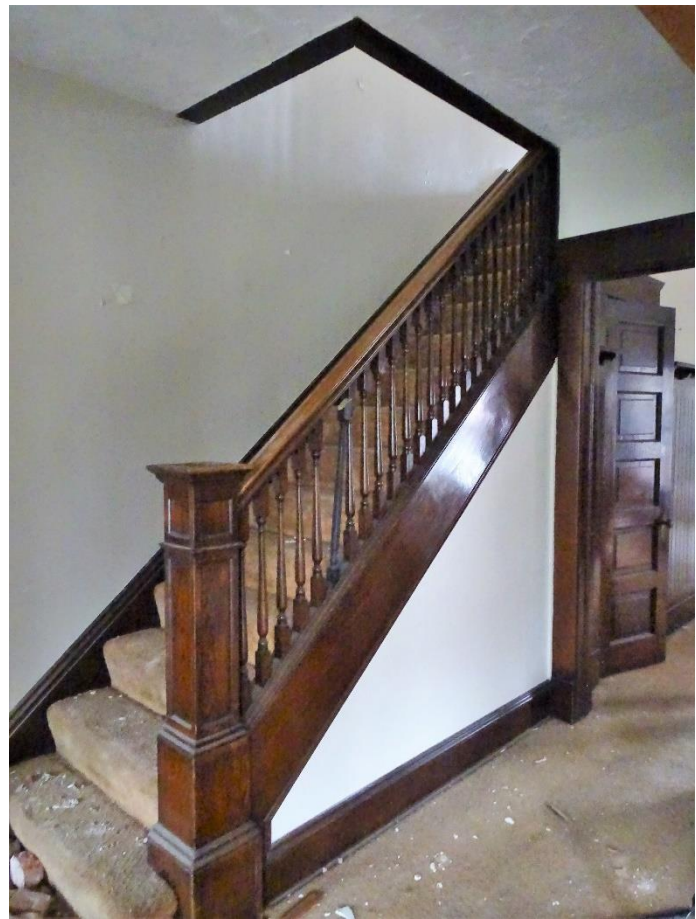


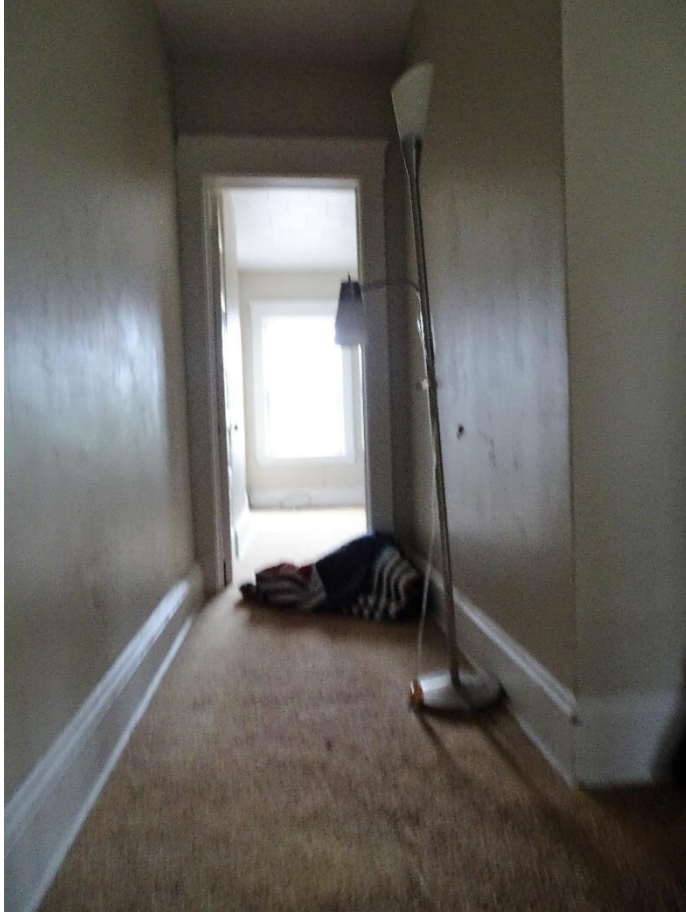


10719





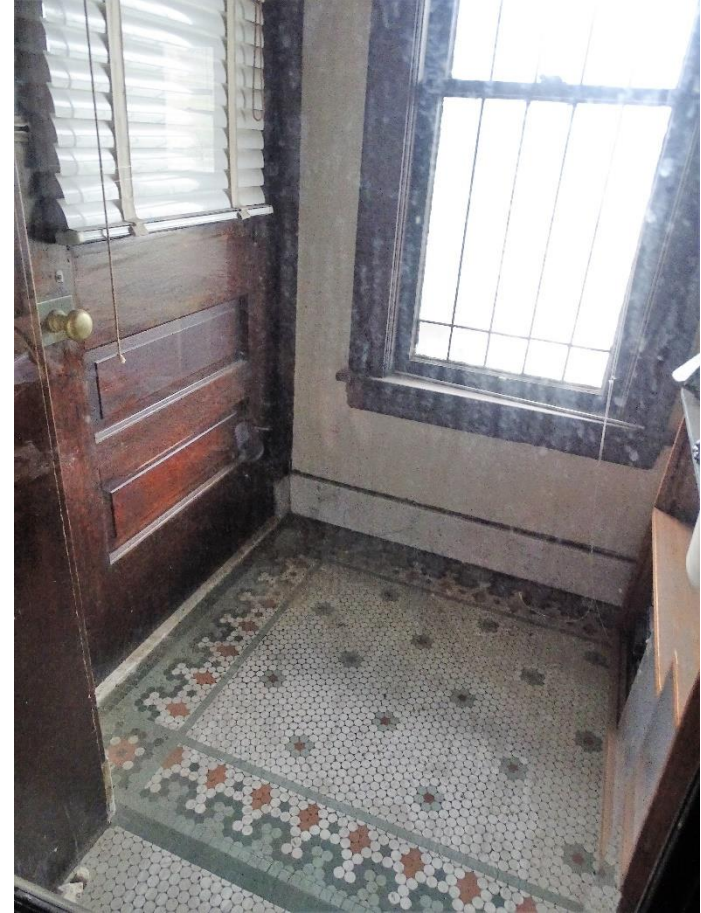












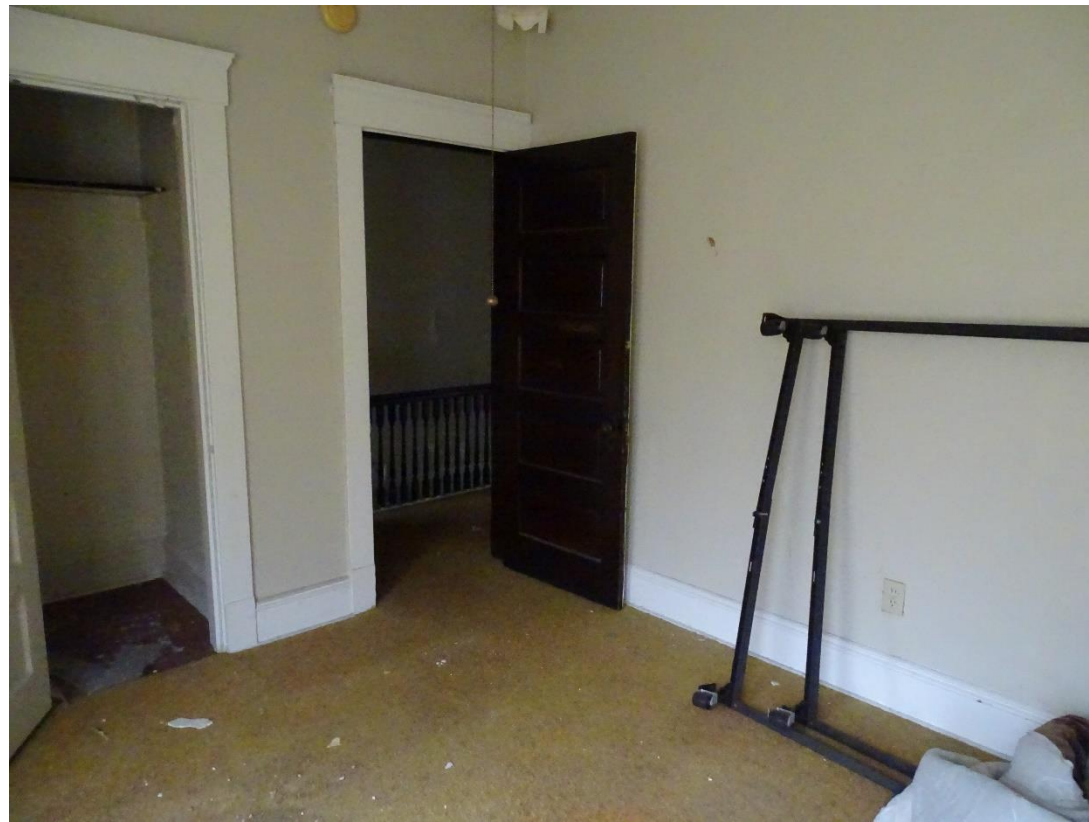
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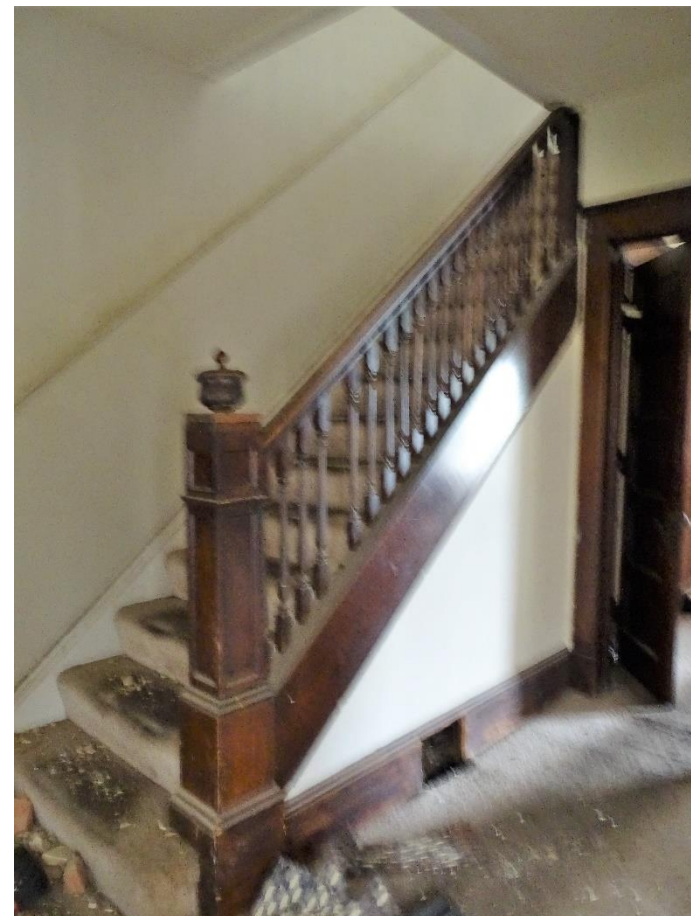




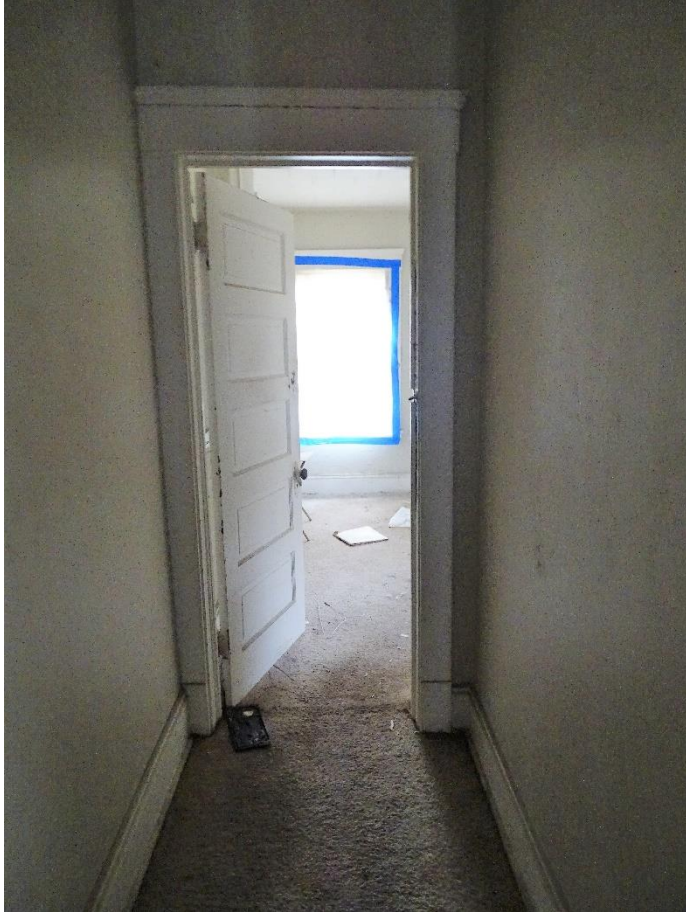
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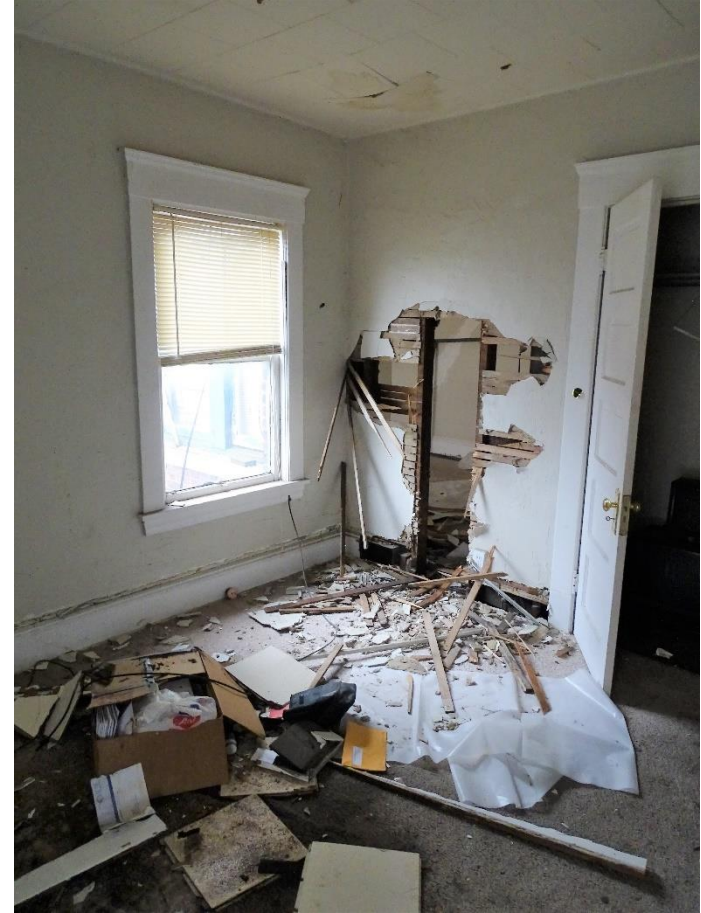
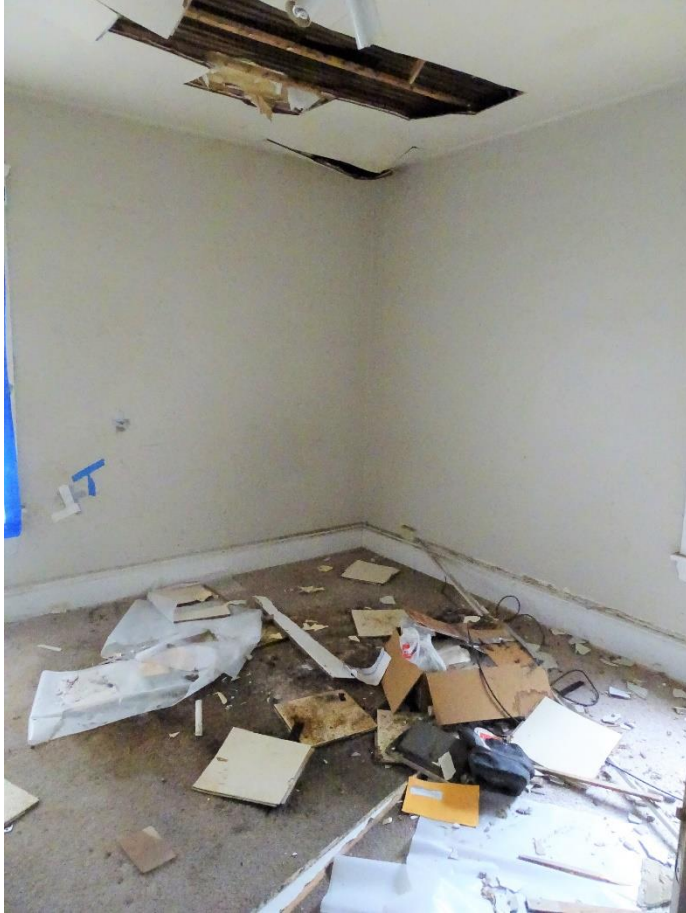
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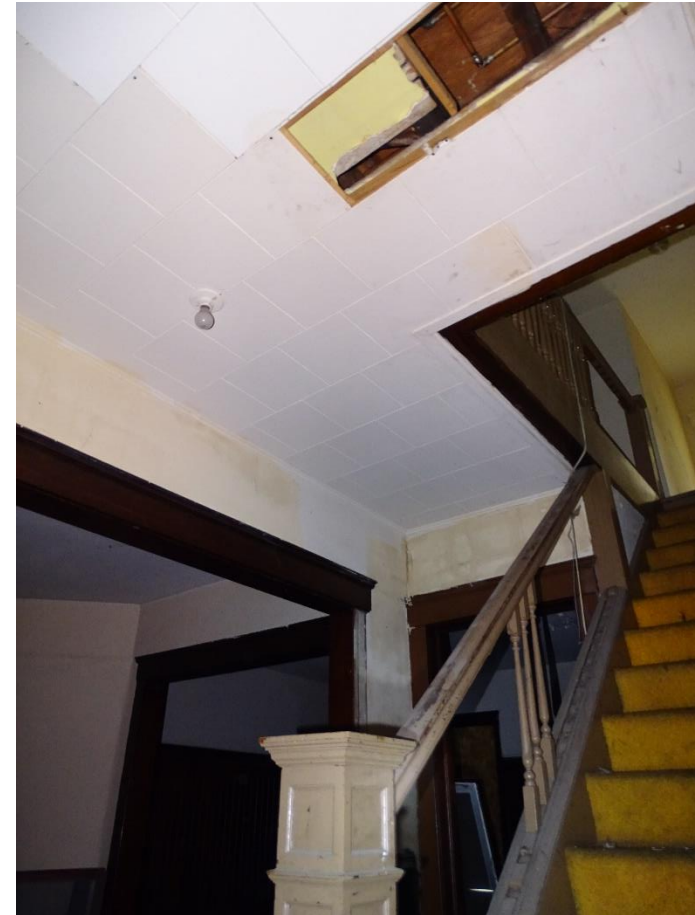






10713

We did not do a full tour of this unit



UCI Development | Stokes West

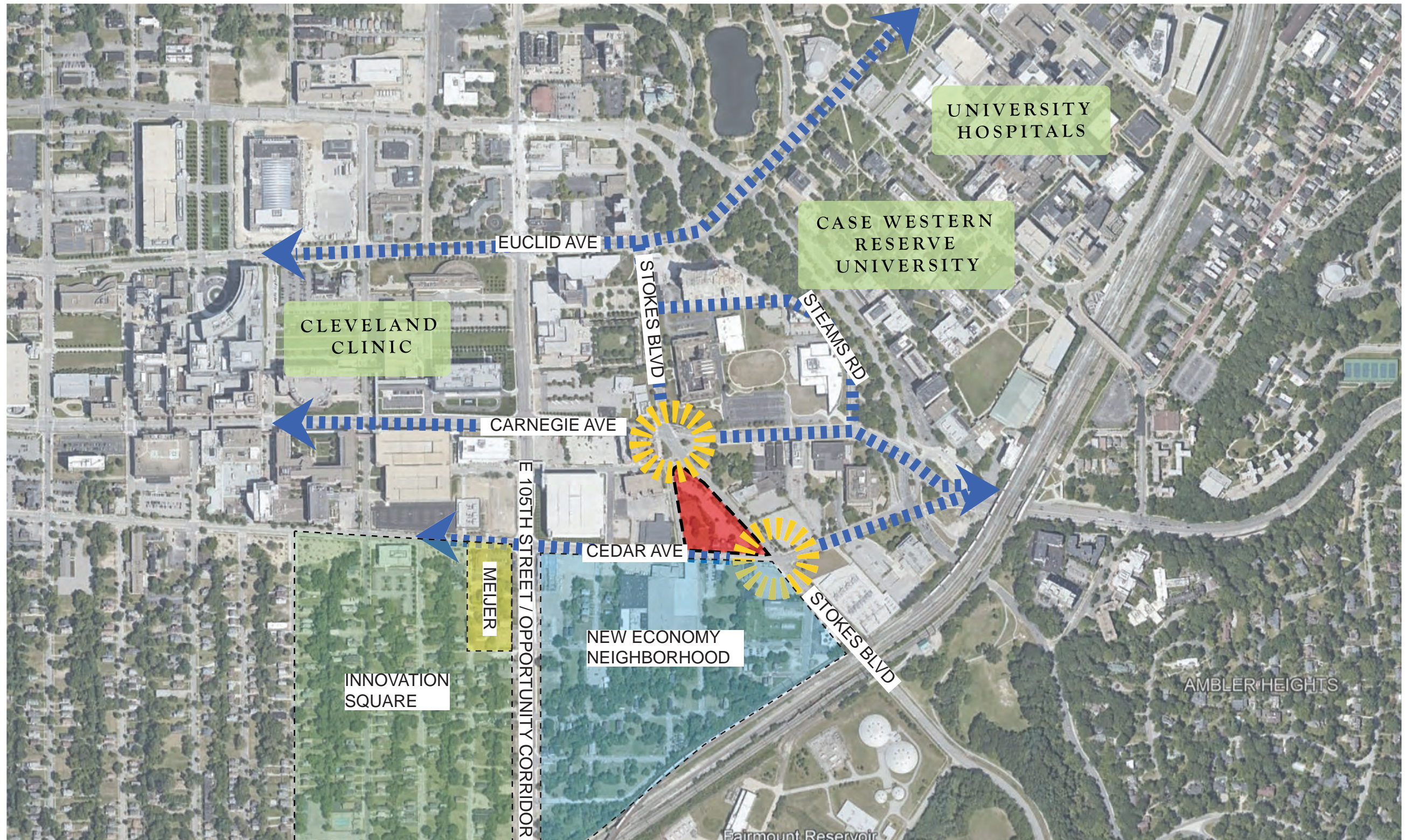
Cleveland, Ohio



DESIGN REVIEW

05.19.2022





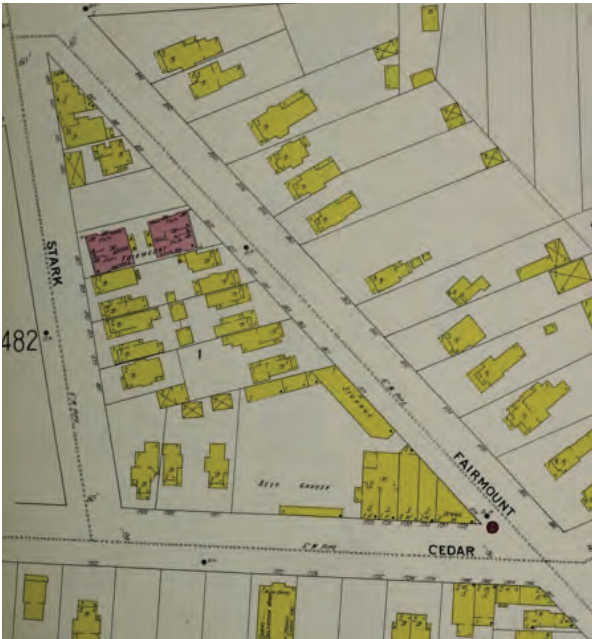




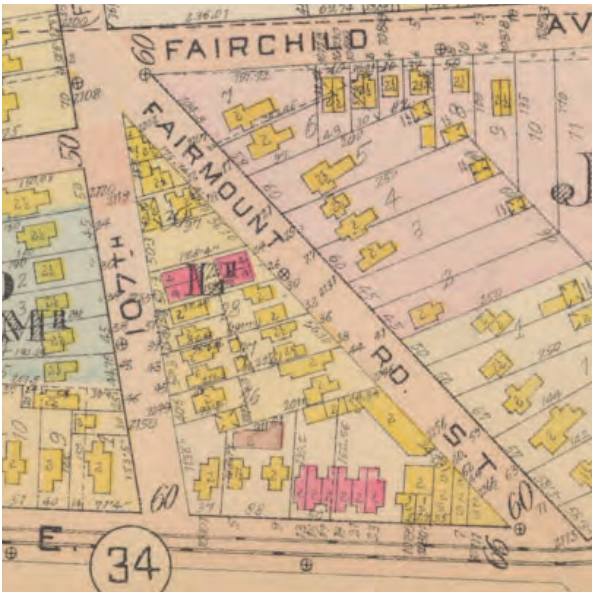
The triangular parcel of land proposed as the location of the UCI Stokes West development was a residential neighborhood beginning in the late 1870s. The first structures on the site were frame single-family homes. [1881 Hopkins Map of Cleveland]



The row homes at 10713-10723 Cedar Avenue were built in about 1908 on land owned by a local brewer. The new row homes replaced a beer garden located on the site in the late nineteenth and early twentieth centuries. [1903 Sanborn Fire Insurance Map] The homes were occupied by renters in April of 1909, when a severe storm damaged 10713 Cedar.



In 1912, the neighborhood consisted primarily of frame dwellings, a frame building with ground-floor stores at the corner of Cedar and what was then Fairmount, and three brick multi-family residential buildings, including the row homes. [1912 Hopkins Map of Cleveland]

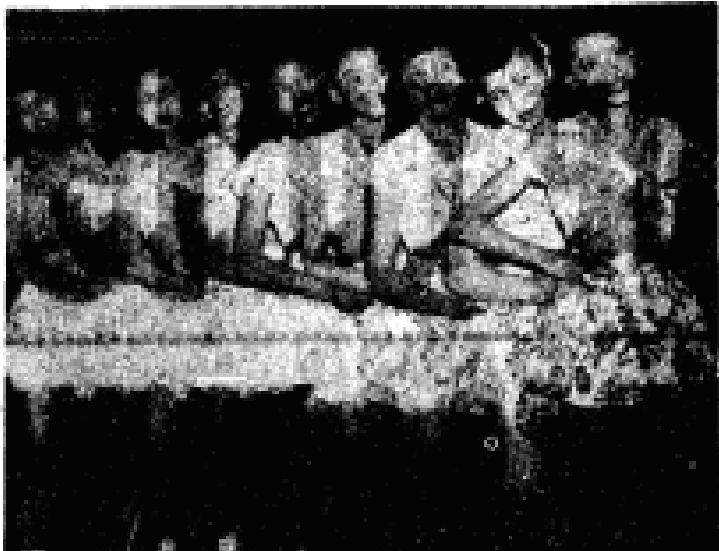


The neighborhood remained primarily residential throughout the twentieth century, although a gas station and car wash were added to the triangle-shaped site. Census records from the 1940s and 1950s show that most of the row homes were occupied by Italian-American families at that time.

		Cassoni, Elsie	daughter	W	F	24	Mar	Italy	
		—	Son	W	M	26	Mar	Italy	
10721	40	Frezza, Alfred F.	Head	W	M	51	Mar	Italy	
		—	Edwige V	Wife	W	F	42	Mar	Italy
		Merelli, Angela	mother	W	F	70	Mar	Italy	
		Rainaldi, Dante	roomer	W	M	52	Mar	Italy	
10723	41	Santone, Mary E.	Head	W	F	42	Mar	Italy	
		—	Son	W	M	48	Mar	Italy	
		—	Anne	Sister	W	F	40	Mar	Italy

Between 1950 and 1965, the area along Cedar Avenue transitioned to become a majority African-American neighborhood. A party center and skating rink located southwest of the row homes was an important fixture in Cleveland's Black community. It opened as the Pla-Mor in 1940 and was the only skating rink in Cleveland to welcome Black skaters.

The Pla-Mor Roller Debs



The Pla-Mor hosted civil rights movement events, held exhibitions of local Black businesses, and attracted well-known musicians. After the rink's name changed to the University Party Center, the Count Basie Orchestra played at a cabaret party. In July of 1966, the party center burned during the Hough Riots. [1966 Photograph from Cleveland Memory] Demolition of other neighborhood structures began soon after.





Cedar Avenue



E. 107th Street



Fairmount Road/ Stokes Boulevard

INCORPORATED
ON SITE

- 1. STONE COINS -
TO BE USED IN
SITE DESIGN
- 2. WOOD
PANELING -
TO BE USED IN
COWORK LIBRARY
- 3. WOOD
COLUMNS-
TO BE USED IN
TOWNHOMES



IMAGE 1



IMAGE 2



IMAGE 3

SALVAGED BY
OTHERS

- 4. MISCELLANEOUS
WOOD TRIM AND
MILLWORK
- 5. WOOD DOORS
- 6. CAST IRON CLAW
FOOT TUBS



IMAGE 4

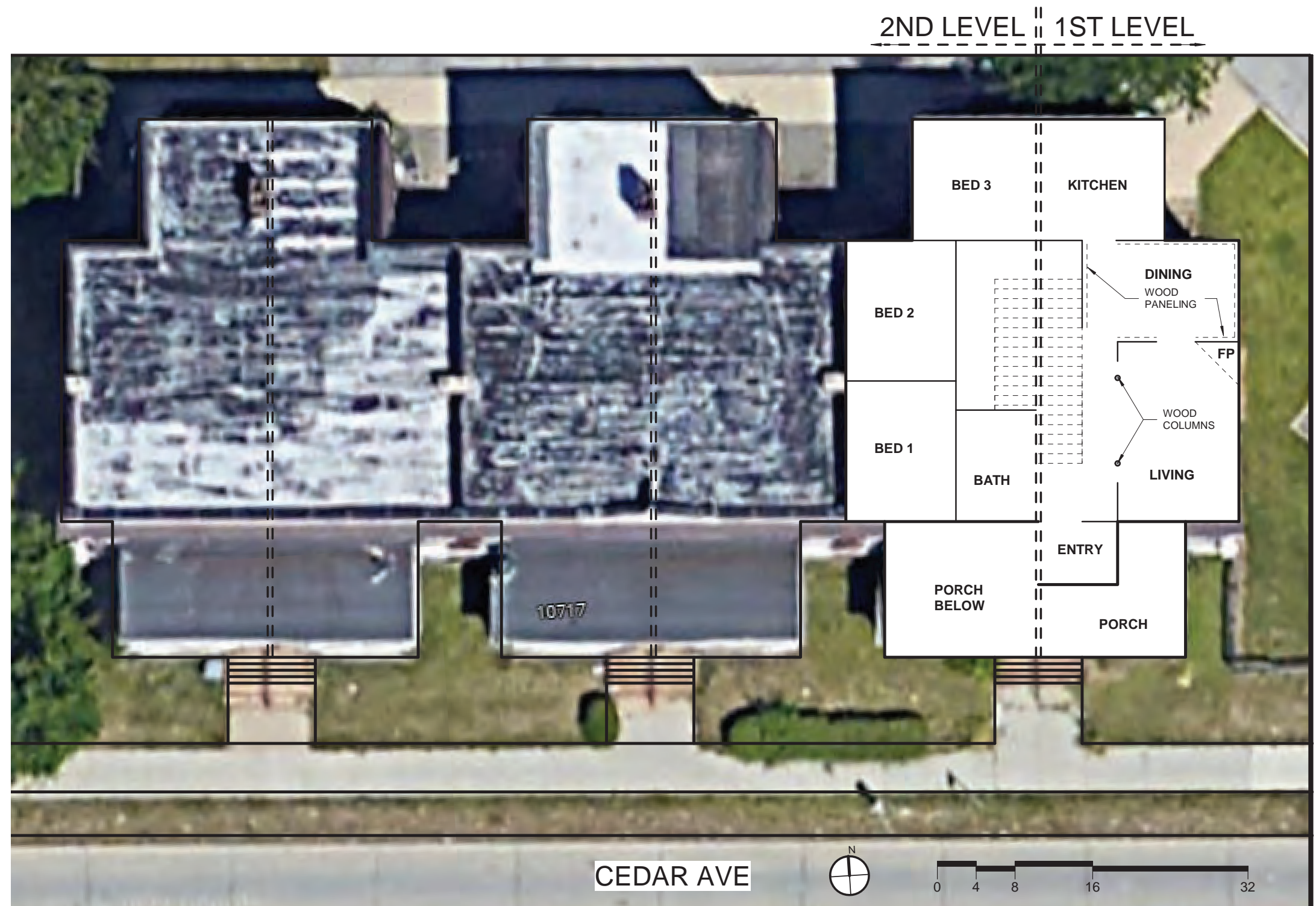


IMAGE 5



IMAGE 6

1. Will need two bathrooms in lieu of one, which will require losing one of the three bedrooms.
2. Kitchen space is small in comparison to today's standards.
3. First floor level will not accommodate an open floor plan, specifically the kitchen is limited to a small door opening.
4. No accessibility or visitability as first floor is half a story above grade.
5. Not possible to have attached garage.
6. Exterior walls are not energy efficient and would require removal of interior plaster for installation of insulation.
 - a. Require exterior door and window replacement
 - b. Roofing and insulation
 - c. Masonry repairs
7. Basement is not usable and requires significant waterproofing.
8. Asbestos and lead paint abatement.
9. Significant water damage throughout.
10. All new MEP systems.
11. Fire department access 26 ft wide is required on both sides of proposed tower building.















