



Cleveland City Planning Commission

Friday, March 4, 2022

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

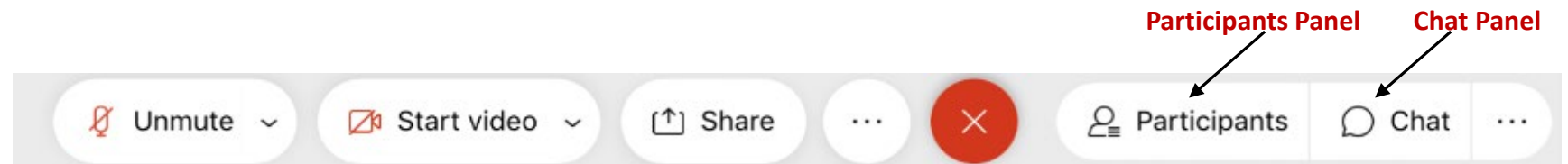
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



March 4, 2022

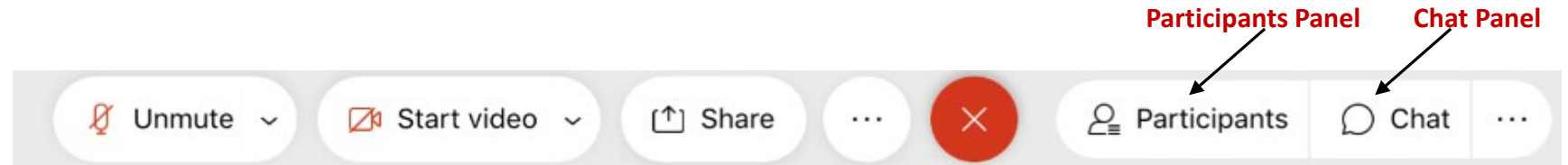
Cleveland City Planning Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



March 4, 2022

Cleveland City Planning Commission

Call to Order and Roll Call



March 4, 2022

Cleveland City Planning Commission

Conditional Use Permit



March 4, 2022

Conditional Use Permit



March 4, 2022

For PPNs# 025-23-071 & -026

Address: 15736 Lorain Avenue

Per Section 343.23(e)(2)

B. Driveway Across Public Sidewalk

C. Institutional Use

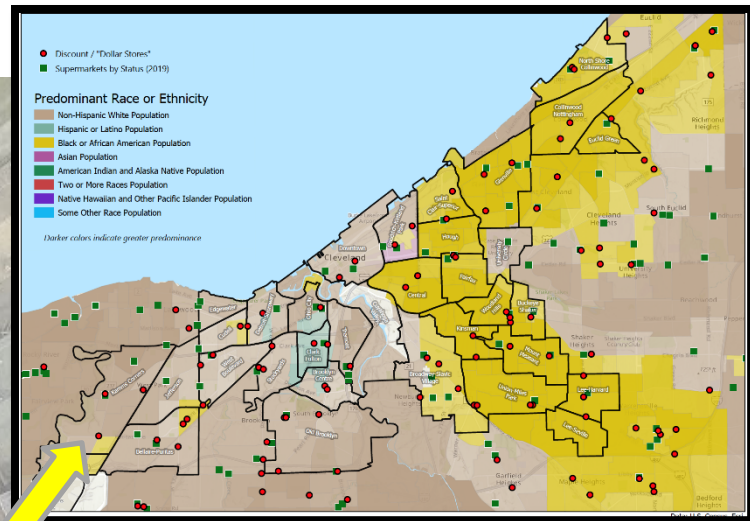
Presenter: Shannan Leonard, Staff Planner

Note: the Planning Commission Tabled this item on December 17, 2021.

15736 Lorain Avenue

City Planning Commission Hearing
March 4, 2022





Proposal

To establish use as a 1,300 sf retail social space designed for small meetings, birthday parties (Kids and some adults), baby showers, repasts, and other small community events)

LEASE AGREEMENT

The Packis Building

Terms and Rent:

The rent shall be \$1,800.00 (One-Thousand Eight-Hundred dollars) per month for a period of 3 years starting as of June 1st, 2021, and termination date as of May 31st, 2024. This lease is renewable each year for the next two years afterwards. Rent and increases for the each period is as follows:

June 1st, 2021 through May 31st, 2022 rent shall be \$1,800.00 (One-Thousand Eight-Hundred dollars) a month.

June 1st, 2022 through May 31st, 2023 rent shall be \$1,850.00 (One-Thousand Eight-Hundred and Fifty dollars) a month.

June 1st, 2023 through May 31st, 2024 rent shall be \$1,950.00 (One-Thousand Nine-Hundred and Fifty dollars) a month.

June 1st, 2024 through May 31st, 2025 rent shall be \$2,050.00 (Two-Thousand and Fifty dollars) a month. (Option)

June 1st, 2025 through May 31st, 2026 rent shall be \$2,150.00 (Two-Thousand One-Hundred and Fifty dollars) a month. (Option)

The renewable option shall be exercised by written notice given to Lessor not less than thirty (30) days prior to the expiration of the initial lease term.

Rent is due the 1st day of the month, for that month's rent, during the term of the lease. All rental payments shall be made to Lessor, at the address specified above. A late charge of 10% of the month's rent will be assessed if payment is not received by 5th day of that month.

The Security Deposit in the amount of \$1,800.00 (One-Thousand Eight-Hundred dollars) shall be used by the Lessor for the cost of replacing and/or repairing damage, if any, to the premises caused by the intentional or negligent acts of the Lessee. The Lessor agrees to return said security deposit to the Lessee within ten days of Lessee vacating the leased premises. Lessee shall not use security deposit as a form of payment for anything other than what has been described above.

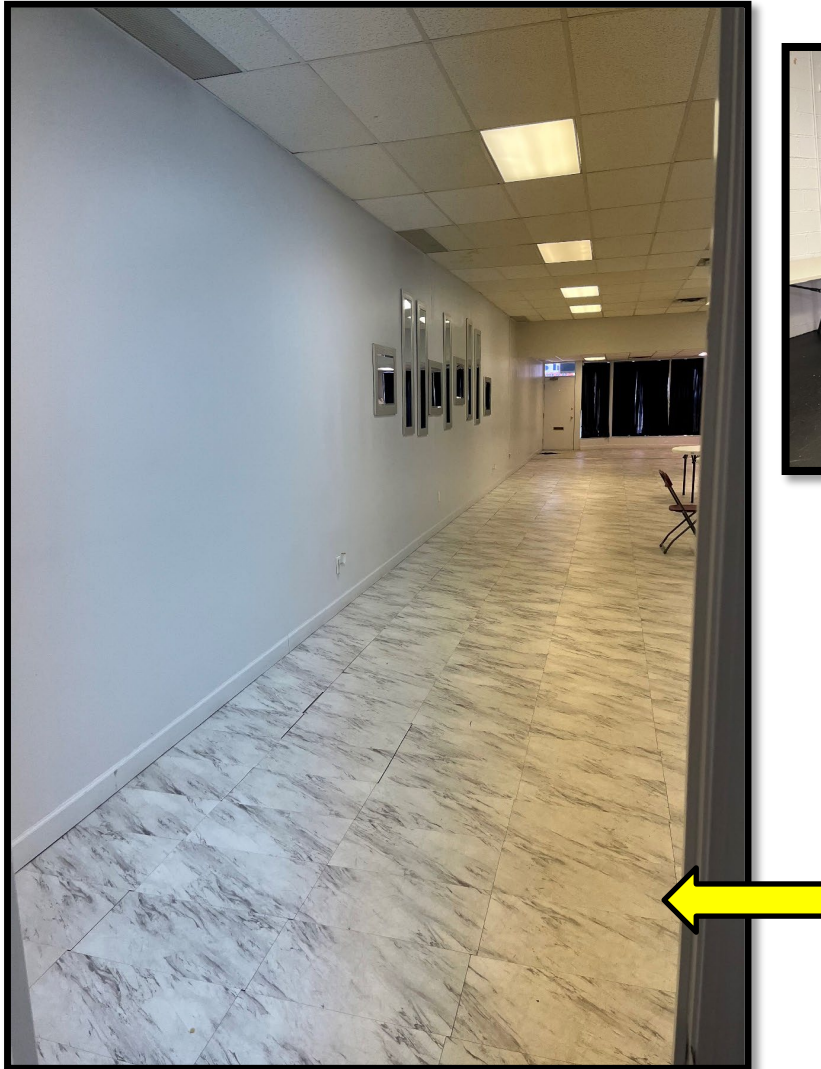
Use:

Lessee shall use and occupy the premises for Event/Party Center. The premises shall be used for no other purpose. Lessor represents that the premises may lawfully be used for such purpose.



Proposal

To establish use as a 1,300 sf retail social space designed for small meetings, birthday parties (Kids and some adults), baby showers, repasts, and other small community events)

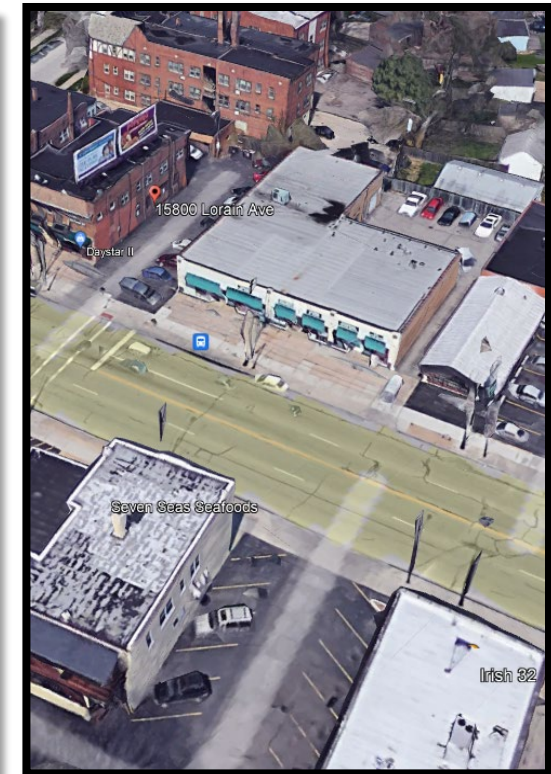
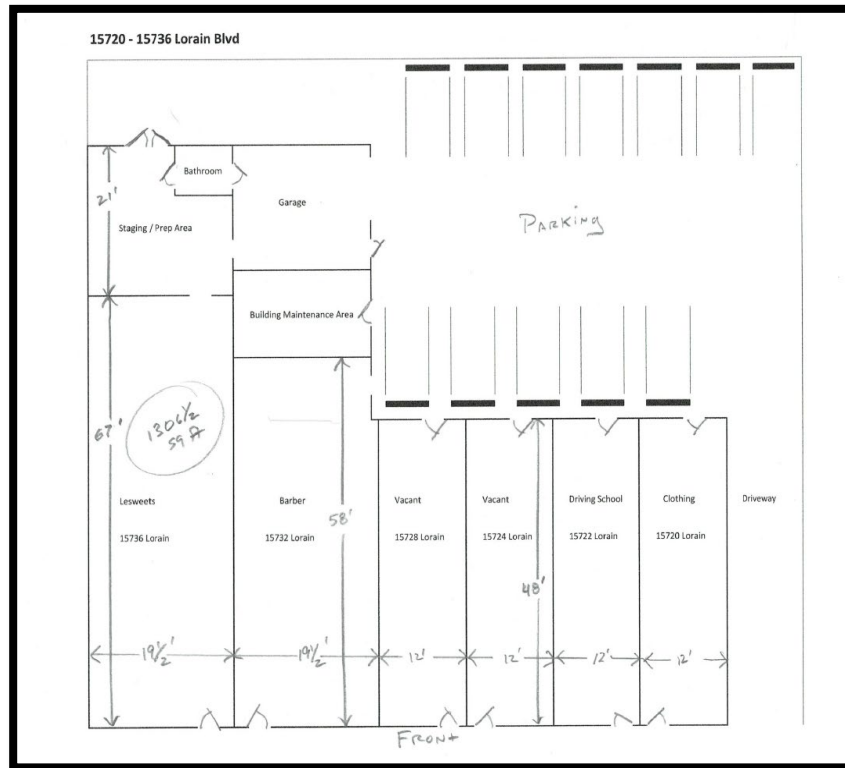


Pedestrian Retail Overlay Conditional Uses & Criteria

(343.23 (e) (2)(A), (B), & (E))

B. Driveway Across a Public Sidewalk - One (1) or both conditions apply:

- The size, shape or layout of the subject property does not permit placement of parking, loading or the driveway in a more suitable location.
- It has been demonstrated by the applicant that placement of the parking, loading or driveway in allowed location would jeopardize the continued occupancy of the subject property by uses suited to the PRO district.



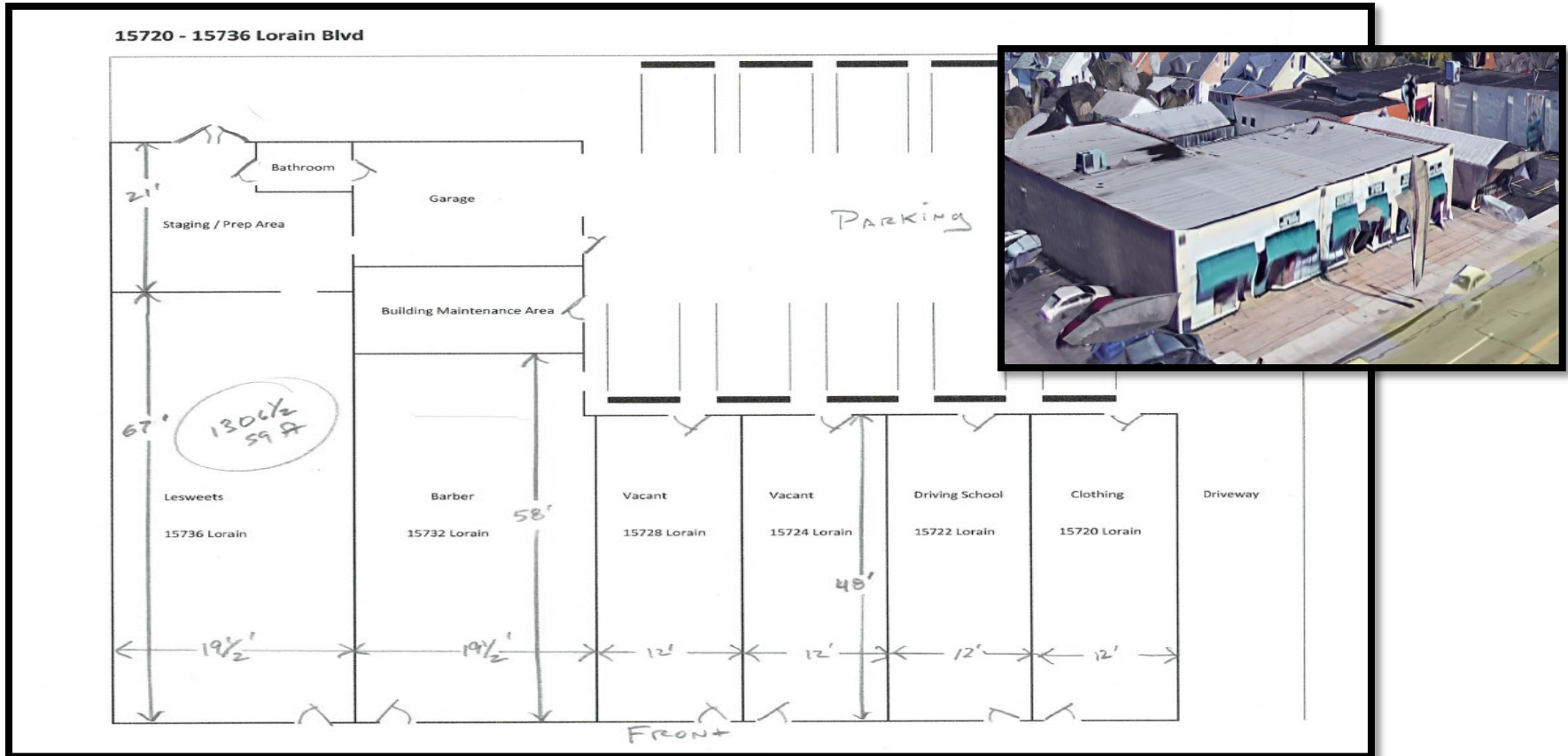
Pedestrian Retail Overlay

- Under §343.23 (d)(4) in Definitions, an “*Institutional Use*” is defined as a school, day care center, place of worship, ***place of assembly***, hospital, nursing home, residential treatment facility or similar use.



C. Residential, Institutional, and Non-Retail Office Uses - *one (1) or more of the following apply:*

- The subject building space was designed specifically for the type of use proposed (Non-retail office space, residential amenity spaces)
- Denial of the application for conditional use would result in long term vacancy of subject property, as demonstrated by applicant
- The proposed use is needed in the immediate area & suitable alternative locations are unavailable



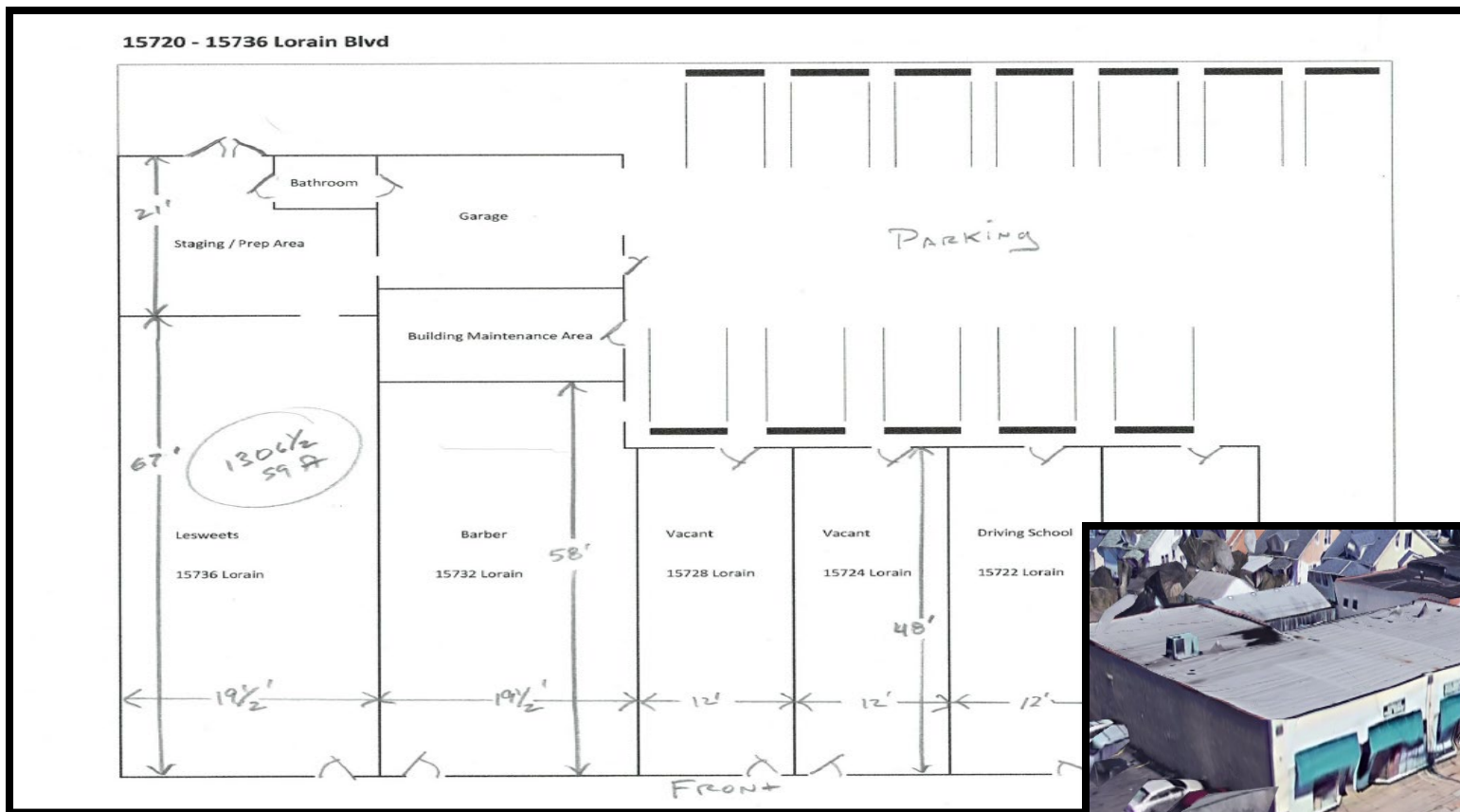
Recent Assembly Permits (A-3) in PRO

To establish use as a 1,300 sf retail social space designed for small meetings, birthday parties (Kids and some adults), baby showers, repasts, and other small community events)

Date	PPN	Current Zoning	Location	Proposal	Conditional Uses Needed	Variances Needed	Outcome
7-Feb-20	003-09-111	LR-C2/PRO/Gordon Square Landmarks/Adjacent to 2F-B1	5400(5900) Detroit Avenue	Establish use as event center with entertainment	Conditional Use for Institutional use; Interior Side Yard of + 4 Feet	6 (Use, landscaping, needed 72 spaces)	All Granted, No conditions - verbal agreements on record
15-May-20	002-34-011	2F/LR-C2/PRO/Adacent to 2F-B1	4700 Lorain Avenue	Establish use as event center for parties, bridal/baby showers, workshops, fundraisers, etc	Conditional Use for Institutional use	2 - Assembly Use & need 58 spaces	All Granted with Conditions: Written Agreement for 52 spaces nearby, 99 Attendees, Off-site by 11:30PM
3-Jan-20	112-17-035	LR-C2/PRO/Adjacent to 2F-B1	15515/15519 Waterloo Road	Establish use as a for profit retail art gallery social space for events, potential restaurant and retail offices	Conditional Use for Institutional use	Use/Need 51 parking spaces	All Granted, No Conditions
8-Aug-20	114-13-032	LR-C2/PRO/Adjacent to 1F/MF	532 E 185th Street	Establish Use as HomeShare/Event Space, with open market and live entertainment	Conditional Use for Institutional Use	Use	CPC asked to reduce parking; Variance Granted

Ohio Building Code Issues – Assembly Permit (OBC 403.2)

- 15 sf per person
- Over 50 Occupants – Doors Must Swing in Direction of Egress, Exit Signage Required, Second Means of Egress
- Over 100 – Must Be Sprinkled
- One UniSex Toilet – Max 15 Occupants



Pedestrian Retail Overlay Conditional Uses

B.) Driveways Extending Across a Public Sidewalk

C.) Residential, Institutional, and Non-Retail Office Uses

Cleveland City Planning Commission

Design Review Cases



March 4, 2022



March 4, 2022

EAST2021-023 – Project Boron New Construction Revised Submittal: Seeking Final Approval

Project Address: 2777 East 75th Street

Project Representative: Kurt Updegraff, Weston

Note: the Planning Commission granted this project Final Design Approval on December 17, 2021.

PROJECT BORON

2777 EAST 75TH STREET, CLEVELAND, OH

PROJECT SUMMARY

This is a resubmittal of a previously-approved Final Site Plan for the refrigerated warehouse proposed for 2777 East 75th Street. The proposed building is to be shifted 15 feet south of its originally-approved location in order to coordinate with an existing gas line. The car park and truck dock apron also are shifted, but the driveways to East 75th Street remain in their original locations.

The proposed project consists of a state-of-the-art, 156,775 square foot, single-story, refrigerated warehouse building. It is located along the south side of Opportunity Corridor between East 75th and East 79th Streets. The neighborhood consists largely of vacant lots owned by the City Land Bank.

The project will serve a pent-up demand for refrigerated warehouse and freezer space in the City. It is being marketed to serve various food manufacturers in the area, such as Orlando Bakery, Micelli's Dairy and others, as well as national manufacturers and distributors of food products.

The project is proposed for land currently owned by the City of Cleveland Land Bank. This land will be acquired by the developer, Project Boron LLC, at a market price established by appraisal. The project has the support of the Mayor Frank G. Jackson and Ward Councilwoman Delores L. Gray.

In August 2021, the City rezoned the property to Semi-Industry G-2 to permit the development of this project. The project has been designed to comply with the Zoning Ordinances without a need for variances.

The building will be of structural steel with insulated metal panel exterior walls. Roof will be 60 mil TPO. The interior clear height will be 36 feet and the height at the roof peak will be a maximum of 45 feet above grade at the roof peak.

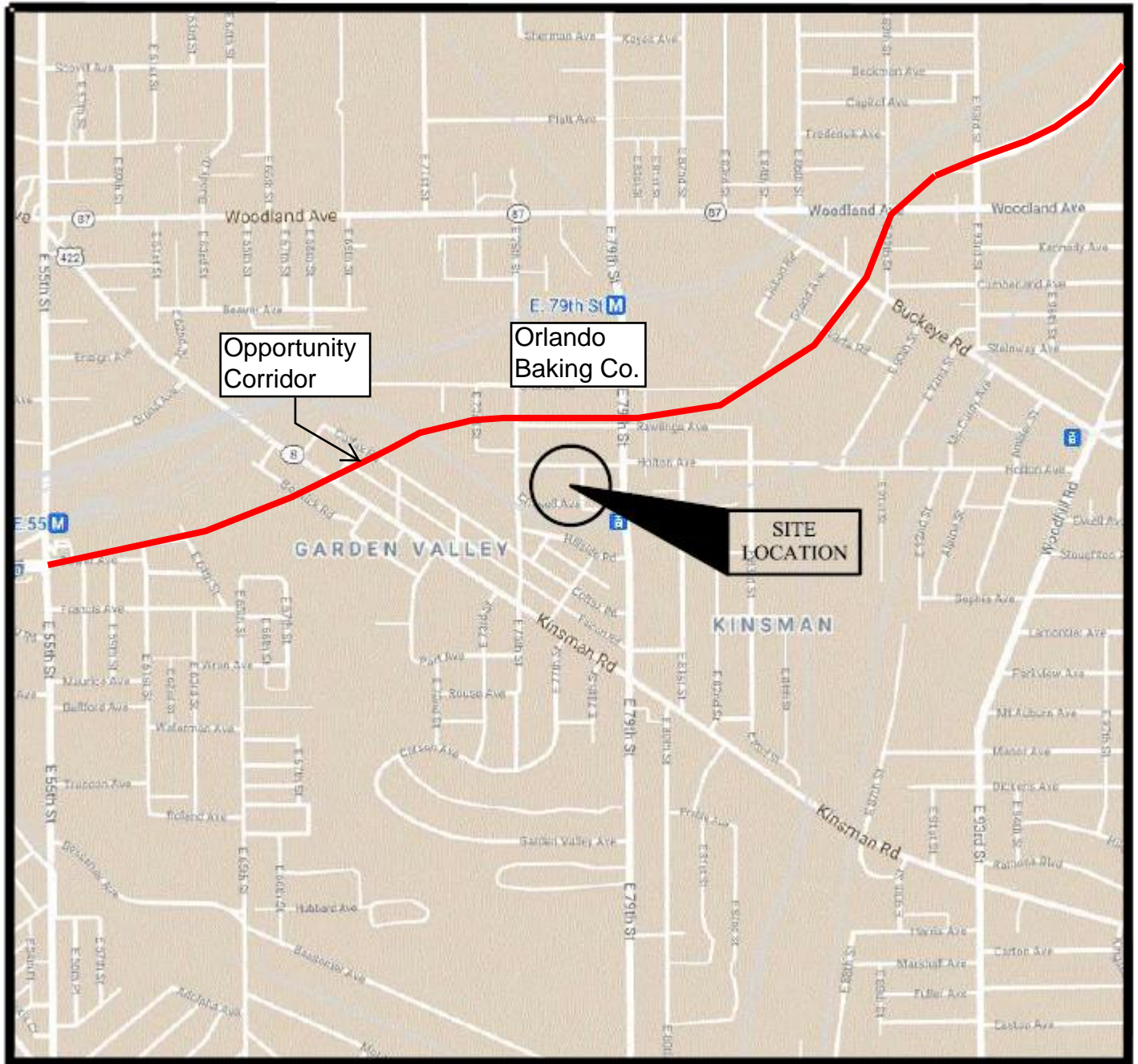
There will be 18 truck docks and 10 trailer parking spaces. The car park will hold 34 cars with expansion for up to 34 additional cars. Entry to the truck docks and car park are by separate drives off East 75th. The dumpster is located on the west side of the building near the southwest corner, and is accessed from a roll-up door.

A 4,000 square foot office wing will front on Opportunity Corridor. It will have a lower roof line than the main building and will have architecture and finishes very similar to those on the Orlando Baking Company's facility which is directly across the Opportunity Corridor from the project.

PROJECT BORON

2777 EAST 75TH STREET, CLEVELAND, OH

SITE LOCATION MAP



PROJECT BORON

2777 EAST 75TH STREET, CLEVELAND, OH

CONTEXT MAP



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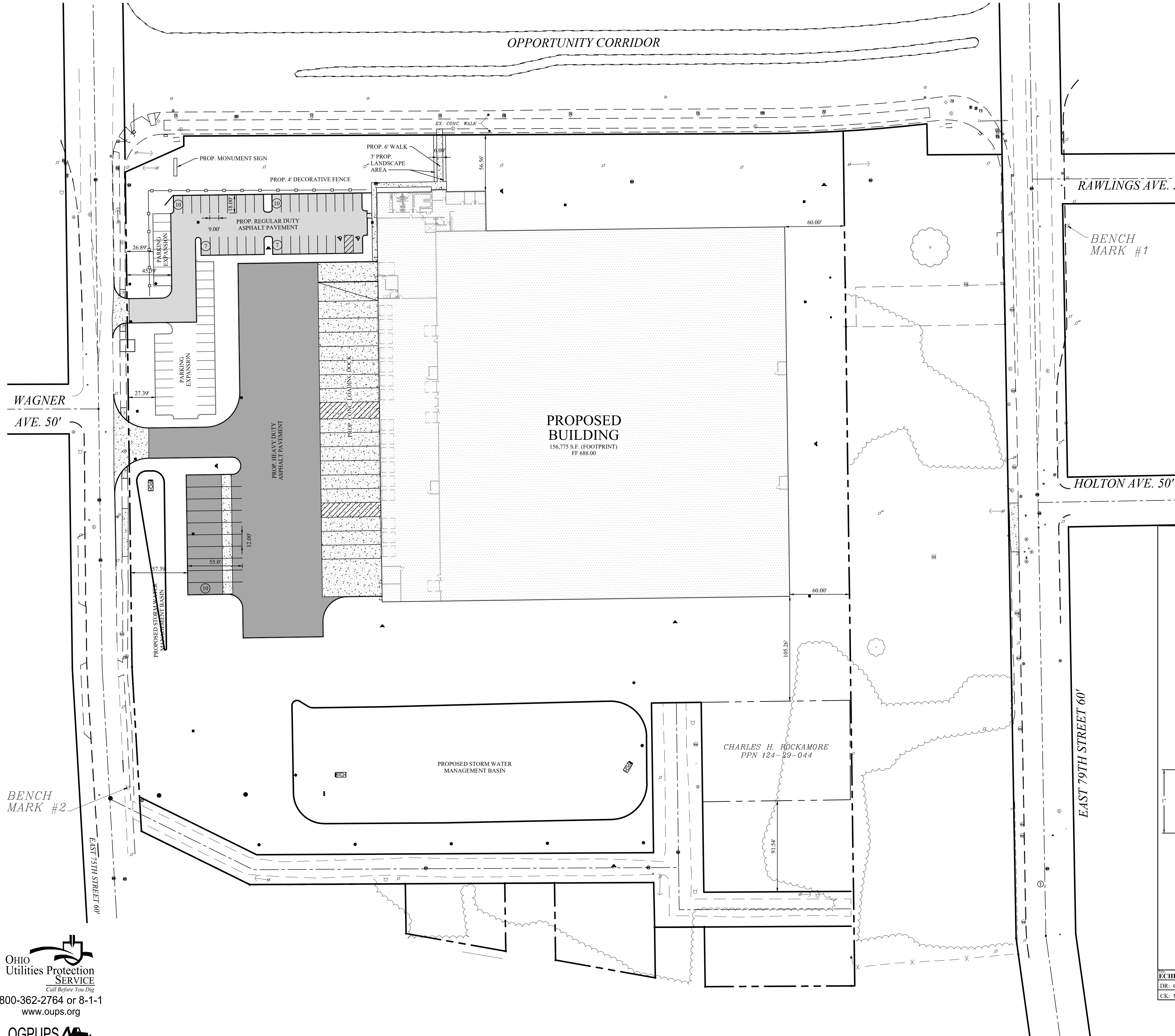
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800-362-2764 or 8-1-1
www.oups.org



OGPUPS
One Call Gas Protection Underground Protection Service

800-925-0988 or 8-1-1
www.ogpups.org



SITE BENCH MARK
BENCH MARK #1
TOP NUT ON HYDRANT
ELEVATION = 687.81

SITE BENCH MARK
BENCH MARK #2
TOP NUT ON HYDRANT
ELEVATION = 664.12

SITE DATA

USE DISTRICT = SI-G2 (SEMI-INDUSTRY)

SITE AREA = (14.8915 AC.)

PROP. BUILDING AREA = 156,775 S.F. (FOOTPRINT)


NUMBER OF PARKING SPACES:
REGULAR PARKING SPACES = 34
HANDICAP PARKING SPACES = 2
TOTAL PARKING SPACES = 36


TRUCK TRAILER SPACES = 10

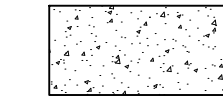
FLOOD ZONE

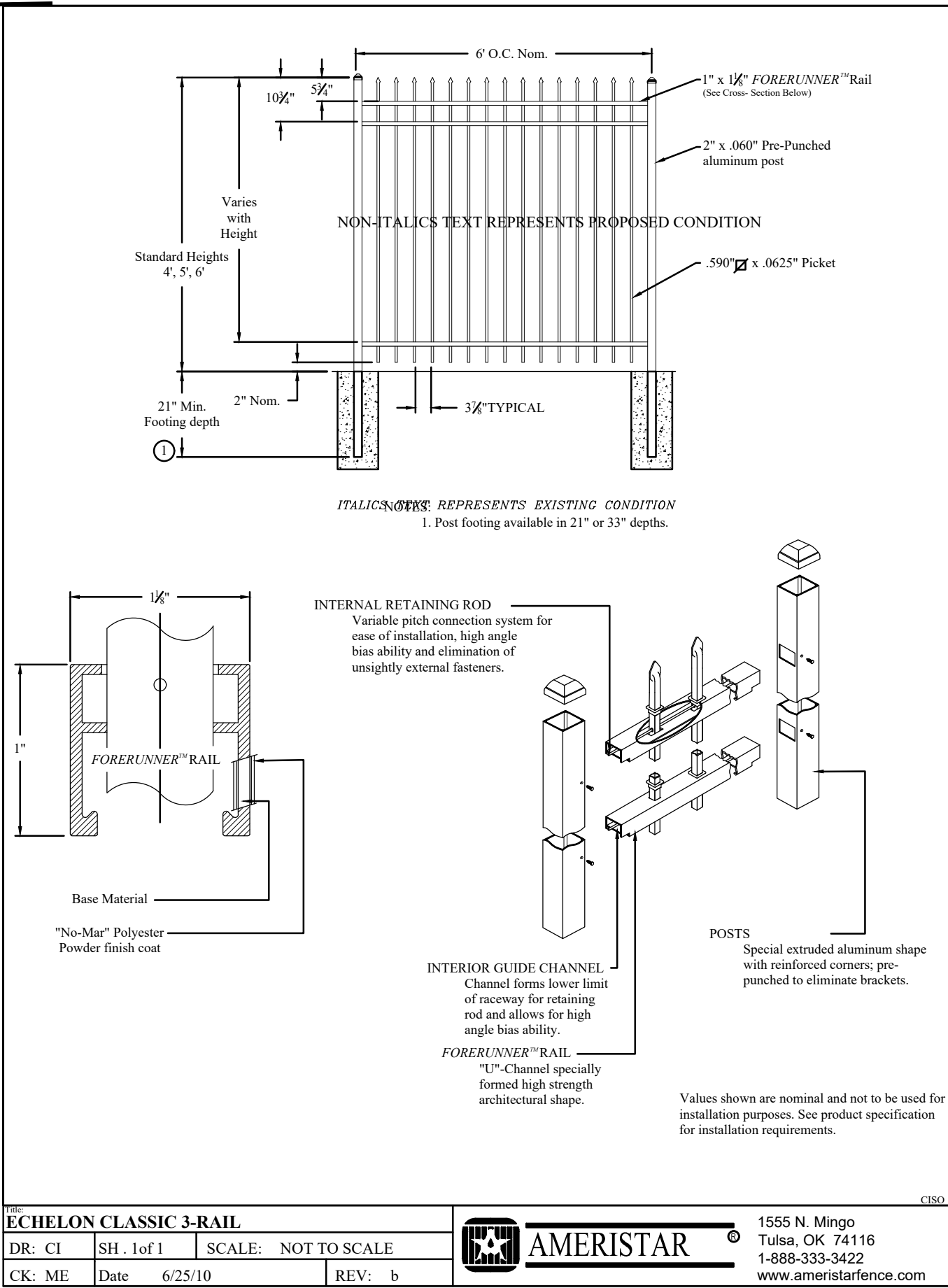
FLOOD ZONE "X" PER FLOOD INSURANCE
RATE MAP NUMBER 39035C 0182 E
COMMUNITY PANEL NUMBER 39035 0182 E
EFFECTIVE DATE DECEMBER 3, 2010

LEGEND

REGULAR DUTY ASPHALT

HEAVY DUTY ASPHALT

CONCRETE PAVING



6" O.C. Nom.

1" x 1/2" FORERUNNER® Rail
(See Cross Section Below)

2" x .060" Pre-Punched aluminum post

Standard Heights
4", 5", 6"

Varies with Height

21" Min. Footing depth

2" Nom.

3" TYPICAL

5/8" x .0625" Picket

NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

ITALICS TEXT REPRESENTS EXISTING CONDITION

1. Post footing available in 21" or 33" depths.

INTERNAL RETAINING ROD
Variable pick connection system for ease of installation, high angle bias ability and elimination of unsightly external fasteners.

FORERUNNER® RAIL

Base Material
*No-Mat® Polyester
Powder finish coat


INTERIOR GUIDE CHANNEL
Channel forms lower limit of roadway for retaining rod and allows for high angle bias ability.

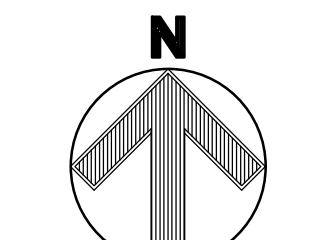
FORERUNNER® RAIL
"U"-Channel specially formed high strength architectural shape.

POSTS
Special extruded aluminum shape with reinforced corners; pre-punched to eliminate brackets.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

ECHELON CLASSIC 3-RAIL
DR: CI SH: 1 of 1 SCALE: NOT TO SCALE
CK: ME Date: 6/25/10 REV: b

**AMERISTAR**
1555 N. Mingo
Tulsa, OK 74116
1-888-333-3422
www.ameristarfence.com



N

Scale: 1" = 50'



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Rootstown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com



Reg. No.: 61709

CLIENT:



WESTON
4760 RICHMOND ROAD
SUITE 200
CLEVELAND, OH 44128
KURT UPDEGRAFF
216-337-8122
KUPDEGRAFF@TEAMWESTON.COM

OWNER:



WESTON
4760 RICHMOND ROAD
SUITE 200
CLEVELAND, OH 44128
KURT UPDEGRAFF
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Issue Date

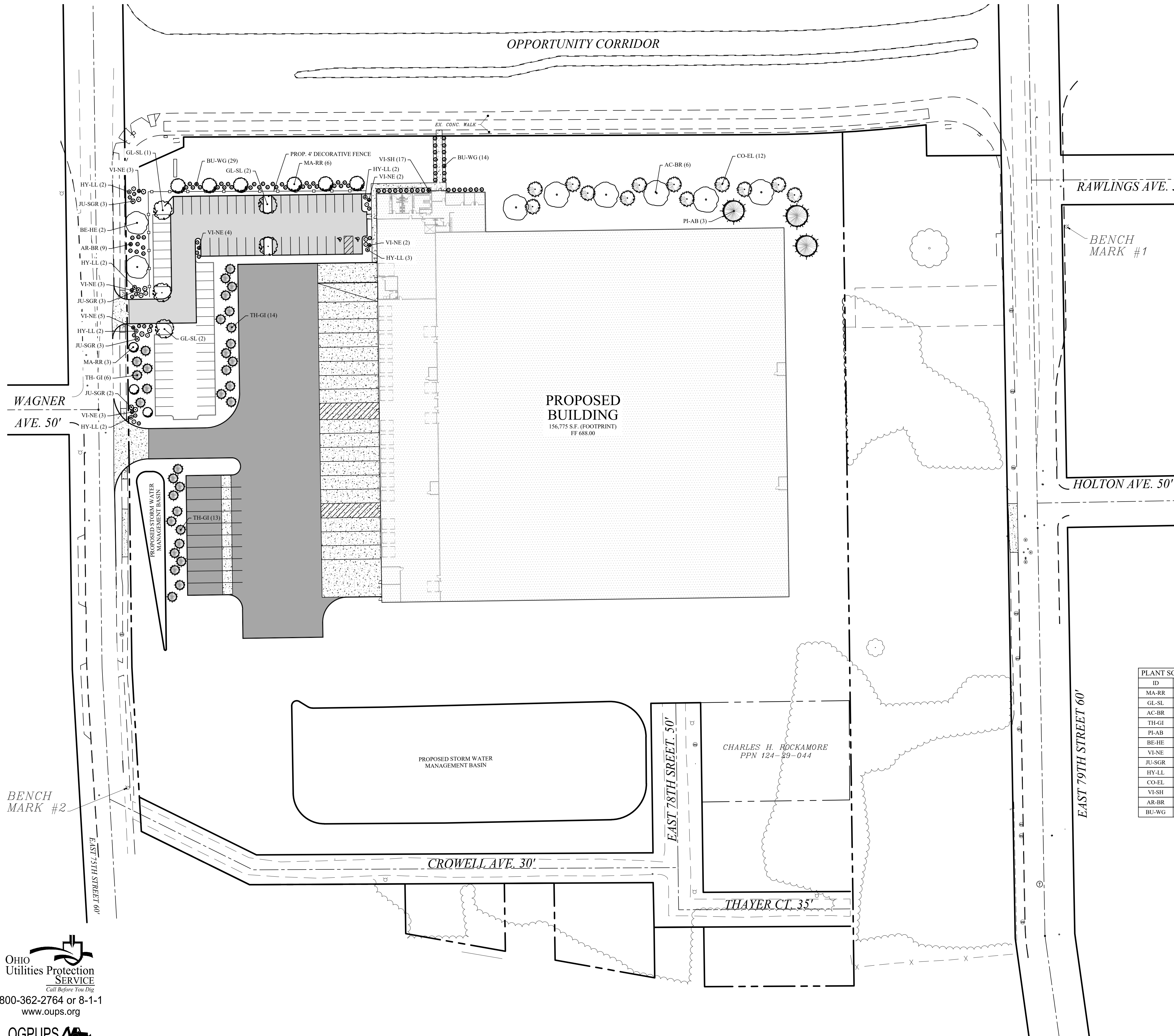
08-11-2021
10-07-2021
11-01-2021
11-15-2021
12-01-2021
12-15-2021

PROJECT BORON
SITE IMPROVEMENTS
EAST 75th STREET, CLEVELAND, OHIO

OVERALL
SITE
PLAN

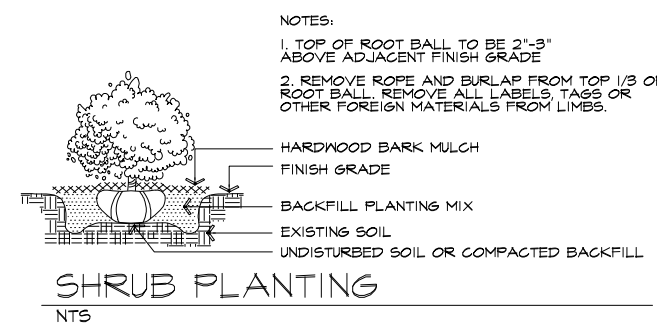
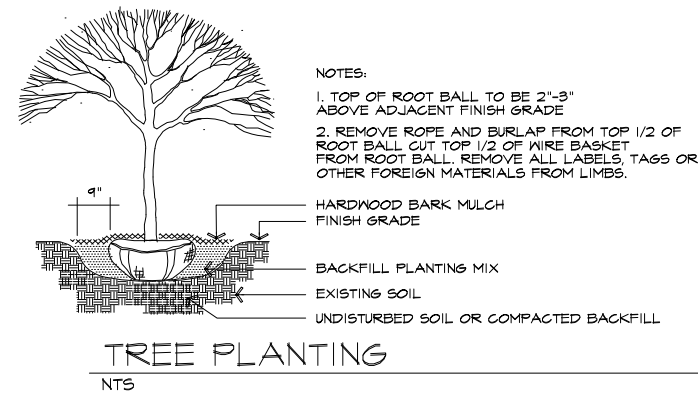
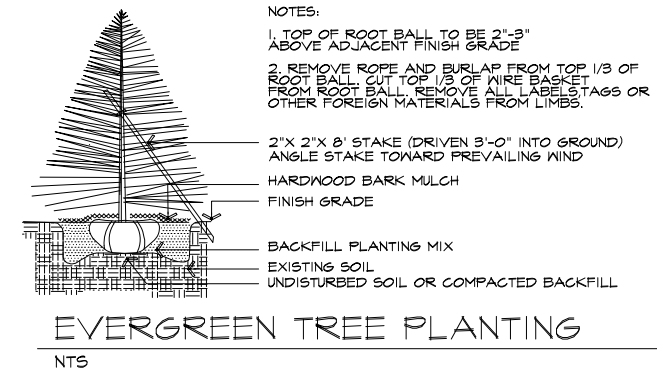
C102
Project No. 2021-177

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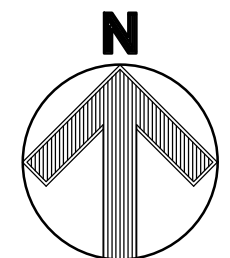


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BENCH MARK #1
TOP NUT ON HYDRANT
ELEVATION = 687.81

SITE BENCH MARK
BENCH MARK #2
TOP NUT ON HYDRANT
ELEVATION = 664.12



PLANT SCHEDULE				
ID	QTY	BOTANICAL NAME	COMMON NAME	SCHEDULED SIZE
MA-RR	9	MALUS 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	1.75"
GL-SL	5	GLEDITSIA T. L. "SKYLINE"	SKYLINE HONEYLOCUST	2.5"
AC-BR	6	ACER R. 'BRANDYWINE'	RED POINT MAPLE	2.5"
TH-GI	33	THUJA PLICATA X STANDISHII	THUJA GREEN GIANT	6'
PI-AB	3	PICEA ABIES	NORWAY SPRUCE	6'
BE-HE	2	BETULA N. 'HERITAGE'	HERITAGE RIVER BIRCH	14-16' MULTI-STEM
VI-NE	22	VIBURNUM P. "NEWPORT"	NEWPORT VIBURNUM	#5
JU-SGR	11	JUNIPERUS CH. "SEA GREEN"	SEA GREEN JUNIPER	24"
HY-LL	13	HYDRANGEA P. "LITTLE LIME"	LITTLE LIME HYDRANGEA	#3
CO-EL	12	RED POINT MAPLE	SILVERBLOTCH DOGWOOD	#5 18"
VI-SH	17	VIBURNUM P. T. 'SHASTA'	SHASTA VIBURNUM	36"
AR-BR	9	ARONIA A. 'BRILLIANTISSIMA'	CHOCERRY	#5 18"
BU-WG	43	BUXUS M.V. K. 'WINTER GEM'	WINTER GEM BOXWOOD	24"



Scale: 1" = 50'



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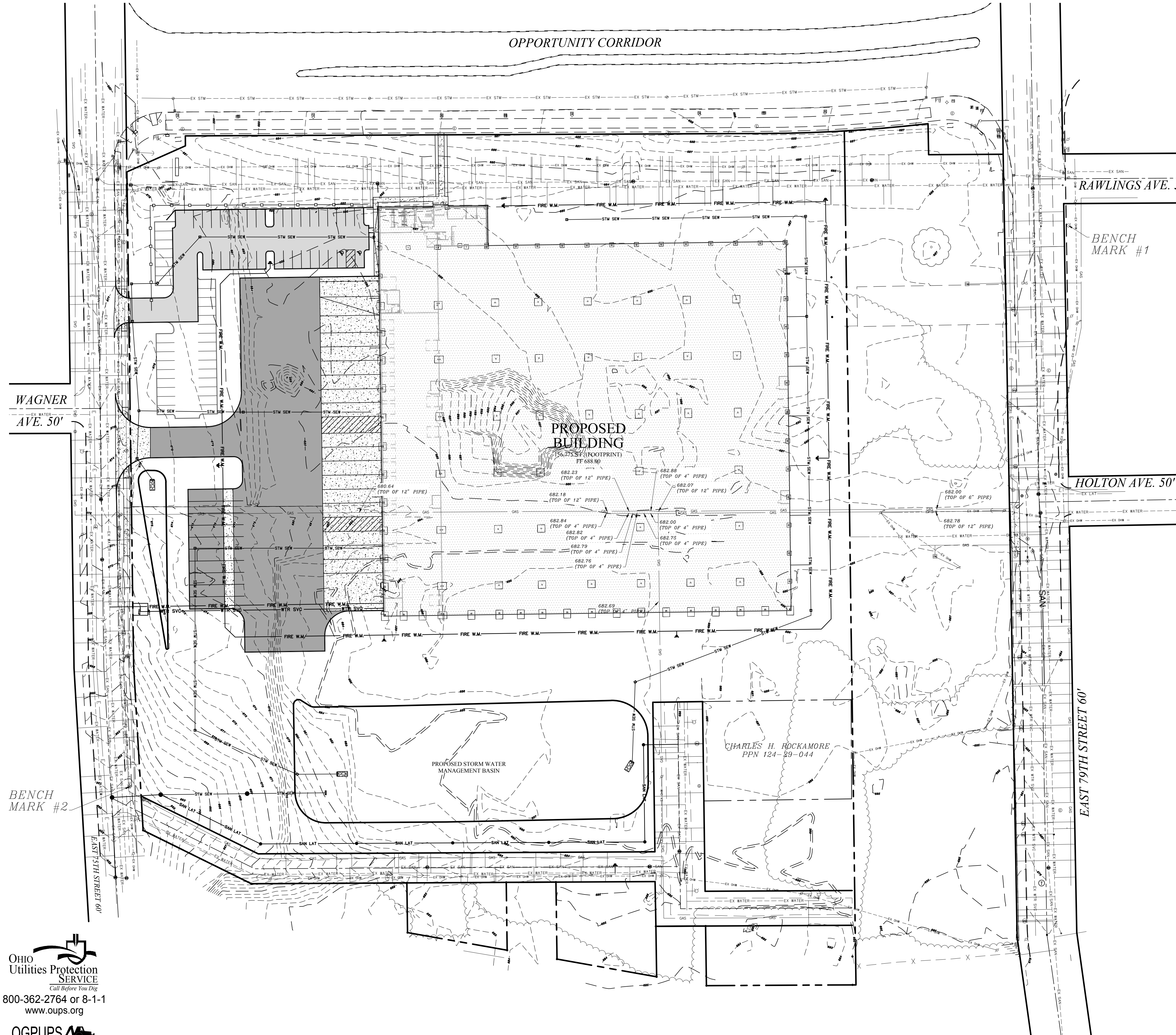
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12-01-2021
12-15-2021

PROJECT BORON
SITE IMPROVEMENTS
EAST 75th STREET, CLEVELAND, OHIO

LANDSCAPE
PLAN

L101
Project No. 2021-177

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10-07-2021
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12-01-2021
12-15-2021
02-07-2022

PROJECT BORON
SITE IMPROVEMENTS
EAST 75th STREET, CLEVELAND, OHIO

**GAS LINE
OVERLAY
(15' SHIFT)**

2 OF 2
Project No. 2021-177

NOTE 1:

CONTRACTOR SHALL DEFLECT W.M. AS NECESSARY
TO MAINTAIN 18" MIN. VERTICAL CLEARANCE
BETWEEN W.M. & SAN. SEW. AND/OR STM. SEW. AT
ALL TIMES. (INSTALL BENDS WHERE NECESSARY)

LEGEND

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



Scale: 1" = 30'

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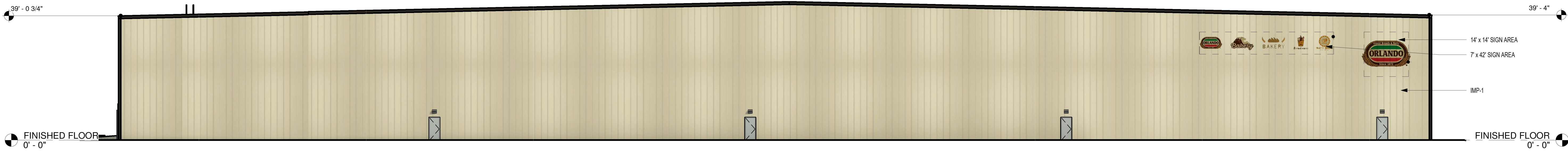
OGPUPS
Ohio Oil & Gas Protection Underground Protection Service
800-925-0988 or 8-1-1
www.ogpups.org

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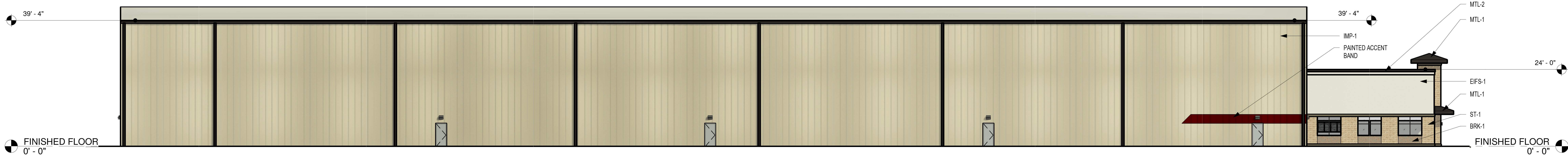
PROJECT NUMBER: SJ2501 DATE: 2021.12.01



1 EXTERIOR ELEVATION - NORTH
PR.2 1/16" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
PR.2 1/16" = 1'-0"



4 EXTERIOR ELEVATION - EAST
PR.2 1/16" = 1'-0"



3 EXTERIOR ELEVATION- WEST
PR.2 1/16" = 1'-0"

MATERIAL SCHEDULE					
MARK	MATERIAL	MANUFACTURER	MODEL	COLOR	DESCRIPTION
BRK-1	BRICK	GLEN-GARY	COUTURE SERIES	STRATFORD	2-1/4" HEIGHT x 7-5/8" LENGTH x 1/2" THICKNESS
EIFS-1	EXTERIOR INSULATED FINISH SYSTEM	DRY-VIT		ALABASTER #396*	
IMP-1	INSULATED METAL PANEL	METL-SPAN	METL-SPAN	METL-SPAN	
MTL-1	STANDING SEAM METAL ROOF	ATAS		CLASSIC BRONZE	
MTL-2	PREFINISHED COPING	ATAS		CLASSIC BRONZE	
PT-1	PAINT				
ST-1	STONE	ARRISCRAFT	ARRIS-TILE RENAISSANCE	SUNSET	7-5/8" HEIGHT x 23-5/8" LENGTH x 3/4" THICKNESS

BORON - REFRIGERATED WAREHOUSE | Cleveland, OH 44104

PROJECT NUMBER : SJ2501 DATE : 2021.12.01





EAST2022-001 – Proposed Demolition of a 2 ½-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

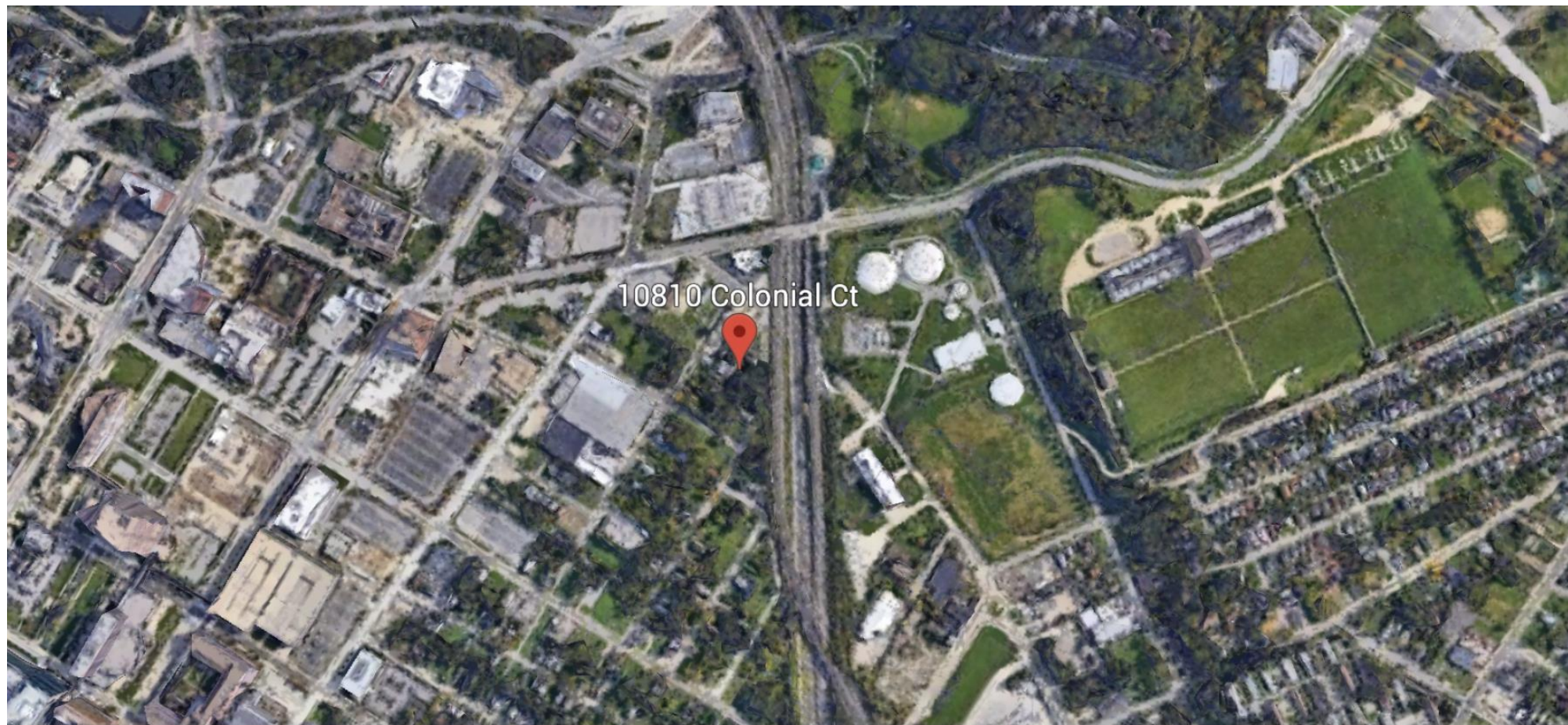
Project Address: 10810 Colonial Court

Project Representative: LaToya El-Amin, Lightning Demolition

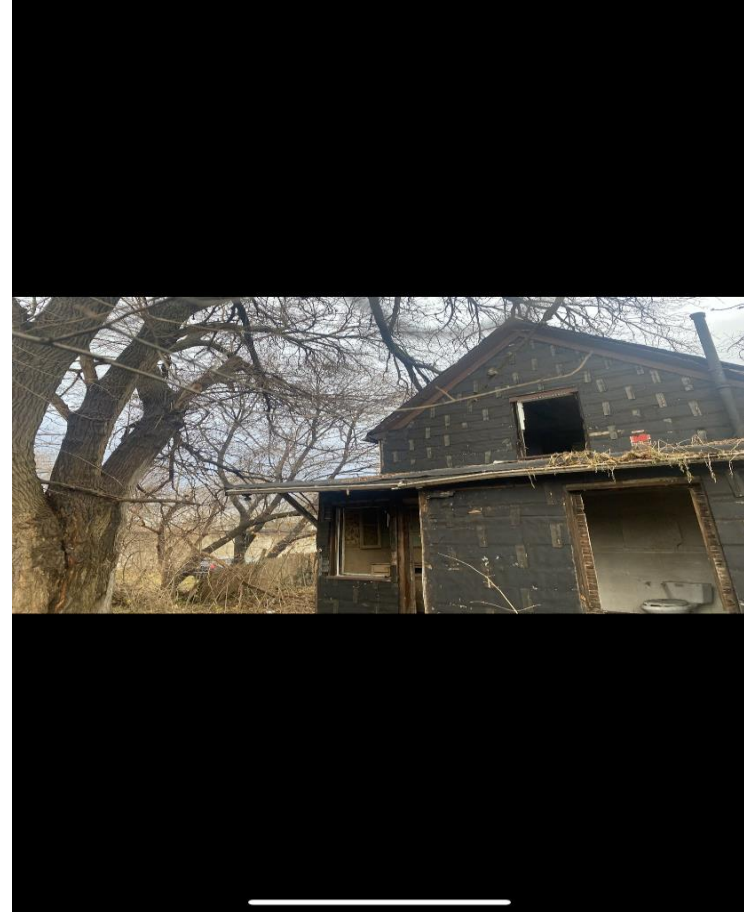
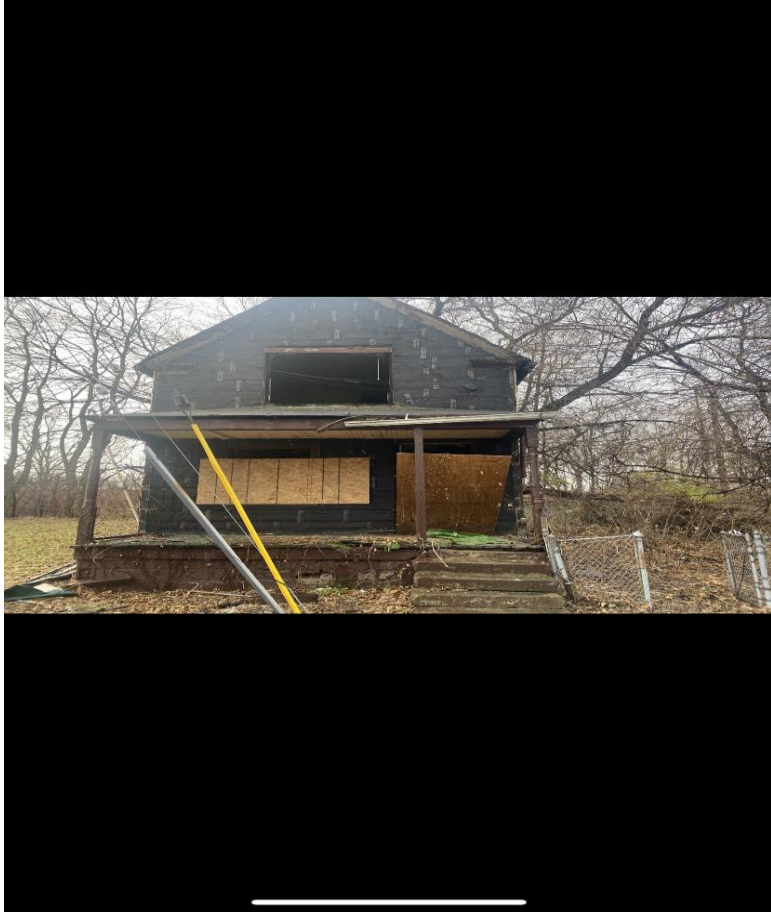
10810 Colonial Court Project