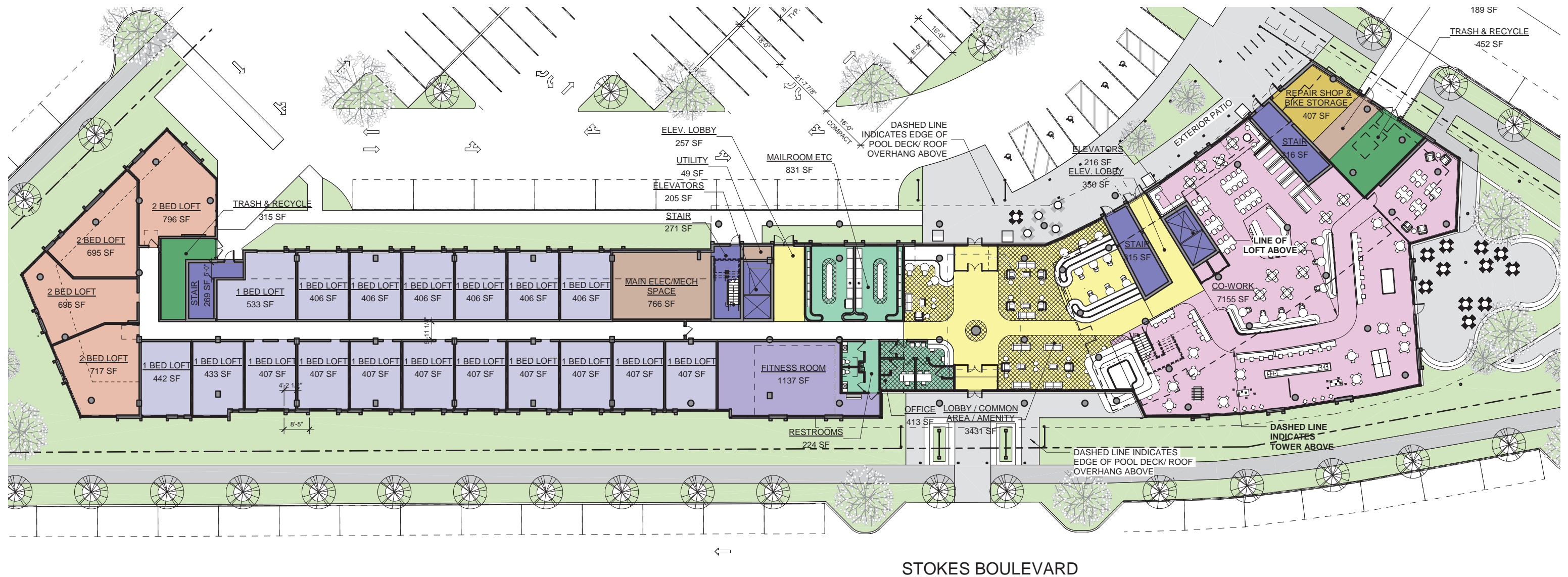


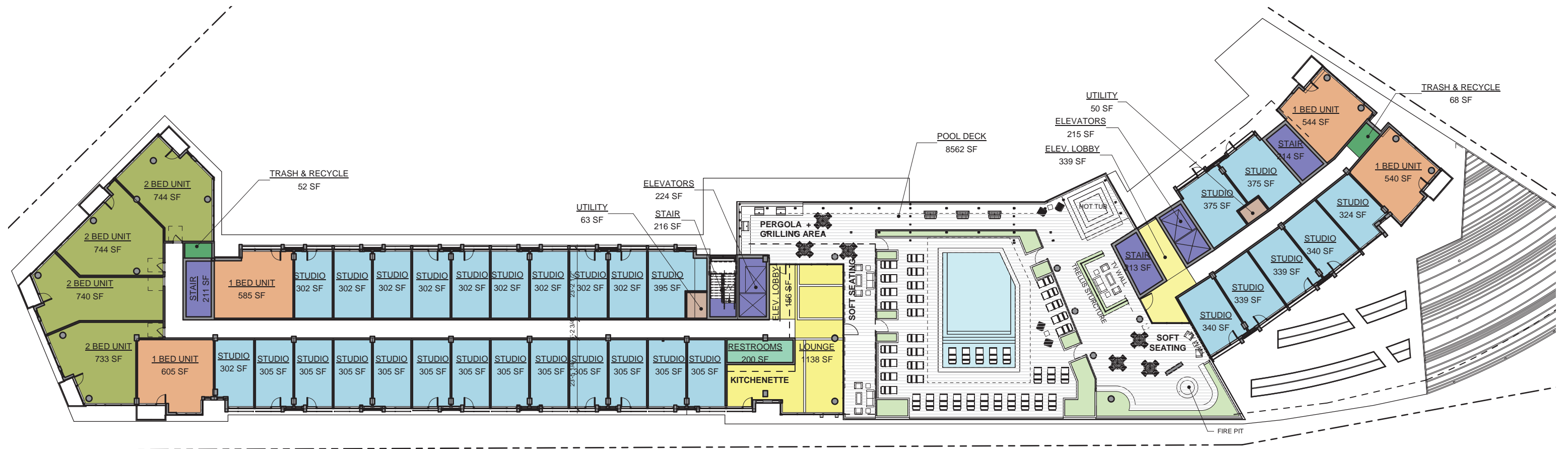


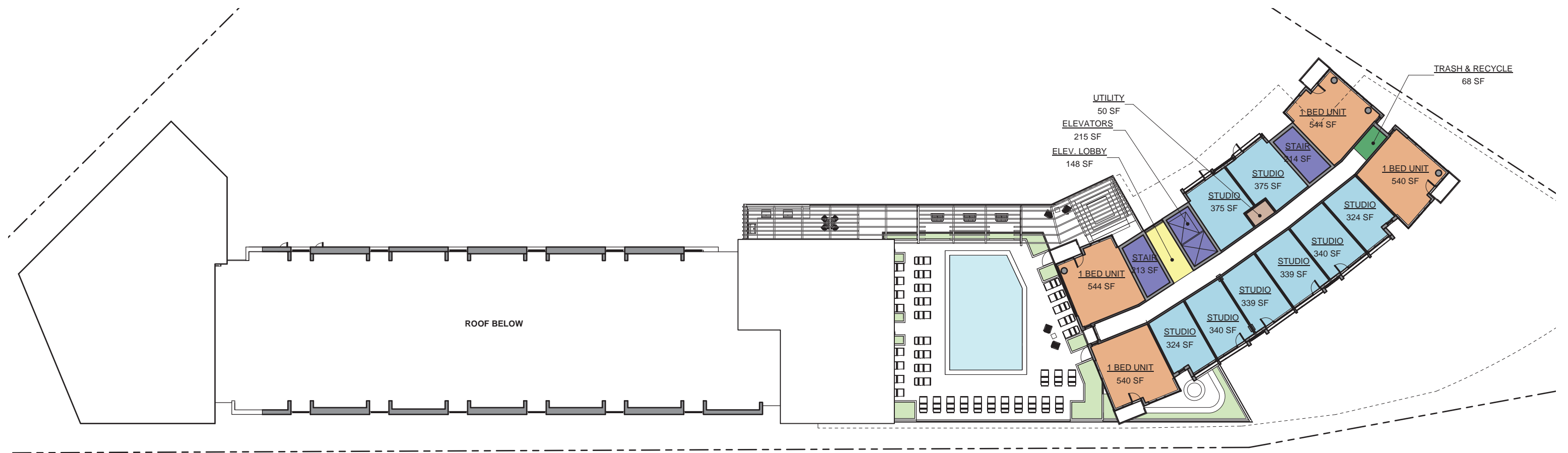


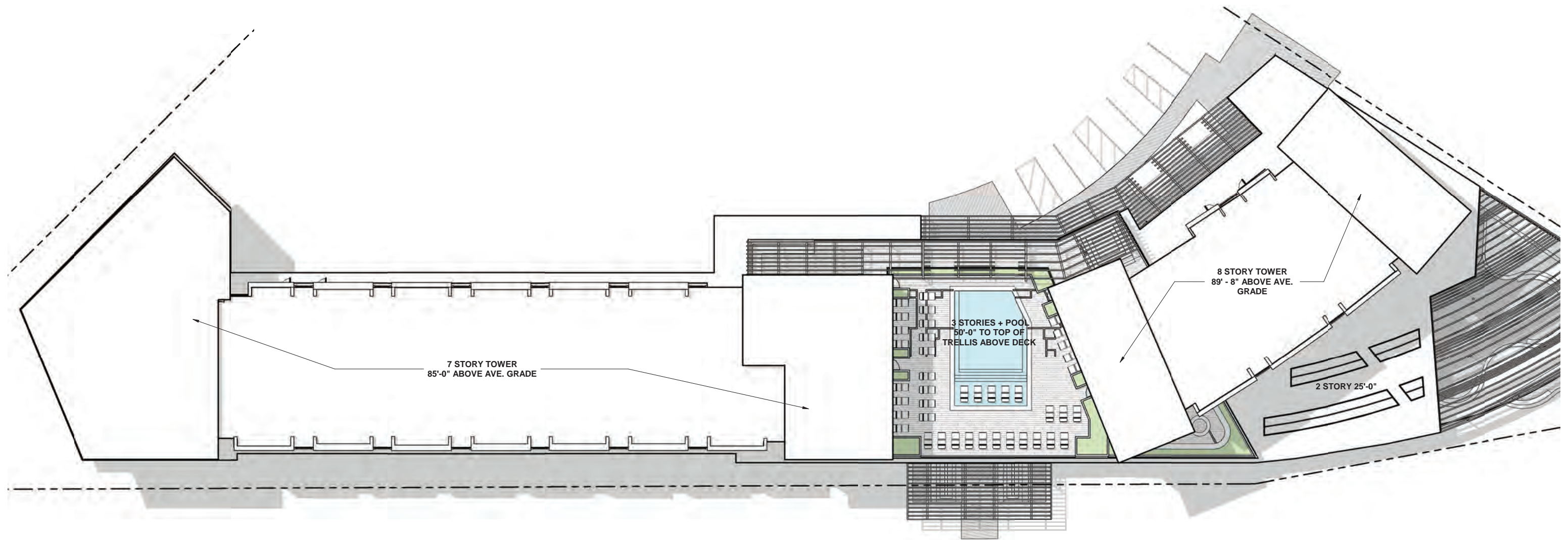


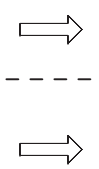
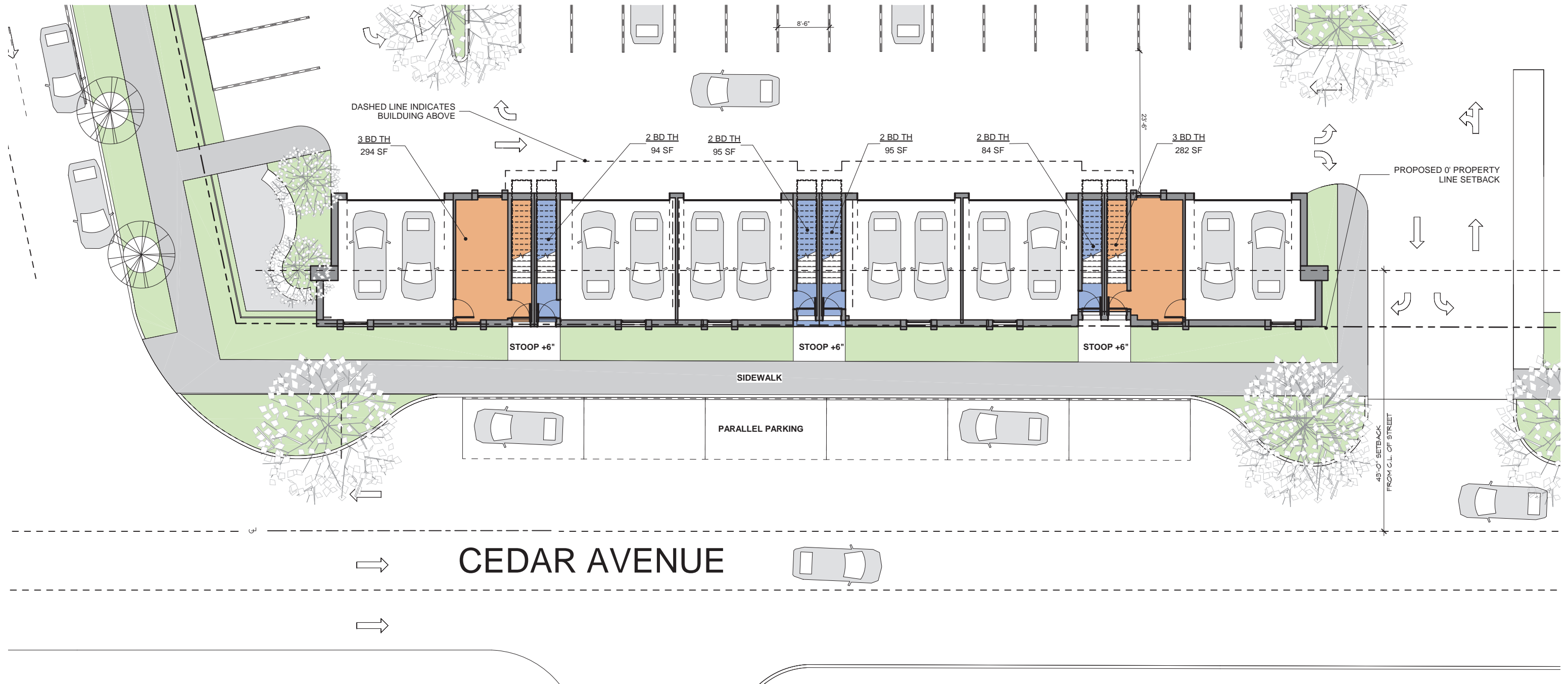




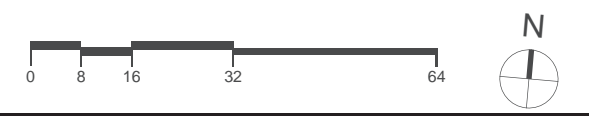
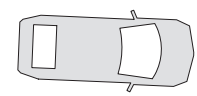


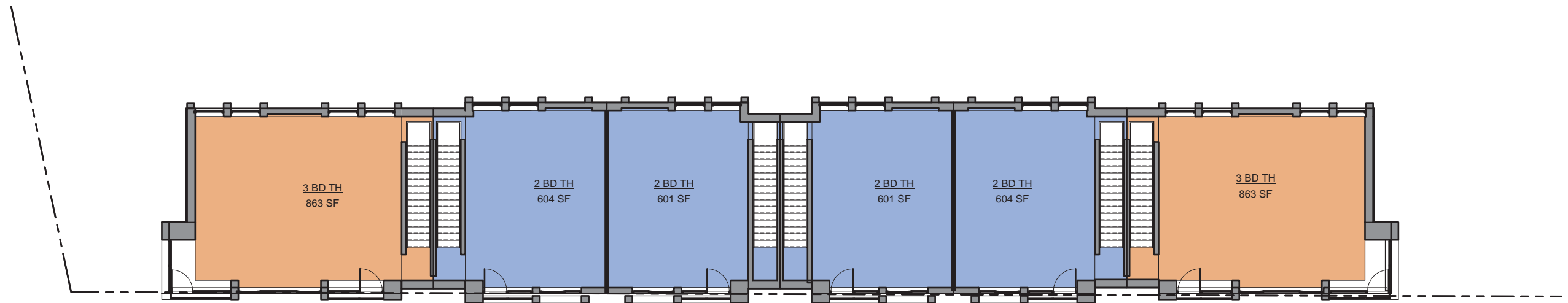
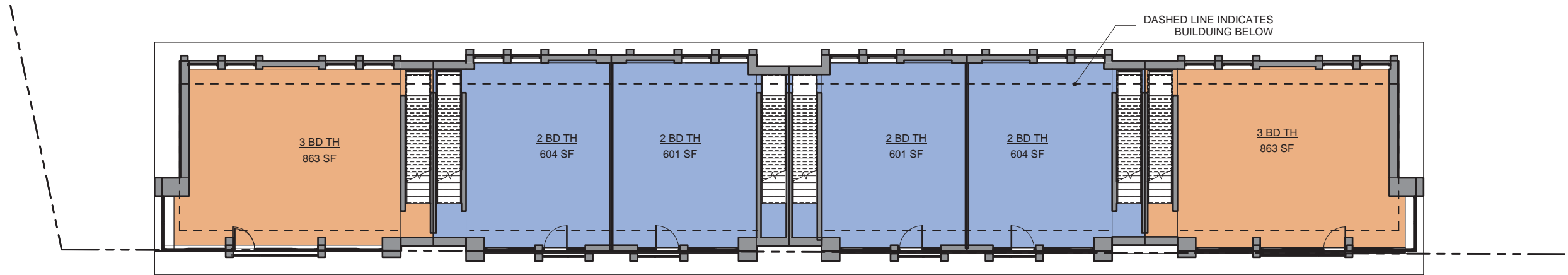


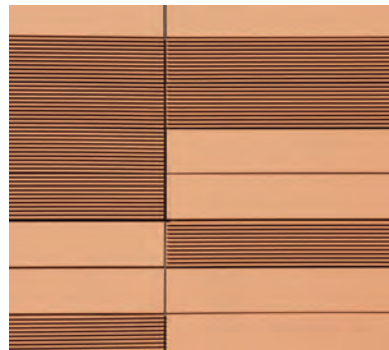




CEDAR AVENUE







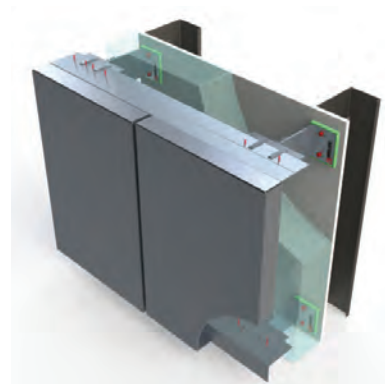
TERRACOTTA CLADDING



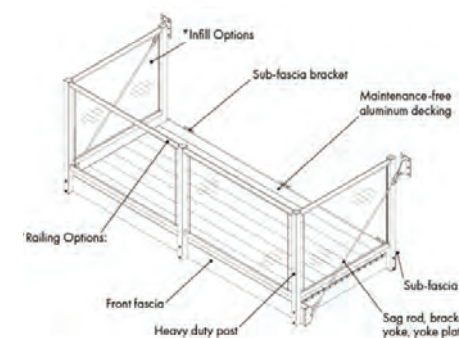
AS&D BALCONY CABLE RAILING



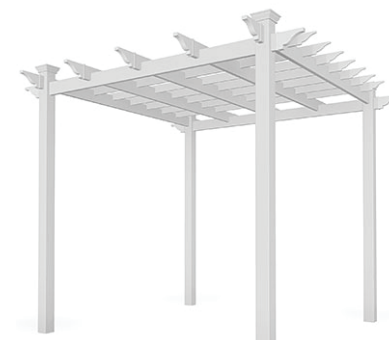
KAWNEER METROVIEW WINDOW WALL



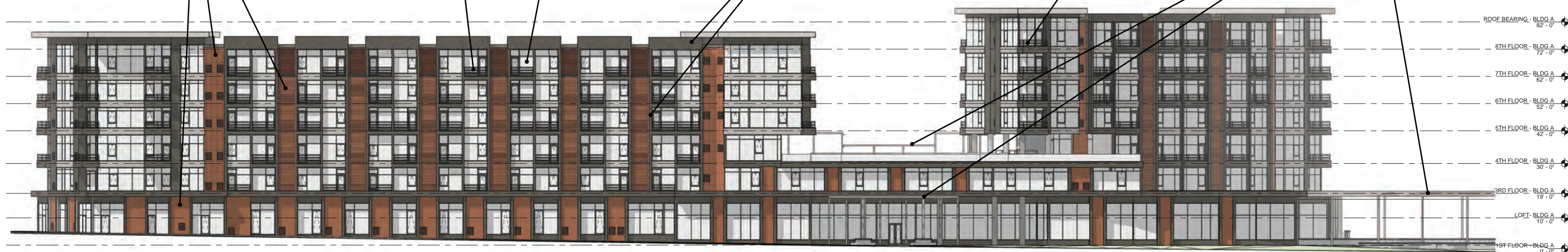
ACM RAINSCREEN



AS&D PREFAB BALCONY SYSTEM



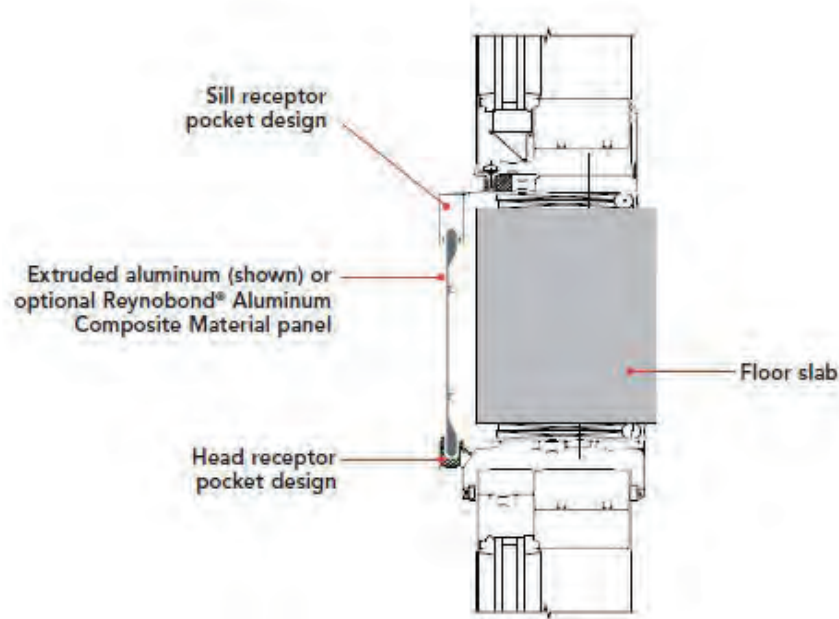
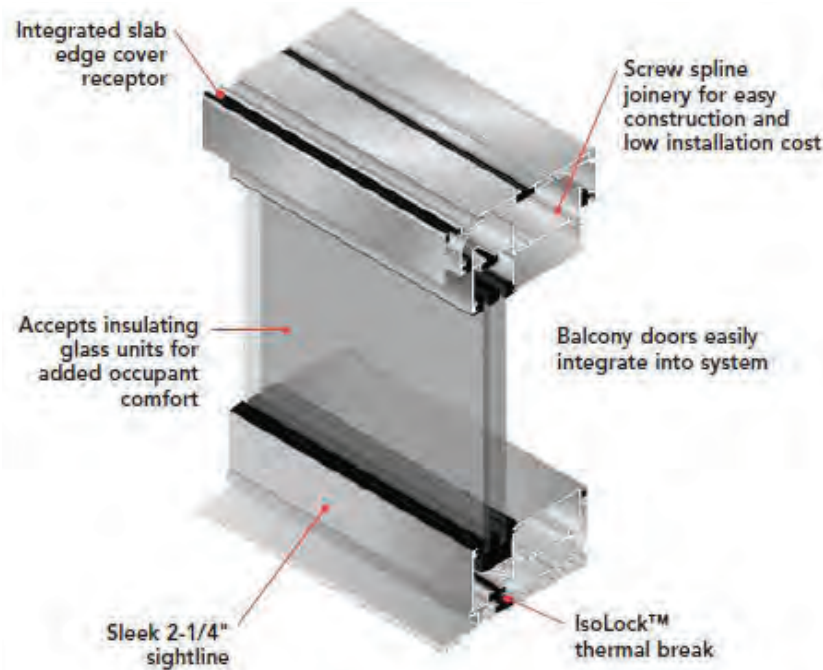
TRELLIS



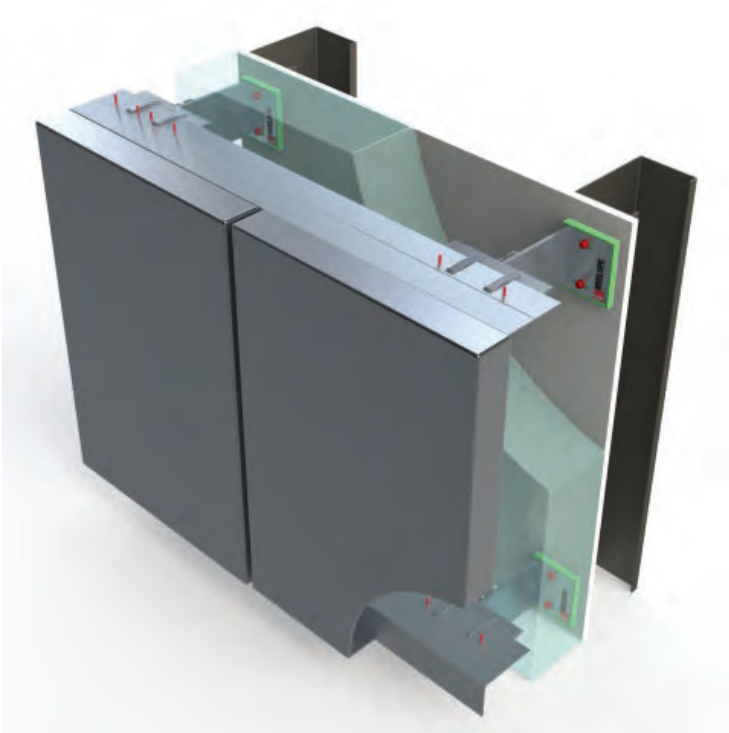
SOUTH ELEVATION



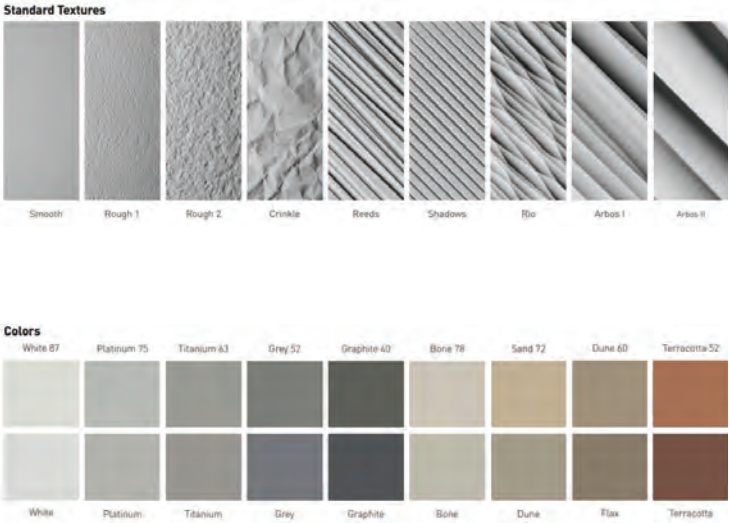
MAIN MATERIALS



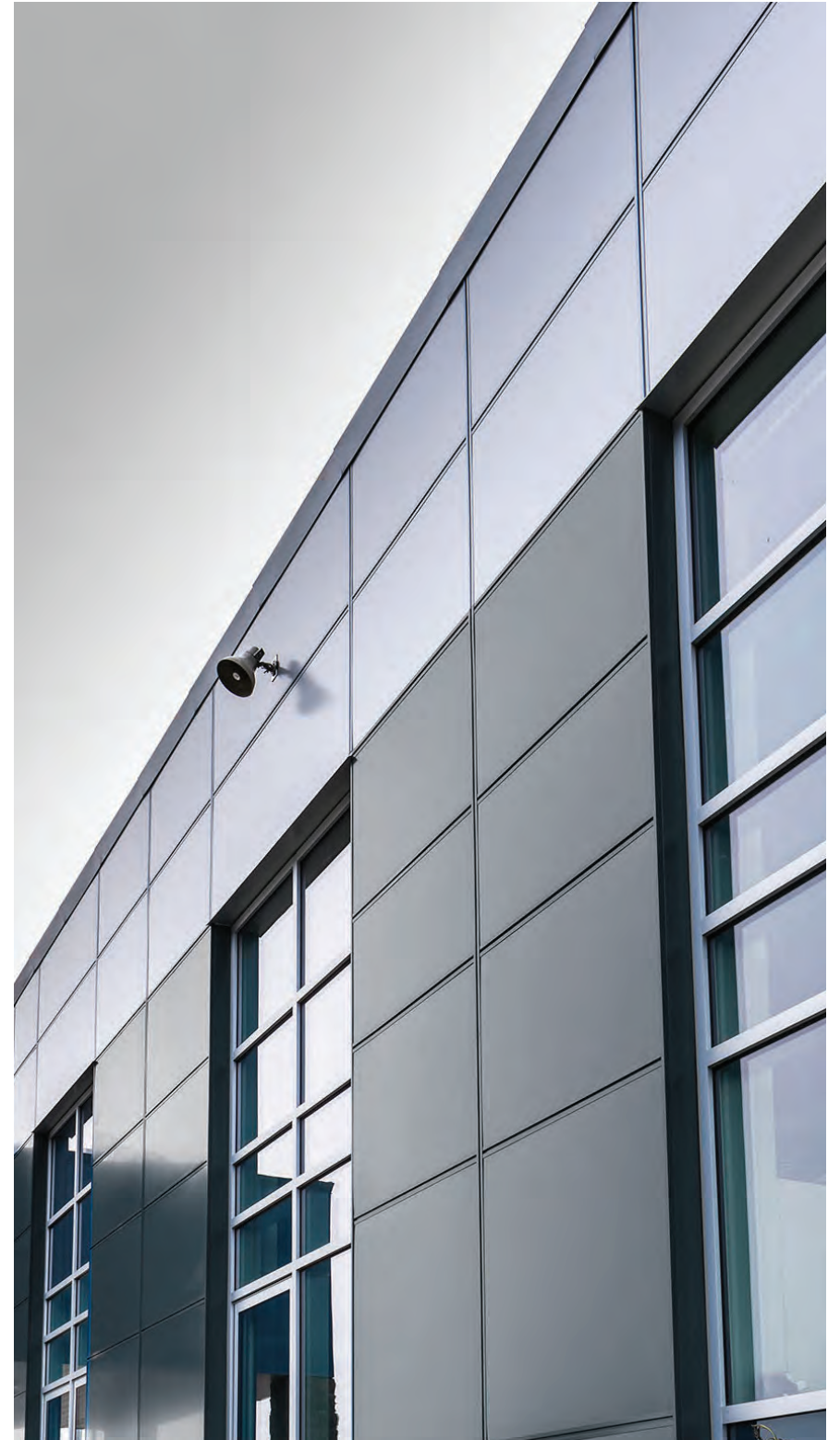
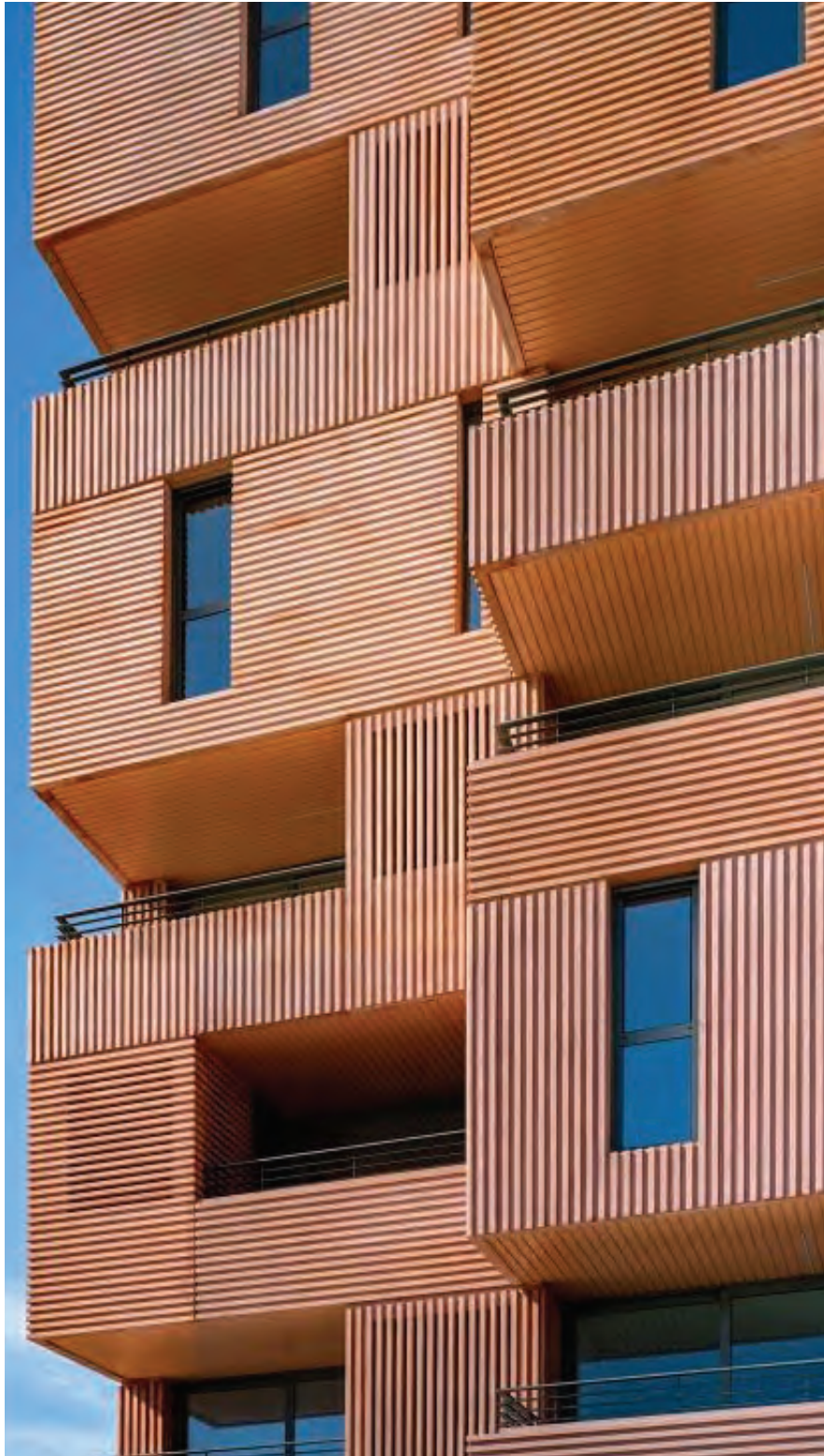
KAWNEER METROVIEW WINDOW WALL

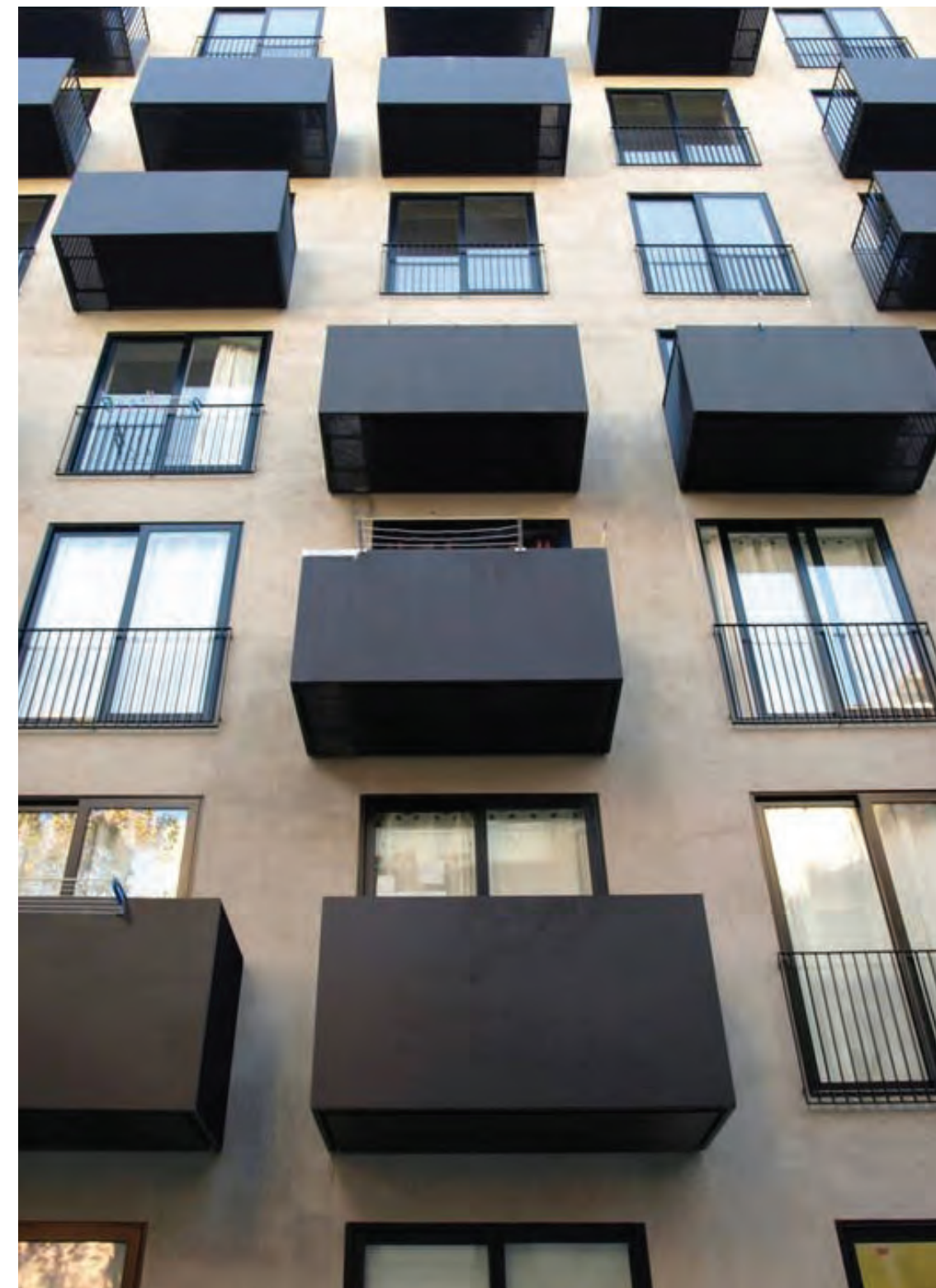
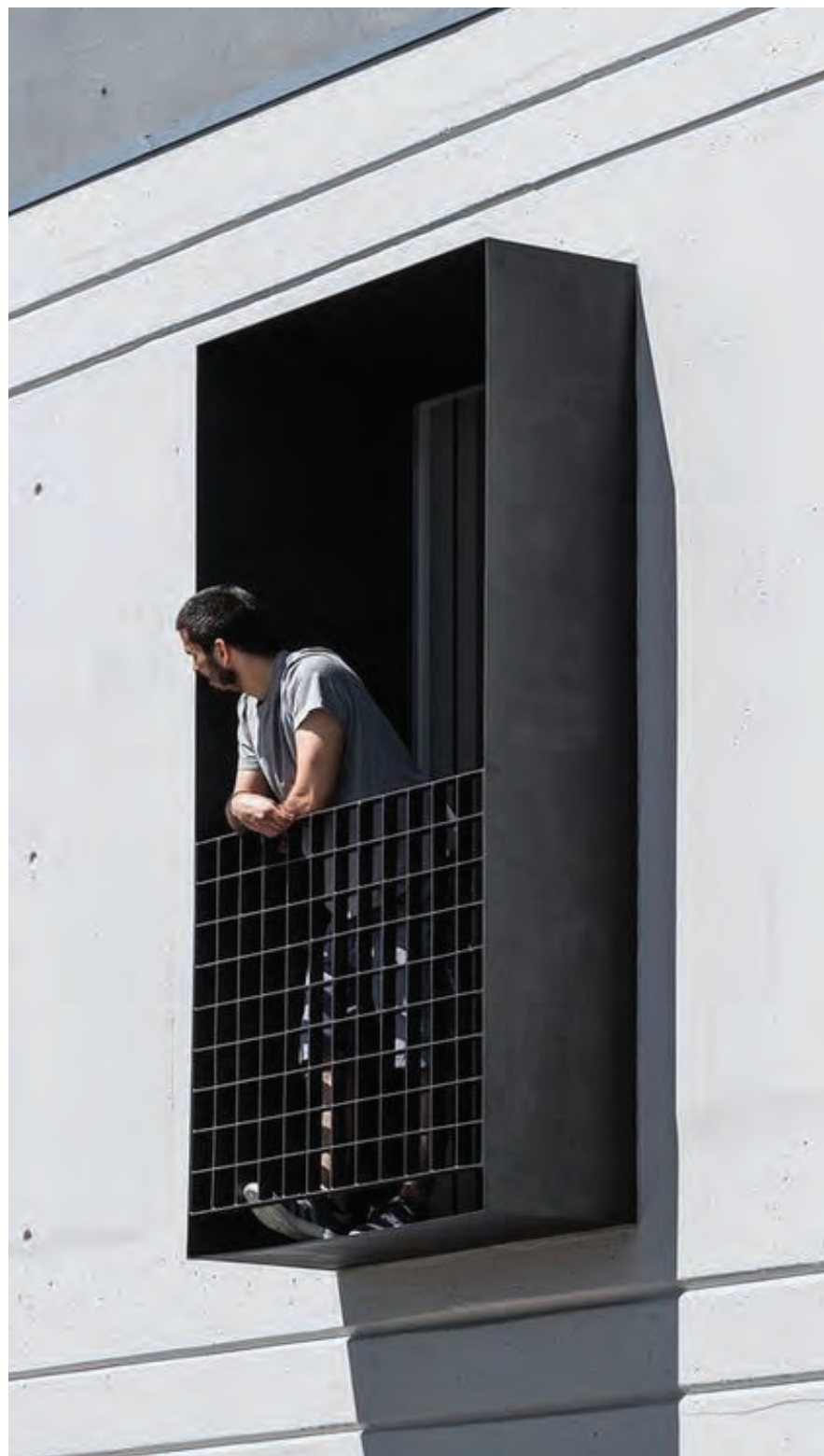


ACM RAINSCREEN



TAKTL TERRACOTTA CLADDING













Cleveland City Planning Commission

Design Review Committee Motion

May 20, 2022

Approved with the following conditions:

- 1- Further study landscaped space near corner of Cedar & E 107th
- 2- Consider the exterior ceiling of third floor regarding material color for greater warmth and contrast to add interest to building



May 20, 2022

NW2022-002 – MetroHealth Campus Transformation Update: Seeking Final Approval

Project Address: 2500 MetroHealth Drive

Project Representative: Walter Jones, MetroHealth

Note: the Planning Commission granted this project Conceptual Approval
(including Approval for two proposed demolitions) on May 6, 2022.

Committee Recommendation: No motion form available – meeting lacked quorum



City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F:

216/664-3281

www.planning.clevelandohio.gov

Planning Commission/Design Review Application

DATE:

PROJECT NAME:

PROJECT ADDRESS:

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review):

COMPANY:

PHONE:

EMAIL:

OWNER:


ARCHITECT/ CONTRACTOR:

PROJECT TYPE: ☐ New Building ☐ Rehabilitation ☐ Addition ☐ Sign ☐ Fence ☐ Parking

USE TYPE: ☐ Residential ☐ Commercial ☐ Industrial ☐ Institutional ☐ Mixed-Use

Review Level: ☐ Storefront ☐ Conceptual ☐ Schematic Design ☐ Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review: A Guide for Applicants" and agree to follow its guidance in proceeding through the design review process for the subject project.

 5/4/2022
Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:



Design Review Submittals Checklist

Level of Review:

- ☐ Conceptual Approval (*general idea of uses, scale, relationship among uses, and context*)
 - ☒ Schematic Design Approval (*placement and configurations of footprints, site layout, structure massing, general texture and design of facades*)
 - ☒ Final Design Development Approval (*details of structures and site layout including placement, materials, colors, dimensions, etc.*)
-
- ☐ Any of the above levels of design may be presented as "Information Only" with no approval action requested

Items Required:

Submissions are required in electronic form as well as hardcopy unless City Planning staff indicates otherwise electronic submissions up to 20 megabytes can be accepted.

- ☒ Application Form
- ☒ Written Project Summary (*including location, scale, investment; number of units, square feet, residents, employees, parking spaces; potential code issues; and any other pertinent information including but not limited to sustainable features.*)
- ☒ Site Location Map (*district level*)
- ☒ Site Context Plan (*i.e., site plan showing adjoining properties, buildings and street names*)
- ☒ Existing Conditions Plan (*color photographs; site context, including nearby buildings*)
- ☒ Site Plan (*include: north arrow, scale, legend and key dimensions and notes*)
- ☒ Landscape and or Streetscape Plan (*with plant list*)
- ☒ Furnishings and Site Amenities (*locations, details incl. cut sheets*)
- ☐ Section / Elevation Drawings (*including color versions, if requested*) N/A
- ☐ Floor Plans (*typical floors*) N/A
- ☒ Illustrative Renderings (*perspective or photo simulations to scale*)
- ☐ Signage Plan (*including wall signs, freestanding signs, illumination, method of attachment, colors, etc.*) N/A
- ☒ Lighting Plan (*including locations, fixtures, heights, etc.*)
- ☒ Material, Color and Finish Samples and Lists (*for final approval only*)
- ☒ Determination letter from Northeast Ohio Regional Sewer District [NEORS] for Combined Sewer Coverage
New determination letter not required per NEORS. See attached for campus letter

Due Dates:

Design proposals should be submitted to staff for preliminary review at least 3 days prior to submittal deadline

Electronic and Hard Copy Handout submittals are required 7 days prior to the Design Review Advisory Committee meeting (*electronic: pdf or power point*)

Presentation boards to be used at Design Review Advisory Committee may be brought directly to the meeting (*and must accurately reflect colors that are proposed are required*)

Note:

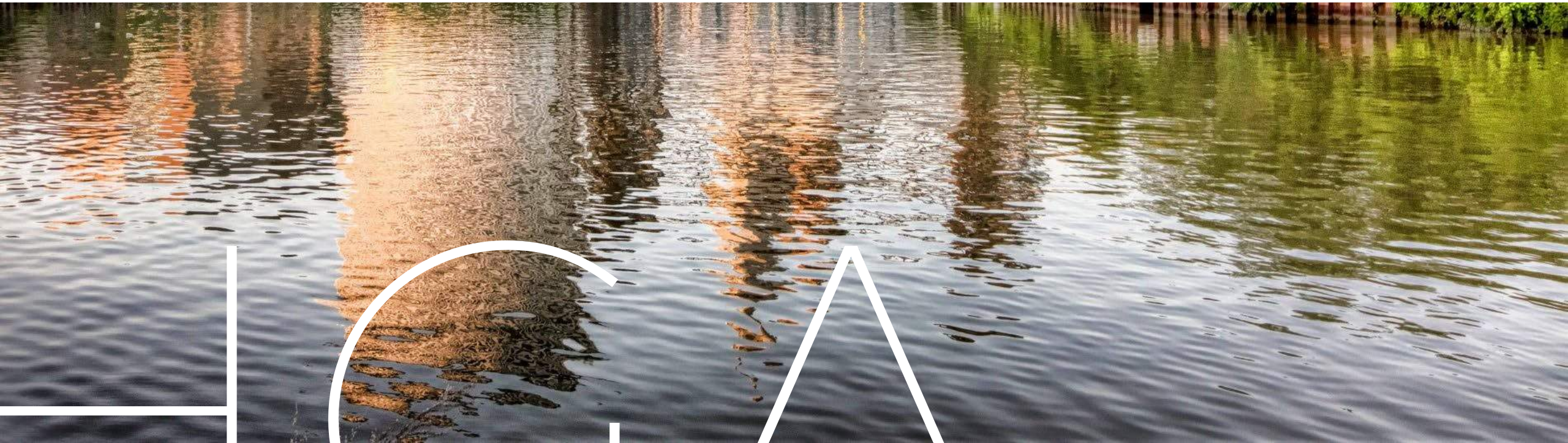
All drawings must be legible in both digital and hard copy format. Non-legible submissions are subject to rejection.

HGA



CAMPUS TRANSFORMATION

City of Cleveland Review Submission

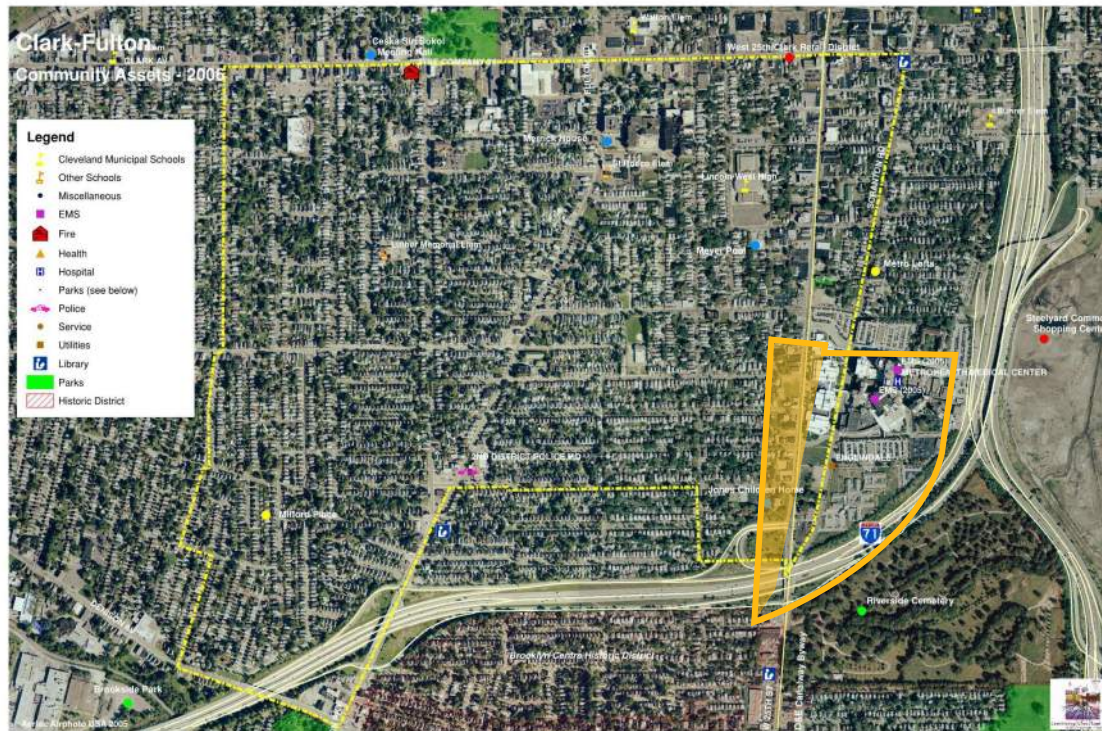


Project Summary

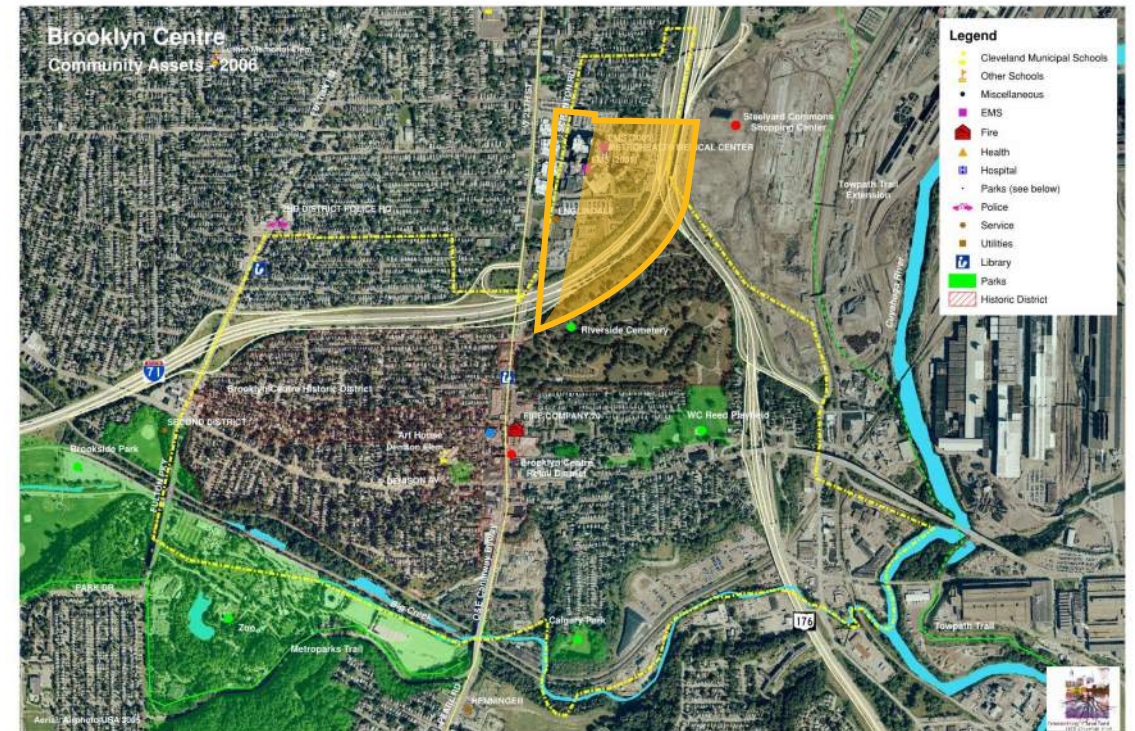
- MetroHealth Campus Transformation
- Institutional Site Demolition and Restoration
- District 2 Clark-Fulton
- Approx. 123,000 SF
- Demolition of existing parking lot
- Site Restoration for Temporary Park (Greenspace)

Site Location Map – District Level

DISTRICT 2 CLARK-FULTON & BROOKLYN CENTRE

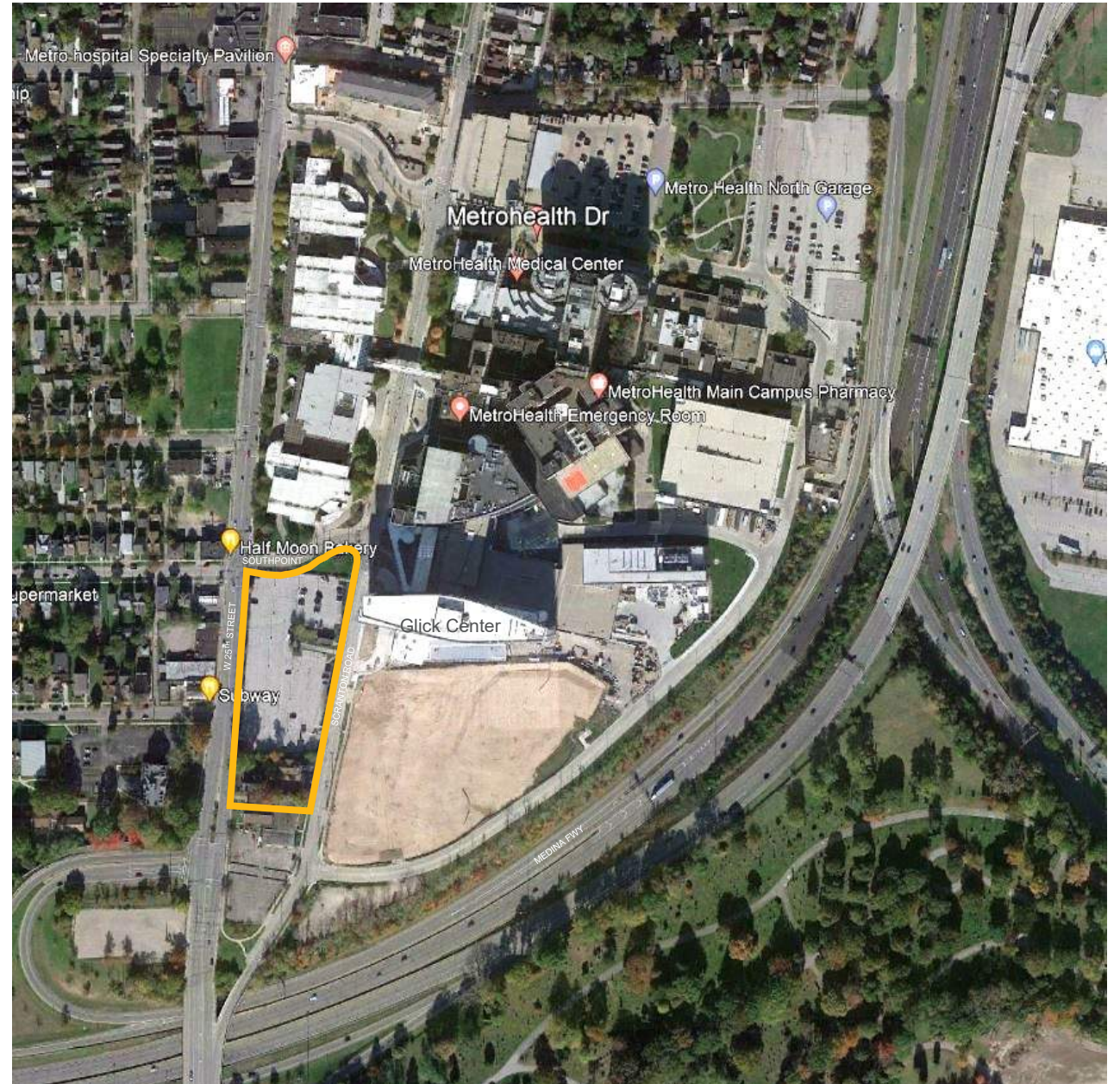


*Scope only in Clark-Fulton



Site Context Map

METROHEALTH CAMPUS



Existing Conditions

2022

Site of New Work



Existing Conditions

2022





Site Demolition Plan



LEGEND

- A. LAWN
- B. DECIDUOUS TREE PLANTING, TYP.
- C. PROPOSED SIDEWALK (CONCRETE)
- D. EXISTING SIDEWALK TO REMAIN
- E. CRUSHED STONE SEATING AREA W/ TABLES AND CHAIRS
- F. PLANTING BED
- G. EVENT SPACE (60' x 150' TENT)
- H. BENCH WITH COMPANION SEATING, TYP.
- I. EXISTING TREE TO REMAIN, TYP.
- J. EXISTING UNDERGROUND STORMWATER DETENTION SYSTEM TO REMAIN
- K. EXISTING CPP SUBSTATION BUILDING AND ASSOCIATED UTILITIES TO REMAIN
- L. EXISTING BUILDING TO BE REMOVED, BY OTHERS
- M. PROPOSED BIKE RACKS (36 TOTAL SPACES, 6 COVERED)
- O. PROPOSED PAD FOR FUTURE RTA SHELTER
- P. PROPOSED LIGHT POLE, MATCH EXISTING (1 TOTAL)
- NOTE: EXISTING SITE LIGHTING IS TO REMAIN
- Q. EVERGREEN TREE PLANTING, TYP.
- R. PERENNIAL PLANTINGS
- S. PRESERVED CHURCH STEEPLE

Site Plan Enlargement



Overall Site Plan

Crosswalks

Current State



Overall Site Plan

Crosswalks

Short-term – Coordinate with City to enhance striping



Overall Site Plan

Crosswalks

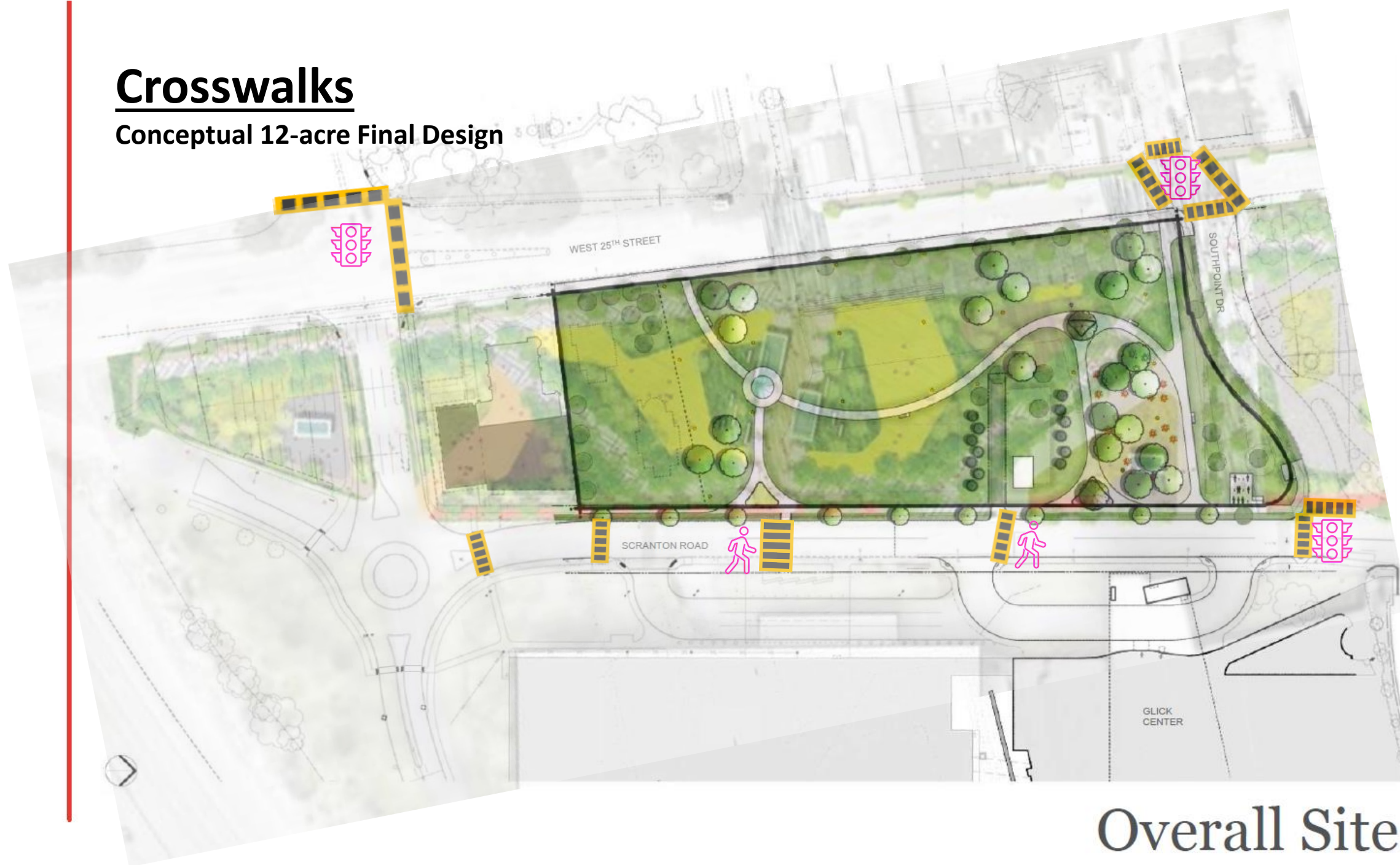
Future State – Coordinate with City to add crosswalks and pedestrian signal at existing curb cuts



Overall Site Plan

Crosswalks

Conceptual 12-acre Final Design



Overall Site Plan

Crosswalks

Conceptual 12-acre Final Design



Overall Site Plan

Crosswalks

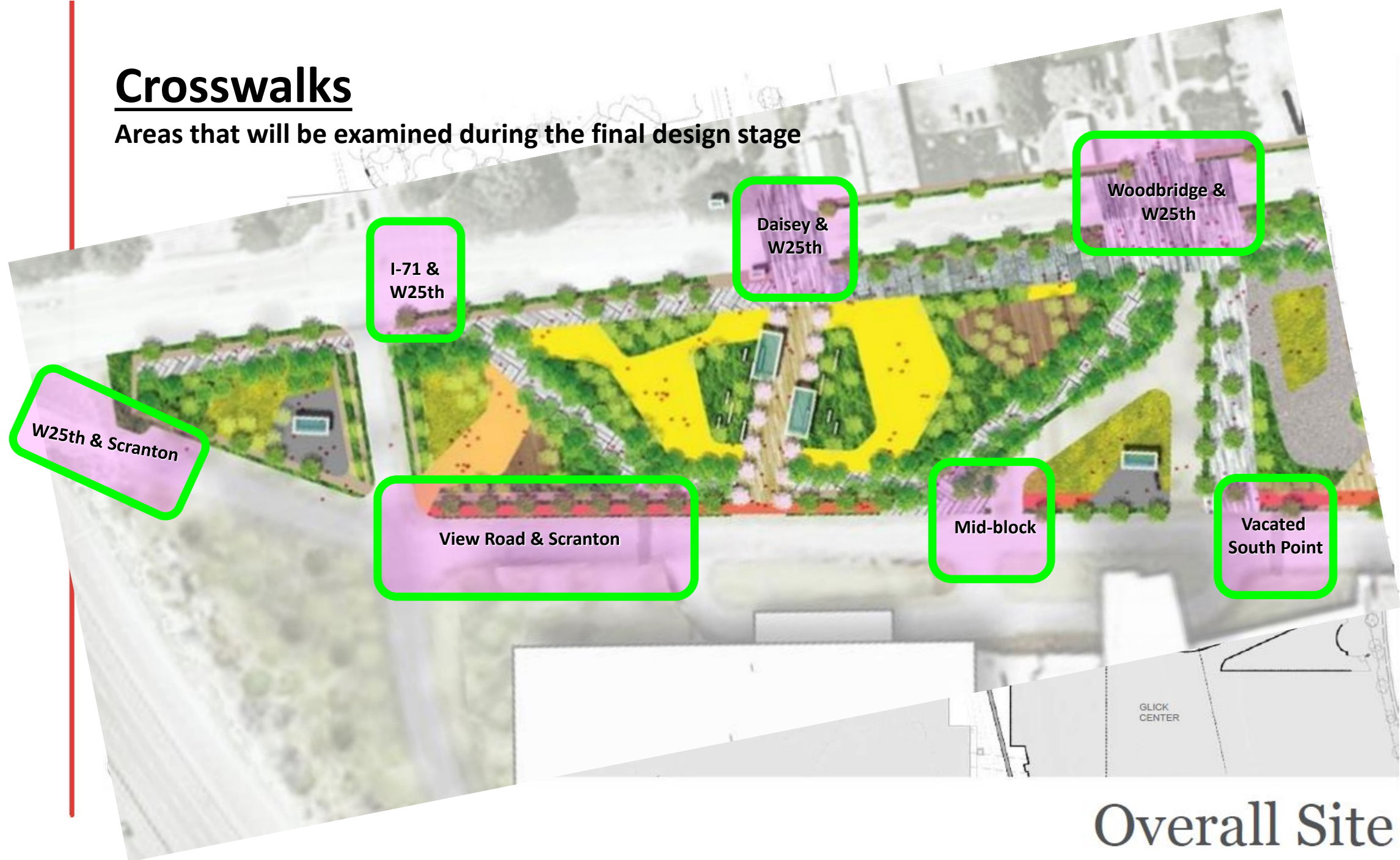
Conceptual 12-acre Final Design



Overall Site Plan

Crosswalks

Areas that will be examined during the final design stage



Overall Site Plan



Park Furnishings & Materials



PLANT MATERIALS SCHEDULE

TREES

key	qty	description	size	comments
AC	9	Trident Maple <i>Acer buergerianum</i>	2.5" cal	matched; tag
BN	9	City Slicker River Birch <i>Betula nigra 'City Slicker'</i>	2.5" cal.	tag; single stem
JS	13	Moonglow Juniper <i>Juniperus scopulorum 'Moonglow'</i>	10' ht. B&B	matched; tag
NS	3	Black Gum <i>Nyssa sylvatica</i>	2.5" cal. B&B	tag
QM	3	Bur Oak <i>Quercus macrocarpa</i>	3" cal. B&B	tag
QB	4	Swamp White Oak <i>Quercus bicolor</i>	3" cal. B&B	tag
TC	3	Greenspire Linden <i>Tilia cordata 'Greenspire'</i>	2.5" cal. B&B	tag
UN	2	New Horizon Elm <i>Ulmus 'New Horizon'</i>	4" cal. B&B	matched; tag

ORNAMENTAL GRASSES

Cb	153	Korean Feather Reed Grass <i>Calamagrostis brachytricha</i>	#1 ctrn.	30" on center as shown
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Planting Plan



TRIDENT MAPLE



CITY SLICKER RIVER BIRCH



MOONGLOW JUNIPER



BLACK GUM



BUR OAK



SWAMP WHITE OAK



GREENSPIRE LINDEN



NEW HORIZON ELM



KOREAN FEATHER REED GRASS

Plantings



SEATING AREAS



WALKS AND OPEN GREEN SPACE



MULTI-PURPOSE EVENT SPACE

Precedent Images



- EXISTING LIGHT POLE TO REMAIN
- PROPOSED LIGHT POLE TO MATCH EXISTING (1 TOTAL)

Existing Lighting

HGA

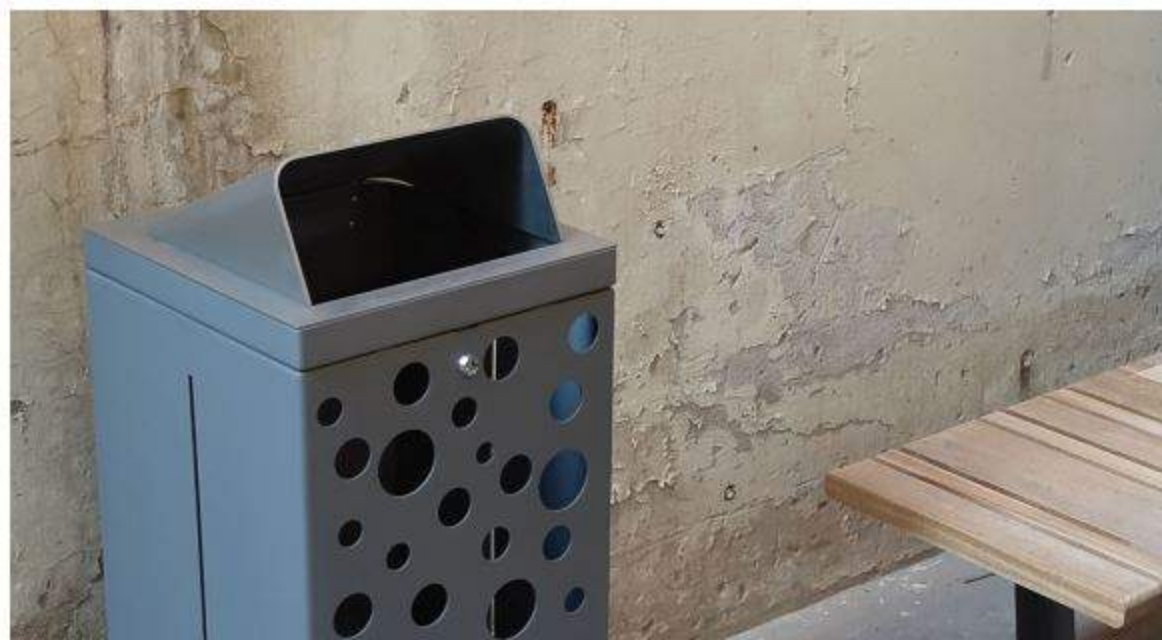
Thank You



Our Box Bin Extra Slim is an extremely slim waste container (40x40x97 cm – 16"x16"x38") with an attractive rain cover. If desired, the front of the bin can be executed in an open pattern so that the contents are clearly visible (anti-terrorism). A standard feature of this waste bin is a suspension system for a 120-litre – 32 gallons plastic bag that is easily accessible. A lightweight inner bin is also an option.

The Box Bin Extra Slim is made from thick-walled sheet steel and comes with a triangular lock. Because of the different combinations, multiple versions are possible – a casing in CorTen or powder coated steel, with or without an open pattern, and with a lid or rain cover made from stainless steel or CorTen.

Products supplied within the North American market are fully manufactured in the USA.



Possibilities and restraints

- Box Bins (Extra Slim) are available in square sizes of ca. 40 or 49 cm | 16 or 19"
- Available with closed walls or with a Casual Dots pattern
- Available with a lid or a rain cover
- The standard material is untreated weathering steel (-CT), optionally at a surcharge finished in a double layer powder coating (-PC)
- The lid is available in untreated weathering steel or in stainless steel
- The rain cover is available in untreated weathering steel or stainless steel

Carousel

landscapeforms®

Product Data Sheet



Landscape Forms pioneered the carousel-style table with attached seating for outdoor space with the design of the popular Carousel Dining Table. Now Carousel reaches new heights with the addition of the Standing Height Table, Casual Height Table, Hoop Lounge Seat and expanded tabletop options. These new elements bring a fresh, casual, and vibrant spirit to settings that support multiple postures and activities. Long a preferred choice for college, corporate and healthcare campuses, the expanded Carousel collection makes it possible to create a suite of complimentary settings, for a range of purposes and interactions, with a common design vocabulary throughout a site.

Casual Height

- The Carousel table in casual height is available with 3 or 4 seats.
- Seats are available backless, backed, or hoop.
- Supports are formed of 2" steel tubing.
- Umbrella holder is a built-in feature on all supports.
- Available with a 30" table with a height of 22".

Mounting Options

- Casual height tables must be surface mounted, and utilizes glides for added stability.
- All tables can be used with all sun shades.

Tabletop

- Steelhead and Catena tabletops are formed of heavy gauge steel reinforced with channels beneath.
- Catena features a rolled edge.
- Wood tabletop has mortise and tenon construction with a steel plate reinforcement, and is available round or square.
- Available with a round or square 30" Marneaux tabletop.
- All tabletops are available with or without umbrella holes.
- Umbrella hole must be specified when ordered; cannot be retrofitted on site.

To Specify

1. Select Carousel casual height table.
2. Select seats: backed, backless, or hoop.
3. If backed or backless seats are selected, choose grid or perforated.
4. Select 3 or 4 seat units.
5. Select tabletop: Steelhead (wood), Catena powdercoat or stainless steel, Marneaux, or square wood.
Note: Square wood only available with 3 or 4 seats units
6. Specify with or without umbrella hole (may not be retrofitted).
7. Choose powdercoat color for metal parts or Marneaux color, if applicable.
8. Specify wood type, if applicable. Check Materials link on website for species.
9. Casual table is surface mounted.

	Casual Height	Diameter (Of Footprint)	Height (To Top of Seat)	Product Weight
	3 Seat Backed	94"	33"	148 Lb
	3 Seat Backless	90"	22"	103 Lb
	3 Seats Hoop	98"	33"	132 Lb
	4 Seat Backed	94"	33"	187 Lb
	4 Seats Backless	94"	22"	127 Lb
	4 Seats Hoop	98"	33"	165 Lb
Mounting Style				
	Surface Mount			

***Note:** Weights reflect units with grid seats and a catena table top.

Carousel

landscapeforms®

Product Data Sheet



Dining Height

- The Carousel table in dining height are available with 3, 4, 5, or 6 seats.
- Three-seat is ADA compliant and five-seat styles are wheelchair accessible.
- Seats are available backless, backed, or hoop.
- Supports are formed of 2" steel tubing.
- Umbrella holder is a built-in feature on all supports.
- Available with a 42" table with a height of 28.5".

Mounting Options



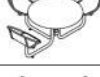

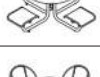
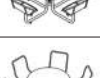






- Table can be either freestanding or surface mount.
(Note: 3 seat table must be surface mounted.)
- Four, five and six seat styles may be freestanding with glides or surface mounted.
- All tables must be surface mounted when used with all sun shades

Tables

- Steelhead and Catena tabletops are formed of heavy gauge steel reinforced with channels beneath.
- Catena features a rolled edge; Steelhead is framed by a 1-1/2" diameter metal tube and may be specified with solid, perforated, or wood top.
- Wood tabletop has mortise and tenon construction with a steel plate for reinforcement, and available round or square.
- Available with a round or Marneaux tabletop.
- All tabletops are available with or without umbrella holes.
- Umbrella hole must be specified when ordered; cannot be retrofitted on site.

To Specify

1. Select Carousel dining height table.
2. Select seats: backed, backless, or hoop.
3. If backed or backless seats are selected, choose grid or perforated.
4. Select 3, 4, 5 or 6 seat units.
5. Select tabletop: Steelhead (solid, perforated, or wood), Catena powdercoat or stainless steel, Marneaux, or square wood.
Note: Square wood only available with 3 or 4 seat units.
6. Specify with or without umbrella hole (may not be retrofitted).
7. Choose powdercoat color for metal parts or Marneaux color, if applicable.
8. Specify wood type, if applicable. Check Materials link on website for species.
9. Specify mounting: freestanding with glides, or surface mount.

	Style	Diameter (Of Footprint)	Height (To Top of Seat)	Product Weight
	3 Seat Backed	86"	33"	172 Lb
	3 Seat Backless	81"	29"	127 Lb
	3 Seats Hoop	90"	33"	155 Lb
	4 Seat Backed	86"	33"	211 Lb
	4 Seats Backless	81"	29"	152 Lb
	4 Seats Hoop	90"	33"	189 Lb
	5 Seats Backed	86"	33"	260 Lb
	5 Seats Backless	81"	29"	185 Lb
	6 Seats Backed	86"	33"	290 Lb
	6 Seats Backless	81"	29"	200 Lb
Mounting Style				
	Surface Mount		Freestanding with Glides	

*Note: Weights reflect units with grid seats and a catena table top.

Carousel

landscapeforms®

Product Data Sheet



Standing Height

- The Carousel table in standing height is only available as a 4-seat unit
- Seats are available backless, backed, or hoop.
- Supports are formed of 2" steel tubing.
- Umbrella holder is a built-in feature on all supports.
- Only available with a 30" table.

Mounting Options

- Standing height table must be surface mounted.
- All tables can be used with all sun shades.

Tables

- Steelhead and Catena tabletops are formed of heavy gauge steel reinforced with channels beneath.
- Catena features a rolled edge; Steelhead is framed by a 1-1/2" diameter metal tube and a wood insert.
- Wood tabletop has mortise and tenon construction with a steel plate for reinforcement, and available round or square.
- Available with a round or square 30" Marneaux tabletop.
- All tabletops are available with or without umbrella holes.
- Umbrella hole must be specified when ordered; cannot be retrofitted on site.

To Specify

1. Select Carousel standing height table.
2. Select seats: backed, backless, or hoop.
3. If backed or backless seats are selected, choose grid or perforated.
4. Standing height units come standard with 4 seats.
5. Select tabletop: Steelhead (wood insert), Catena powdercoat or stainless steel, Marneaux, or square wood.
Note: Square wood only available with 3 or 4 seat units
6. Specify with or without umbrella hole (may not be retrofitted).
7. Choose powdercoat color for metal parts or Marneaux color, if applicable.
8. Specify wood type. Check Materials link on website for wood species.
9. Standing height table is surface mounted.

	Style	Diameter (Of Footprint)	Height (To Top of Seat)	Product Weight
	4 Seat Backed	76"	44"	214 lb
	4 Seats Backless	72"	42"	154 lb
	4 Seats Hoop	80"	44"	192 lb
Mounting Style				
	Surface Mount			

***Note:** Weights reflect units with grid seats and a catena table top.

Carousel








landscapeforms®

Product Data Sheet



Finishes - Table Tops

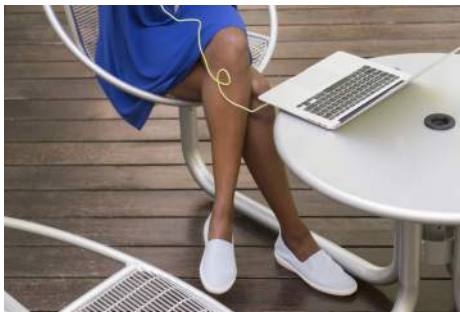
- All metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling, and fading.
- Call for standard color chart.
- Marneaux tabletops are made from a 100% acrylic resin solid surface material.
- Exterior woods are unfinished and will weather to a soft pewter gray.
- **Note:** Ipe wood is only available with a wood steelhead table top.
- Interior woods are finished with Landscape Forms' exclusive LF-80 wood finish, a clear, catalyzed acrylic lacquer.

Table Top	
	Steelhead Solid
	Steelhead Perforated
	Catena
	Catena Stainless Steel
	Marneaux™
	Square wood *Available only with 3 or 4 seat units
	Steelhead Wood

Carousel

landscapeforms®

Product Data Sheet








Finishes - Seating

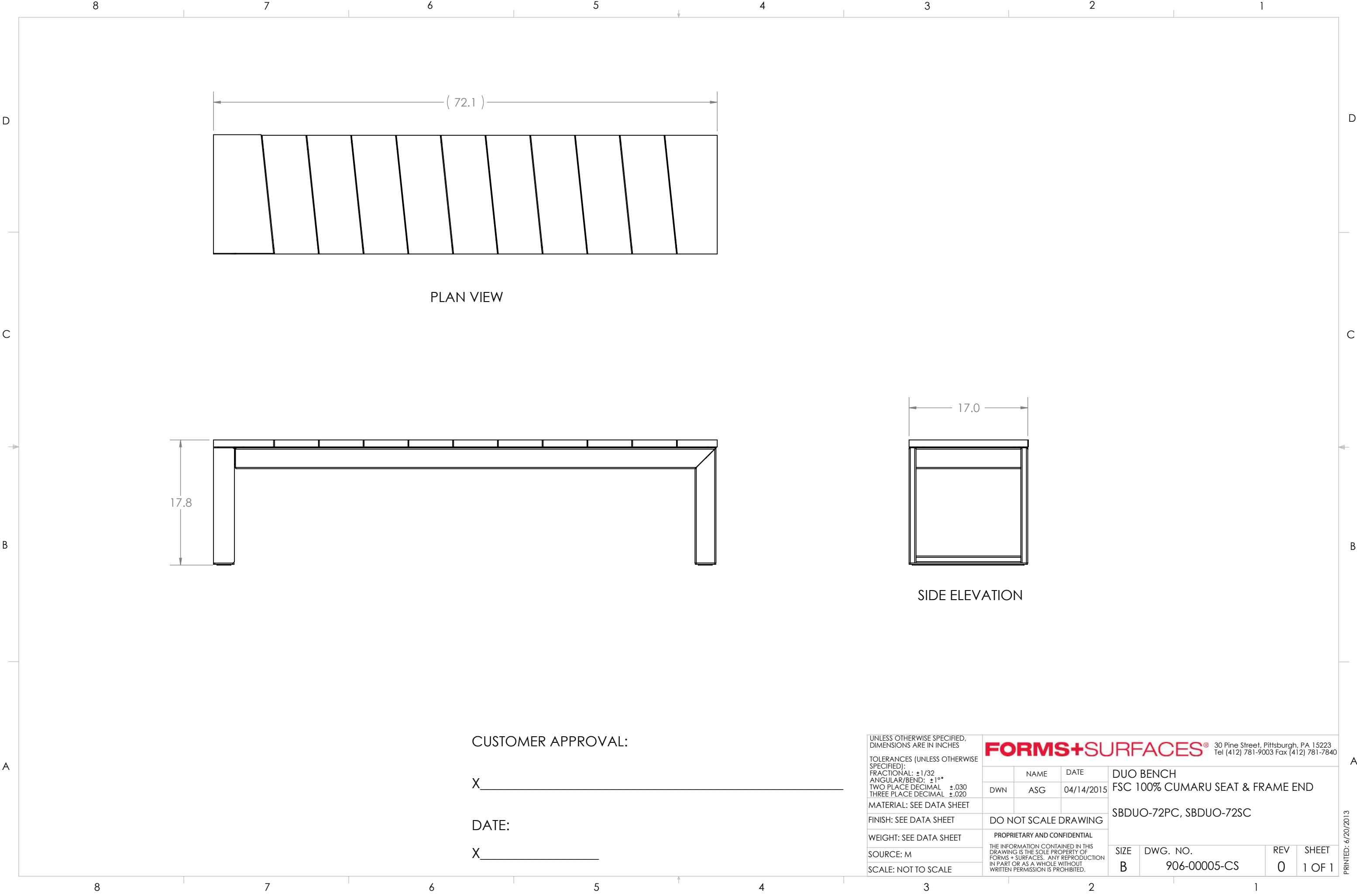
- All metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling, and fading.
- Seating is available backed, backless, or grid.
- Grid seating is available with backed, backless, or grid.
- Perforated seating is only available with backed or backless.