Presented by Lightning Demolition & Excavating

10810 Colonial Court Project



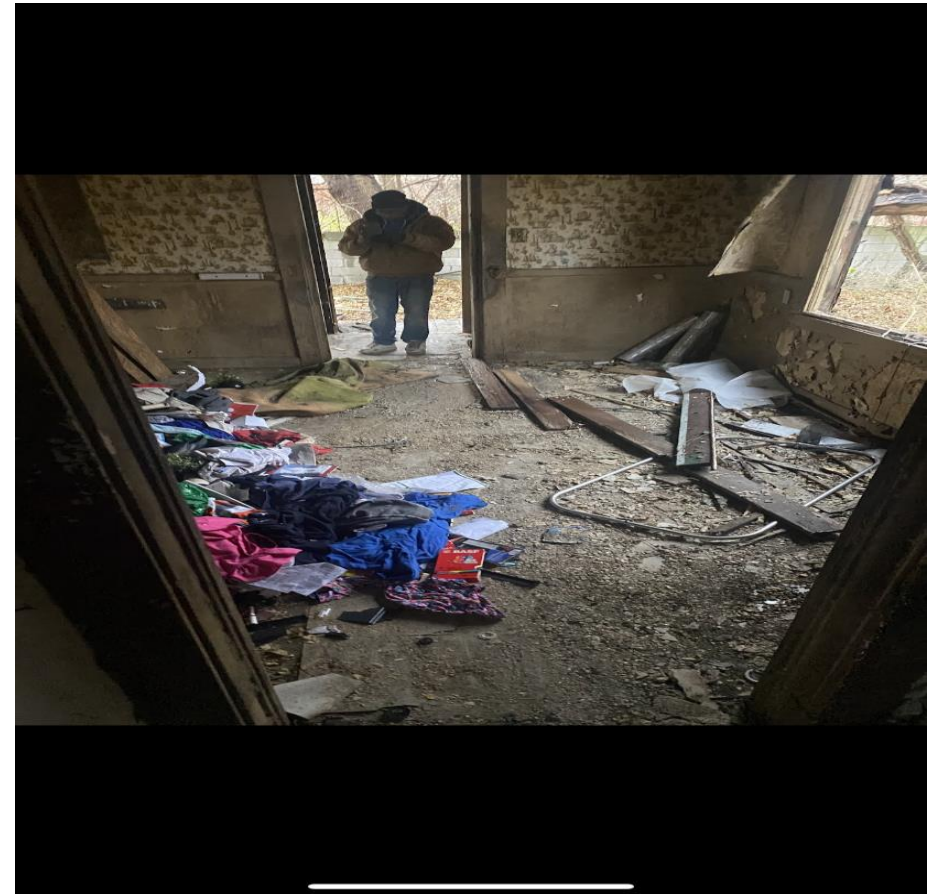
10810 Colonial Court Project



Dining room *peeling paint*

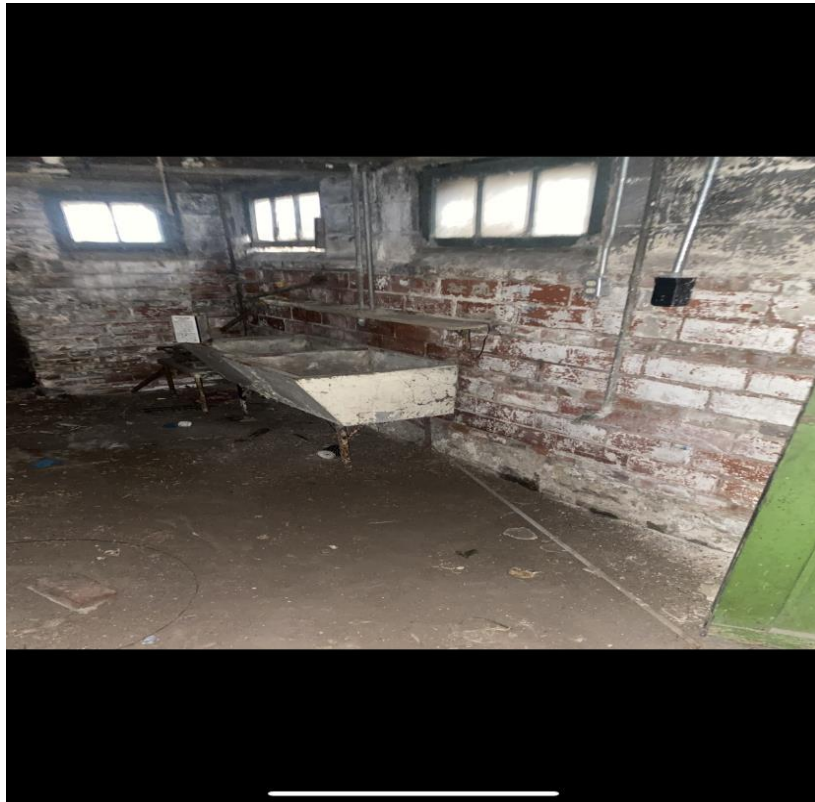


Kitchen *Collapsed debris and no window or door*

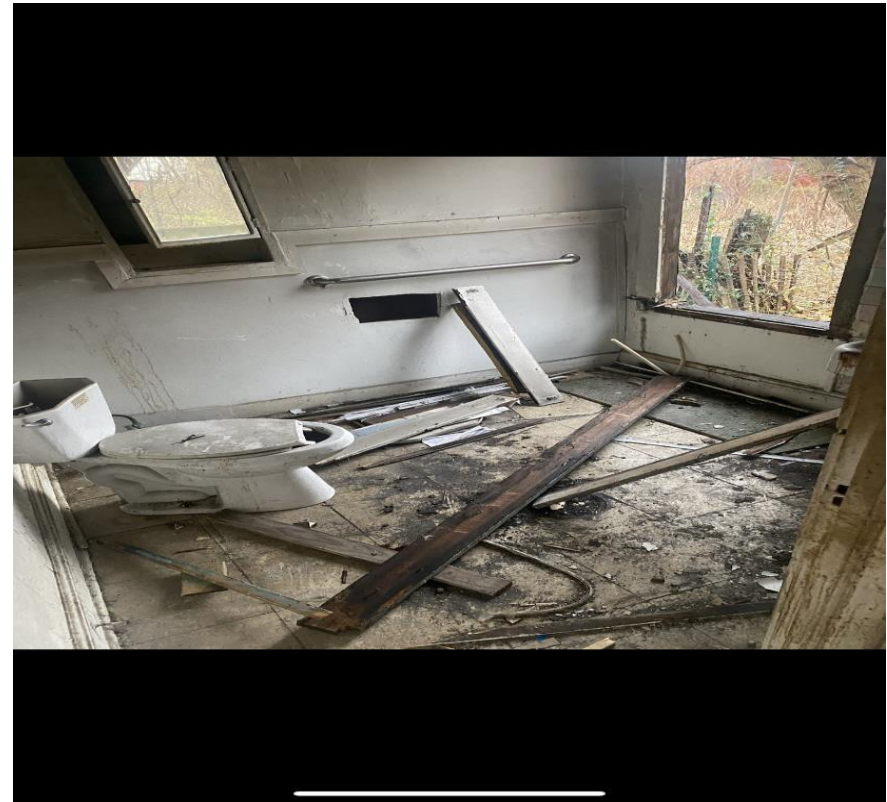


10810 Colonial Court Project

Basement



Bathroom *collapsed debris/no windows*





EAST2022-002 - Proposed Demolition of a 2 ½-Story Two-Family Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

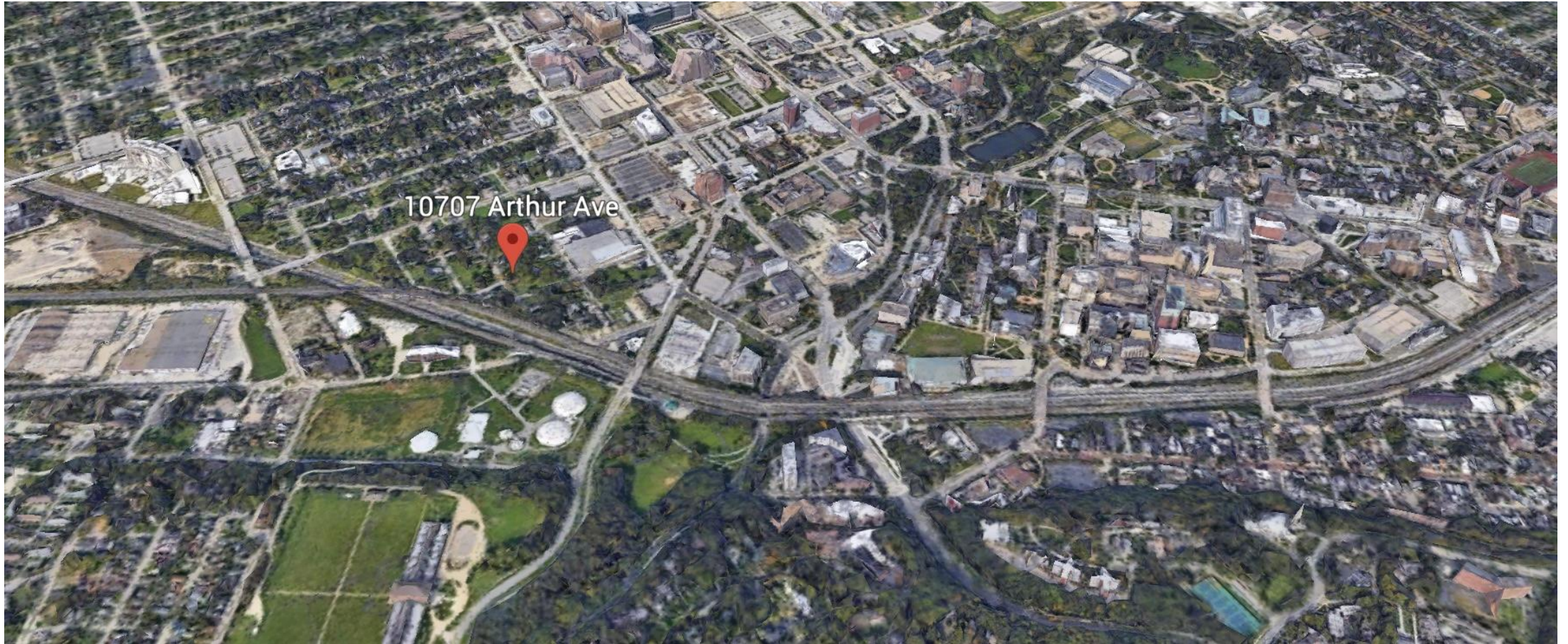
Project Address: 10707 Arthur Avenue

Project Representative: LaToya El-Amin, Lightning Demolition

10707 Arthur Avenue Project

Presented by Lightning Demolition & Excavating

10707 Arthur Avenue Project



10707 Arthur Avenue Project

Front view



Back view



10707 Arthur Avenue Project

Side view



Side front and collapsed debris



10707 Arthur Avenue Project

kitchen



Room with collapsed debris

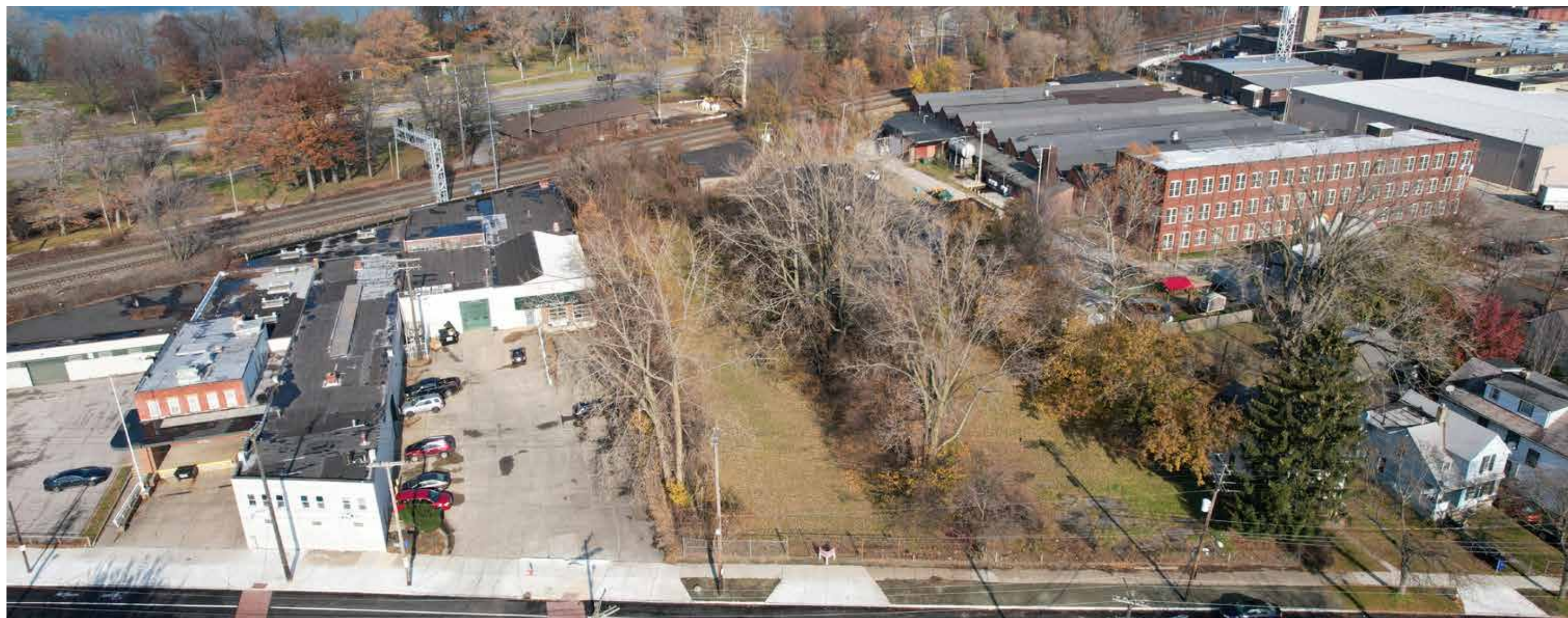
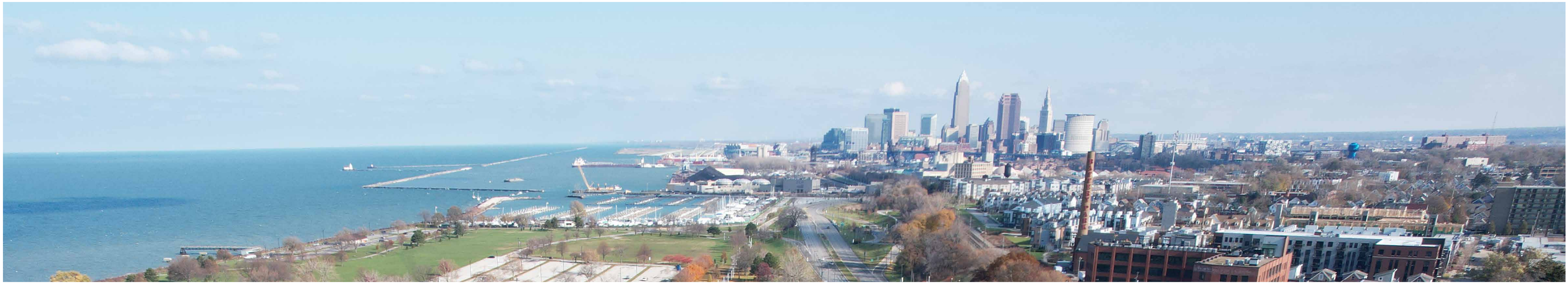




FW2022-005 – Lake Avenue Apartments and Townhomes New Construction:
Seeking Conceptual Approval

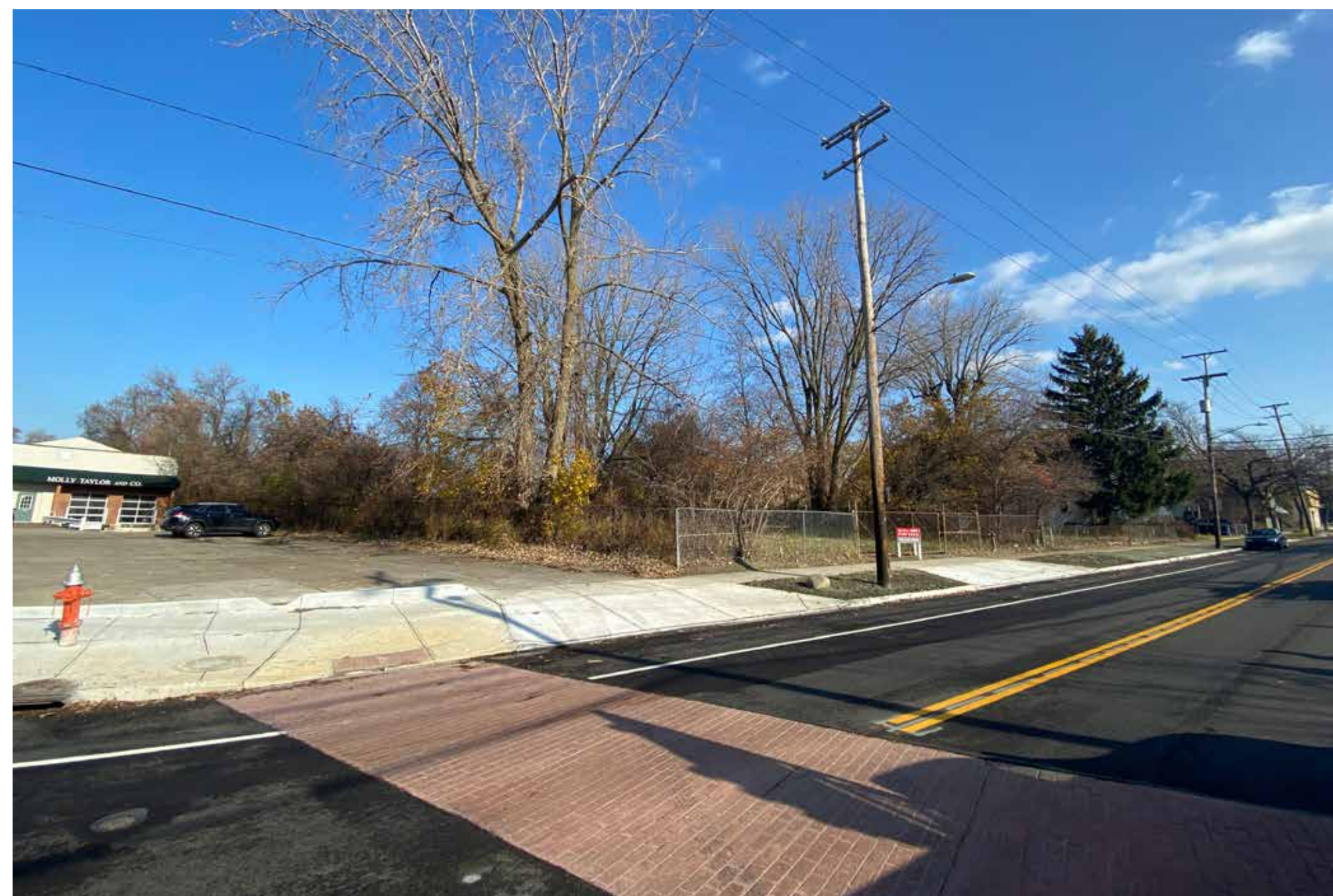
Project Address: 8400 Lake Avenue

Project Representative: Brandon Kline, Geis Companies



8400 LAKE AVE DEVELOPMENT

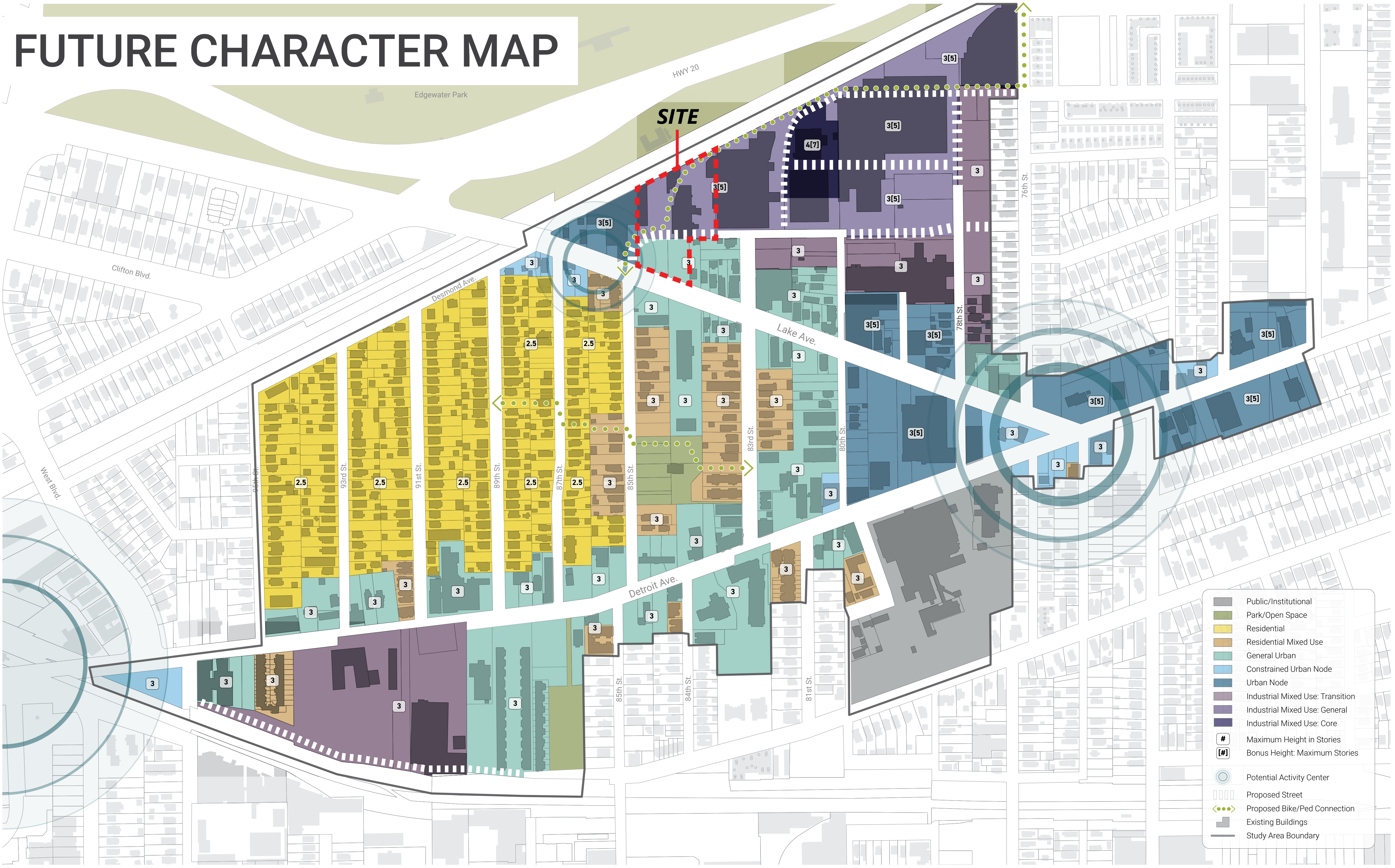
Site Aerial Context Images



8400 LAKE AVE DEVELOPMENT

Streetview Site Context Images

FUTURE CHARACTER MAP



CITY OF CLEVELAND CODIFIED ORDINANCES - FORM BASED ZONING

USE REGULATIONS
Multi-family dwelling: Permitted

SETBACK REQUIREMENTS (2.9.7)
Min. setback from principal street frontage: UX3 (3 ft. min. - 10 ft. max.)
IX7 (0 ft. min. - 10 ft. max.)
Min. setback from interior side yard depth: 0 ft. min.
Min. setback from rear yard depth: 0 ft. min.
Min. setback from alley boundary line: (3ft. or 20ft.)

BUILDING CONFIGURATION REQUIREMENTS
Frontage Build-Out:
UX3: 75% min. principal street frontage
173 ft. x 0.75 = 130 ft.
IX7: 75% min. principal street frontage

FLOOR AREA RATIO
No Maximum

HEIGHT REQUIREMENTS
UX3: 3 stories / 42 ft. max.
IX7: 7 Stories / 94 ft. max.

WIDTH REQUIREMENTS
UX3: 275 ft. max.
IX7: 275 ft. max.

AMENITY SPACE REQUIREMENTS (2.9.8)
UX3: 10% min. outdoor amenity space
24,290sf x 10% = 2,429sf
IX7: 10% min. outdoor amenity space
67,787sf x 10% = 6,778sf

WINDOW REQUIREMENTS (2.9.13)
UX3: Ground story min.
Residential: 35%
Nonresidential: 50%
Upper story min. 15%
Blank wall width max. 20 ft.

MIXED USE NODE

Description. Node of intensity for mixed use buildings

Form. Shopfront buildings pulled up to street with highly activated facades (windows/entrances), parking to the rear

Height. 3 stories
5 stories (affordable/preservation bonus)

Parking. None required
Res: 0.5/unit
Nonres: 1/1,000 SF

INDUSTRIAL MIXED USE

Description. Preserves existing industrial, allows residential, makers-space, arts, employment activity

Form. Buildings reinforce the industrial character and history of the area

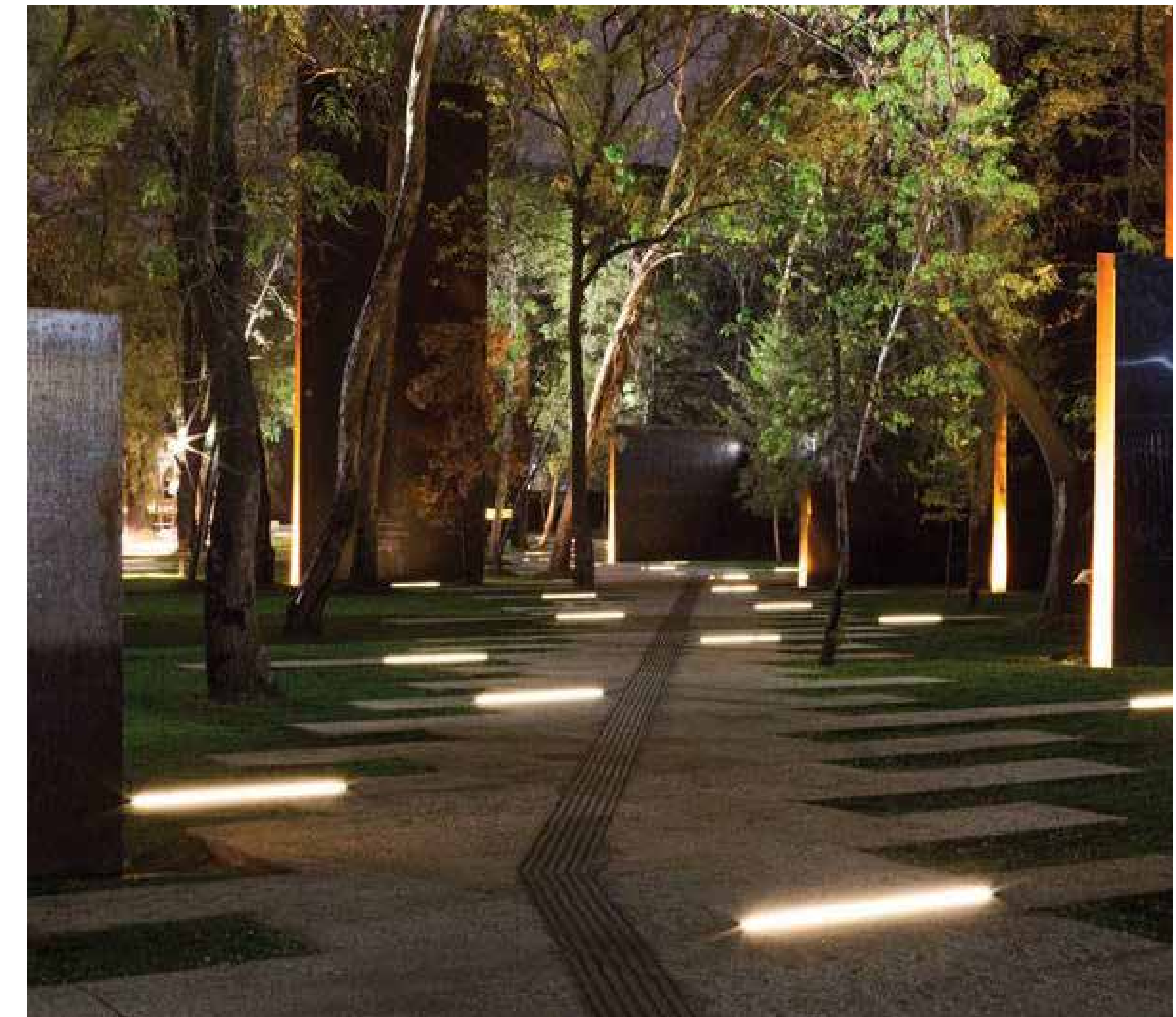
Height. 3 stories
5 stories (affordable/preservation bonus)
7 stories (affordable/preservation bonus)

Parking. Res: 0.5/unit
Nonres: 1/1,000 SF



8400 LAKE AVE DEVELOPMENT

Form Based Zoning Map



8400 LAKE AVE DEVELOPMENT

Site Inspiration Board

BUILDING BREAKDOWN:	PER FLR.	PER BLDG.	%
STUDIO:	07	34	20%
1 BEDROOM:	16	79	46%
1 BEDROOM PLUS:	04	18	11%
2 BEDROOM:	08	39	23%
TOTAL UNITS:	5 FLRS	170 UNITS	
	28,065 RSF PER FLR		
AVG SF/UNIT: 851 SF	136,121 GRSF		
170 PARKING SPACES PROVIDED	1:1 RATIO		

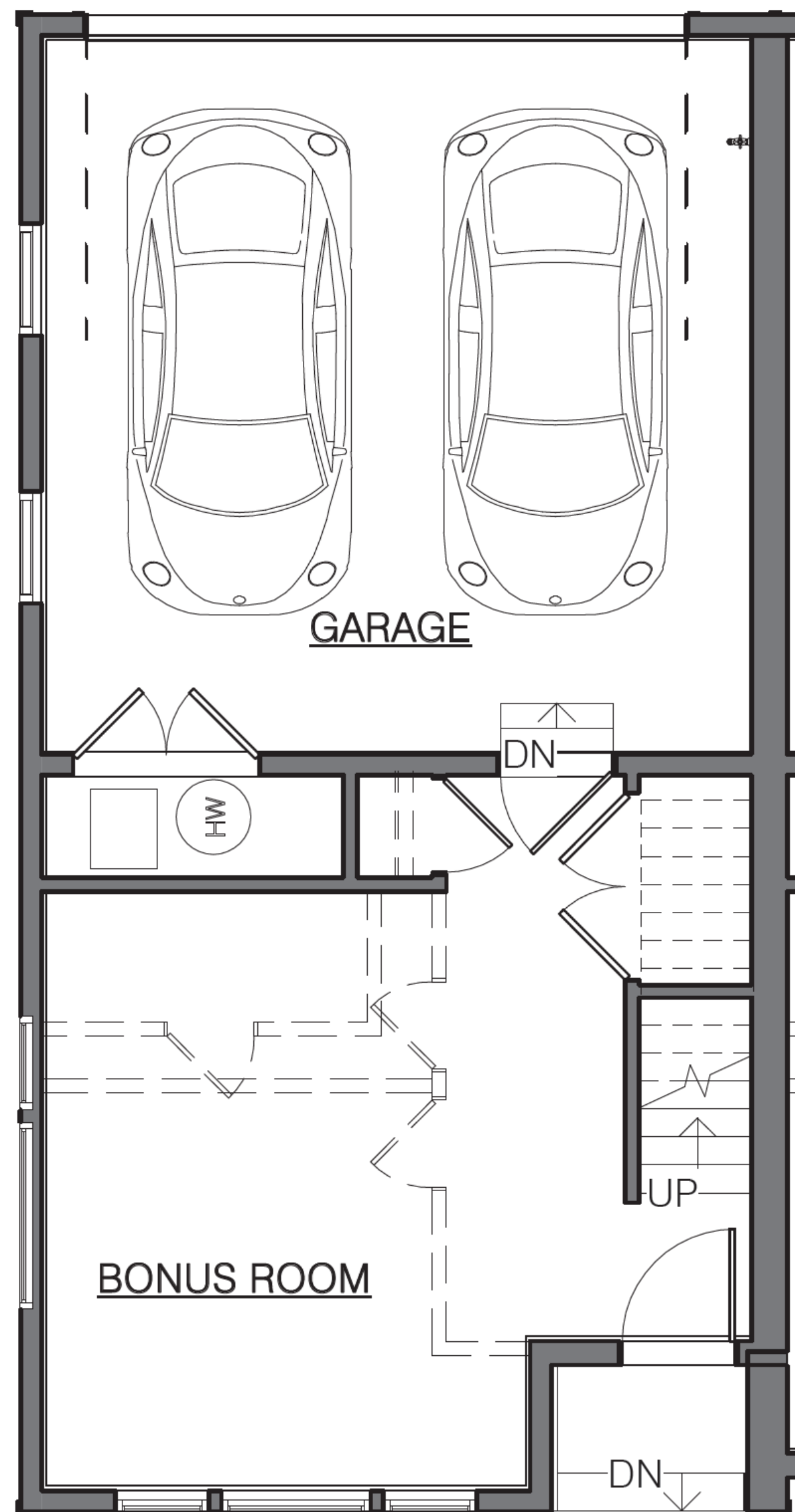
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GEIS
COMPANIES

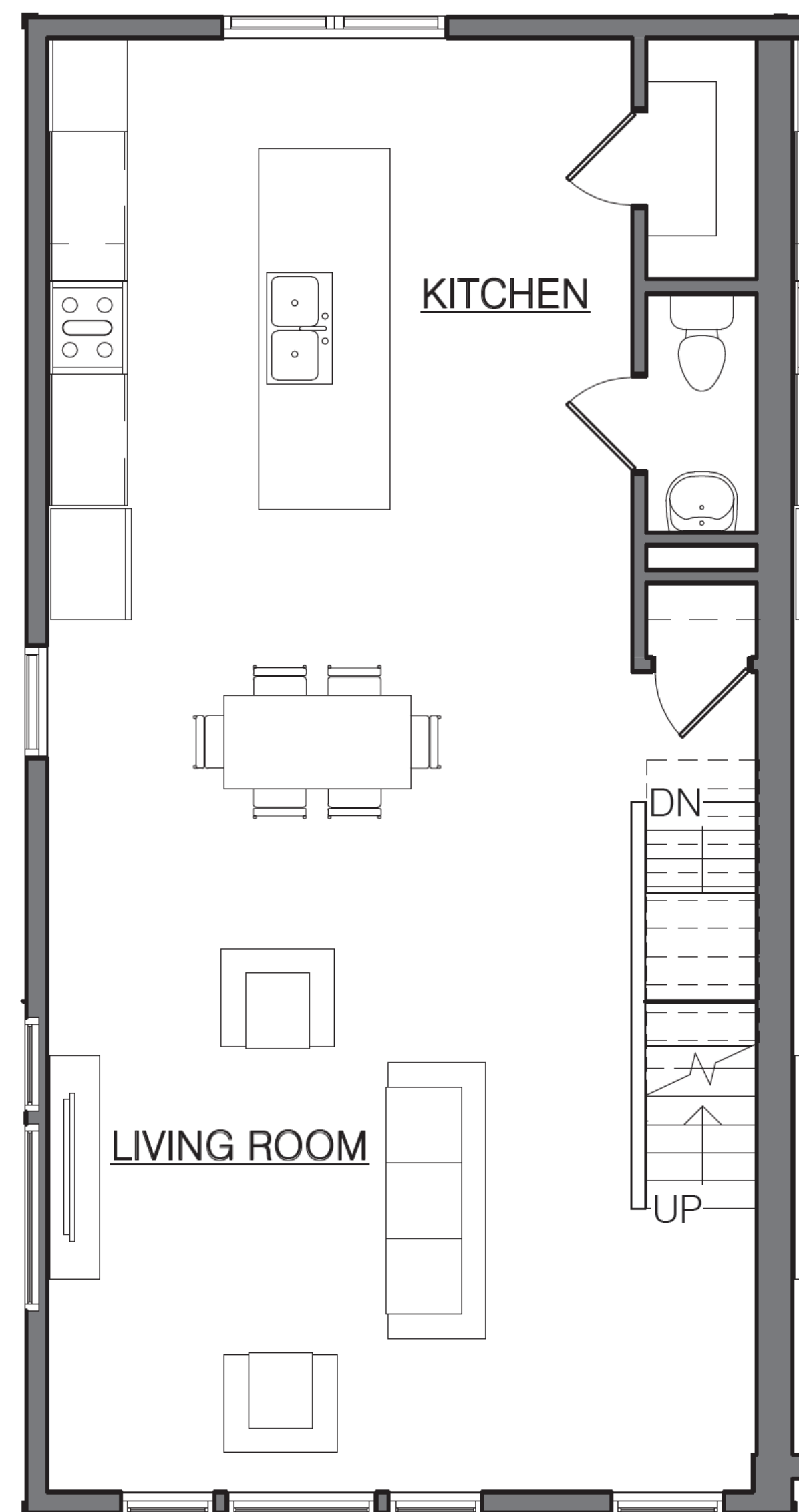


8400 LAKE AVE DEVELOPMENT

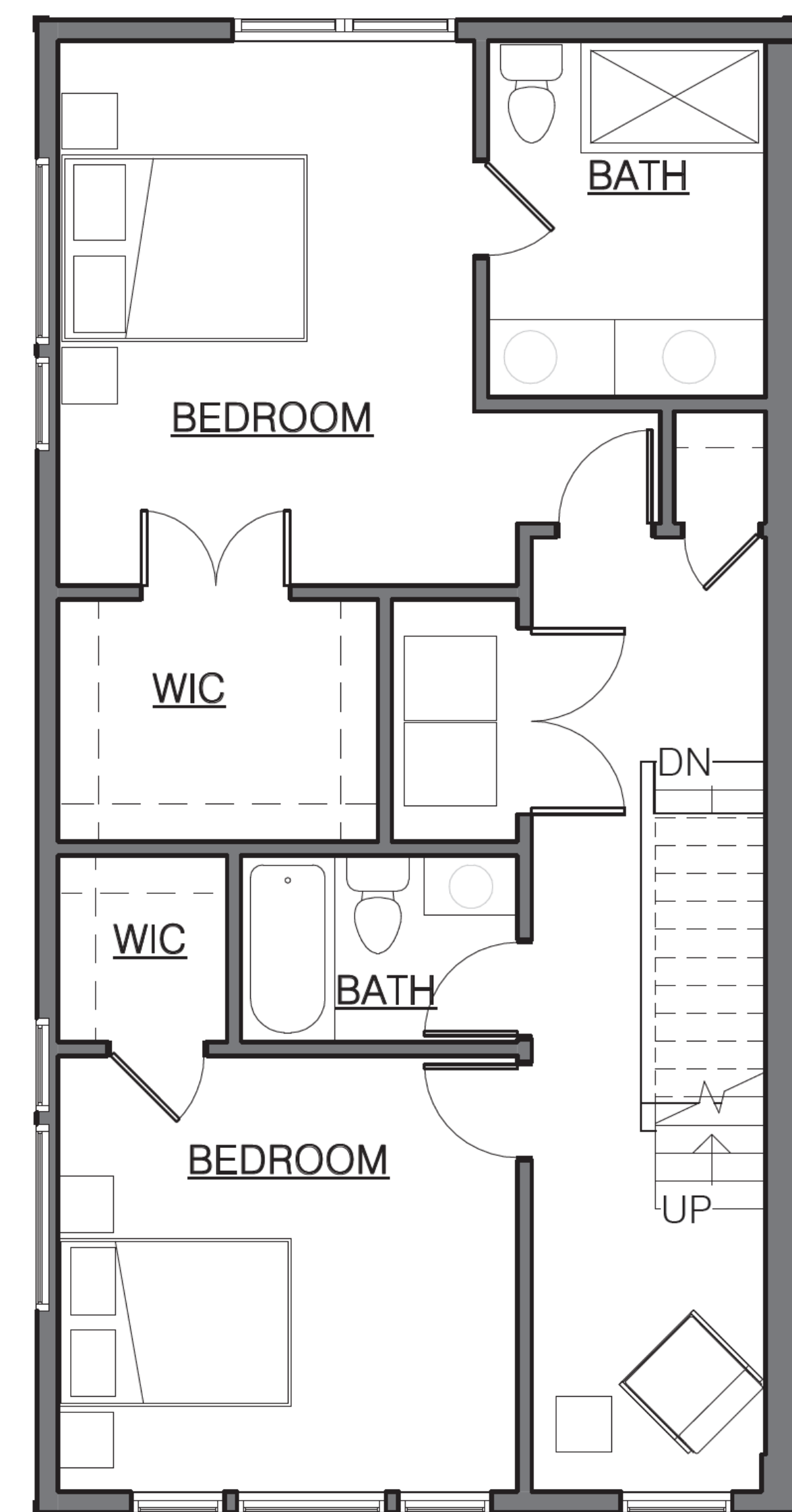
Conceptual Site Plan



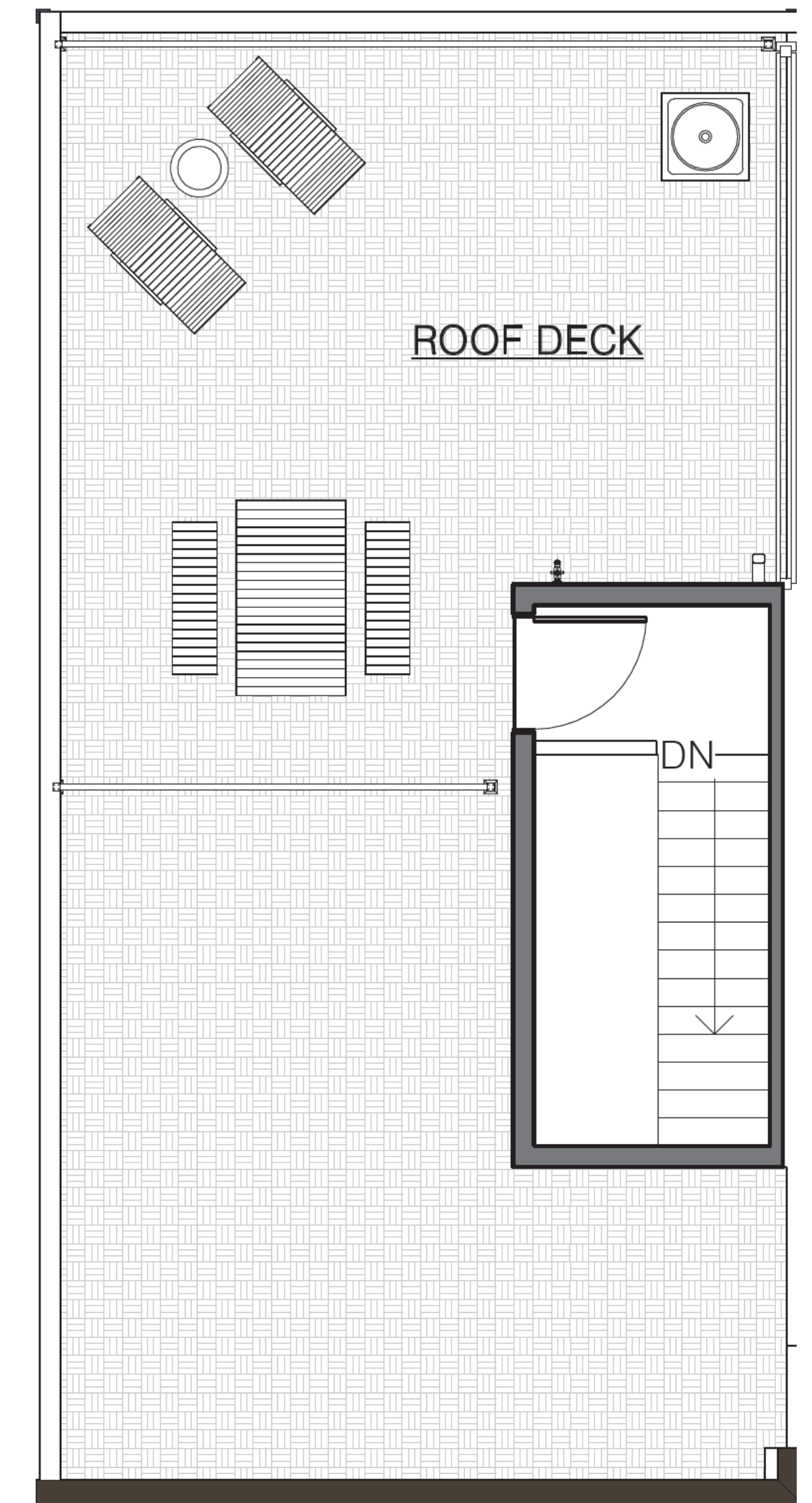
GROUND FLOOR



SECOND FLOOR



THIRD FLOOR



ROOF DECK

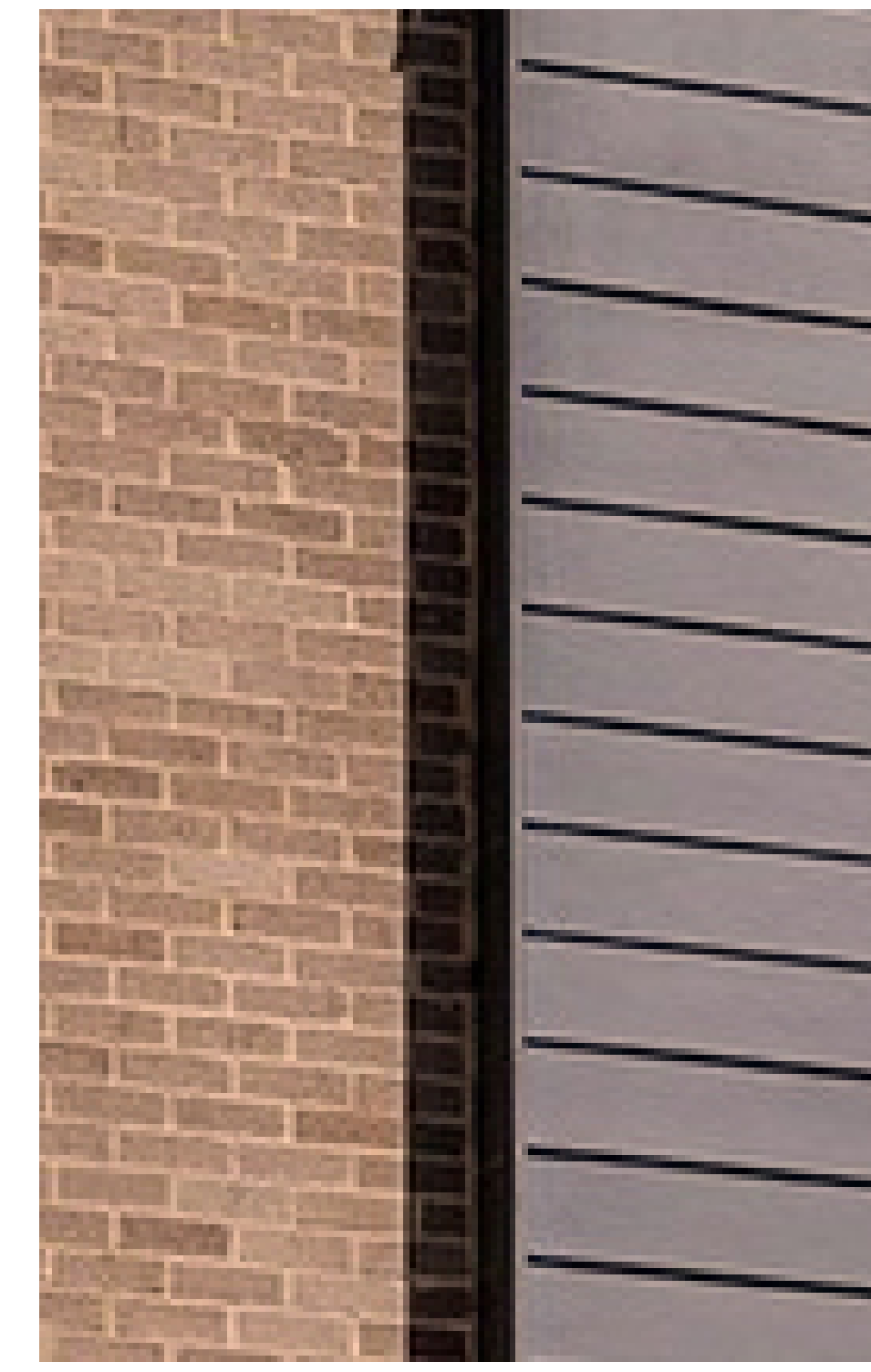


8400 LAKE AVE DEVELOPMENT



8400 LAKE AVE DEVELOPMENT

Apartment Building Exterior Inspiration Board



8400 LAKE AVE DEVELOPMENT



8400 LAKE AVE DEVELOPMENT

Conceptual Rendering



8400 LAKE AVE DEVELOPMENT

Conceptual Rendering



8400 LAKE AVE DEVELOPMENT

Conceptual Rendering



8400 LAKE AVE DEVELOPMENT

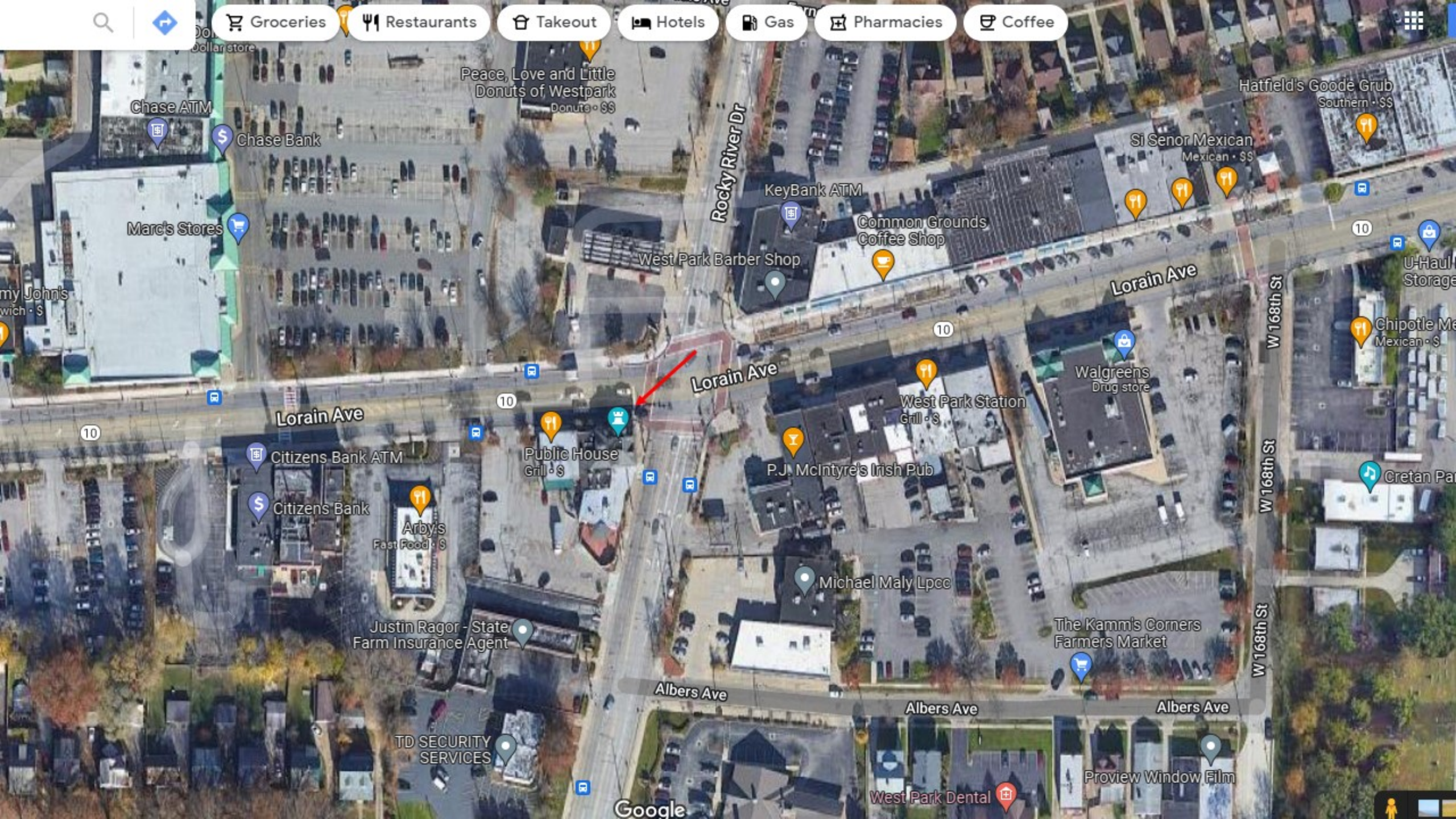
Preliminary Facade Concept



FW2022-006/7 – Old Tony’s Renovation and Partial Demolition:
Seeking Conceptual Approval

Project Address: 17209 Lorain Avenue

Project Representative: Lisa Kay, 1500 Management



Groceries

Restaurants

Takeout

Hotels

Gas

Pharmacies

Coffee



Chase ATM

Chase Bank

Marc's Stores

Peace, Love and Little
Donuts of Westpark
Donuts • \$\$

Rocky River Dr

KeyBank ATM

West Park Barber Shop

Common Grounds
Coffee Shop

Hatfield's Goode Grub
Southern • \$\$

Si Senor Mexican
Mexican • \$\$

Lorain Ave

10

Lorain Ave

10

Lorain Ave

West Park Station
Grill • \$

Walgreens
Drug store

W 168th St

U-Haul
Storage

Chipotle Me
Mexican • \$

10

Citizens Bank ATM

Citizens Bank

Arby's
Fast Food • \$

Public House
Grill • \$

P.J. McIntyre's Irish Pub

Michael Maly Lpcc

Justin Ragor - State
Farm Insurance Agent

Albers Ave

Albers Ave

Albers Ave

W 168th St

The Kamm's Corners
Farmers Market

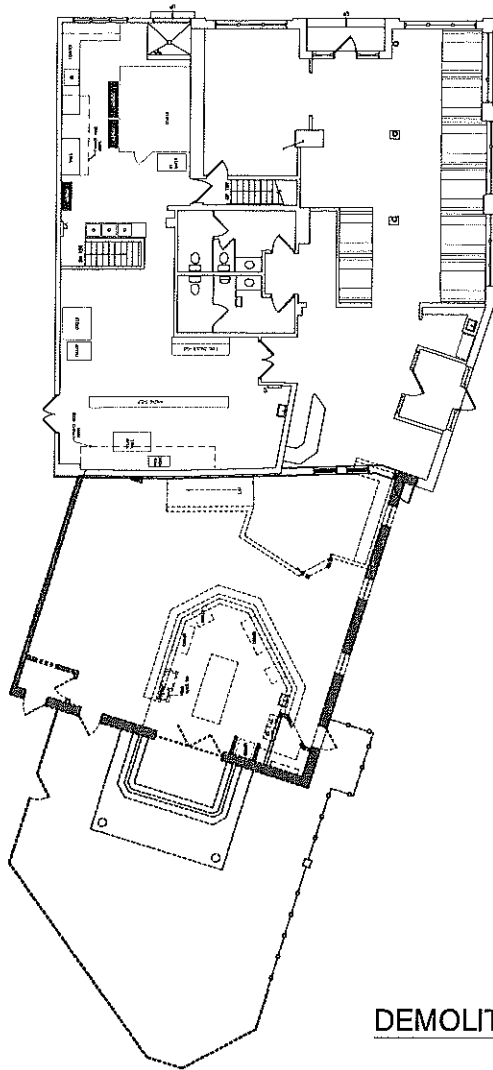
TD SECURITY
SERVICES

Google

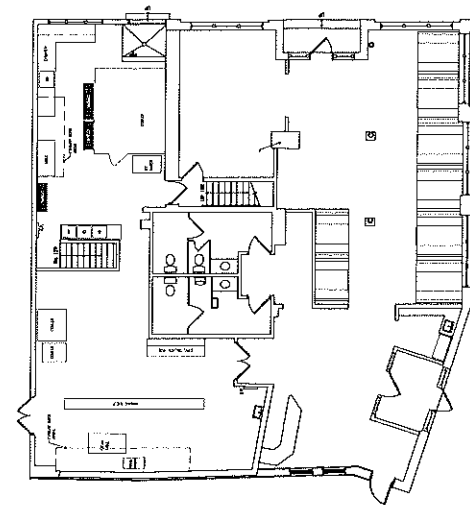
West Park Dental

Proview Window Film





DEMOLITION FLOOR PLAN
1/8" = 1'-0"



PROPOSED FLOOR PLAN
1/8" = 1'-0"

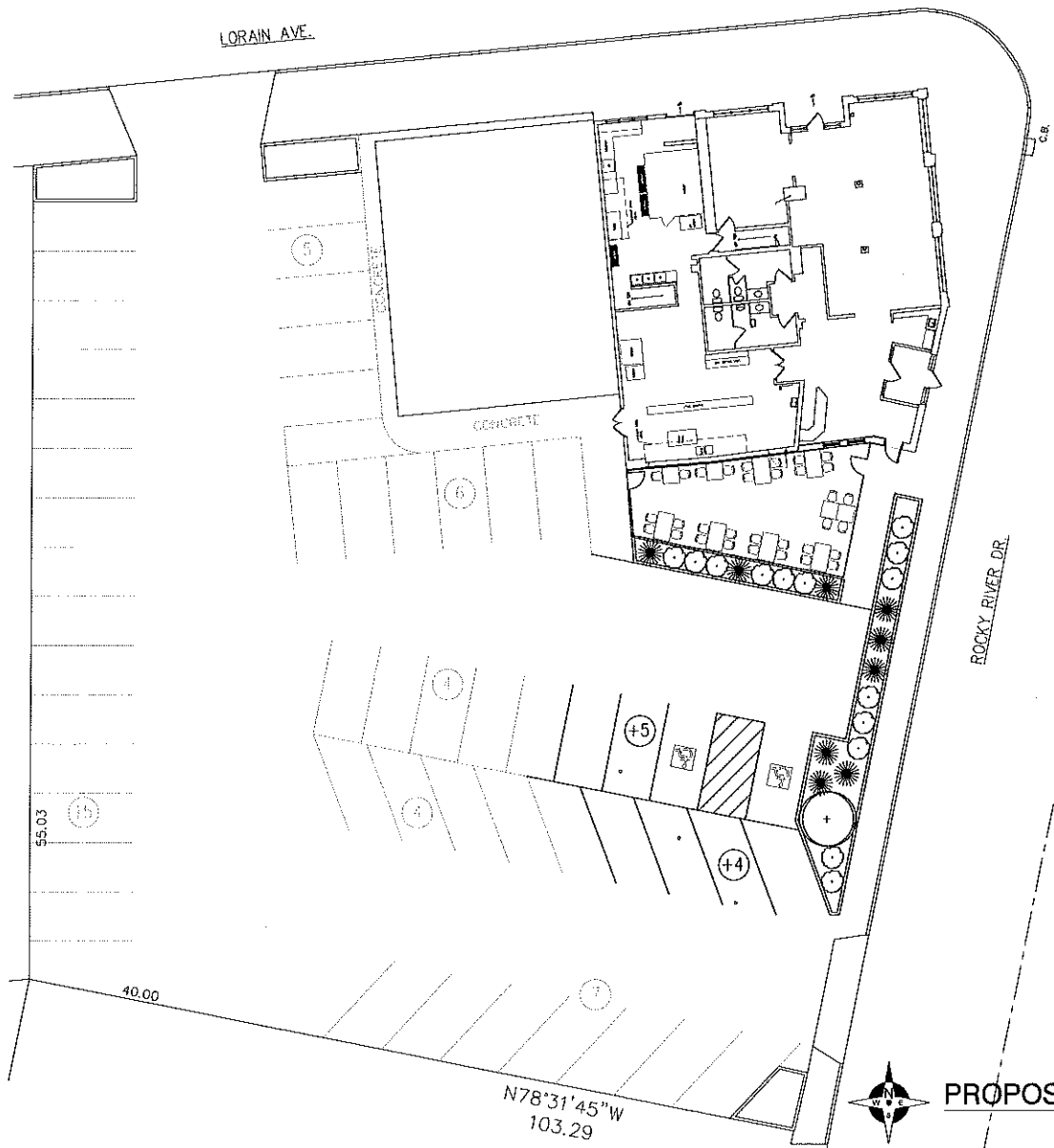


17209 Lorain Avenue - Kamms Corners
Cleveland, Ohio 44111

Issue Date: 10-19-2021
Job No: 21034

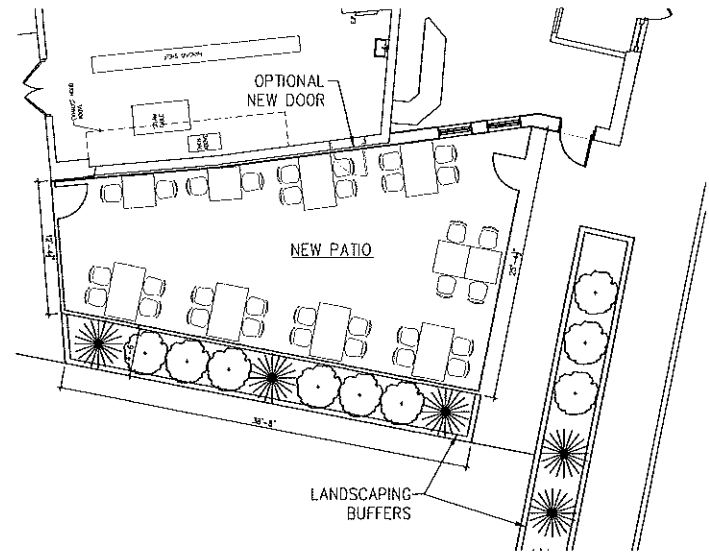
1/8" SCALE - FLOOR PLANS

A2.1



PROPOSED SITE PLAN

1" = 10'



ENLARGED PATIO PLAN

3/16" = 1'-0"



17209 Lorain Avenue - Kamms Corners
Cleveland, Ohio 44111

1" = 10' SCALE - SITE PLANS

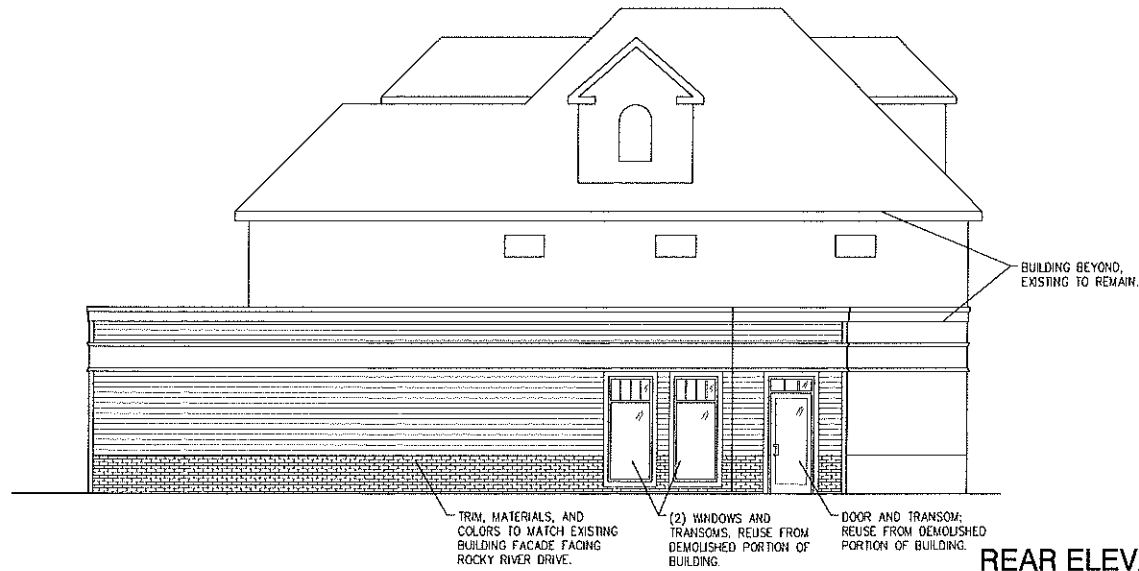
Issue Date: 12-03-2021
Job No: 21034

A1.1



SIDE ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



17209 Lorain Avenue - Kamms Corners
Cleveland, Ohio 44111

Issue Date: 12-03-2021
Job No: 21034

1/4" SCALE - ELEVATIONS

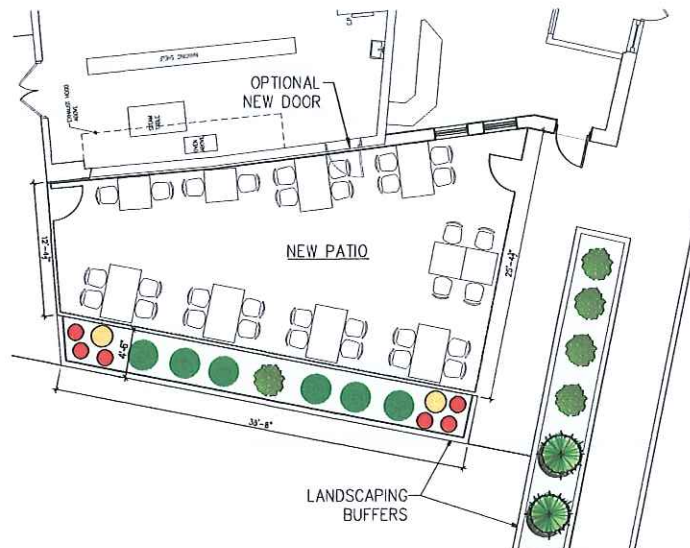
A1.2



Reuse
door

Reuse
2 windows

Reuse fence



ENLARGED PATIO PLAN
3/16" = 1'-0"

Plant List					
ID	Qty	Botanical Name	Common Name	Scheduled Size	Mature Size
AP-CS	1	Acer platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	#15	25' wide x 15' tall
BU-WG	6	Buxus m.y. 'Winter Gem'	Winter Gem Boxwood	24"	3' x 4'
HT-PM	18	Hemotocallis 'Pardon Me'	Pardon Me Daylily	#2	1.5' x 1.5'
PL-SH	3	Picea s. 'Milliformis'	Bird's Nest Spruce	#6	6' x 6'
RU-GO	14	Rudbeckia hidalga var. sullivantii 'Goldstump'	Goldstump Black-Eyed Susan	#1	2' x 3'
BJ-DA	8	Spirea japonica 'Galien' spp#31,712, cbr#4072	Double Play® Artisan® Spirea	#3	3' x 3'

1" = 10'

2/2/2023

GAD

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MORTON'S
Landscape Development Company

www.mortonslandscape.com
ph: 440.238.3550
P.O. Box 897, Columbia Station, Ohio 44028

17209 Lorain Avenue
Kamm's Corner

Planting Plan

17209 Lorain Avenue Plant Palatte



Crimson Sentry Norway Maple



Winter Gem Boxwood



Pardon Me Daylily



Bird's Nest Spruce



Photo courtesy of Walters Gardens.

Goldsturm Black-Eyed Susan



Double Play® Artisan® Spirea



EC2021-033 – Cleveland Midtown Delta Hotel Renovation: Seeking Final Approval

Project Address: 3614 Euclid Avenue

Project Representatives: Bill Walsh, Walsh Associates

Chris Kaczmar, Kaczmar Architects

Christine Raymond, Kaczmar Architects



CLEVELAND MIDTOWN DELTA HOTEL HISTORIC CONVERSION

3614 EUCLID AVENUE
CLEVELAND, OHIO 44115

CRIMSON CLEVELAND HOTEL INVESTORS, LLLP

DESIGN REVIEW
03/03/2022

PROJECT MANAGER:
Walsh Associates, Inc.
44 Redfield st.
Rye, NY 10580

Prepared by:
Kaczmar architects incorporated
1468 W. 9th St. Suite 400
Cleveland, OH 44113
p: 216.687.1555 fax: 216.687.1558

INTERIOR DESIGN
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160 Pears Ave, Suite 412
Toronto, ON MSR 3PB Canada
p. 1 (416) 537-7991

CIVIL ENGINEER
Karpinski Engineering
3135 Euclid Ave.
Cleveland, OH 44115
p. (216) 391-3700

MECHANICAL /ELECTRICAL ENGINEER
Karpinski Engineering
3135 Euclid Ave.
Cleveland, OH 44115
p. (216) 391-3700

STRUCTURAL ENGINEER
Thorson Baker & Associates
3030 W. Streetsboro Rd.
Richfield, OH 44286
p. (330) 659-6688

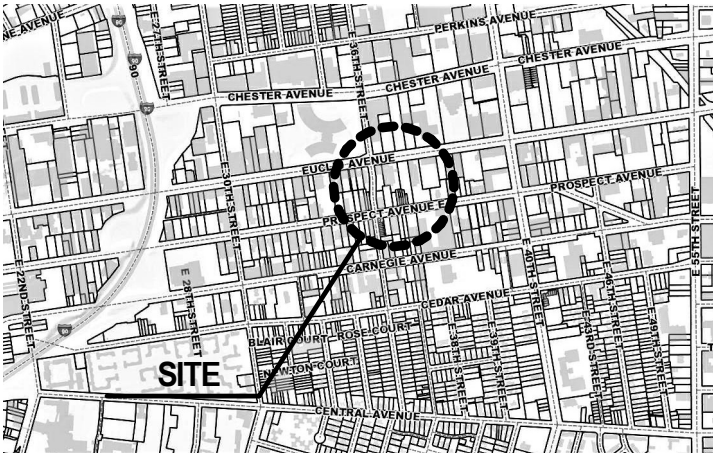
SURVEYING
Garrett & associates Surveying
700 Beta Drive Suite 200
Cleveland, OH 44143
p. (440) 449-4008

LANDSCAPE ARCHITECTURE
James S. McKnight Landscape Architecture
P.O. Box 14158
Cleveland, OH 44114
p. (216) 952-2408

FOODSERVICE DESIGN
TriMark SSKemp
4567 Willow Parkway
Cleveland, OH 44125
p. (216) 271-7700

HISTORIC PRESERVATION CONSULTANT
Naylor Wellman, LLC
1325 Inglewood Drive
Cleveland Heights, OH 44121
216-482-1179

LOCATION MAP



PROJECT INFORMATION:

SITE ACREAGE: +/- 2.02 ACRES

THE EXISTING 10-STORY HOTEL, ORIGINALLY CONSTRUCTED AS A HOLIDAY INN, IS TO BE FULLY RENOVATED AND CONVERTED TO A DELTA HOTELS BY MARRIOTT.

GUEST ROOM MIX		
KING	108	57%
KING ADA	4	2%
KING SUITE	5	3%
QQ - ADA	4	2%
QUEEN	8	4%
QUEEN QUEEN	45	24%
SUITE QQ	14	7%
TOTAL:	188	100%

GROSS BUILDING AREAS

LEVEL	EXISTING	NEW TOTAL
Basement / Vault	590 SF	590 SF
Level 1	17,760 SF	17,490 SF
Level 2	10,000 SF	10,060 SF
Level 3	9,850 SF	10,060 SF
Level 4	9,850 SF	10,060 SF
Level 5	9,850 SF	10,060 SF
Level 6	9,850 SF	10,060 SF
Level 7	9,850 SF	10,060 SF
Level 8	9,850 SF	10,060 SF
Level 9	9,850 SF	10,060 SF
Level 10	9,850 SF	10,060 SF
Penthouse / Roof	3,540 SF	3,540 SF
	110,710 SF	112,120 SF





AERIAL VIEW FROM NORTH



AERIAL VIEW FROM EAST



CLEVELAND MIDTOWN DELTA HOTEL
HISTORIC CONVERSION
3614 EUCLID AVENUE
CLEVELAND, OHIO 44115
CRIMSON CLEVELAND HOTEL INVESTORS, LLLP

Date: 02/24/22
Scale:
Sheet: 002

Kaczmar architects incorporated
cleveland ohio
1468 West 9th Street #400
Cleveland, OH 44113
P:216.687.1555 F:216.687.1558





EXISTING VIEW FROM EAST



EXISTING VIEW FROM NORTH



EXISTING VIEW FROM NORTHWEST



EXISTING VIEW FROM SOUTH

PROSPECT AVENUE

E. 36th STREET

EUCLID AVENUE

EXISTING 10- STORY HOTEL

EXISTING
MONUMENT SIGN



EXISTING SITE PLAN

SCALE: 1" = 40'-0"



CLEVELAND MIDTOWN DELTA HOTEL
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architects incorporated
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Date: 02/24/22
Scale: 1" = 40'-0"
Sheet: X001



SITE DATA	
LOT AREA:	+/-2.02 ACRES
ZONING DISTRICT:	GR-E4, GENERAL BUSINESS
HEIGHT DISTRICT:	4
AREA DISTRICT:	E
EXISTING USE:	HOTEL, NO CHANGE IN USE
PARKING REQUIRED PER ZONING CODE 349.04: 1 for each dwelling unit, plus 1 for each 4 guest rooms, plus 1 for each 3 employees	
DWELLING UNITS	= 0
GUEST ROOMS 188 / 4	= 47
EMPLOYEES 15 PER SHIFT	= 15
TOTAL REQUIRED:	= 62
ACCESSIBLE SPACES:	= 5 (5 REQUIRED)
EV SPACES:	= 2
STANDARD SPACES:	=135
PARKING PROVIDED:	=142
BIKE SPACES PROVIDED:	= 8

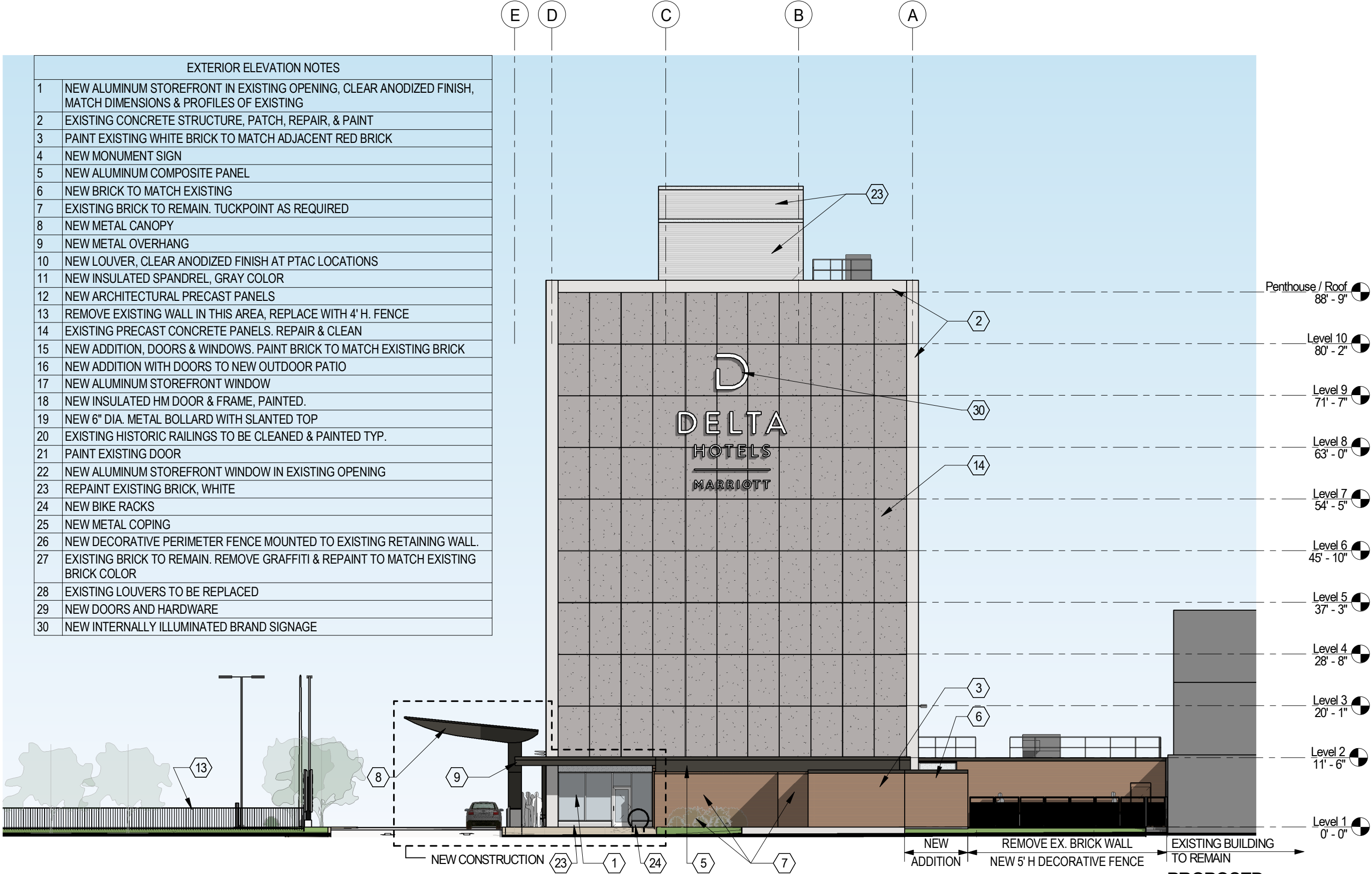
- NEW DECORATIVE FENCE
- BIKE PARKING
- NEW PORTE COCHERE
- NEW MONUMENT SIGN
- NEW DECORATIVE FENCE



PROPOSED SITE PLAN

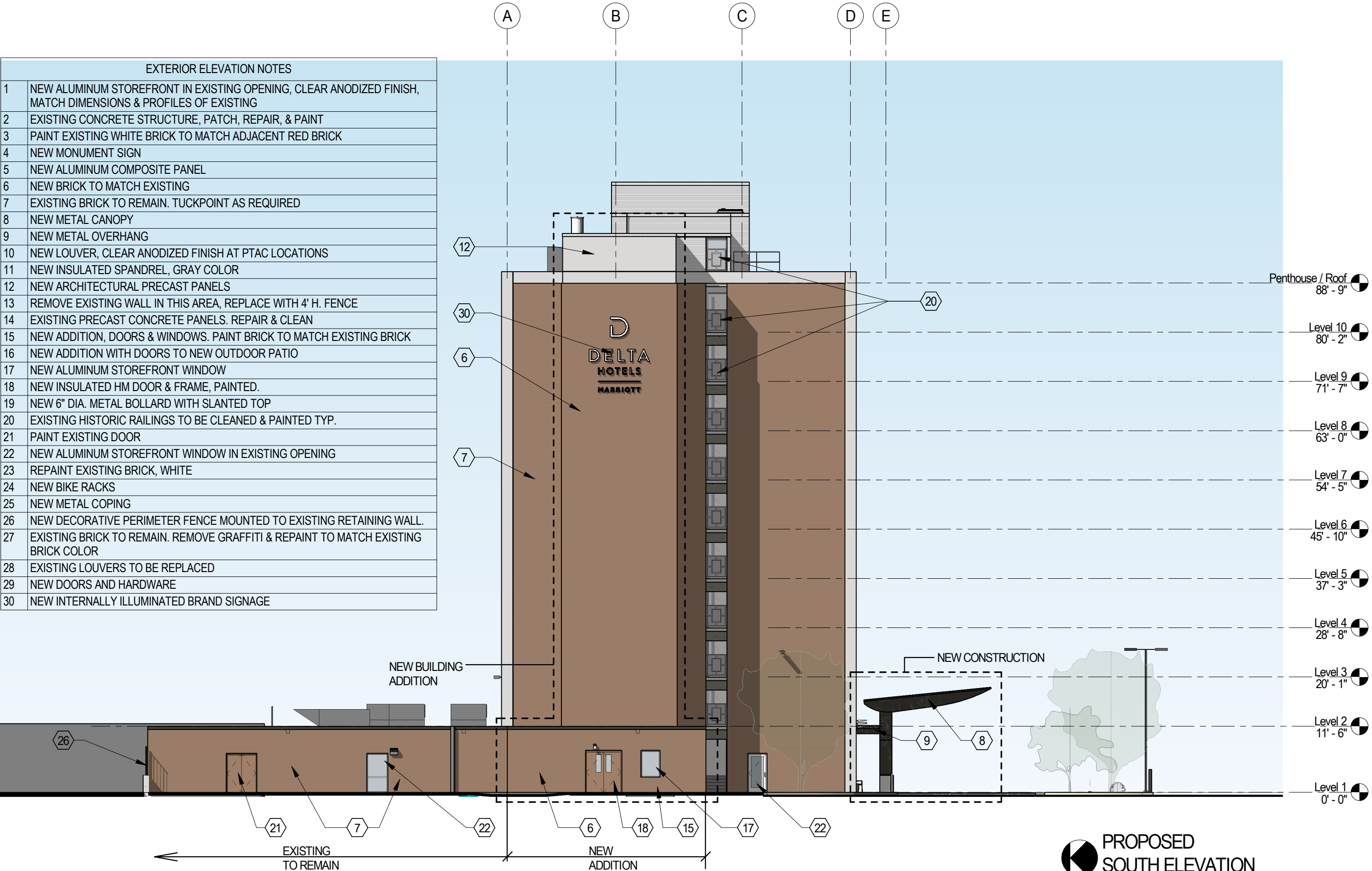
SCALE: 1" = 50'-0"

EXTERIOR ELEVATION NOTES	
1	NEW ALUMINUM STOREFRONT IN EXISTING OPENING, CLEAR ANODIZED FINISH, MATCH DIMENSIONS & PROFILES OF EXISTING
2	EXISTING CONCRETE STRUCTURE, PATCH, REPAIR, & PAINT
3	PAINT EXISTING WHITE BRICK TO MATCH ADJACENT RED BRICK
4	NEW MONUMENT SIGN
5	NEW ALUMINUM COMPOSITE PANEL
6	NEW BRICK TO MATCH EXISTING
7	EXISTING BRICK TO REMAIN. TUCKPOINT AS REQUIRED
8	NEW METAL CANOPY
9	NEW METAL OVERHANG
10	NEW LOUVER, CLEAR ANODIZED FINISH AT PTAC LOCATIONS
11	NEW INSULATED SPANDREL, GRAY COLOR
12	NEW ARCHITECTURAL PRECAST PANELS
13	REMOVE EXISTING WALL IN THIS AREA, REPLACE WITH 4' H. FENCE
14	EXISTING PRECAST CONCRETE PANELS. REPAIR & CLEAN
15	NEW ADDITION, DOORS & WINDOWS. PAINT BRICK TO MATCH EXISTING BRICK
16	NEW ADDITION WITH DOORS TO NEW OUTDOOR PATIO
17	NEW ALUMINUM STOREFRONT WINDOW
18	NEW INSULATED HM DOOR & FRAME, PAINTED.
19	NEW 6" DIA. METAL BOLLARD WITH SLANTED TOP
20	EXISTING HISTORIC RAILINGS TO BE CLEANED & PAINTED TYP.
21	PAINT EXISTING DOOR
22	NEW ALUMINUM STOREFRONT WINDOW IN EXISTING OPENING
23	REPAINT EXISTING BRICK, WHITE
24	NEW BIKE RACKS
25	NEW METAL COPING
26	NEW DECORATIVE PERIMETER FENCE MOUNTED TO EXISTING RETAINING WALL.
27	EXISTING BRICK TO REMAIN. REMOVE GRAFFITI & REPAINT TO MATCH EXISTING BRICK COLOR
28	EXISTING LOUVERS TO BE REPLACED
29	NEW DOORS AND HARDWARE
30	NEW INTERNALLY ILLUMINATED BRAND SIGNAGE

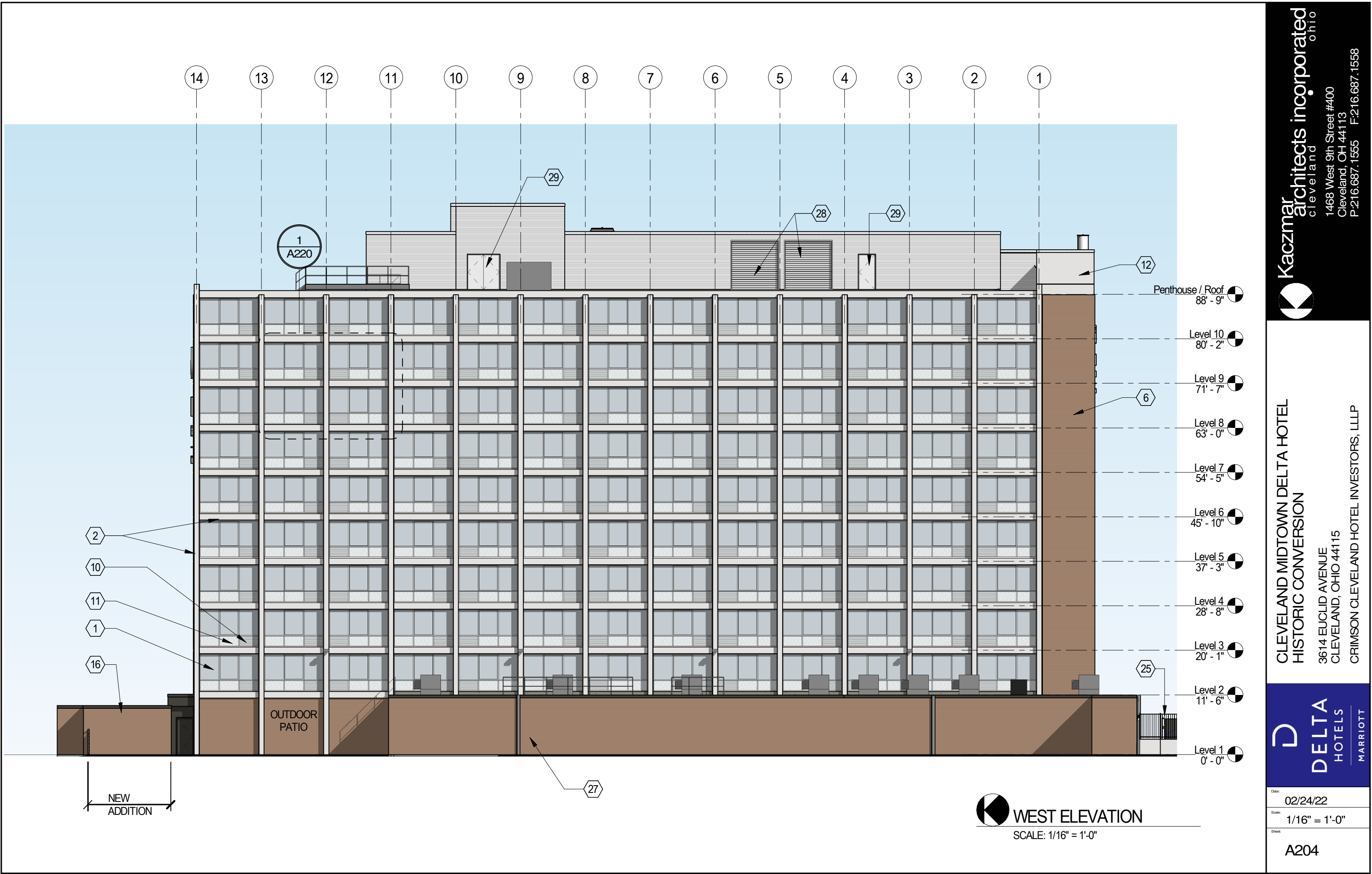


PROPOSED
 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

EXTERIOR ELEVATION NOTES	
1	NEW ALUMINUM STOREFRONT IN EXISTING OPENING, CLEAR ANODIZED FINISH, MATCH DIMENSIONS & PROFILES OF EXISTING
2	EXISTING CONCRETE STRUCTURE, PATCH, REPAIR, & PAINT
3	PAINT EXISTING WHITE BRICK TO MATCH ADJACENT RED BRICK
4	NEW MONUMENT SIGN
5	NEW ALUMINUM COMPOSITE PANEL
6	NEW BRICK TO MATCH EXISTING
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21	PAINT EXISTING DOOR
22	NEW ALUMINUM STOREFRONT WINDOW IN EXISTING OPENING
23	REPAINT EXISTING BRICK, WHITE
24	NEW BIKE RACKS
25	NEW METAL COPING
26	NEW DECORATIVE PERIMETER FENCE MOUNTED TO EXISTING RETAINING WALL.
27	EXISTING BRICK TO REMAIN. REMOVE GRAFFITI & REPAINT TO MATCH EXISTING BRICK COLOR
28	EXISTING LOUVERS TO BE REPLACED
29	NEW DOORS AND HARDWARE
30	NEW INTERNALLY ILLUMINATED BRAND SIGNAGE



PROPOSED
SOUTH ELEVATION
SCALE: 1/16" = 1'-0"







CLEVELAND MIDTOWN DELTA HOTEL
HISTORIC CONVERSION
3614 EUCLID AVENUE
CLEVELAND, OHIO 44115
CRIMSON CLEVELAND HOTEL INVESTORS, LLLP

Date: 02/24/22
Scale:
Sheet: A311

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CLEVELAND MIDTOWN DELTA HOTEL
HISTORIC CONVERSION
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CRIMSON CLEVELAND HOTEL INVESTORS, LLLP



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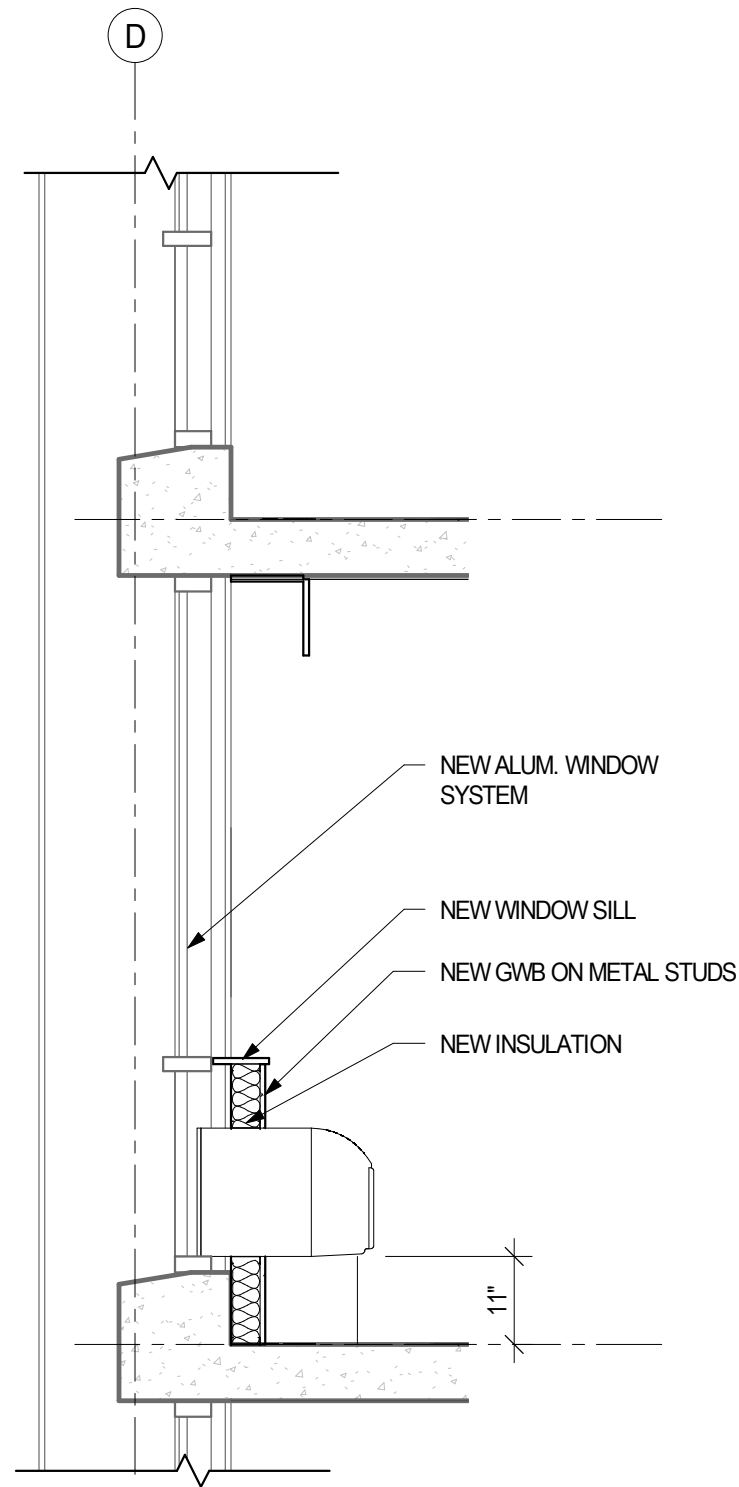
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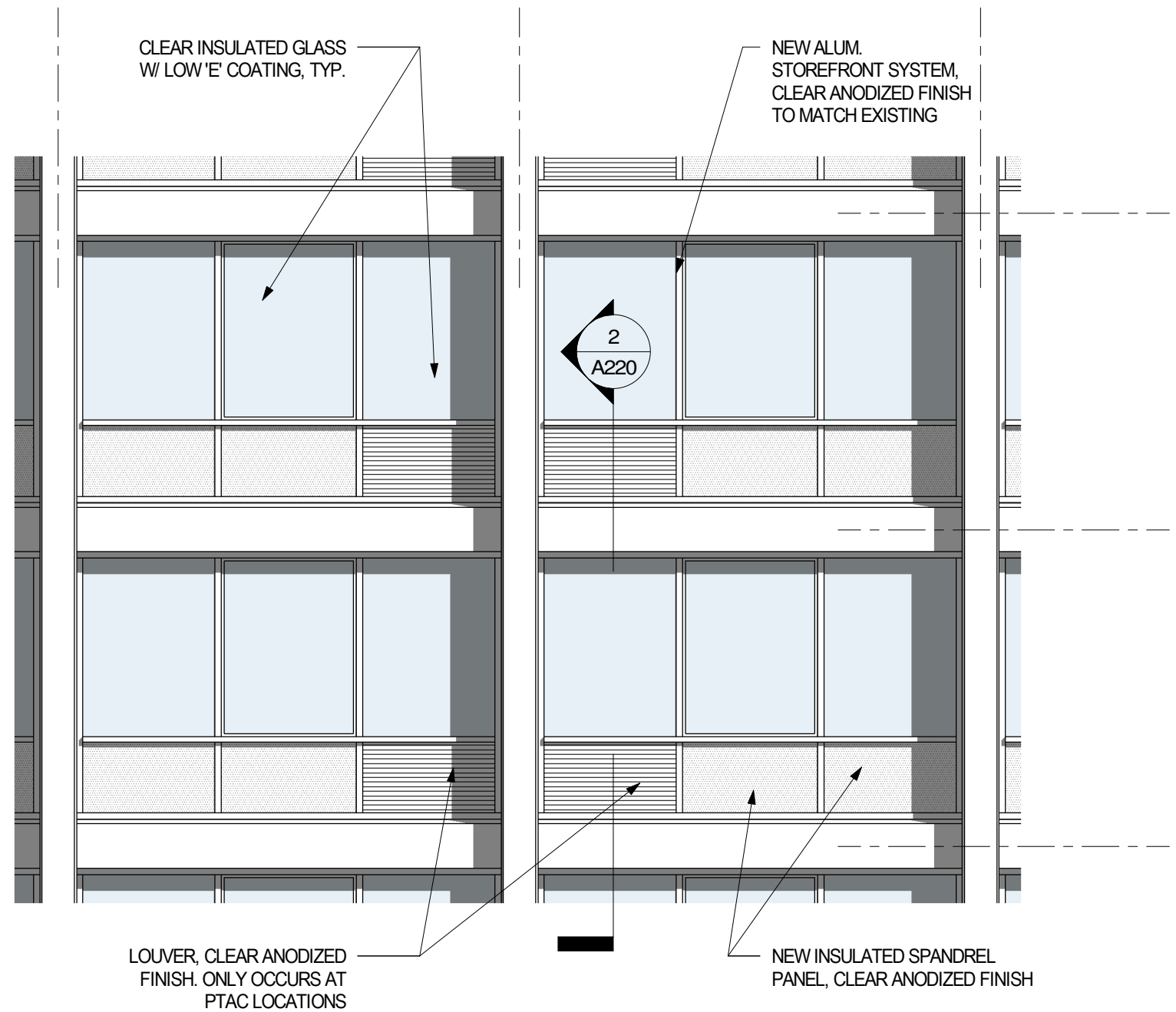
CLEVELAND MIDTOWN DELTA HOTEL
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Date: 02/24/22
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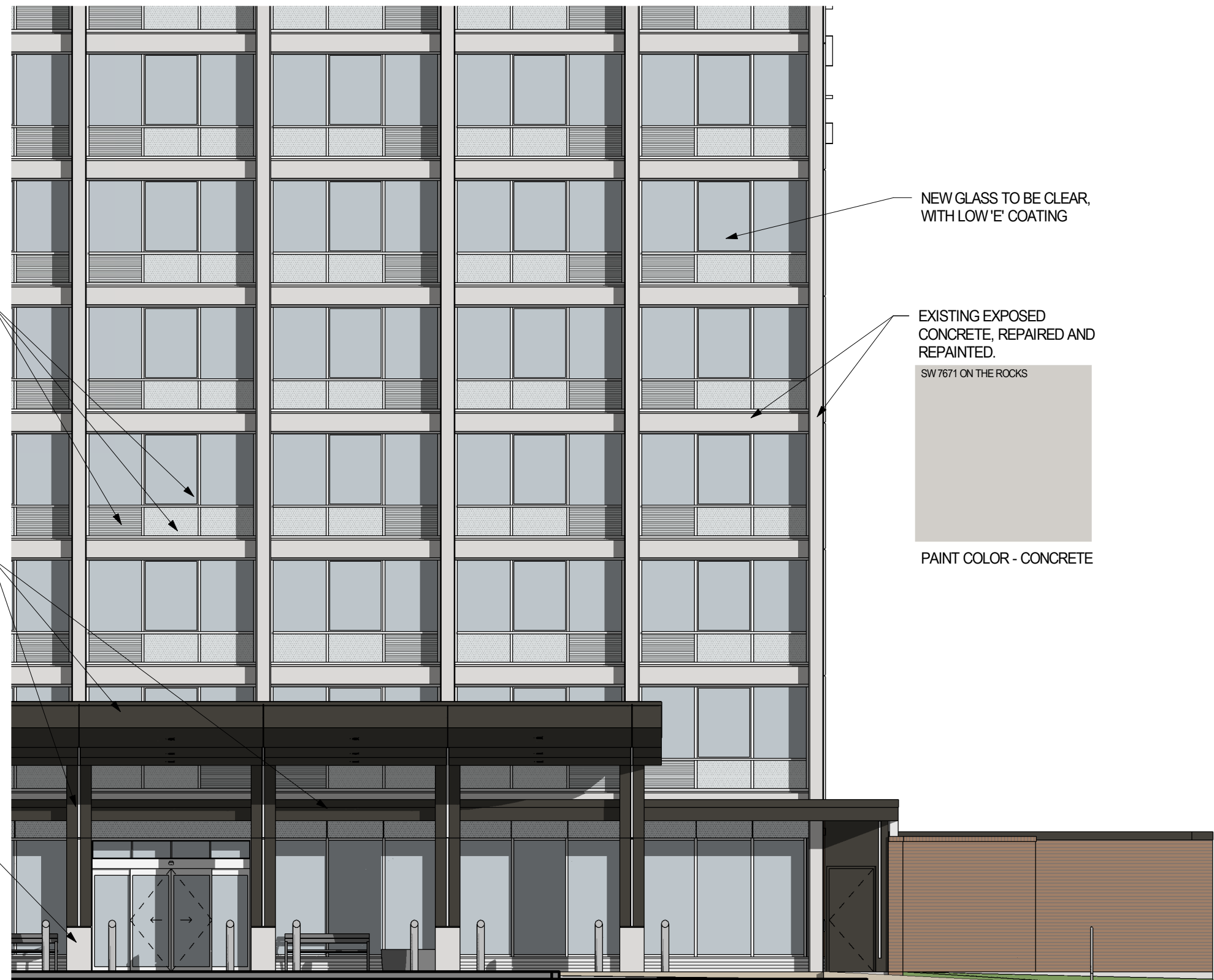
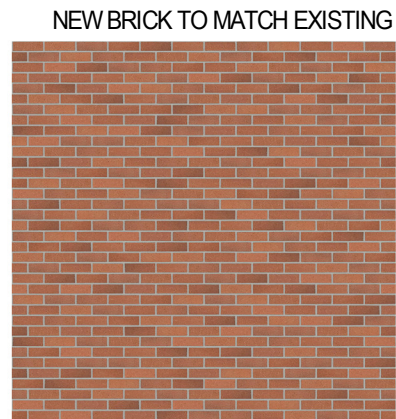
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2 SECTION @ WINDOW
A220 SCALE: 1/2" = 1'-0"



1 ENLARGED WINDOW ELEVATION
A220 SCALE: 1/4" = 1'-0"



NEW GLASS TO BE CLEAR,
WITH LOW 'E' COATING

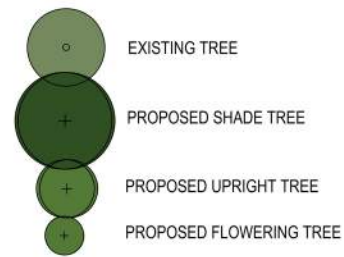
EXISTING EXPOSED
CONCRETE, REPAIRED AND
REPAINTED.

SW 7671 ON THE ROCKS

PAINT COLOR - CONCRETE

PARTIAL ELEVATION - EXTERIOR MATERIALS

KEY



Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
Trees					
ARR	7	Acer rubrum 'Red Sunset' / Red Maple	2 1/2\" Cal.	B&B	30' O.C.
AC	9	Amelanchier canadensis / Serviceberry	7\" Clump	B&B	
CBF	2	Carpinus betulus 'fastigiata' / Pyramidal European Hornbeam	2\" Cal.	B&B	18\" O.C.
MS	14	Malus 'Spring Snow' / Spring Snow Crabapple	2\" Cal.	B&B	
Shrubs					
BVV	20	Buxus 'Vardaar Valley' / Boxwood	18\"	No. 3	2' O.C.
JVG	84	Juniperus virginiana 'Grey Owl' / Medium Juniper	24\"	No. 5	3' O.C.
MP	20	Myrica pennsylvanica / Northern Bayberry	30\"	No. 5	3' O.C.
SBG	27	Spiraea x bumalda 'Gold Flame' / Pink Spirea	15\"	No. 3	3' O.C.
SMP	10	Syringa meyeri 'Paladin' / Paladin Lilac	24\"	B&B	5' O.C.
Grasses					
CAR	45	Carex 'Blue Zinger' / Sedge Grass	Clump	No. 1	18\" O.C.
CAL	160	Calamagrostis 'Karl Forester' / Reed Grass	Clump	No. 2	24\" O.C.
PAN	100	Panicum virgatum 'Shenandoah' / Red Switch Grass	Clump	No. 2	24\" O.C.
Perennials					
NEP	135	Nepeta faassenii 'Walker's Low' / Walker's Low Catmint	Clump	No. 2	18\" O.C.



Stanley J. Kaczmar, License #4988
Expiration Date: 12/31/2021



Project Team:

INTERIOR DESIGN
Moncur Design Associates, Inc.
160 Pears Ave., Suite 412
Toronto, ON M5R 3P8 Canada
p. 1 (416) 537-7991

STRUCTURAL ENGINEER
Thorson Baker & Associates
3030 W. Streetsboro Rd.
Richfield, OH 44286
p. (330) 859-6668

MECHANICAL/ELECTRICAL ENGINEER
Karpinski Engineering
3135 Euclid Ave.
Cleveland, OH 44115
p. (216) 391-3700

CIVIL ENGINEER
Karpinski Engineering
3135 Euclid Ave.
Cleveland, OH 44115
p. (216) 391-3700

SURVEYING
Garrett & associates Surveying
700 Beta Drive Suite 200
Cleveland, OH 44143
p. (440) 449-0008

LANDSCAPE ARCHITECTURE
James S. McKnight Landscape Architecture
P.O. Box 14158
Cleveland, OH 44114
p. (216) 952-2408

FOODSERVICE DESIGN
TriMark SSKemp
4567 Willow Parkway
Cleveland, OH 44125
p. (216) 271-7700

ISSUE: DATE:

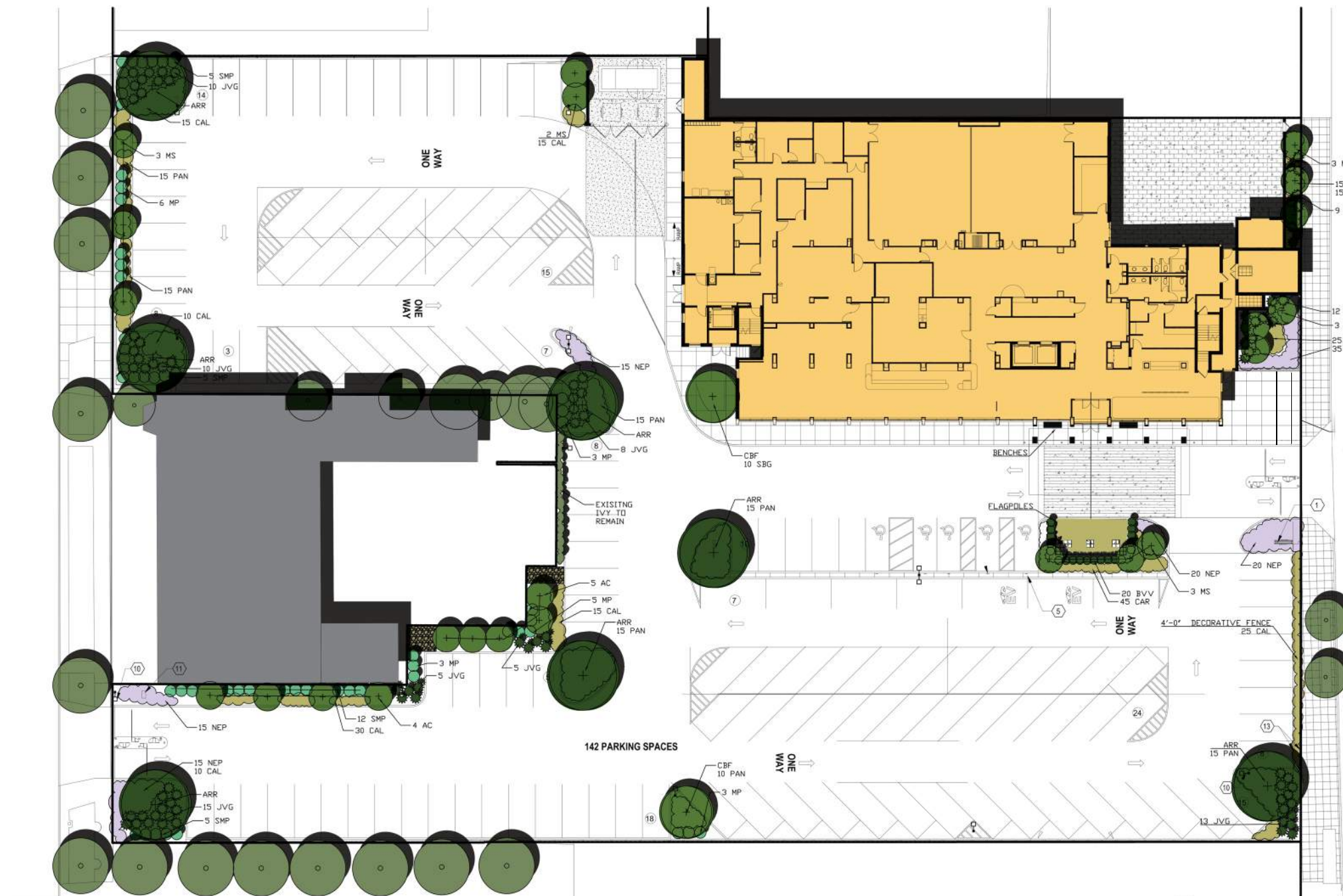


CLEVELAND MIDTOWN DELTA HOTEL HISTORIC CONVERSION
3614 EUCLID AVENUE
CLEVELAND, OHIO 44115

CLIENT:
CRIMSON CLEVELAND HOTEL INVESTORS, LLLP

LANDSCAPE PLAN

Scale: As indicated
Date: 12/20/21
Sheet: L1-100



LANDSCAPE PLAN
SCALE: 1" = 20'-0"



March 4, 2022

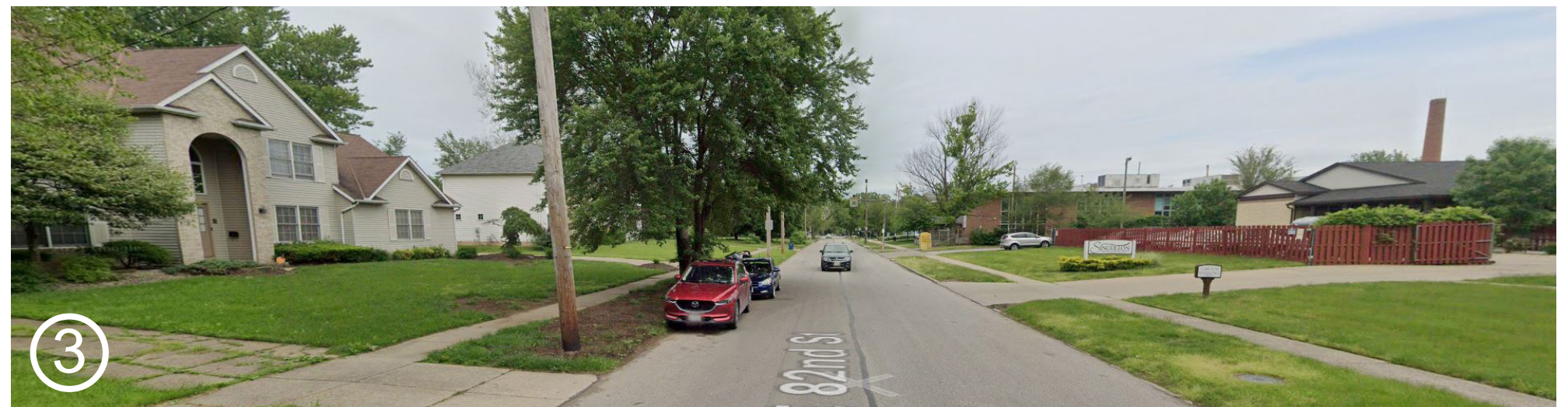
EC2022-002 – East 82nd Street Apartments New Construction: Seeking Final Approval

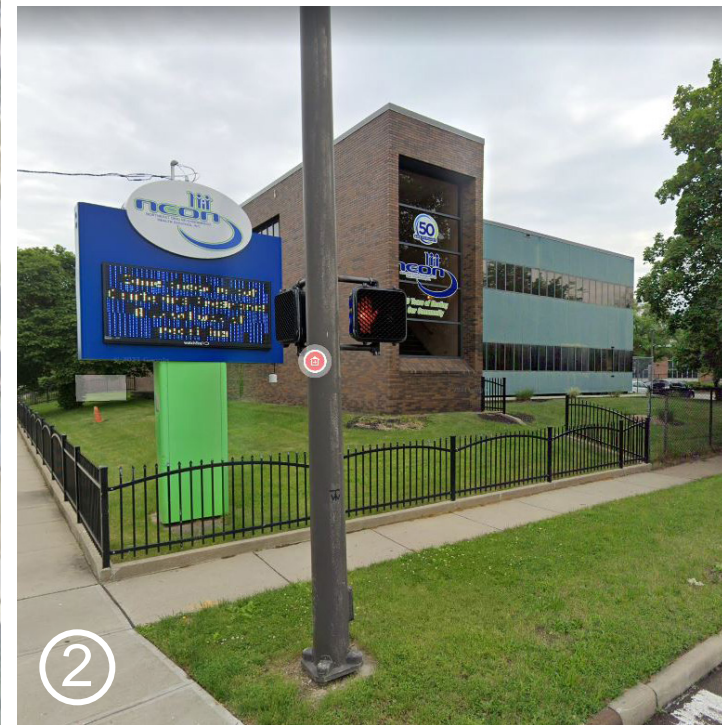
Project Address: 1830 East 82nd Street

Project Representative: Brandon Kline, Geis Companies

Note: the Planning Commission granted this project Schematic Design Approval with the Condition that applicant 1) Add landscape buffer on west & south property boundaries; 2) Consider change in material where Hardie board meets the ground to protect durability of material; 3) Study "eyebrows" over window section and the treatment.







PROJECT SUMMARY

GROUND FLOOR THROUGH 4TH FLOOR:

UNIT TYPE:	BLDG A:	BUILDING A:	39,584 GSF
STUDIO	12 UNITS	APARTMENT RENTABLE:	30,440 RSF
1 BEDROOM	23 UNITS	BUILDING A:	42 UNITS
2 BEDROOM	07 UNITS		
TOTAL UNITS	42 UNITS		

ZONING: MF-E2

LAND DENSITY

41,354*1.5 = 62,031SF USABLE AREA ALLOWED

39,584 SF USABLE AREA PROVIDED

BUILDING HEIGHT: 60' ALLOWED - 48' PROVIDED

PARKING REQUIRED: 42 UNITS REQUIRED - 42 PROVIDED

SITE AREA: +/- 0.949 ACRES

+/- 41,354 SF LOT AREA





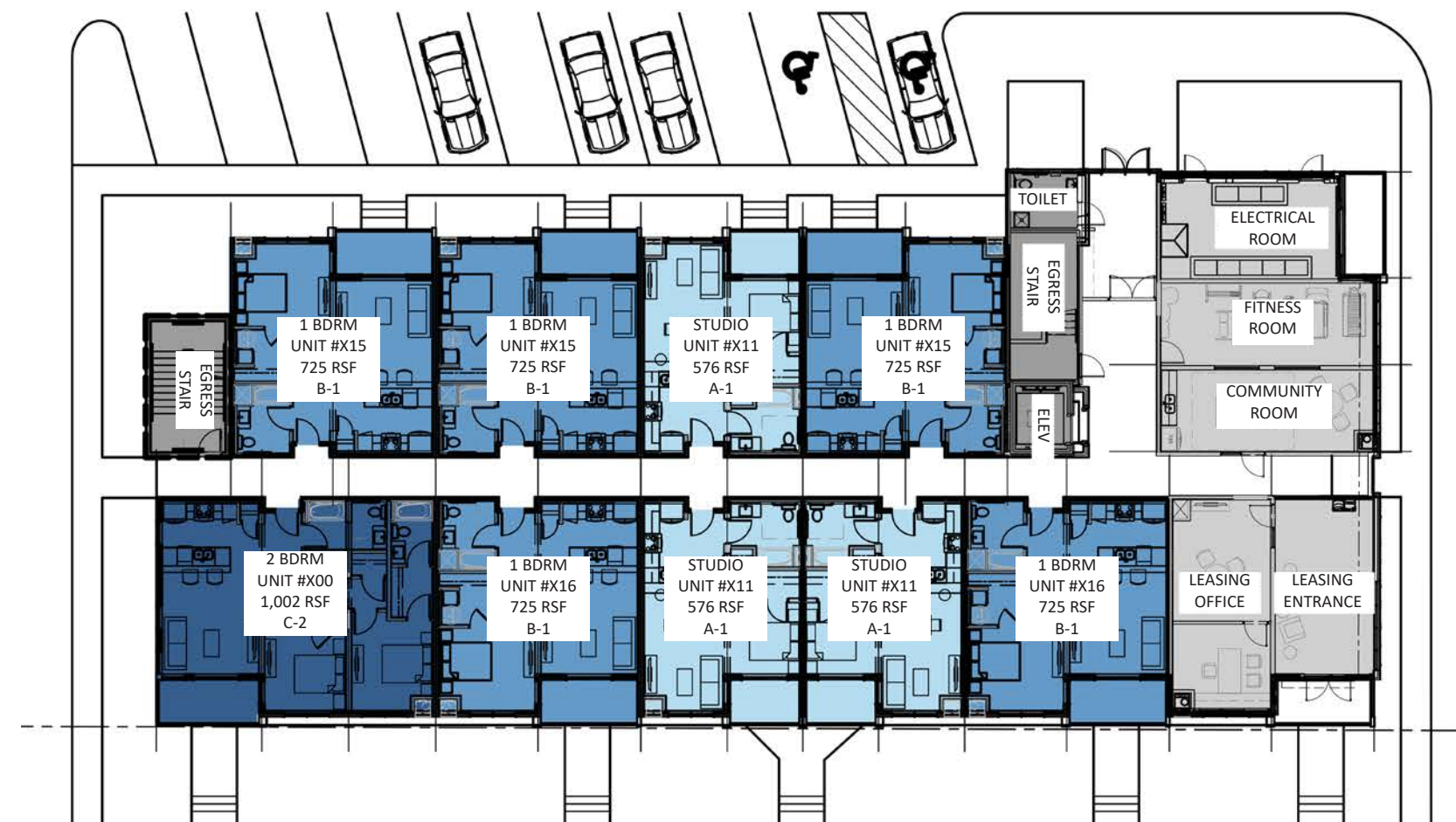
A-1 STUDIO - 576 RSF



B-1 1 BEDROOM - 718 RSF



C-2 2 BEDROOM - 1002 RSF



GROUND FLOOR PLAN

FLOOR PLANS

EAST 82ND STREET, CLEVELAND OHIO



SITE LIGHTING BOLLARD

ECLIPSE LIGHTING - LED BO SERIES
(TYPICAL)



SITE LIGHTING WALL PACK

LSI - MIRADA
(TYPICAL)



SITE LIGHTING POLE

LSI - MIRADA
(TYPICAL)

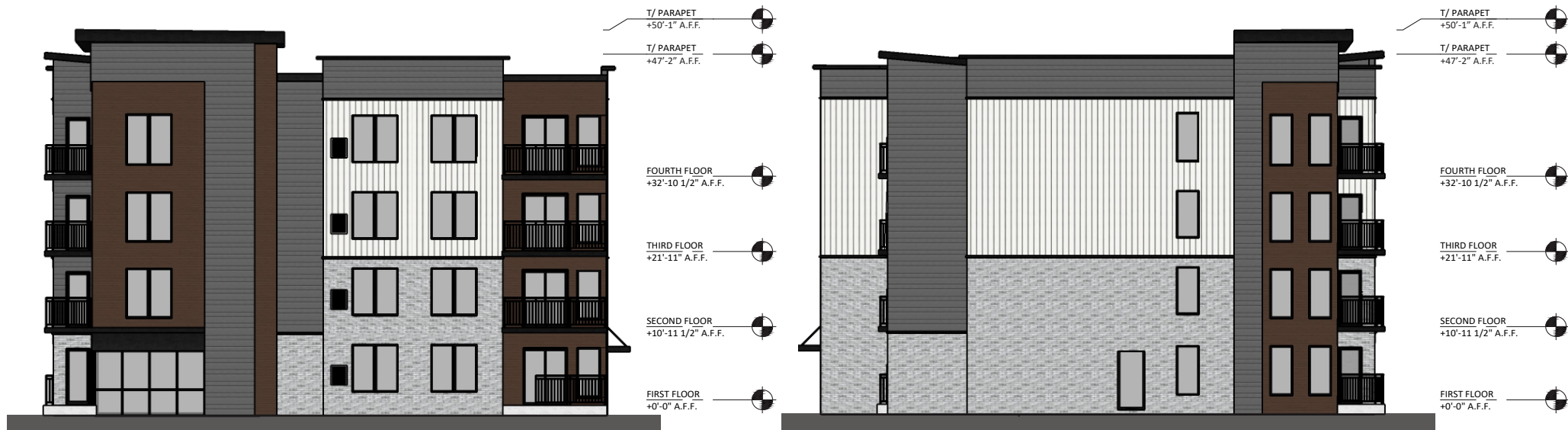


SITE LIGHTING SCNCE

WESTINGHOUSE - MAYSCLICK
(TYPICAL)



EAST ELEVATION



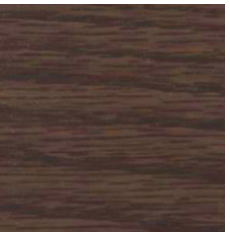
NORTH ELEVATION

SOUTH ELEVATION



WEST ELEVATION

PAC CLAD
FLUSH PANEL
"DARK OAK"



JAMES HARDIE
LAP SIDING
"GRAY SLATE"



JAMES HARDIE
BOARD & BATTEN
"ARCTIC WHITE"



SCHORY 4" X 16"
MASONRY BLEND
"BUNKERHILL
BLEND"



PAC CLAD
FASCIA
"BLACK
ALUMINUM"



ELEVATIONS

EAST 82ND STREET, CLEVELAND OHIO



Magnolia x 'Betty'

Spring Snow Crabapple

Serviceberry

Upright Juniper

Bosnian Pine

Miss Kim Lilac

Sunset Double Yew

Boxwood

Dwarf Daylily

Purpurea Wintercreeper

Happy Returns Daylily

LEGEND

- ORNAMENTAL TREES - 2" CALIPER
CRABAPPLE, SERVICEBERRY, MAGNOLIA
- EVERGREEN TREES - 5' HT.
BOSNIAN PINE
- SHRUBS - LARGE 30"
DENSE YEW, VIBURNUM, JUNIPER, LILAC
- SHRUBS - SMALL 18"
ITEA, BOXWOOD, JUNIPER, SPIRAEA
- GRASSES/PERENNIALS/ GROUNDCOVER - 1 GAL.
DAYLILY, CATMINT, DWARF FOUNTAIN GRASS,
WINTER CREEPER

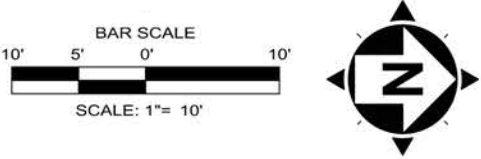
SHRUB PLANTING DETAIL
SCALE: NONE

RAISE SHRUB 3"-4" ABOVE FINISHED GRADE. SLOPE AWAY FROM SHRUB.
SOIL OR MULCH SHALL NOT COVER CROWN OF ROOT BALL.
3" MULCH
REMOVE BURLAP, ROPE, TWINE, ETC. FROM TOP 1/3 OF ROOT BALL.
TAMPED PLANTING MIX
COMPACTED TOPSOIL
2X ROOT BALL DIA.

TREE PLANTING DETAIL
SCALE: NONE

THIN BRANCHES BY 1/3 RETAINING NORMAL PLANT SHAPE
BLACK RUBBER HOSE AROUND TREE
#12 GAUGE DOUBLE TWISTED WIRE
2-1/4" X 2-1/4" X 8' HARDWOOD STAKE:
• 2 PER SHADE TREE
• 1 PER ORNAMENTAL
• 3 PER EVERGREEN
3" MIN. SHREDDED HARDWOOD MULCH
4" HIGH SAUCER AROUND PIT PERIMETER
PLANT MIX, TAMPED IN LAYERS
REMOVE BURLAP, ROPE AND WIRE FROM BALL TOP AND SIDES
2-3 TIMES DIA. OF ROOT BALL
BASE OF PIT ON UNDISTURBED SOIL

NOTES:
1. CROWN OF ROOT BALL TO BEAR THE SAME RELATION TO FINISH GRADE WHICH IT WAS GROWN AT THE NURSERY.
DO NOT DAMAGE ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
2. REMOVE TREE RINGS, TREE WRAP AND STAKES 1 YEAR AFTER INSTALLATION. NOTIFY OWNER PRIOR TO REMOVAL.









PLYGEM
SLIDING DOOR
"BLACK"



PICKET RAILING
"BLACK"



PAC CLAD
FLUSH PANEL
"DARK OAK"



JAMES HARDIE
LAP SIDING
"GRAY SLATE"



JAMES HARDIE
BOARD & BATTEN
"ARCTIC WHITE"



SCHORY 4" X 16"
MASONRY BLEND
"BUNKERHILL
BLEND"



PAC CLAD
FASCIA
"BLACK
ALUMINUM"



WINDOW SYSTEM
"BLACK"



SITE LIGHTING BOLLARD
ECLIPSE LIGHTING - LED BO SERIES
(TYPICAL)



SITE LIGHTING WALL PACK
LSI - MIRADA
(TYPICAL)



SITE LIGHTING POLE
LSI - MIRADA
(TYPICAL)



SITE LIGHTING SCONCE
WESTINGHOUSE - MAYSLICK
(TYPICAL)



OVERALL SITE LIGHTING PLAN
EAST 82ND STREET, CLEVELAND OHIO

PREVIOUSLY SUBMITTED



RENDERING - VIEW LOOKING SOUTH
EAST 82ND STREET, CLEVELAND OHIO

Downtown | Flats Design Review Case



March 4, 2022

DF2022-010 – Amtrak Station Exterior Signage: Seeking Final Approval

Project Address: 200 Cleveland Memorial Shoreway

Project Representative: Ed Kim, Amtrak



Contact:
Phil Redisch, Sr. Project Manager
predisch@mssign.com
201.249.1035

AMTRAK
200 Cleveland Memorial Shoreway
Cleveland, OH 44114
Attn: Ed Kim
Facilities Development Manager-Central
ed.kim@amtrak.com
314.502.5656



Client: AMTRAK
PO # 9510001749

Project:
CLEVELAND STATION
SIGNAGE UPGRADE

**Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114**

February 22, 2022

File Name: SO#8006

PM: P.REDISCH

Sales: K.CHERASHORE

All MS Sign drawings shall act as the control document. MS Sign reserves the right to revise pricing based on any revisions to the original specification. MS Sign does not accept "Approved as noted".