Designed by Landscape Forms

Carousel is protected by U.S. Patent No. D820,019.

Seats	
	Backed Grid
	Backed Perforated
	Backless Grid
	Backless Perforated
	Hoop Seat

Visit landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level.
©2020 Landscape Forms, Inc. Printed in U.S.A.





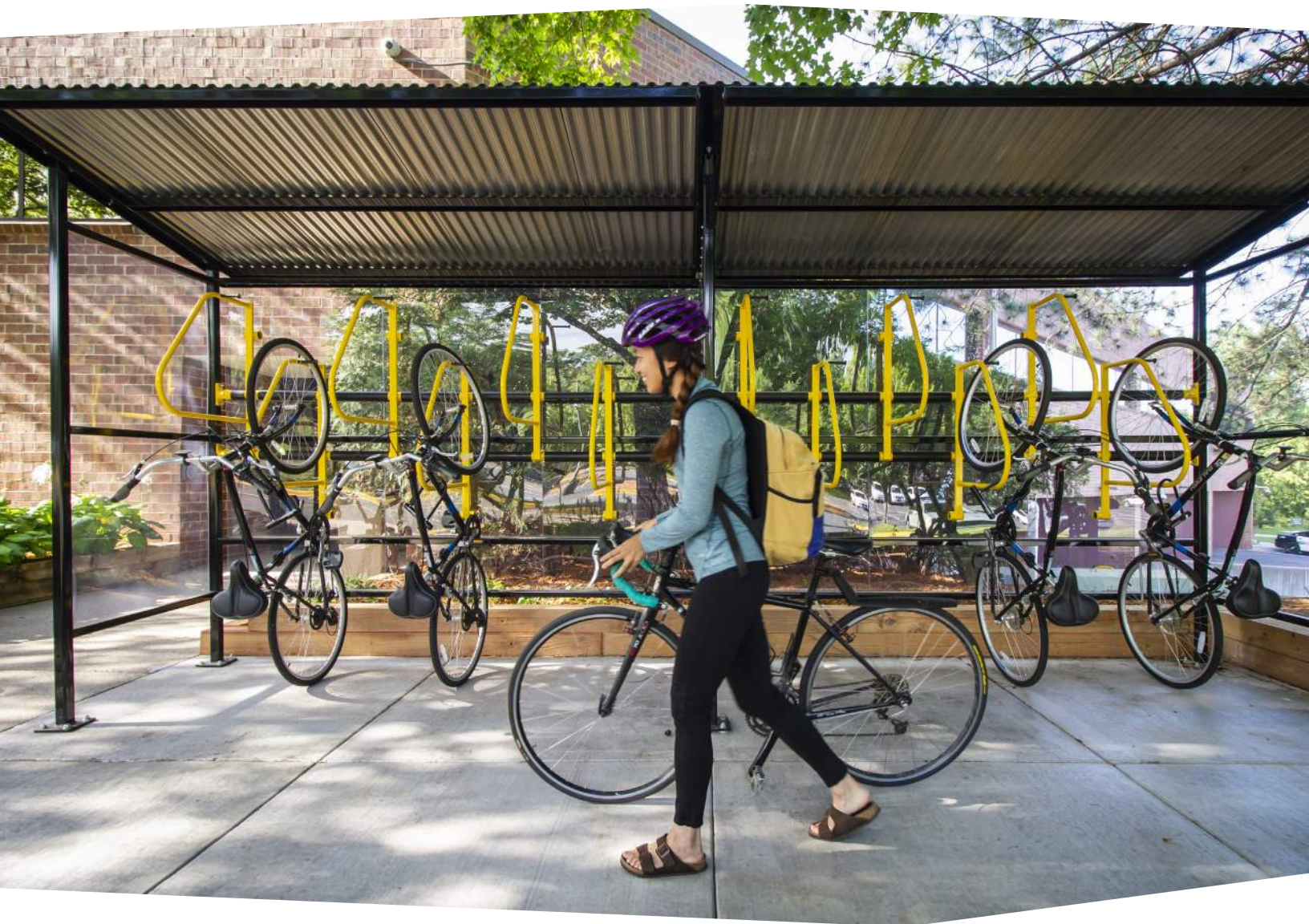
DERO
A PLAYCORE Company



Pocket Shelter

Small and versatile, the Pocket Shelter stores bikes in areas that would not normally accommodate bike parking. This shelter is a modular system that provides covered and secure bike storage but is extremely space efficient and cost-effective. Both available rack options, the Ultra Space Saver and the Bike File, allow the frame and wheel of each bike to be secured with a u-lock for the greatest bike security.

Pocket Shelter



FINISH OPTIONS

Galvanized



Powder Coat

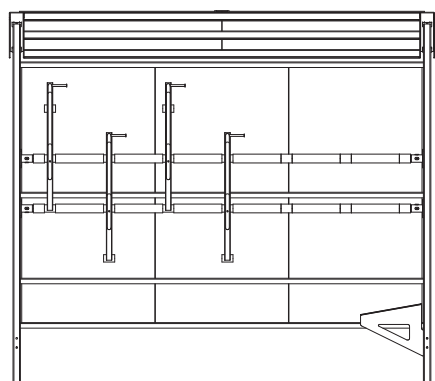
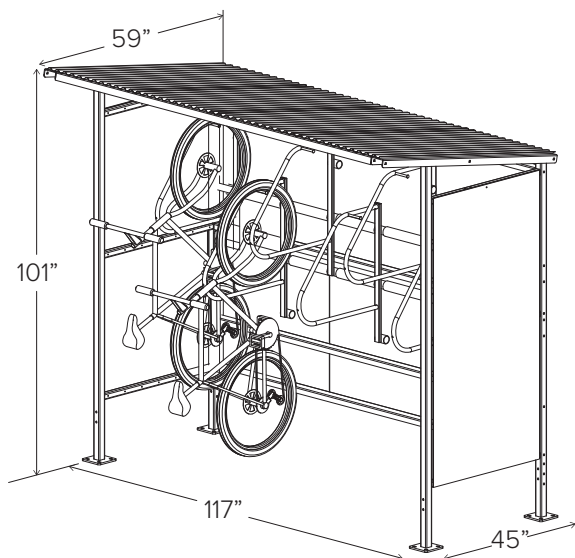
 White	 Black	 Light Gray RAL 7042	 Deep Red RAL 3003	 Yellow RAL 1023
 CNH Bright Yellow	 Orange RAL 2004	 Beige RAL 1001	 Iron Gray RAL 7011	 Hunter Green RAL 6005
 Light Green RAL 6018	 Green RAL 6016	 Sepia Brown RAL 8014	 Blue RAL 5005	 Sky Blue RAL 5015
 Dark Purple	 Flat Black	 Wine Red RAL 3005	 Bronze	 Silver RAL 9007



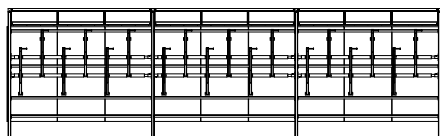
DERO
A PLAYCORE Company

Pocket Shelter

Submittal Sheet



A bench may be mounted to the inside of the Pocket Shelter and still allow room for four bikes.



Dero Shelters can be used in a modular fashion (shared uprights). However, when used in this manner, please consult a Dero Bike Rack sales associate for layout, as the rack spacing and bike capacity can change!

CAPACITY

With Ultra Space Savers: 6 Bikes
With Bike Files: 10 Bikes

MATERIALS

Uprights: 2" x 3/16" square tube
Feet: 3/8" plate
Horizontal members: 3/16" formed sheet
Roof panels: 26g type S deck or 1/4" polycarbonate
Roof members: 3/16" formed sheet
Side panels: 1/4" polycarbonate (optional)

FINISHES

- ☐ **Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
- ☐ **Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
 2. Epoxy primer electrostatically applied
 3. Final thick TGIC polyester powder coat

MOUNT OPTIONS

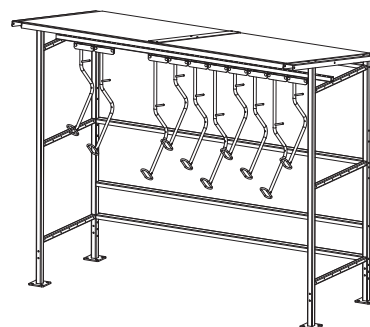
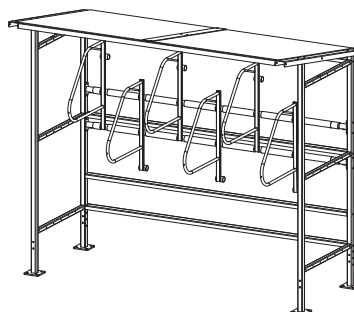
Surface
Has four 6" square feet which must be anchored to the ground with supplied anchors.

LOAD DATA

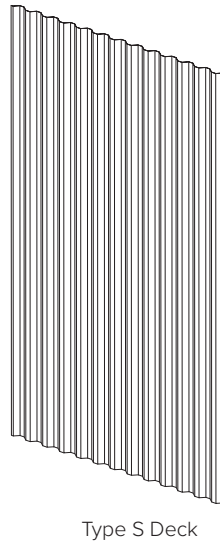
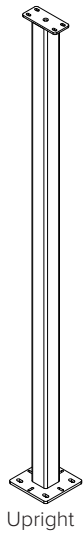
Dead load: self weight of structure
Live load: snow load = 45 psf
Wind load: 90 mph exposure B
Seismic load: moderate
Footing: see page 4
Anchor bolt: Simpson strong-bolt 2, 1/2" x 5 1/2", 3 7/8" minimum embed

ROOF OPTIONS

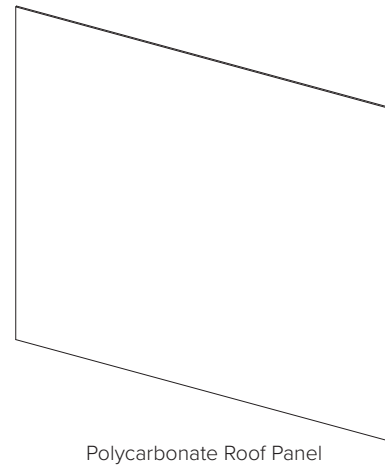
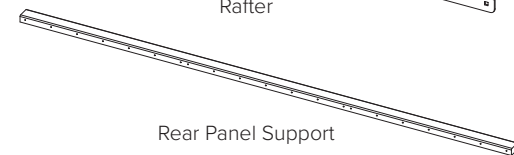
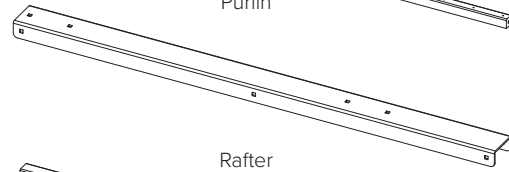
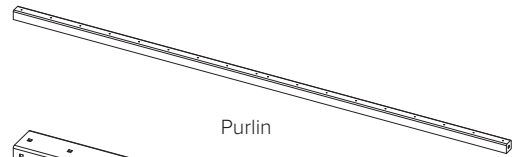
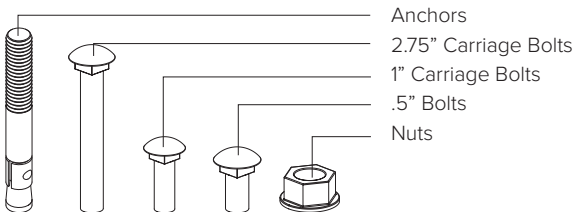
- ☐ **Galvanized S Deck**
- ☐ **Polycarbonate Panel**



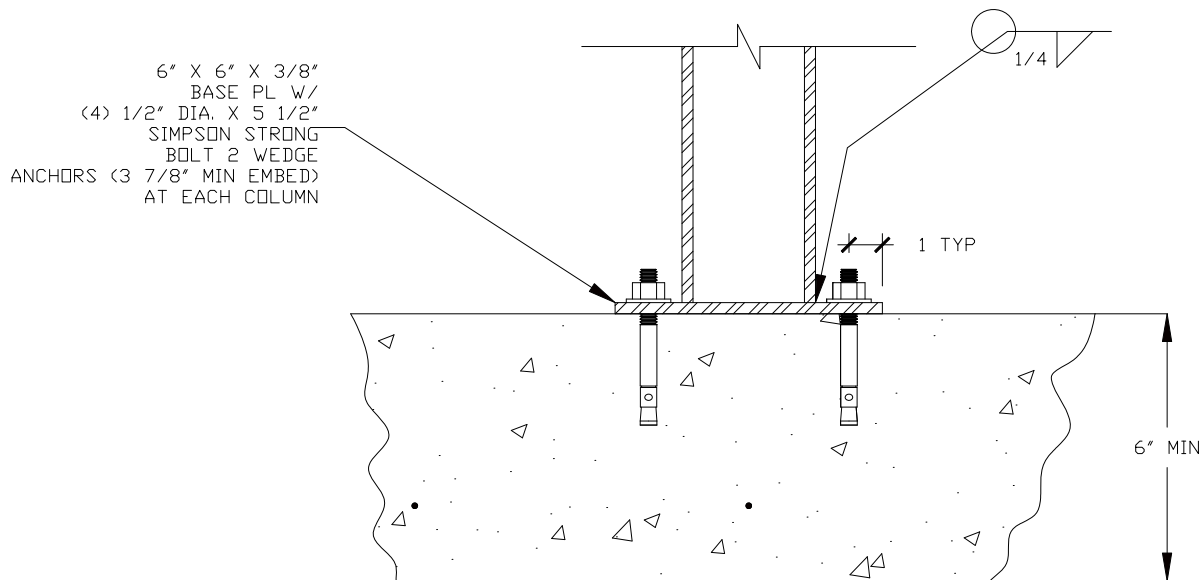
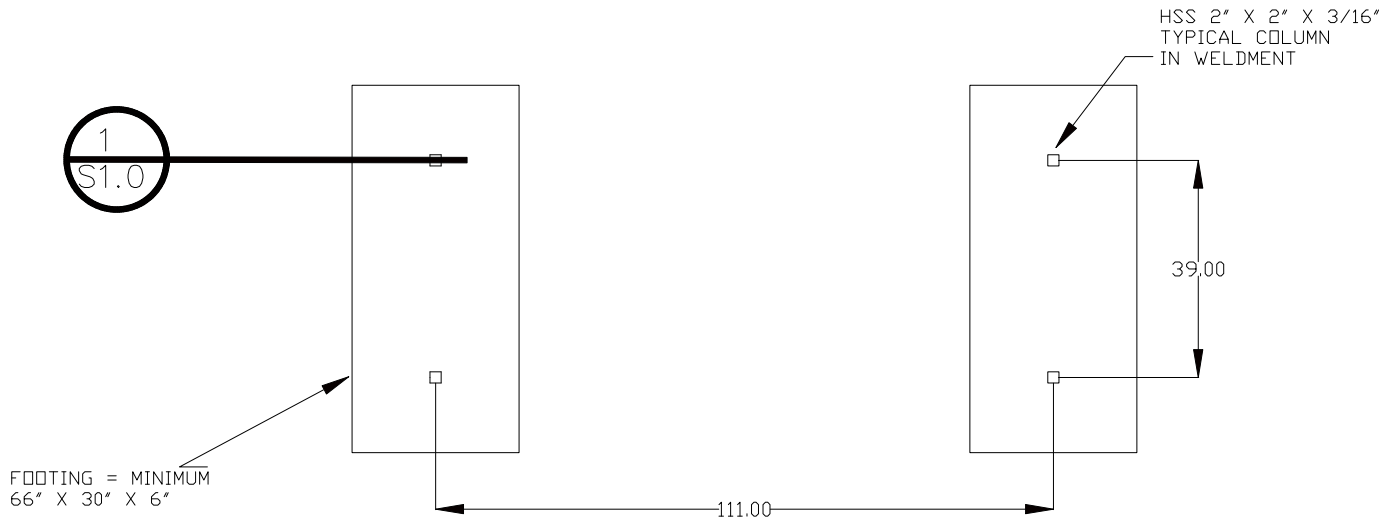
The Pocket Shelter may be installed with Ultra Space Savers (left) or a Bike File (right)



NOTE: You will receive either S Deck or Polycarbonate roof, depending on indication during ordering



**FOOTING
PLAN**



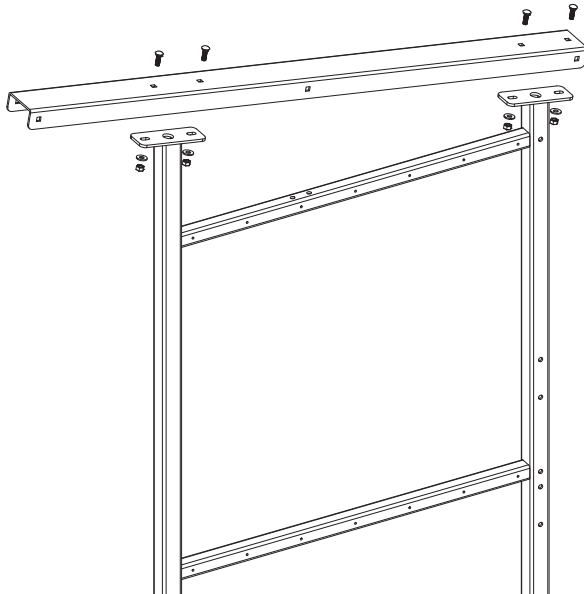


TOOLS NEEDED

Hammer
Drill (hammer drill recommended)
1/2" masonry drill bit
9/16" wrench/socket (2)

Folding ladder (2)
3/8" socket with drill attachment
2-3 people

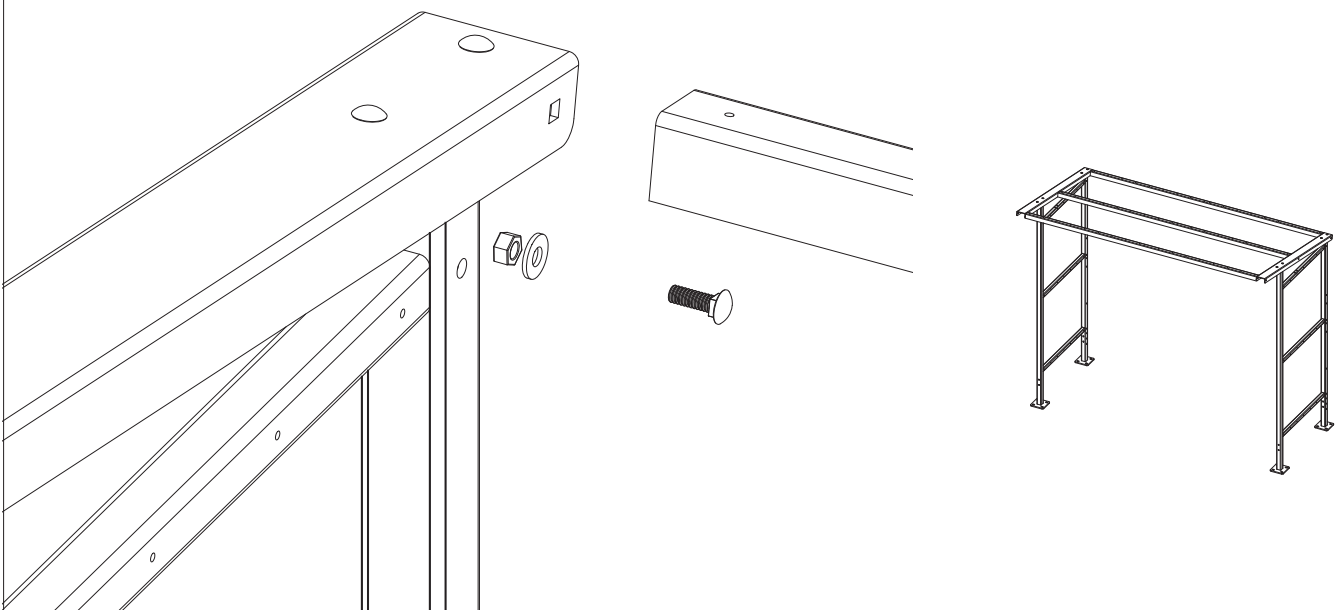
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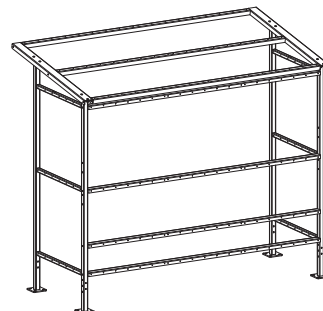
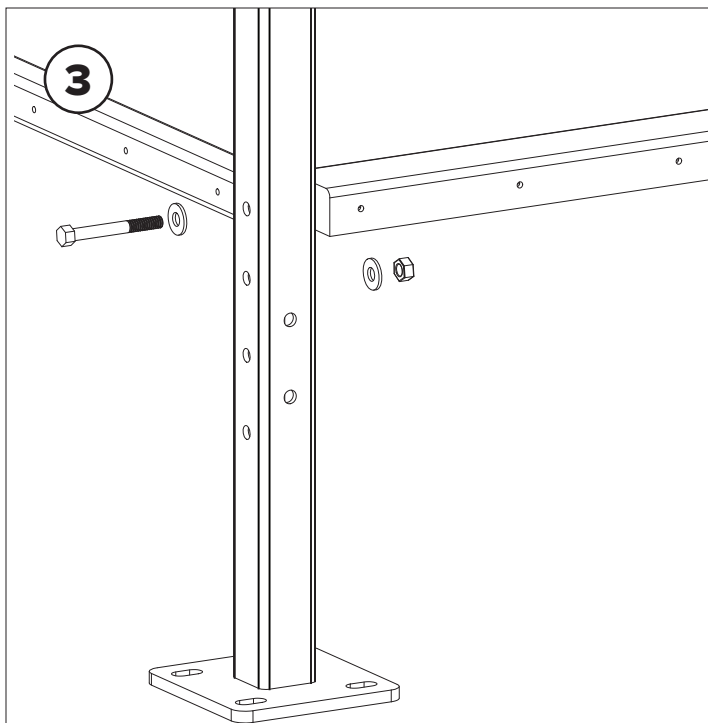


Attach the RAFTER TOP to the UPRIGHT with (4) 3/8" x 1" carriage bolts, nuts and washers. Repeat for all RAFTER TOPS and UPRIGHTS.

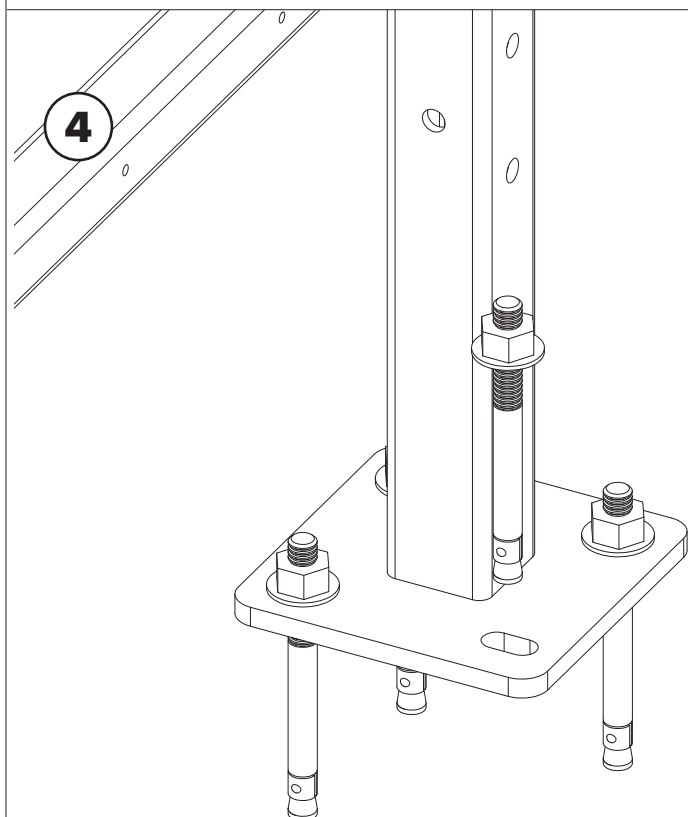
2

Stand up the UPRIGHT ASSEMBLIES and attach each PURLIN with (2) 3/8" x 1" carriage bolts, nuts and washers. Continue standing up UPRIGHT ASSEMBLIES and attaching PURLINS if building a modular shelter.





Attach each REAR PANEL SUPPORT with (2) 3/8" x 3.25" bolts, (4) washers, and (2) nuts. The surface with 21 holes should be facing away from the shelter.

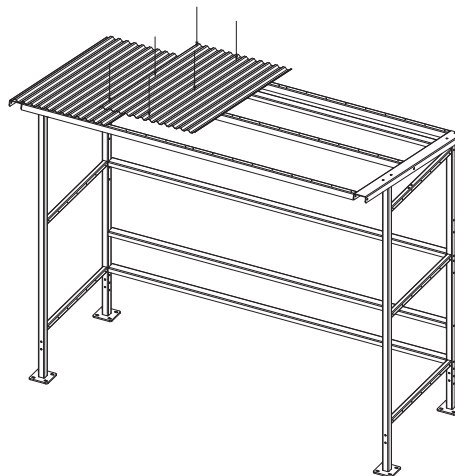
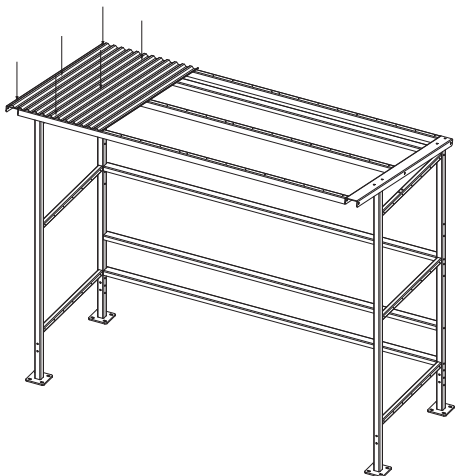


Using the UPRIGHT feet as a guide, drill 1/2" dia. x 5.5" holes in the concrete footings at each UPRIGHT foot. Install (4) 1/2" dia. x 5.5" wedge anchors at each UPRIGHT foot. See footing diagram for more detail.



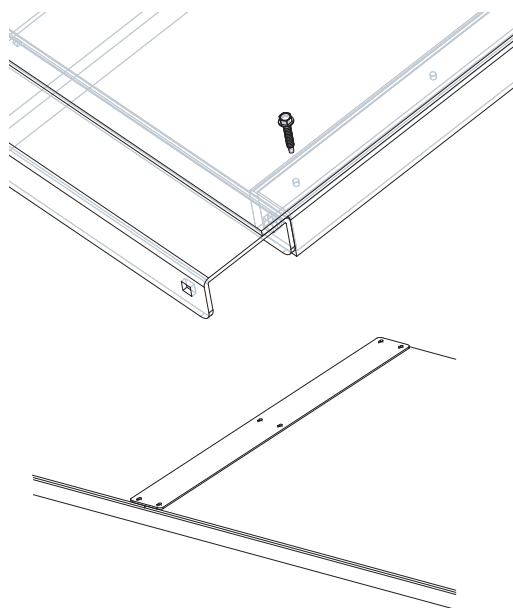
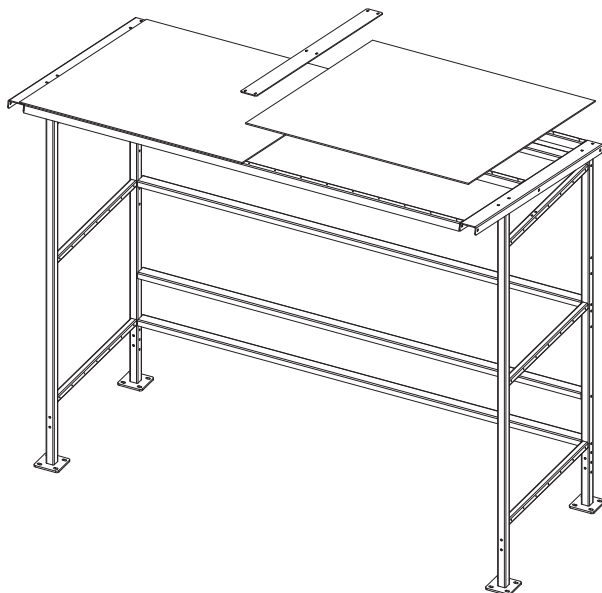
METAL ROOF

If using metal roofing, place the initial section of TYPE S DECK and secure with (6) 1/4" x 1" self-drilling screws. The screws will drill through the TYPE S DECK and shelter without a pilot hole. Place the second section of TYPE S DECK with sufficient overlap and secure with (6) 1/4" x 1" self-drilling screws. Continue with the remaining sections. The last section of TYPE S DECK will receive (9) 1/4" x 1" self-drilling screws.

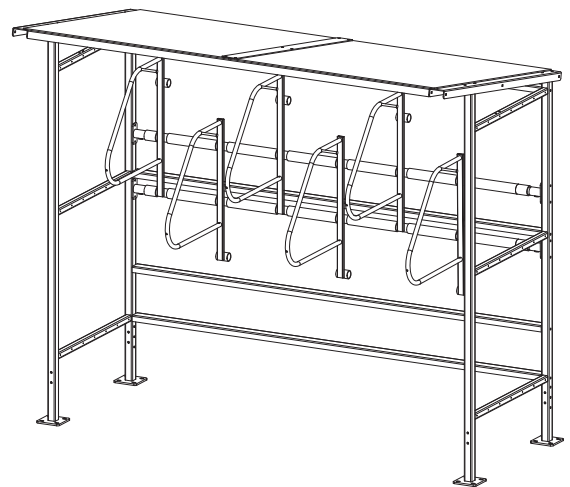
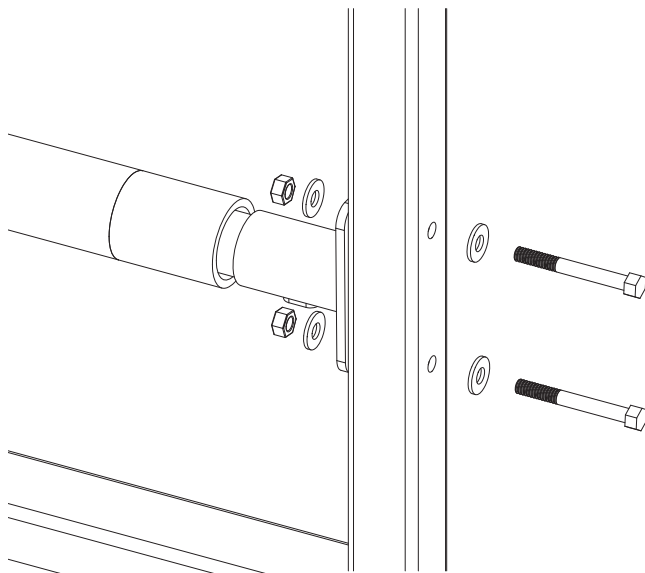
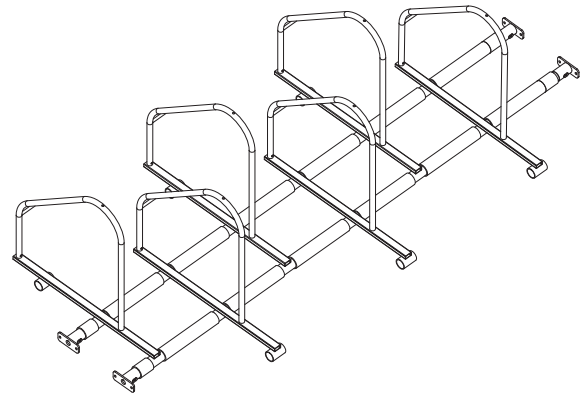
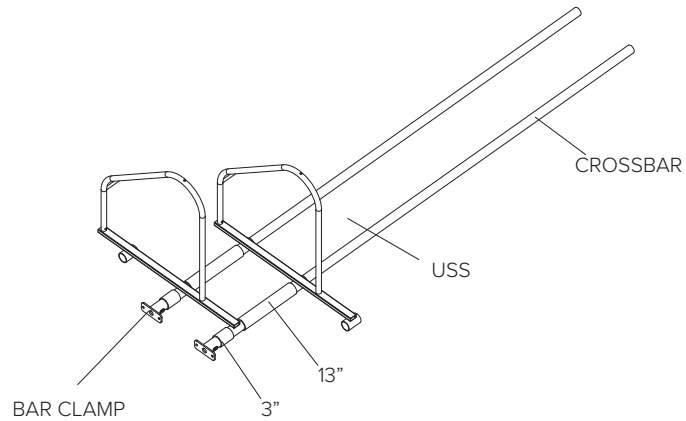


POLYCARBONATE ROOF

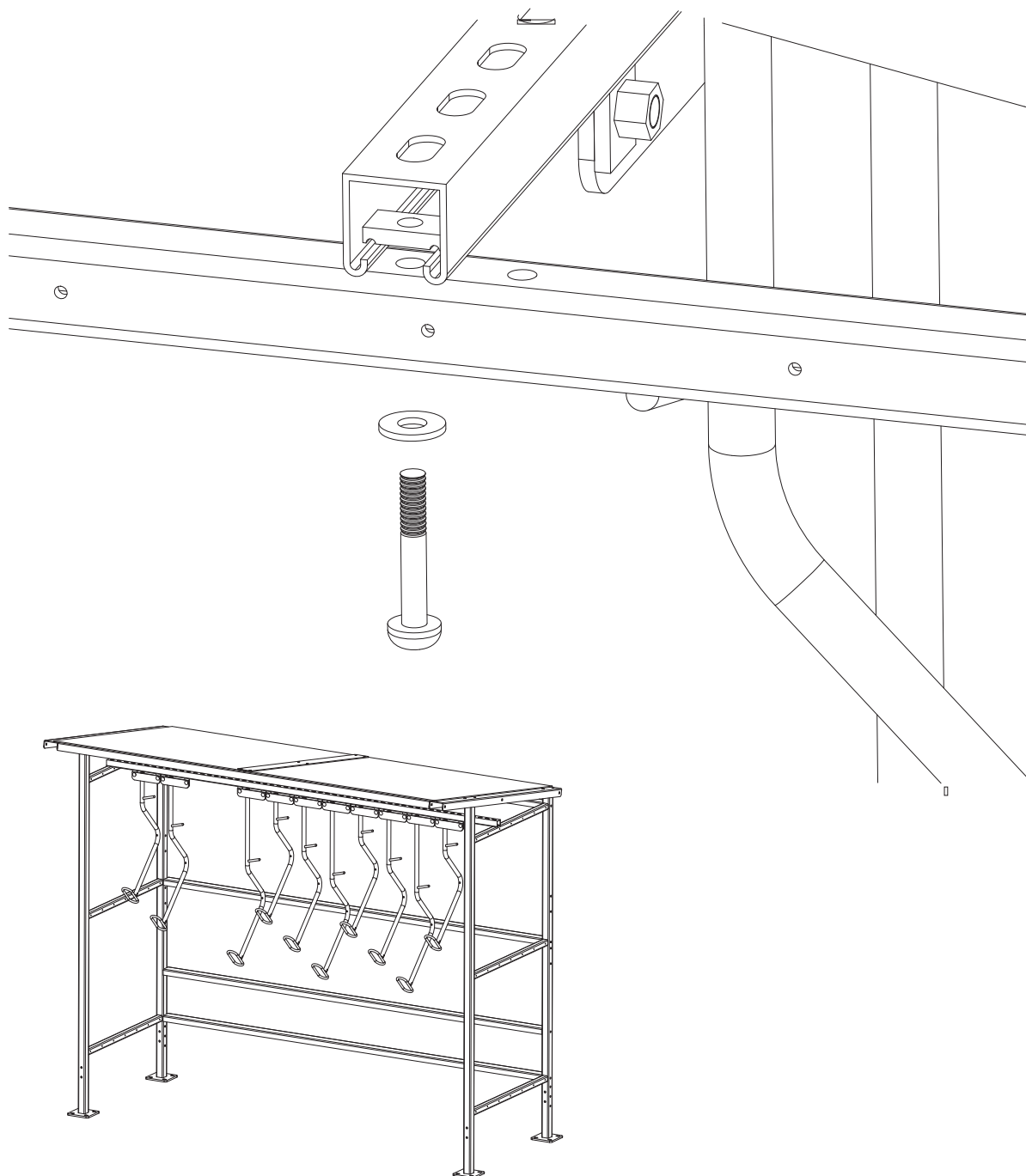
If using polycarbonate roofing, place POLYCARBONATE ROOF PANELS and POLYCARBONATE FLANGE. After locating a pilot hole in the PURLIN, use a 1/4" x 1" self-drilling screw to drill through the POLYCARBONATE ROOF PANEL and into the pilot hole. Confirm the POLYCARBONATE ROOF PANEL is aligned with the shelter and continue with all pilot holes. Use 1/4" x 1.5" self-drilling screws when attaching the POLYCARBONATE FLANGE.



If using Ultra Space Saver racks, assemble the racks, secure each BAR CLAMP to CROSSBARS with (2) 3/8" x 1/2" bolts, lift into place, and secure to shelter with (8) 3/8" x 3.25" bolts, (16) washers, and (8) nuts.

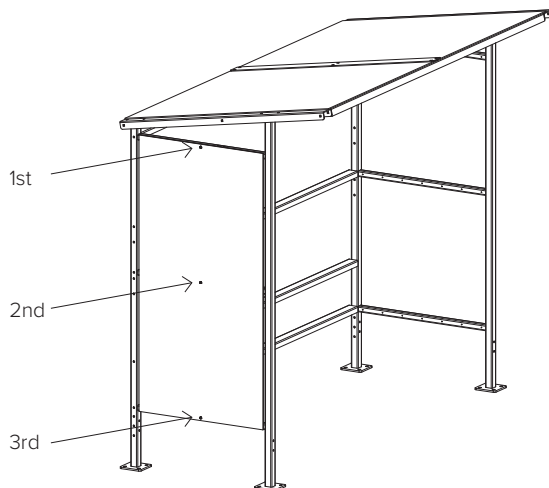
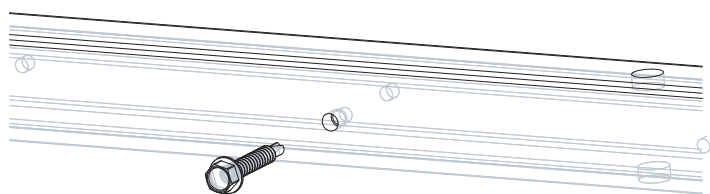


If using Bike File racks, assemble the racks, lift into place, and secure to shelter with (2) 3/8" x 2.5" tamper-resistant bolts, washers, and Unistrut nuts.