The layout / design are herein reserved to MS Sign and may not be used without its written permission. The original artwork is protected under Federal Copyright Laws. Make no reproductions.

PROJECT SUMMARY

The intent for the exterior sign program at the Amtrak Cleveland Station at 200 Cleveland Memorial Shoreway is to upgrade all exterior signage to current Amtrak national standards and to provide better define the facility's location to vehicular traffic.

DRAWINGS EXPRESS DESIGN INTENT ONLY AND ARE NOT FOR CONSTRUCTION

Fabricator is responsible for:
Final design & engineering of components indicated, including all aspects of mounting, erection, anchoring and attachment.

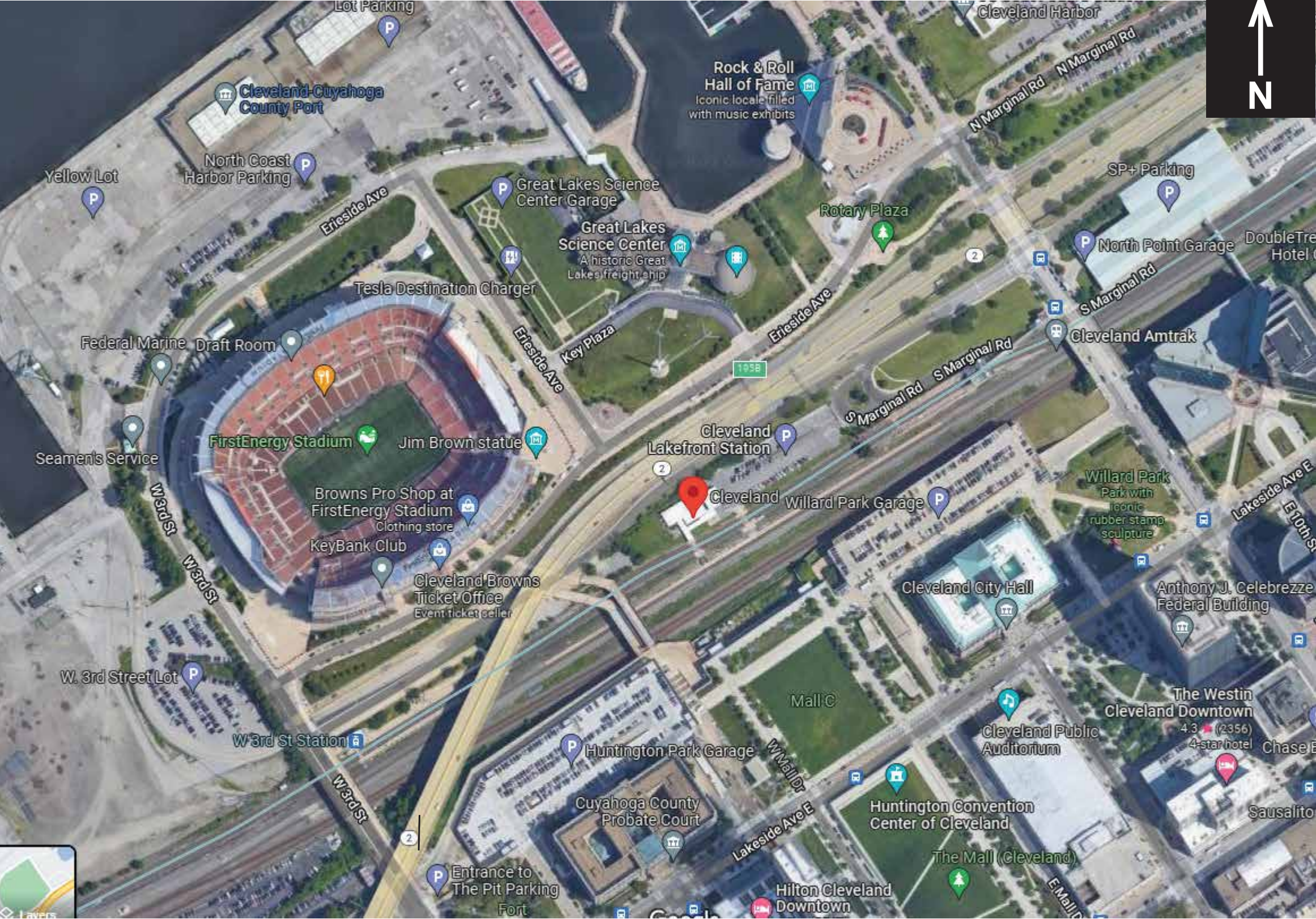
Structuraal integrity, electrical function and connections to power and communications sources to satisfy Owner's requirements.

Coordination with contractor and other trades, including but not limited to: lighting, structural, communications and landscaping schemes.

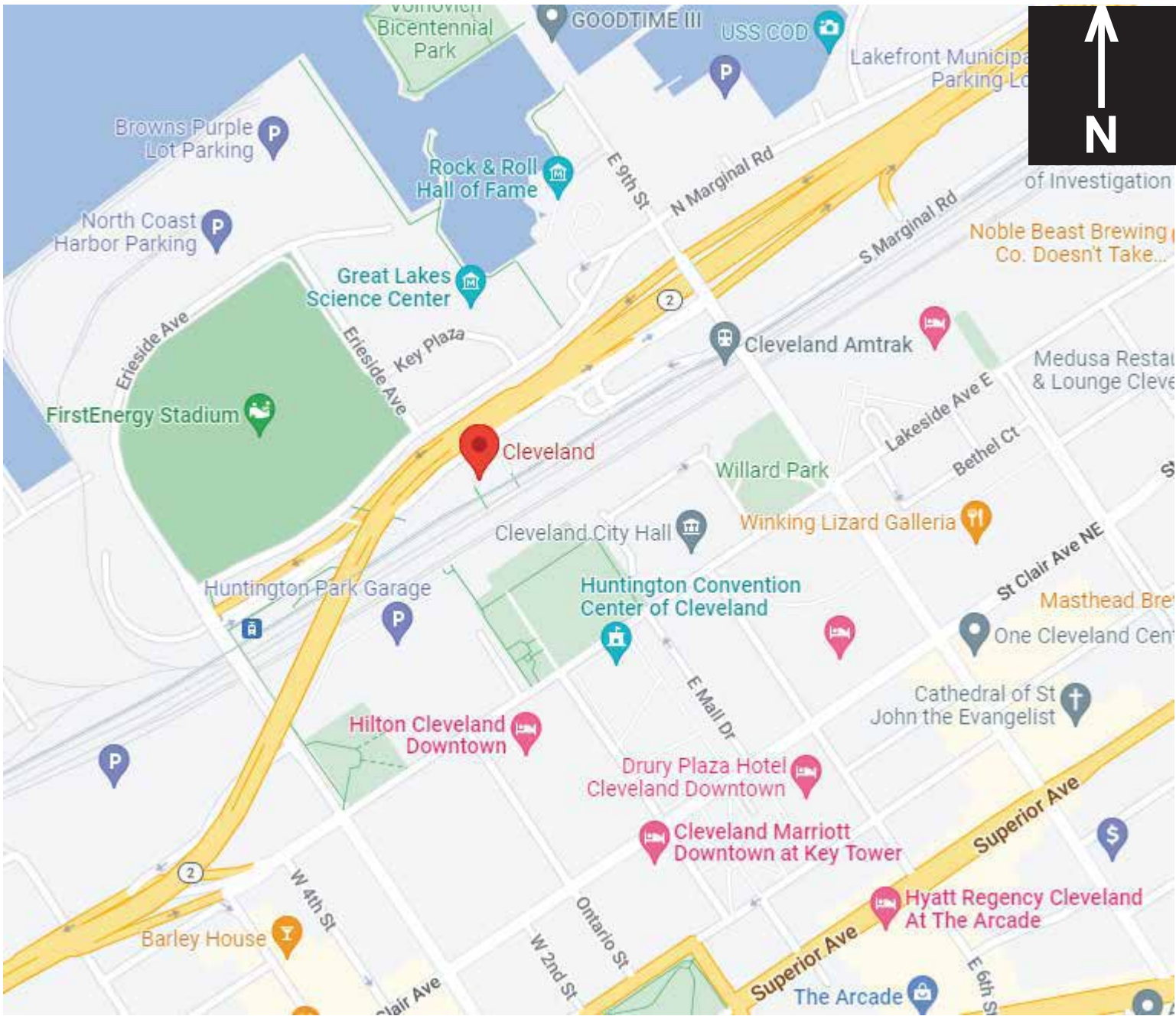
Varification of conditions in field prior to submission of shop drawings and samples.

If conditions warrant installation change or relocation of sign, shop drawings and elevations are to be submitted, with proposed changes to Owner for review and approval.

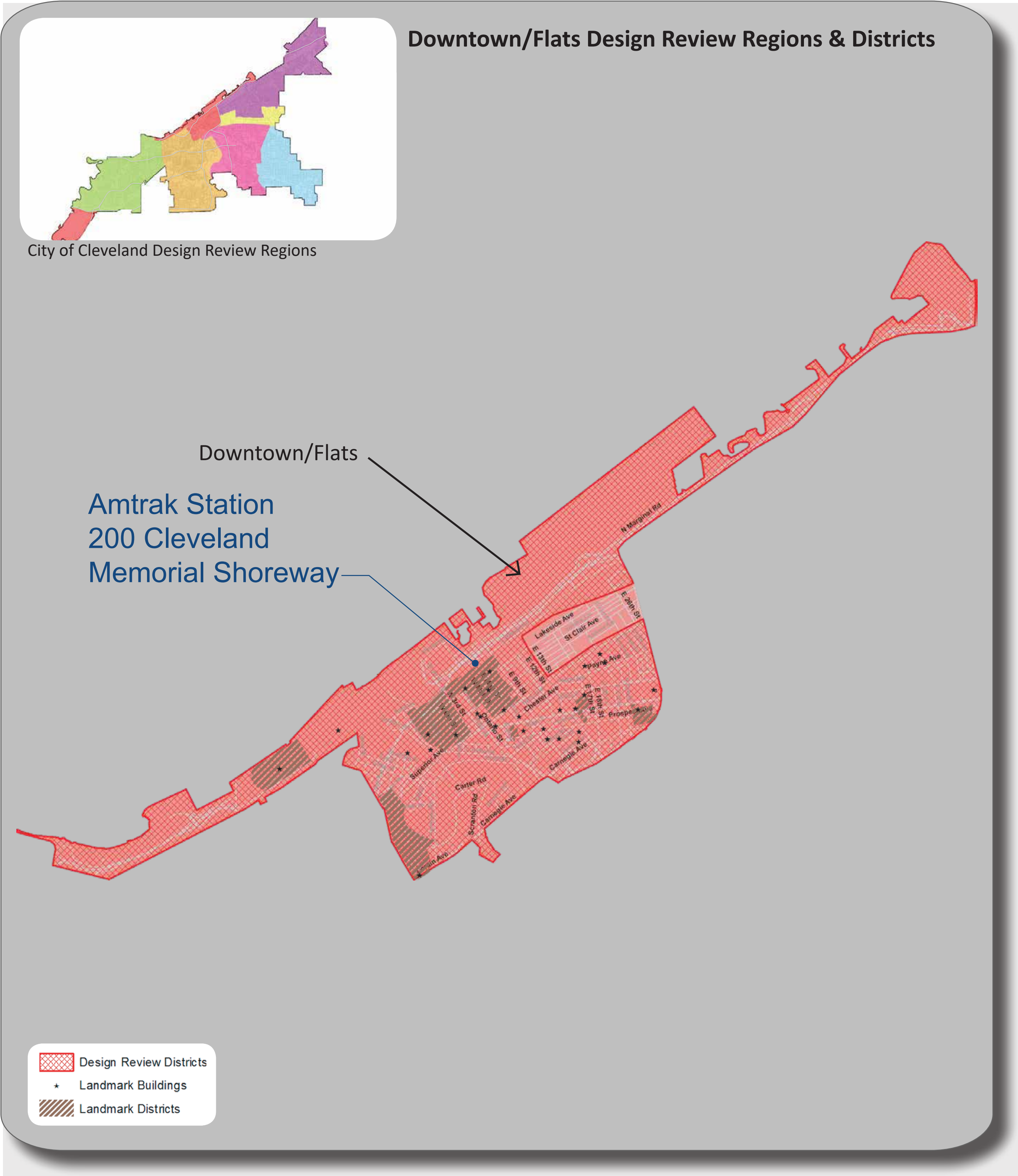
Submittals for approval prior to fabrication and installation, including but not limited to: shop drawings with seal of registered engineer and samples of materials, colors, applications and finishes.



Scale: 500 ft



Scale: 500 ft



Landscape: Currently no landscape plan. Amtrak Maintenance will restore landscape that has been impacted by a sign installation.

Client: **AMTRAK**
PO # 9510001749

Project:
**CLEVELAND STATION
SIGNAGE UPGRADE**

Site: **200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114**

Date: 01/23/22

Rev #:

File Name: **SO#8006
CLEVELAND STATION**

PM: **P.PREDISCH**

Drawn By:

Sales: **K.CHERASHORE**

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Approved (Sign Here)

Name: _____

Date: _____

FILE NAME: Amtrak_GDP_04_04_11_topo_survey.dwg

No.	Revisions	Date	By
1	ADDED VAL MAP BOUNDARY INFO	4/4/11	PK

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Office of Chief Engineer
STRUCTURES
National Railroad Passenger Corporation
30th Street Station, Philadelphia, Pennsylvania 19104

Approved	Date

ENGINEERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48142-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

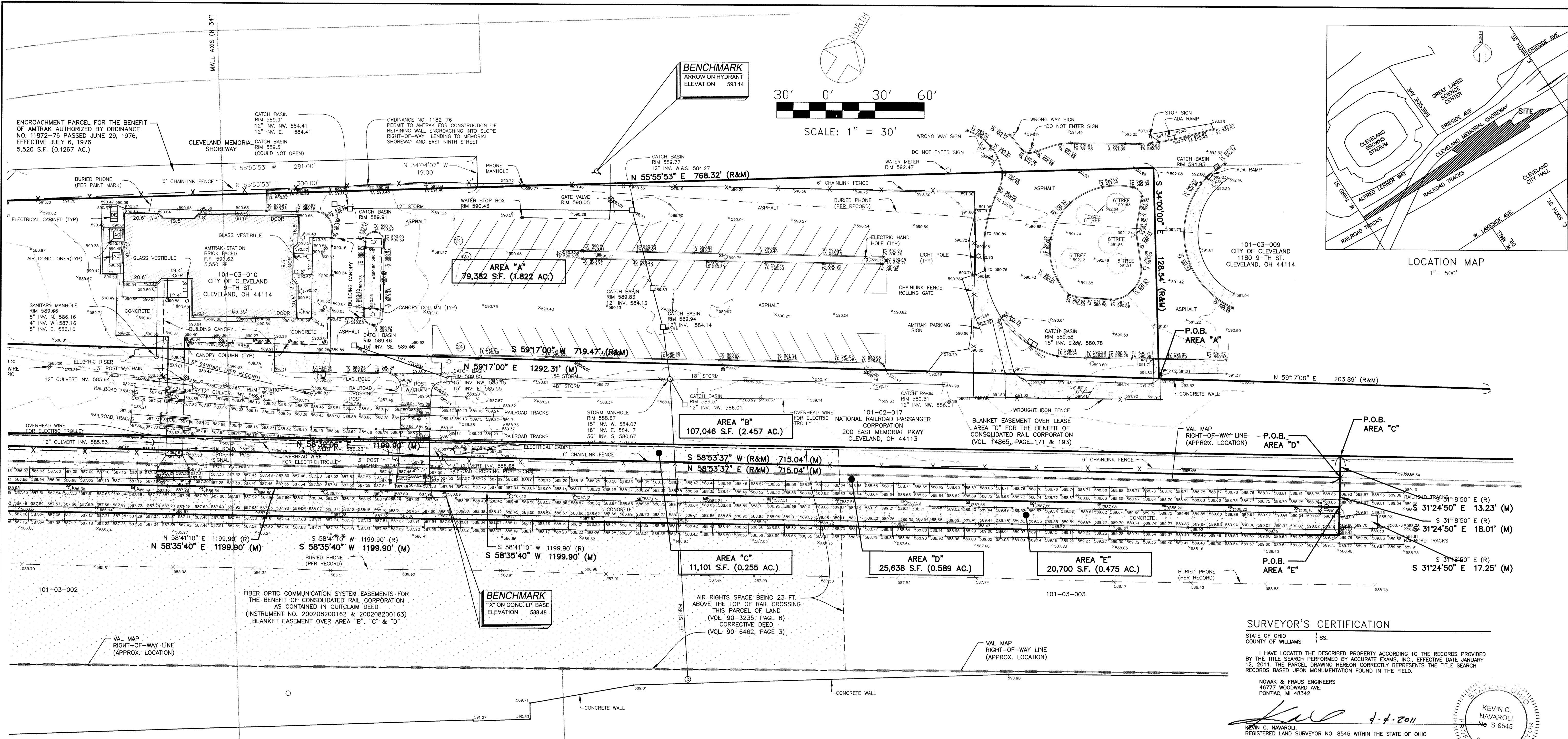
CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

CLEVELAND, CUYAHOGA COUNTY, OHIO
INTERCITY STATION ADA IMPROVEMENTS
20103202

TOPOGRAPHIC SURVEY

Designed	Drawn	SCD	Checked	KCN	Date	03/17/2011
----------	-------	-----	---------	-----	------	------------

File No: 276442
Work Elem. No: 2 OF 3
Sheet No: T-001



GENERAL NOTES

- FIELD WORK COMPLETED ON JANUARY 14, 2011.
- UTILITIES LOCATED BY O.U.P.S. (OHIO UTILITIES PROTECTION SERVICE) TICKET # A100601188 AND FIELD OBSERVATIONS. THE LOCATION OF ANY OTHER UNDERGROUND SERVICES WHICH MAY EXIST CAN ONLY BE DETERMINED IF A UTILITY PLAN IS FURNISHED TO THE SURVEYOR. NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
- ELEVATIONS ON RAILROAD TRACK ARE TOP OF RAIL CENTER OF RAIL.
- COORDINATES ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM.
- SURVEY COMPLETED UNDER EXTREME SNOW CONDITIONS, AND EXACT LOCATION OF PAVEMENT, CURBS, AND SURFACE STRUCTURES CANNOT BE GUARANTEED.
- VAL MAP RIGHT-OF-WAY LINE IS BASED ON A SCANNED IMAGE OF SUPPLEMENTAL SHEET NO. S.T.14 COVERING VALUATION SECTION V-9 OHIO, PENNSYLVANIA CENTRAL RAILROAD. LOCATION OF RIGHT-OF-WAY LINE DEPICTED HEREIN IS APPROXIMATE AND IS FOR ILLUSTRATION PURPOSES ONLY.

BENCHMARK NOTE

CLEVELAND REGIONAL GEODETIC SURVEY: Q.M. 1200
LOCATION: APPROX. 41' WEST OF CENTERLINE OF EAST 9TH ST. AND APPROX. 45' NORTH OF CENTERLINE OF LAKESIDE AVE.
TYPE: SURVEY DISK ON CONCRETE MONUMENT
SURVEY CONTROL: CRGS
ELEVATION: 644.27

LEGEND

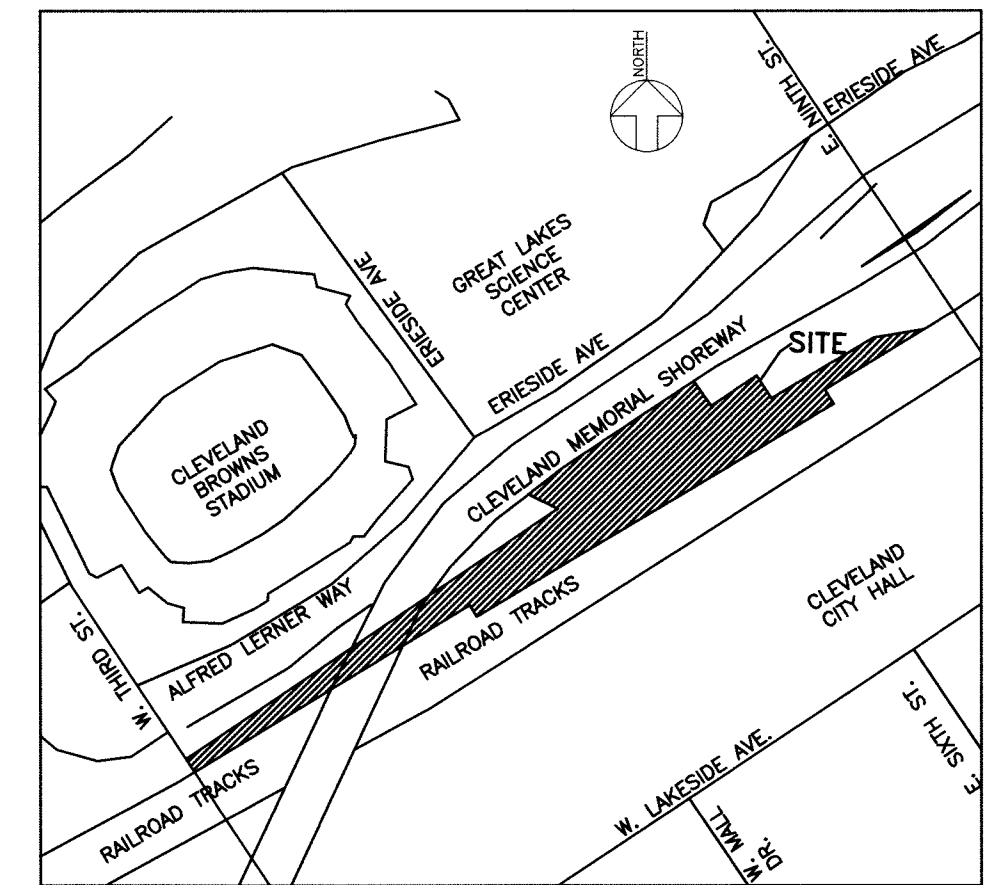
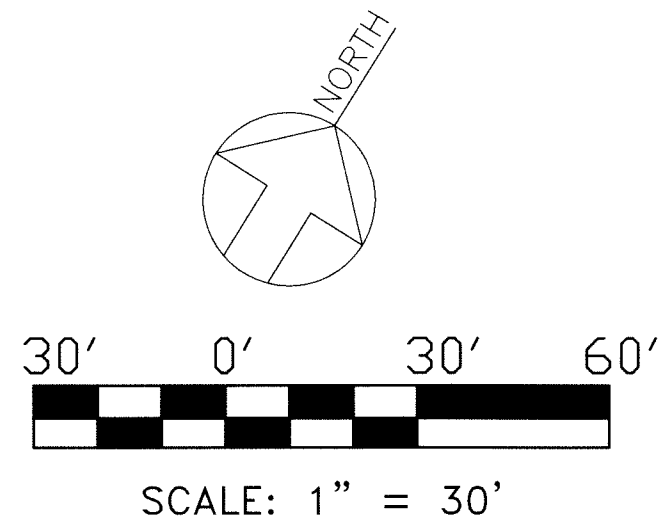
- R.O.W. = Right of Way
FI = Found Iron
FIP = Found Iron Pipe
FMON = Found Monument
SI = Set Iron
(R) = Record Measurement
(M) = Surveyed Measurement
(D) = Deeded Measurement

PAVING LEGEND

- EX. ASPHALT
EX. CONCRETE
EX. GRAVEL

LEGEND

- STORM SEWER
SANITARY SEWER
WATER MAIN
GAS MAIN
OVERHEAD CABLES
UNDERGROUND CABLES
SIGN
LIGHT POLE
GROUND ELEVATION
MANUAL RAILROAD SWITCH
RAILROAD TRACKS



LOCATION MAP
1" = 500'

GENERAL NOTES

- FIELD WORK COMPLETED ON JANUARY 14, 2011.
- UTILITIES LOCATED BY O.U.P.S. (OHIO UTILITIES PROTECTION SERVICE) TICKET # A100601168 AND FIELD OBSERVATIONS. THE LOCATION OF ANY OTHER UNDERGROUND SERVICES WHICH MAY EXIST CAN ONLY BE DETERMINED IF A UTILITY PLAN IS FURNISHED TO THE SURVEYOR. NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
- ELEVATIONS ON RAILROAD TRACK ARE TOP OF RAIL CENTER OF RAIL.
- COORDINATES ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM.
- SURVEY COMPLETED UNDER EXTREME SNOW CONDITIONS, AND EXACT LOCATION OF PAVEMENT, CURBS, AND SURFACE STRUCTURES CANNOT BE GUARANTEED.
- VAL MAP RIGHT-OF-WAY LINE IS BASED ON A SCANNED IMAGE OF SUPPLEMENTAL SHEET NO. S.T.14 COVERING VALUATION SECTION V-9 OHIO, PENNSYLVANIA CENTRAL RAILROAD. LOCATION OF RIGHT-OF-WAY LINE DEPICTED HEREIN IS APPROXIMATE AND IS FOR ILLUSTRATIONAL PURPOSES ONLY.

BENCHMARK NOTE

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LOCATION: APPROX. 41' WEST OF CENTERLINE OF EAST 9TH ST. AND APPROX. 45' NORTH OF CENTERLINE OF LAKESIDE AVE.
TYPE: SURVEY DISK ON CONCRETE MONUMENT
SURVEY CONTROL: ORGS
ELEVATION: 644.27

SURVEYOR'S CERTIFICATION

STATE OF OHIO
COUNTY OF CUYAHOGA
I, KEVIN C. NAVAROLI, a duly licensed Professional Surveyor in the State of Ohio, do hereby certify that I have located the described property according to the records provided by the title search performed by Accurate Exams, Inc., effective date January 12, 2011. The parcel drawing hereon correctly represents the title search records based upon monumentation found in the field.

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342

KEVIN C. NAVAROLI
REGISTERED LAND SURVEYOR NO. 8545 WITHIN THE STATE OF OHIO

LEGEND

R.O.W. = Right of Way
FI = Found Iron
FIP = Found Iron Pipe
FMON = Found Monument
SI = Set Iron
(R) = Record Measurement
(M) = Surveyed Measurement
(D) = Deeded Measurement

PAVING LEGEND

EX. ASPHALT
EX. CONCRETE
EX. GRAVEL

LEGEND

STORM SEWER
SANITARY SEWER
WATER MAIN
GAS MAIN
OVERHEAD CABLES
UNDERGROUND CABLES
SIGN
LIGHT POLE
GROUND ELEVATION
MANUAL RAILROAD SWITCH
RAILROAD TRACKS

FILE NAME: amtk_gmp_on_cle_topo_new.dwg

No.	Revisions	Date	By
1	ADDED VAL MAP BOUNDARY INFO	4/4/11	PK

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Office of Chief Engineer
STRUCTURES

National Railroad Passenger Corporation
30th Street Station, Philadelphia, Pennsylvania 19104

Approved	Date

CFE
ENGINEERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

CLEVELAND, CUYAHOGA COUNTY, OHIO
INTERCITY STATION ADA IMPROVEMENTS
20103202

TOPOGRAPHIC SURVEY

Designed Drawn SCD Checked KCN Date 03/17/2011

File No:	Work Item No:
	276442
Sheet No:	3 OF 3
Job No:	T-002



LEGAL DESCRIPTION - AREA "A"

OWNER: CITY OF CLEVELAND
(NO RECORD PROVIDED TO SURVEYOR)
LESSEE: UNKNOWN - SUSPECTED NATIONAL RAILROAD PASSENGER CORPORATION
(SEE SURVEY NOTE)

PART LOT NUMBERS 15 THROUGH 21, BOTH INCLUSIVE, OF THE ORIGINAL TWO ACRE LOTS, (NO VOLUME OR PAGE KNOWN) BEING NORTHERLY OF LAKESIDE AVENUE BETWEEN WEST 3rd STREET AND EAST 9th STREET, ALL BEING IN THE CITY OF CLEVELAND, CUYAHOGA COUNTY, STATE OF OHIO, T.7N., R.13W. AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE FOUND STONE MONUMENT LOCATED IN THE CENTER RIGHT-OF-WAY INTERSECTION OF LAKESIDE AVENUE N.E. (99 FEET WIDE-PUBLIC) AND EAST 9th STREET (99 FEET WIDE-PUBLIC); THENCE N.34°00'00"W. ALONG THE CENTER OF EAST 9th STREET RIGHT-OF-WAY (AS MONUMENTED) A DISTANCE OF 336.81 FEET; THENCE S.58°23'13"W. A DISTANCE OF 49.50 FEET TO THE WEST RIGHT-OF-WAY OF SAID EAST 9th STREET; THENCE N.34°00'00"W. ALONG THE WEST RIGHT-OF-WAY LINE OF SAID EAST 9th STREET, A DISTANCE OF 292.50 FEET; THENCE S.58°29'44"W. A DISTANCE OF 50.00 FEET; THENCE S.71°40'12"W. A DISTANCE OF 259.19 FEET; THENCE S.59°17'00"W. A DISTANCE OF 203.89 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S.59°17'00"W. A DISTANCE OF 719.47 FEET; THENCE N.64°04'07"W. A DISTANCE OF 99.85 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CLEVELAND MEMORIAL SHOREWAY (WIDTH VARIES-PUBLIC); THENCE N.55°55'53"E. ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID CLEVELAND MEMORIAL SHOREWAY A DISTANCE OF 768.32 FEET; THENCE S.34°00'00"E. A DISTANCE OF 128.54 FEET AND CONTAINING 79,382 SQUARE FEET, OR 1.822 ACRES, MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS, TO THE RIGHTS OF ANY PARTIES IN POSSESSION, EASEMENTS, RESTRICTIONS, ZONING LAWS AND ORDINANCES.

LEGAL DESCRIPTION - AREA "B"

OWNER: NATIONAL RAILROAD PASSENGER CORPORATION
(PER DEED DATED AUGUST 21, 1979 AND RECORDED IN VOLUME 14865, PAGE 193 OF CUYAHOGA COUNTY RECORDS, AS TO PARCEL ON CL-1)
LESSEE: GREATER CLEVELAND REGIONAL TRANSIT AUTHORITY
(PER MEMORANDUM OF LEASE DATED JULY 12, 1996 AND RECORDED IN VOL. 96-07114, PAGE 18 OF CUYAHOGA COUNTY RECORDS)

PART LOT NUMBERS 9 THROUGH 24, BOTH INCLUSIVE, AND PART OF VACATED ROADWAY, OF THE ORIGINAL TWO ACRE LOTS, (NO VOLUME OR PAGE KNOWN) BEING NORTHERLY OF LAKESIDE AVENUE BETWEEN WEST 3rd STREET AND EAST 9th STREET, ALL BEING IN THE CITY OF CLEVELAND, CUYAHOGA COUNTY, STATE OF OHIO, T.7N., R.13W. AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE FOUND STONE MONUMENT LOCATED IN THE CENTER RIGHT-OF-WAY INTERSECTION OF LAKESIDE AVENUE N.E. (99 FEET WIDE-PUBLIC) AND EAST 9th STREET (99 FEET WIDE-PUBLIC); THENCE N.34°00'00"W. ALONG THE CENTER OF EAST 9th STREET RIGHT-OF-WAY (AS MONUMENTED) A DISTANCE OF 336.81 FEET; THENCE S.58°23'13"W. A DISTANCE OF 49.50 FEET TO THE WEST RIGHT-OF-WAY OF SAID EAST 9th STREET; THENCE N.34°00'00"W. ALONG THE WEST RIGHT-OF-WAY LINE OF SAID EAST 9th STREET, A DISTANCE OF 292.50 FEET; THENCE S.58°29'44"W. A DISTANCE OF 50.00 FEET; THENCE S.71°40'12"W. A DISTANCE OF 259.19 FEET; THENCE S.59°17'00"W. A DISTANCE OF 203.89 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S.59°17'00"W. A DISTANCE OF 719.47 FEET; THENCE N.64°04'07"W. A DISTANCE OF 99.85 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CLEVELAND MEMORIAL SHOREWAY (WIDTH VARIES-PUBLIC); THENCE N.55°55'53"E. ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID CLEVELAND MEMORIAL SHOREWAY A DISTANCE OF 768.32 FEET; THENCE S.34°00'00"E. A DISTANCE OF 128.54 FEET AND CONTAINING 79,382 SQUARE FEET, OR 1.822 ACRES, MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS, TO THE RIGHTS OF ANY PARTIES IN POSSESSION, EASEMENTS, RESTRICTIONS, ZONING LAWS AND ORDINANCES.

LEGAL DESCRIPTION - AREA "C"

OWNER: GREATER CLEVELAND REGIONAL TRANSIT AUTHORITY
(PER JUDGEMENT SETTLEMENT CASE NO. 1125636, DATED OCTOBER 18, 1996 AND RECORDED IN VOL. 96-10345, PAGE 8 OF CUYAHOGA COUNTY RECORDS, AS TO PARCEL 31)
LESSEE: UNKNOWN - SUSPECTED NATIONAL RAILROAD PASSENGER CORPORATION
(SEE SURVEY NOTE)

PART LOT NUMBERS 13 THROUGH 22, BOTH INCLUSIVE, OF THE ORIGINAL TWO ACRE LOTS, (NO VOLUME OR PAGE KNOWN) BEING NORTHERLY OF LAKESIDE AVENUE BETWEEN WEST 3rd STREET AND EAST 9th STREET, LAND ALSO DESCRIBED AS PART OF PARCEL NO. 31 PER JUDGEMENT SETTLEMENT CASE NO. 1125636, DATED OCTOBER 18, 1996 AND RECORDED IN VOL. 96-10345, PAGE 8 OF CUYAHOGA COUNTY RECORDS, ALL BEING IN THE CITY OF CLEVELAND, CUYAHOGA COUNTY, STATE OF OHIO, T.7N., R.13W. AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE FOUND STONE MONUMENT LOCATED IN THE CENTER RIGHT-OF-WAY INTERSECTION OF LAKESIDE AVENUE N.E. (99 FEET WIDE-PUBLIC) AND EAST 9th STREET (99 FEET WIDE-PUBLIC); THENCE N.34°00'00"W. ALONG THE CENTER OF EAST 9th STREET RIGHT-OF-WAY (AS MONUMENTED) A DISTANCE OF 336.81 FEET; THENCE S.58°23'13"W. A DISTANCE OF 49.50 FEET TO THE WEST RIGHT-OF-WAY OF SAID EAST 9th STREET; THENCE N.34°00'00"W. ALONG THE WEST RIGHT-OF-WAY LINE OF SAID EAST 9th STREET, A DISTANCE OF 292.50 FEET; THENCE S.58°29'44"W. A DISTANCE OF 50.00 FEET; THENCE S.71°40'12"W. A DISTANCE OF 259.19 FEET; THENCE S.59°17'00"W. A DISTANCE OF 203.89 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S.59°17'00"W. A DISTANCE OF 719.47 FEET; THENCE N.64°04'07"W. A DISTANCE OF 99.85 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CLEVELAND MEMORIAL SHOREWAY (WIDTH VARIES-PUBLIC); THENCE N.55°55'53"E. ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID CLEVELAND MEMORIAL SHOREWAY A DISTANCE OF 768.32 FEET; THENCE S.34°00'00"E. A DISTANCE OF 128.54 FEET AND CONTAINING 79,382 SQUARE FEET, OR 1.822 ACRES, MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS, TO THE RIGHTS OF ANY PARTIES IN POSSESSION, EASEMENTS, RESTRICTIONS, ZONING LAWS AND ORDINANCES.

LEGAL DESCRIPTION - AREA "D"

OWNER: NEW YORK CENTRAL LINES, LLC
(PER QUILTCLAM DEED DATED MAY 18, 1999 AND RECORDED AUGUST 20, 2002 IN VOLUME 200208200163 OF CUYAHOGA COUNTY RECORDS, AS TO SEGMENT B)
LESSEE: UNKNOWN - SUSPECTED NATIONAL RAILROAD PASSENGER CORPORATION
(SEE SURVEY NOTE)

PART LOT NUMBERS 13 THROUGH 22, BOTH INCLUSIVE, OF THE ORIGINAL TWO ACRE LOTS, (NO VOLUME OR PAGE KNOWN) BEING NORTHERLY OF LAKESIDE AVENUE BETWEEN WEST 3rd STREET AND EAST 9th STREET, ALL BEING IN THE CITY OF CLEVELAND, CUYAHOGA COUNTY, STATE OF OHIO, T.7N., R.13W. AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE FOUND STONE MONUMENT LOCATED IN THE CENTER RIGHT-OF-WAY INTERSECTION OF LAKESIDE AVENUE N.E. (99 FEET WIDE-PUBLIC) AND EAST 9th STREET (99 FEET WIDE-PUBLIC); THENCE N.34°00'00"W. ALONG THE CENTER OF EAST 9th STREET RIGHT-OF-WAY (AS MONUMENTED) A DISTANCE OF 336.81 FEET; THENCE S.58°23'13"W. A DISTANCE OF 49.50 FEET TO THE WEST RIGHT-OF-WAY OF SAID EAST 9th STREET; THENCE N.34°00'00"W. ALONG THE WEST RIGHT-OF-WAY LINE OF SAID EAST 9th STREET, A DISTANCE OF 292.50 FEET; THENCE S.58°29'44"W. A DISTANCE OF 50.00 FEET; THENCE S.71°40'12"W. A DISTANCE OF 259.19 FEET; THENCE S.59°17'00"W. A DISTANCE OF 203.89 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S.59°17'00"W. A DISTANCE OF 719.47 FEET; THENCE N.64°04'07"W. A DISTANCE OF 99.85 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CLEVELAND MEMORIAL SHOREWAY (WIDTH VARIES-PUBLIC); THENCE N.55°55'53"E. ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID CLEVELAND MEMORIAL SHOREWAY A DISTANCE OF 768.32 FEET; THENCE S.34°00'00"E. A DISTANCE OF 128.54 FEET AND CONTAINING 79,382 SQUARE FEET, OR 1.822 ACRES, MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS, TO THE RIGHTS OF ANY PARTIES IN POSSESSION, EASEMENTS, RESTRICTIONS, ZONING LAWS AND ORDINANCES.

0.78' N.
0.07' E.
N. 671092.5145
E. 2187501.9884

0.78' N.
0.07' E.
N. 669906.5474
E. 2186298.4247

LEGAL DESCRIPTION - AREA "E"

OWNER: PENNSYLVANIA LINES, LLC
(PER QUILTCLAM DEED DATED MAY 18, 1999 AND RECORDED AUGUST 20, 2002 IN VOLUME 200208200163 OF CUYAHOGA COUNTY RECORDS, AS TO SEGMENT B)
LESSEE: UNKNOWN - SUSPECTED NATIONAL RAILROAD PASSENGER CORPORATION
(SEE SURVEY NOTE)

PART LOT NUMBERS 13 THROUGH 22, BOTH INCLUSIVE, OF THE ORIGINAL TWO ACRE LOTS, (NO VOLUME OR PAGE KNOWN) BEING NORTHERLY OF LAKESIDE AVENUE BETWEEN WEST 3rd STREET AND EAST 9th STREET, ALL BEING IN THE CITY OF CLEVELAND, CUYAHOGA COUNTY, STATE OF OHIO, T.7N., R.13W. AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE FOUND STONE MONUMENT LOCATED IN THE CENTER RIGHT-OF-WAY INTERSECTION OF LAKESIDE AVENUE N.E. (99 FEET WIDE-PUBLIC) AND EAST 9th STREET (99 FEET WIDE-PUBLIC); THENCE N.34°00'00"W. ALONG THE CENTER OF EAST 9th STREET RIGHT-OF-WAY (AS MONUMENTED) A DISTANCE OF 336.81 FEET; THENCE S.58°23'13"W. A DISTANCE OF 49.50 FEET TO THE WEST RIGHT-OF-WAY OF SAID EAST 9th STREET; THENCE N.34°00'00"W. ALONG THE WEST RIGHT-OF-WAY LINE OF SAID EAST 9th STREET, A DISTANCE OF 292.50 FEET; THENCE S.58°29'44"W. A DISTANCE OF 50.00 FEET; THENCE S.71°40'12"W. A DISTANCE OF 259.19 FEET; THENCE S.59°17'00"W. A DISTANCE OF 203.89 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S.59°17'00"W. A DISTANCE OF 719.47 FEET; THENCE N.64°04'07"W. A DISTANCE OF 99.85 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CLEVELAND MEMORIAL SHOREWAY (WIDTH VARIES-PUBLIC); THENCE N.55°55'53"E. ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID CLEVELAND MEMORIAL SHOREWAY A DISTANCE OF 768.32 FEET; THENCE S.34°00'00"E. A DISTANCE OF 128.54 FEET AND CONTAINING 79,382 SQUARE FEET, OR 1.822 ACRES, MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS, TO THE RIGHTS OF ANY PARTIES IN POSSESSION, EASEMENTS, RESTRICTIONS, ZONING LAWS AND ORDINANCES.

GENERAL NOTES

- FIELD WORK COMPLETED ON JANUARY 14, 2011.
- UTILITIES LOCATED BY O.U.P.S. (OHIO UTILITIES PROTECTION SERVICE) TICKET # A100601168 AND FIELD OBSERVATIONS, THE LOCATION OF ANY OTHER UNDERGROUND SERVICES WHICH MAY EXIST CAN ONLY BE DETERMINED BY A UTILITY PLAN IS FURNISHED TO THE SURVEYOR. NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
- COORDINATES ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM.
- SURVEY COMPLETED UNDER EXTREME SNOW CONDITIONS, AND EXACT LOCATION OF PAVEMENT, CURBS, AND SURFACE STRUCTURES CANNOT BE GUARANTEED.
- VAL MAP RIGHT-OF-WAY LINE IS BASED ON A SCANNED IMAGE OF SUPPLEMENTAL SHEET NO. S.T.14 COVERING VALUATION SECTION V-9 OHIO, PENNSYLVANIA CENTRAL RAILROAD, LOCATION OF RIGHT-OF-WAY LINE DEPICTED HEREIN IS APPROXIMATE AND IS FOR ILLUSTRATIONAL PURPOSES ONLY.

SURVEYOR'S REPORT

THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE VARIOUS UNCERTAINTIES IN THE LOCATIONS OF THE LINES AND CORNERS ESTABLISHED ON THIS SURVEY AS A RESULT OF UNCERTAINTIES IN REFERENCE MONUMENTATION; IN RECORD DESCRIPTIONS AND PLATS; IN LINES OF OCCUPATION; AND AS INTRODUCED BY RANDOM ERRORS IN MEASUREMENT. THERE MAY BE UNWRITTEN RIGHTS ASSOCIATED WITH THESE UNCERTAINTIES. THE CLIENT SHOULD ASSUME THERE IS AN AMOUNT OF UNCERTAINTY ALONG ANY LINE, EQUAL IN MAGNITUDE TO THE DISCREPANCY IN THE LOCATION OF THE LINES OF POSSESSION (LAND SURVEY POINTS) FOUND ON THE SURVEYED LINES. UNLESS OTHERWISE NOTED OR DEPICTED HEREON, THERE IS NO EVIDENCE OF OCCUPATION ALONG THE PERMETER LINES OF THE SUBJECT TRACT.

THIS SURVEY IS BASED UPON THE FOLLOWING DOCUMENTS AND RECORDS: "PLAT OF SURVEY VARIOUS PARCELS OF LAND NORTHERLY OF LAKESIDE AVE. N.E. & N.W. BETWEEN WEST 3rd ST. AND EAST 9th ST. IN CITY OF CLEVELAND, CUYAHOGA COUNTY, OHIO DATED DECEMBER 1973, REVISED SEPTEMBER 1982, CITY OF CLEVELAND DEPARTMENT OF PUBLIC SERVICE DIVISION PLATS AND SURVEYS (AREA "A"); DEED FROM "CONSOLIDATED RAIL CORPORATION" TO "NATIONAL RAILROAD PASSENGER CORPORATION" RECORDED IN VOL. 14865 PAGE 193, ON OCTOBER 23, 1978, IN THE C.C.R. AND A MEMORANDUM OF LEASE FROM "NATIONAL RAILROAD PASSENGER CORPORATION" TO THE "GREATER CLEVELAND REGIONAL TRANSIT AUTHORITY" RECORDED IN VOL. 96-07114 PAGE 18, ON JULY 24, 1996, IN THE C.C.R. (AREA "B"); "JUDGEMENT SETTLEMENT" IN THE COURT OF COMMON PLEAS, PROBATE DIVISION, CUYAHOGA COUNTY, OHIO, CASE NO. 1125636 RECORDED IN VOL. 96-10345 PAGE 8, ON OCTOBER 18, 1996, IN THE C.C.R. (AREA "C"); QUIT CLAIM DEED FROM "CONSOLIDATED RAIL CORPORATION" TO "PENNSYLVANIA LINES L.L.C." RECORDED IN VOL. 200208200163, PAGES 1 OF 70, C.C.R., ON 08/20/2002 (AREA "D"); QUIT CLAIM DEED FROM "CONSOLIDATED RAIL CORPORATION" TO "NEW YORK CENTRAL LINES L.L.C." RECORDED IN VOL. 200208200162 PAGES 1 OF 16, C.C.R., ON 08/14/2002 (AREA "E").

AS DEPICTED HEREON, NUMEROUS MONUMENTATION HAS BEEN RECOVERED SURROUNDING THE SITE AS PARTIALLY REFERENCED IN THE ABOVE SURVEYS. MONUMENTATION HELD IN PLACE HAS BEEN NOTED HEREON AS SUCH AND HAS BEEN BECOME THE BASIS FOR THE DETERMINATION OF THE RAILROAD RIGHT OF WAY. THE AMTRAK LEASE AREA LIES WITHIN THE RAILROAD RIGHT OF WAY. NO SUBLEASE INFORMATION WAS FOUND. IF A LEGAL DESCRIPTION OF THE LEASE AREA IS PROVIDED TITLE WORK CAN BE ORDERED AND A BOUNDARY ESTABLISHED.

SURVEY NOTE

A TITLE SEARCH WAS PERFORMED BY ACCURATE EXAMS, INC. FOR RAILROAD PARCEL NUMBERS 101-03-001, 101-03-002, 101-03-003, 101-02-017 AND 101-03-010, EFFECTIVE DATE JANUARY 12, 2011. THE SEARCH DID NOT FIND ANY LEASE RECORDED DOCUMENTS SHOWING LEASES ON PARCELS A, C, D & E.

BEARING REFERENCE NOTE

ALL BEARINGS ARE IN RELATION TO THE CENTERLINE OF EAST 9th STREET AS SHOWN ON THE "PLAT OF SURVEY, PARTITION AND CONSOLIDATION" DRAWING PREPARED BY "NEFF & ASSOCIATES" JOE NO. 132586 BEARING AN ORIGINAL ISSUE DATE OF 12-17-10. (S.34°00'00"E.)

SURVEYOR'S CERTIFICATION

STATE OF OHIO } SS.
COUNTY OF WILLIAMS }

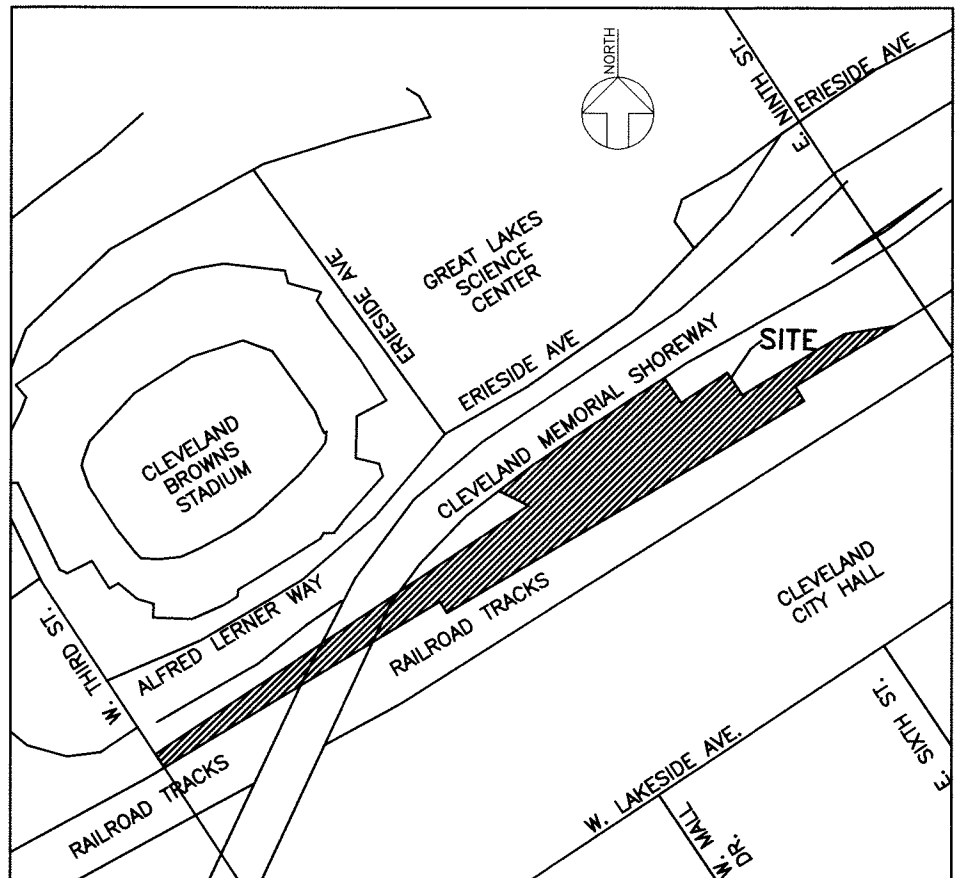
I HAVE LOCATED THE DESCRIBED PROPERTY ACCORDING TO THE RECORDS PROVIDED BY THE TITLE SEARCH PERFORMED BY ACCURATE EXAMS, INC., EFFECTIVE DATE JANUARY 12, 2011. THE PARCEL DRAWING HEREON CORRECTLY REPRESENTS THE TITLE SEARCH RECORDS BASED UPON MONUMENTATION FOUND IN THE FIELD.

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342

KEVIN C. NAVAROLI
REGISTERED LAND SURVEYOR NO. 8545 WITHIN THE STATE OF OHIO

LEGEND

- R.O.W. = Right of Way
FI = Found Iron
FIP = Found Iron Pipe
FMON = Found Monument
SI = Set Iron
(R) = Record Measurement
(M) = Surveyed Measurement
(D) = Deeded Measurement



LOCATION MAP

1" = 500'

No.	Revisions	Date	By
1	ADDED VAL MAP BOUNDARY INFO	4/4/11	PK

Amtrak®

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Office of Chief Engineer
STRUCTURES

National Railroad Passenger Corporation
30th Street Station, Philadelphia, Pennsylvania 19104

Approved	Date

CF
ENGINEERS

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

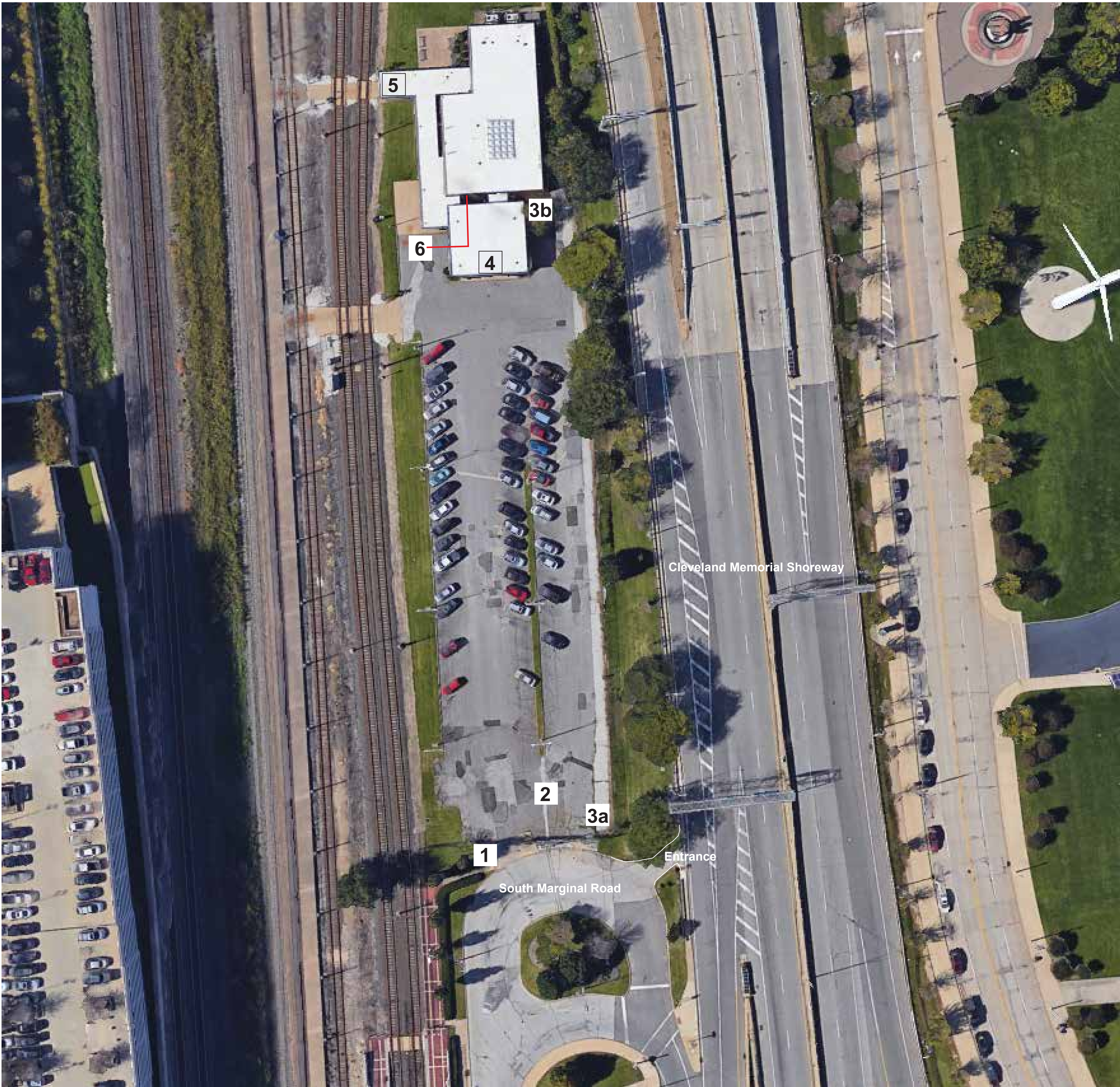
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-6257

CLEVELAND, CUYAHOGA COUNTY, OHIO
INTERCITY STATION ADA IMPROVEMENTS
20103202

PARCEL DRAWING

Designed Drawn SCD Checked KCN Date 03/24/2011

File No:	276442
Work Elem. No:	10F3
Sheet No.	10F3
Dwg. No.	P-001



PROPOSED SIGNS & LOCATIONS

1. Amtrak Standard Type C9
Freestanding Vertical Site
Identification

Double-sided. Internally
illuminated monolith
2. Amtrak Standard Type C4
Vehicular Directional

Single-sided post & panel
- 3a. Amtrak BrandMark
Location Option A

Double-sided internally
illuminated sign cabinet
mounted to single column/
post
- 3b. Amtrak BrandMark
Location Option B
4. Amtrak Standard Type C22
Building Identification- Station
Name Individual Letters

Roof mount, internally
illuminated fabricated
channel letters mounted to
structural frame
5. Amtrak Standard Type C22
Building Identification- Station
Name Individual Letters

Roof mount, internally
illuminated fabricated
channel letters mounted to
structural frame
6. Amtrak Standard Types C21 &
C22 BrandMark and Station
Name Individual Letters

Internally illuminated/ Halo-Lit
fabricated Amtrak logo and
non-illuminated letters for
the station name

Client: AMTRAK
PO # 9510001749

Project:
CLEVELAND STATION
SIGNAGE UPGRADE

Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114

PARTIAL EXTERIOR
SIGN LOCATIONS

Date: 02/22/22

Rev #:

File Name: SO#8006
CLEVELAND STATION
Extrior Sign Locations

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

All MS Sign drawings shall act as the control document. MS Sign reserves the right to revise pricing based on any revisions to the original specification. MS Sign does not accept "Approved as noted".