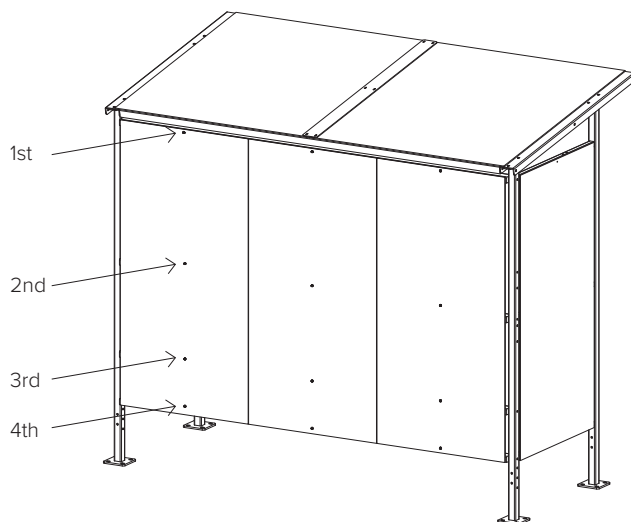
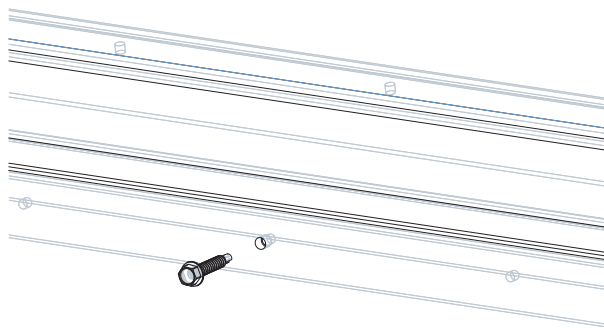
SIDE PANELS

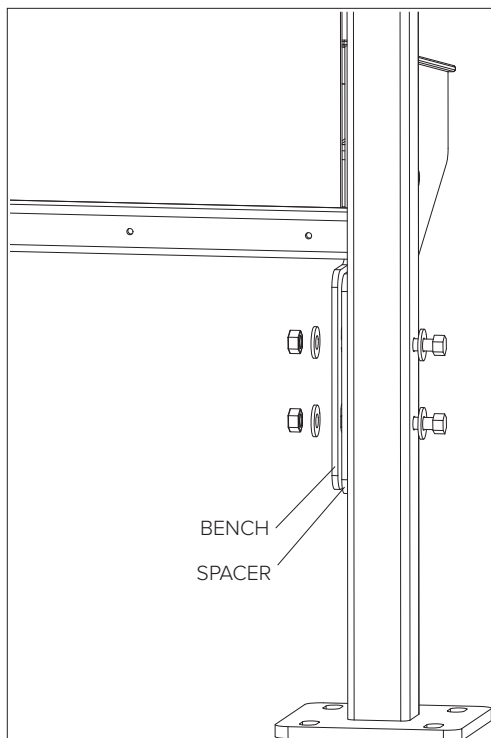
If using side panels, place the PANEL with the single pre-drilled hole oriented towards the top. Align the pre-drilled hole and the corresponding pilot hole in the shelter and secure with a 1/4" x 1" self-drilling screw. Confirm that the PANEL is aligned with the shelter and not bowed. The next self-drilling screws will drill through the PANEL and into the pilot holes at locations 2 and 3. Continue with the next 18 self-drilling screws while working from the center outwards. Repeat for the other side of the shelter.



REAR PANELS

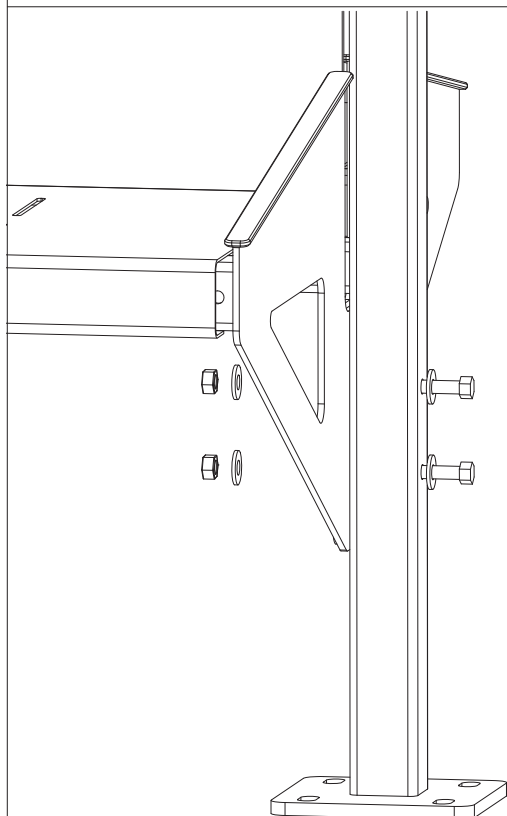
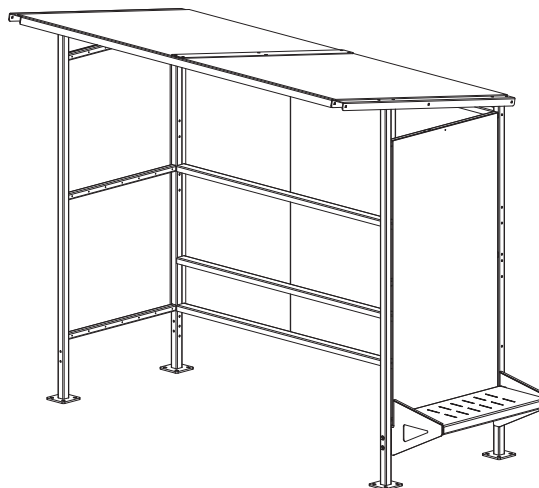
If using rear panels, place the PANEL with the single pre-drilled hole oriented towards the top. Align the pre-drilled hole and the corresponding pilot hole in the shelter and secure with a 1/4" x 1" self-drilling screw. Repeat for the next (2) rear PANELS. Confirm that the PANELS are aligned with the shelter and each other and not bowed. The next self-drilling screws will drill through the PANEL and into the pilot holes at locations 2, 3, and 4. Continue with the next 24 self-drilling screws in each PANEL while working from the center outwards.





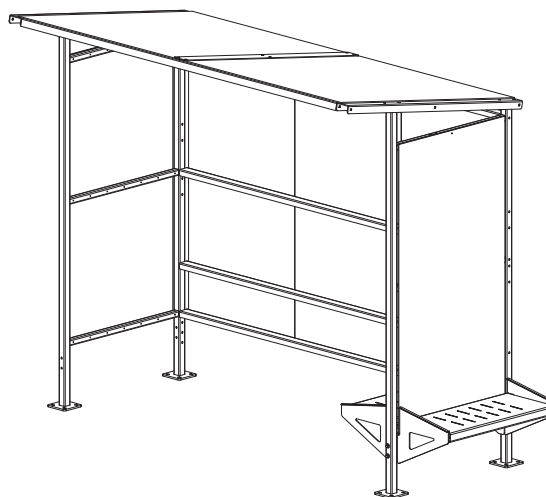
SINGLE SIDE BENCH

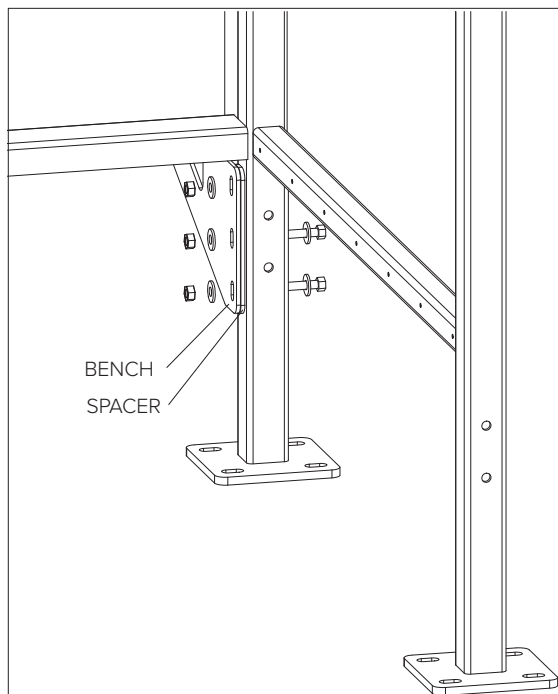
To attach a single SIDE BENCH, use (4) 3/8" x 3.25" bolts, (8) washers, (4) nuts, and a SIDE BENCH SPACER.



OPPOSING SIDE BENCHES

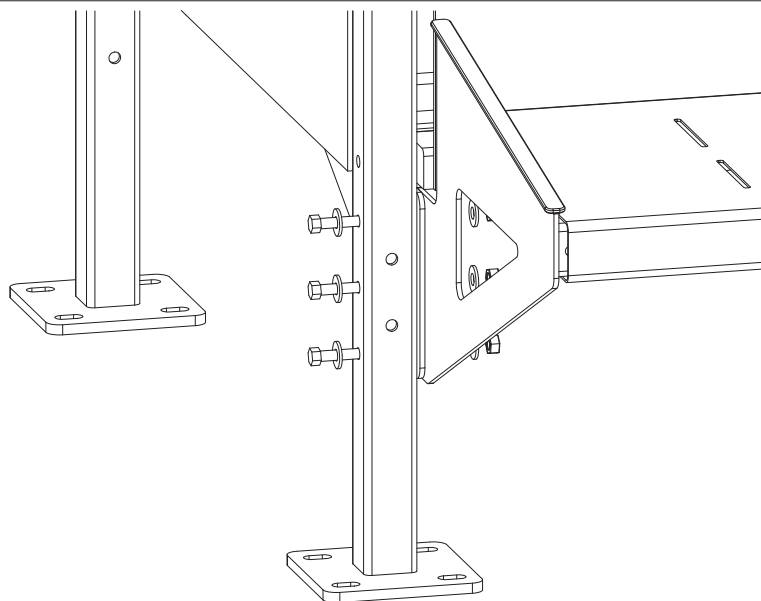
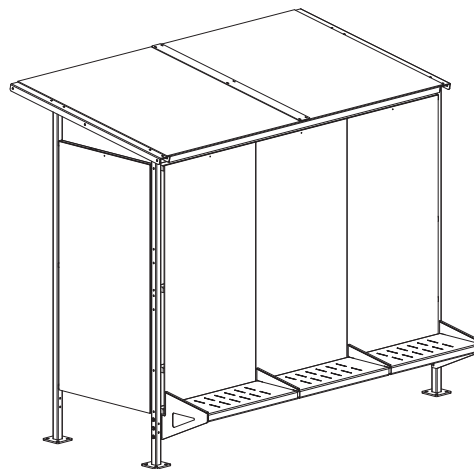
To attach two opposing SIDE BENCHES, use (4) 3/8" x 3.25" bolts, (8) washers, and (4) nuts.





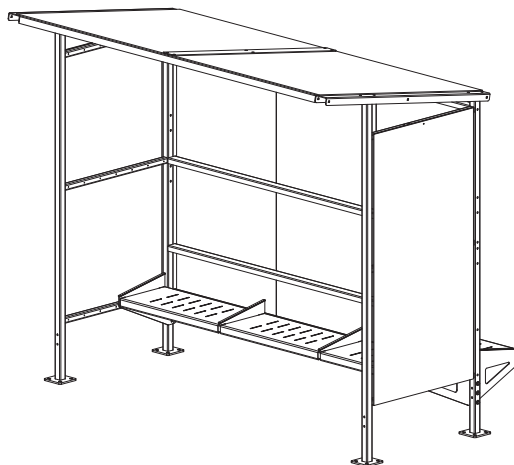
SINGLE REAR BENCH

To attach a single REAR BENCH, use (6) 3/8" x 3.25" bolts, (12) washers, (6) nuts, and a REAR BENCH SPACER.



OPPOSING REAR BENCHES

To attach two opposing REAR BENCHES, use (6) 3/8" x 3.25" bolts, (16) washers, and (6) nuts.



April 19, 2022

Ms. Leah Knapp, P.E.
HGA
333 East Erie Street
Milwaukee, WI 53202

**Re: Metrohealth Transformation – Scranton Park – Cleveland, Ohio
Title IV Review Applicability Determination**

Dear Ms. Knapp,

The Title IV Combined Sewer Code of the Northeast Ohio Regional Sewer District's (NEORS) Code of Regulations provides the NEORS with the authority to control combined sewer overflows (CSOs) from the combined sewer system and to control peak flows from local combined sewer systems at the point of connection into sewers owned by the NEORS or a member community. Therefore, the NEORS has the authority to review all requests for connection approval within the combined sewer system.

Based on preliminary information, the referenced project:

- ☐ Will be subject to review by the NEORS under Title IV – Combined Sewer Code. The proposed stormwater management design for the site must meet the current NEORS Title IV Combined Sewer Code requirements, detailed in the attached guidance document, ***Submittal Requirements for Connections to the Combined Sewer System – Guidelines for Review and Approval***.
- ☒ Will not be subject to review by the NEORS under Title IV – Combined Sewer Code.

If you have any questions, please feel free to contact me at ext. 6466.

Kind Regards,



David Ritter
Manager of Watershed Technical Support

cc:
Elie Ramy, Cleveland WPC
Sharonda Whatley, Cleveland Planning Commission

Cleveland City Planning Commission

Mandatory Referrals



May 20, 2022

Ordinance No. 490-2022 (Ward 14/Councilmember Santana; by departmental request):
Authorizing the acquisition and recording of certain standard highway easement interests from The MetroHealth System, a county hospital, organized under R.C. 339, located in the vicinity of West 25th Street and Scranton Road for the purpose of public roadway improvements in connection with the development of MetroHealth's main campus, for the Office of Capital Projects.

Presenter: Susanne DeGennaro, City of Cleveland

City Planning Commission

Friday, May 20th, 2022

Richard Switalski, PE

Administrative Manager

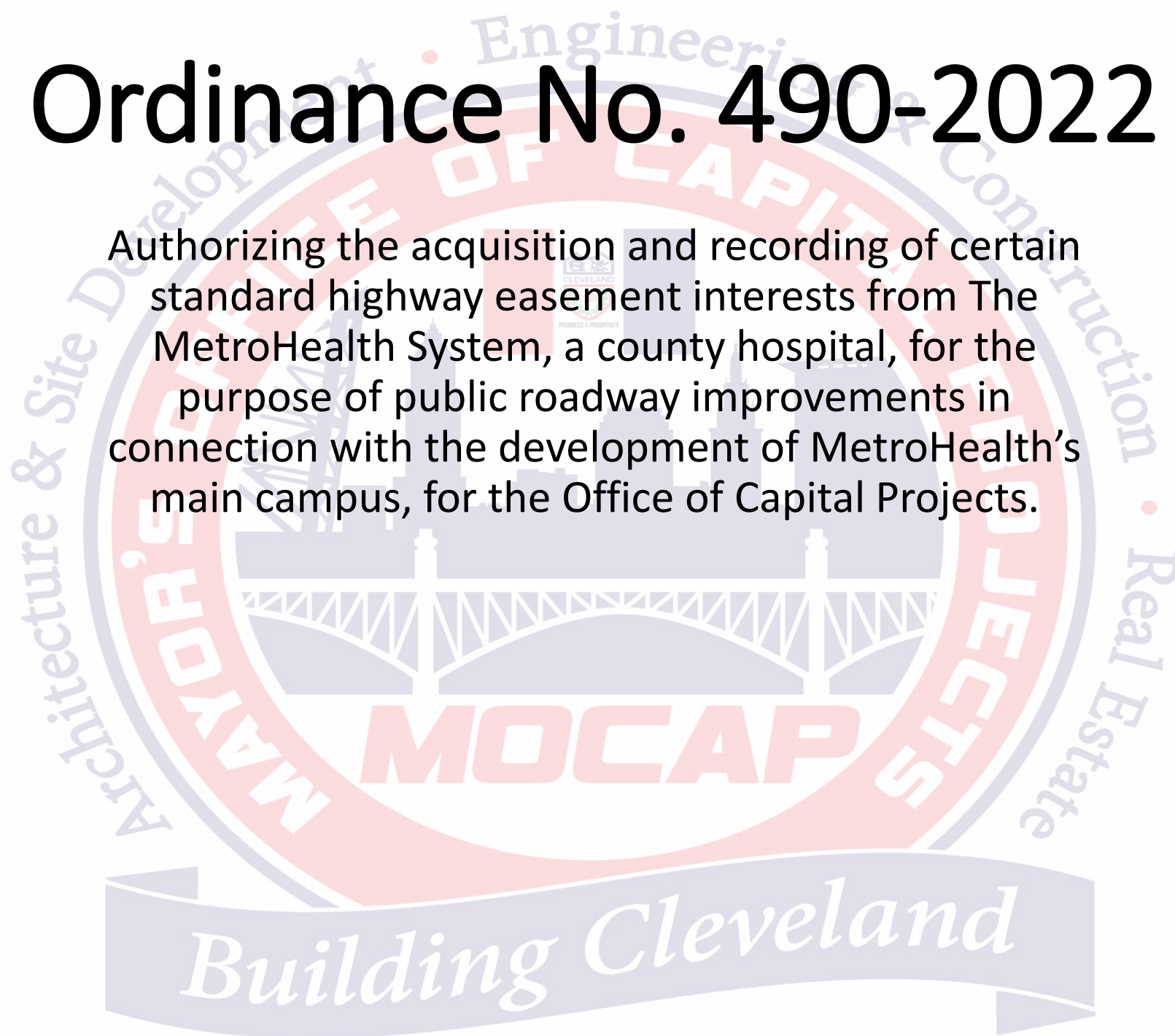
Mayor's Office of Capital Projects

Division of Engineering & Construction

Building Cleveland

Ordinance No. 490-2022

Authorizing the acquisition and recording of certain standard highway easement interests from The MetroHealth System, a county hospital, for the purpose of public roadway improvements in connection with the development of MetroHealth's main campus, for the Office of Capital Projects.



Ordinance No. 490-2022

Proposed road extension & roundabout layout

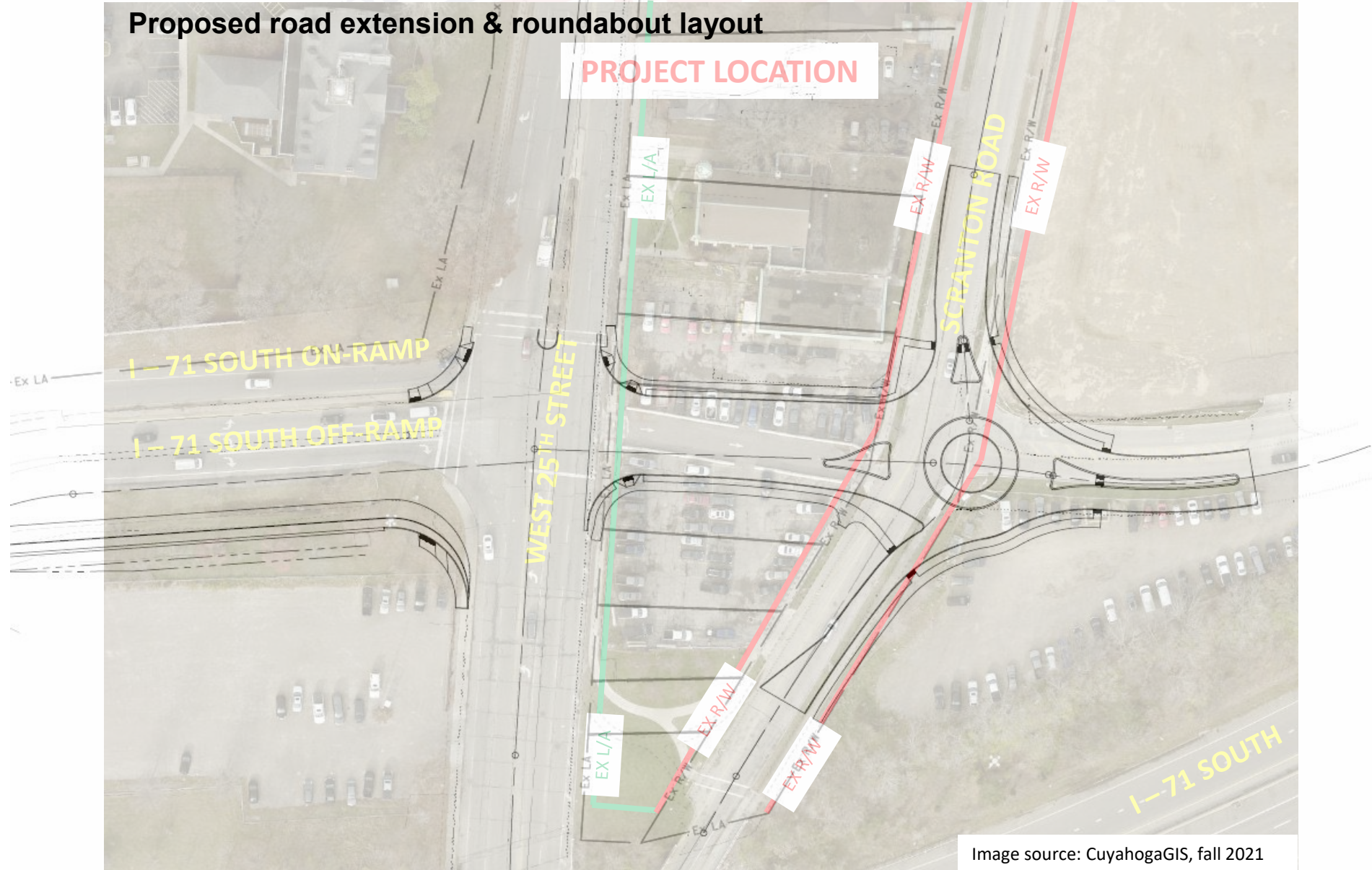


Image source: CuyahogaGIS, fall 2021

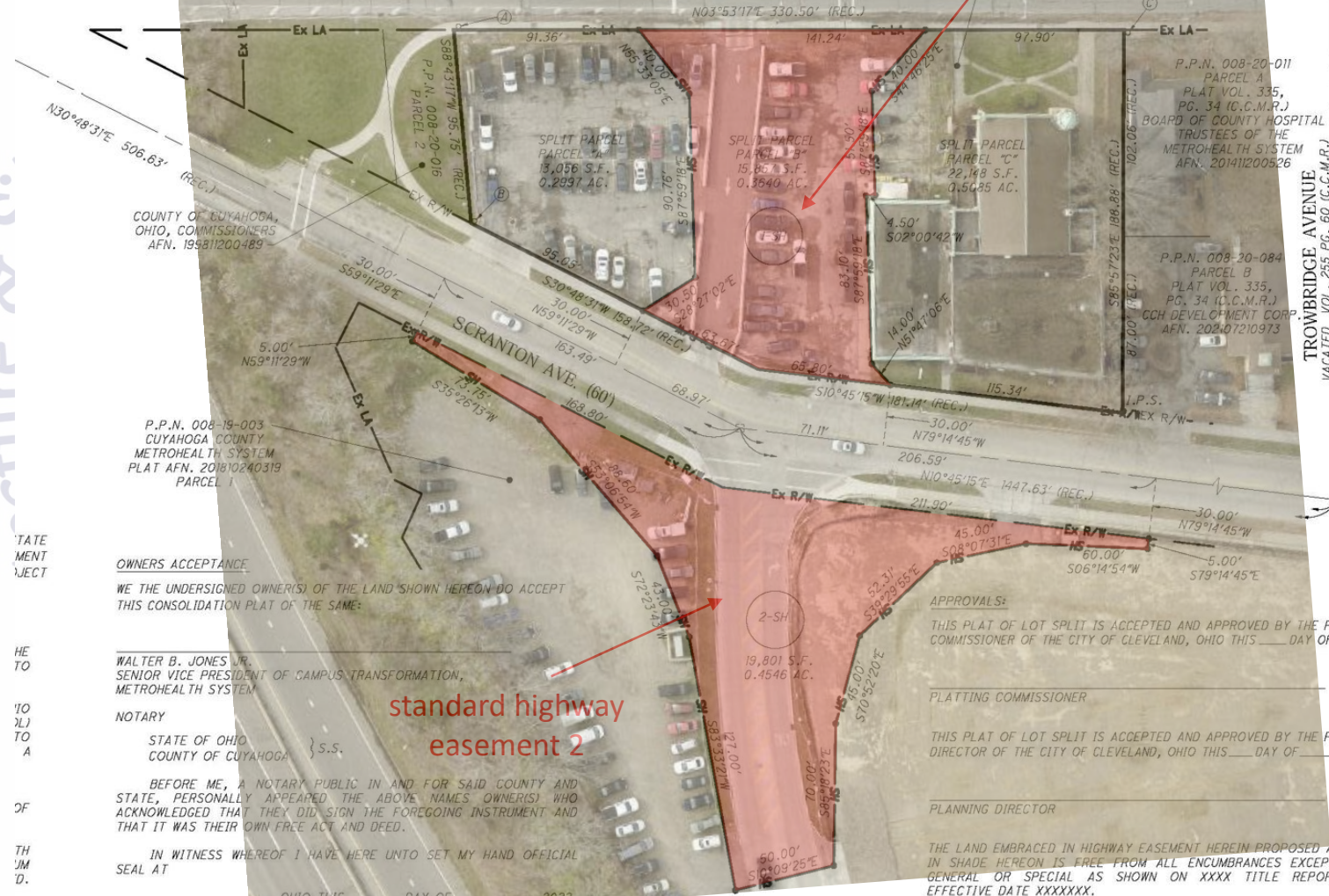
Ordinance No. 490-2022

Proposed standard highway easement areas

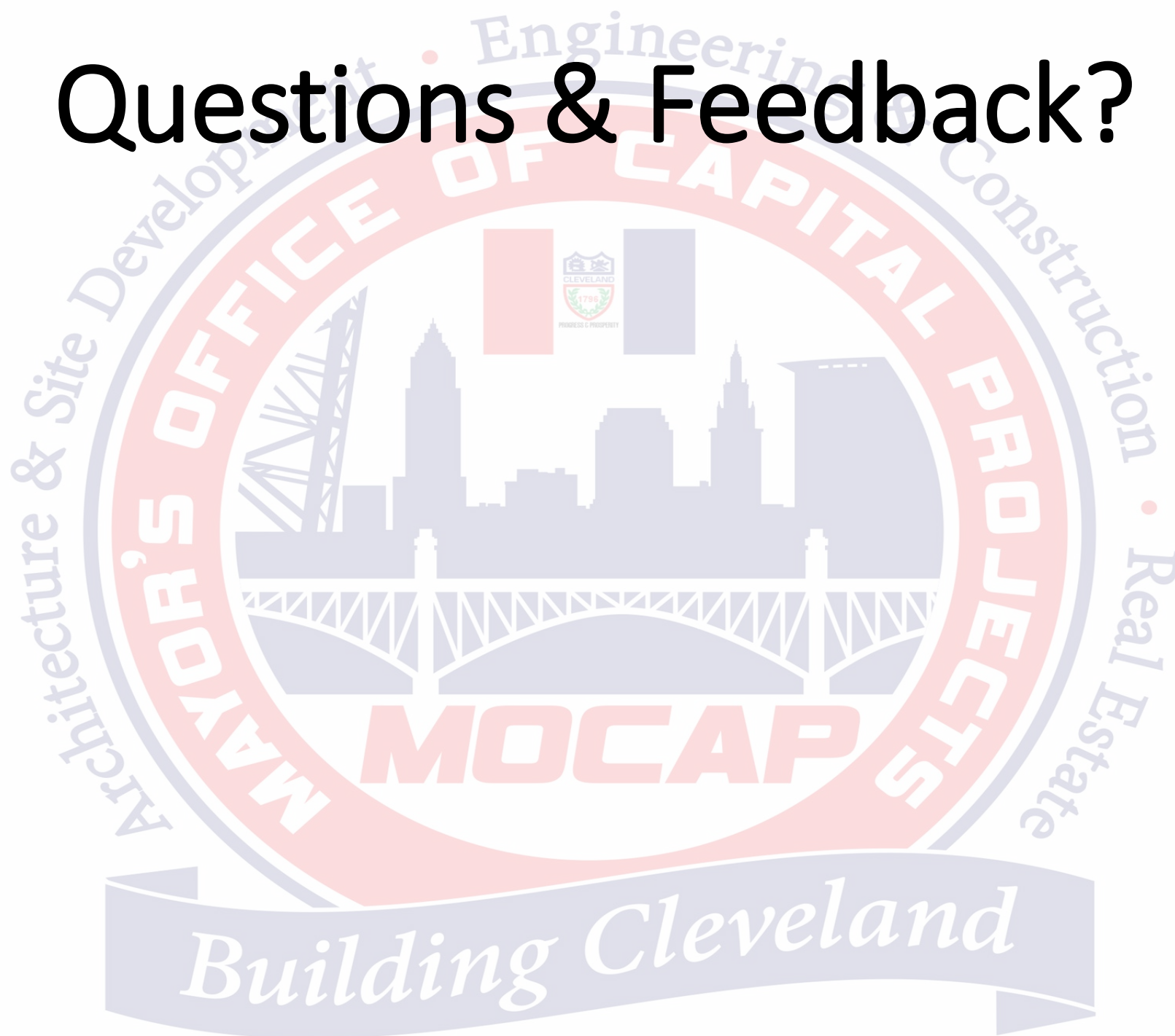
WEST 25th STREET (66')

standard highway
easement 1

266.89' (REC.)



Questions & Feedback?





May 20, 2022

Ordinance No. 496-2022 (Ward 3/Councilmember McCormack; Ward 5/Councilmember Starr; Ward 7/Councilmember Howse; by departmental request): Authorizing the Director of Capital Projects to the District One Public Works Integrating Committee for state funding for the rehabilitation of a portion of Payne Avenue; to apply for and accept gifts and grants from various entities for the improvements; authorizing the Director of Capital Projects to enter into contracts and agreements to design and construct the improvements and other agreements needed to implement the improvements; and authorizing the Commissioner of Purchases and Supplies to acquire, accept, and record for right-of-way purposes real property and easements necessary to make the improvements.

Presenter: Rick Switalski, City of Cleveland

Engineering & Construction Mandatory Referrals

May 20, 2022 Planning Commission



Ord. No. -2022 (Payne Avenue)

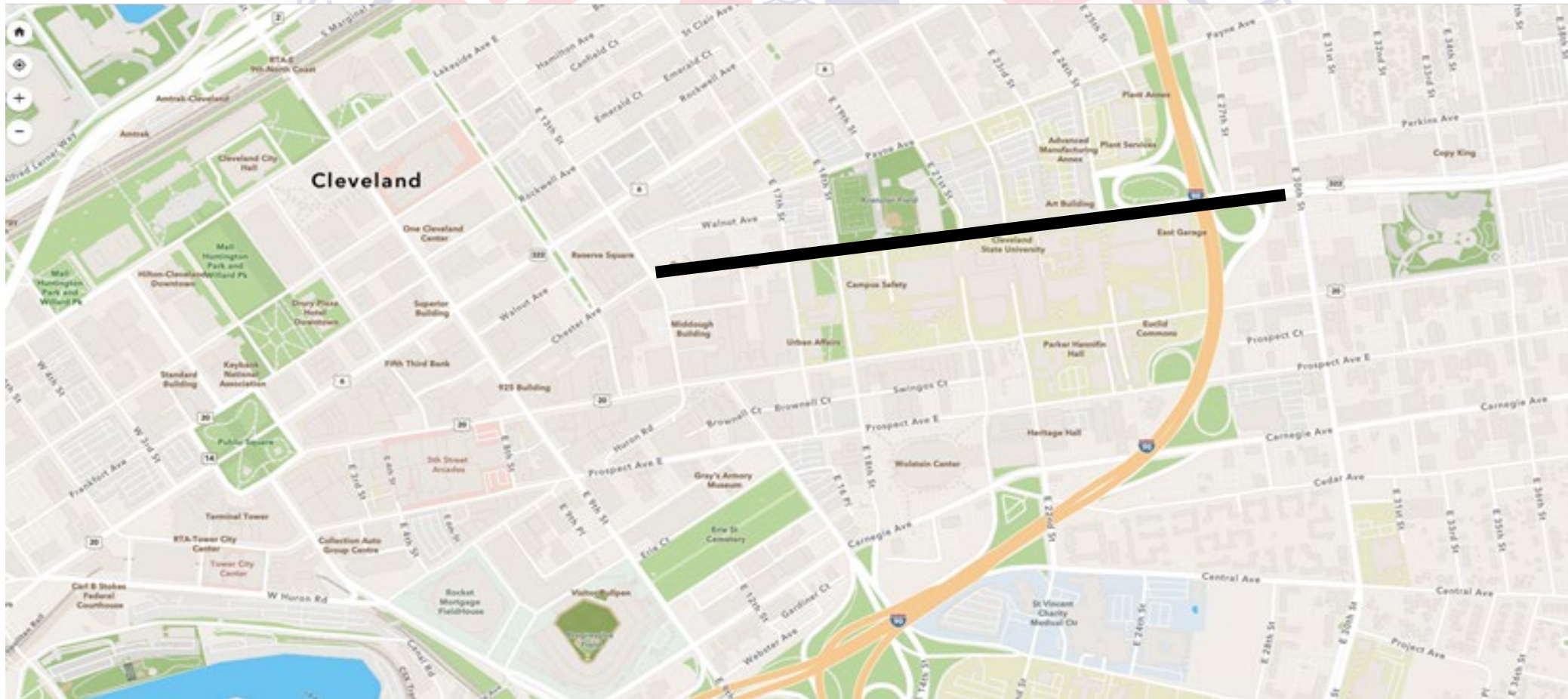
Project Summary

- Sponsor: City of Cleveland
- Primary Goal:
 - Upgrade Pavement Condition and incorporate a road diet
 - One lane of traffic in each direction, with left-turn lanes at intersections as needed.
- Location:
 - Payne Avenue (East 13th to East 30th) – 0.85 miles
- Funding:
 - Design Cost Estimate: \$ 600,000
 - Construction Cost Estimate: \$ 6.0 Million
 - Funding Sources: City Road & Bridge Bonds, public utility funds (Pending), and Ohio Public Works (Pending)
- Details:
 - Project includes base repair, resurfacing, ADA-compliant curb ramps and sidewalks and curbs where needed.
 - Road Diet will be incorporated
 - Bike lanes
 - Painted curb extensions at key intersections

Ord. No. -2022 (Payne Avenue)

- Schedule:
 - Estimated Start Design: August 2022
 - Estimated Advertise for Bids: September 2023
 - Advertise/Bid/Award: November 2023
 - Estimated Begin Construction: February 2024
- Design for Bicyclists:
 - Bike lanes will be included with the new traffic control plan. Separation between the bike and vehicle lanes will be provided where feasible, using painted buffer markings. Bike lane symbols on the pavement will be highlighted with a green painted background. Corresponding multi-modal signage will be added to the corridor.
- Intersection Improvements:
 - High-visibility enhanced crosswalks will be installed at key pedestrian crossings.
 - Countdown pedestrian signal heads will be added where lacking.
- Green Infrastructure for the Right of Way
 - Streetscape improvements will include planting new street trees in the right of way where feasible.
 - Urban Forestry will assess the condition of existing trees for trimming and/or removal.

Payne Avenue Rehabilitation: East 13th Street to East 30th Street



Building Cleveland



May 20, 2022

Ordinance No. 498-2022 (Ward 10/Councilmember Hairston; by departmental request): Giving consent of the City of Cleveland to the Director of Transportation of the State of Ohio for resurfacing a portion of Euclid Avenue; authorizing the Director of Capital Projects to employ one or more professional consultants to design the improvement; to apply for and accept any gifts or grants from any public or private entity; authorizing any relative agreements; and causing payment of the City's share to the State for the cost of the improvement.

Presenter: Rick Switalski, City of Cleveland

SPAs: Collinwood-Nottingham and Euclid Green

Ord. No. -2022 (Euclid Avenue)

Project Summary

- Sponsor: City of Cleveland / ODOT will be responsible for Construction Administration
- Primary Goal:
 - Upgrade Pavement Condition
- Location:
 - Euclid Avenue (Ivanhoe Road to Upper Valley Drive) – 1.3 miles
- Funding:
 - Construction Cost Estimate: \$2.3 million
 - Funding Sources: ODOT Urban Paving Funds and Road and Bridge Bonds
- Details:
 - Project includes base repair, resurfacing and ADA-compliant curb ramps
 - Pavement markings will match existing
 - Project will review the recently completed Euclid Green Corridor Plan to determine if the addition of any of those elements is feasible

Ord. No. -2022 (Euclid Avenue)

- Schedule:

- Start Design: July 2021
- Estimated Advertise for Bids: February 2022
- Advertise/Bid/Award: May 2023
- Estimated Begin Construction: October 2023

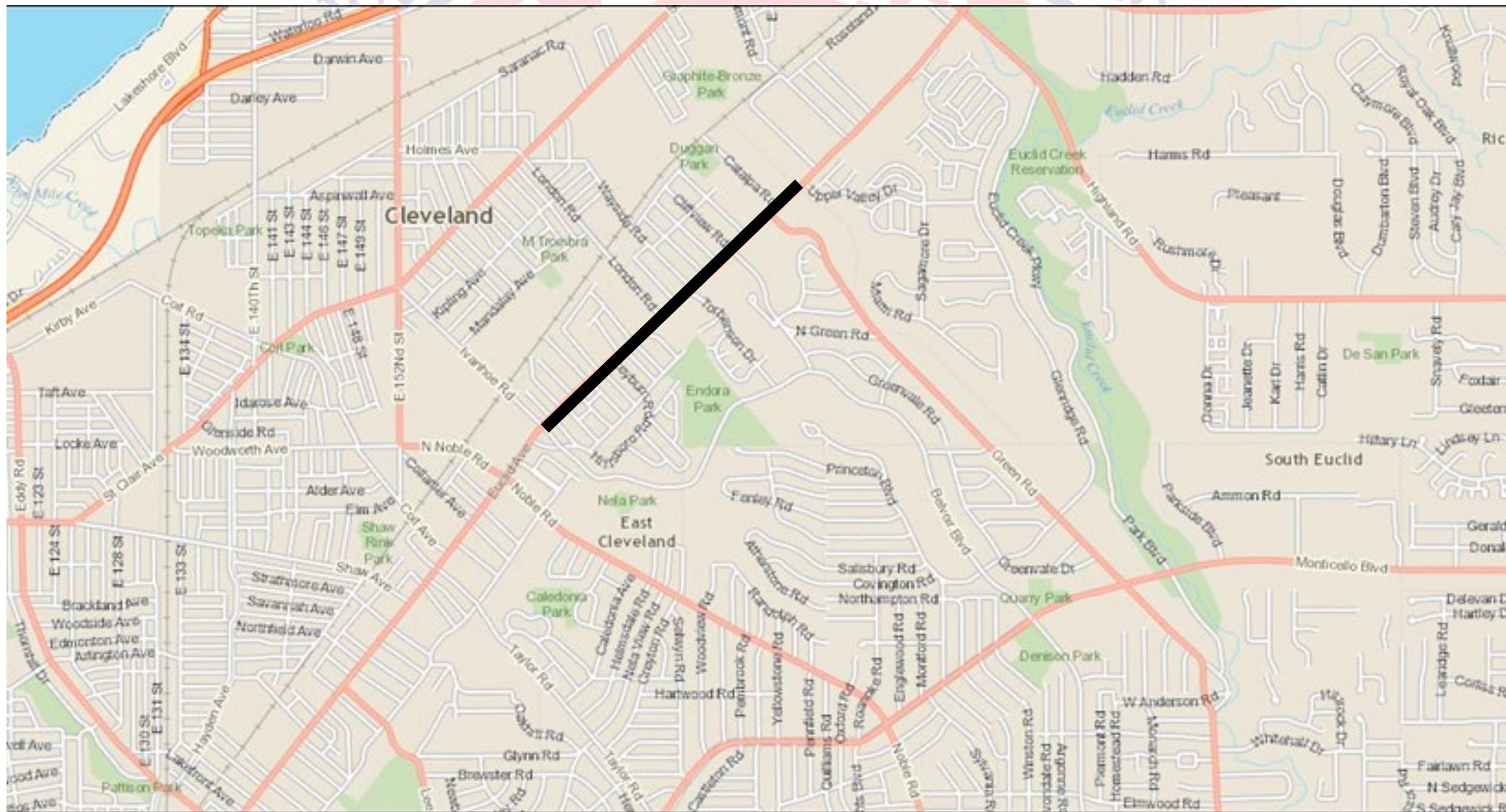
- Design for Bicyclists:

- Proposed pavement marking and signing will match existing with Thermoplastic. NOACA and Neighborhood Group through Transportation for Livable Community Study endorse no bike lanes on this project. Community Development Corp supports no bike lanes on this section of Euclid Avenue. There will be no bike lanes on a similar project in the City of East Cleveland and Euclid.