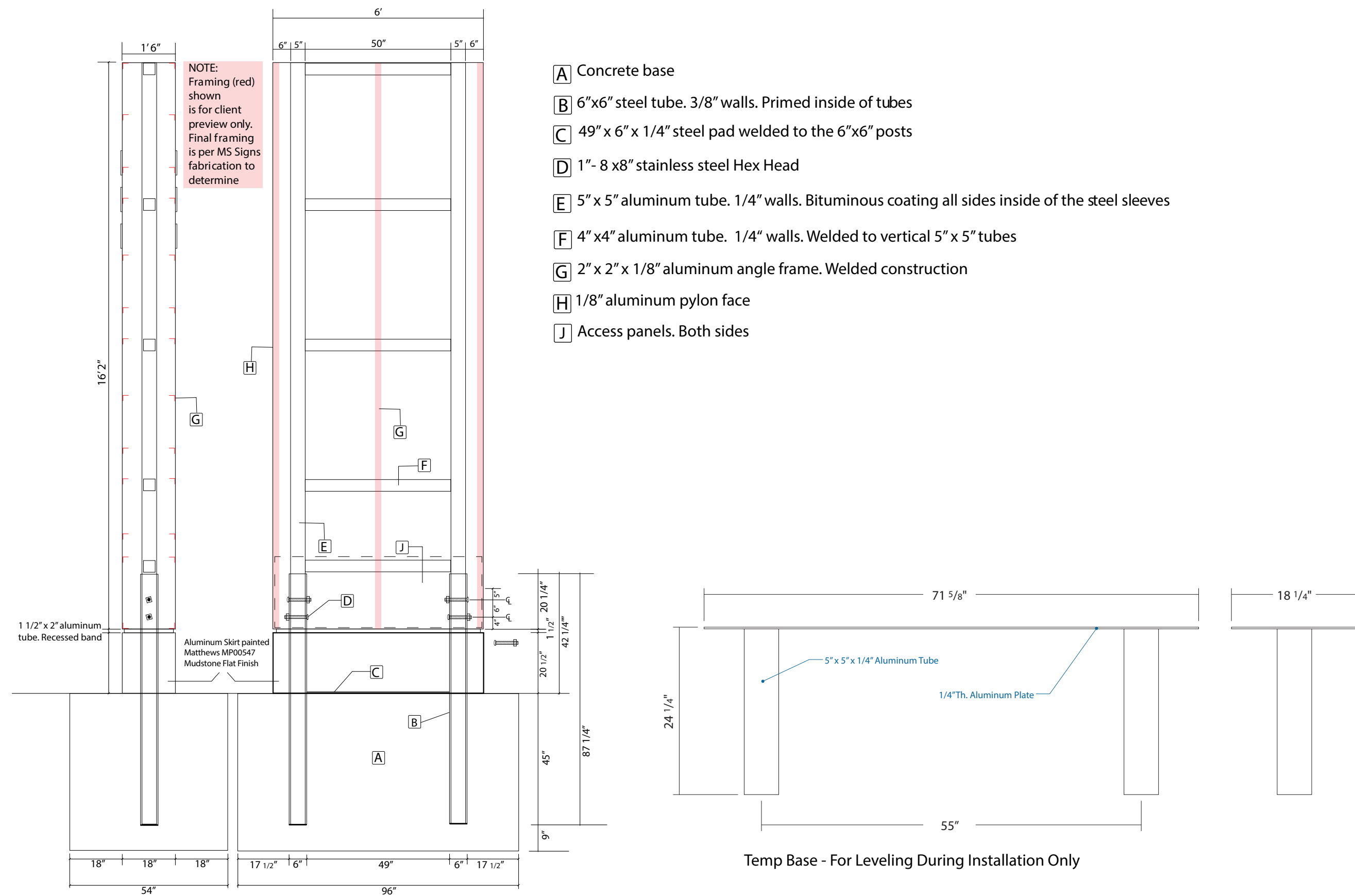
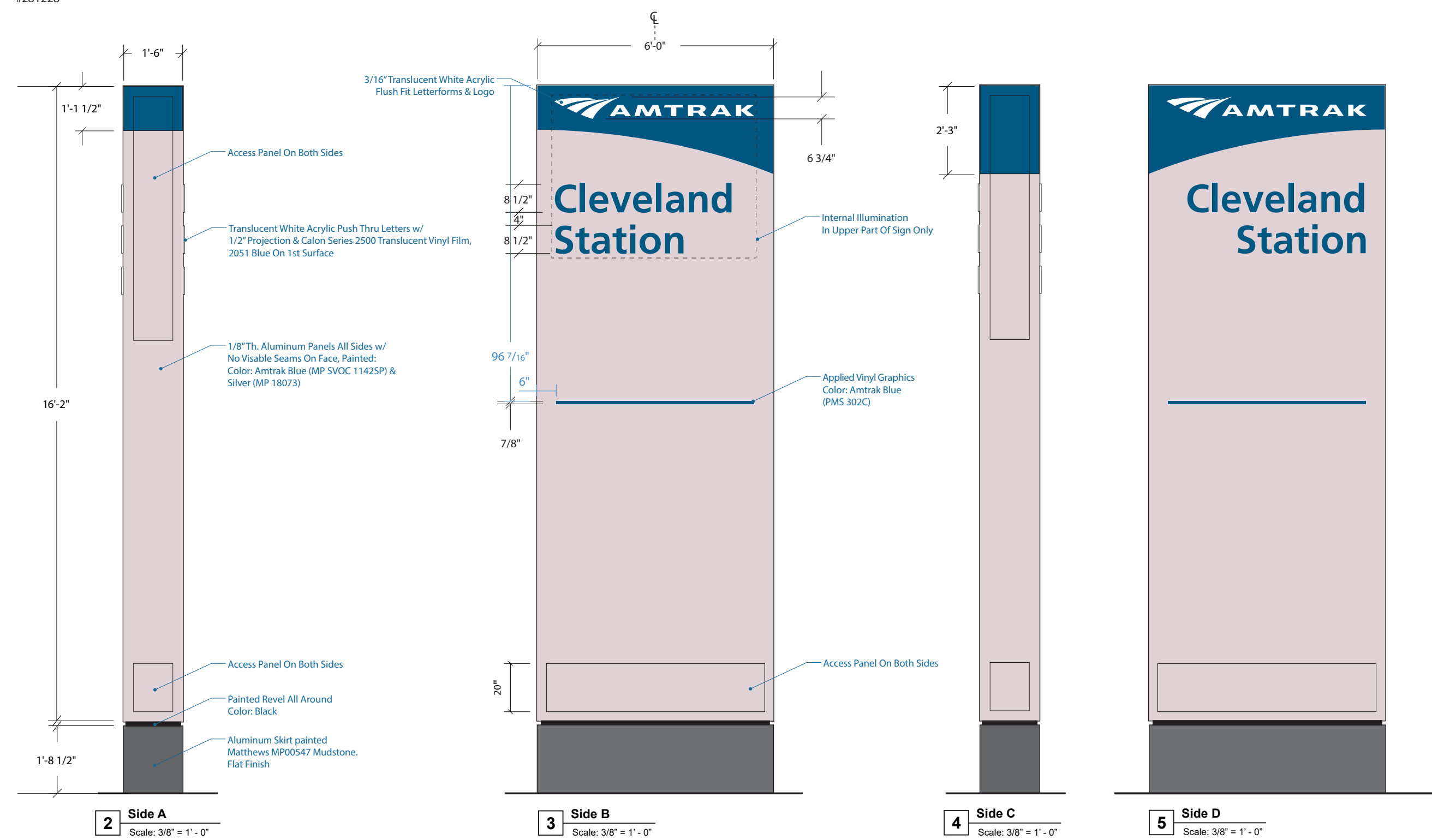
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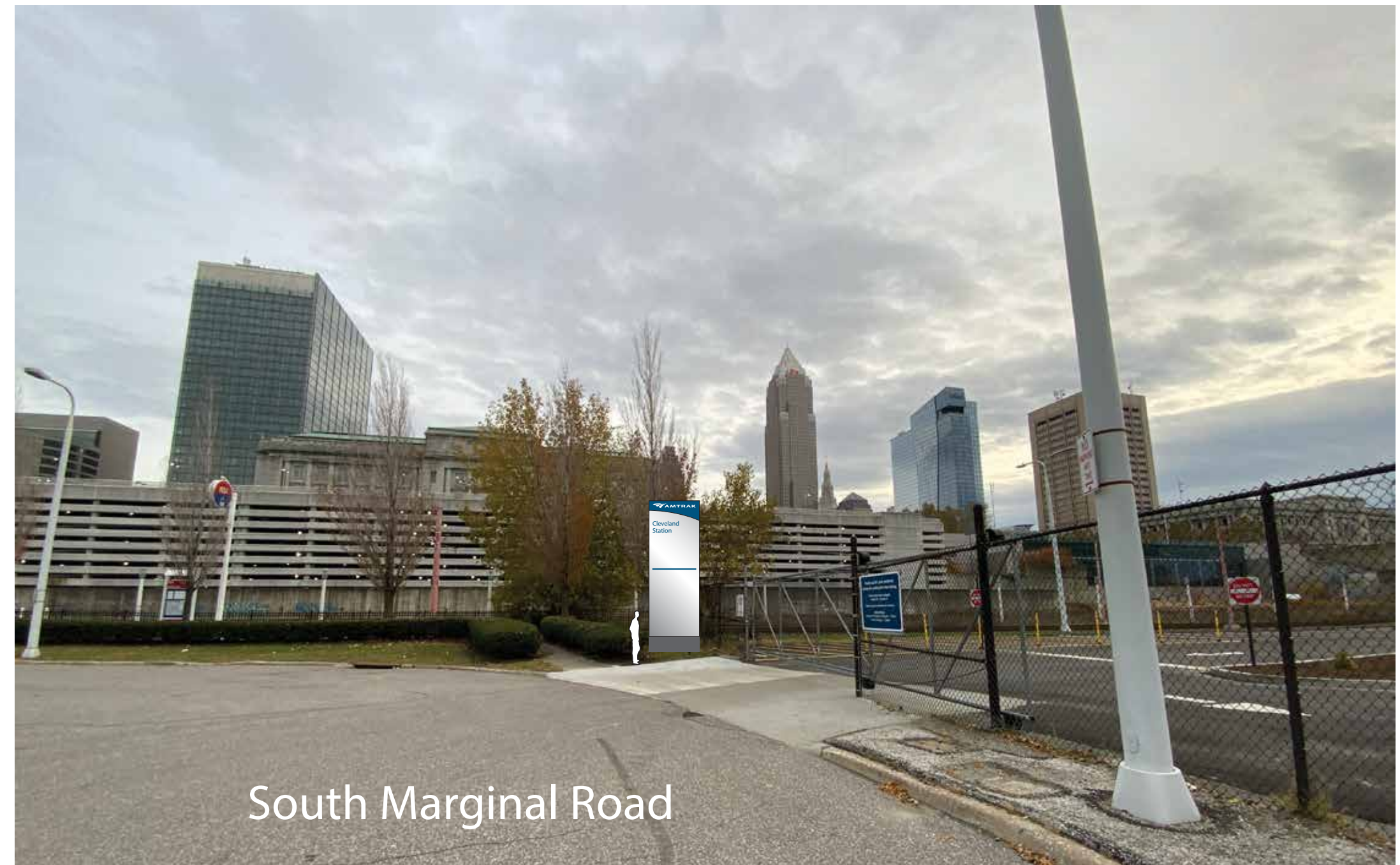
Name: _____

Date: _____

- *Paint
• AMT Blue
Satin VOC# SVOC11425P
• Silver
Satin VOC# MP18073
• White
Satin VOC# SV2025P
• Clear Coat
VOC.Satin Clear
#281228



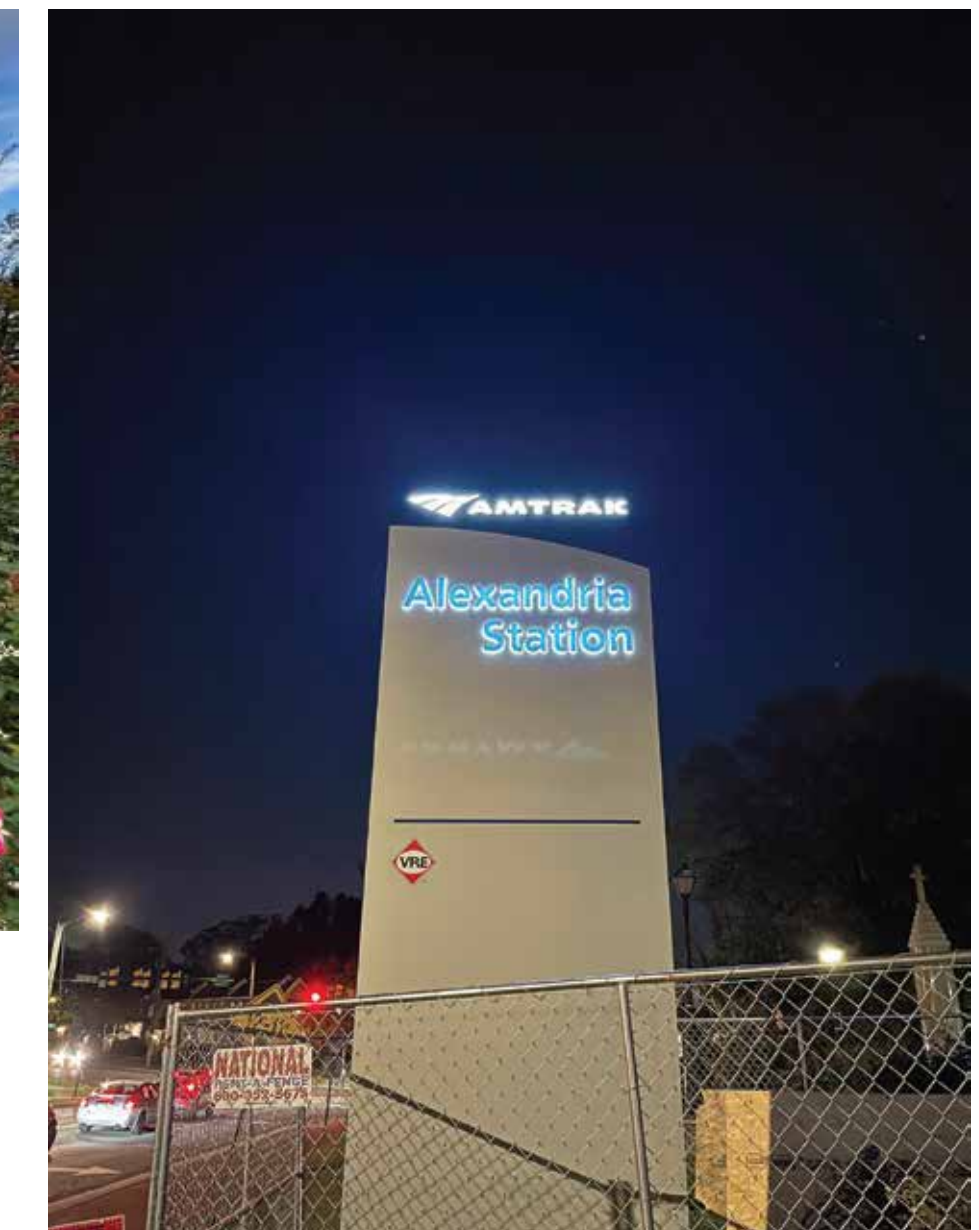
Sign Type C9 Freestanding Vertical Site Identification



Proposed sign location at station parking lot entrance



Completed Type C9 location in Alexandria, VA



Client: AMTRAK
PO # 9510001749

Project:
CLEVELAND STATION
SIGNAGE UPGRADE

Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114

PYLON SIGN,
INTERNALLY ILLUMINATED
WITH STENCIL CUT
AND BACKED LOGO
AND TRANSLUCENT
PUSH-THRU STATION
TEXT.

Date: 01/23/22
Rev #1: 02/02/22
Rev #2: 02/22/22

File Name: SO#8006
CLEVELAND STATION
TYPE C9

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

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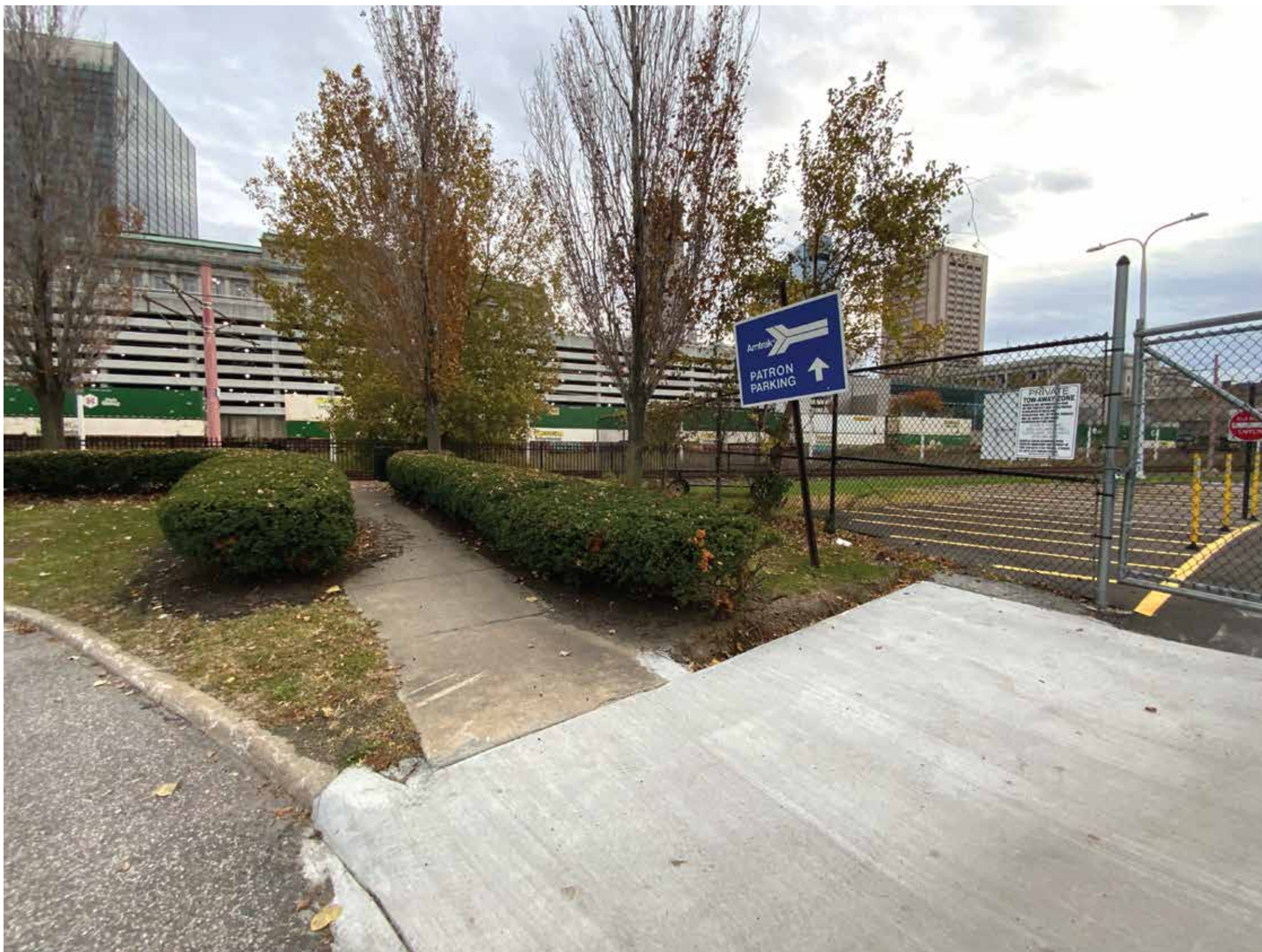
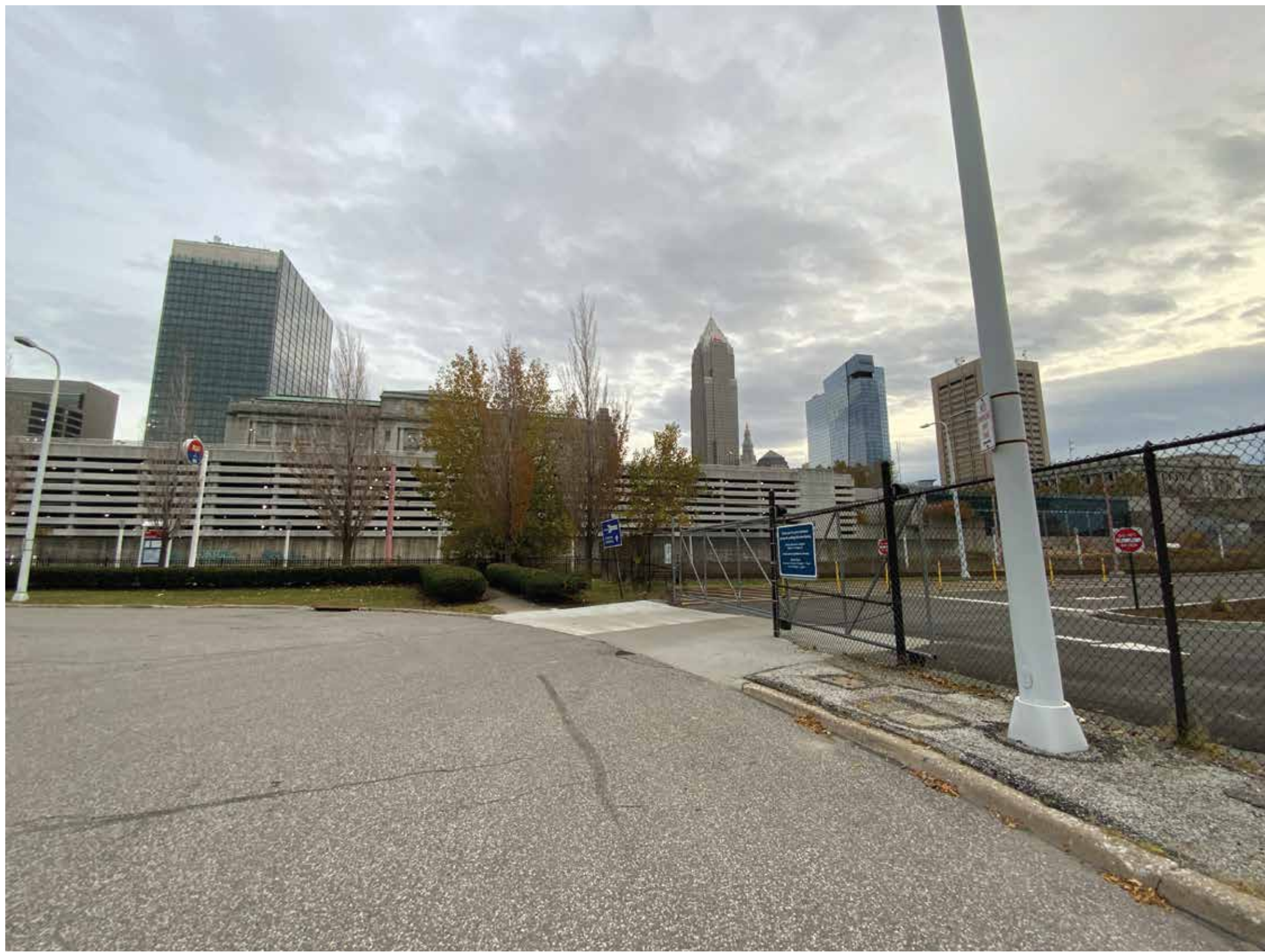
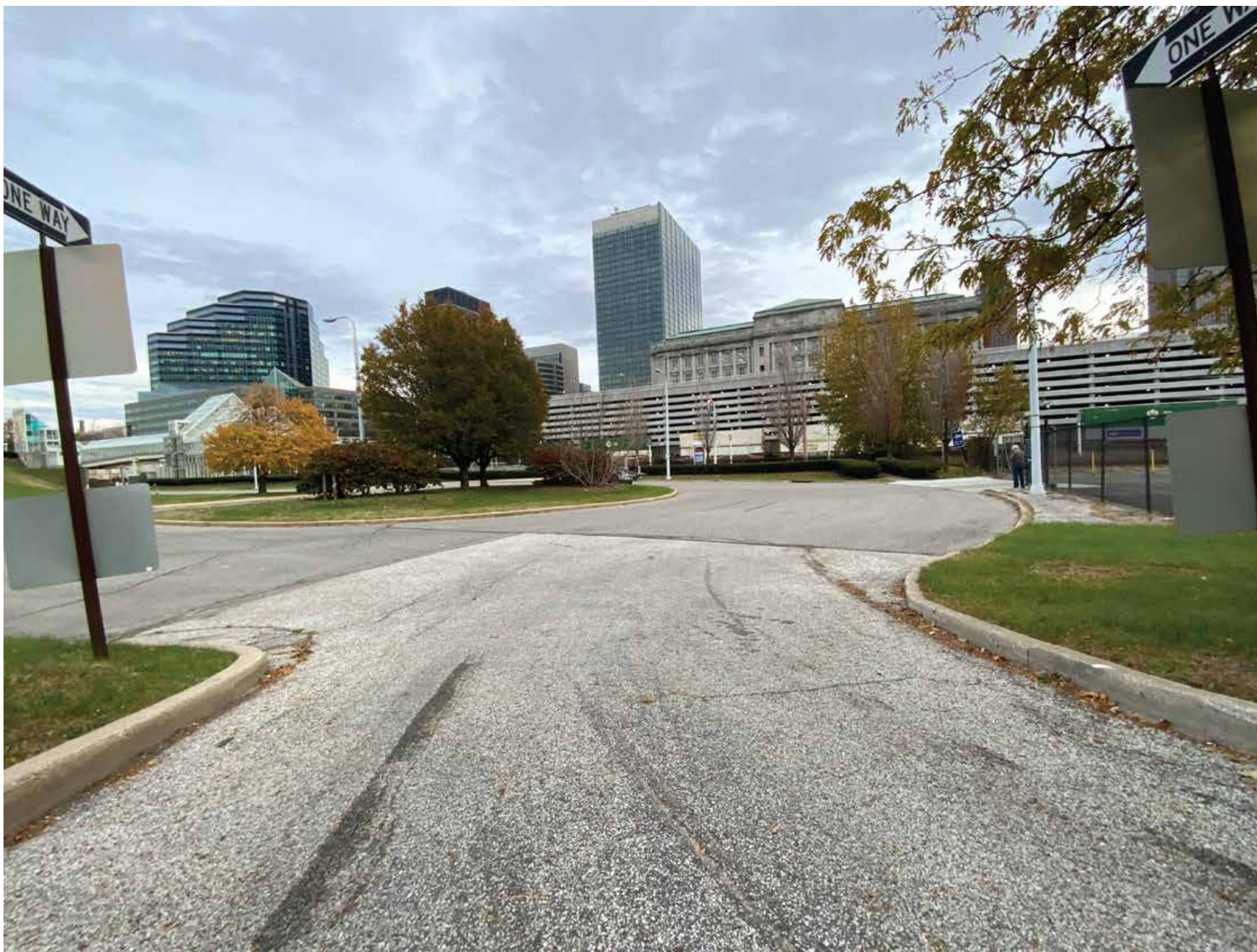
Approved (Sign Here)

Name: _____

Date: _____

Sign Type
Square Foot
@ 106.5

SHEET
GR- 01



Client: AMTRAK
PO # 9510001749

Project:
CLEVELAND STATION
SIGNAGE UPGRADE

**Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114**

IGN TYPE C9

CURRENT ENVIRONMENT

Date: 02/22/22

Rev #:

File Name: SO#8006
CLEVELAND STATION
Type C9 current environment

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

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Approved (Sign Here) _____

Name: _____

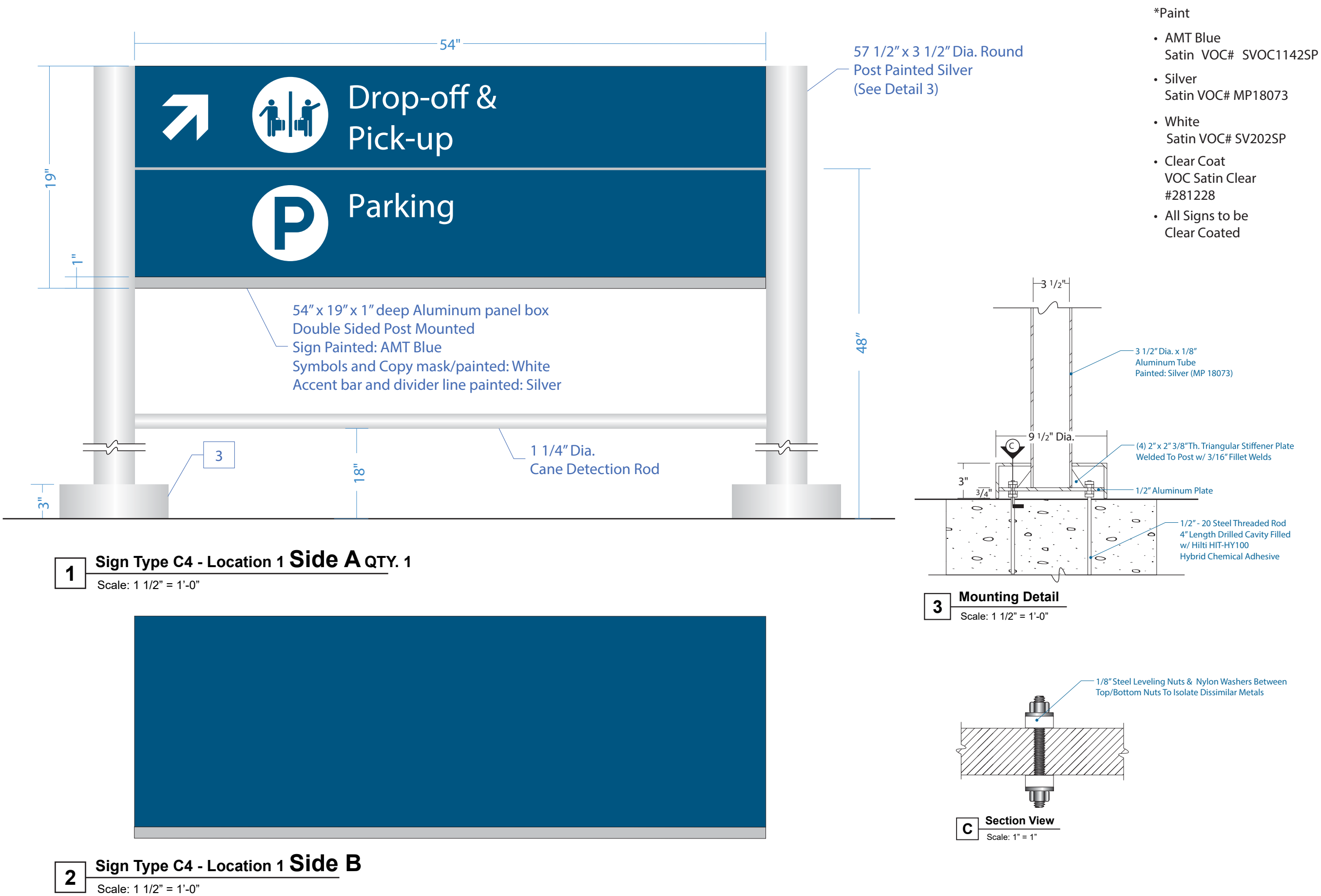
Date: _____



Amtrak Standard Sign Type C4 Vehicular Directional
Single-sided double post & panel sign. Non-illuminated.
Sign is situated on new island consturcted in parking lot located near the front gate entrance. Sign functions to provide direction to incoming vehicles



Current environment at proposed sign location



Client: **AMTRAK**
PO # 9510001749

Project:
**CLEVELAND STATION
SIGNAGE UPGRADE**

Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114

19" x 54"
**ALUMINUM PANELS ON
1" DEEP WELDED FRAME
3 1/2" DIAMETER
ALUMINUM POSTS**

Date: 02/02/22

Rev #:

File Name: SO#8006
**CLEVELAND STATION
C4 DIRECTIONAL**

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

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Approved (Sign Here)

Name: _____

Date: _____

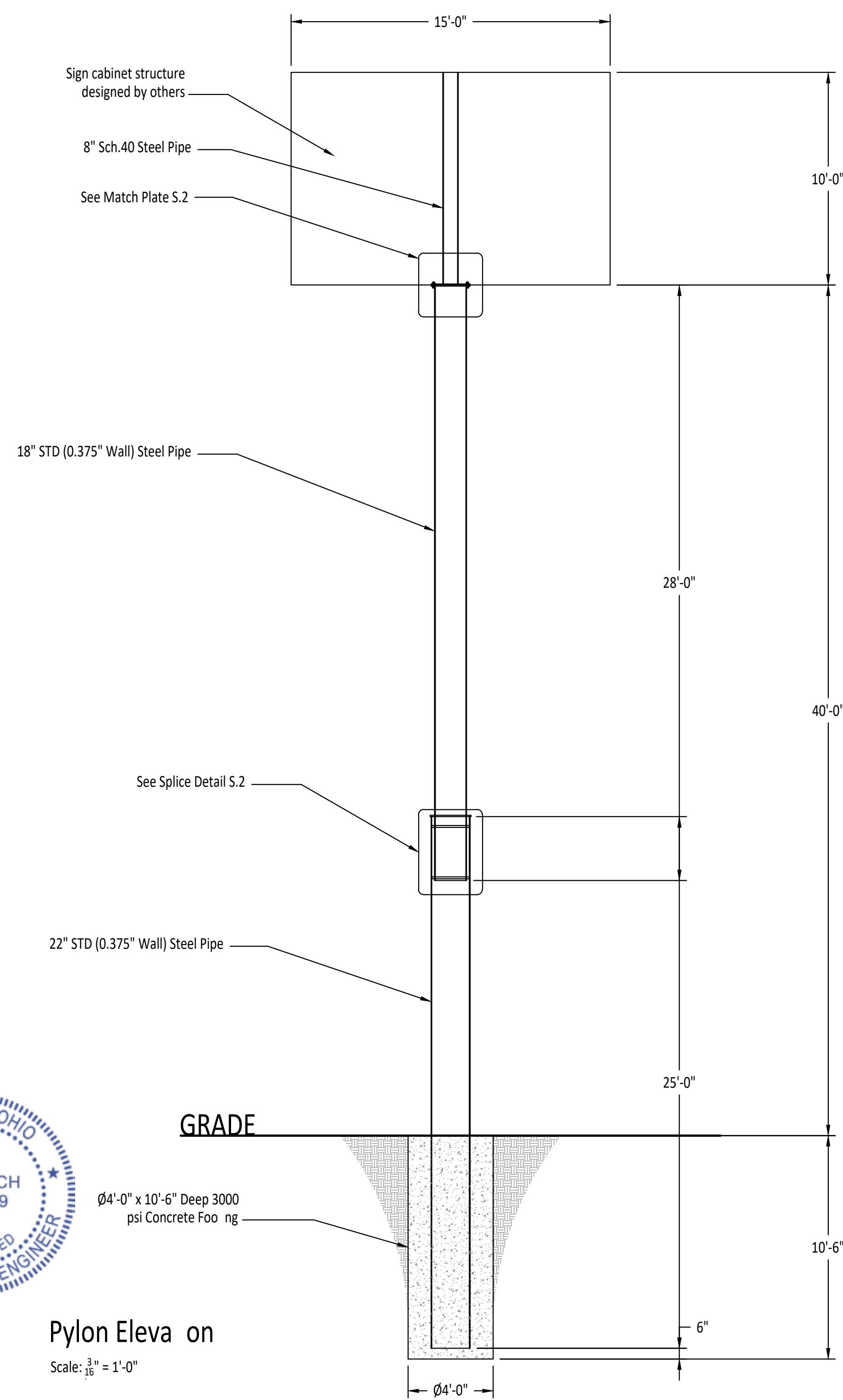
**Sign Type
Square Foot
@ 7.125**



Current environment at proposed sign location



Current environment at proposed sign location

A circular professional engineer seal for the State of Ohio. The outer ring contains the text "STATE OF OHIO" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the name "JERE MURDOCH" and the license number "E-76569".

Pylon Elevation

AMTRAK BRANDMARK / LOCATION OPTION 3a

Double-sided, internally illuminated sign cabinet mounted to steel pipe. Installation of pipe can be direct burial in re-inforced concrete footing or the pipe welded to a steel plate and mechanically mounted to a steel re-inforced concrete footing.

Sign location is the first option and is located on the tenant's side of the parking lot fence at the front of the parking lot in order to provide maximum visibility to vehicles traveling on the Cleveland Memorial Shoreway.

Client: AMTRAK
PO # 9510001749

Project:
CLEVELAND STATION
SIGNAGE UPGRADE

**Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114**

**BRANDMARK
LOCATION OPTION 3a**

Date: 01/23/22
Rev #1: 02/22/22

File Name: SO#8006
CLEVELAND STATION
BrandMark Option 1

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

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Approved (Sign Here)

Name: _____

Date: _____

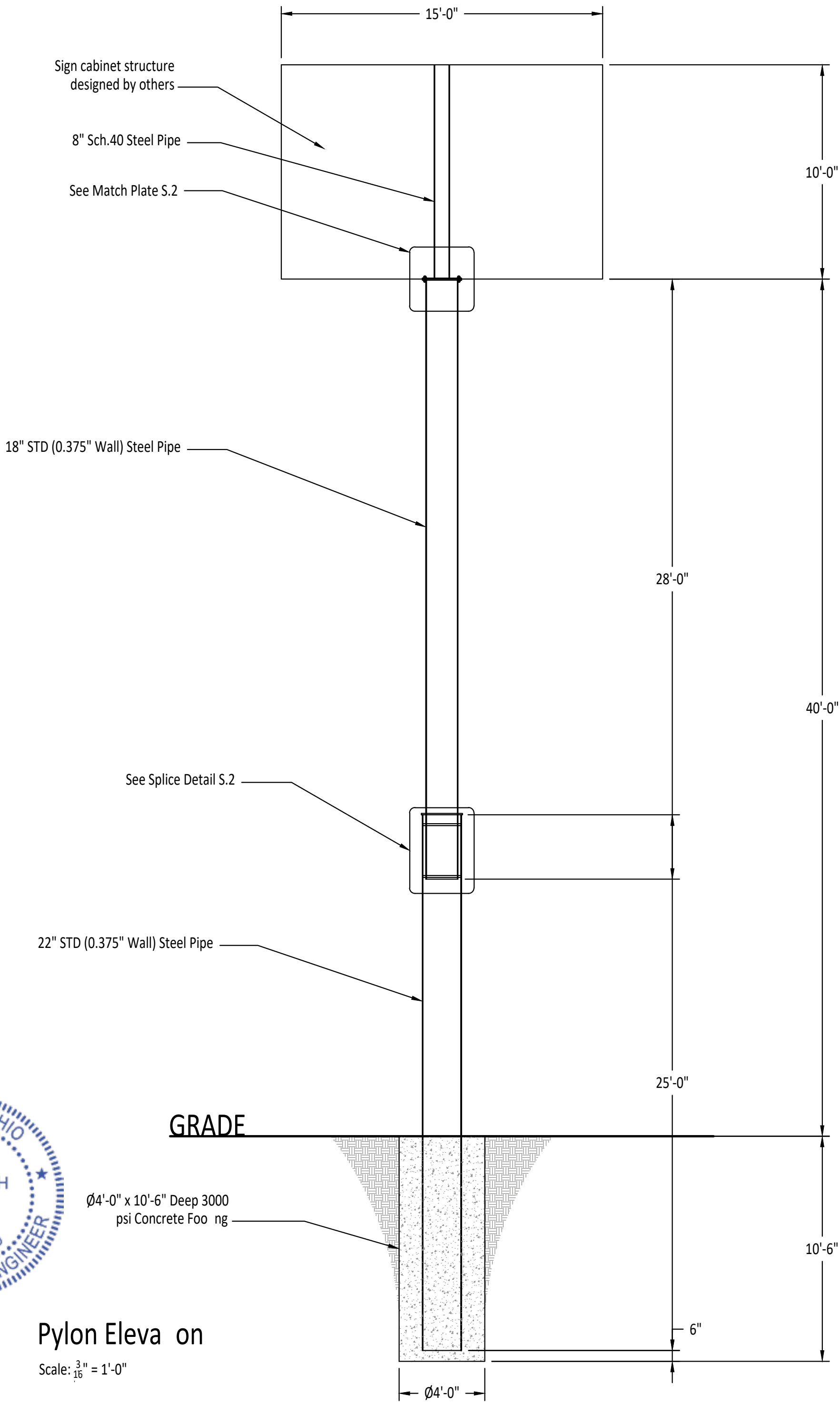
Sign Type
Square Foot
@ 150 each side



AMTRAK BRANDMARK / LOCATION OPTION 3b

Double-sided, internally illuminated sign cabinet mounted to steel pipe. Installation of pipe can be direct burial in re-inforced concrete footing or the pipe welded to a steel plate and mechanically mounted to a steel re-inforced concrete footing.

Sign location is the second option and is located off of the station's main entrance in order to provide maximum visibility to vehicles traveling on the Cleveland Memorial Shoreway.



Client: **AMTRAK**
PO # 9510001749

Project:
**CLEVELAND STATION
SIGNAGE UPGRADE**

Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114

**BRANDMARK
LOCATION OPTION 3b.**

Date: 01/23/22
Rev #1: 02/22/22

File Name: SO#8006
**CLEVELAND STATION
BrandMark Option 2**

PM: **P.REDISCH**

Drawn By: **C.MICHAUD**

Sales: **K.CHERASHORE**

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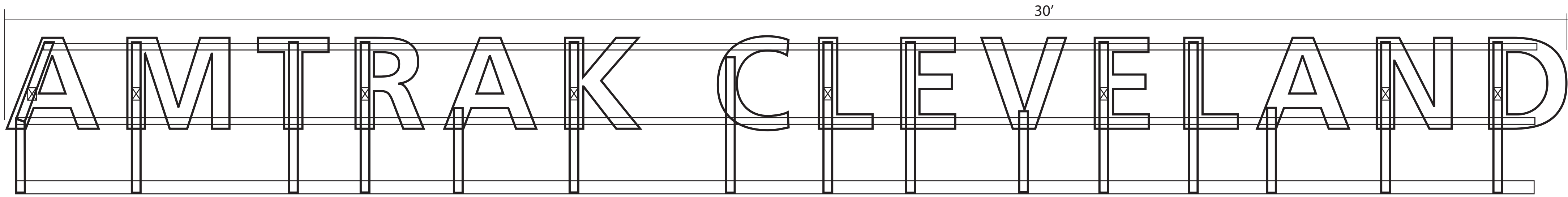
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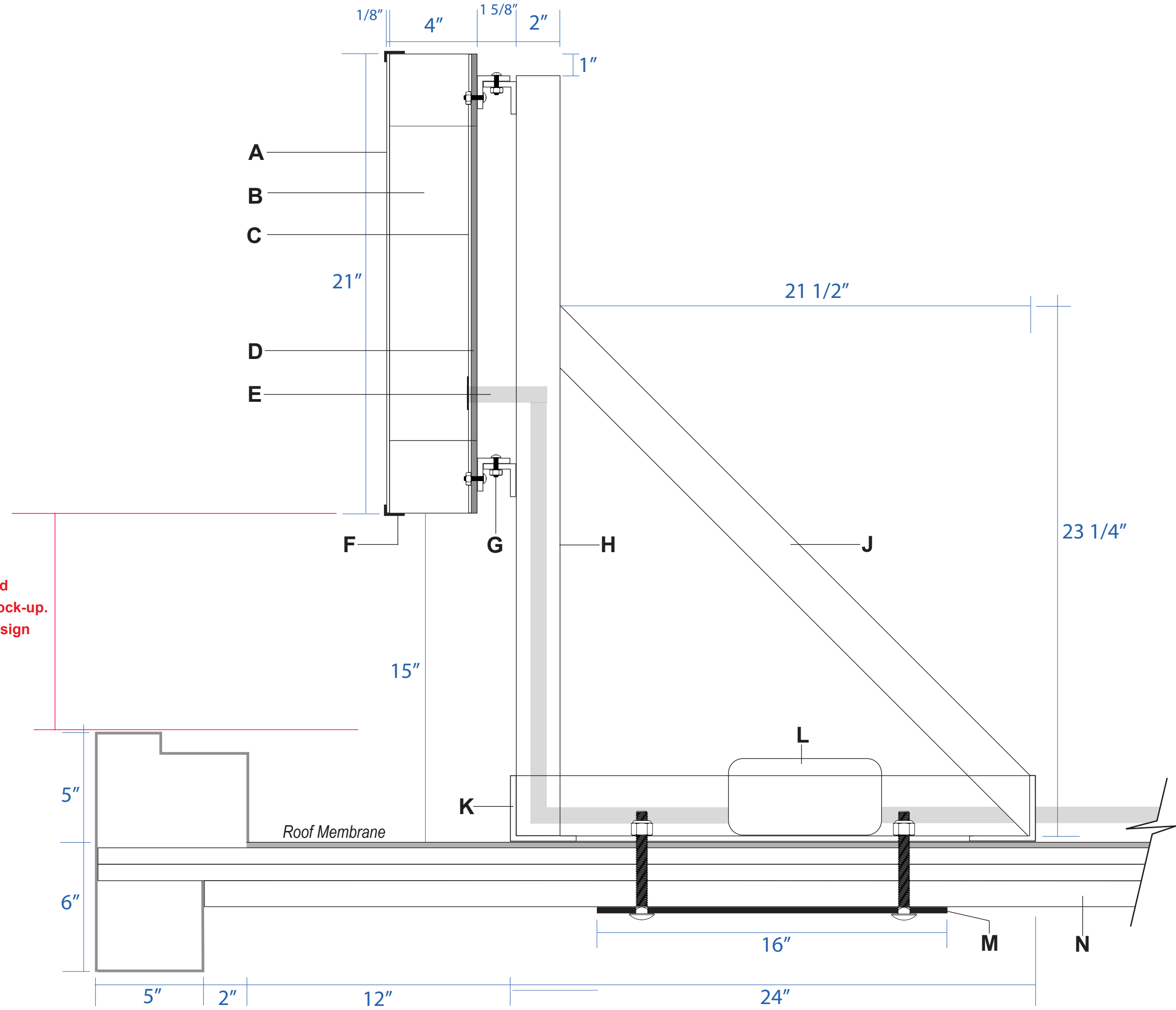
Name: _____

Date: _____

Sign Type
Square Foot
@ 150 each side



Elevation Scale: 1/16" = 1"



Side View Scale: 1/4" = 1"

- A** Arlon 2500 translucent vinyl film 2051 Blue over 1/8" thick white translucent acrylic.
- B** Fabricated letters. Welded aluminum, .090" body. Painted Matthews Paint MP18073 Satin Silver.
- C** White LED Modules.
- D** Back plate, 1/4" aluminum.
- E** Seal-tight flex conduit.
- F** Edge-trim retainer, 1/2" face coverage. Painted Matthews SVOC1142SP blue.
- G** Railing: 1 1/2" x 1 1/2". 1/8" walls. Letters mounted to top & bottom railings that run the length of the text. Hardware: 1/4"-20x1 1/8" super corrosion-resistant stainless steel extra-wide truss head Phillips screws and lock-nuts
- H** 2"x2" aluminum tube. Located behind vertical (areas) of the letters. Seal-tight is run through tubes. tubes are welded to Base Angles (K). Tops are capped and tubes painted Satin Silver.
- J** Support: 2"x2" aluminum tubes. Welded To vertical tubes and Base Angles (K). Painted Satin Silver.
- K** Base Angles: 3"x3" aluminum with 1/4" walls.
- L** Waterproof raceway: Contains wiring and transformers. Size TBD
- M** Ceiling Plate: 3/8" aluminum, 16" wide. Runs the length of the sign. Bolted through roof and roof membrane and secures to Base Angles. Hardware: 1/2"-13 x 4 1/2" super corrosion-resistant stainless steel carriage bolts and nuts.
- N** Existing Uni-Strut roof framing runs counter to sign length every 50" on-center. Uni-Strut channels are 1 1/4" x 2".

Client: AMTRAK
PO # 9510001749

Project:
CLEVELAND STATION
SIGNAGE UPGRADE

Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114

21" FABRICATED
ALUMINUM CHANNEL
LETTERS W/LED
ILLUMINATION.
WELDED SIGN FRAME.

Date: 01/23/22
Rev #1: 02/02/22

File Name: SO#8006
CLEVELAND STATION
FRONT ENTRANCE ROOFTOP

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

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Approved (Sign Here)

Name: _____

Date: _____

Sign Type
Square Foot
@ 85.25



Current environment at proposed sign location

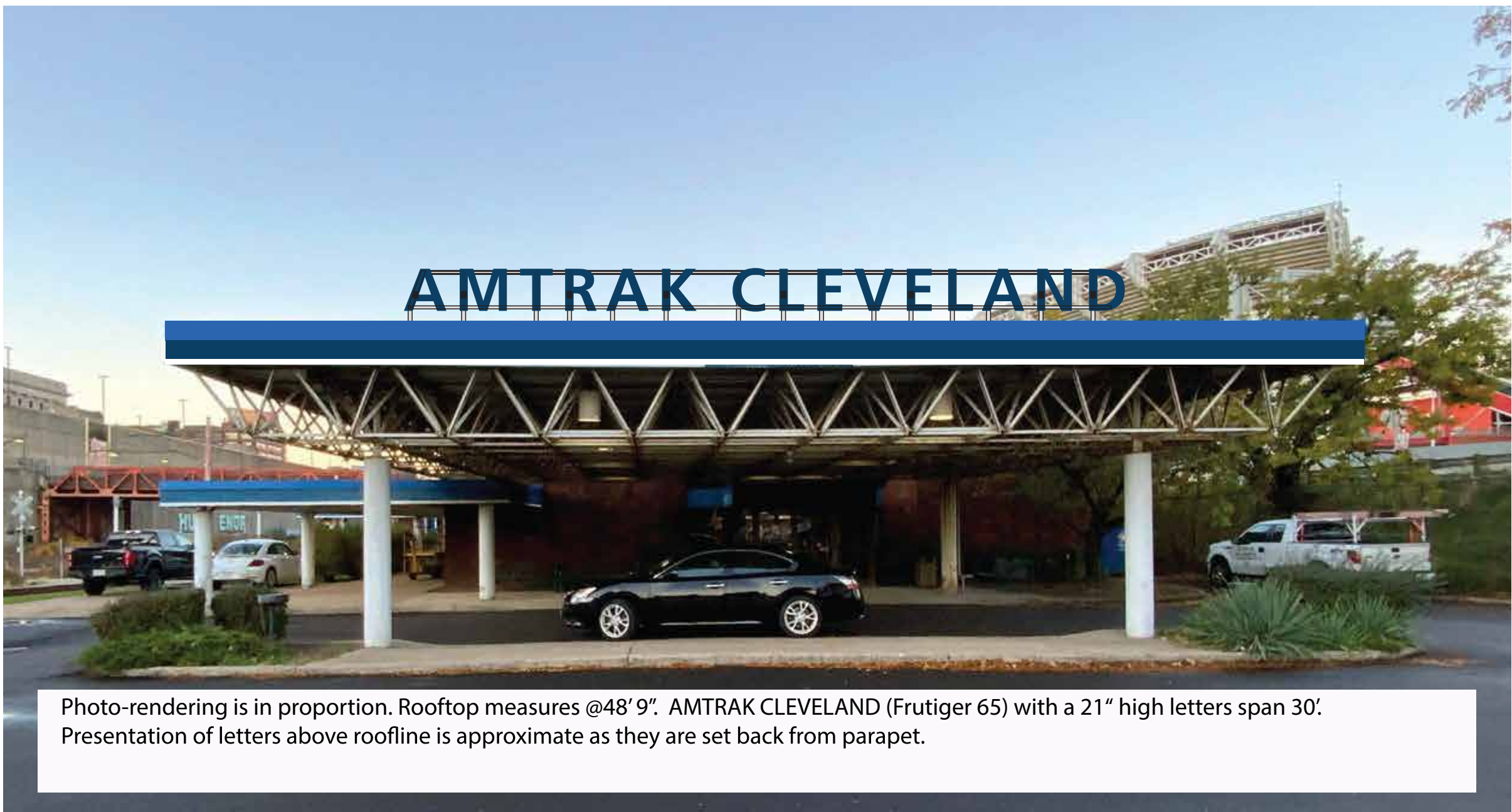
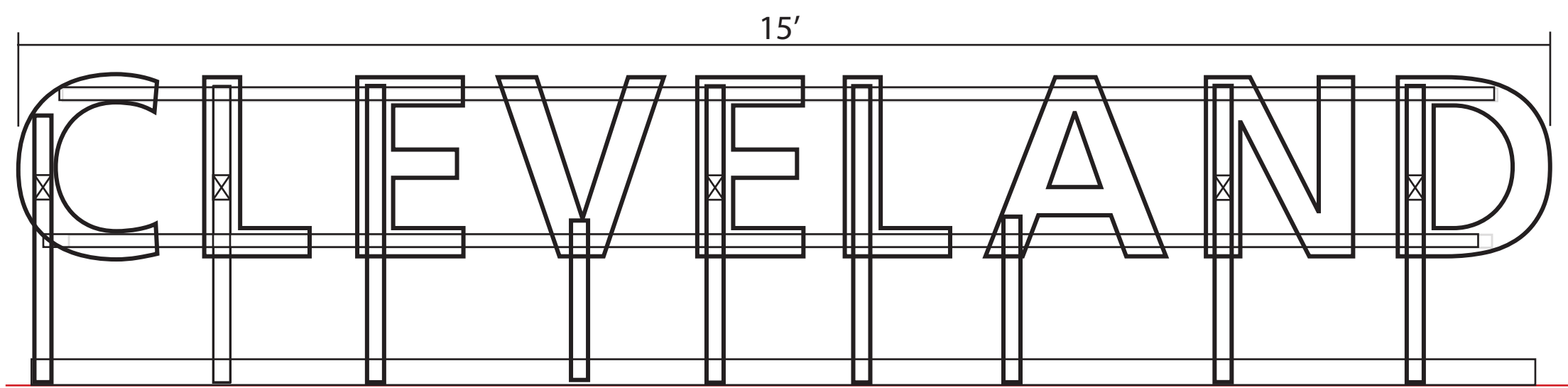
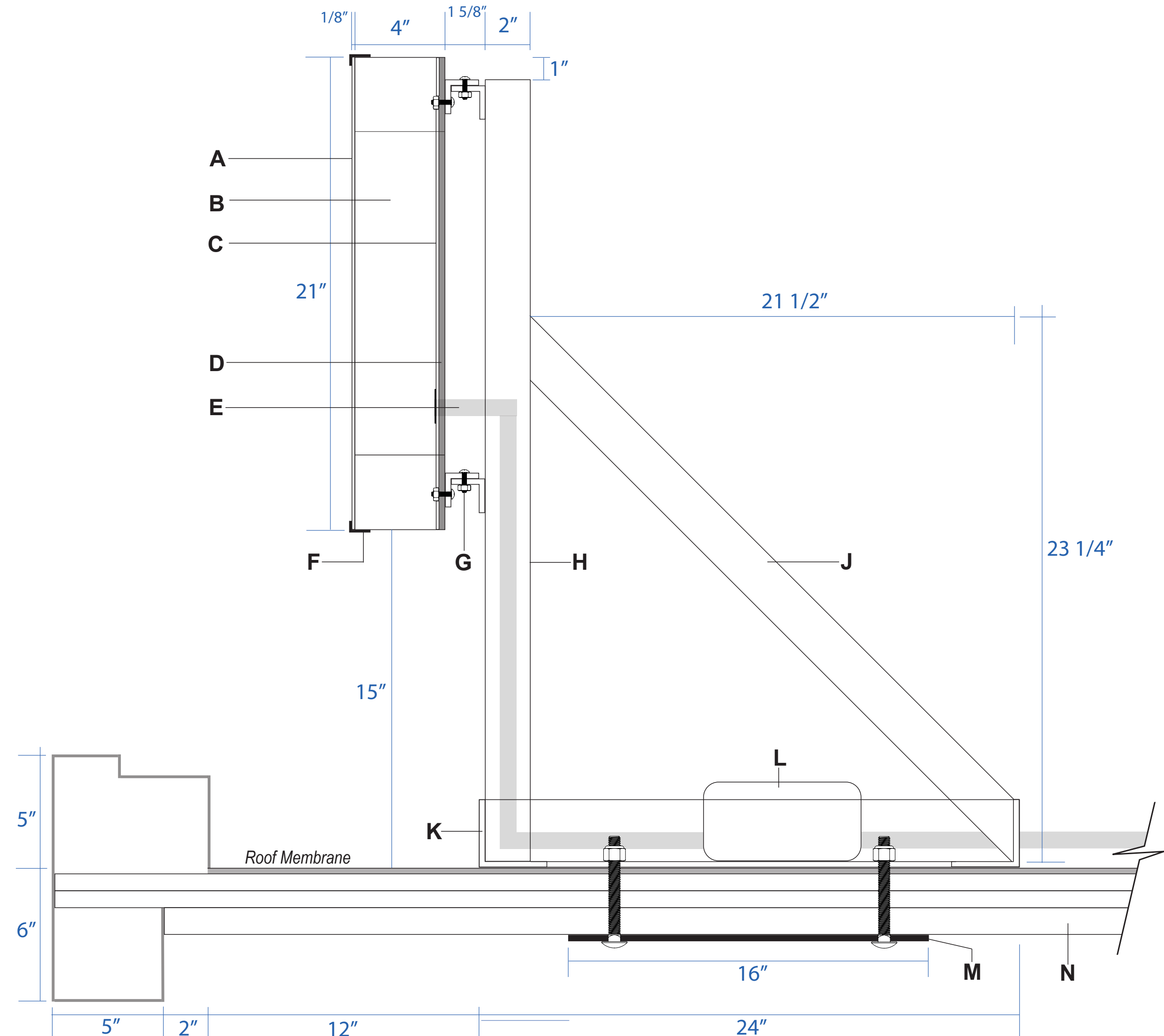


Photo-rendering is in proportion. Rooftop measures @48' 9". AMTRAK CLEVELAND (Frutiger 65) with a 21" high letters span 30'. Presentation of letters above roofline is approximate as they are set back from parapet.



Elevation Scale: 1/16" = 1"



Side View Scale: 1/4" = 1"

- A** Arlon 2500 translucent vinyl film 2051 Blue over 1/8" thick white translucent acrylic.
- B** Fabricated letters. Welded aluminum, .090" body. Painted Matthews Paint MP18073 Satin Silver.
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Client: AMTRAK
PO # 9510001749

Project:
CLEVELAND STATION
SIGNAGE UPGRADE

Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114

21" FABRICATED
ALUMINUM CHANNEL
LETTERS W/LED
ILLUMINATION.
WELDED SIGN FRAME.

Date: 01/23/22

Rev #:

File Name: SO#8006
CLEVELAND STATION
SIDE ENTRANCE ROOFTOP

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

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Name: _____

Date: _____

Sign Type
Square Foot
@ 30

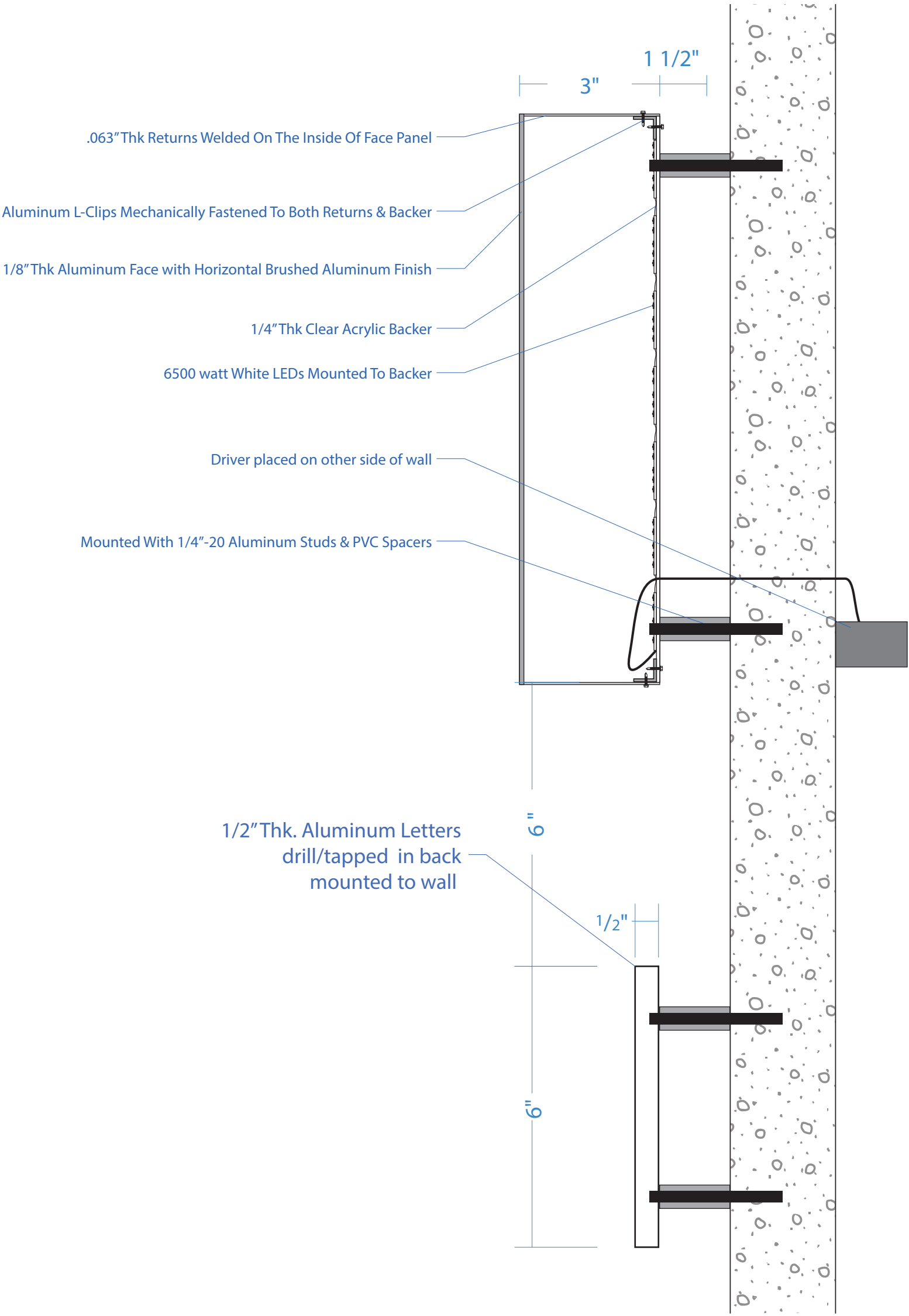
SHEET
GR- 07



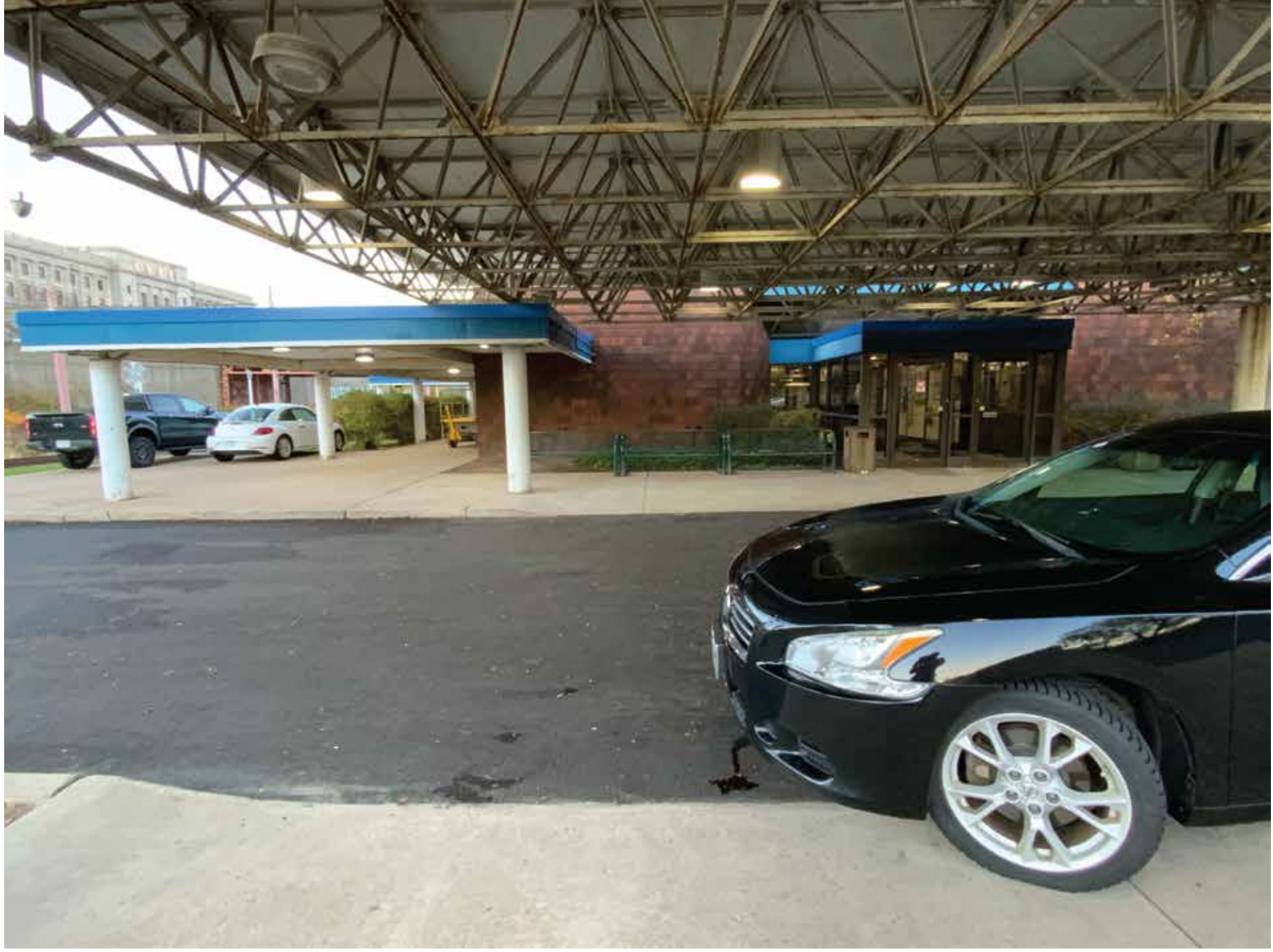
Location of C21 Brandmark (Halo-Lit) and C22 Individual Station Name Letters. Yellow line represents ground level. Base of Cleveland Station letters are shown at approximately 7' 3" to ground level

Amtrak Standard Type C21 Brandmark & C22 Station Name Individual Letters
Amtrak logo: Fabricated reverse channel halo-lit. Letters are aluminum with paint finish.
Station name: solid aluminum letters with paint finish.

Sign is located on brick wall at main entrance to the station. Height to be adjusted to allow maximum viewable area.



2 C21/C22 Side View
Scale: 1" = 3"



Photographs show current environment at proposed sign location

Client: **AMTRAK**
PO # 9510001749

Project:
**CLEVELAND STATION
SIGNAGE UPGRADE**

Site: 200 Cleveland
Memorial Shoreway.
Cleveland, OH 44114

**6" FABRICATED
ALUMINUM CHANNEL
LETTERS W/LED
HALO- LIT ILLUMINATED.
PAINT FINISH.**

**6" X 1/2" SOLID CUT
ALUMINUM STATION
NAME WITH PAINT FINISH**

Date: 01/23/22

Rev #:

File Name: SO#8006
**CLEVELAND STATION
MAIN ENTRANCE ID**

PM: P.REDISCH

Drawn By: C.MICHAUD

Sales: K.CHERASHORE

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Approved (Sign Here)

Name: _____

Date: _____

Sign Type
Square Foot
@ 17



March 4, 2022

DF2022-008 – The Pine Renovation/Conversion of 3-Story Industrial Building:
Seeking Conceptual Approval

Project Addresses: 1720-1736 Columbus Road

Project Representative: Melissa Spires, Berardi Partners

THE PINE

1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

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NOTE:

1. ALL BIDDERS SHALL VISIT THE SITE AND
BECOME FAMILIAR WITH THE EXISTING CONDITIONS
AND REQUIREMENTS OF THE PROJECT AND
SHALL NOTIFY THE ARCHITECT OF ANY ERRORS
AND OMISSIONS SUBSEQUENTLY DISCOVERED IN
THE CONTRACT DOCUMENTS

2. THE CONTRACT DOCUMENTS ARE COMPRISED
OF THE DRAWINGS AND THE PROJECT MANUAL IN
THEIR ENTIRETY. THE INFORMATION IN THESE
DOCUMENTS IS DEPENDENT UPON AND
COMPLEMENTARY OF EACH OTHER.

SEPARATION OF THE CONTRACT DOCUMENTS
SHALL NOT BE PERMITTED. IF THE CONTRACTOR
CHOOSES TO SEPARATE THE DOCUMENTS, THEY
DO SO AT THEIR OWN RISK AND EXPENSE.