- Intersection Improvements:

- High-visibility enhanced crosswalks will be installed at key pedestrian crossings.

Relocating of Euclid Avenue: Ivanhoe Road to Upper Valley Road





May 20, 2022

Ordinance No. 495-2022 (Ward 5/Councilmember Starr; Ward 6/Councilmember Griffin):
Authorizing the Director of Capital Projects to apply to the District One Public Works Integrating Committee for state funding for the rehabilitation of a portion of Carnegie Avenue; to apply for and accept gifts and grants from various entities for the improvements; authorizing the Director of Capital Projects to enter into contracts and agreements to design and construct the improvements and other agreements needed to implement the improvements; and authorizing the Commissioner of Purchases and Supplies to acquire, accept, and record for right-of-way purposes real property and easements necessary to make the improvements.

Presenter: Rick Switalski, City of Cleveland

Ord. No. -2022 (Carnegie Avenue)

Project Summary

- Sponsor: City of Cleveland
- Primary Goal:
 - Upgrade Pavement Condition and incorporate TLCI recommendations where feasible
- Location:
 - Carnegie Avenue (East 55th to East 79th) – 0.95 miles
- Funding:
 - Design Cost Estimate: \$650,000
 - Construction Cost Estimate: \$7.0 Million Ohio Public Works Commission Issue 1 Funds (pending), Road and Bridge Bonds and Utility Funds (pending)
- Details:
 - Project includes base repair, resurfacing, and addition of ADA-compliant curb ramps
 - Existing roadway configuration (pavement markings) will be replaced
 - TLCI recommendations such as adding median islands at select locations, and enhancing pedestrian crossings, will be reviewed during project design and implemented where feasible.
 - Roadway is not identified in the Bikeway Master Plan

Ord. No. -2022 (Carnegie Avenue)

- Schedule:

- Estimated Start Design: August 2022
- Estimated Advertise for Bids: September 2023
- Estimated Start Construction: February 2024
- Estimated End Construction: August 2025

- Design for Bicyclists:

- Carnegie Avenue is not part of the Regional Bike Network, given that there are parallel east-west bike routes along Euclid Avenue to the north and Cedar Avenue to the south.
- Carnegie Avenue intersects north-south bike routes at East 55th, East 71st and East 79th and these intersections will be enhanced.

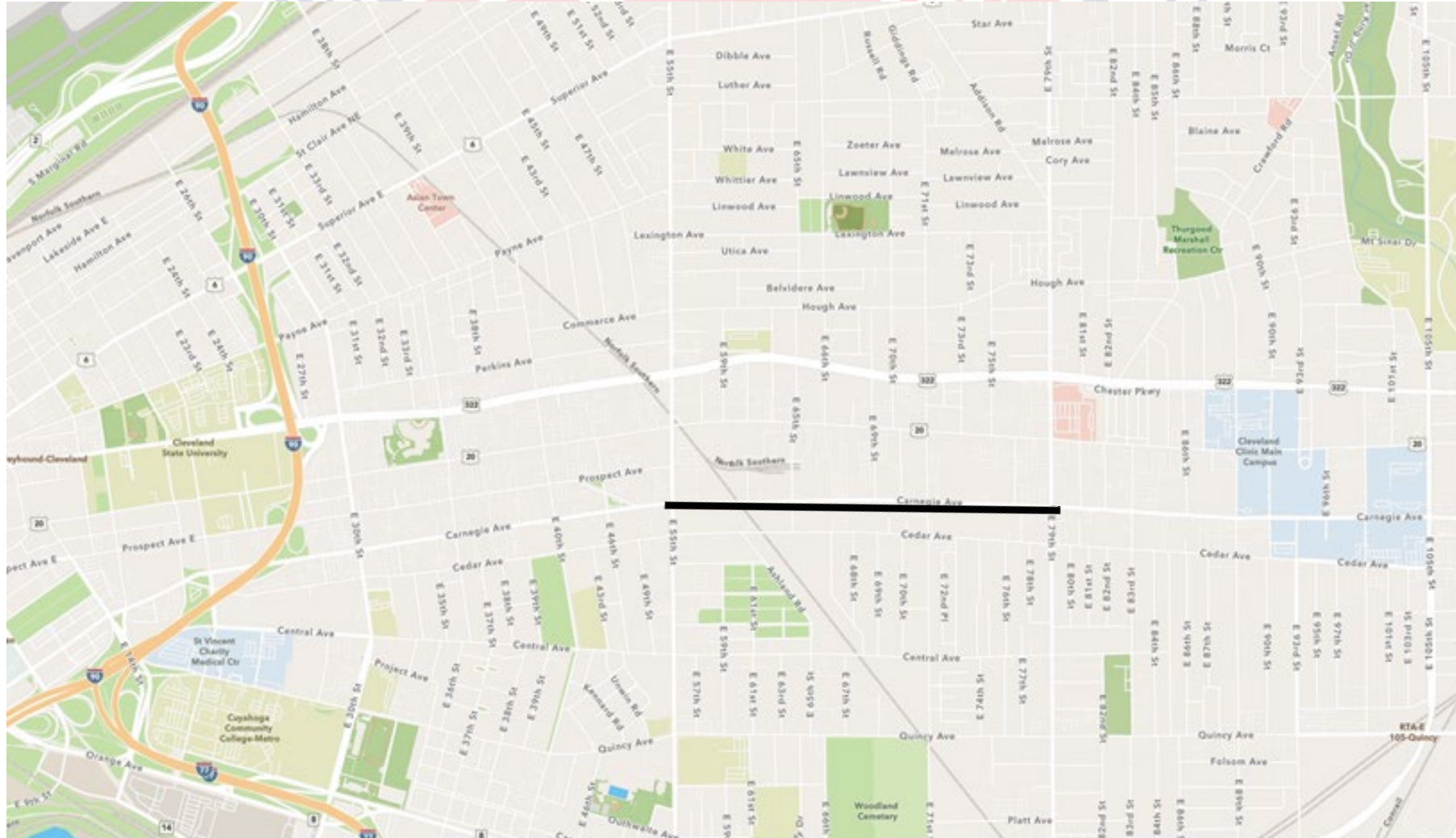
- Traffic Calming:

- The narrower travel lanes will promote lower travel speeds.
- The new center turn lane will improve traffic flow and decrease vehicle-on-vehicle collision rates.

- Intersection Improvements:

- High-visibility enhanced crosswalks will be installed at key pedestrian crossings.
- Countdown pedestrian signal heads will be added where lacking.

Carnegie Avenue Rehabilitation: East 55th Street to East 79th Street





May 20, 2022

Ordinance No. xxx-2022 (Ward 1/Councilmember Jones; by departmental request): Authorizing the Director of the Department of Public Works to enter into one or more agreements with the Cuyahoga County Land Reutilization Corporation to apply for, accept, and expend Ohio Department of Development Building Demolition and Site Revitalization Program reimbursement grant funds for demolition of the John F. Kennedy Recreation Center located on the campus of the former John F. Kennedy High School at 17300 Harvard Avenue and to enter into one or more agreements with the Cleveland Municipal School District (CMSD) to use said grant funds and/or other City funding for the demolition of the John F. Kennedy Recreation Center by CMSD in an amount not to exceed \$1,620,000.

Presenter: Susanne DeGennaro, City of Cleveland

Cleveland City Planning Commission

**Real Estate Legislation
May 20, 2022**

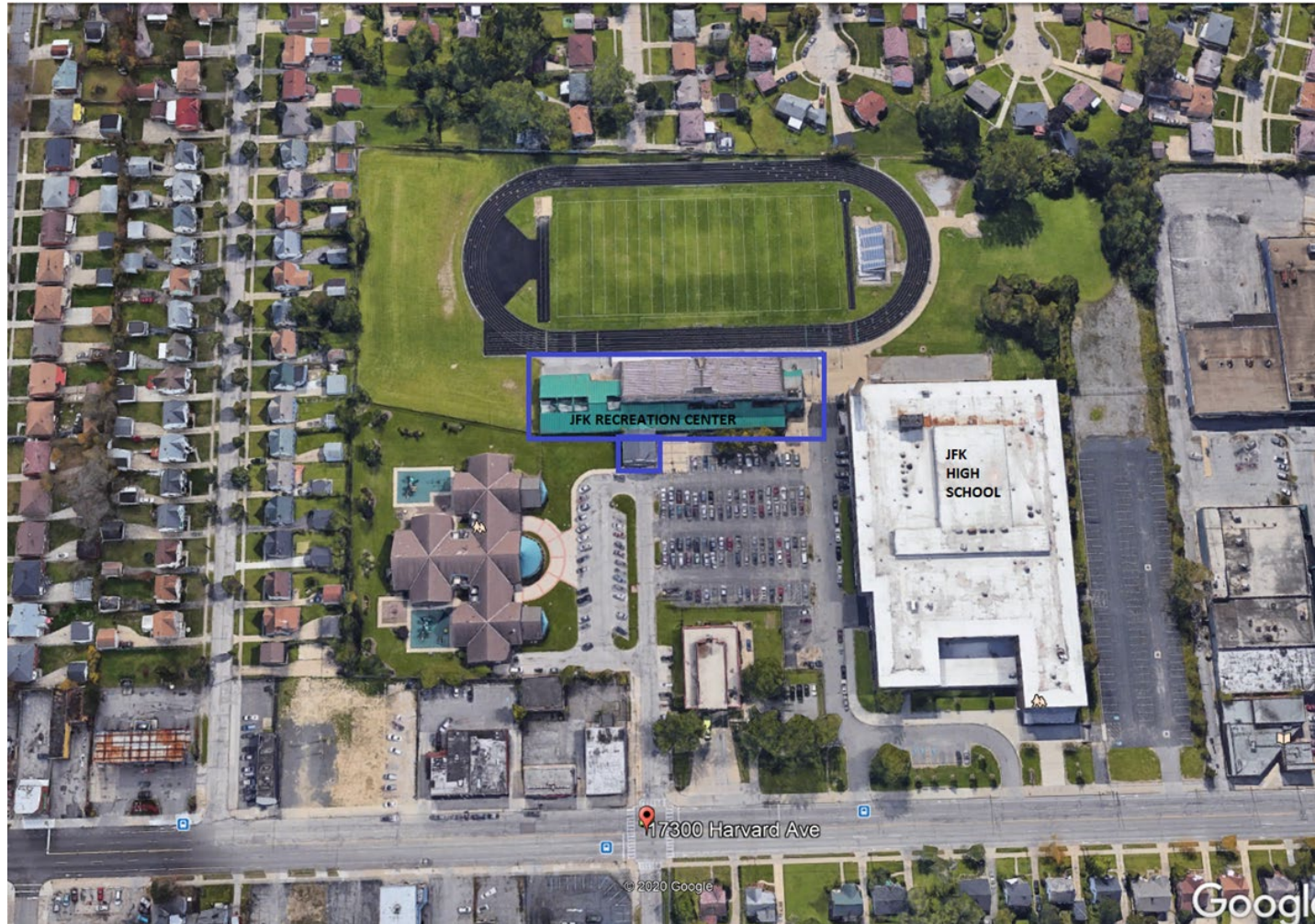


CITY OF CLEVELAND
Mayor Justin M. Bibb



Ord. No. ____-2022

Apply To Ohio Dept. of Development for grant funds to demolish JFK Rec Ctr



Ord. No. ____-2022

Apply To Ohio Dept. of Development for grant funds to demolish JFK Rec Ctr.

- Director of Public Works will enter agreement w/ County Land Bank to apply for Ohio Dept. of Development Building Demolition and Site Revitalization Grant Funds to help defray costs for demolition of JFK Rec Ctr on campus of former JFK High School 17300 Harvard Ave.
- Grant program requires County land bank to apply and City will be subrecipient of grant.
- Director of Public Works will also enter into agreement with CMSD to use grant funds for demolition of JFK Rec Ctr.
- Scope of work includes asbestos abatement, demolition, site restoration, demolition drawings and environmental.
- Located in Ward 1 (Councilperson Jones) PPNs 141-11-019 and 141-12-053.
- City built new Frederick Douglass Rec Ctr in Ward 1 to replace former JFK Rec Ctr. in 2021.

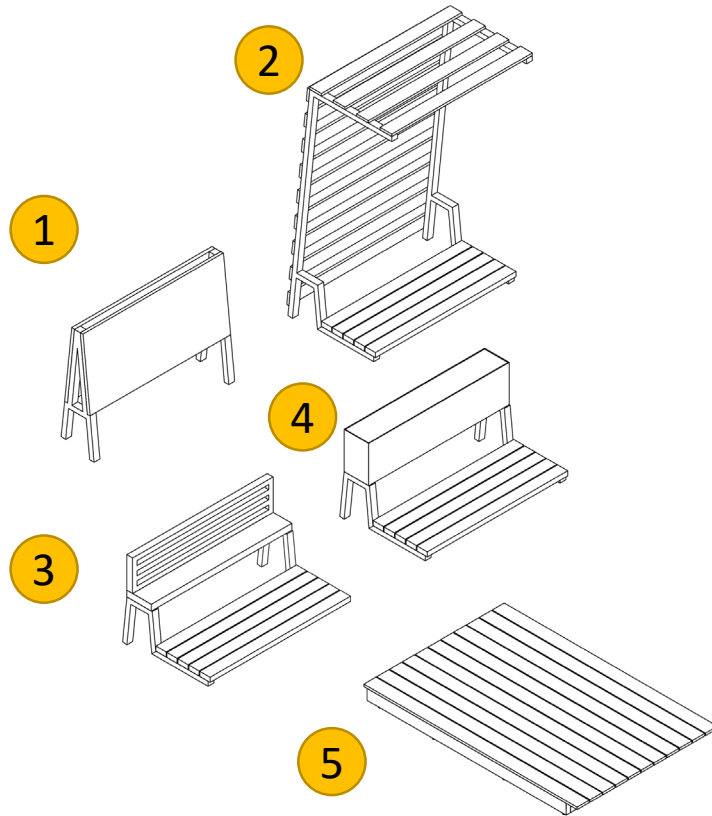


May 20, 2022

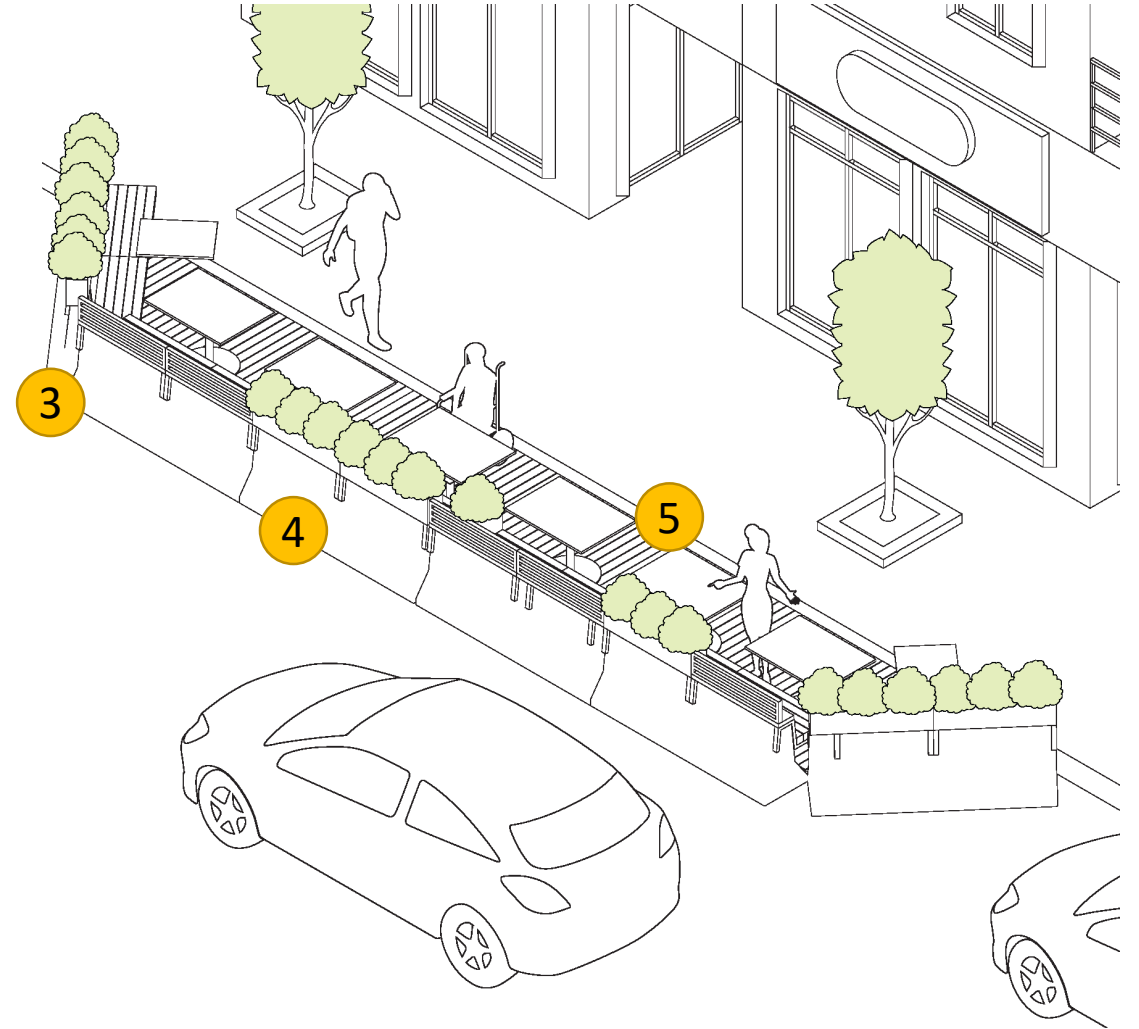
Ordinance No. 510-2022 (Citywide; Introduced by Councilmembers Bishop, Hairston, and Griffin by departmental request): Authorizing the Director of Capital Projects, and the Director of City Planning to develop guidelines and authorizing the Director of Capital Projects [to] issue permits for a temporary program for the use of private or public parking lots, streets and other public rights-of-way, including on-street parking areas and parklets as outdoor restaurants and/or restaurant seating.

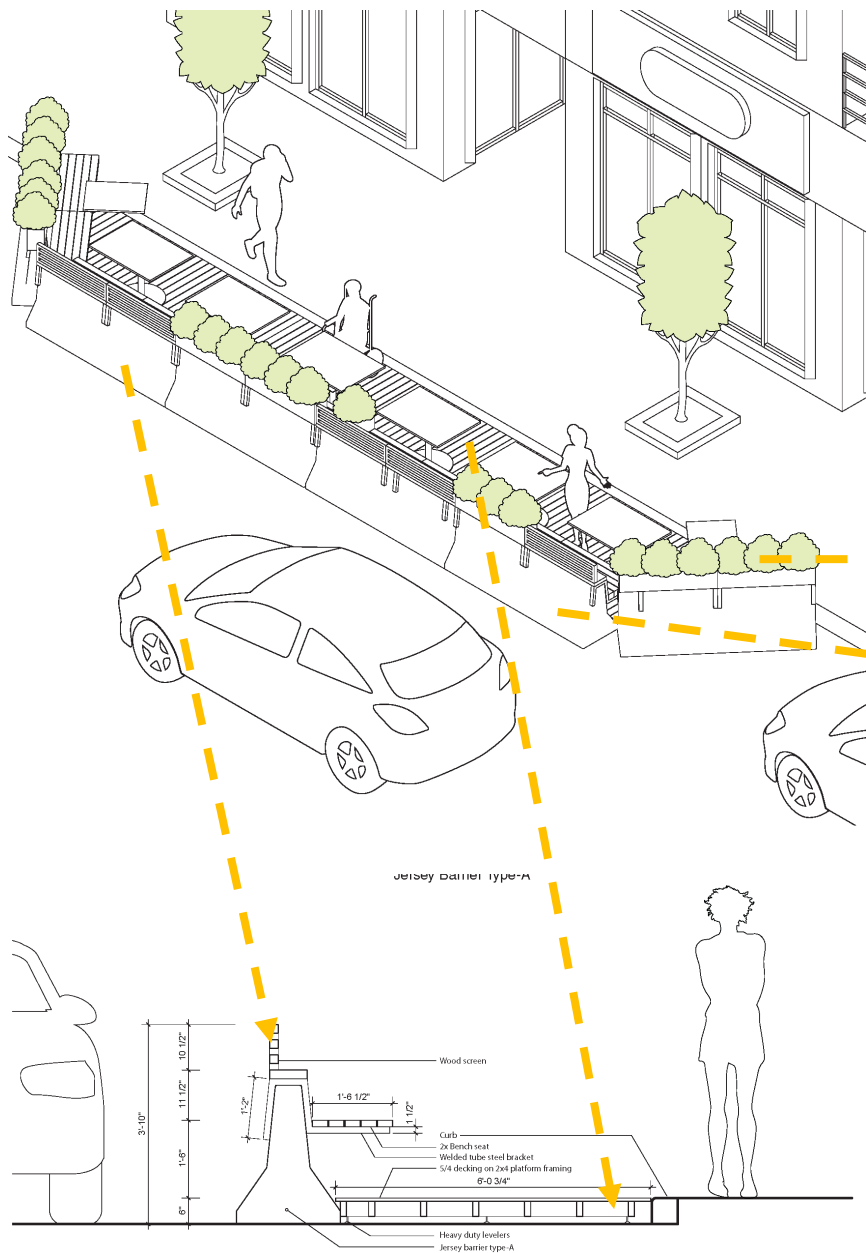
Presenter: Tom Starinsky, Downtown Cleveland Alliance

Proposed Cleveland Standard Parklet Concept



1. Business/Community Signage
2. Bench with Canopy
3. Bench with Screen
4. Bench with Planter
5. Platform







May 20, 2022

Ordinance No.502-2022 (Ward 4/Councilmember Gray; by departmental request): Authorizing the Commissioner of Purchases and Supplies to sell certain City-owned property not needed for public use located in the vicinity of 9103 Buckeye Road to Miceli-Lograsso Development Company, LLC for purposes of business expansion; and proffering certain representations for purposes of the Amended and Restated Trust Indenture from the City of Cleveland.

Presenter: Susanne DeGennaro, City of Cleveland

Cleveland City Planning Commission

**Real Estate Legislation
May 20, 2022**

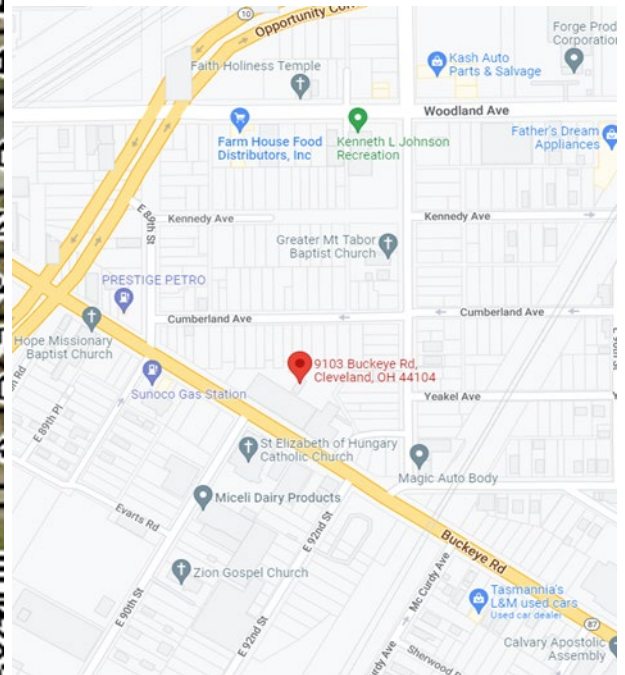


CITY OF CLEVELAND
Mayor Justin M. Bibb



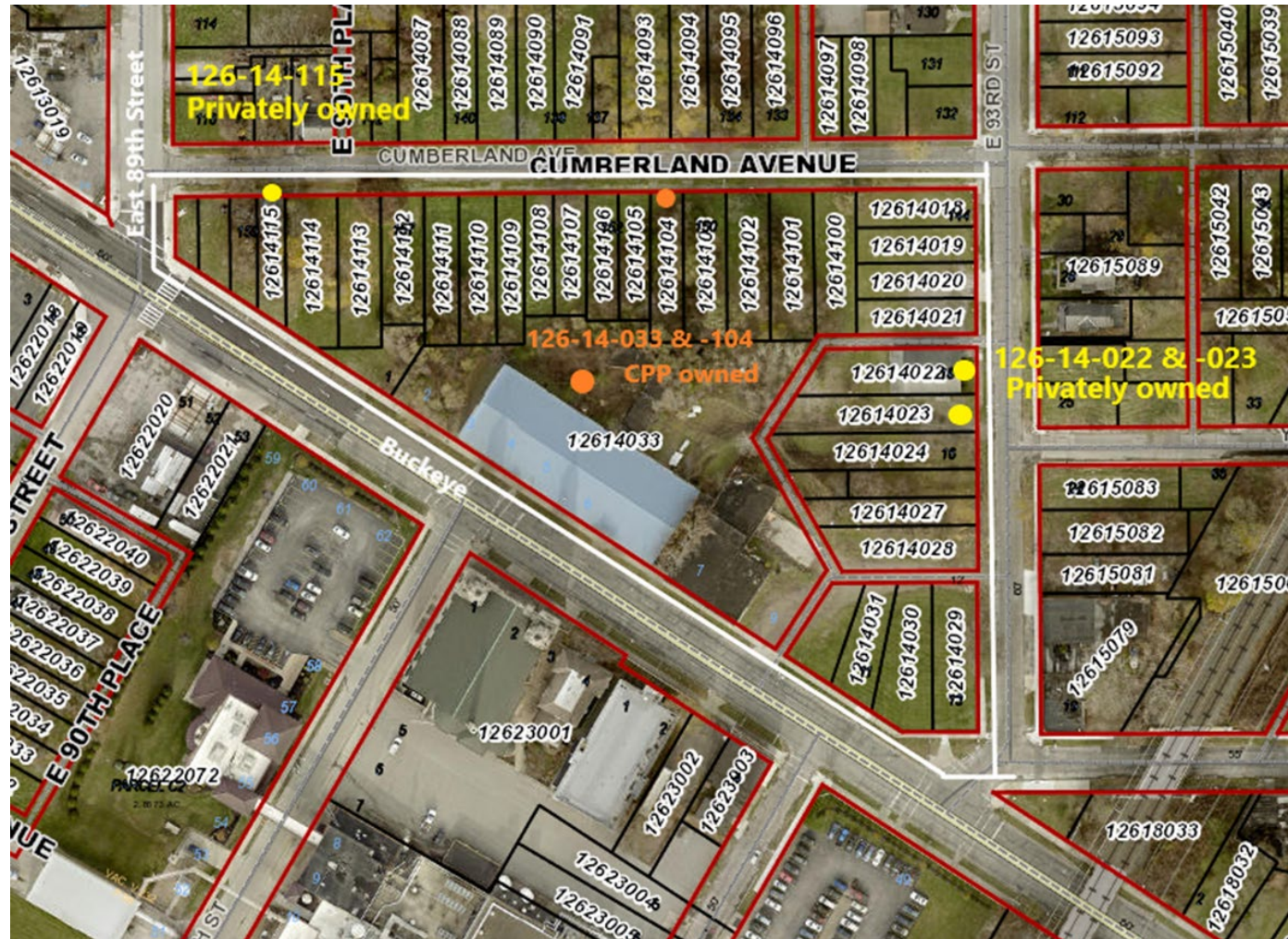
Ord. No. ____-2022

Sell CPP owned building at 9103 Buckeye to Miceli Dairy



Ord. No. ____-2022

Sell CPP owned building at 9103 Buckeye to Miceli Dairy



Ord. No. ____-2022

Sell CPP owned building at 9103 Buckeye to Miceli Dairy

- Director of Public Utilities will sell property at 9103 Buckeye to Miceli Dairy near its existing campus and headquarters at 2721 East 90th Street for expansion of its cheese manufacturing business.
- Includes PPN 126-14-033, a 1.42 acre parcel with a 24,700+ square foot warehouse building and PPN 126-14-104, a smaller vacant parcel of 4,230 square feet, or 0.097 acres.
- CPP Properties were acquired in 2010 and 2012 for the South Side Service Center, but those plans never materialized.
- Miceli plans to renovate the building for uses including dry goods warehouse, maintenance and fabrication workshop, and offices for staff.
- Sale of the CPP Properties will put them into productive re-use, while allowing Miceli to fully realize their goal of a state-of-the-art campus on Opportunity Corridor, which would provide additional jobs; Miceli is working with ED on financing incentives.
- Ward 4 (Councilperson Gray).

Cleveland City Planning Commission

Special Presentations – public Art



May 20, 2022

**City of Cleveland
Public Art Program**

**2021
End-of-Year Presentation to
City Planning Commission**

May 6, 2022

Public Art Program

2021 overview

- Active projects
 - 16 projects in various stages
 - Program funding for these projects: \$2m
 - Budgets ranging from \$11k to \$1.1m
 - From other city sources: \$77k
- Developing processes to implement funding to
 - Pay artists for proposals
 - Maintain and conserve artworks
- Assessment of maintenance and repair needs

Early-stage projects

Mounted Police Unit
Woodland Rec Center
Lake Avenue Bridge
Fire Station 26
Clark Recreation
Orr Park

Program	Other
(x \$1,000)	

180	
150	
	20
90	
45	
11	

RFQ drafting

East 140th Streetscape
Cleveland Police Headquarters
Buckeye Road Streetscape

52	12
1,067	
48	

Artist selection

East 185th Streetscape

26	10
----	----

Design development

Kovacic Rec Center
Cleveland Kennel
Frederick Douglass Rec Center
105th and Ashbury

64	15
58	
185	
16	

Nearing completion

Walter Burks Playground
Hopkins Ground Transportation Center

20	
36	

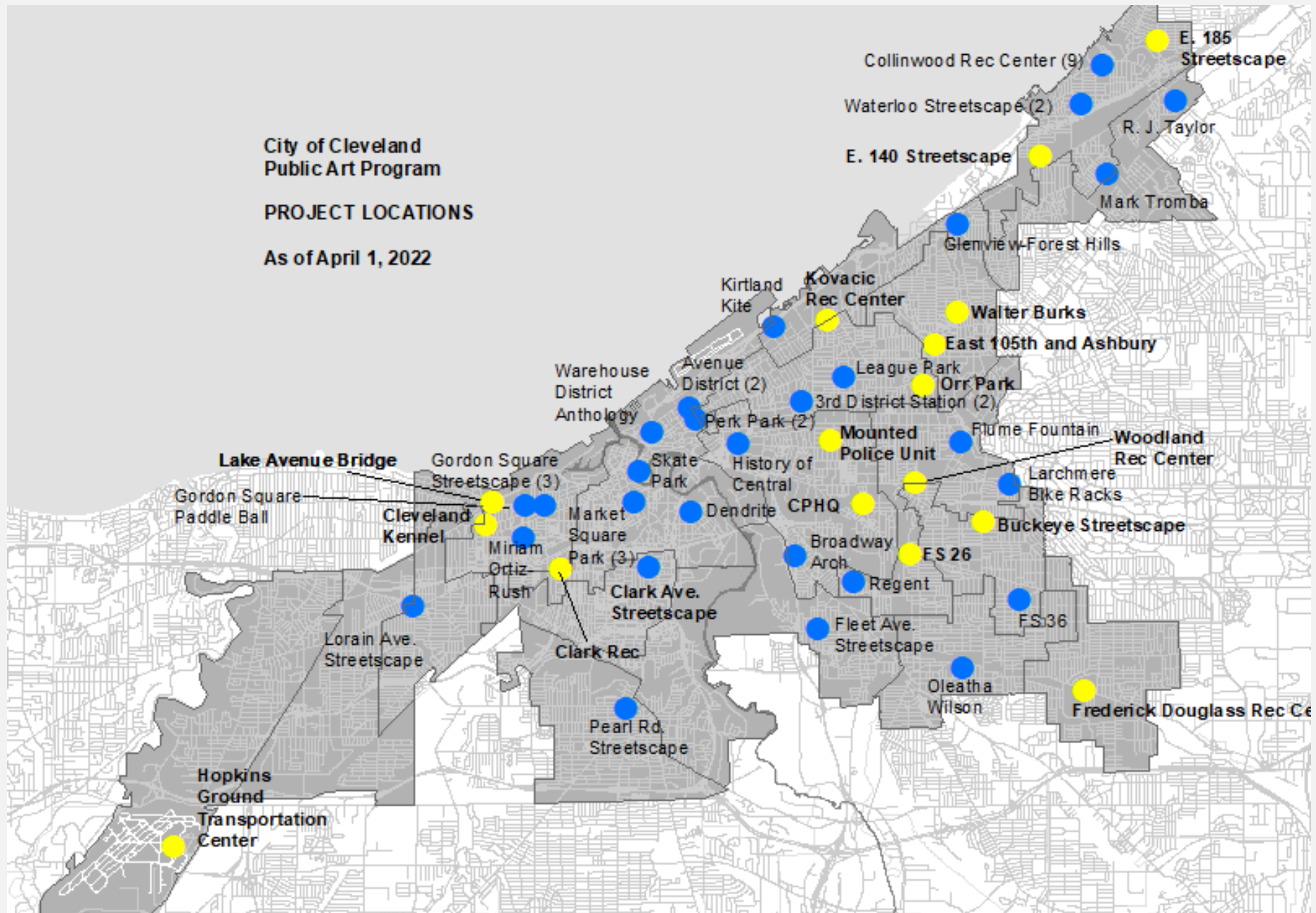
Total

2,048	57
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**City of Cleveland
Public Art Program**

PROJECT LOCATIONS

As of April 1, 2022



Clark Avenue Streetscape



Clark Avenue Streetscape



Clark Avenue Streetscape



Clark Avenue Streetscape



Clark Avenue Streetscape



Clark Avenue Streetscape



Clark Avenue Streetscape



**City of Cleveland
Public Art Program**

Draft maintenance and conservation record

December 2021

City of Cleveland
Public Art Program

**Preliminary assessment of artwork
maintenance and repair needs**

Updated January 5, 2022
Today is April 8, 2022

s sculpture
a sculpture w/add'l function(s)
m mural
k kiosk or box
x mixed
o other

Sort by macro:

Worst condition to top	ctrl-w
Back to standard form	ctrl-y
Sort by unique ID	ctrl-z

F beyond repair or possibly so
E immediate attention needed
D attention needed soon
C moderate maintenance or repairs needed
B minor attention may be required
A no maintenance or repairs needed

Capital project		Instance		Artwork unique ID	Location on map	Type of artwork	Projected life, yrs	Cost of artwork, in thousands of dollars	Year installed	Name of artist, designer, or collective	Fabricator (see note 9)	Location information	Additional descriptive information	Observation date	Condition	Description of observed condition	See note(s)
22	e. Shield	4	1 e 4	I a			2.2	2014	Hubbard, Tom	Imax Industries	E of NE cor E 127			06/28/21	D	rust, heaving or settling, weeds	
23	b. Bentwood	5	1 b 5	J a			2.2	2014	Hubbard, Tom	Imax Industries	W of NW cor E 128	Shaker		06/28/21	D	rust, heaving or settling	1
24	a. Ladder	5	1 a 5	K a			2.2	2014	Hubbard, Tom	Imax Industries	NE cor 130/Cheshire	Shaker		06/28/21	C	rust, weeds	1
25	d. Fiddle	5	1 d 5	K a			2.2	2014	Hubbard, Tom	Imax Industries	NE cor 130/Cheshire	Shaker		06/28/21	C	rust, weeds	1
26	e. Shield	5	1 e 5	K a			2.2	2014	Hubbard, Tom	Imax Industries	NE cor 130/Cheshire	Shaker		06/28/21	C	rust, weeds	1
27	2. Clark Avenue Streetscape		2				\$17.1					Quincy to W. 41					
28	a. Cat on the Scene		2 a	A k			2.4	2021	Hubbard, Terrence Jr.	Central Graphics	SW cor Quincy			07/10/21	A	new	
29	b. Brutish Ptera		2 b	B k			2.4	2021	Krueger, Matthew	Central Graphics	SW cor W. 14			07/10/21	A	new	
30	c. Peace & Love		2 c	C k			2.4	2021	Childs, Christa	Central Graphics	SW cor W. 16			07/10/21	A	new	
31	d. Diverse Innocents		2 d	D k			2.4	2021	Lewis, Rickey	Central Graphics	NW cor Scranton			07/10/21	A	new	
32	e. Infinite Time Loop		2 e	E k			2.4	2021	Gonzalez, Gabriel	Central Graphics	NE cor W. 25			07/20/21	A	new	
33	f. Windy Clark		2 f	F k			2.4	2021	Placko, Melinda	Central Graphics	NE cor W. 33			07/20/21	A	new	
34	g. The Eyes Are Useless When the Mind		2 g	G k			2.4	2021	Bias, Samantha	Central Graphics	NE cor Fulton			07/20/21	A	new	
35	3. Professor Avenue Streetscape		3				\$35.0					Starkweather-W. 10					
36	a. Dendrite		3 a	X a			35.0	2013	Ziemska, Ola (Olga)	Imax Industries	NE cor W. 10			07/10/21	E	in danger of being lost	2
37	4. Pearl Road Streetscape		4				\$28.0										
38	a. Old Brooklyn Root Riders		4 a	a			3.5	2017	Daubert, Melissa	Rustbelt Welding	NW cor Krather				A	excellent condition	
39	b. Old Brooklyn Root Riders		4 b	a			3.5	2017	Daubert, Melissa	Rustbelt Welding	NW cor Broadview				A	excellent condition	
40	c. Old Brooklyn Root Riders		4 c	a			3.5	2017	Daubert, Melissa	Rustbelt Welding	NW cor Hesperia				A	excellent condition	

6.a.10. Tuffet Triangle, round



8/6/2021



8/6/2021



8/6/2021

6.b.1. Tuffet Triangle, square chess



4.f.