3. ADDITIONALLY, SEE GENERAL INFORMATION ON
"A0" SHEETS

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS
(ARCHITECT) DRAWINGS AND SPECIFICATION
INCLUDING ALL DOCUMENTS ON ELECTRONIC
MEDIA AS INSTRUMENTS OF THE CONSULTANTS
(ARCHITECT) PROFESSIONAL SERVICE. THE
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TO BE MADE ANY MODIFICATION TO THE
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PRIOR WRITTEN AUTHORIZATION OF THE
CONSULTANT (ARCHITECT). THE CLIENT AGREES
TO WAIVE ANY CLAIM AGAINST THE CONSULTANT
(ARCHITECT) ARISING FROM ANY UNAUTHORIZED
TRANSFER, REUSE OR MODIFICATION OF THE
DRAWINGS AND SPECIFICATIONS

5. ARCHITECT CANNOT WARRANT THE ACCURACY
OF DATA CONTAINED HEREIN, ANY USE OR REUSE
OF ORIGINAL OR ALTERED CAD/DWG DESIGN
MATERIALS BY THE USER OR OTHER PARTIES
WITHOUT THE REVIEW AND WRITTEN APPROVAL
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OF THE USER. FURTHERMORE, USER AGREES TO
DEFEND, INDEMNIFY, AND HOLD ARCHITECT
HARMLESS FROM ALL CLAIMS, INJURIES,
DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S
FEES ARISING OUT OF THE MODIFICATION OR
REUSE OF THESE MATERIALS.

6. THESE DRAWINGS AS PART OF THE CONTRACT
DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT
INTENDED TO DEFINE EXACT QUANTITIES.
LOCATIONS OR MODIFIED REQUIREMENTS THE
DRAWINGS SHALL NOT BE SCALED. EXACT
STATE AND LOCAL CODE REQUIREMENTS AND
OTHER APPLICABLE CODE REQUIREMENTS
SHALL BE VERIFIED BY AND ARE THE SOLE
RESPONSIBILITY OF THIS CONTRACTOR. ANY
INFORMATION WHICH DIRECTLY CONTRADICTS WITH
ANY OF THESE CODES OR ANY DISCREPANCIES
FOUND IN THE CONTRACT DOCUMENTS SHALL BE
BROUGHT TO THE ATTENTION OF THE PROJECT
ARCHITECT.

DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

COVER SHEET

G000

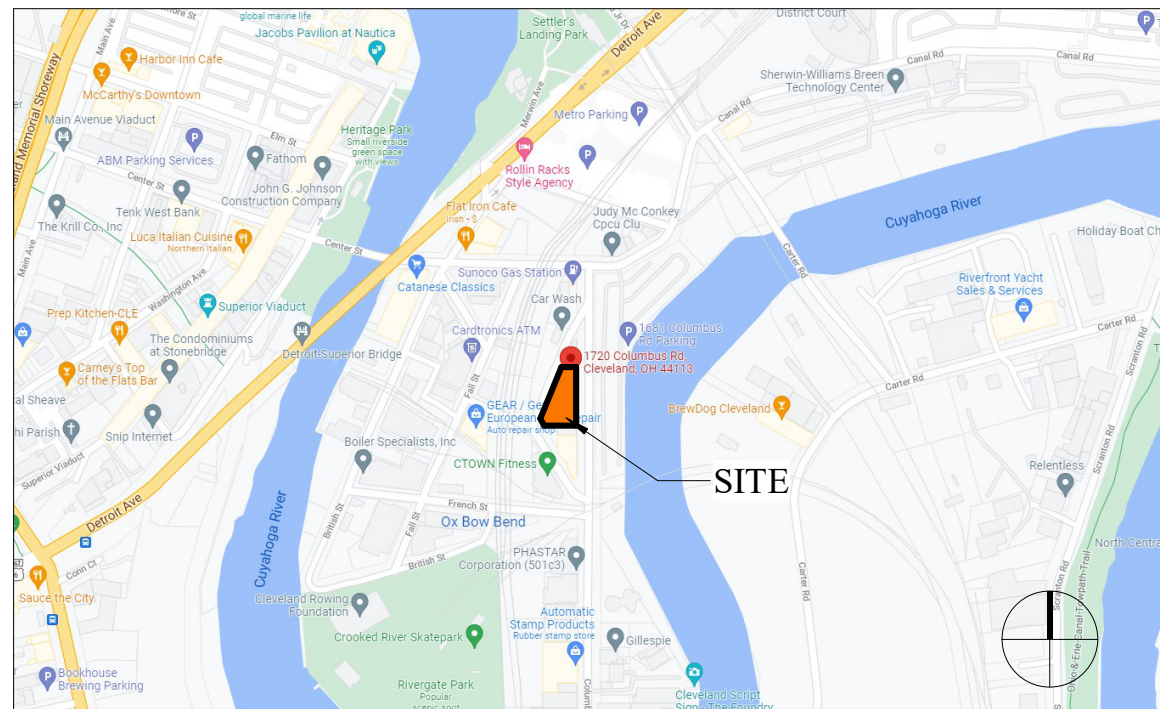
BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.2211 berardipartners.com

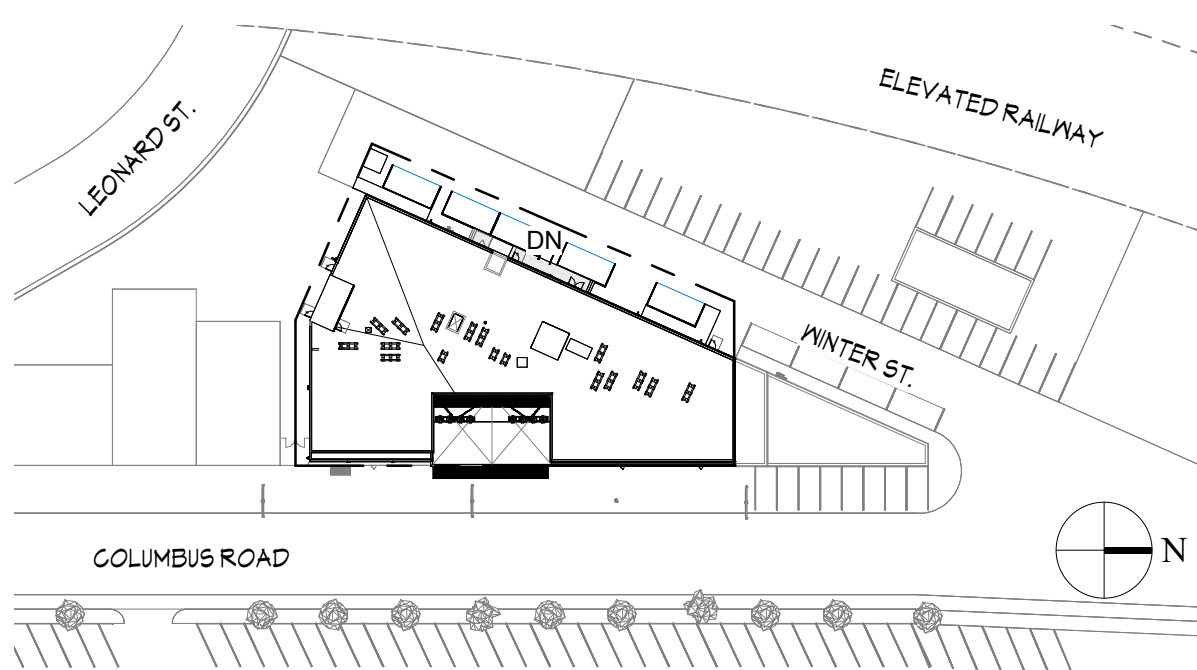
THE PINE
1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

DESIGN DEVELOPMENT SET

location map



site plan



perspective



development summary

PROJECT CONSISTS OF THE REDEVELOPMENT OF THE BUILDINGS LOCATED AT 1120, 1130 AND 1136 COLUMBUS ROAD. THE BUILDINGS WILL BECOME A MIXED USE DEVELOPMENT CONSISTING OF OFFICE AND RETAIL TENANT SPACES ON THE FIRST FLOOR ALONG WITH THE RESIDENTIAL LOBBY. THE 2ND, 3RD AND 4TH FLOORS WILL HOUSE 45 RESIDENTIAL APARTMENTS INCLUDING STUDIOS, 1 BEDROOM AND 2 BEDROOM UNITS.

drawing index

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G000	COVER SHEET
G001	ABBREVIATIONS SYMBOLS & NOTES
G002.a	CONSTRUCTION TYPE DETAILS
G002.b	CONSTRUCTION TYPE DETAILS
G003.a	CODE ANALYSIS
G003.b	LIFE SAFETY PLANS & SECTIONS
G004.a	GENERAL ACCESSIBILITY
G004.b	ACCESSIBLE ROUTES
G004.c	ELEVATOR & RAMP ACCESSIBILITY
G004.d	STAIR SIGNS & LAUNDRY ACCESSIBILITY
G004.e	PLUMBING ACCESSIBILITY
G004.f	TYPE A UNIT ACCESSIBILITY
G004.g	TYPE B UNIT ACCESSIBILITY
ARCHITECTURAL SITE	
A5100	EXISTING SITE PLAN
A5101	SITE PLAN
STRUCTURAL	
S000	GENERAL STRUCTURAL NOTES
S100	FOUNDATION PLAN
S101	SECOND FLOOR FRAMING PLAN
S102	THIRD FLOOR FRAMING PLAN
S103	FOURTH FLOOR FRAMING PLAN
S104	ROOF FRAMING PLAN
S200	DETAILS
S201	DETAILS
DEMO	
AD101	DEMOLITION FIRST FLOOR PLAN
AD102	DEMOLITION SECOND FLOOR PLAN
AD103	DEMOLITION THIRD FLOOR PLAN
AD104	DEMOLITION ROOF PLAN
AD201 DEMOLITION EXTERIOR ELEVATIONS	
AD202 DEMOLITION EXTERIOR ELEVATIONS	
ARCHITECTURAL	
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A301 ENLARGED UNIT PLANS	
A302 ENLARGED UNIT PLANS	
A303 ENLARGED UNIT PLANS	
A304 ENLARGED UNIT PLANS	
A305 ENLARGED UNIT PLANS	
A306 ENLARGED UNIT PLANS	
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A351 ENLARGED PLANS	
A352 ENLARGED PLANS	

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A402 INTERIOR ELEVATIONS	
A403 UNIT INTERIOR ELEVATIONS	
A501 BUILDING SECTIONS	
A502 BUILDING SECTIONS	
A503 BUILDING SECTIONS	
A504 BUILDING SECTIONS	
A505 STAIR A PLANS & SECTIONS	
A506 STAIR B PLANS & SECTIONS	
A507 STAIR SECTIONS	
A508 ELEVATOR PLANS & SECTIONS	
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A606 MALL SECTIONS	
A607 MALL SECTIONS	
A701 DOOR SCHEDULE & DETAILS	
A702 WINDOW SCHEDULE & DETAILS	
A801 FIRST FLOOR REFLECTED CEILING PLAN	
A802 SECOND FLOOR REFLECTED CEILING PLAN	
A803 THIRD FLOOR REFLECTED CEILING PLAN	
A804 FOURTH FLOOR REFLECTED CEILING PLANS	
INTERIORS	
I001 FINISH SCHEDULE & DETAILS	
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PLUMBING	
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P-102 PLUMBING SECOND FLOOR PLAN	
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drawing index

Sheet Number	Sheet Name
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M-404 HVAC ENLARGED PLAN-AREA D	
M-501 HVAC DETAILS	
M-601 HVAC SCHEDULES	
ELECTRICAL	
E-001 ELECTRICAL SYMBOL LEGEND, GENERAL NOTES & MISCELLANEOUS DETAILS	
E-002 SITE ELECTRICAL PLAN	
E-003 POWER DISTRIBUTION DIAGRAM	
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EL-001 LIGHTING FIXTURE SCHEDULE	
EL-101 FIRST FLOOR LIGHTING PLAN	
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EL-105 ROOF LEVEL LIGHTING PLAN	
EP-101 FIRST FLOOR POWER & TECHNOLOGY PLAN	
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EL-105 ROOF LEVEL POWER & TECHNOLOGY PLAN	
ES-101 FIRST FLOOR SIGNALING PLAN	
ES-102 SECOND FLOOR SIGNALING PLAN	
ES-103 THIRD FLOOR SIGNALING PLAN	
ES-104 FOURTH FLOOR SIGNALING PLAN	
ES-105 ROOF LEVEL SIGNALING PLAN	
EU-101 ENLARGED TYPICAL UNIT ELECTRICAL PLANS	

EXISTING GROSS AREA	
Level	Area
1ST FLOOR	14,225 SF
2ND FLOOR	10,956 SF
3RD FLOOR	4,845 SF
TOTAL:	29,426 SF

NEW EXTERIOR GROSS AREA	
Level	Area
1ST FLOOR	14,235 SF
2ND FLOOR	14,151 SF
3RD FLOOR	14,111 SF
4TH FLOOR	12,840 SF
TOTAL:	55,342 SF

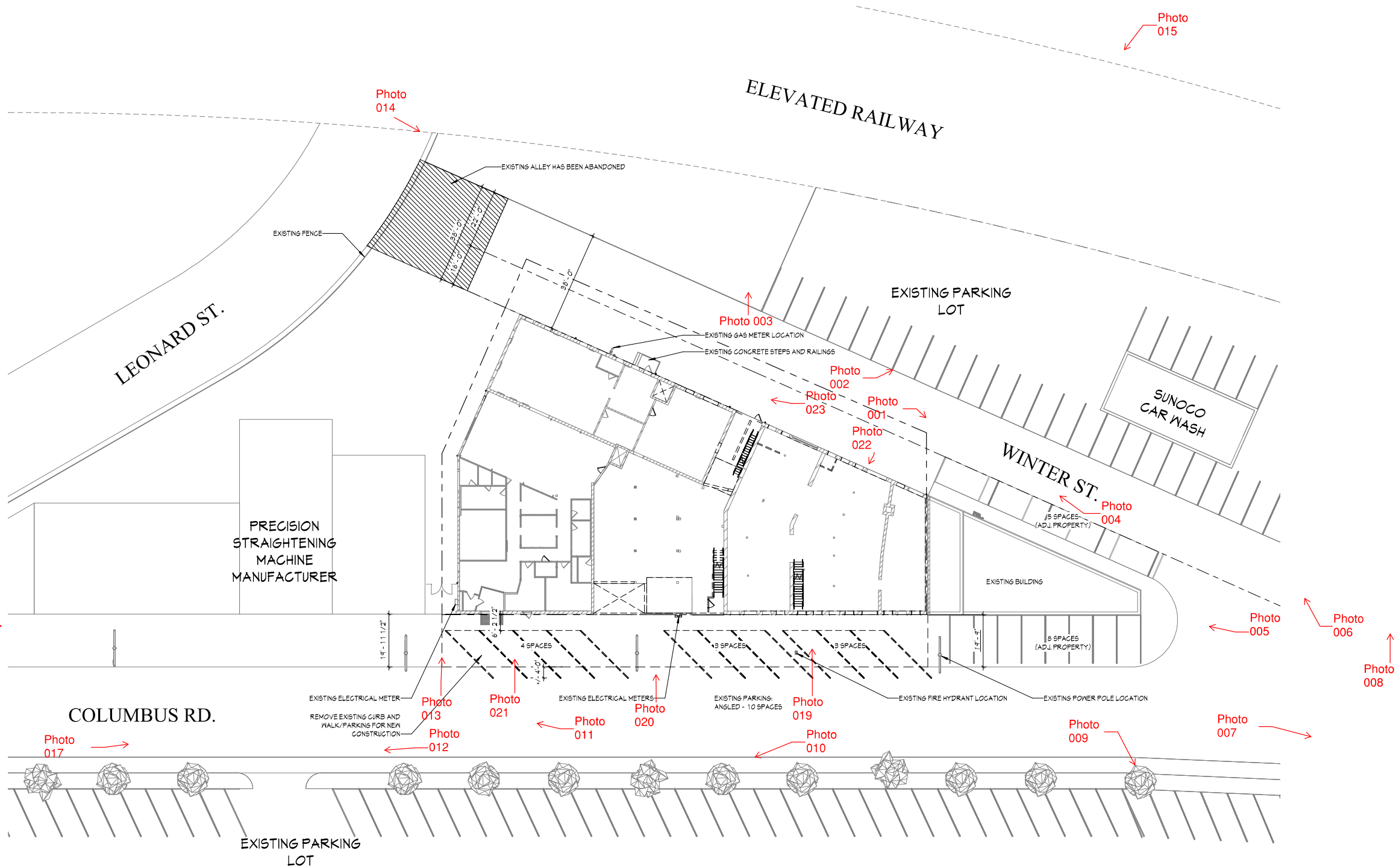
UNIT SCHEDULE		
TYPE	COUNT	AREA
2ND FLOOR		
1 BR	14	10,485 SF
2 BR	1	943 SF
STUDIO	1	555 SF
3RD FLOOR		
1 BR	14	11,452 SF
2 BR	1	943 SF
STUDIO	1	544 SF
4TH FLOOR		
1 BR	11	7,919 SF
2 BR	1	925 SF
STUDIO	1	544 SF
TOTAL AREA:		
	45	33,369 SF

UNIT SUMMARY		
TYPE	COUNT	AREA
1 BR	34	28,904 SF
2 BR	3	2,811 SF
STUDIO	3	1,642 SF
TOTAL AREA:		
	45	33,369 SF

Unit Area Schedule			
2ND FLOOR			
201	1 BR	821 SF	
202	1 BR	149 SF	
203	1 BR	140 SF	
204	1 BR	141 SF	
205	1 BR	142 SF	
206	1 BR	100 SF	
207	1 BR	802 SF	
208	1 BR	111 SF	
209	1 BR	141 SF	
210	STUDIO	555 SF	
211	1 BR	654 SF	
212	1 BR	833 SF	
213	2 BR	943 SF	
214	1 BR	603 SF	
215	1 BR	123 SF	
217	1 BR	170 SF	
16 11,484 SF			
3RD FLOOR			
301	1 BR	821 SF	
302	1 BR	140 SF	
303	1 BR	140 SF	
304	1 BR	133 SF	
305	1 BR	142 SF	
306	1 BR	648 SF	
307	1 BR	802 SF	
308	1 BR	695 SF	
309	1 BR	141 SF	
310	STUDIO	544 SF	
311	1 BR	654 SF	
312	1 BR	835 SF	
313	2 BR	943 SF	
314	1 BR	604 SF	
315	1 BR	123 SF	
317	1 BR	170 SF	
16 11,494 SF			
4TH FLOOR			
401	1 BR	760 SF	
402	1 BR	788 SF	
403	1 BR	731 SF	
404	1 BR	733 SF	
405	1 BR	745 SF	
406	1 BR	648 SF	
408	1 BR	644 SF	
410	STUDIO	544 SF	
412	1 BR	820 SF	
413	2 BR	925 SF	
414	1 BR	604 SF	
415	1 BR	603 SF	
417	1 BR	718 SF	
419	1 BR	741 SF	
420	STUDIO	555 SF	
421	1 BR	654 SF	
422	1 BR	833 SF	
423	2 BR	943 SF	
424	1 BR	603 SF	
425	1 BR	723 SF	
427	1 BR	770 SF	
429	1 BR	718 SF	
430	STUDIO	1,230 SF	
431	ELEC. CLOSET	28 SF	
432	JAN. CLOSET	26 SF	
EL-2	ELEV.	161 SF	
SA-2	STAIR A	221 SF	
SB-2	STAIR B	344 SF	
SH-1	EX. SHAFT 1	43 SF	
SH-2	EX. SHAFT 2	58 SF	
SH-3	SHAFT 3	20 SF	
SH-4	SHAFT 4	32 SF	
SH-5	SHAFT 5	0 SF	
14,151 SF			
Total Unit Count: 45 33,369 SF			

Area Schedule (Rentable)		
1ST FLOOR		
101	VESTIBULE	11 SF
102	LEASING	188 SF
103	OFFICE	311 SF
104	CLOSET	26 SF
106	OFFICE	181 SF
107	OFFICE	164 SF
108	LOBBY	511 SF
109	LOUNGE	521 SF
110	MAIL ROOM	141 SF
111	CORRIDOR	70 SF
112	RESTROOM	74 SF
113	PACKAGE ROOM	49 SF
114	BICYCLE STORAGE	300 SF
115	CORRIDOR	75 SF
116	CORRIDOR	113 SF
117	MAINT./MECH	291 SF
117A	MAINTENANCE STORAGE	104 SF
118	PET SALON	81 SF
119	TRASH	242 SF
120	REAR LOBBY	230 SF
121	TENANT AREA C	4,083 SF
122	TENANT AREA A	3,636 SF
123	TENANT AREA B	1,831 SF
124	ELECTRICAL	66 SF
EL-1	ELEV.	148 SF
SA-1	STAIR A	211 SF
SB-1	STAIR B	344 SF
SH-1	EX. SHAFT 1	42 SF
SH-2	EX. SHAFT 2	64 SF
14,235 SF		
2ND FLOOR		
201	1 BR	821 SF
202	1 BR	744 SF
203	1 BR	740 SF
204	1 BR	741 SF
205	1 BR	742 SF
206	1 BR	700 SF
207	1 BR	802 SF
208	1 BR	711 SF
209	1 BR	741 SF
210	STUDIO	555 SF
211	1 BR	654 SF
212	1 BR	833 SF
213	2 BR	943 SF
214	1 BR	603 SF
215	1 BR	723 SF
217	1 BR	770 SF
219	CORRIDOR	1,230 SF
220	JAN. CLOSET	28 SF
EL-2	ELEV.	161 SF
SA-2	STAIR A	221 SF
SB-2	STAIR B	344 SF
SH-1	EX. SHAFT 1	43 SF
SH-2	EX. SHAFT 2	58 SF
SH-3	SHAFT 3	23 SF
SH-4	SHAFT 4	

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THE PINE

1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

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DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

EXISTING SITE
PLAN

AS100

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existing architectural site plan

1" = 20'-0"



NOT FOR CONSTRUCTION

The Pine
1720-1736 Columbus Road
Photos for Existing Conditions Plan



Photo 001



Photo 002



Photo 003



Photo 004



Photo 005



Photo 006



Photo 007



Photo 008



Photo 009



Photo 010



Photo 011



Photo 012



Photo 013



Photo 014



Photo 015



Photo 016



Photo 017



Photo 018



Photo 019



Photo 020



Photo 021

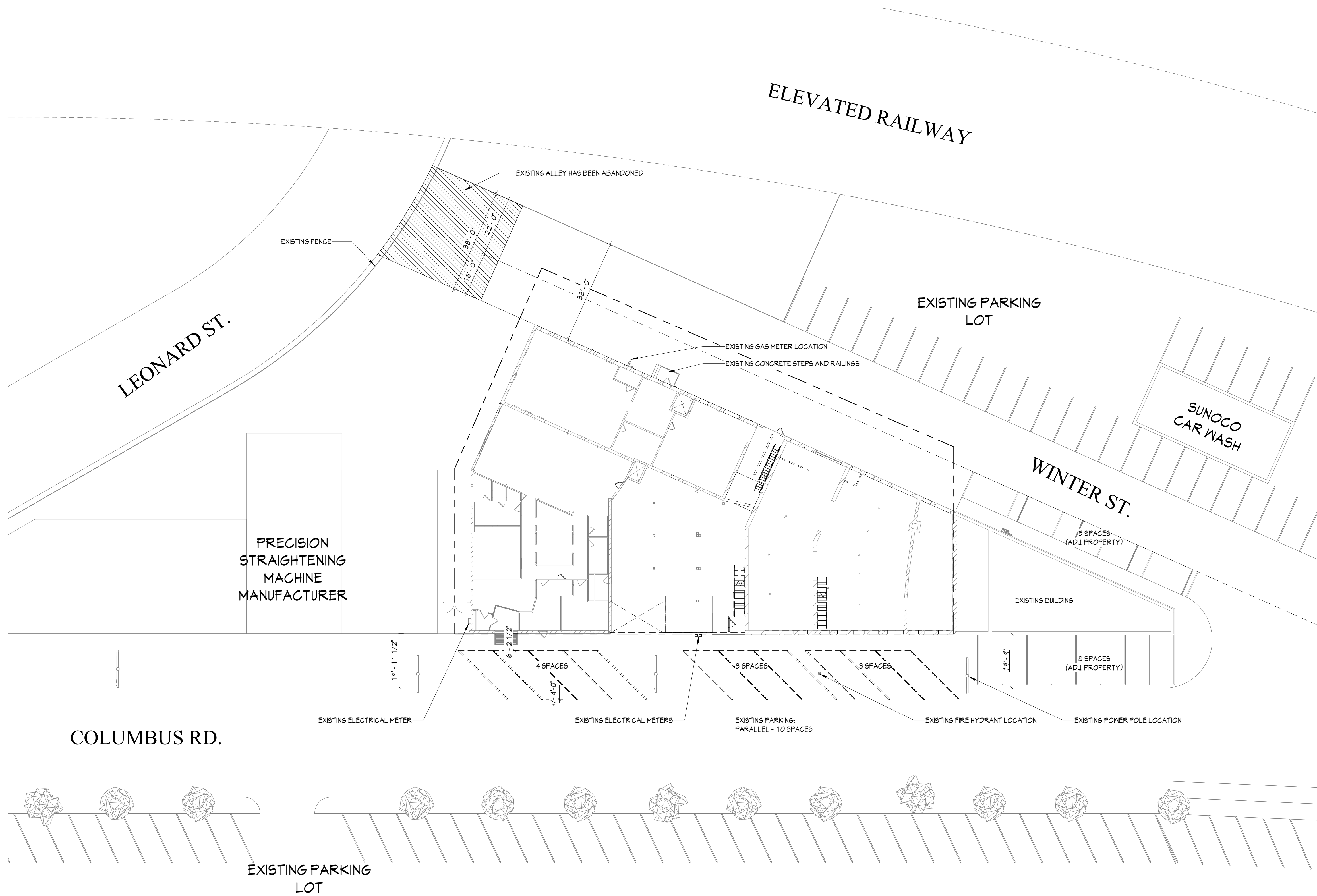


Photo 022



Photo 023

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existing architectural site plan 1" = 20'-0" 

THE PINE

1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

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DESIGN DEVELOPMENT SET

PROJECT DATE: 2.10.2022
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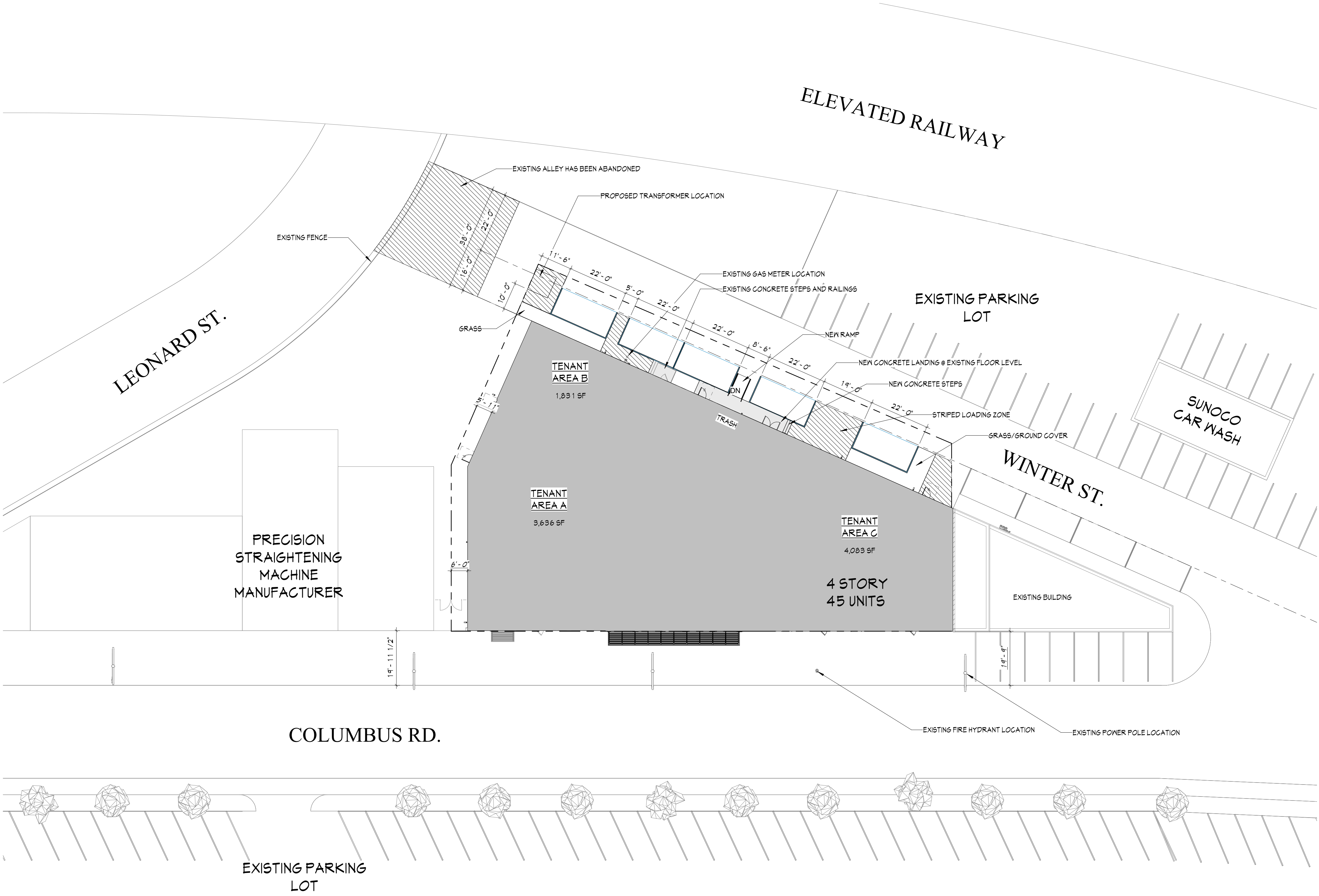
EXISTING SITE PLAN

AS100

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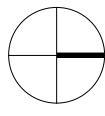
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architectural site plan

1" = 20'-0"



THE PINE

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glazing percentage:

1ST STORY 3'-8" ABOVE GRADE:	890 SQ FT
1ST STORY GLAZING 3'-8" ABOVE GRADE:	515 SQ FT
PERCENTAGE OF GLAZING:	51.9 %

FIRST-STORY GLAZING, NON-RESIDENTIAL; PRINCIPAL AND SECONDARY STREET:

75% MIN. OF THE FRONTAGE
BUILDOUT BETWEEN 3' AND 8'
ABOVE GRADE (EXCLUDING
STREETSCREENS) SHALL BE
TRANSPARENT WINDOWS AND
DOORS

FIRST-STORY GLAZING, RESIDENTIAL; PRINCIPAL AND SECONDARY STREET:

45% MIN. OF THE FRONTAGE BUILDOUT
BETWEEN 3' AND 8' ABOVE GRADE
SHALL BE TRANSPARENT WINDOWS
AND DOORS

general zoning information:

ADDRESS:	1120 COLUMBUS ROAD
PARCEL NUMBER:	101-11-009, 101-11-010
EXISTING ZONING CLASSIFICATION/DISTRICT:	SI (PENDING)
PROPOSED ZONING CLASSIFICATION/DISTRICT:	SI
EXISTING HEIGHT DISTRICT:	K-4
PROPOSED HEIGHT DISTRICT:	K-4
COMMERCIAL OVERLAY:	URBAN FORM OVERLAY
TOTAL SITE AREA:	0.4218 ACRES
FLOOD INSURANCE RATE MAP NUMBER:	
MOST RECENT EFFECTIVE DATE OF FIRM:	
BASE FLOOD ELEVATION:	

general project information:

EXISTING ZONING MAXIMUM BUILDING HEIGHT:	115'
PROPOSED ZONING MAXIMUM BUILDING HEIGHT:	115'
PROPOSED BUILDING HEIGHT:	52'
BUILDING USE:	RESIDENTIAL, RETAIL
BUILDING AREA:	54,865 SF
NUMBER OF DWELLING UNITS (RESIDENTIAL ONLY):	45
PROPOSED REFUSE SERVICE (RESIDENTIAL ONLY):	
PROPOSED REFUSE CAPACITY C.Y. (RESIDENTIAL ONLY):	

site data table:

TOTAL SITE AREA:	0.4218 ACRES
TOTAL DISTURBED AREA:	0.4218 ACRES
PRE-DEVELOPED IMPERVIOUS:	0.4218 ACRES
POST-DEVELOPED IMPERVIOUS:	0.4218 ACRES

parking calculation:

REQUIRED RESIDENTIAL PARKING (1 PER UNIT @ 45 UNITS x 25%):	12 SPACES
PROPOSED RESIDENTIAL PARKING:	5 SPACES
REQUIRED COMMERCIAL (RETAIL) PARKING (1 PER 500 SF @ 9,531 SF x 25%):	5 SPACES
PROPOSED COMMERCIAL PARKING:	0 SPACES
REQUIRED ADA PARKING (VAN/TOTAL):	td
PROPOSED ADA PARKING (VAN/TOTAL):	td
TOTAL SPACES MIN. NEEDED:	11 SPACES
TOTAL SPACES PROVIDED:	5 SPACES

bicycle parking calculation:

BICYCLE PARKING REQUIRED (1 SPACE PER 20 VEHICULAR SPACES / MAX. 20):	1
PROPOSED BICYCLE PARKING:	30 (INSIDE)

shade tree calculation:

DWELLING UNIT SHADE TREES REQUIREMENTS	td
DWELLING UNIT SHADE TREES PROVIDED:	td

DESIGN DEVELOPMENT SET

PROJECT DATE: 2.10.2022

PROJECT #: 21142

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SITE PLAN

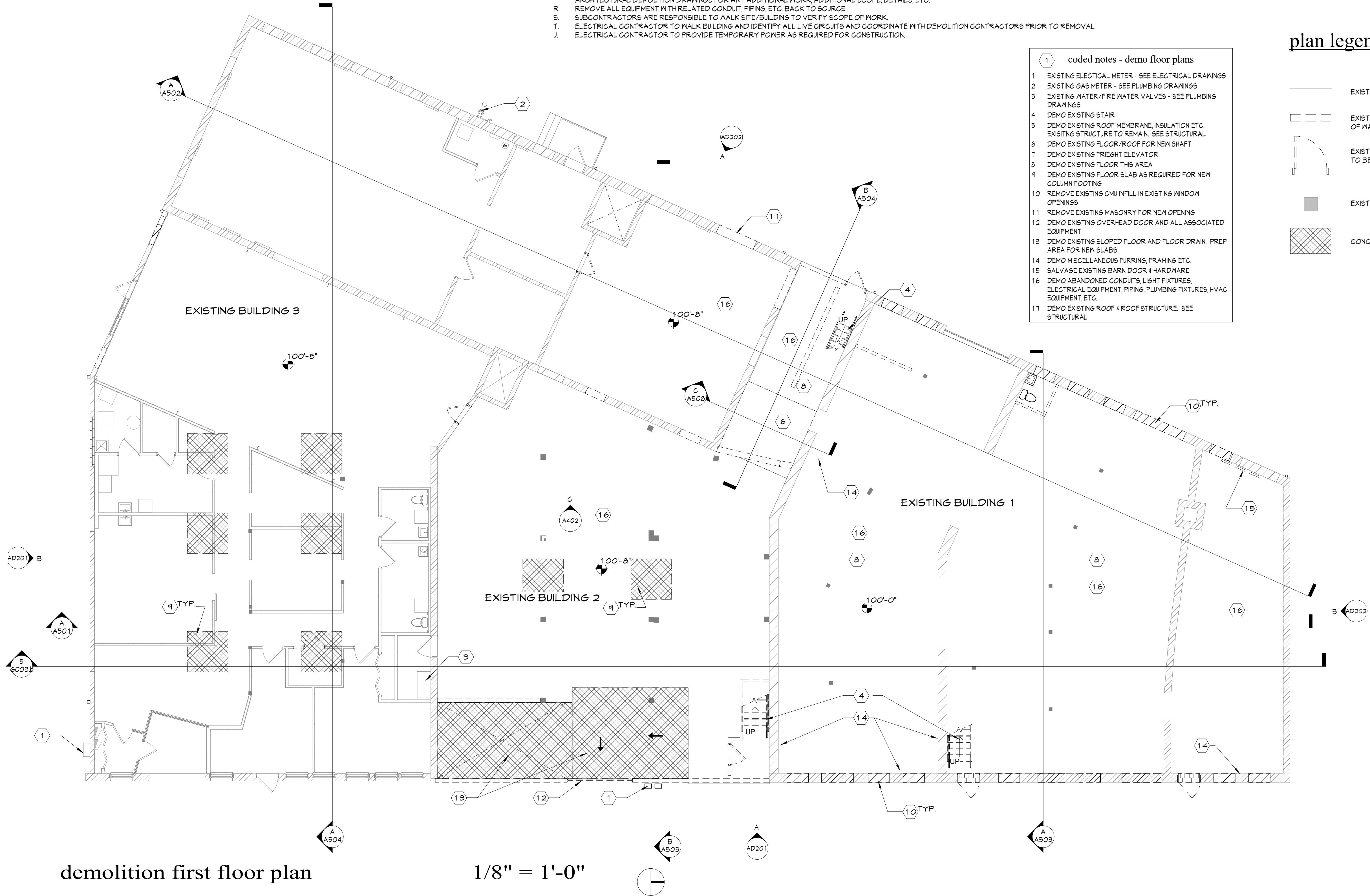
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- C. GENERAL SCOPE OF DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL EXISTING CONSTRUCTION, FINISHES, MECHANICAL/ELECTRICAL/PLUMBING SYSTEMS, ETC., AS REQUIRED FOR IMPLEMENTATION OF NEW PLAN AND FINISHES.
- D. THE CONTRACTOR SHALL ENSURE THE TOTAL SAFETY, HEALTH, AND WELFARE OF ALL INDIVIDUALS WITHIN THE BUILDING PORTIONS IN WHICH DEMOLITION AND SUBSEQUENT RECONSTRUCTION IS SCHEDULED TO OCCUR. PROVIDE ALL NECESSARY BARRICADES, PROTECTIVE SCREEN SHORING, ETC. AS NECESSARY. CONTRACTOR SHALL MAINTAIN EGRESS FOR ALL OCCUPANTS OF THE BUILDING THROUGHOUT CONSTRUCTION.
- E. ALL DEBRIS, EXISTING OR RESULTING FROM SCHEDULED CONSTRUCTION DURING THE COURSE OF THE WORK, SHALL BE REMOVED FROM THE PROJECT AREA ON A DAILY BASIS. ALL SPACES INCLUDING STAIRS AND CORRIDORS SHALL BE MAINTAINED AND LEFT IN A BROOM CLEAN CONDITION DAILY.
- F. ALL FIXTURES AND EQUIPMENT REMOVED AS SCHEDULED, SHALL BE CONIGNED TO THE GENERAL CONTRACTOR FOR REUSE AS SALVAGED MATERIALS OR DISPOSAL AS REQUIRED. ALL INTERIOR DOORS, LIGHT FIXTURES, BUILT-IN CABINETS AND ANY ITEMS WHICH MAY BE DESIGNATED AS SALVAGEABLE DURING THE CONSTRUCTION PERIOD, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CATALOGUE AND PROVIDE STORAGE AND PROTECTION FOR ALL SUCH MATERIALS INTENDED FOR REUSE.
- G. ALL EXISTING ELECTRICAL, PLUMBING, AND HEATING SYSTEMS SCHEDULED TO BE REMOVED SHALL BE REMOVED, CAPPED, OR SEALED AS REQUIRED FOR THE CONTRACTOR TO IMPLEMENT THE NEWLY SCHEDULED WORK. SEE ELECTRICAL, HVAC, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- H. IN THE EVENT THAT UNCOVERED CONDITIONS ARE CONSIDERED DEFECTIVE OR OTHERWISE DISSIMILAR TO ANTICIPATED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY AND FOLLOW WITH A WRITTEN MEMORANDUM. PRIOR TO PROCEEDING WITH ANY BALANCE OF SCHEDULED WORK IN ANY GIVEN AREA, THE ARCHITECT/ENGINEER SHALL PERFORM INVESTIGATION SUFFICIENT TO DETERMINE STRUCTURAL INTEGRITY OF THE GIVEN COMPONENT.
- I. ALL EXISTING WALL AREAS WHICH WERE PREVIOUSLY INTERSECTED BY OTHER WALLS, ETC. SHALL BE REPAIRED. REMOVE OLD MATERIALS TO A POINT WHERE NEW FINISH MATERIAL CAN BE EFFECTIVELY APPLIED TO A SOUND FIRM BASE. ALL OTHER CRACKED AND DAMAGED WALL AREAS SHALL BE REPAIRED SIMILARLY PRIOR TO THE APPLICATION OF FINAL WALL FINISHES. CONSIDER SPECIFICALLY REMOVAL OF ANY DRYWALL TO FRAME PRIOR TO PROCEEDING WITH FINAL FINISHES.
- J. ALL FLOOR AREAS UPON WHICH PREVIOUS WALLS WERE LOCATED SHALL BE REPAIRED BY THE REMOVAL OF LOOSE DEBRIS (FOLLOWING PARTITION REMOVAL) AND RESURFACED TO CAUSE THE NEW FINISH FLOOR LEVEL TO BE A SMOOTH TRANSITION BETWEEN MAINTAINED FLOOR AREAS AND REPAIRED POINTS.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND STRUCTURES BOTH VISIBLE AND OBSCURED BY OTHER ASSEMBLIES, SUCH AS PAVEMENT, PLANTINGS, EARTHEN STRUCTURES, BUILDING, ETC., AND SHALL BE FINANCIALLY RESPONSIBLE FOR ANY AND ALL PREPARATION REQUIREMENTS WHICH MAY RESULT FROM DAMAGE DURING THE CONSTRUCTION OF THE WORK SCHEDULED BY THE DEVELOPMENT PLANS.
- L. ALL DEMOLITION SCHEDULED BY THESE DOCUMENTS, OR AS MAY OTHERWISE BE REQUIRED BY PREVIOUSLY UNFORESEEN CONDITIONS, SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH ALL TRADESMAN, AND WITH FINAL DRAWINGS OR MODIFICATIONS THERETO, TO DETERMINE THE TRUE AND FINAL EXTENT OF THE REQUIRED WORK.
- M. ALL EXISTING MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES ARE TO BE MAINTAINED DURING ALL PHASES OF WORK.
- N. ANY DEMOLITION THAT INVOLVES REFRIGERANT OR OTHER HAZARDOUS MATERIALS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION OVER THE REMOVAL, CONTAINMENT AND DISPOSAL OF HAZARDOUS MATERIALS. REMOVE, STORE AND DISPOSE OF REFRIGERANT ACCORDING TO 40 CFR 8.2 AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION INCLUDING ALL EPA REGULATIONS AND PROCEDURES.
- O. CONTRACTOR TO ENSURE THAT ALL HISTORIC ELEMENTS INCLUDING BUT NOT LIMITED TO FABRIC, FINISHES, MATERIAL, COMPONENTS, ETC. SHALL BE PROTECTED FROM DAMAGE DURING THE DEMOLITION AND/OR CONSTRUCTION PROCESS. ANY DAMAGE AS A RESULT OF HISTORIC ELEMENTS NOT BEING PROPERLY PROTECTED FROM DAMAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR TRADES RESPONSIBLE FOR THE DAMAGE. ALL DAMAGED HISTORIC ELEMENTS SHALL BE PLACED IN LIKE NEW DEFECT FREE CONDITION WITH NO COST INCURRED BY THE OWNER.
- P. ALL NEW AND EXISTING THROUGH PENETRATIONS AT FIRE RATED ASSEMBLIES (FLOOR/CEILING AND/OR WALL ASSEMBLIES) SHALL BE PROTECTED WITH APPROVED FIRESTOPPING MATERIAL.
- Q. IT IS THE INTENT FOR THE DEMOLITION CONTRACTORS TO REMOVE ALL EXISTING ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT (LIGHT FIXTURES, RECEPTACLES, PIPING, ETC.) LOCATED IN THE BUILDING. THE DEMOLITION CONTRACTORS MUST COORDINATE WITH THE ARCHITECTURAL DEMOLITION DRAWINGS FOR ANY ADDITIONAL WORK, ADDITIONAL SCOPE, DETAILS, ETC.
- R. REMOVE ALL EQUIPMENT WITH RELATED CONDUIT, PIPING, ETC. BACK TO SOURCE.
- S. SUBCONTRACTORS ARE RESPONSIBLE TO WALK SITE/BUILDING TO VERIFY SCOPE OF WORK.
- T. ELECTRICAL CONTRACTOR TO WALK BUILDING AND IDENTIFY ALL LIVE CIRCUITS AND COORDINATE WITH DEMOLITION CONTRACTORS PRIOR TO REMOVAL.
- U. ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY POWER AS REQUIRED FOR CONSTRUCTION.



demolition first floor plan

1/8" = 1'-0"

THE PINE

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DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
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Description Date

DEMOLITION
FIRST FLOOR
PLAN

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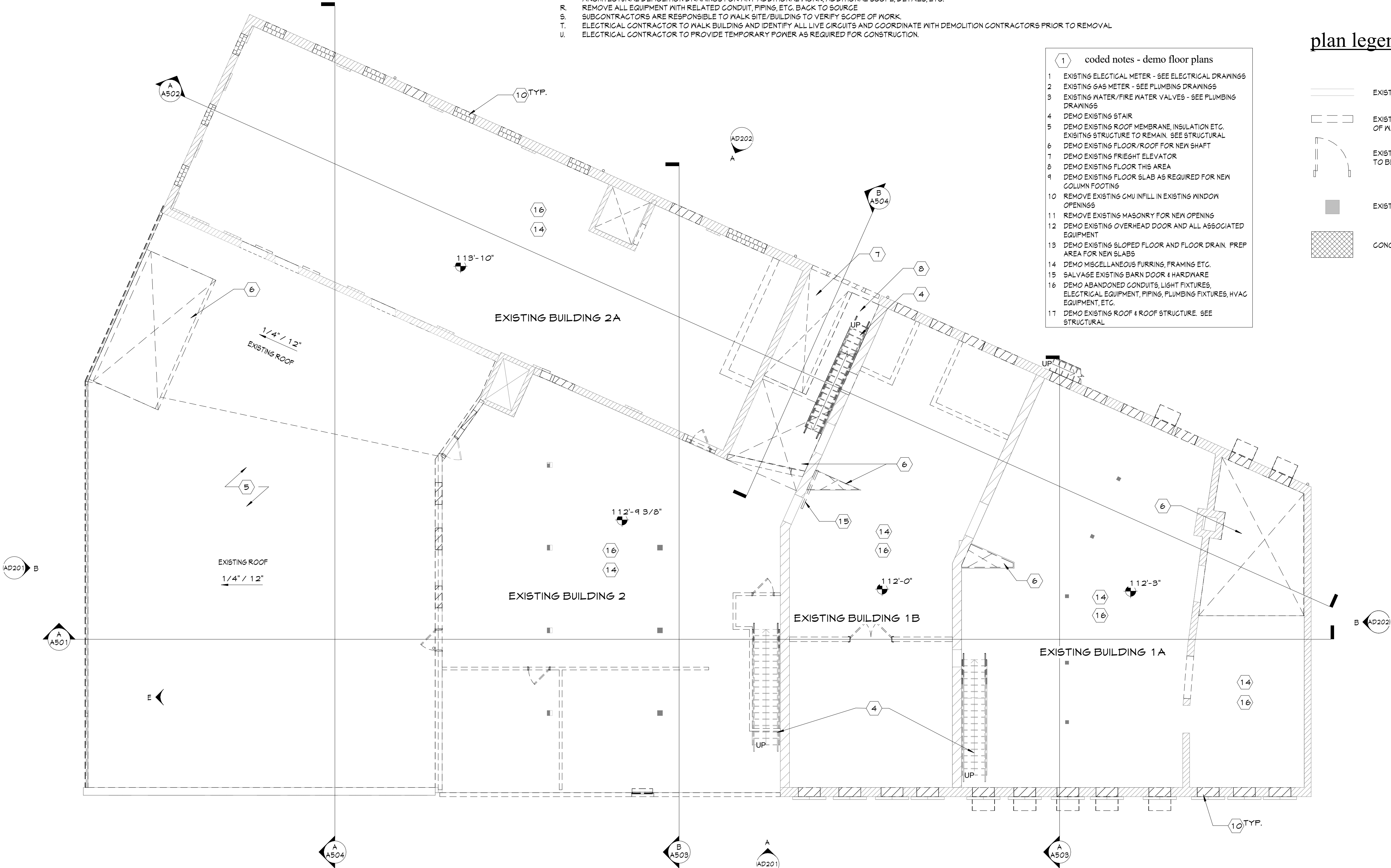
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- D. THE CONTRACTOR SHALL ENSURE THE TOTAL SAFETY, HEALTH, AND WELFARE OF ALL INDIVIDUALS WITHIN THE BUILDING PORTIONS IN WHICH DEMOLITION AND SUBSEQUENT RECONSTRUCTION IS SCHEDULED TO OCCUR. PROVIDE ALL NECESSARY BARRICADES, PROTECTIVE SCREEN SHORING, ETC. AS NECESSARY. CONTRACTOR SHALL MAINTAIN EGRESS FOR ALL OCCUPANTS OF THE BUILDING THROUGHOUT CONSTRUCTION.
- E. ALL DEBRIS, EXISTING OR RESULTING FROM SCHEDULED CONSTRUCTION DURING THE COURSE OF THE WORK, SHALL BE REMOVED FROM THE PROJECT AREA ON A DAILY BASIS. ALL SPACES INCLUDING STAIRS AND CORRIDORS SHALL BE MAINTAINED AND LEFT IN A BROOM CLEAN CONDITION DAILY.
- F. ALL FIXTURES AND EQUIPMENT REMOVED AS SCHEDULED, SHALL BE CONIGNED TO THE GENERAL CONTRACTOR FOR REUSE AS SALVAGEABLE MATERIALS OR DISPOSAL AS REQUIRED. ALL INTERIOR DOORS, LIGHT FIXTURES, BUILT-IN CABINETS AND ANY ITEMS WHICH MAY BE DESIGNATED AS SALVAGEABLE DURING THE CONSTRUCTION PERIOD, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CATALOGUE AND PROVIDE STORAGE AND PROTECTION FOR ALL SUCH MATERIALS INTENDED FOR REUSE.
- G. ALL EXISTING ELECTRICAL, PLUMBING, AND HEATING SYSTEMS SCHEDULED TO BE REMOVED SHALL BE REMOVED, CAPPED, OR SEALED AS REQUIRED FOR THE CONTRACTOR TO IMPLEMENT THE NEWLY SCHEDULED WORK. SEE ELECTRICAL, HVAC, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- H. IN THE EVENT THAT UNCOVERED CONDITIONS ARE CONSIDERED DEFECTIVE OR OTHERWISE DISSIMILAR TO ANTICIPATED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY AND FOLLOW WITH A WRITTEN MEMORANDUM. PRIOR TO PROCEEDING WITH ANY BALANCE OF SCHEDULED WORK IN ANY GIVEN AREA, THE ARCHITECT/ENGINEER SHALL PERFORM INVESTIGATION SUFFICIENT TO DETERMINE STRUCTURAL INTEGRITY OF THE GIVEN COMPONENT.
- I. ALL EXISTING WALL AREAS WHICH WERE PREVIOUSLY INTERSECTED BY OTHER WALLS, ETC. SHALL BE REPAIRED. REMOVE OLD MATERIALS TO A POINT WHERE NEW FINISH MATERIAL CAN BE EFFECTIVELY APPLIED TO A SOUND FIRM BASE. ALL OTHER CRACKED AND DAMAGED WALL AREAS SHALL BE REPAIRED SIMILARLY PRIOR TO THE APPLICATION OF FINAL WALL FINISHES. CONSIDER SPECIFICALLY REMOVAL OF ANY DRYWALL TO FRAME PRIOR TO PROCEEDING WITH FINAL FINISHES.
- J. ALL FLOOR AREAS UPON WHICH PREVIOUS WALLS WERE LOCATED SHALL BE REPAIRED BY THE REMOVAL OF LOOSE DEBRIS (FOLLOWING PARTITION REMOVAL) AND RESURFACED TO CAUSE THE NEW FINISH FLOOR LEVEL TO BE A SMOOTH TRANSITION BETWEEN MAINTAINED FLOOR AREAS AND REPAIRED POINTS.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND STRUCTURES BOTH VISIBLE AND OBSCURED BY OTHER ASSEMBLIES, SUCH AS PAVEMENT, PLANTINGS, EARTHEN STRUCTURES, BUILDING, ETC., AND SHALL BE FINANCIALLY RESPONSIBLE FOR ANY AND ALL PREPARATION REQUIREMENTS WHICH MAY RESULT FROM DAMAGE DURING THE CONSTRUCTION OF THE WORK SCHEDULED BY THE DEVELOPMENT PLANS.
- L. ALL DEMOLITION SCHEDULED BY THESE DOCUMENTS, OR AS MAY OTHERWISE BE REQUIRED BY PREVIOUSLY UNFORESEEN CONDITIONS, SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH ALL TRADESMAN, AND WITH FINAL DRAWINGS OR MODIFICATIONS THERETO, TO DETERMINE THE TRUE AND FINAL EXTENT OF THE REQUIRED WORK.
- M. ALL EXISTING MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES ARE TO BE MAINTAINED DURING ALL PHASES OF WORK.
- N. ANY DEMOLITION THAT INVOLVES REFRIGERANT OR OTHER HAZARDOUS MATERIALS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION OVER THE REMOVAL, CONTAINMENT AND DISPOSAL OF HAZARDOUS MATERIALS. REMOVE, STORE AND DISPOSE OF REFRIGERANT ACCORDING TO 40 CFR 8.2 AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION INCLUDING ALL EPA REGULATIONS AND PROCEDURES.
- O. CONTRACTOR TO ENSURE THAT ALL HISTORIC ELEMENTS INCLUDING BUT NOT LIMITED TO FABRIC, FINISHES, MATERIAL, COMPONENTS, ETC. SHALL BE PROTECTED FROM DAMAGE DURING THE DEMOLITION AND/OR CONSTRUCTION PROCESS. ANY DAMAGE AS A RESULT OF HISTORIC ELEMENTS NOT BEING PROPERLY PROTECTED FROM DAMAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR TRADES RESPONSIBLE FOR THE DAMAGE. ALL DAMAGED HISTORIC ELEMENTS SHALL BE PLACED IN LIKE NEW DEFECT FREE CONDITION WITH NO COST INCURRED BY THE OWNER.
- P. ALL NEW AND EXISTING THROUGH PENETRATIONS AT FIRE RATED ASSEMBLIES (FLOOR/CEILING AND/OR WALL ASSEMBLIES) SHALL BE PROTECTED WITH APPROVED FIRESTOPPING MATERIAL.
- Q. IT IS THE INTENT FOR THE DEMOLITION CONTRACTORS TO REMOVE ALL EXISTING ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT (LIGHT FIXTURES, RECEPTACLES, PIPING, ETC.) LOCATED IN THE BUILDING. THE DEMOLITION CONTRACTORS MUST COORDINATE WITH THE ARCHITECTURAL DEMOLITION DRAWINGS FOR ANY ADDITIONAL WORK, ADDITIONAL SCOPE, DETAILS, ETC.
- R. REMOVE ALL EQUIPMENT WITH RELATED CONDUIT, PIPING, ETC. BACK TO SOURCE.
- S. SUBCONTRACTORS ARE RESPONSIBLE TO WALK SITE/BUILDING TO VERIFY SCOPE OF WORK.
- T. ELECTRICAL CONTRACTOR TO WALK BUILDING AND IDENTIFY ALL LIVE CIRCUITS AND COORDINATE WITH DEMOLITION CONTRACTORS PRIOR TO REMOVAL.
- U. ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY POWER AS REQUIRED FOR CONSTRUCTION.

plan legend - demo

- 1 coded notes - demo floor plans
- 1 EXISTING ELECTRICAL METER - SEE ELECTRICAL DRAWINGS
- 2 EXISTING GAS METER - SEE PLUMBING DRAWINGS
- 3 EXISTING WATER/FIRE WATER VALVES - SEE PLUMBING DRAWINGS
- 4 DEMO EXISTING STAIR
- 5 DEMO EXISTING ROOF MEMBRANE, INSULATION ETC. EXISTING STRUCTURE TO REMAIN. SEE STRUCTURAL
- 6 DEMO EXISTING FLOOR/ROOF FOR NEW SHAFT
- 7 DEMO EXISTING FRIEGHT ELEVATOR
- 8 DEMO EXISTING FLOOR THIS AREA
- 9 DEMO EXISTING FLOOR SLAB AS REQUIRED FOR NEW COLUMN FOOTING
- 10 REMOVE EXISTING CMU INFILL IN EXISTING WINDOW OPENINGS
- 11 REMOVE EXISTING MASONRY FOR NEW OPENING
- 12 DEMO EXISTING OVERHEAD DOOR AND ALL ASSOCIATED EQUIPMENT
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- 14 DEMO MISCELLANEOUS FURRING, FRAMING ETC.
- 15 SALVAGE EXISTING BARN DOOR & HARDWARE
- 16 DEMO ABANDONED CONDUITS, LIGHT FIXTURES, ELECTRICAL EQUIPMENT, PIPING, PLUMBING FIXTURES, HVAC EQUIPMENT, ETC.
- 17 DEMO EXISTING ROOF & ROOF STRUCTURE. SEE STRUCTURAL

- EXISTING PARTITION
- EXISTING WALL/ELEMENT OR PORTION OF WALL TO BE REMOVED
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING COLUMN
- CONCRETE REMOVAL



demolition second floor plan

1/8" = 1'-0"

THE PINE

1720-1736 COLUMBUS RD.
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- NOTE:
1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR MODIFIED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONTRADICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

DEMOLITION
SECOND FLOOR
PLAN

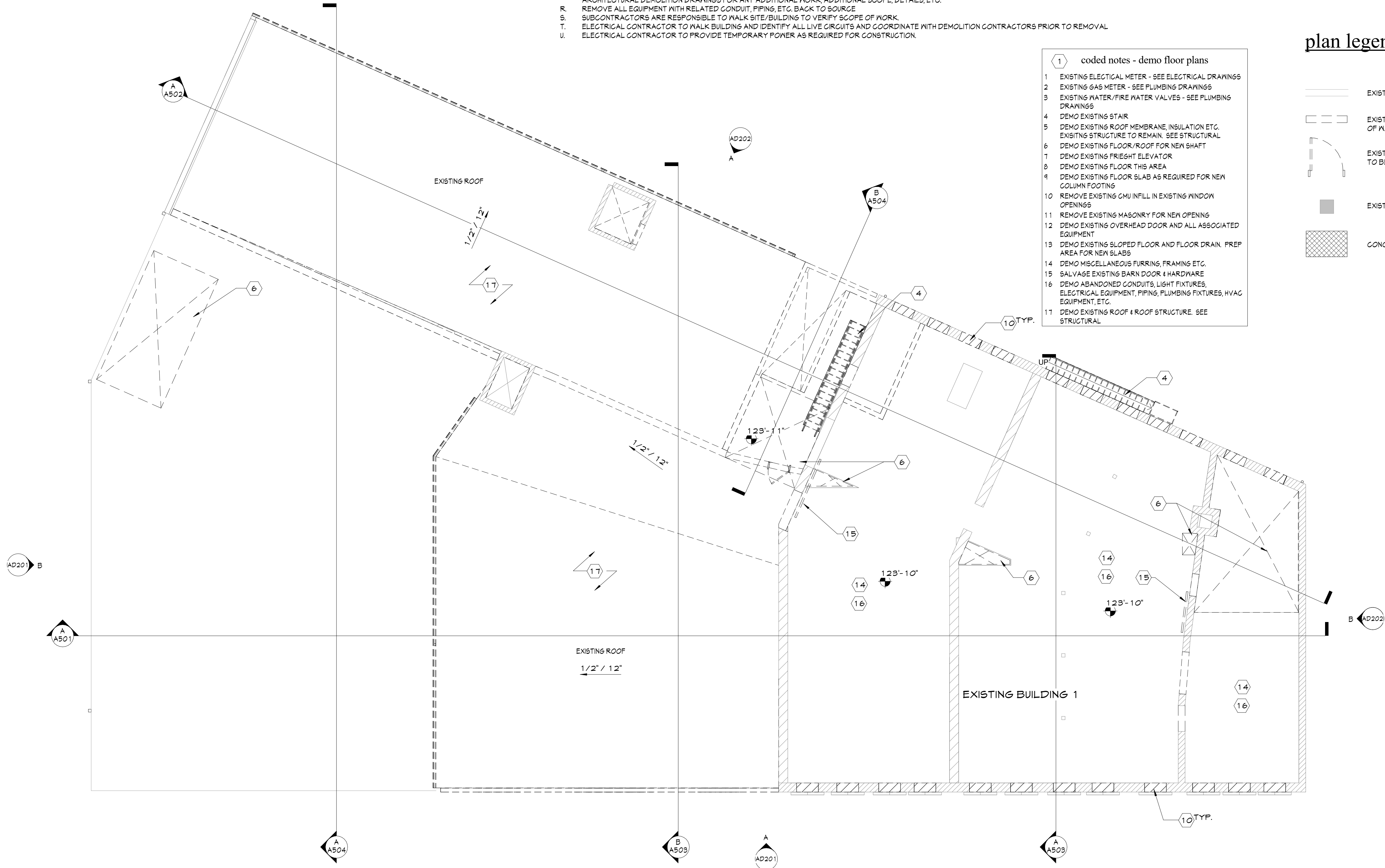
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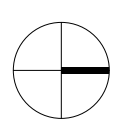
demolition notes:

- A. THESE DRAWINGS AS PART OF THE DOCUMENTS SHALL BE VIEWED AND CONSIDERED AS A GENERAL GUIDELINE. ALL DRAWING INFORMATION PROVIDED IS BASED UPON FIELD DIMENSIONAL INFORMATION PROVIDED BY OTHERS - OWNERS INFORMATION AND PRELIMINARY DESIGN DOCUMENTS. THEREFORE SINCE SUCH PREPARED DRAWINGS ARE BASED UPON A REASONABLE LEVEL OF VERIFICATION OF EXISTING CONDITIONS INCLUDING FINISHES ETC., IN THE EVENT DIMENSIONAL VARIATIONS, OBSCURED CONDITIONS NOT READILY VIEWED OR ACCESSIBLE UNTIL THE DEMOLITION PROCESS HAS BEGUN, OR FINISH VARIATIONS ARE DISCOVERED - SUBSTANTIAL VARIATIONS SHALL BE REVIEWED IMMEDIATELY WITH THE ARCHITECTS OFFICE. HOWEVER, MINOR FRACTIONAL VARIATIONS SHALL BE RECORDED AS A MATTER OF COURSE AND DISPATCHED IN AN ORDERLY FASHION BY THE OWNER'S REPRESENTATIVE AND OTHER FIELD PERSONNEL.
- B. THE DEMOLITION DRAWINGS ARE TO PROVIDE GENERAL DEMOLITION GUIDELINES ONLY AND MAY NOT BE INCLUSIVE OF ALL ITEMS, MATERIALS, SYSTEMS, ETC., REQUIRED TO BE REMOVED IN ORDER TO COMPLETE THE SCHEDULED NEW CONSTRUCTION. IN THE EVENT THAT SYSTEMS/ITEMS DISCOVERED DURING DEMOLITION REQUIRE REMOVAL FOR IMPLEMENTATION OF THE NEW WORK, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLETE SUCH REMOVAL, AND COORDINATE PROPOSED NEW CONSTRUCTION WITH SAID REMOVAL.
- C. GENERAL SCOPE OF DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL EXISTING CONSTRUCTION, FINISHES, MECHANICAL/ELECTRICAL/PLUMBING SYSTEMS, ETC., AS REQUIRED FOR IMPLEMENTATION OF NEW PLAN AND FINISHES.
- D. THE CONTRACTOR SHALL ENSURE THE TOTAL SAFETY, HEALTH, AND WELFARE OF ALL INDIVIDUALS WITHIN THE BUILDING PORTIONS IN WHICH DEMOLITION AND SUBSEQUENT RECONSTRUCTION IS SCHEDULED TO OCCUR. PROVIDE ALL NECESSARY BARRICADES, PROTECTIVE SCREEN SHORING, ETC. AS NECESSARY. CONTRACTOR SHALL MAINTAIN EGRESS FOR ALL OCCUPANTS OF THE BUILDING THROUGHOUT CONSTRUCTION.
- E. ALL DEBRIS, EXISTING OR RESULTING FROM SCHEDULED CONSTRUCTION DURING THE COURSE OF THE WORK, SHALL BE REMOVED FROM THE PROJECT AREA ON A DAILY BASIS. ALL SPACES INCLUDING STAIRS AND CORRIDORS SHALL BE MAINTAINED AND LEFT IN A BROOM CLEAN CONDITION DAILY.
- F. ALL FIXTURES AND EQUIPMENT REMOVED AS SCHEDULED, SHALL BE CONIGNED TO THE GENERAL CONTRACTOR FOR REUSE AS SALVAGED MATERIALS OR DISPOSAL AS REQUIRED. ALL INTERIOR DOORS, LIGHT FIXTURES, BUILT-IN CABINETS AND ANY ITEMS WHICH MAY BE DESIGNATED AS SALVAGEABLE DURING THE CONSTRUCTION PERIOD, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CATALOGUE AND PROVIDE STORAGE AND PROTECTION FOR ALL SUCH MATERIALS INTENDED FOR REUSE.
- G. ALL EXISTING ELECTRICAL, PLUMBING, AND HEATING SYSTEMS SCHEDULED TO BE REMOVED SHALL BE REMOVED, GAPPED, OR SEALED AS REQUIRED FOR THE CONTRACTOR TO IMPLEMENT THE NEWLY SCHEDULED WORK. SEE ELECTRICAL, HVAC, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- H. IN THE EVENT THAT UNCOVERED CONDITIONS ARE CONSIDERED DEFECTIVE OR OTHERWISE DISSIMILAR TO ANTICIPATED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY AND FOLLOW WITH A WRITTEN MEMORANDUM. PRIOR TO PROCEEDING WITH ANY BALANCE OF SCHEDULED WORK IN ANY GIVEN AREA, THE ARCHITECT/ENGINEER SHALL PERFORM INVESTIGATION SUFFICIENT TO DETERMINE STRUCTURAL INTEGRITY OF THE GIVEN COMPONENT.
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- J. ALL FLOOR AREAS UPON WHICH PREVIOUS WALLS WERE LOCATED SHALL BE REPAIRED BY THE REMOVAL OF LOOSE DEBRIS (FOLLOWING PARTITION REMOVAL) AND RESURFACED TO CAUSE THE NEW FINISH FLOOR LEVEL TO BE A SMOOTH TRANSITION BETWEEN MAINTAINED FLOOR AREAS AND REPAIRED POINTS.
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- M. ALL EXISTING MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES ARE TO BE MAINTAINED DURING ALL PHASES OF WORK.
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- P. ALL NEW AND EXISTING THROUGH PENETRATIONS AT FIRE RATED ASSEMBLIES (FLOOR/CEILING AND/OR WALL ASSEMBLIES) SHALL BE PROTECTED WITH APPROVED FIRESTOPPING MATERIAL.
- Q. IT IS THE INTENT FOR THE DEMOLITION CONTRACTORS TO REMOVE ALL EXISTING ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT (LIGHT FIXTURES, RECEPTACLES, PIPING, ETC.) LOCATED IN THE BUILDING. THE DEMOLITION CONTRACTORS MUST COORDINATE WITH THE ARCHITECTURAL DEMOLITION DRAWINGS FOR ANY ADDITIONAL WORK, ADDITIONAL SCOPE, DETAILS, ETC.
- R. REMOVE ALL EQUIPMENT WITH RELATED CONDUIT, PIPING, ETC. BACK TO SOURCE.
- S. SUBCONTRACTORS ARE RESPONSIBLE TO WALK SITE/BUILDING TO VERIFY SCOPE OF WORK.
- T. ELECTRICAL CONTRACTOR TO WALK BUILDING AND IDENTIFY ALL LIVE CIRCUITS AND COORDINATE WITH DEMOLITION CONTRACTORS PRIOR TO REMOVAL.
- U. ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY POWER AS REQUIRED FOR CONSTRUCTION.



demolition third floor plan

1/8" = 1'-0"



plan legend - demo

- EXISTING PARTITION
- EXISTING WALL/ELEMENT OR PORTION OF WALL TO BE REMOVED
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING COLUMN
- CONCRETE REMOVAL

- 1 coded notes - demo floor plans
- 1 EXISTING ELECTRICAL METER - SEE ELECTRICAL DRAWINGS
 - 2 EXISTING GAS METER - SEE PLUMBING DRAWINGS
 - 3 EXISTING WATER/FIRE WATER VALVES - SEE PLUMBING DRAWINGS
 - 4 DEMO EXISTING STAIR
 - 5 DEMO EXISTING ROOF MEMBRANE, INSULATION ETC. EXISTING STRUCTURE TO REMAIN. SEE STRUCTURAL
 - 6 DEMO EXISTING FLOOR/ROOF FOR NEW SHAFT
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 - 8 DEMO EXISTING FLOOR THIS AREA
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 - 10 REMOVE EXISTING CMU INFILL IN EXISTING WINDOW OPENINGS
 - 11 REMOVE EXISTING MASONRY FOR NEW OPENING
 - 12 DEMO EXISTING OVERHEAD DOOR AND ALL ASSOCIATED EQUIPMENT
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 - 14 DEMO MISCELLANEOUS FURRING, FRAMING ETC.
 - 15 SALVAGE EXISTING BARN DOOR & HARDWARE
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 - 17 DEMO EXISTING ROOF & ROOF STRUCTURE. SEE STRUCTURAL

THE PINE

1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

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DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

DEMOLITION
THIRD FLOOR
PLAN

AD103

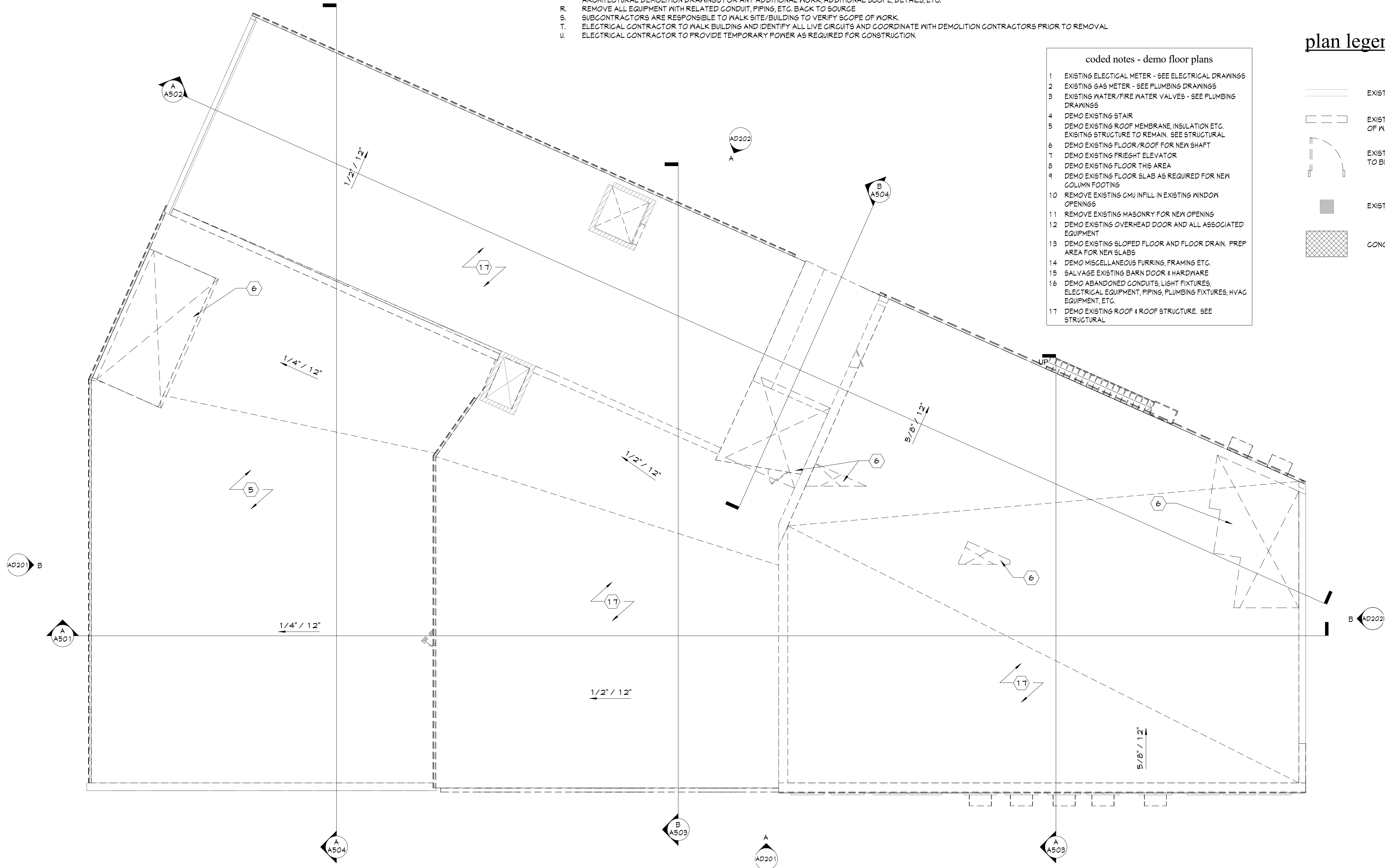
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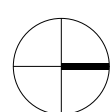
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- C. GENERAL SCOPE OF DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL EXISTING CONSTRUCTION, FINISHES, MECHANICAL/ELECTRICAL/PLUMBING SYSTEMS, ETC., AS REQUIRED FOR IMPLEMENTATION OF NEW PLAN AND FINISHES.
- D. THE CONTRACTOR SHALL ENSURE THE TOTAL SAFETY, HEALTH, AND WELFARE OF ALL INDIVIDUALS WITHIN THE BUILDING PORTIONS IN WHICH DEMOLITION AND SUBSEQUENT RECONSTRUCTION IS SCHEDULED TO OCCUR. PROVIDE ALL NECESSARY BARRICADES, PROTECTIVE SCREEN SHORING, ETC. AS NECESSARY. CONTRACTOR SHALL MAINTAIN EGRESS FOR ALL OCCUPANTS OF THE BUILDING THROUGHOUT CONSTRUCTION.
- E. ALL DEBRIS, EXISTING OR RESULTING FROM SCHEDULED CONSTRUCTION DURING THE COURSE OF THE WORK, SHALL BE REMOVED FROM THE PROJECT AREA ON A DAILY BASIS. ALL SPACES INCLUDING STAIRS AND CORRIDORS SHALL BE MAINTAINED AND LEFT IN A BROOM CLEAN CONDITION DAILY.
- F. ALL FIXTURES AND EQUIPMENT REMOVED AS SCHEDULED, SHALL BE CONSIGNED TO THE GENERAL CONTRACTOR FOR REUSE AS SALVAGEABLE MATERIALS OR DISPOSAL AS REQUIRED. ALL INTERIOR DOORS, LIGHT FIXTURES, BUILT-IN CABINETS AND ANY ITEMS WHICH MAY BE DESIGNATED AS SALVAGEABLE DURING THE CONSTRUCTION PERIOD, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CATALOGUE AND PROVIDE STORAGE AND PROTECTION FOR ALL SUCH MATERIALS INTENDED FOR REUSE.
- G. ALL EXISTING ELECTRICAL, PLUMBING, AND HEATING SYSTEMS SCHEDULED TO BE REMOVED SHALL BE REMOVED, CAPPED, OR SEALED AS REQUIRED FOR THE CONTRACTOR TO IMPLEMENT THE NEWLY SCHEDULED WORK. SEE ELECTRICAL, HVAC, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- H. IN THE EVENT THAT UNCOVERED CONDITIONS ARE CONSIDERED DEFECTIVE OR OTHERWISE DISSIMILAR TO ANTICIPATED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY AND FOLLOW WITH A WRITTEN MEMORANDUM. PRIOR TO PROCEEDING WITH ANY BALANCE OF SCHEDULED WORK IN ANY GIVEN AREA, THE ARCHITECT/ENGINEER SHALL PERFORM INVESTIGATION SUFFICIENT TO DETERMINE STRUCTURAL INTEGRITY OF THE GIVEN COMPONENT.
- I. ALL EXISTING WALL AREAS WHICH WERE PREVIOUSLY INTERSECTED BY OTHER WALLS, ETC. SHALL BE REPAIRED. REMOVE OLD MATERIALS TO A POINT WHERE NEW FINISH MATERIAL CAN BE EFFECTIVELY APPLIED TO A SOUND FIRM BASE. ALL OTHER CRACKED AND DAMAGED WALL AREAS SHALL BE REPAIRED SIMILARLY PRIOR TO THE APPLICATION OF FINAL WALL FINISHES. CONSIDER SPECIFICALLY REMOVAL OF ANY DRYWALL TO FRAME PRIOR TO PROCEEDING WITH FINAL FINISHES.
- J. ALL FLOOR AREAS UPON WHICH PREVIOUS WALLS WERE LOCATED SHALL BE REPAIRED BY THE REMOVAL OF LOOSE DEBRIS (FOLLOWING PARTITION REMOVAL) AND RESURFACED TO CAUSE THE NEW FINISH FLOOR LEVEL TO BE A SMOOTH TRANSITION BETWEEN MAINTAINED FLOOR AREAS AND REPAIRED POINTS.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND STRUCTURES BOTH VISIBLE AND OBSCURED BY OTHER ASSEMBLIES, SUCH AS PAVEMENT, PLANTINGS, EARTHEN STRUCTURES, BUILDING, ETC., AND SHALL BE FINANCIALLY RESPONSIBLE FOR ANY AND ALL PREPARATION REQUIREMENTS WHICH MAY RESULT FROM DAMAGE DURING THE CONSTRUCTION OF THE WORK SCHEDULED BY THE DEVELOPMENT PLANS.
- L. ALL DEMOLITION SCHEDULED BY THESE DOCUMENTS, OR AS MAY OTHERWISE BE REQUIRED BY PREVIOUSLY UNFORESEEN CONDITIONS, SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH ALL TRADESMAN, AND WITH FINAL DRAWINGS OR MODIFICATIONS THERE TO, TO DETERMINE THE TRUE AND FINAL EXTENT OF THE REQUIRED WORK.
- M. ALL EXISTING MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES ARE TO BE MAINTAINED DURING ALL PHASES OF WORK.
- N. ANY DEMOLITION THAT INVOLVES REFRIGERANT OR OTHER HAZARDOUS MATERIALS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION OVER THE REMOVAL, CONTAINMENT AND DISPOSAL OF HAZARDOUS MATERIALS. REMOVE, STORE AND DISPOSE OF REFRIGERANT ACCORDING TO 40 CFR 8.2 AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION INCLUDING ALL EPA REGULATIONS AND PROCEDURES.
- O. CONTRACTOR TO ENSURE THAT ALL HISTORIC ELEMENTS INCLUDING BUT NOT LIMITED TO FABRIC, FINISHES, MATERIAL, COMPONENTS, ETC. SHALL BE PROTECTED FROM DAMAGE DURING THE DEMOLITION AND/OR CONSTRUCTION PROCESS. ANY DAMAGE AS A RESULT OF HISTORIC ELEMENTS NOT BEING PROPERLY PROTECTED FROM DAMAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR TRADES RESPONSIBLE FOR THE DAMAGE. ALL DAMAGED HISTORIC ELEMENTS SHALL BE PLACED IN LIKE NEW DEFECT FREE CONDITION WITH NO COST INCURRED BY THE OWNER.
- P. ALL NEW AND EXISTING THROUGH PENETRATIONS AT FIRE RATED ASSEMBLIES (FLOOR/CEILING AND/OR WALL ASSEMBLIES) SHALL BE PROTECTED WITH APPROVED FIRESTOPPING MATERIAL.
- Q. IT IS THE INTENT FOR THE DEMOLITION CONTRACTORS TO REMOVE ALL EXISTING ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT (LIGHT FIXTURES, RECEPTACLES, PIPING, ETC.) LOCATED IN THE BUILDING. THE DEMOLITION CONTRACTORS MUST COORDINATE WITH THE ARCHITECTURAL DEMOLITION DRAWINGS FOR ANY ADDITIONAL WORK, ADDITIONAL SCOPE, DETAILS, ETC.
- R. REMOVE ALL EQUIPMENT WITH RELATED CONDUIT, PIPING, ETC. BACK TO SOURCE.
- S. SUBCONTRACTORS ARE RESPONSIBLE TO WALK SITE/BUILDING TO VERIFY SCOPE OF WORK.
- T. ELECTRICAL CONTRACTOR TO WALK BUILDING AND IDENTIFY ALL LIVE CIRCUITS AND COORDINATE WITH DEMOLITION CONTRACTORS PRIOR TO REMOVAL.
- U. ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY POWER AS REQUIRED FOR CONSTRUCTION.



demolition roof plan

1/8" = 1'-0"



THE PINE

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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

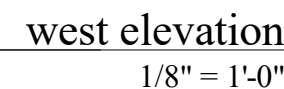
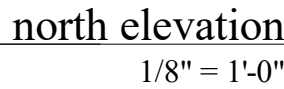
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ROOF PLAN

AD104

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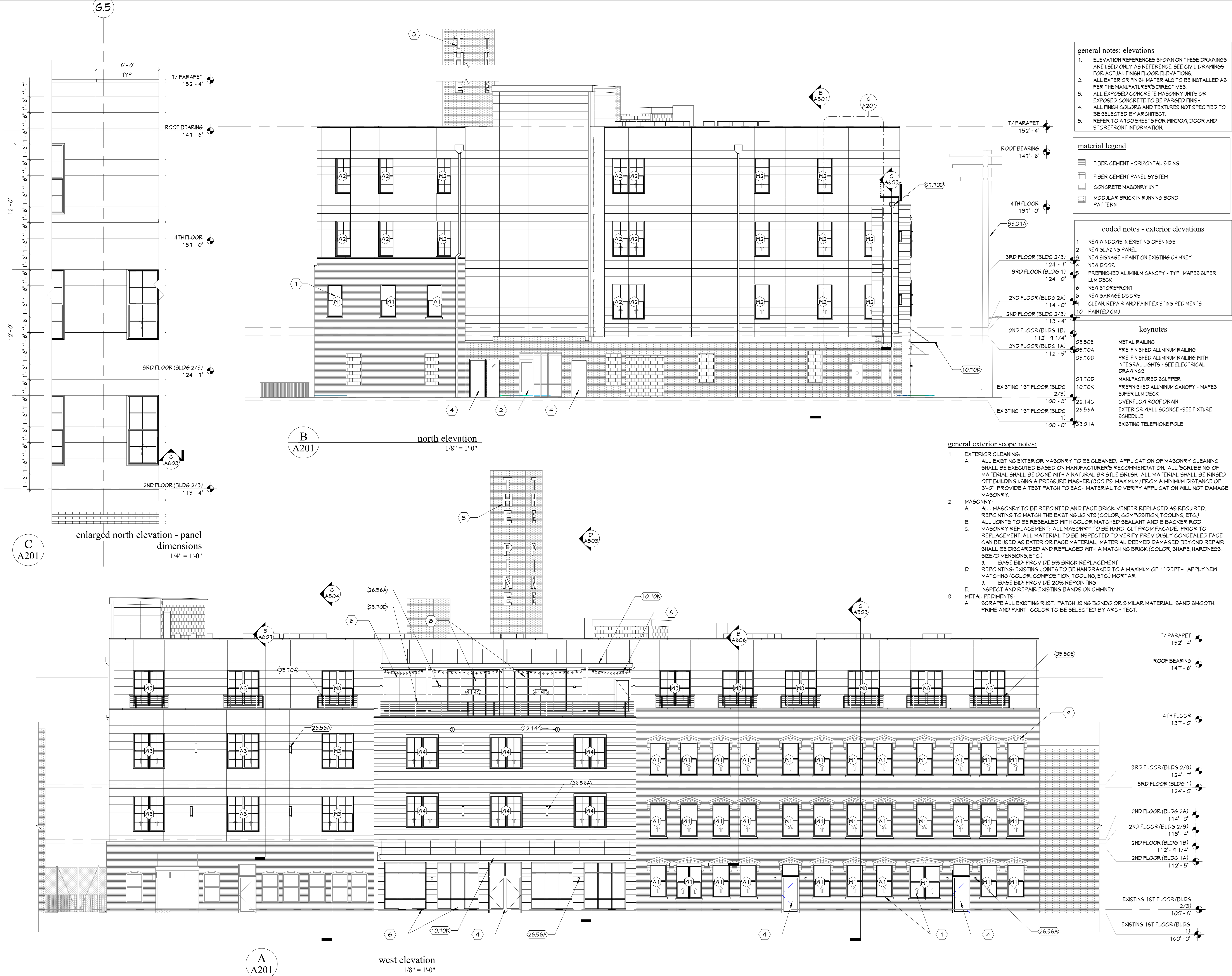
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- 2 DEMO EXISTING DOOR
- 3 DEMO EXISTING GUTTER
- 4 DEMO EXISTING AWNING
- 5 DEMO EXISTING ELECTRICAL METERS
- 6 DEMO EXISTING WINDOW
- 7 DEMO EXISTING BLOCK INFILL
- 8 RESTORE EXISTING WINDOW PEDIMENT
- 9 PARTIAL DEMO FOR NEW FLOOR
- 10 DEMO EXISTING FIRE STAIR/RAILING
- 11 BLOCK OPENING TO REMAIN
- 12 EXISTING ELECTRICAL POLE
- 13 REPAIR MASONRY ON EXISTING CHIMNEYS - SEE
STRUCTURAL
- 14 EXISTING FENCE TO REMAIN
- 15 REMOVE EXISTING CORNICE

NOT FOR CONSTRUCTION

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4. ADDITIONALLY, SEE GENERAL INFORMATION ON "A07" SHEETS.
5. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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7. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES. LOCATIONS OR CODED REQUIREMENTS THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONTRADICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

DESIGN DEVELOPMENT SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

EXTERIOR ELEVATIONS

A201

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2/11/2022 2:30:07 PM

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demolition notes:

- A. THESE DRAWINGS AS PART OF THE DOCUMENTS SHALL BE VIEWED AND CONSIDERED AS A GENERAL GUIDELINE. ALL DRAWING INFORMATION PROVIDED IS BASED UPON FIELD DIMENSIONAL INFORMATION PROVIDED BY OTHERS - OWNERS INFORMATION AND PRELIMINARY DESIGN DOCUMENTS. THEREFORE SINCE SUCH PREPARED DRAWINGS ARE BASED UPON A REASONABLE LEVEL OF VERIFICATION OF EXISTING CONDITIONS INCLUDING FINISHES ETC., IN THE EVENT DIMENSIONAL VARIATIONS, OBSCURED CONDITIONS NOT READILY VIEWED OR ACCESSIBLE UNTIL THE DEMOLITION PROCESS HAS BEGUN, OR FINISH VARIATIONS ARE DISCOVERED - SUBSTANTIAL VARIATIONS SHALL BE REVIEWED IMMEDIATELY WITH THE ARCHITECT'S OFFICE. HOWEVER, MINOR FRACTURAL VARIATIONS SHALL BE REGARDED AS A MATTER OF COURSE AND DISPATCHED IN AN ORDERLY FASHION BY THE OWNER'S REPRESENTATIVE AND OTHER FIELD PERSONNEL.
- B. THE DEMOLITION DRAWINGS ARE TO PROVIDE GENERAL DEMOLITION GUIDELINES ONLY AND MAY NOT BE INCLUSIVE OF ALL ITEMS, MATERIALS, SYSTEMS, ETC., REQUIRED TO BE REMOVED IN ORDER TO COMPLETE THE SCHEDULED NEW CONSTRUCTION. IN THE EVENT THAT SYSTEMS/ITEMS DISCOVERED DURING DEMOLITION REQUIRE REMOVAL FOR IMPLEMENTATION OF THE NEW WORK, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLETE SUCH REMOVAL, AND COORDINATE PROPOSED NEW CONSTRUCTION WITH SAID REMOVAL.
- C. GENERAL SCOPE OF DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL EXISTING CONSTRUCTION, FINISHES, MECHANICAL/ELECTRICAL/PLUMBING SYSTEMS, ETC., AS REQUIRED FOR IMPLEMENTATION OF NEW PLAN AND FINISHES.
- D. THE CONTRACTOR SHALL ENSURE THE TOTAL SAFETY, HEALTH, AND WELFARE OF ALL INDIVIDUALS WITHIN THE BUILDING PORTIONS IN WHICH DEMOLITION AND SUBSEQUENT RECONSTRUCTION IS SCHEDULED TO OCCUR. PROVIDE ALL NECESSARY BARRICADES, PROTECTIVE SCREEN SHORING, ETC., AS NECESSARY. CONTRACTOR SHALL MAINTAIN EGRESS FOR ALL OCCUPANTS OF THE BUILDING THROUGHOUT CONSTRUCTION.
- E. ALL DEBRIS, EXISTING OR RESULTING FROM SCHEDULED CONSTRUCTION DURING THE COURSE OF THE WORK, SHALL BE REMOVED FROM THE PROJECT AREA ON A DAILY BASIS. ALL SPACES INCLUDING STAIRS AND CORRIDORS SHALL BE MAINTAINED AND LEFT IN A BROOM CLEAN CONDITION DAILY.
- F. ALL FIXTURES AND EQUIPMENT REMOVED AS SCHEDULED, SHALL BE CONSIGNED TO THE GENERAL CONTRACTOR FOR REUSE AS SALVAGED MATERIALS OR DISPOSAL AS REQUIRED. ALL INTERIOR DOORS, LIGHT FIXTURES, BUILT-IN CABINETRY AND ANY ITEMS WHICH MAY BE DESIGNATED AS SALVAGEABLE DURING THE CONSTRUCTION PERIOD, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CATALOGUE AND PROVIDE STORAGE AND PROTECTION FOR ALL SUCH MATERIALS INTENDED FOR REUSE.
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- H. IN THE EVENT THAT UNCOVERED CONDITIONS ARE CONSIDERED DEFECTIVE OR OTHERWISE DISSIMILAR TO ANTICIPATED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY AND FOLLOW WITH A WRITTEN MEMORANDUM PRIOR TO PROCEEDING WITH ANY BALANCE OF SCHEDULED WORK IN ANY GIVEN AREA. THE ARCHITECT/ENGINEER SHALL PERFORM INVESTIGATION SUFFICIENT TO DETERMINE STRUCTURAL INTEGRITY OF THE GIVEN COMPONENT.
- I. ALL EXISTING WALL AREAS WHICH WERE PREVIOUSLY INTERSECTED BY OTHER WALLS, ETC., SHALL BE REPAIRED. REMOVE OLD MATERIALS TO A POINT WHERE NEW FINISH MATERIAL CAN BE EFFECTIVELY APPLIED TO A SOUND FIRM BASE. ALL OTHER CRACKED AND DAMAGED WALL AREAS SHALL BE REPAIRED SIMILARLY PRIOR TO THE APPLICATION OF FINAL WALL FINISHES. CONSIDER SPECIFICALLY REMOVAL OF ANY DRYWALL TO FRAME PRIOR TO PROCEEDING WITH FINAL FINISHES.
- J. ALL FLOOR AREAS UPON WHICH PREVIOUS WALLS WERE LOCATED SHALL BE REPAIRED BY THE REMOVAL OF LOOSE DEBRIS (FOLLOWING PARTITION REMOVAL) AND RESURFACED TO CAUSE THE NEW FINISH FLOOR LEVEL TO BE A SMOOTH TRANSITION BETWEEN MAINTAINED FLOOR AREAS AND REPAIRED POINTS.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND STRUCTURES BOTH VISIBLE AND OBSCURED BY OTHER ASSEMBLIES, SUCH AS PAVEMENT, PLANTINGS, EARTHEN STRUCTURES, BUILDING ETC., AND SHALL BE FINANCIALLY RESPONSIBLE FOR ANY AND ALL PREPARATION REQUIREMENTS WHICH MAY RESULT FROM DAMAGE DURING THE CONSTRUCTION OF THE WORK SCHEDULED BY THE DEVELOPMENT PLANS.
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- P. ALL NEW AND EXISTING THROUGH PENETRATIONS AT FIRE RATED ASSEMBLIES (FLOOR/CEILING AND/OR WALL ASSEMBLIES) SHALL BE PROTECTED WITH APPROVED FIRESTOPPING MATERIAL.
- Q. IT IS THE INTENT FOR THE DEMOLITION CONTRACTORS TO REMOVE ALL EXISTING ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT (LIGHT FIXTURES, RECEPTACLES, PIPING, ETC.) LOCATED IN THE BUILDING. THE DEMOLITION CONTRACTORS MUST COORDINATE WITH THE ARCHITECTURAL DEMOLITION DRAWINGS FOR ANY ADDITIONAL WORK, ADDITIONAL SCOPE, DETAILS, ETC.
- R. REMOVE ALL EQUIPMENT WITH RELATED CONDUIT, PIPING, ETC. BACK TO SOURCE.
- S. SUBCONTRACTORS ARE RESPONSIBLE TO WALK SITE/BUILDING TO VERIFY SCOPE OF WORK.
- T. ELECTRICAL CONTRACTOR TO WALK BUILDING AND IDENTIFY ALL LIVE CIRCUITS AND COORDINATE WITH DEMOLITION CONTRACTORS PRIOR TO REMOVAL.
- U. ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY POWER AS REQUIRED FOR CONSTRUCTION.

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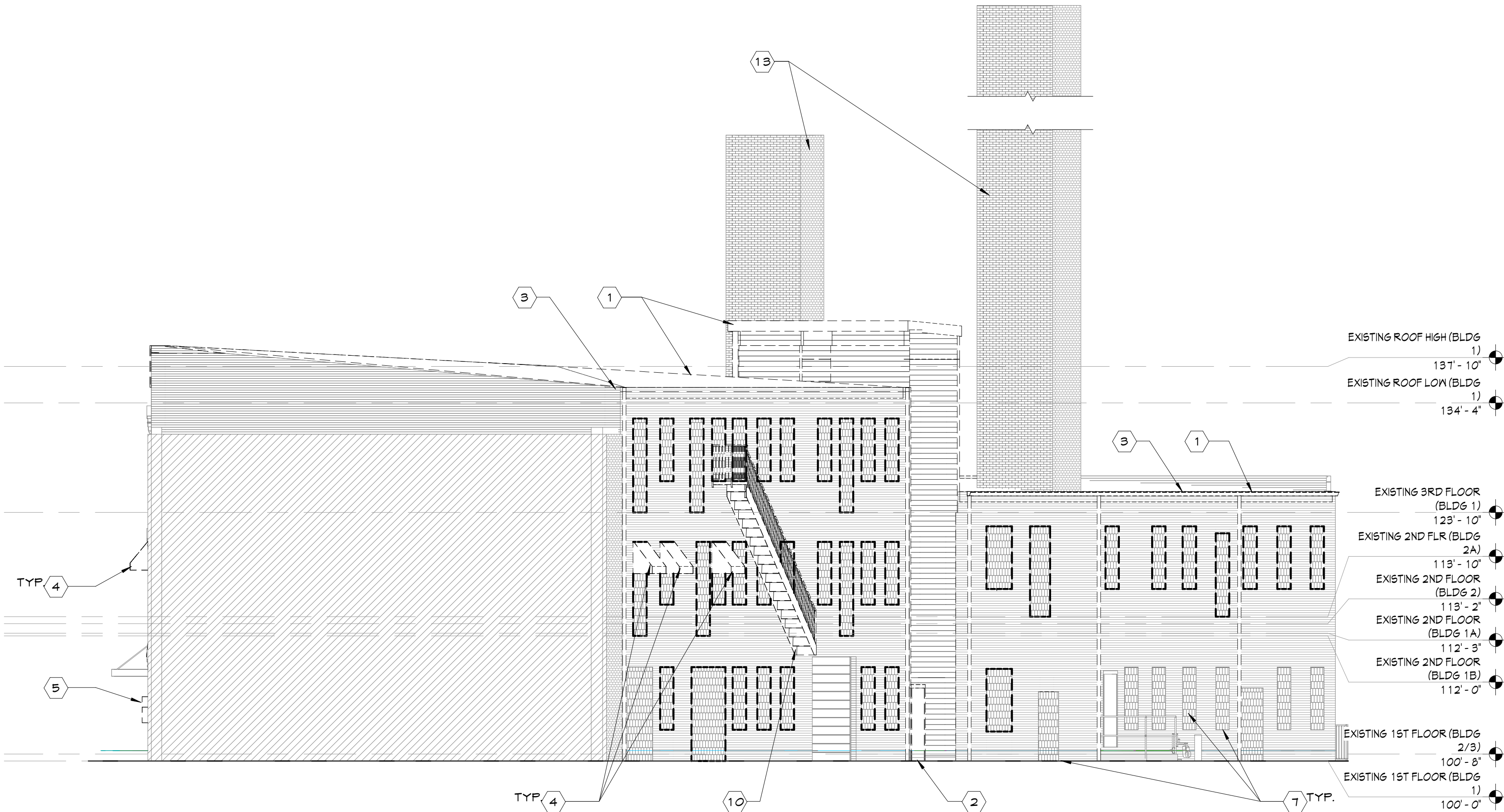
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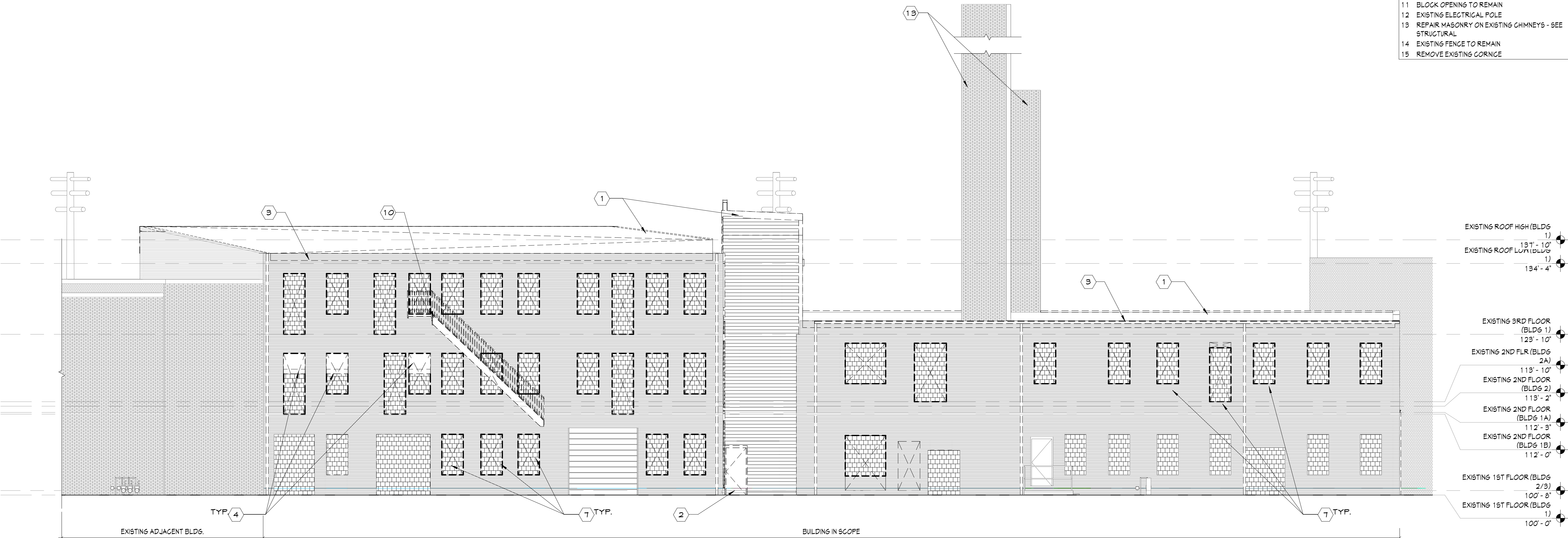
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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A2" SHEETS.
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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coded notes - exterior elevations demo

- 1 DEMO EXISTING ROOF
2 DEMO EXISTING DOOR
3 DEMO EXISTING GUTTER
4 DEMO EXISTING AWNING
5 DEMO EXISTING ELECTRICAL METERS
6 DEMO EXISTING WINDOW
7 DEMO EXISTING BLOCK INFILL
8 RESTORE EXISTING WINDOW PEDIMENT
9 PARTIAL DEMO FOR NEW FLOOR
10 DEMO EXISTING FIRE STAIR/RAILING
11 BLOCK OPENINGS TO REMAIN
12 EXISTING ELECTRICAL POLE
13 REPAIR MASONRY ON EXISTING CHIMNEYS - SEE STRUCTURAL
14 EXISTING FENCE TO REMAIN
15 REMOVE EXISTING CORNICE



south elevation
1/8" = 1'-0"



east elevation
1/8" = 1'-0"

DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

DEMOLITION
EXTERIOR
ELEVATIONS

AD202

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general notes: elevations

1. ELEVATION REFERENCES SHOWN ON THESE DRAWINGS ARE USED ONLY AS REFERENCE. SEE CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATIONS.
2. ALL EXTERIOR FINISH MATERIALS TO BE INSTALLED AS PER THE MANUFACTURER'S DIRECTIVES.
3. ALL EXPOSED CONCRETE MASONRY UNITS OR EXPOSED CONCRETE TO BE PARGED FINISH.
4. ALL FINISH COLORS AND TEXTURES NOT SPECIFIED TO BE SELECTED BY ARCHITECT.
5. REFER TO A100 SHEETS FOR WINDOW, DOOR AND STOREFRONT INFORMATION.

material legend

- FIBER CEMENT HORIZONTAL SIDING
- FIBER CEMENT PANEL SYSTEM
- CONCRETE MASONRY UNIT
- MODULAR BRICK IN RUNNING BOND PATTERN

coded notes - exterior elevations

1. NEW WINDOWS IN EXISTING OPENINGS
2. NEW GLAZING PANEL
3. NEW SIGNAGE - PAINT ON EXISTING CHIMNEY
4. NEW DOOR
5. PREFINISHED ALUMINUM CANOPY - TYP. MAPES SUPER LUMIDECK
6. NEW STOREFRONT
8. NEW GARAGE DOORS
9. CLEAN, REPAIR AND PAINT EXISTING PEDIMENTS
10. PAINTED CMU

keynotes

01.10A PRE-FINISHED ALUMINUM SCUPPER AND DOWNSPOUT
01.10J METAL COPING PARAPET CAP
33.01A EXISTING TELEPHONE POLE

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4. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES. LOCATIONS OR MODIFIED REQUIREMENTS THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONTRADICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

DESIGN DEVELOPMENT SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

EXTERIOR ELEVATIONS

A202

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ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
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P 614.221.1110 berardipartners.com

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general exterior scope notes:

1. EXTERIOR CLEANING:
A. ALL EXISTING EXTERIOR MASONRY TO BE CLEANED. APPLICATION OF MASONRY CLEANING SHALL BE EXECUTED BASED ON MANUFACTURER'S RECOMMENDATION. ALL 'SCRUBBING' OF MATERIAL SHALL BE DONE WITH A NATURAL BRISTLE BRUSH. ALL MATERIAL SHALL BE RINSED OFF BUILDING USING A PRESSURE WASHER (300 PSI MAXIMUM) FROM A MINIMUM DISTANCE OF 3'-0". PROVIDE A TEST PATCH TO EACH MATERIAL TO VERIFY APPLICATION WILL NOT DAMAGE MASONRY.
2. MASONRY:
A. ALL MASONRY TO BE REPOINTED AND FACE BRICK VENEER REPLACED AS REQUIRED. REPOINTING TO MATCH THE EXISTING JOINTS (COLOR, COMPOSITION, TOOLING, ETC.)
B. ALL JOINTS TO BE RESEALED WITH COLOR MATCHED SEALANT AND B BACKER ROD
C. MASONRY REPLACEMENT: ALL MASONRY TO BE HAND-CUT FROM FACADE. PRIOR TO REPLACEMENT, ALL MATERIAL TO BE INSPECTED TO VERIFY PREVIOUSLY CONCEALED FACE CAN BE USED AS EXTERIOR FACE MATERIAL. MATERIAL DEEMED DAMAGED BEYOND REPAIR SHALL BE DISCARDED AND REPLACED WITH A MATCHING BRICK (COLOR, SHAPE, HARDNESS, SIZE/DIMENSIONS, ETC.)
a. BASE BID: PROVIDE 5% BRICK REPLACEMENT
D. REPOINTING: EXISTING JOINTS TO BE HANDRAKED TO A MAXIMUM OF 1" DEPTH. APPLY NEW MATCHING (COLOR, COMPOSITION, TOOLING, ETC.) MORTAR.
a. BASE BID: PROVIDE 20% REPOINTING
E. INSPECT AND REPAIR EXISTING BANDS ON CHIMNEY.
3. METAL PEDIMENTS:
A. SCRAPE ALL EXISTING RUST. PATCH USING BONDO OR SIMILAR MATERIAL. SAND SMOOTH. PRIME AND PAINT. COLOR TO BE SELECTED BY ARCHITECT.



general notes: floor plans

- REFERENCE CIVIL PLANS FOR ACTUAL FINISHED FLOOR ELEVATION. REFERENCE POINT OF 100.0 USED ON ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATION.
- ALL DIMENSIONS ARE TO FACE OF STUD UNO.
- ANYWHERE THIS SYMBOL (I) APPEARS IN A DIMENSION STRING, IT INDICATES THE DIMENSION 3 1/2'.
- SEE SHEETS 6002.8 AND 6002.9 FOR WALL, FLOOR AND ROOF TYPES.
- UNLESS INDICATED OTHERWISE, ALL DOORS TO BE A MINIMUM OF 4' TO ROUGH JAMB FROM ROUGH FRAMING INTERSECTION.
- ANY SHOWER/BATH LOCATED AGAINST A DEMISING OR CORRIDOR WALL IS TO RECEIVE A LAYER OF MOISTURE RESISTANT GNB TO BE LAMINATED OVER WALL TYPE INDICATED IMMEDIATELY BEHIND FIXTURE - SEE DETAIL SHEET A401.
- REFERENCE ID400 SHEETS FOR FLOOR FINISH PLANS.
- REFERENCE A300 SHEETS FOR ENLARGED UNIT PLANS & UNIT REFLECTED CEILING PLANS.
- SEE 6001 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- PROVIDE UL APPROVED FIRE STOPPING AS REQUIRED AT ALL PENETRATIONS LOCATED WITHIN ALL UNIT COMMON/DEMISING WALLS, CEILING FIRE RESISTIVE ASSEMBLIES AND AT ALL OTHER FIRE-RESISTIVE RATED ASSEMBLIES.
- ALL GYP BD ON WALLS AND CEILINGS WITHIN BATHROOMS SHALL BE MOISTURE RESISTANT TYPE COMPLYING WITH THE FIRE RESISTANCE RATED ASSEMBLY.
- COORDINATE INTERIOR WALL THICKNESS, BATT INSULATION AND GYPSUM BOARD REQUIREMENTS WITH OVERALL FLOOR PLANS, ENLARGED UNIT PLANS, AND WALL TYPE SHEETS.
- ENSURE ALL DUCT WORK, PLUMBING COMPONENTS, ETC ARE ISOLATED FROM ALL METAL FRAMING AND WALL FINISHES.
- UNKATED WALL AND CEILING ASSEMBLIES SHALL NOT INTERRUPT RATED WALL, FLOOR/CEILING, ETC ASSEMBLIES. SEE DETAIL A/6002.9.

general notes: building envelope

- ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED), TO BE FLASHED.
- ALL GRADING TO BE SLOPED AWAY FROM BUILDING/FOUNDATION.
- GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS.
- ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
- INSTALL ALL INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
- ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
- ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-4.9).
- PROVIDE FIBERGLASS INSULATION WITH 6 MIL POLYETHYLENE - ALL JOINTS AND PENETRATIONS TO BE TAPED. INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) - FILL ALL CAVITIES.
- PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR SHEATHING JOINTS, INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE HOUSE WRAP, TAPING ALL SEAMS, INCLUDING TOP AND BOTTOM EDGES.
- SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
- GLUE GNB TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.
- TUBS/SHOWERS AND STAIRS REQUIRE EXTERIOR WALLS TO BE FIRE-INSULATED AND BOARDED BEFORE BEING BUILT AGAINST.

general notes: air leakage

IN ACCORDANCE WITH ASHRAE 90.1-04 (5.4.3.1)

BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:

- JOINTS AROUND FENESTRATION AND DOOR FRAMES.
- JUNCTIONS BETWEEN WALLS AND FOUNDATIONS.
- BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
- OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
- SITE-BUILT FENESTRATION AND DOORS.
- BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
- JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
- ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

coded notes - floor plans

- NOT IN CONTRACT
- EXTENT OF WORK
- INFILL FLOOR FRAMING - SEE STRUCTURAL
- INFILL CONCRETE SLAB - SEE STRUCTURAL
- SLOPED FLOOR, 1:20 MAX SLOPE
- REINSTALL EXISTING DOOR IN NEW LOCATION. PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMO AND COLUMN INSTALLATION AND DOOR RELOCATION
- PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMOLITION & COLUMN INSTALLATION
- INFILL SLAB AT NEW FOOTING CONSTRUCTION
- PROVIDE NEW CONCRETE SLAB - SEE STRUCTURAL
- INFILL EXISTING MASONRY WALL

keynotes

05.10B STRUCTURAL STEEL COLUMN - SEE STRUCTURAL DRAWINGS

22.14B ROOF DRAIN LEADER

THE PINE

1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

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NOTE:

1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.

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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.

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5. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN, ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DRAWING MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.

6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE QUANTITIES. LOCATIONS OR COORDINATE REQUIREMENTS THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION HIGHLY DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

DESIGN DEVELOPMENT SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

FIRST FLOOR PLAN

A101

BERARDI+

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P 614.221.1110 berardipartners.com

2/11/2022 2:29:47 PM

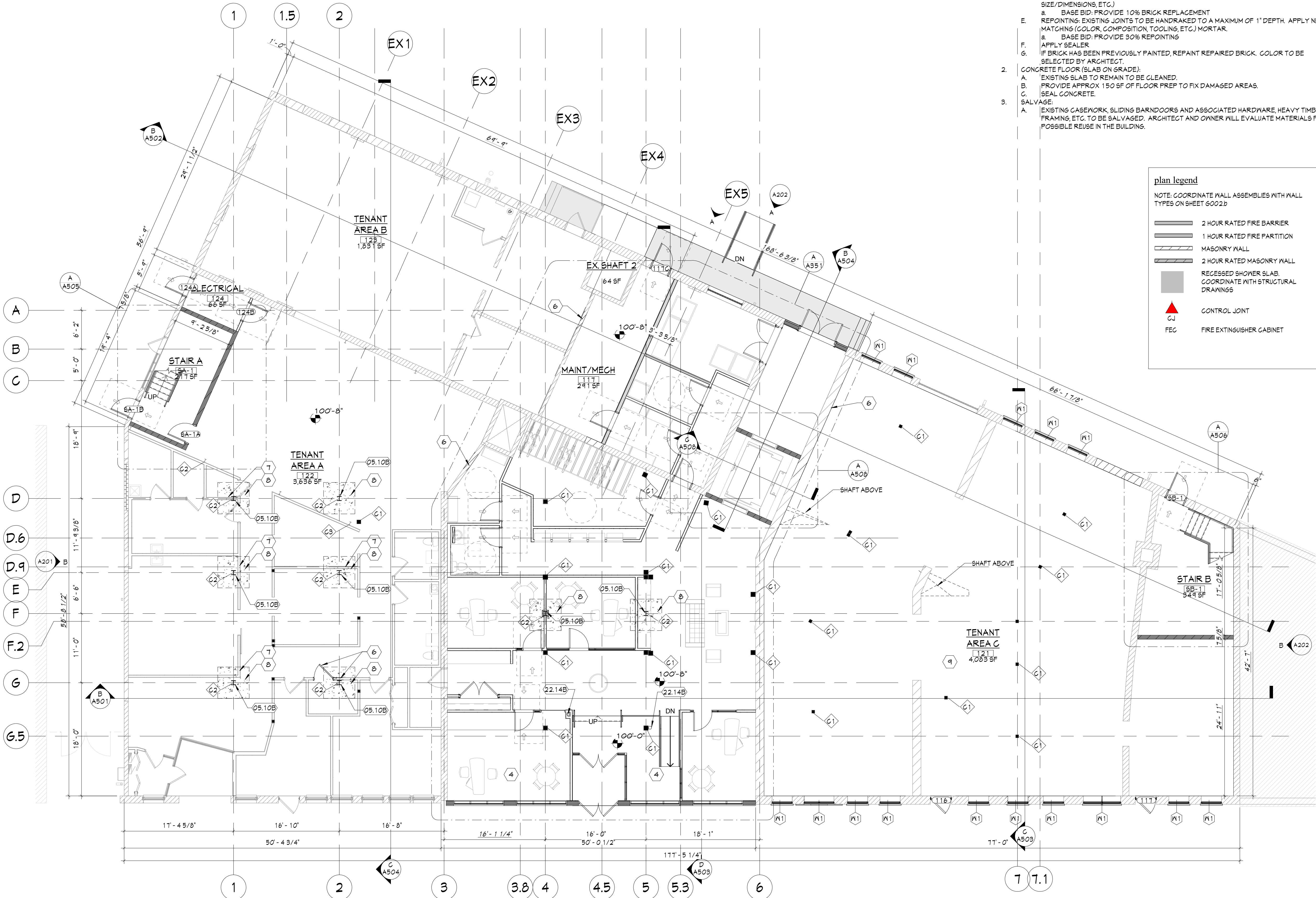
general interior scope notes:

- INTERIOR EXPOSED MASONRY:
 - SCRAPE ALL LOOSE MATERIAL/PAINT AND CLEAN OF DUST/DEBRIS.
 - ALL MASONRY TO BE REPOINTED AND FACE BRICK VENEER REPLACED AS REQUIRED. REPOINTING TO MATCH THE EXISTING JOINTS (COLOR, COMPOSITION, TOOLING, ETC.)
 - ALL JOINTS TO BE RESEALED WITH COLOR MATCHED SEALANT AND BACKER ROD
 - MASONRY REPLACEMENT: ALL MASONRY TO BE HAND-CUT FROM FACADE. PRIOR TO REPLACEMENT, ALL MATERIAL TO BE INSPECTED TO VERIFY PREVIOUSLY CONCEALED FACE CAN BE USED AS EXTERIOR FACE MATERIAL. MATERIAL DEEMED DAMAGED BEYOND REPAIR SHALL BE DISCARDED AND REPLACED WITH A MATCHING BRICK (COLOR, SHAPE, HARDNESS, SIZE/DIMENSIONS, ETC.)
 - BASE BID: PROVIDE 10% BRICK REPLACEMENT
 - REPOINTING: EXISTING JOINTS TO BE HANDRAKED TO A MAXIMUM OF 1" DEPTH. APPLY NEW MATCHING (COLOR, COMPOSITION, TOOLING, ETC.) MORTAR.
 - BASE BID: PROVIDE 30% REPOINTING
 - APPLY SEALER
 - IF BRICK HAS BEEN PREVIOUSLY PAINTED, REPAINT REPAIRED BRICK. COLOR TO BE SELECTED BY ARCHITECT.
- CONCRETE FLOOR (SLAB ON GRADE):
 - EXISTING SLAB TO REMAIN TO BE CLEANED.
 - PROVIDE APPROX 150 SF OF FLOOR PREP TO FIX DAMAGED AREAS.
 - SEAL CONCRETE.
- SALVAGE:
 - EXISTING CASEWORK, SLIDING BARNDOORS AND ASSOCIATED HARDWARE, HEAVY TIMBER FRAMING, ETC. TO BE SALVAGED. ARCHITECT AND OWNER WILL EVALUATE MATERIALS FOR POSSIBLE REUSE IN THE BUILDING.

plan legend

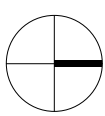
NOTE: COORDINATE WALL ASSEMBLIES WITH WALL TYPES ON SHEET 6002.9

- 2 HOUR RATED FIRE BARRIER
- 1 HOUR RATED FIRE PARTITION
- MASONRY WALL
- 2 HOUR RATED MASONRY WALL
- RECESSED SHOWER SLAB, COORDINATE WITH STRUCTURAL DRAWINGS
- CONTROL JOINT
- FIRE EXTINGUISHER CABINET



first floor plan

1/8" = 1'-0"



NOT FOR CONSTRUCTION

- general notes: floor plans
- REFERENCE CIVIL PLANS FOR ACTUAL FINISHED FLOOR ELEVATION. REFERENCE POINT OF 1.000 USED ON ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATION.
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 - ANYWHERE THIS SYMBOL (I) APPEARS IN A DIMENSION STRING, IT INDICATES THE DIMENSION 3 1/2'.
 - SEE SHEETS 6002.8 AND 6002.9 FOR WALL, FLOOR AND ROOF TYPES.
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 - ANY SHOWER/BATH LOCATED AGAINST A DEMISING OR CORRIDOR WALL IS TO RECEIVE A LAYER OF MOISTURE RESISTANT GNB TO BE LAMINATED OVER WALL TYPE INDICATED IMMEDIATELY BEHIND FIXTURE - SEE DETAIL SHEET A401.
 - REFERENCE ID400 SHEETS FOR FLOOR FINISH PLANS.
 - REFERENCE A300 SHEETS FOR ENLARGED UNIT PLANS & UNIT REFLECTED CEILING PLANS.
 - SEE 6001 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
 - ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
 - PROVIDE UL APPROVED FIRE STOPPING AS REQUIRED AT ALL PENETRATIONS LOCATED WITHIN ALL UNIT COMMON/DEMISING WALLS, CEILING/FIRE RESISTIVE ASSEMBLIES AND AT ALL OTHER FIRE-RESISTIVE RATED ASSEMBLIES.
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 - ENSURE ALL DUCT WORK, PLUMBING COMPONENTS, ETC ARE ISOLATED FROM ALL METAL FRAMING AND WALL FINISHES.
 - UNKATED WALL AND CEILING ASSEMBLIES SHALL NOT INTERRUPT RATED WALL, FLOOR/CEILING, ETC ASSEMBLIES. SEE DETAIL A/6002.9.

- general notes: building envelope
- ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED), TO BE FLASHED.
 - ALL GRADING TO BE SLOPED AWAY FROM BUILDING/FOUNDATION.
 - GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS.
 - ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
 - INSTALL ALL INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
 - ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
 - ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-4.1).
 - PROVIDE FIBERGLASS INSULATION WITH 6 MIL POLYETHYLENE - ALL JOINTS AND PENETRATIONS TO BE TAPED. INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) - FILL ALL CAVITIES.
 - PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR SHEATHING JOINTS, INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE HOUSE WRAP, TAPING ALL SEAMS, INCLUDING TOP AND BOTTOM EDGES.
 - SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
 - GLUE GNB TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.
 - TUBS/SHOWERS AND STAIRS REQUIRE EXTERIOR WALLS TO BE FIRE INSULATED AND BOARDED BEFORE BEING BUILT AGAINST.