Old Brooklyn Root Riders

east side of Pearl near Memphis



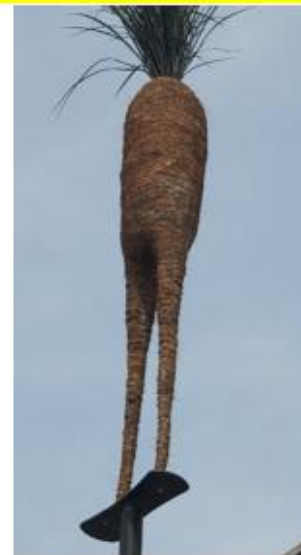
7/27/2021



7/27/2021



7/27/2021



7/27/2021

7.a.

Pavilion at Crooked River Skate Park

second and last set of pics



8/11/2021



8/11/2021



8/11/2021

1. Larchmere Streetscape

The locations of the artworks generated by the Larchmere streetscape project are shown on the map below.



6. Collinwood Recreation Center, TUFFETT TRIANGLE LOCATIONS, CLOSE-UP

This map shows the arrangement of the individual artworks in the Tuffett Triangle installation at Collinwood Recreation Center. The artworks are identified on the map by their unique IDs.





May 20, 2022

MetroHealth/Clark-Fulton Public Art: Seeking Final Approval

Location: Various locations in the Clark-Fulton neighborhood

Presenter: Vince Reddy, LAND Studio

Clark-Fulton Public Art

PROJECTS 2022

Funders, Partners, and Neighborhood Feedback

Funders:

- National Endowment for the Arts to LAND Studio / MetroHealth
- The MetroHealth Systems to Metro West Community Development Organization
- Cleveland Foundation / Creative Fusion Program to MetroHealth

Partners:

LAND Studio, Metro West Community Development Organization, and MetroHealth are working together to create an overall art plan, rather than treat these funding sources as separate projects, in order to create a cohesive vision for the neighborhood.

Neighborhood feedback:

Associated committees include MetroHealth staff, a neighborhood art committee, and members of the Clark-Fulton Master Plan committee. These stakeholders weigh in and offer ideas on various aspects of the project.

Proposed Mural Locations



- Key**
- City-owned/land bank parcels
 - Bus stop
 - Existing mural
 - New mural location (proposed)

Projects proposed for final approval

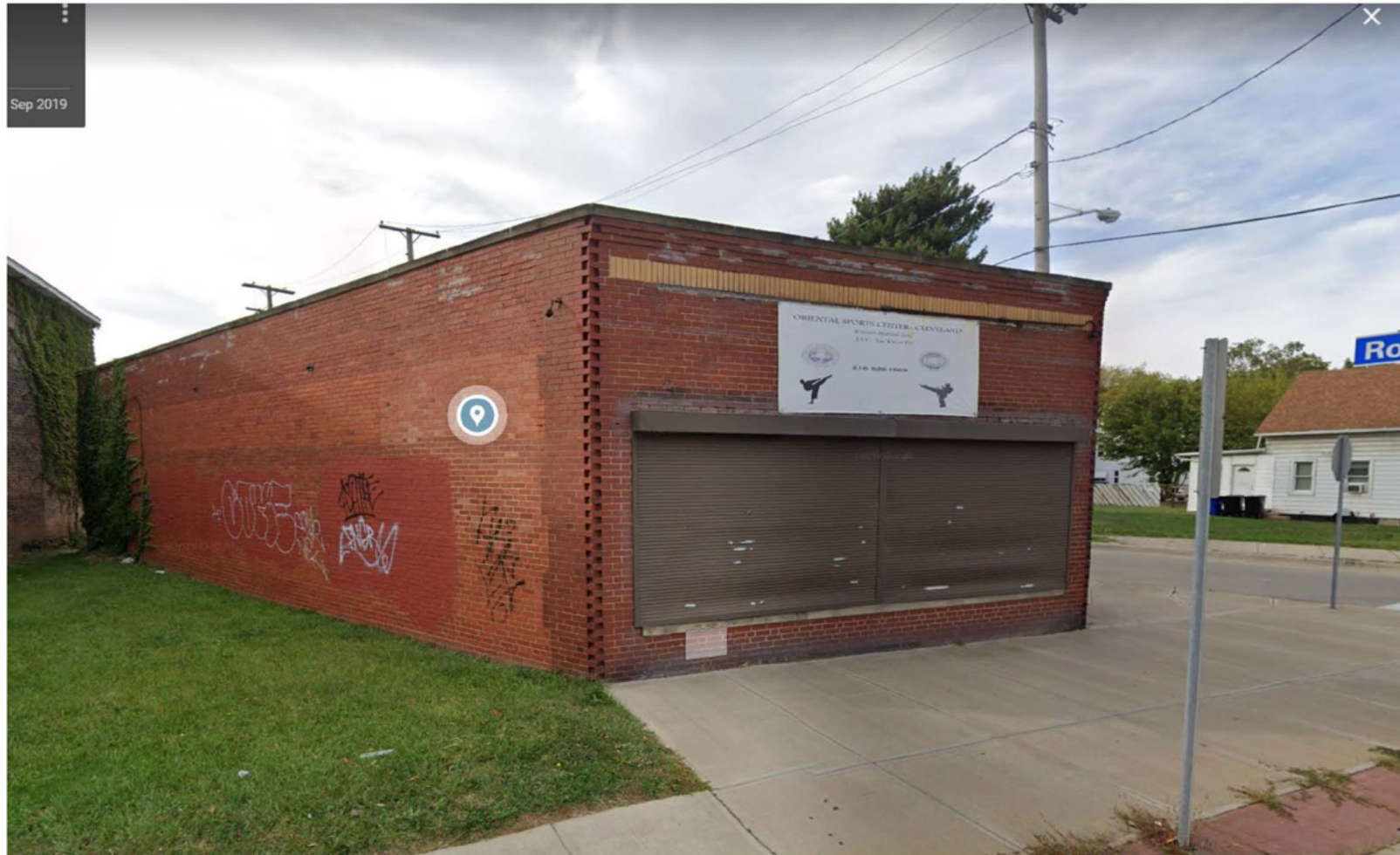
Strikeforce Tae KwonDo

Painted mural by local artist Donald Wells

Strikeforce Tae KwonDo

3275 West 25th Street

Artist: Donald Wells



South Facing from Fulton Road



North Facing from Fulton Road

Strike Force TaeKwon Do is a martial arts studio with classes open to a wide range of ages.

This project is funded by Metro Health Systems

Strikeforce Tae KwonDo

Continued



South Facing from Fulton Road



East Facing Fulton Road



North Facing



VERY CUTE

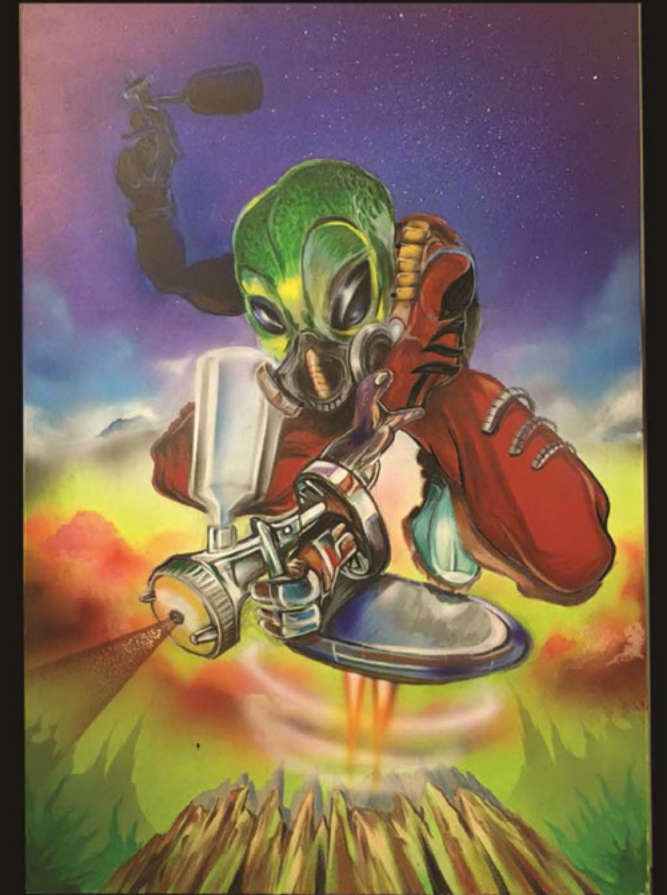
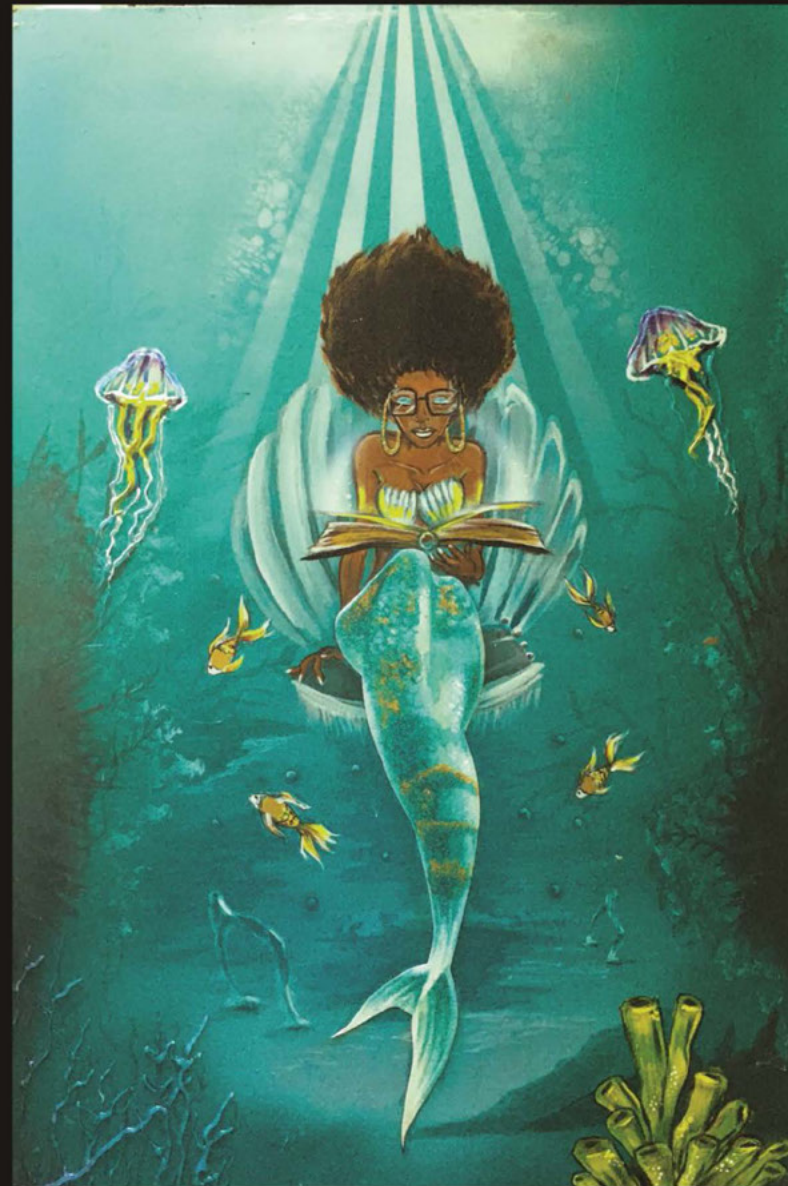
Strikeforce Tae KwonDo

Prior work by Donald Wells

Artwork by Don Wells



Artwork by Don Wells



Strikeforce Tae KwonDo



Strikeforce Tae KwonDo



Measurements:
About 60 feet wide
x 15 feet high

Palette colors to be used:



Colors for bridge: Ivory, brown ,grey and blue

Grass and plant life colors: Green, orange, yellow and magenta
Sky backgrd colors; blue yellow, oragne, white and magenta
Peolpe skin tone colors: Ivory,orange, brown and white

Coney Island Kustard

Painted mural by local artist Hilda Gabarrón Ordorica

Coney Island Kustard

3228 Fulton Road



East Facing Wall on Fulton Road

Coney Island Kustard is a popular, small ice-cream shop on Fulton Road

This project is funded by The National Endowment for the Arts

Artist:
Hilda Gabarrón Ordorica aka "Higo"



Cinderblock wall in parking lot along Hyde Avenue will be painted by another artist.

Coney Island Kustard

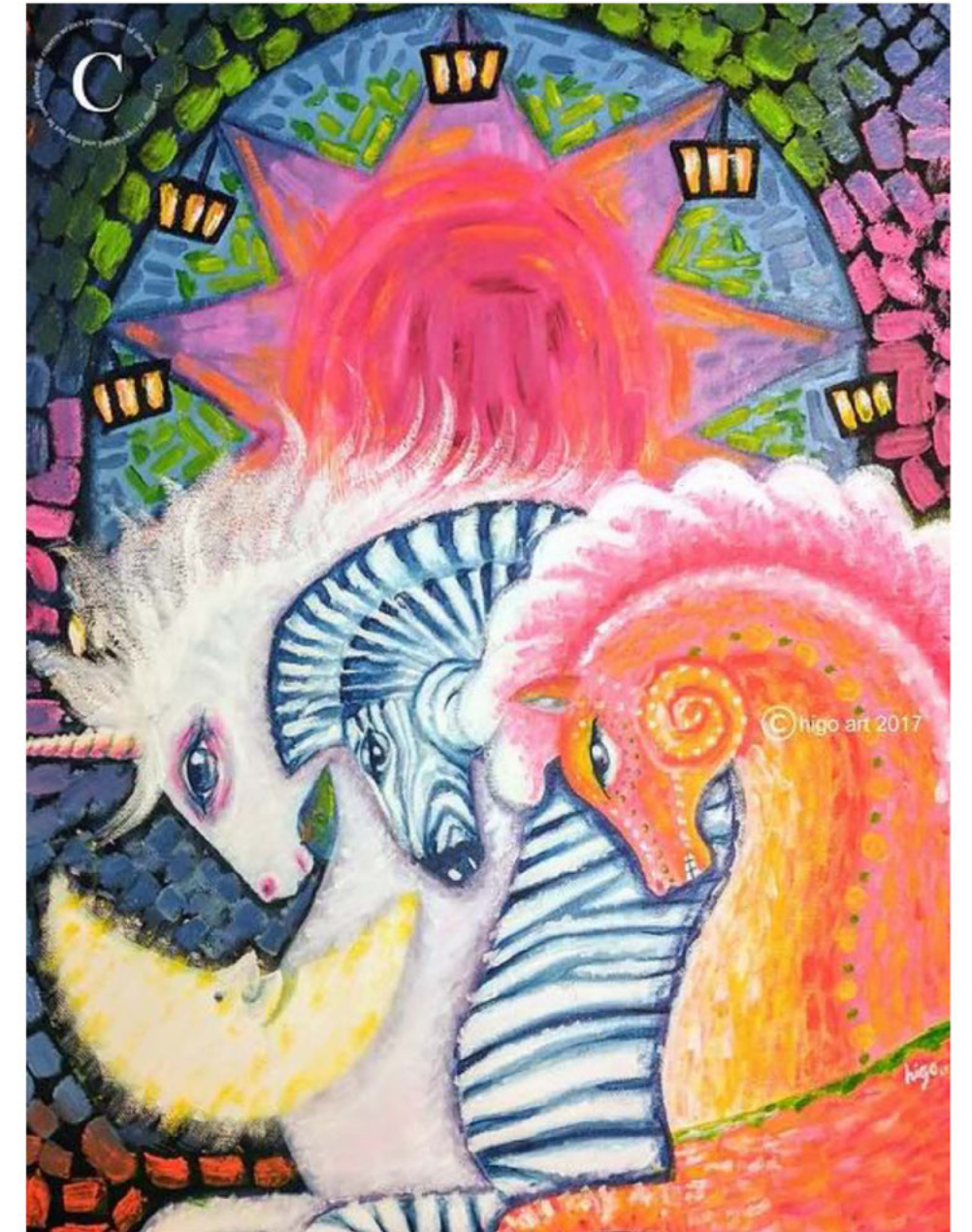
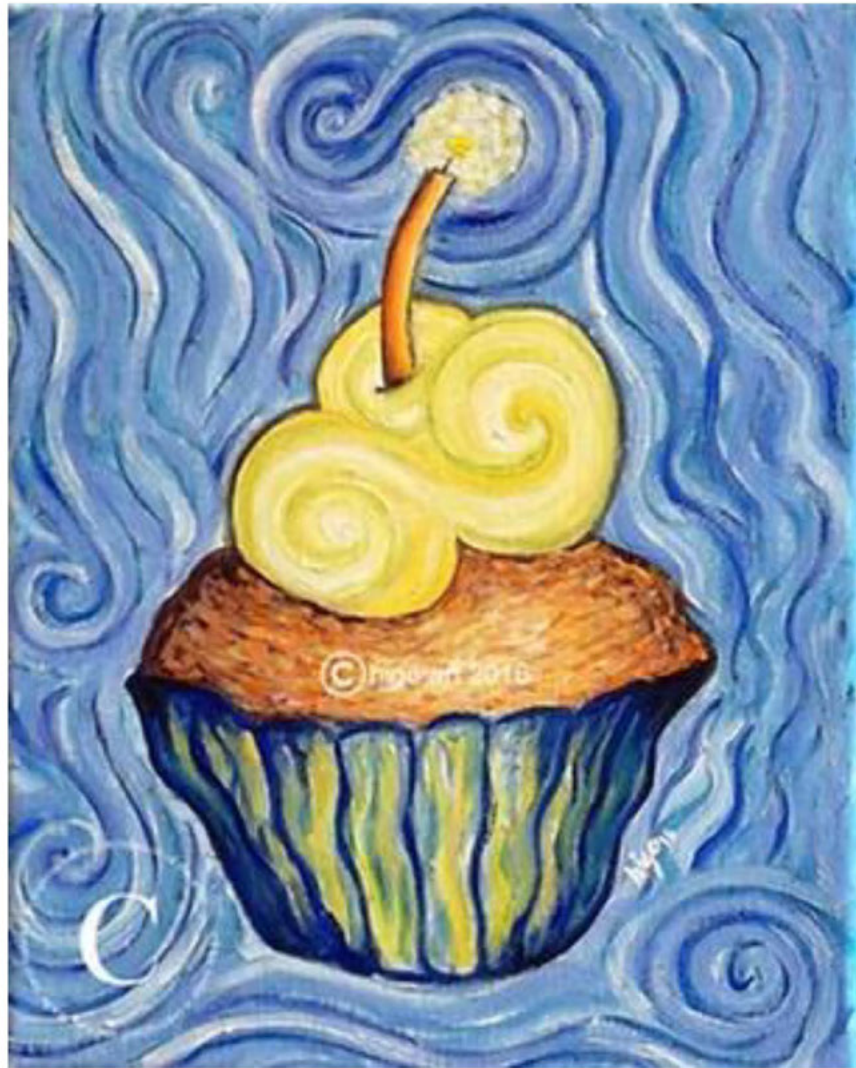


North Facing Hyde Avenue and parking lot



West Facing away from Fulton Road

Higo Art



Coney Island Kustard

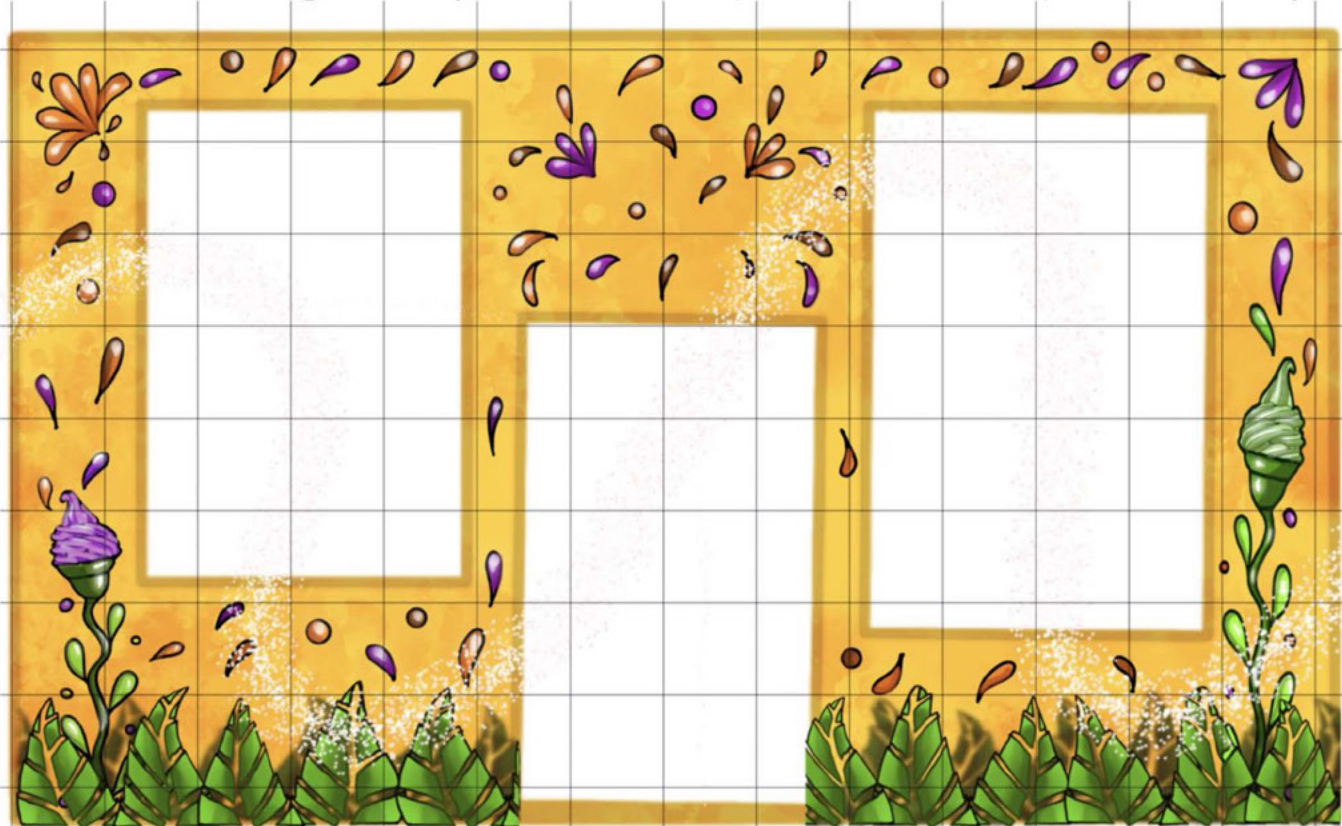
HigoArt
"Bee Happy" mural palette.

Background yellow #fdd36 and orange #f7a41f

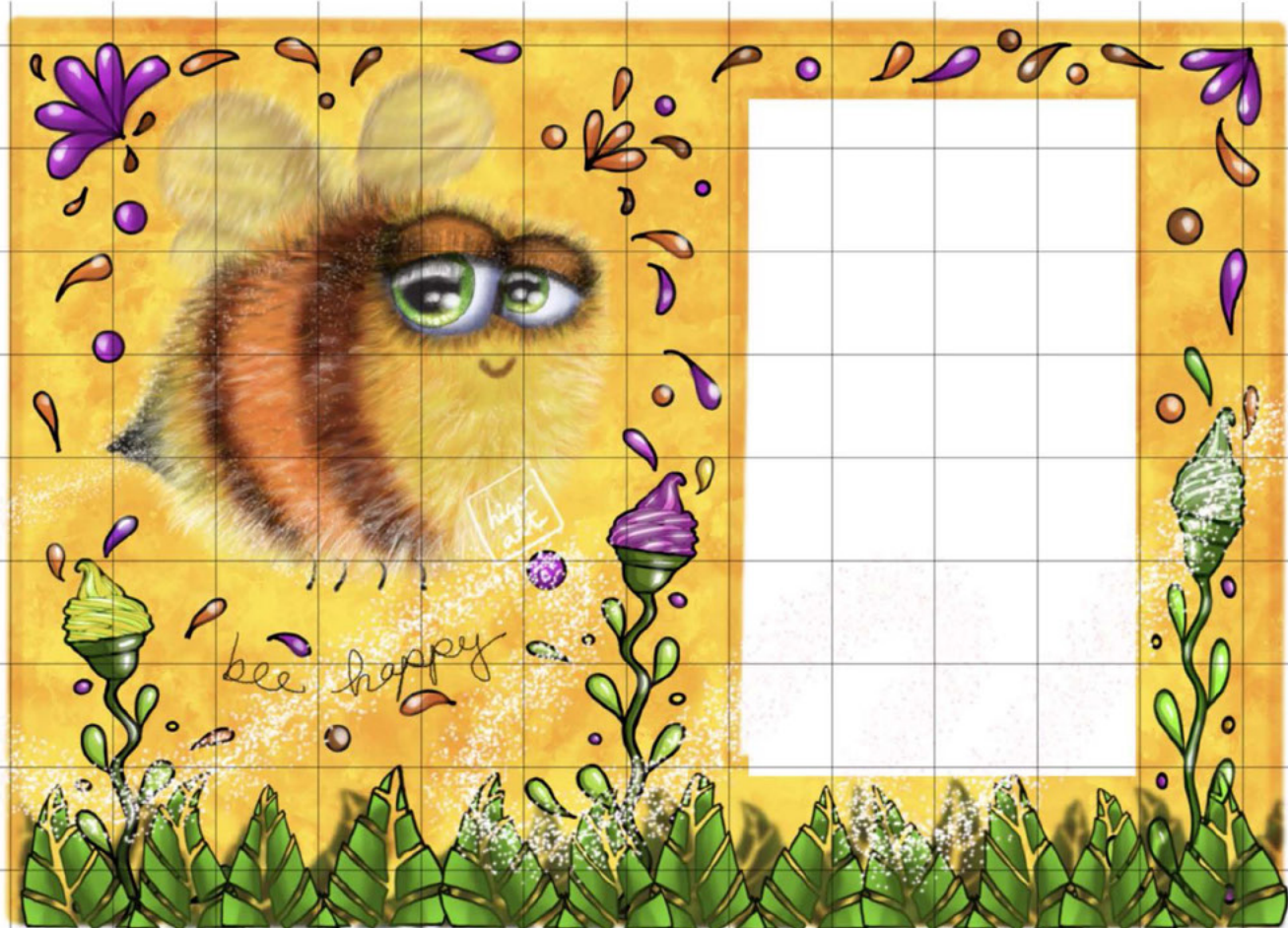
Yellow	Orange	Dark Brown
Orange	Light Yellow	Dark Yellow Orange
Green	Yellow Green	Grayish Blue
Brown	Dark Magenta	Dark Magenta
Orange	Dark Brown	Dark Green
Light Yellow Green	Vibrant Yellow	Green

background
bees
flowers
+ white and black

North Facing Wall (Front of shop with walk-up windows)



East Facing Wall (faces Fulton)



West Facing Wall



Old Masonic Building

Heat-applied vinyl mural by local artist Augusto Bordelois





Art applicaton: Heat-applied vinyl mural (removable)

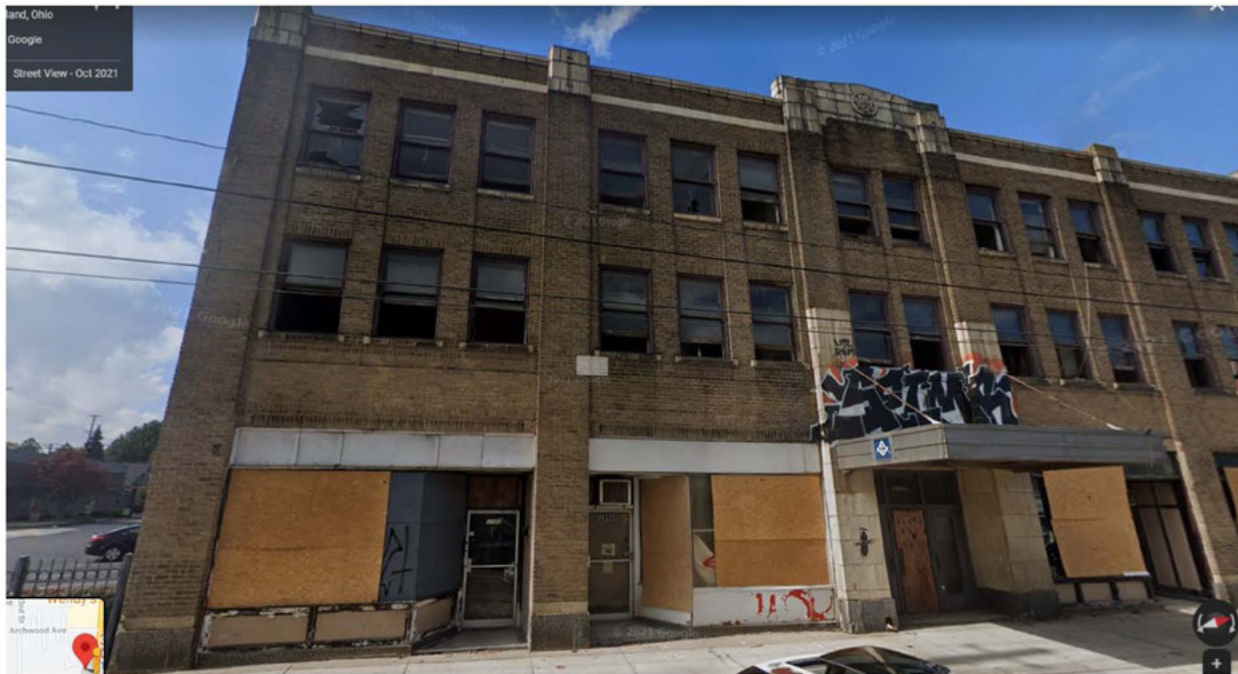


Old Masonic Building

3800-3808 Pearl Road

Artist: Augusto Bordelois
Building Owner: Kosta Almiroudis

Plan is for a large, vinyl mural
Designed by Augusto and
installed by My Gorilla Graphics



Mural will be applied to south-facing wall

Augusto Bordelois
Fine Art



Augusto Bordelois Mural Work



Context – Area Surrounding Masonic Building



South / Next Door

Looking South Towards Denison



Context – Area Surrounding Masonic Building



Across the Street

Looking North



Mock-up on Elevation Drawings



1 SOUTH ELEVATION
A-2.0 SCALE: 1/2" = 1'-0"



BRANDT
ARCHITECTURE LLC
19440 Riverwood Ave.
Rocky River, OH 44116
440.665.1854
brandt@brandtarch.com

7/14/21	REVIEW
10/26/21	DEMO PERMIT
8/11/21	SCOPE REVIEW
6/25/21	REVIEW
3/15/21	REVIEW
9/17/21	REVIEW
10/12/21	REVIEW
11/15/21	REVIEW
12/21/21	REVIEW
12/21/21	BID PERMIT



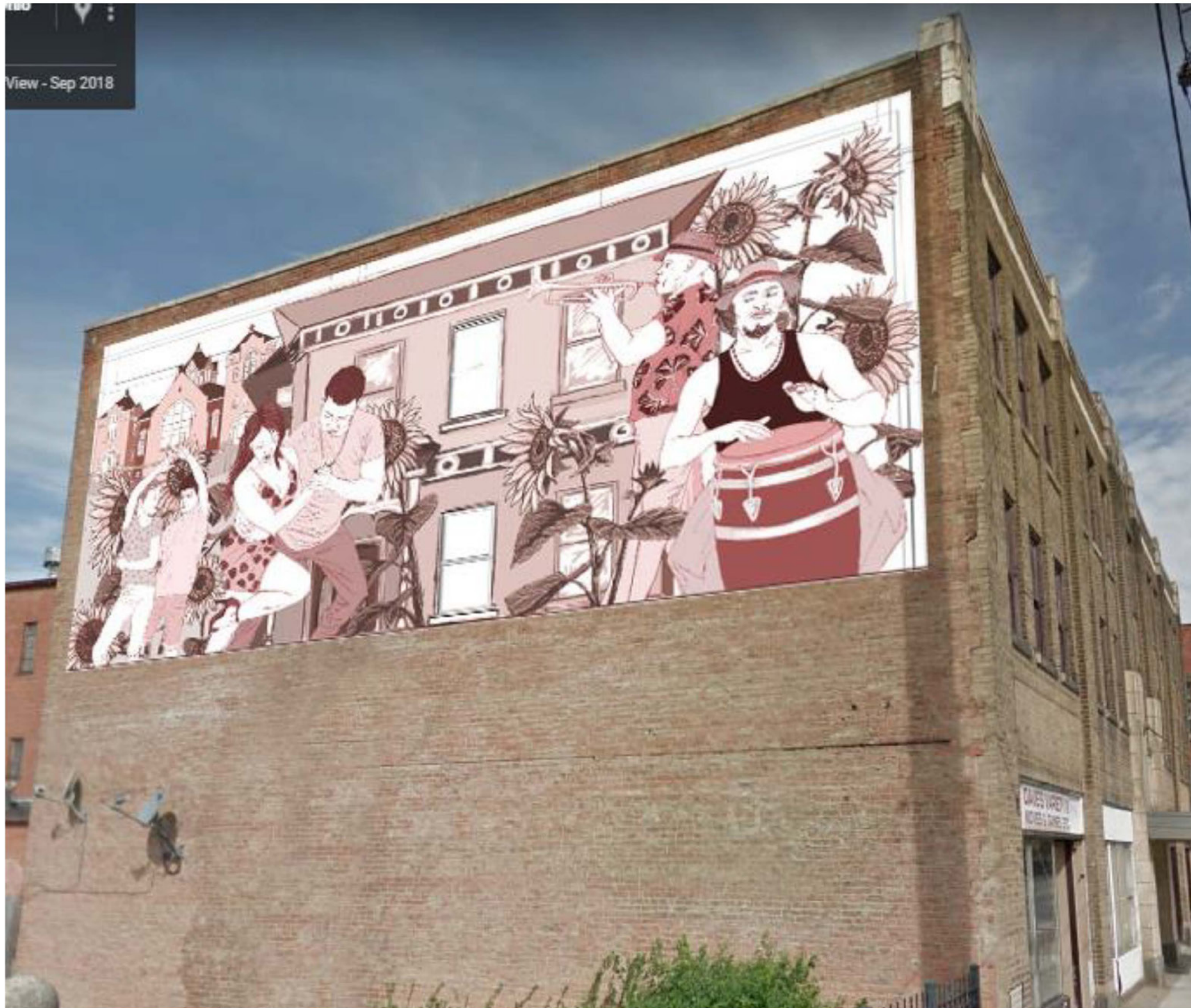
J.L. Brandt
OH #12007
EXP 12/31/23

MASONIC HALL RENOVATION
LOFTS ON PEARL
3804 PEARL ROAD
CLEVELAND, OH 44102

ELEVATIONS
A-2.0

Measurements:
49'-8 1/2 " Wide
22'-3 1/3" Tall

Mock-up on Wall





Mural is framed out on
all sides, per
suggestion from
Landmarks

Final Design

MetroHealth Outpatient Pavilion

Painted mural by local artist Lisa Quine

MetroHealth Outpatient Pavilion (3333 W 25th St. Cleveland, OH 44109)

- Temporary painted mural proposed for north- and west-facing corner of building. Building will be demolished in ~2 years.

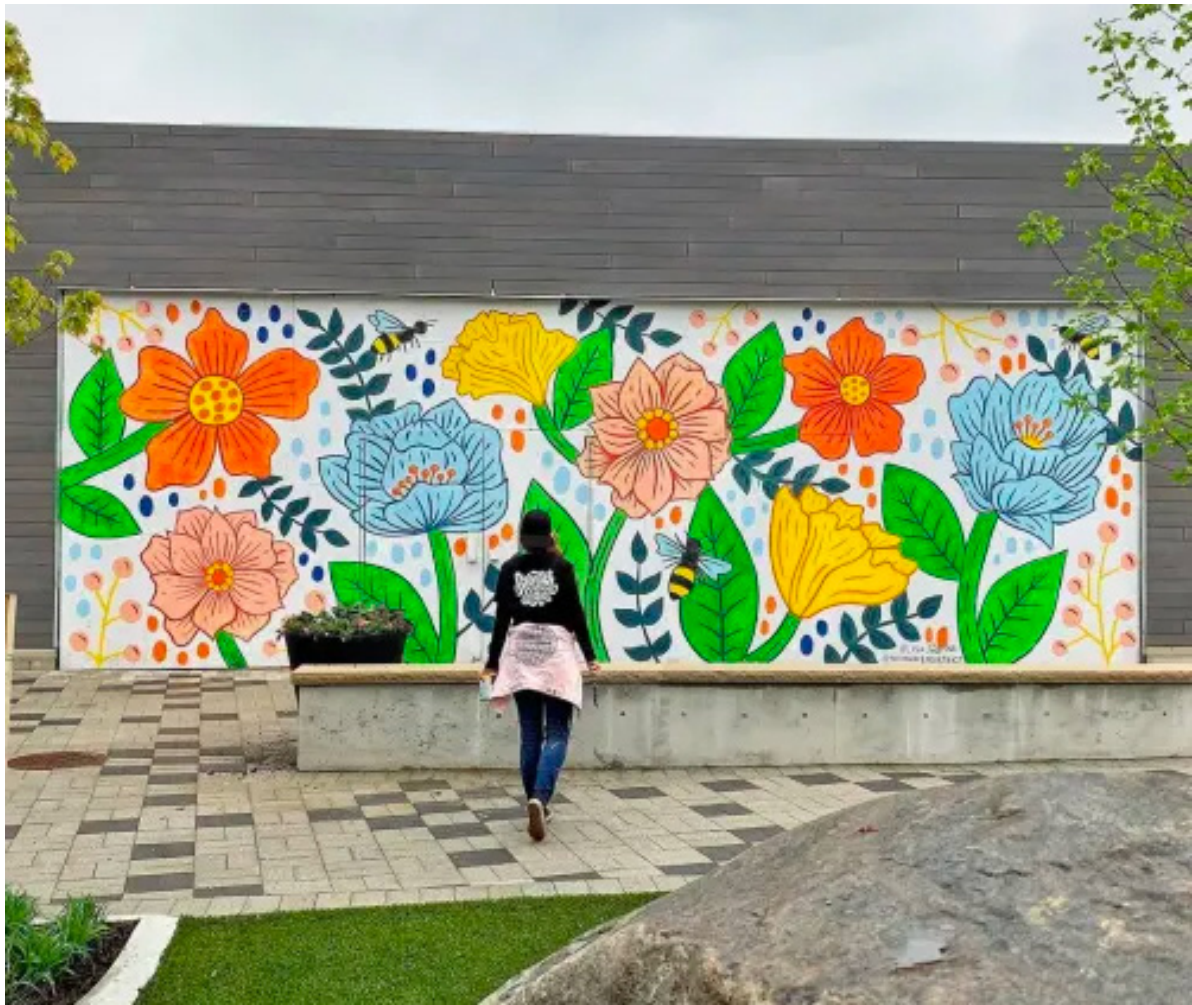
Corner of building facing W. 25th St. and MetroHealth Dr.



Front of building facing W. 25th St.



Precedent artwork by artist Lisa Quine



Preferred Design Concept and Quote

Many Hearts One Community

Colors are pulled from MetroHealth's new branding.

Duality is the main theme visually, although, instead of contrasting, it is complementary: two building sides, two translations, two color palettes.

Per feedback, there is no inner detail on the letters. This improves legibility.





Elk and Elk building

Heat-applied mural by local artist Alicia Vasquez

Creative Fusion Signs of the Times Clark Fulton Project



Elk & Elk (3350 W 25th St.)

- Heat-applied vinyl mural on south-facing side of building



Signs of the Times artwork by Alicia Vasquez







Elk & Elk

1-800-ELK-OHIO

8.3'

~11'

Esperanza building

Heat-applied mural by local artist Bruno Casiano

Esperanza (3104 W 25th St 4th Floor)

- Heat-applied vinyl mural on south-facing side of building



Signs of the Times artwork by Bruno Casiano





Option 1: Keeping Esperanza sign as it is



Option 1: Keeping Esperanza sign as it is



Option 2: Moving Esperanza sign up so both sign and mural are more visible



Projects proposed for conceptual approval

Guanaquitas building

Painted mural by local artist Natalie Lanese

Guanaquitas building (3350 W 25th St.)

- Painted mural on south-facing side of building





Precedent artwork by Natalie Lanese



Dickey's Lanes

3D artwork by local artist Ryan Jaenke

Dickey's Lanes (3275 W 25th St.)

- 3D rooftop installation



View from West 25th



View from West 25th



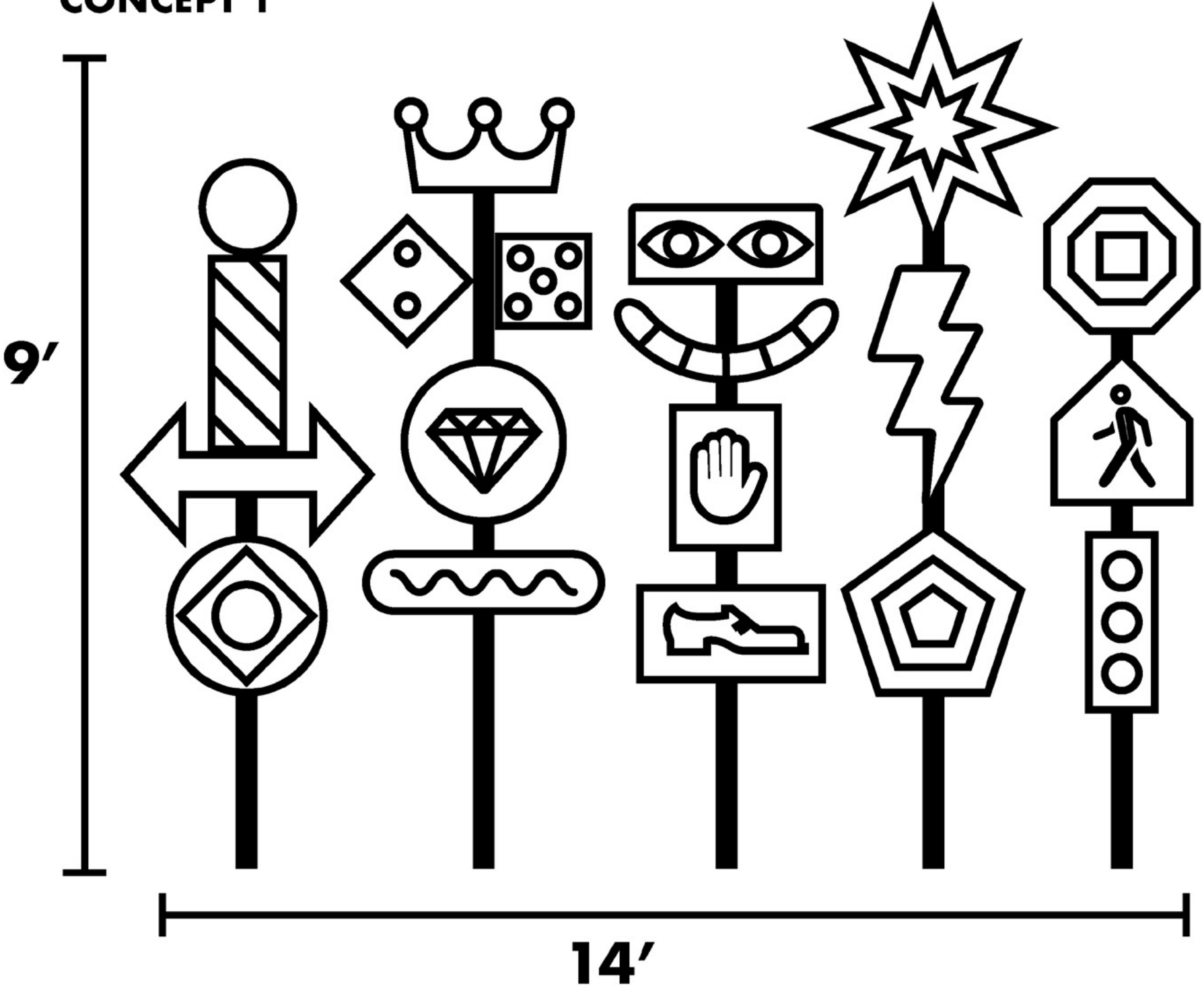
Precedent artwork by Ryan Jaenke



Precedent artwork by Ryan Jaenke



CONCEPT 1





Meyer Pool (pavement and building murals)

Ground and building mural by local artist Dante Rodriguez

Meyer Pool (3266 W 30th St.)

- Painted mural on all sides of pool house building, painted concrete on ground



View from Meyer Ave.





MEYER POOL SITE LAYOUT & DESIGN

CONCEPT THREE



ADDITIONAL PLANK 1 FT

SWIMMING

PERFORMER DONE
CLIMBING NET
W/ RUBBER SURFACE

SCULPTED MOUND

MEYER AVE.

PLAZA W/ DECORATIVE
CONCRETE PATTERNS

SEAT WALL TYPICAL

SIGN

SERVICE
GATE

WOODEN
PERGOLA

MOVABLE LOUNGE
SEATS

EXISTING
POOL

SPLASH
PAD

SPLASH
PAD

POOL
HOUSE

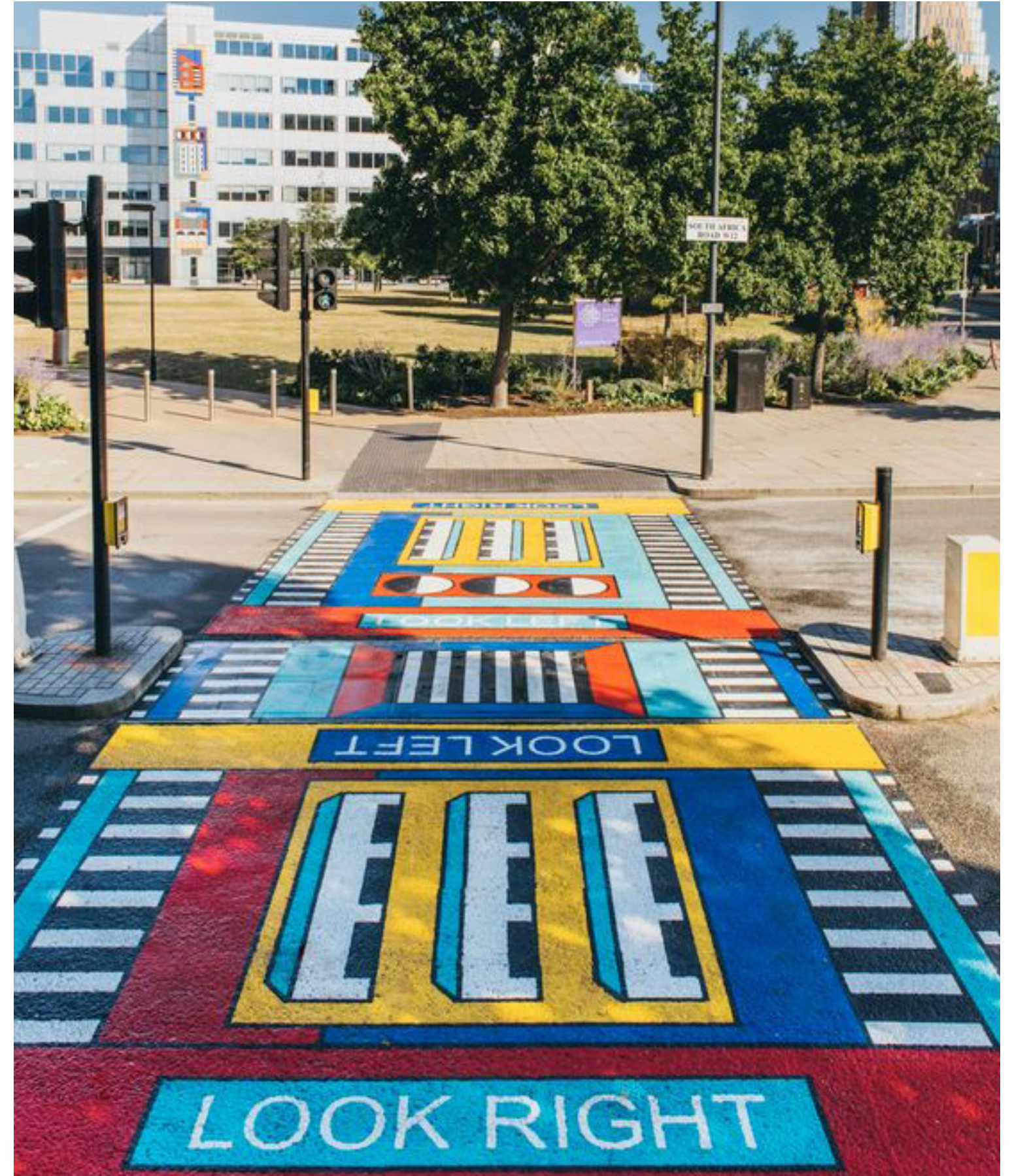
ADD
NUPIALS

TABLES
W/ UMBRELLAS

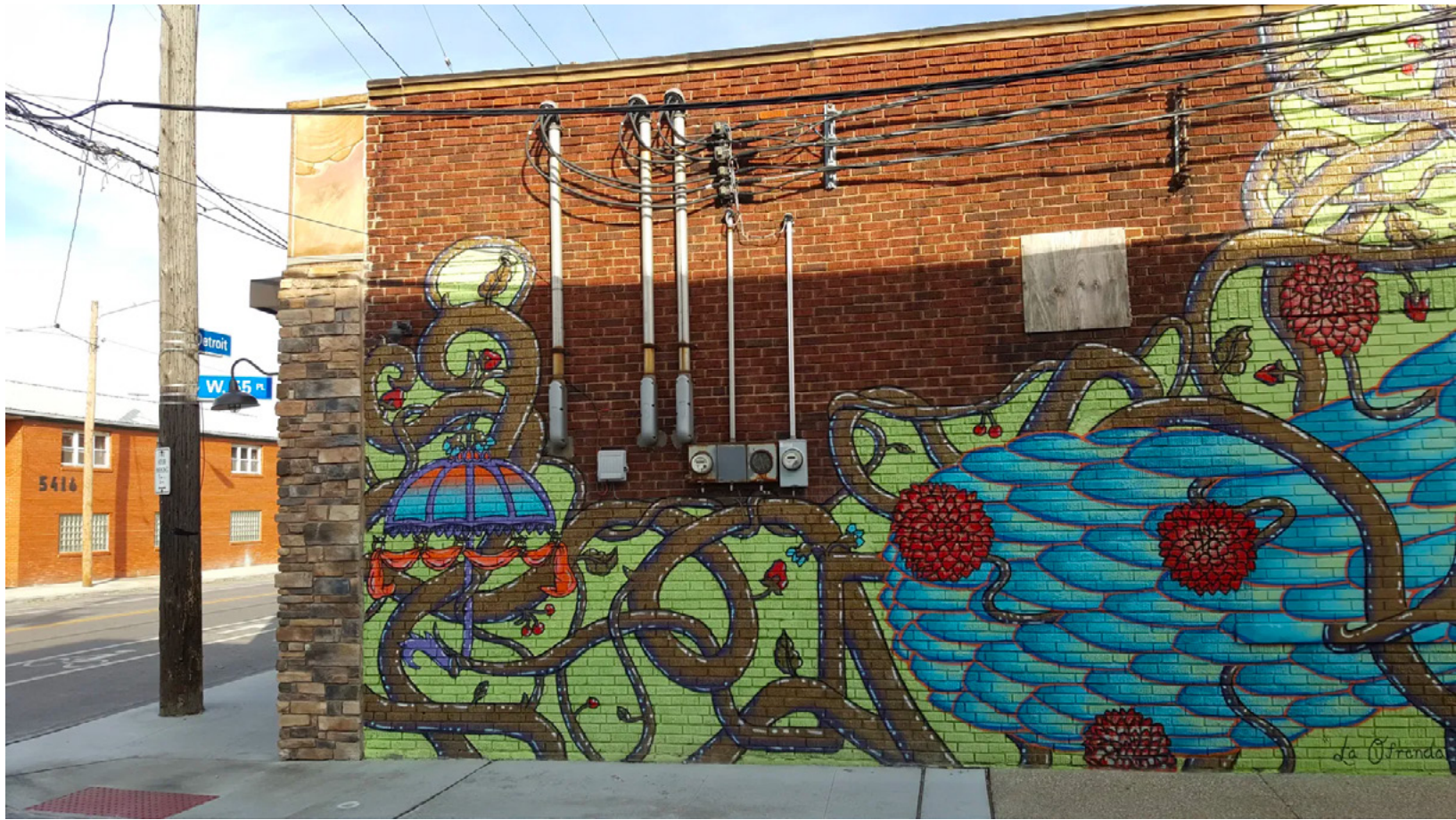


PHASE 1 SITE IMPROVEMENTS

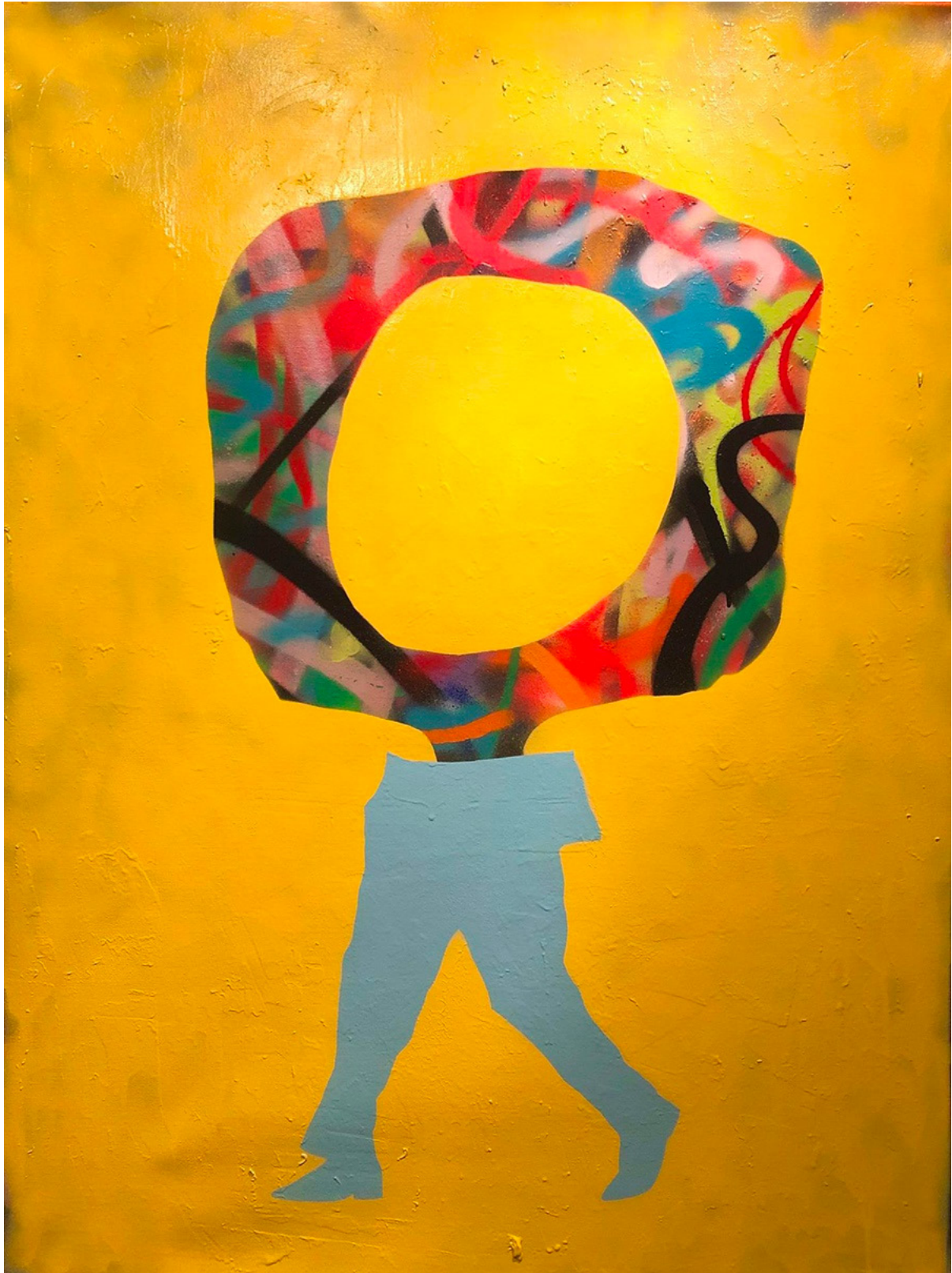
Precedent artwork



Precedent artwork by Dante Rodriguez



Precedent artwork by Dante Rodriguez





May 20, 2022

EAST2022-012 - We Wear the Mask (Permanent) Mural: Seeking Final Approval

Address: 2500 Woodhill Road

Presenter: Allison Hennie, Graffiti HeArt



We Wear the Mask

Mural Project

2500 Woodhill Road
Cleveland OH 44104

Project Overview

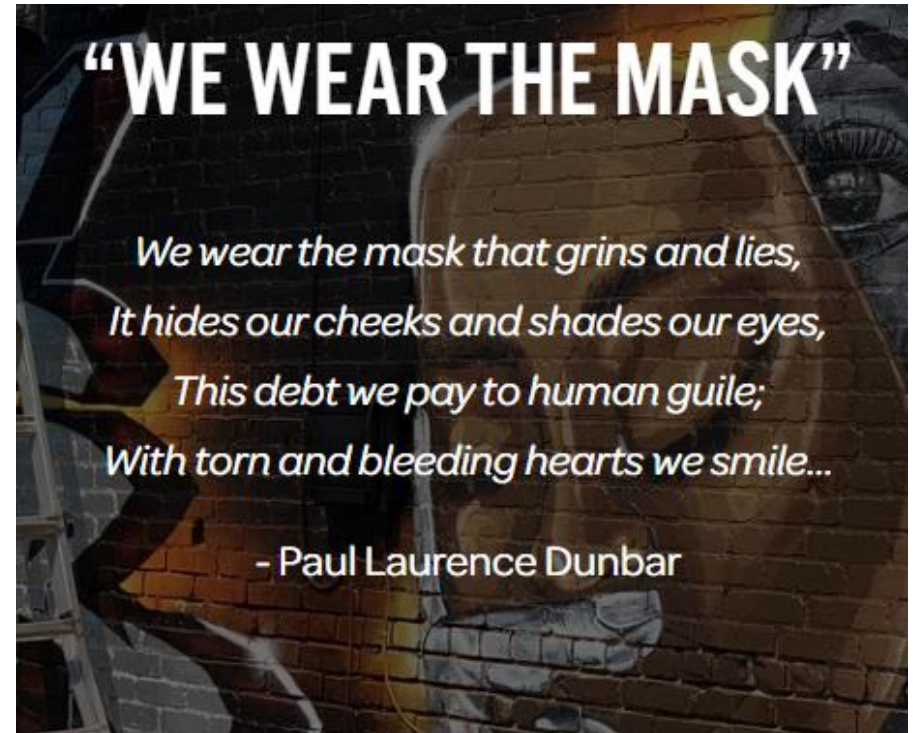


- Project is being implemented by Healthy Neighborhoods (a committee of the City of Cleveland) in partnership with Graffiti HeArt
- Collaborators include:
 - RTA/LAND Studio and Burten Bell Carr
- Funding for the project made possible by St Luke's Foundation, the Cleveland Foundation, and NEA grant
- Installation and unveiling of the mural to coincide with the culminating event on June 18, 2022

Background



- The “We Wear the Mask” Campaign is a work of community art and artistic expression. Its intention is to bring to light issues related to racism and inequity. And it seeks to answer the question, “What does it mean to *wear the mask* today?”



Background



- Temporary Mural located at the 7000 block of Euclid Avenue
- Funded through St Luke's Foundation
- Goal for final mural – to maintain artist and concept continuity

Background



- A series of stakeholder conversations have taken place to incorporate voices from the Buckeye-Woodhill neighborhood into the mural design since 2021
- Additional information about the We Wear the Mask Campaign can be found at www.cle4equity.com

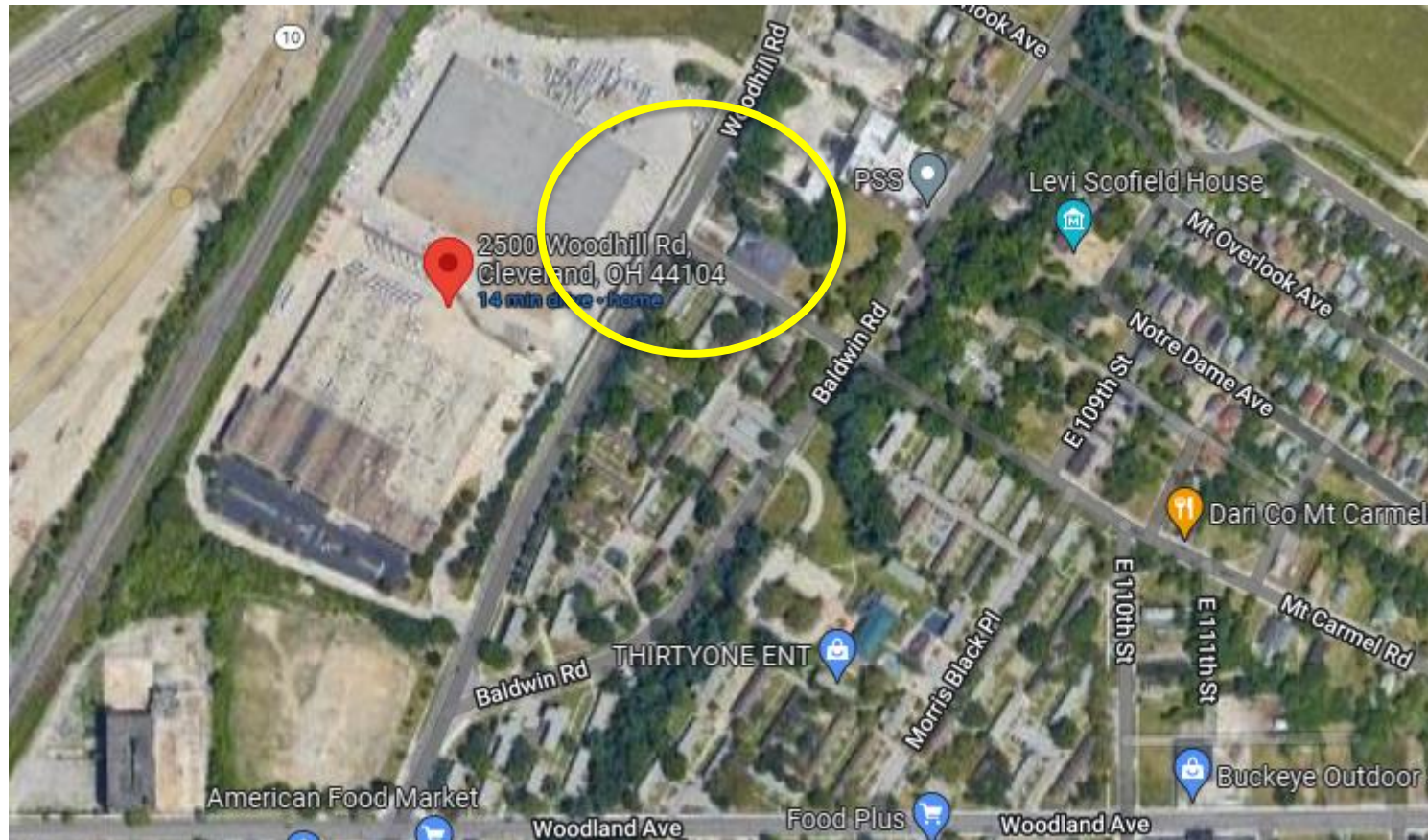


**JOIN US IN A VIRTUAL CONVERSATION FOCUSED ON
RACIAL HEALING USING ART AS A CREATIVE MEDIUM
BUCKEYE-WOODHILL MURAL DESIGN SESSION**

**NOVEMBER 10TH
6PM -8 PM**

Aerial View

Intersection of Woodhill and Mt Carmel



Greater Cleveland Regional Transit Authority's (GCRTA)
Central Bus Maintenance Facility

Project Location

Intersection of Woodhill and Mt Carmel



Greater Cleveland Regional Transit Authority's (GCRTA)
Central Bus Maintenance Facility

Project Location



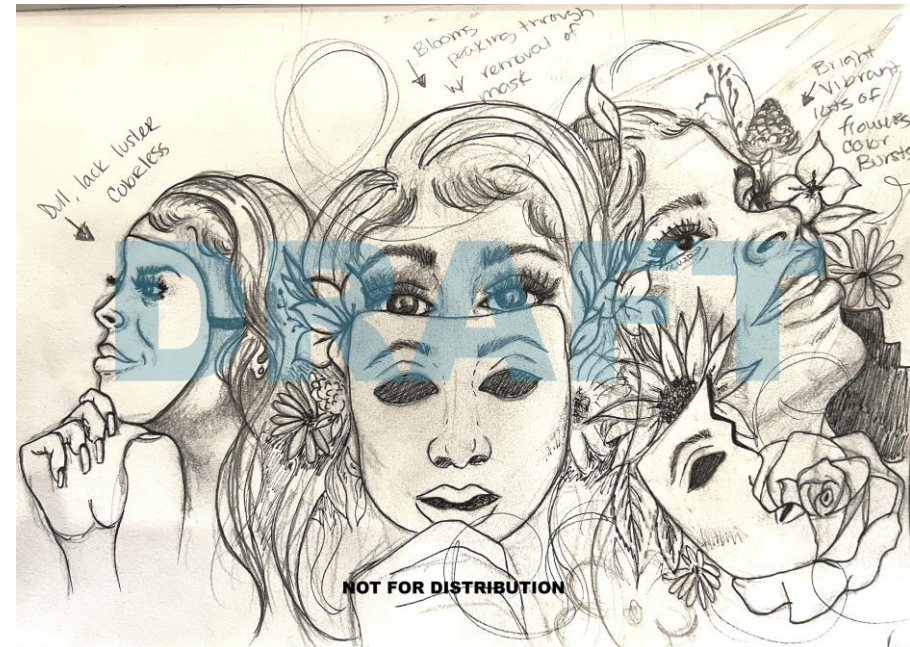
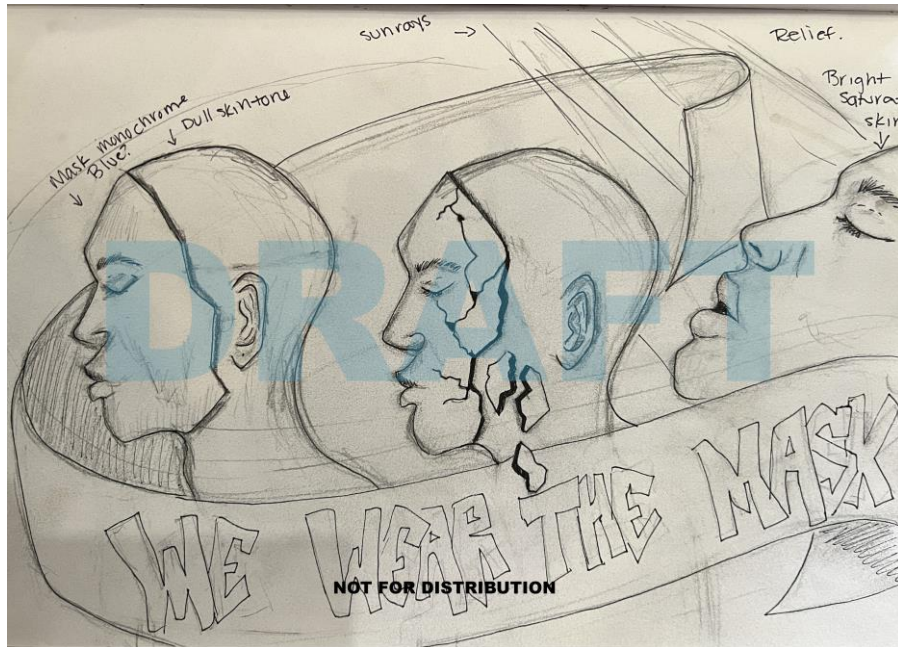
View opposite of the wall

Project Location



Approximately 50' x 15'

WWTM Mural Initial Concepts



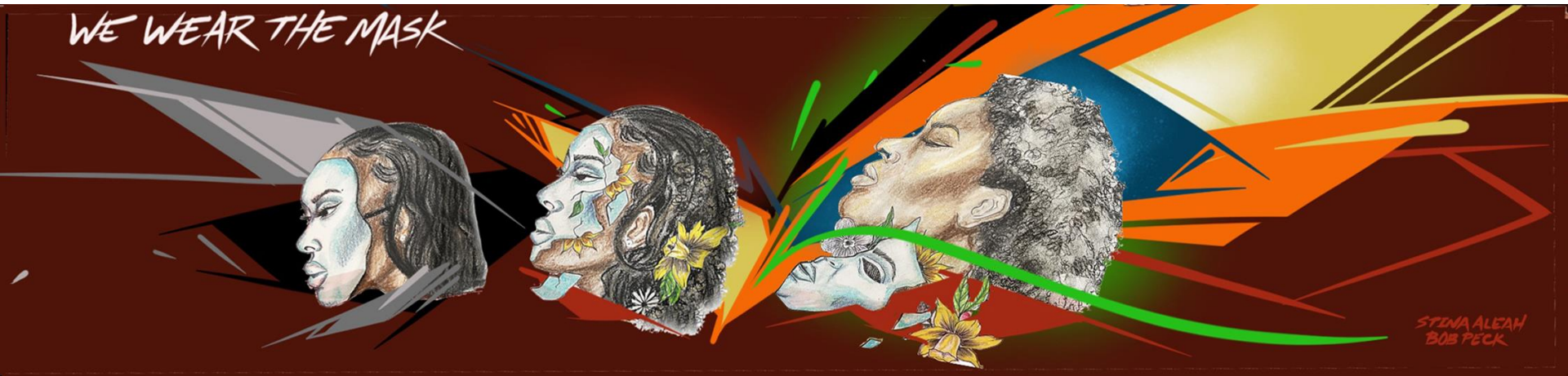
WWTM Mural Final Design



Lead Artist: Stina Aleah
Collaborator: Bob Peck

Paint: Sherwin Williams Loxon, Montana 94
SW Anti-graffiti coating

WWTM Mural Final Design



Lead Artist: Stina Aleah
Collaborator: Bob Peck



A GraffitiHeArt Production

Inspiring health and art in the community

#graffitiheart



May 20, 2022

Flats Bike Box Murals: Seeking Final Approval

Location: Various locations in Downtown | Flats area

Presenter: Jim Haviland, Flats Forward

Flats Bike Box Art Project



FLATS FORWARD

GARRETT WEIDER

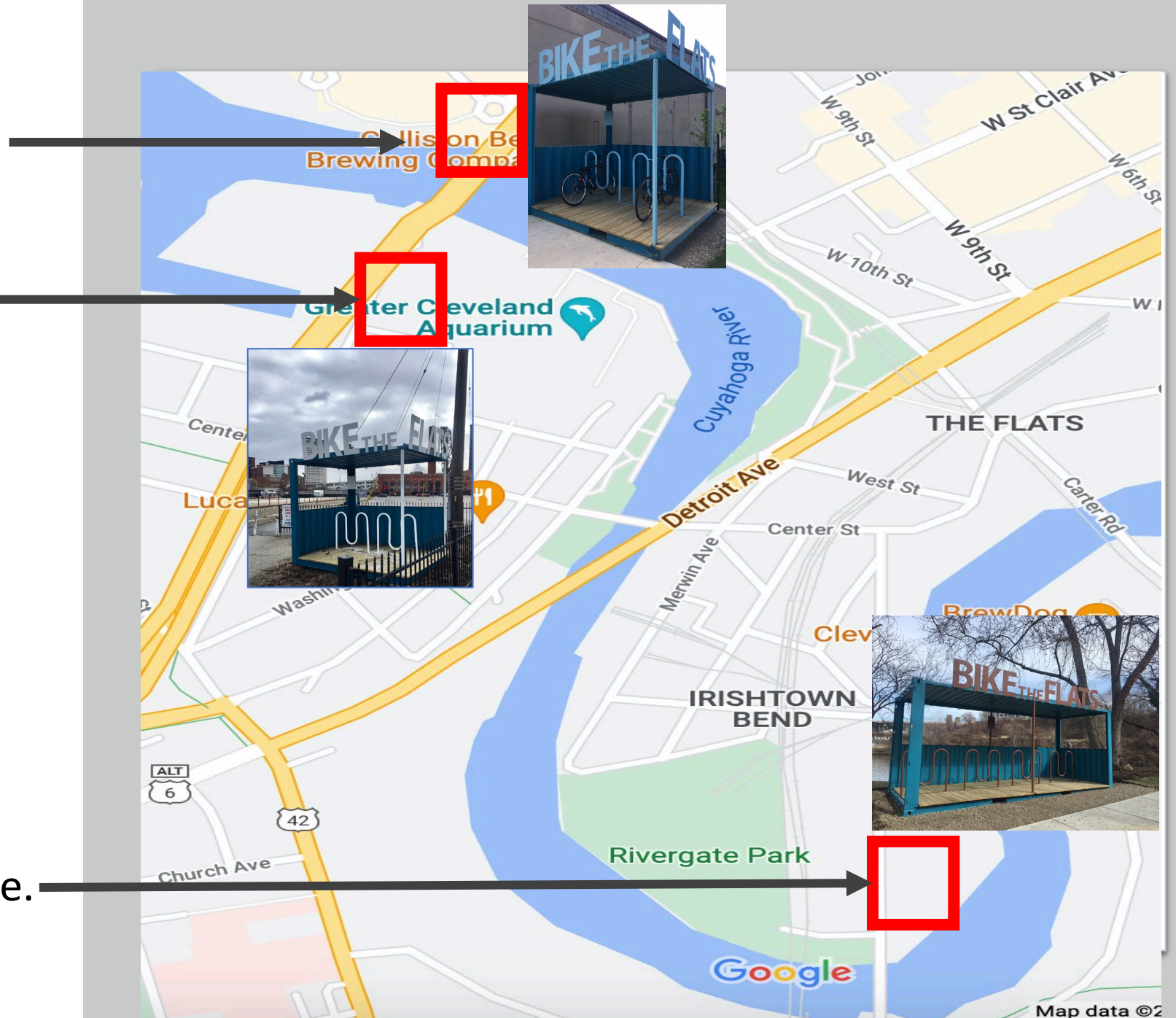
Artist In Cleveland, Ohio

Flats Bike Box Locations

- Old River Road & Main Ave.

- Main Avenue at Nautica

- Columbus Road & Merwin Ave.





Flats Bike Box | Old River Road Near Main Avenue





Flats Bike Box | Main Avenue at Nautica





Flats Bike Box | Columbus Road & Merwin

BIKE_{THE} FLATS



Cleveland City Planning Commission

Administrative Approvals



May 20, 2022



May 20, 2022

Ordinance No. 471-2022 (Ward 5/Councilmember Starr; by departmental request): To vacate a portion of Rawlings Avenue b/w East 75th Street and East 79th Street, a portion of Holton Avenue between East 75th Street and East 79th Street and a portion of East 78th Street from the south line of Holton Avenue to the prolongation of the south lines of Sublots 84 and 75 in J.H. Hardy's Subdivision.



Ordinance No. 500-2022 (Ward 5/Councilmember Starr): To add the name Anthony DeJuan Hughes, Jr. Way as a secondary and honorary name to East 55th Street between Quincy Avenue and Scovill Avenue.



Ordinance No. 501-2022 (Citywide – Introduced by Councilmembers Bishop and Griffin; by departmental request): Authorizing the Director of Capital Projects to employ one or more professional consultants and testing firms to perform various construction activities and design projects for roads, bridges, and City facilities, for a period up to two years.



Ordinance No. 503-2022 (City of Beachwood – Introduced by Councilmembers Kazy and Griffin; by departmental request): Authorizing the Commissioner of Purchases and Supplies to sell City-owned property no longer needed for the City’s public use located on Green Road in the City of Beachwood to Beachwood Green LLC, for purposes of commercial development.

Cleveland City Planning Commission

Director's Report



May 20, 2022



Upcoming Planning Commission meetings

- Sherwin-Williams will present their Landscape and Streetscape Plan for final approval on Friday, June 3 at 9AM to a joint Planning and Landmarks Commission. Once this presentation is complete, the joint Commission meeting will adjourn and the regular Planning Commission will begin on the same day.
- We continue to be virtual until Room 514 at City Hall has completed its renovation.



“The Cleveland Memorial Bridges Loop project closes the gap in Cleveland’s bike and pedestrian network *and better connects Downtown to other neighborhoods.*”

WARD 3 COUNCILMAN KERRY MCCORMACK

Project Updates

- Downtown Memorial Bridges Loop (bike and pedestrian lane) request will move onto the next round via Rep. Shontel Brown
- More information on the selected projects:
<https://shontelbrown.house.gov/congresswoman-browns-fy23-community-project-funding-requests>

Legislative Updates

- Complete and Green Streets has passed through the City Council Transportation & Mobility Committee and will proceed onto additional Council Committee review next week
- Tax abatement has passed through City Council Development, Planning & Sustainability Committee and will proceed back to City Council on Monday, May 23



Staffing Update

- **New Staff**
 - Chief City Planner – Shannan Leonard
- **Upcoming job postings (anticipated for week of May 23)**
 - Senior Assistant City Planner
 - City Planner



NOACA Lakefront Public Survey

- <http://lakeerieconnect.com/get-involved/>

Mayor Bibb's ARPA Plan

- Rescue and Transformation Plan:
<https://mayor.clevelandohio.gov/initiatives/mayor-bibbs-rescue-transformation-plan>

Cleveland City Planning Commission

Adjournment



May 20, 2022