- general notes: air leakage
- IN ACCORDANCE WITH ASHRAE 90.1-04 (5.4.3.1)
- BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE.
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 - OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
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 - BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
 - JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
 - ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

- coded notes - floor plans
- NOT IN CONTRACT
 - EXTENT OF WORK
 - INFILL FLOOR FRAMING - SEE STRUCTURAL
 - INFILL CONCRETE SLAB - SEE STRUCTURAL
 - SLOPED FLOOR, 1:20 MAX SLOPE
 - REINSTALL EXISTING DOOR IN NEW LOCATION. PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMO AND COLUMN INSTALLATION AND DOOR RELOCATION
 - PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMOLITION & COLUMN INSTALLATION
 - INFILL SLAB AT NEW FOOTING CONSTRUCTION
 - PROVIDE NEW CONCRETE SLAB - SEE STRUCTURAL
 - INFILL EXISTING MASONRY WALL

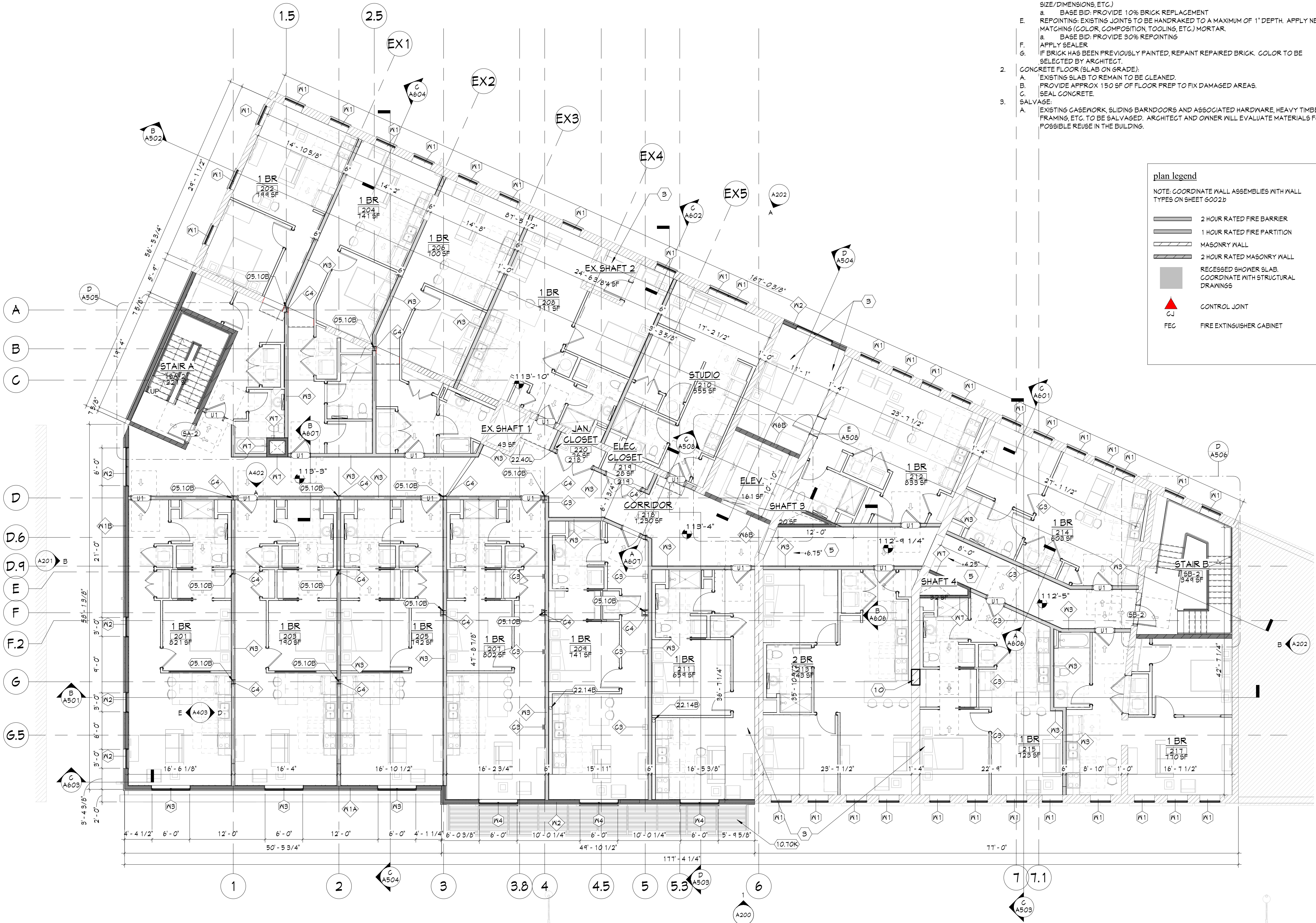
keynotes	
05.10B	STRUCTURAL STEEL COLUMN - SEE STRUCTURAL DRAWINGS
10.10K	PREFINISHED ALUMINUM CANOPY - MAPES SUPER LUMIDECK
22.14B	ROOF DRAIN LEADER
22.40L	JANITOR MOP SINK

- general interior scope notes:
- INTERIOR EXPOSED MASONRY:
 - SCRAPE ALL LOOSE MATERIAL/PAINT AND CLEAN OF DUST/DEBRIS.
 - ALL MASONRY TO BE REPOINTED AND FACE BRICK VENEER REPLACED AS REQUIRED. REPOINTING TO MATCH THE EXISTING JOINTS (COLOR, COMPOSITION, TOOLING, ETC.)
 - ALL JOINTS TO BE RESEALED WITH COLOR MATCHED SEALANT AND BACKER ROD
 - MASONRY REPLACEMENT: ALL MASONRY TO BE HAND-CUT FROM FACADE. PRIOR TO REPLACEMENT, ALL MATERIAL TO BE INSPECTED TO VERIFY PREVIOUSLY CONCEALED FACE CAN BE USED AS EXTERIOR FACE MATERIAL. MATERIAL DEEMED DAMAGED BEYOND REPAIR SHALL BE DISCARDED AND REPLACED WITH A MATCHING BRICK (COLOR, SHAPE, HARDNESS, SIZE/DIMENSIONS, ETC.)
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 - CONCRETE FLOOR (SLAB ON GRADE):
 - EXISTING SLAB TO REMAIN TO BE CLEANED.
 - PROVIDE APPROX 150 SF OF FLOOR PREP TO FIX DAMAGED AREAS.
 - SEAL CONCRETE.
 - SALVAGE:
 - EXISTING CASEWORK, SLIDING BARNDOORS AND ASSOCIATED HARDWARE, HEAVY TIMBER FRAMING, ETC. TO BE SALVAGED. ARCHITECT AND OWNER WILL EVALUATE MATERIALS FOR POSSIBLE REUSE IN THE BUILDING.

plan legend

NOTE: COORDINATE WALL ASSEMBLIES WITH WALL TYPES ON SHEET 6002.8

- 2 HOUR RATED FIRE BARRIER
- 1 HOUR RATED FIRE PARTITION
- MASONRY WALL
- 2 HOUR RATED MASONRY WALL
- RECESSED SHOWER SLAB, COORDINATE WITH STRUCTURAL DRAWINGS
- CONTROL JOINT
- FIRE EXTINGUISHER CABINET



second floor plan

1/8" = 1'-0"

THE PINE

1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

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DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

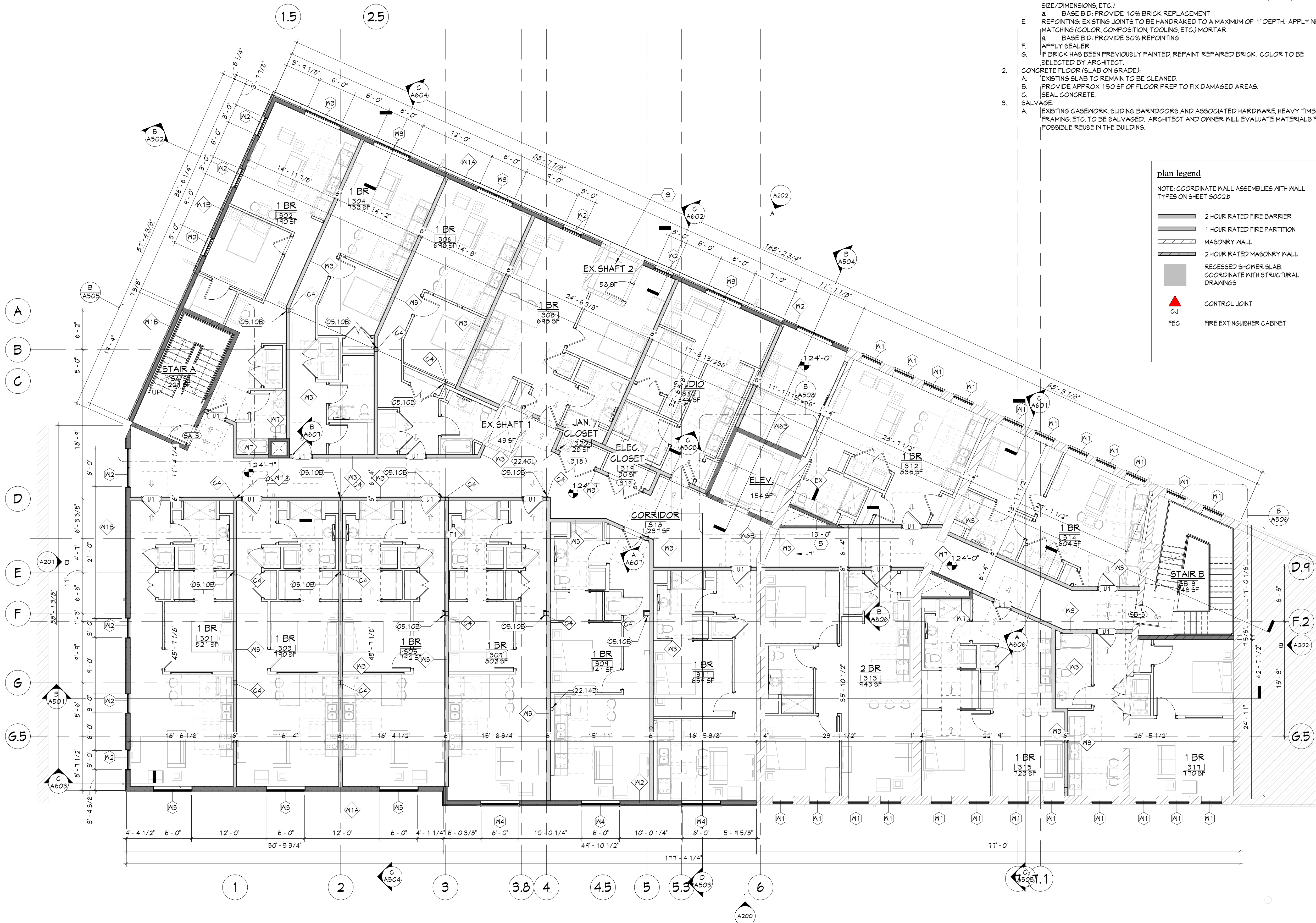
SECOND FLOOR
PLAN

A102

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C:\Users\dmichael\OneDrive - Berardi + Partners\Documents\22-1720 Columbus Road_Central_V2.dlmichael.rvt



third floor plan

1/8" = 1'-0"

general interior scope notes:

- INTERIOR EXPOSED MASONRY:
 - SCRAPE ALL LOOSE MATERIAL/PAINT AND CLEAN OF DUST/DEBRIS.
 - ALL MASONRY TO BE REPOINTED AND FACE BRICK VENEER REPLACED AS REQUIRED. REPOINTING TO MATCH THE EXISTING JOINTS (COLOR, COMPOSITION, TOOLING, ETC.)
 - ALL JOINTS TO BE RESEALED WITH COLOR MATCHED SEALANT AND BACKER ROD
 - MASONRY REPLACEMENT: ALL MASONRY TO BE HAND-CUT FROM FACADE. PRIOR TO REPLACEMENT, ALL MATERIAL TO BE INSPECTED TO VERIFY PREVIOUSLY CONCEALED FACE CAN BE USED AS EXTERIOR FACE MATERIAL. MATERIAL DEEMED DAMAGED BEYOND REPAIR SHALL BE DISCARDED AND REPLACED WITH A MATCHING BRICK (COLOR, SHAPE, HARDNESS, SIZE/DIMENSIONS, ETC.)
 - BASE BID: PROVIDE 10% BRICK REPLACEMENT
 - REPOINTING: EXISTING JOINTS TO BE HANDRAKED TO A MAXIMUM OF 1" DEPTH. APPLY NEW MATCHING (COLOR, COMPOSITION, TOOLING, ETC.) MORTAR.
 - BASE BID: PROVIDE 30% REPOINTING
 - APPLY SEALER
 - IF BRICK HAS BEEN PREVIOUSLY PAINTED, REPAINT REPAIRED BRICK. COLOR TO BE SELECTED BY ARCHITECT.
- CONCRETE FLOOR (SLAB ON GRADE):
 - EXISTING SLAB TO REMAIN TO BE CLEANED.
 - PROVIDE APPROX 150 SF OF FLOOR PREP TO FIX DAMAGED AREAS.
 - SEAL CONCRETE.
- SALVAGE:
 - EXISTING CASEWORK, SLIDING BARNDOORS AND ASSOCIATED HARDWARE, HEAVY TIMBER FRAMING, ETC. TO BE SALVAGED. ARCHITECT AND OWNER WILL EVALUATE MATERIALS FOR POSSIBLE REUSE IN THE BUILDING.

plan legend

NOTE: COORDINATE WALL ASSEMBLIES WITH WALL TYPES ON SHEET 6002B

- 2 HOUR RATED FIRE BARRIER
- 1 HOUR RATED FIRE PARTITION
- MASONRY WALL
- 2 HOUR RATED MASONRY WALL
- RECESSED SHOWER SLAB. COORDINATE WITH STRUCTURAL DRAWINGS
- CONTROL JOINT
- FIRE EXTINGUISHER CABINET

general notes: floor plans

- REFERENCE CIVIL PLANS FOR ACTUAL FINISHED FLOOR ELEVATION. REFERENCE POINT OF 100.0 USED ON ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATION.
- ALL DIMENSIONS ARE TO FACE OF STUD UNO.
- ANYWHERE THIS SYMBOL () APPEARS IN A DIMENSION STRING, IT INDICATES THE DIMENSION 3 1/2'.
- SEE SHEETS 6002B AND 6002B FOR WALL, FLOOR AND ROOF TYPES.
- UNLESS INDICATED OTHERWISE, ALL DOORS TO BE A MINIMUM OF 4' TO ROUGH JAMB FROM ROUGH FRAMING INTERSECTION.
- ANY SHOWER/BATH LOCATED AGAINST A DEMISING OR CORRIDOR WALL IS TO RECEIVE A LAYER OF MOISTURE RESISTANT GNB TO BE LAMINATED OVER WALL TYPE INDICATED IMMEDIATELY BEHIND FIXTURE - SEE DETAIL SHEET A401.
- REFERENCE ID400 SHEETS FOR FLOOR FINISH PLANS.
- REFERENCE A300 SHEETS FOR ENLARGED UNIT PLANS & UNIT REFLECTED CEILING PLANS.
- SEE 6001 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- PROVIDE UL APPROVED FIRE STOPPING AS REQUIRED AT ALL PENETRATIONS LOCATED WITHIN ALL UNIT COMMON/DEMISING WALLS, CEILING FIRE RESISTIVE ASSEMBLIES AND AT ALL OTHER FIRE-RESISTIVE RATED ASSEMBLIES.
- ALL GYP BD ON WALLS AND CEILINGS WITHIN BATHROOMS SHALL BE MOISTURE RESISTANT TYPE COMPLYING WITH THE FIRE RESISTANCE RATED ASSEMBLY.
- COORDINATE INTERIOR WALL THICKNESS BATT INSULATION AND GYP/DM BOARD REQUIREMENTS WITH OVERALL FLOOR PLANS, ENLARGED UNIT PLANS, AND WALL TYPE SHEETS.
- ENSURE ALL DUCT WORK, PLUMBING COMPONENTS, ETC ARE ISOLATED FROM ALL METAL FRAMING AND WALL FINISHES.
- UNRATED WALL AND CEILING ASSEMBLIES SHALL NOT INTERRUPT FLOOR/CEILING, ETC ASSEMBLIES, SEE DETAIL A/6002B.

general notes: building envelope

- ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL BILL FINISHING AS REQUIRED), TO BE FLASHED.
- ALL GRADINGS TO BE SLOPED AWAY FROM BUILDING/FOUNDATION.
- GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS.
- ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
- INSTALL ALL INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
- ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
- ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF 8'-4").
- PROVIDE FIBERGLASS INSULATION WITH 6 MIL POLYETHYLENE - ALL JOINTS AND PENETRATIONS TO BE TAPED. INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) - FILL ALL CAVITIES.
- PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR SHEATHING JOINTS, INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE HOUSE WRAP, TAPING ALL SEAMS, INCLUDING TOP AND BOTTOM EDGES.
- SEAL ALL RECESSED CAN LIPS, UTILITY BOXES AND DOOR JAMBS.
- GLUE GNB TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.
- TUBS/SHOWERS AND STAIRS REQUIRE EXTERIOR WALLS TO BE FIRE INSULATED AND BOARDED BEFORE BEING BUILT AGAINST.

general notes: air leakage

IN ACCORDANCE WITH ASHRAE 90.1-04 (5.4.3.1)

BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:

- JOINTS AROUND PENETRATION AND DOOR FRAMES.
- JUNCTIONS BETWEEN WALLS AND FOUNDATIONS.
- BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
- OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
- SITE-BUILT PENETRATION AND DOORS.
- BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
- JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
- ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

coded notes - floor plans

- NOT IN CONTRACT
- EXTENT OF WORK
- INFILL FLOOR FRAMING - SEE STRUCTURAL
- INFILL CONCRETE SLAB - SEE STRUCTURAL
- SLOPED FLOOR, 1:20 MAX SLOPE
- REINSTALL EXISTING DOOR IN NEW LOCATION. PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMO AND COLUMN INSTALLATION AND DOOR RELOCATION
- PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMOLITION & COLUMN INSTALLATION
- INFILL SLAB AT NEW FOOTING CONSTRUCTION
- PROVIDE NEW CONCRETE SLAB - SEE STRUCTURAL
- INFILL EXISTING MASONRY WALL

keynotes

- 05.10B STRUCTURAL STEEL COLUMN - SEE STRUCTURAL DRAWINGS
- 22.14B ROOF DRAIN LEADER
- 22.40L JANITOR MOP SINK

THE PINE

1720-1736 COLUMBUS RD.
CLEVELAND, OH 44113

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NOTE:
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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.

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6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE QUANTITIES. LOCATIONS OR COPIED REQUIREMENTS THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONTRADICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

DESIGN DEVELOPMENT SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

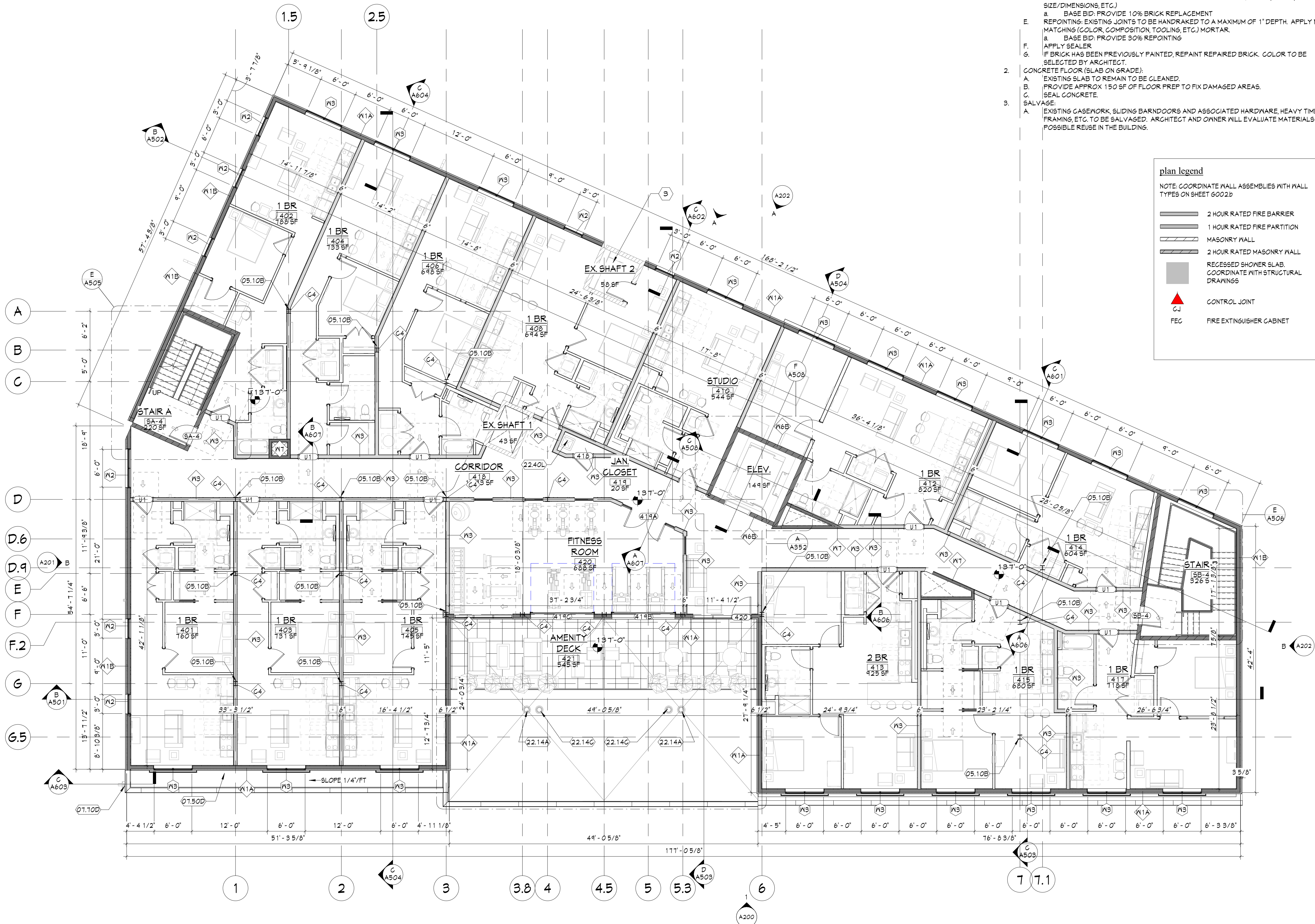
THIRD FLOOR PLAN

A103

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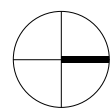
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P 614.221.1110 berardipartners.com

C:\Users\dmichaelis\OneDrive - Berardi + Partners\Documents\22-1720 Columbus Road_Central_V2.dlmichaelis.rvt



fourth floor plan

1/8" = 1'-0"



general interior scope notes:

- INTERIOR EXPOSED MASONRY:
 - SCRAPE ALL LOOSE MATERIAL/PAINT AND CLEAN OF DUST/DEBRIS.
 - ALL MASONRY TO BE REPOINTED AND FACE BRICK VENEER REPLACED AS REQUIRED. REPOINTING TO MATCH THE EXISTING JOINTS (COLOR, COMPOSITION, TOOLING, ETC.)
 - ALL JOINTS TO BE RESEALED WITH COLOR MATCHED SEALANT AND BACKER ROD
 - MASONRY REPLACEMENT: ALL MASONRY TO BE HAND-CUT FROM FACADE. PRIOR TO REPLACEMENT, ALL MATERIAL TO BE INSPECTED TO VERIFY PREVIOUSLY CONCEALED FACE CAN BE USED AS EXTERIOR FACE MATERIAL. MATERIAL DEEMED DAMAGED BEYOND REPAIR SHALL BE DISCARDED AND REPLACED WITH A MATCHING BRICK (COLOR, SHAPE, HARDNESS, SIZE/DIMENSIONS, ETC.)
 - BASE BID: PROVIDE 10% BRICK REPLACEMENT
 - REPOINTING: EXISTING JOINTS TO BE HANDRAKED TO A MAXIMUM OF 1" DEPTH. APPLY NEW MATCHING (COLOR, COMPOSITION, TOOLING, ETC.) MORTAR.
 - BASE BID: PROVIDE 30% REPOINTING
 - APPLY SEALER
 - IF BRICK HAS BEEN PREVIOUSLY PAINTED, REPAINT REPAIRED BRICK. COLOR TO BE SELECTED BY ARCHITECT.
- CONCRETE FLOOR (SLAB ON GRADE):
 - EXISTING SLAB TO REMAIN TO BE CLEANED.
 - PROVIDE APPROX 150 SF OF FLOOR PREP TO FIX DAMAGED AREAS.
 - SEAL CONCRETE.
- SALVAGE:
 - EXISTING CASEWORK, SLIDING BARNDOORS AND ASSOCIATED HARDWARE, HEAVY TIMBER FRAMING, ETC. TO BE SALVAGED. ARCHITECT AND OWNER WILL EVALUATE MATERIALS FOR POSSIBLE REUSE IN THE BUILDING.

plan legend

NOTE: COORDINATE WALL ASSEMBLIES WITH WALL TYPES ON SHEET 6002B

- 2 HOUR RATED FIRE BARRIER
- 1 HOUR RATED FIRE PARTITION
- MASONRY WALL
- 2 HOUR RATED MASONRY WALL
- RECESSED SHOWER SLAB, COORDINATE WITH STRUCTURAL DRAWINGS
- CONTROL JOINT
- FIRE EXTINGUISHER CABINET

general notes: floor plans

- REFERENCE CIVIL PLANS FOR ACTUAL FINISHED FLOOR ELEVATION. REFERENCE POINT OF 100.0 USED ON ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATION.
- ALL DIMENSIONS ARE TO FACE OF STUD UNO.
- ANYWHERE THIS SYMBOL () APPEARS IN A DIMENSION STRING, IT INDICATES THE DIMENSION 3/12".
- SEE SHEETS 6002.8 AND 6002.9 FOR WALL, FLOOR AND ROOF TYPES.
- UNLESS INDICATED OTHERWISE, ALL DOORS TO BE A MINIMUM OF 4' TO ROUGH JAMB FROM ROUGH FRAMING INTERSECTION.
- ANY SHOWER/BATH LOCATED AGAINST A DEMISING OR CORRIDOR WALL IS TO RECEIVE A LAYER OF MOISTURE RESISTANT GNB TO BE LAMINATED OVER WALL TYPE INDICATED IMMEDIATELY BEHIND FIXTURE - SEE DETAIL SHEET A401.
- REFERENCE ID400 SHEETS FOR FLOOR FINISH PLANS.
- REFERENCE A300 SHEETS FOR ENLARGED UNIT PLANS & UNIT REFLECTED CEILING PLANS.
- SEE 6001 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- PROVIDE UL APPROVED FIRE STOPPING AS REQUIRED AT ALL PENETRATIONS LOCATED WITHIN ALL UNIT COMMON/DEMISING WALLS, CEILING FIRE RESISTIVE ASSEMBLIES AND AT ALL OTHER FIRE-RESISTIVE RATED ASSEMBLIES.
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- ENSURE ALL DUCT WORK, PLUMBING COMPONENTS, ETC ARE ISOLATED FROM ALL METAL FRAMING AND WALL FINISHES.
- UNRATED WALL AND CEILING ASSEMBLIES SHALL NOT INTERRUPT RATED FLOOR/CEILING, ETC ASSEMBLIES, SEE DETAIL A/6002B.

general notes: building envelope

- ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL BILL PANNING AS REQUIRED), TO BE FLASHED.
- ALL GRADINGS TO BE SLOPED AWAY FROM BUILDING/FOUNDATION.
- GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS.
- ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
- INSTALL ALL INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
- ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
- ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-4.4).
- PROVIDE FIBERGLASS INSULATION WITH 6 MIL POLYETHYLENE - ALL JOINTS AND PENETRATIONS TO BE TAPED. INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) - FILL ALL CAVITIES.
- PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR SHEATHING JOINTS, INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE HOUSE WRAP, TAPING ALL SEAMS, INCLUDING TOP AND BOTTOM EDGES.
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general notes: air leakage

IN ACCORDANCE WITH ASHRAE 90.1-04 (5.4.3.1)

BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:

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- BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
- JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
- ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

coded notes - floor plans

- NOT IN CONTRACT
- EXTENT OF WORK
- INFILL FLOOR FRAMING - SEE STRUCTURAL
- INFILL CONCRETE SLAB - SEE STRUCTURAL
- SLOPED FLOOR, 1:20 MAX SLOPE
- REINSTALL EXISTING DOOR IN NEW LOCATION. PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMO AND COLUMN INSTALLATION AND DOOR RELOCATION
- PATCH AND REPAIR WALLS WHERE DAMAGED BY DEMOLITION & COLUMN INSTALLATION
- INFILL SLAB AT NEW FOOTING CONSTRUCTION
- PROVIDE NEW CONCRETE SLAB - SEE STRUCTURAL
- INFILL EXISTING MASONRY WALL

keynotes

- | | |
|--------|---|
| 05.10B | STRUCTURAL STEEL COLUMN - SEE STRUCTURAL DRAWINGS |
| 07.50D | MEMBRANE ROOFING |
| 07.10D | MANUFACTURED SCUPPER |
| 22.14A | ROOF DRAIN |
| 22.14C | OVERFLOW ROOF DRAIN |
| 22.40L | JANITOR MOP SINK |

THE PINE

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CLEVELAND, OH 44113

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DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

FOURTH FLOOR
PLAN

A104

BERARDI+

ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardipartners.com

general notes: roof plans

1. SEE SHEET 6002.a FOR ALL REFERENCED FLOOR/CEILING AND ROOF TYPES.
2. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
3. PROVIDE UL APPROVED FIRE STOPPING AS REQUIRED AT ALL PENETRATIONS LOCATED WITHIN ALL UNIT COMMON/DEMISING WALLS, CEILING FIRE RESISTIVE ASSEMBLIES AND AT ALL OTHER FIRE RESISTIVE RATED ASSEMBLIES.
4. SEE MECHANICAL DRAWINGS FOR ROOFTOP EQUIPMENT.
5. SEE PLUMBING DRAWINGS FOR ROOF DRAIN ROUTING & RISERS.
6. CONTRACTOR TO ENSURE ALL FLUES AND OTHER ROOF PENETRATIONS MEET REQUIREMENTS OF APPLICABLE CODES.
7. FIREWALL TO FRAME TO UNDERSIDE OF ROOF SHEATHING.
8. ROOF SHEATHING TO BE NON-COMBUSTIBLE TO 48" EACH SIDE OF FIRE WALL.
9. THERE IS TO BE NO PASSAGE THROUGH THE FIRE WALL IN THE ATTIC ACCESS TO EACH BUILDING'S ATTIC TO BE SUPPLIED AS INDICATED ON 3RD FLOOR REFLECTED CEILING PLAN & ATTIC PLAN.
10. THE ATTIC SPACE SHALL BE SUBDIVIDED BY DRAFTSTOP COMPARTMENTS NOT TO EXCEED 3,000 SF OR ABOVE EVERY TWO DWELING UNITS, WHICHEVER IS SMALLER. SEE ATTIC PLAN.
11. DRAFTSTOP COMPARTMENTS TO BE EXTENDED TO UNDERSIDE OF ROOF SHEATHING.
12. COORDINATE FIREWALL AND DRAFTSTOPPING PENETRATIONS WITH MEP SCHEDULE.
13. SEE ELECTRICAL PLAN/SCHEDULES FOR LIGHTING/POWER REQUIREMENTS IN ATTIC.
14. ATTIC VENTILATION TO BE ACHIEVED BY POP-VENTS.
15. REFER TO SPECIFICATIONS FOR ROOFING COMPONENTS.
16. ROOFING TO BE SINGLE LAY, FULLY ADHERED ELASTOMERIC PER SPECS.
17. ROOF ASSOCIATED FLASHING INCLUDING BUT NOT LIMITED TO TERMINATION STRIPS, REGLET, ADHESIVES ETC TO BE PER SPECS AND PER PRODUCT MANUFACTURER'S WRITTEN DIRECTIVES.
18. ROOFING INSULATION TO BE AS PER SPECS AND PRODUCT MANUFACTURER'S WRITTEN DIRECTIVES.
19. BRICK CONTROL JOINTS SHALL OCCUR AT ALL INSIDE CORNERS, BEHIND ALL DOWNSPOUTS AND AT OUTSIDE CORNERS W/DOWNSPOUTS - OFFSET (1) 1/2 BRICK FROM CORNER. SEE PLANS AND ELEVATIONS FOR ADDITIONAL LOCATIONS.
20. ALL ROOF SLOPES ARE AS NOTED ON ROOF PLANS.
21. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL FLUE AND VENT PENETRATIONS.
22. PROVIDE MINIMUM 22"x30" OPENINGS IN SHEATHING AT OVERLAY FRAMING TO PERMIT VENTILATION/ACCESS.
23. SEE PLUMBING SHEET PXXX FOR ROOF DRAIN DETAILS.

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DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

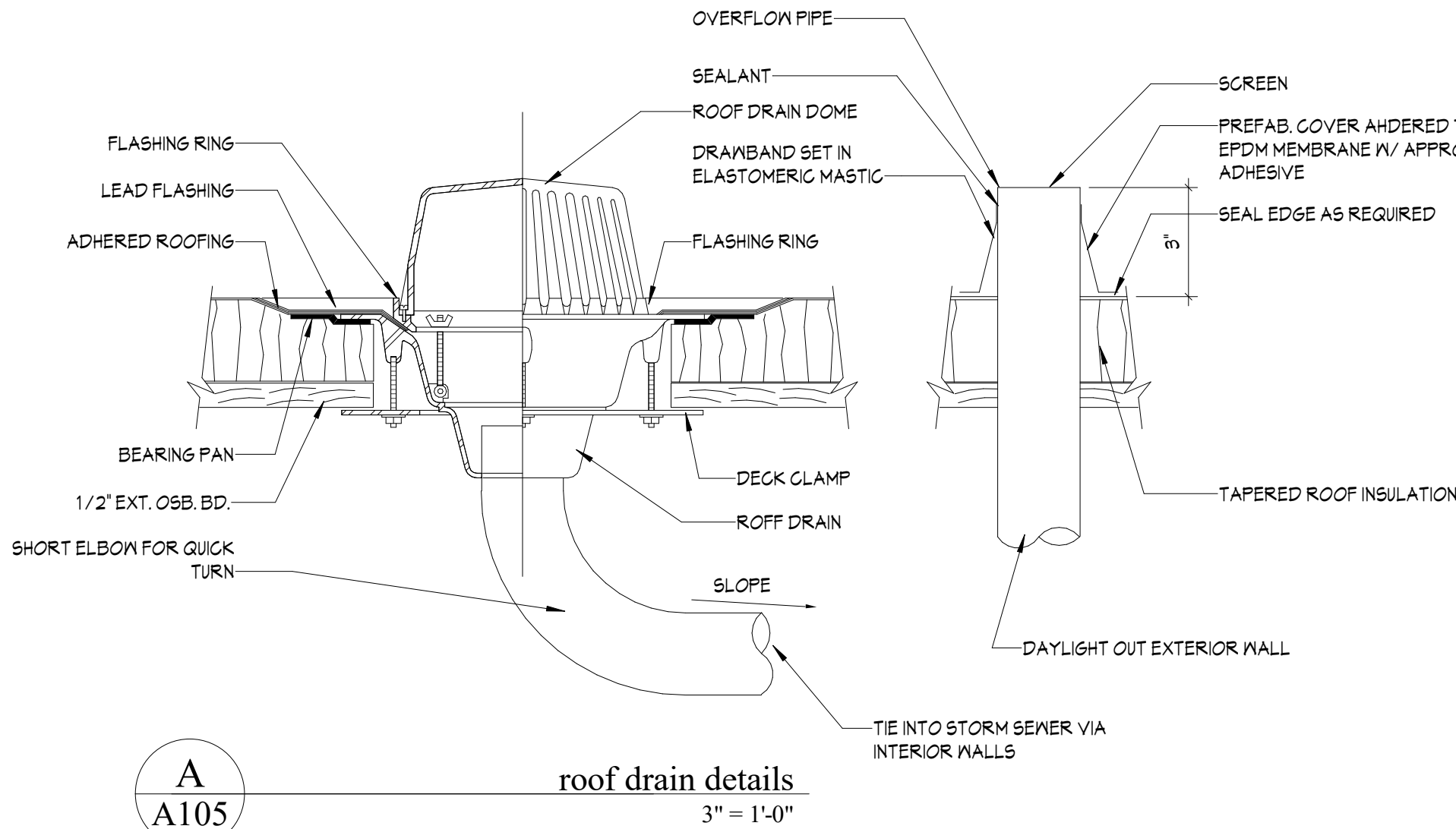
Description Date

ROOF PLAN

A105

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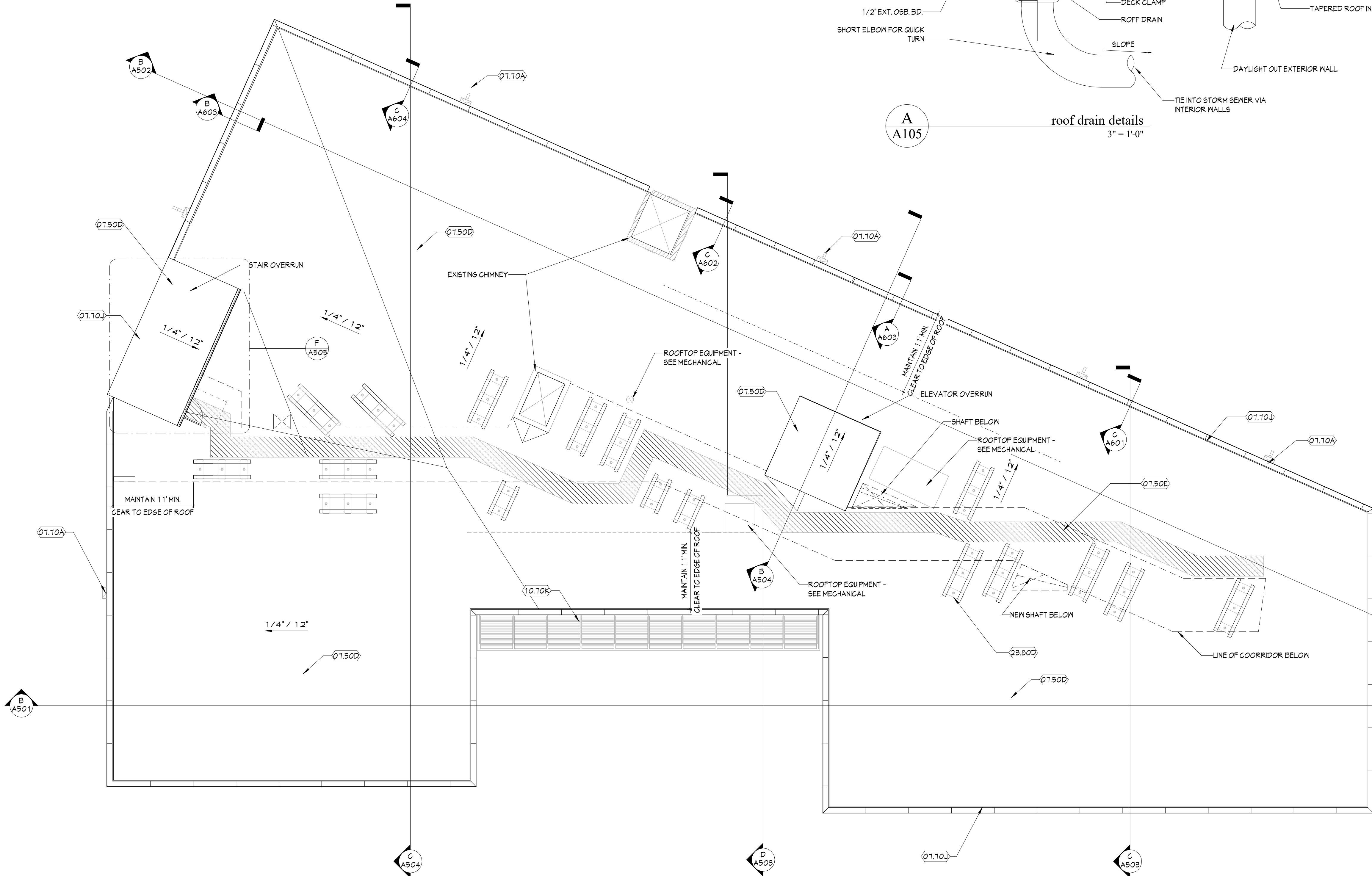
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roof legend	
---	INDICATES LOCATION OF DRAFTSTOPPING
DS	INDICATES LOCATION OF DOWNSPOUT
→	INDICATES DIRECTION OF ROOF SLOPE
RD	INDICATES LOCATION OF ROOF DRAIN
ORD	INDICATES LOCATION OF OVERFLOW ROOF DRAIN
SC	INDICATES LOCATION OF SCUPPER

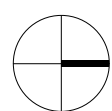
coded notes - roof plans	
1	VALLEY FLASHING. REFER TO DETAIL C/A1-4
2	RIDGE VENT. REFER TO DETAIL B/A104
3	DRAFTSTOPPING BELOW
4	FIRE SEPARATION ASSEMBLY BELOW
5	ROOF CRICKET
6	ICE GUARD/SHIELD TO 2'-0" BEYOND EXTERIOR WALLS

keynotes	
07.50D	MEMBRANE ROOFING
07.50E	WALKWAY PAD
07.10A	PRE-FINISHED ALUMINUM SCUPPER AND DOWNSPOUT
07.10J	METAL COPING PARAPET CAP
10.10K	PRE-FINISHED ALUMINUM CANOPY - MAPES SUPER LUMIDECK
23.80D	SPLIT-SYSTEM AIR CONDITIONERS



roof plan

1/8" = 1'-0"



NOT FOR CONSTRUCTION

THE PINE

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CLEVELAND, OH 44113

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NOTE:

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BECOME FAMILIAR WITH THE EXISTING CONDITIONS
AND REQUIREMENTS OF THE PROJECT AND
SHALL NOTIFY THE ARCHITECT OF ANY ERRORS
AND OMISSIONS SUBSEQUENTLY DISCOVERED IN
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ARCHITECT.

DESIGN
DEVELOPMENT
SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

BUILDING
SECTIONS

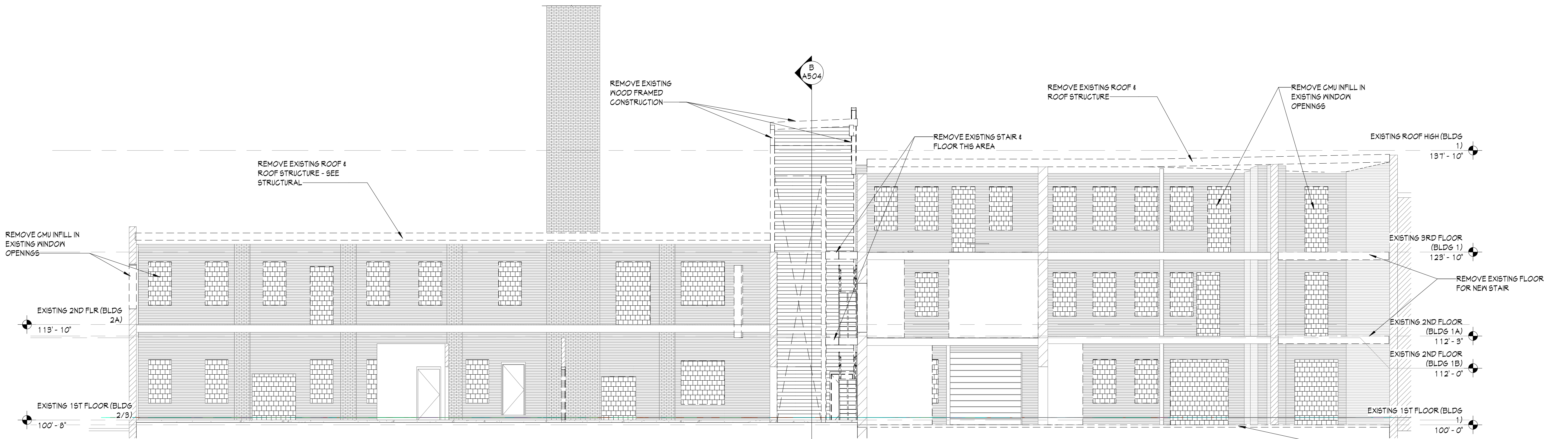
A502

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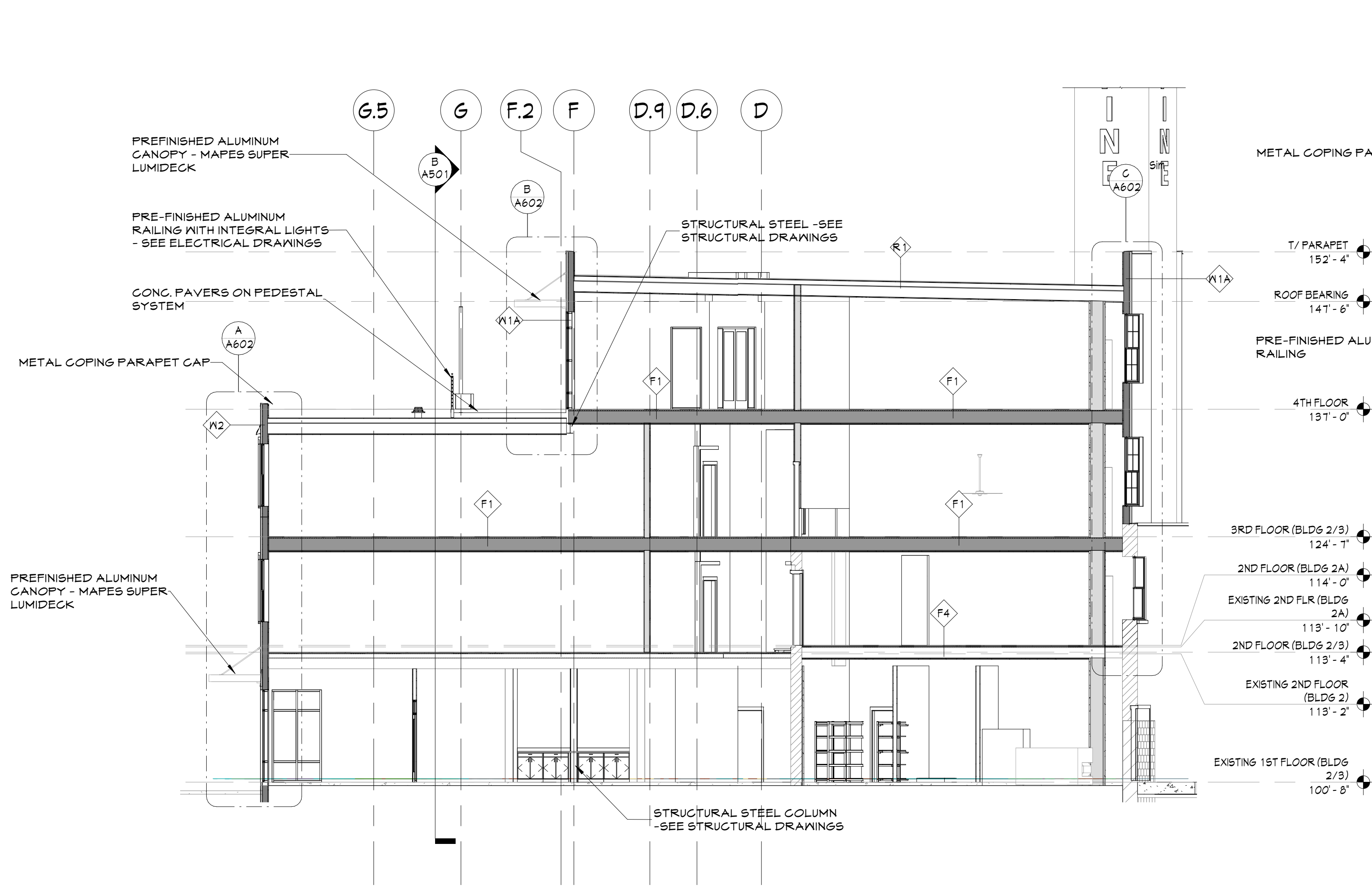
B
A502
proposed building section
1/8" = 1'-0"



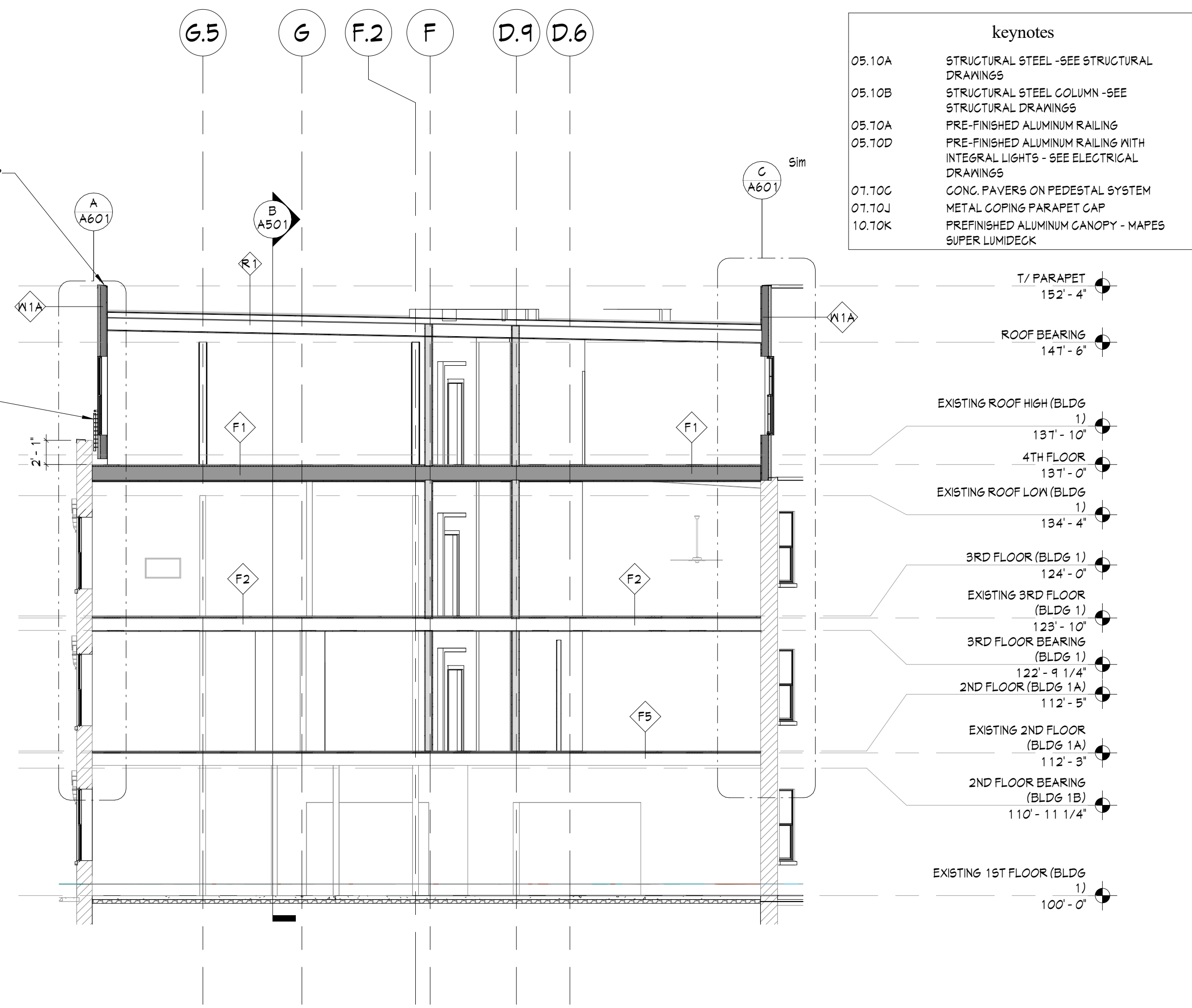
A
A502
existing building section
1/8" = 1'-0"

NOT FOR CONSTRUCTION

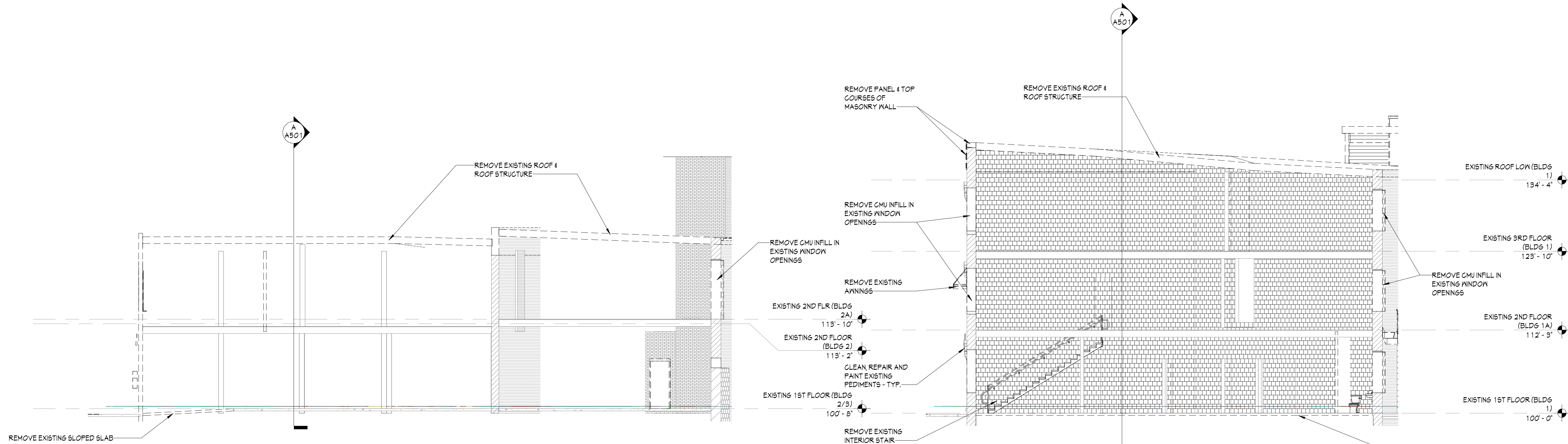
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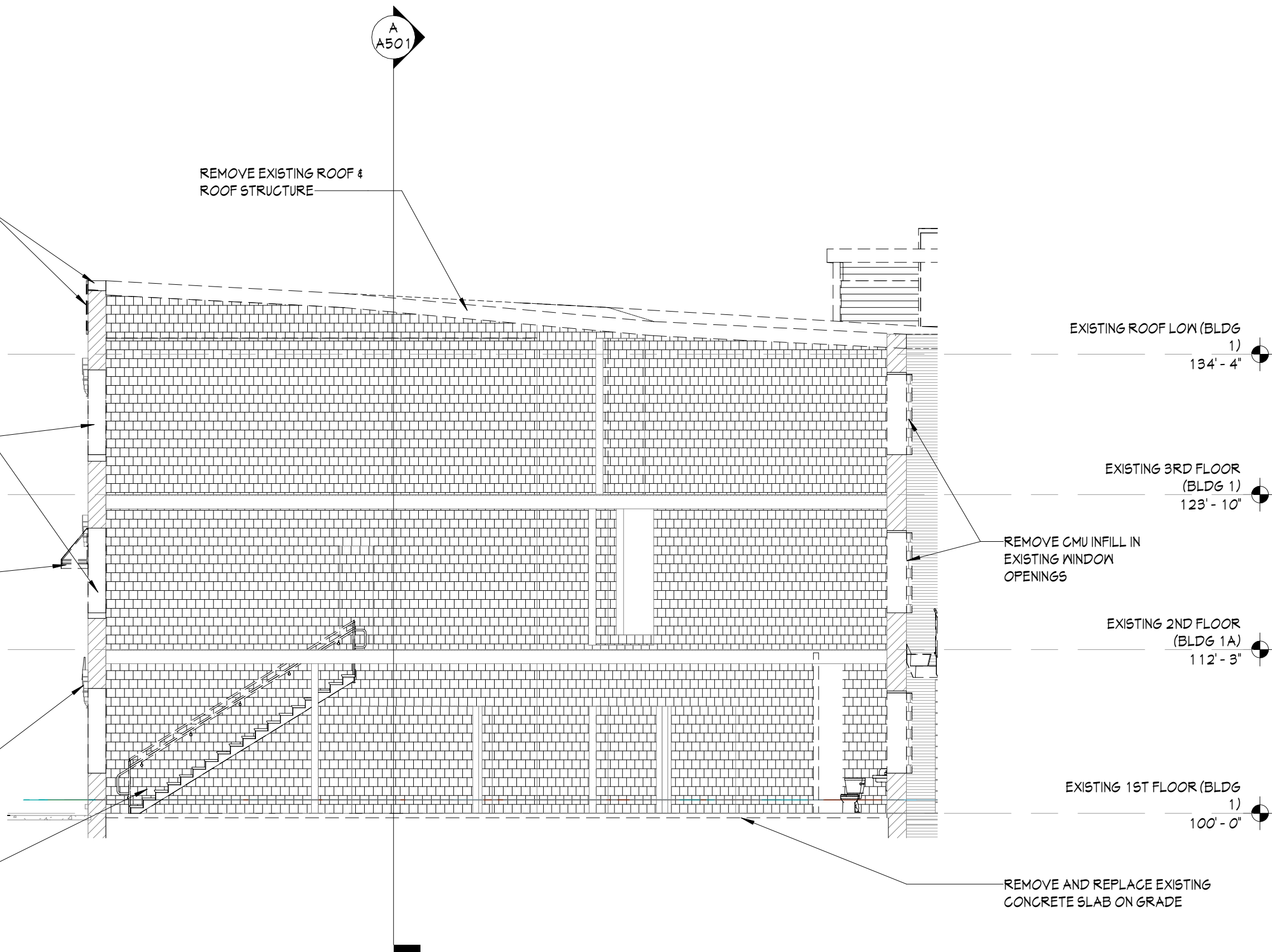
D
A503 proposed building section building 2
1/8" = 1'-0"



C
A503 proposed building section building 1
1/8" = 1'-0"



B
A503 existing building section building 2
1/8" = 1'-0"



A
A503 existing building section building 1
1/8" = 1'-0"

keynotes	
05.10A	STRUCTURAL STEEL - SEE STRUCTURAL DRAWINGS
05.10B	STRUCTURAL STEEL COLUMN - SEE STRUCTURAL DRAWINGS
05.10A	PRE-FINISHED ALUMINUM RAILING
05.10D	PRE-FINISHED ALUMINUM RAILING WITH INTEGRAL LIGHTS - SEE ELECTRICAL DRAWINGS
07.10C	CONG. PAVERS ON PEDESTAL SYSTEM
07.10J	METAL COPING PARAPET CAP
10.10K	PRE-FINISHED ALUMINUM CANOPY - MAPES SUPER LUMIDECK

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4. ADDITIONALLY, SEE GENERAL INFORMATION ON "A07" SHEETS.
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DESIGN DEVELOPMENT SET

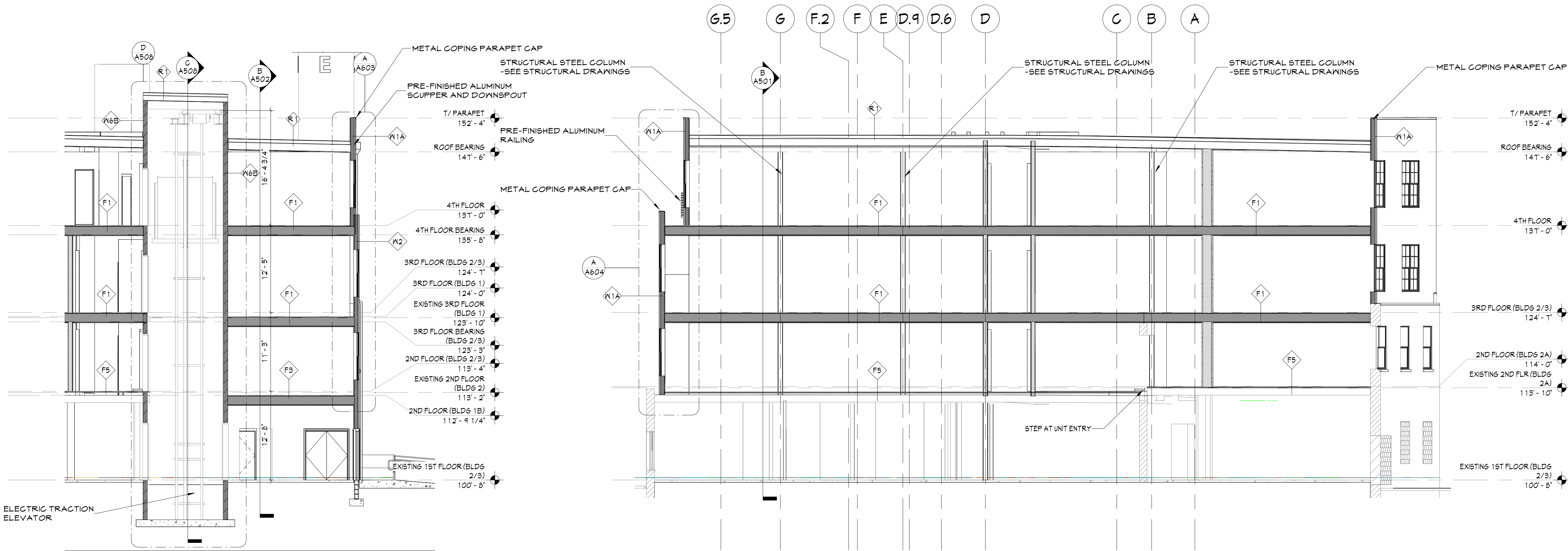
PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

BUILDING SECTIONS

A503

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DESIGN DEVELOPMENT SET

PROJECT DATE: 2.10.2022
PROJECT #: 21142

Description Date

BUILDING SECTIONS

A504

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DATE: 09/10/2021
PROJECT #: 21142

PRELIMINARY
PERSPECTIVE

SD-501



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SCHEMATIC

DATE: 09/10/2021
PROJECT #: 21142

PRELIMINARY
PERSPECTIVE

SD-503



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SCHEMATIC

DATE: 09/10/2021
PROJECT #: 21142

PRELIMINARY
PERSPECTIVE

SD-502

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SCHEMATIC

DATE: 09/10/2021
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PRELIMINARY
PERSPECTIVE

SD-504



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DATE: 09/10/2021
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PRELIMINARY
PERSPECTIVE

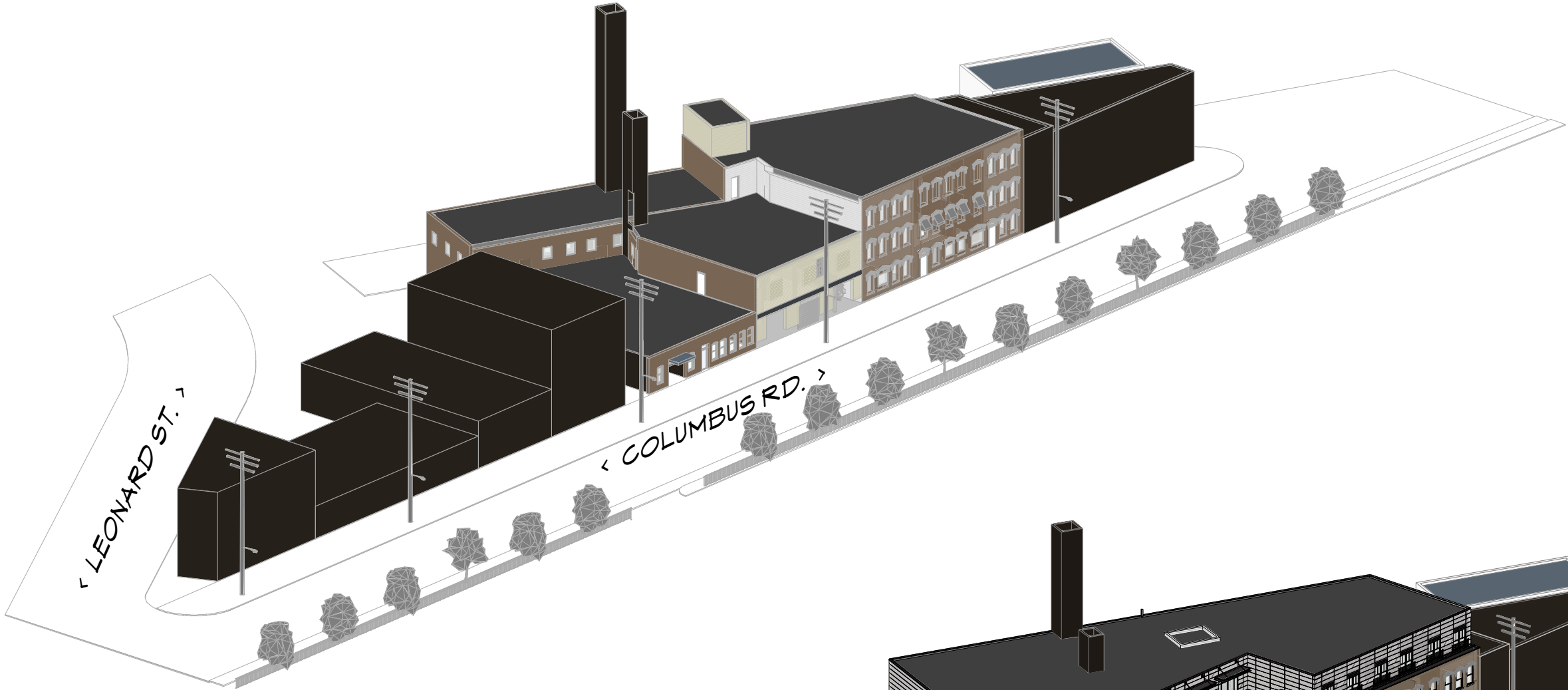
SD-505

1720 COLUMBUS
ROAD

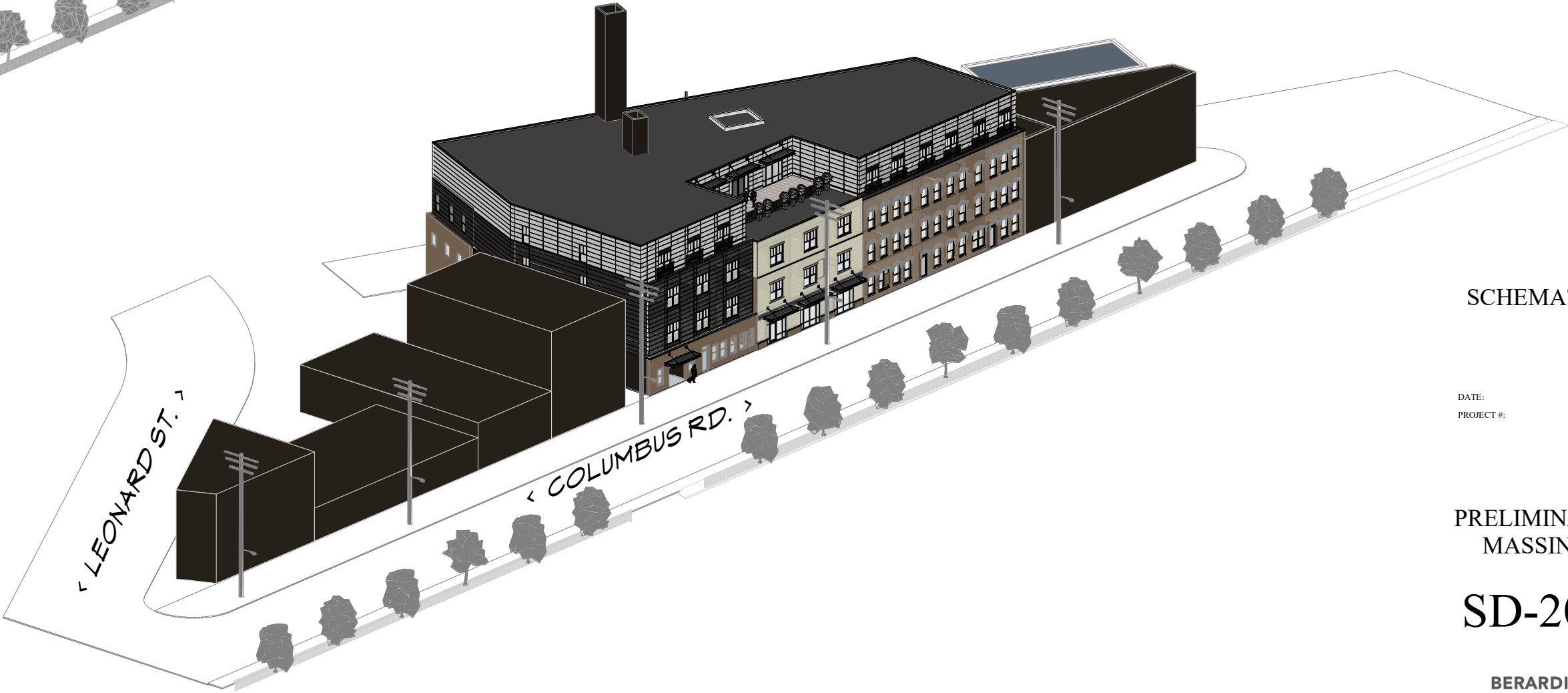
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3D - Exist



3D - Construction

SCHEMATIC

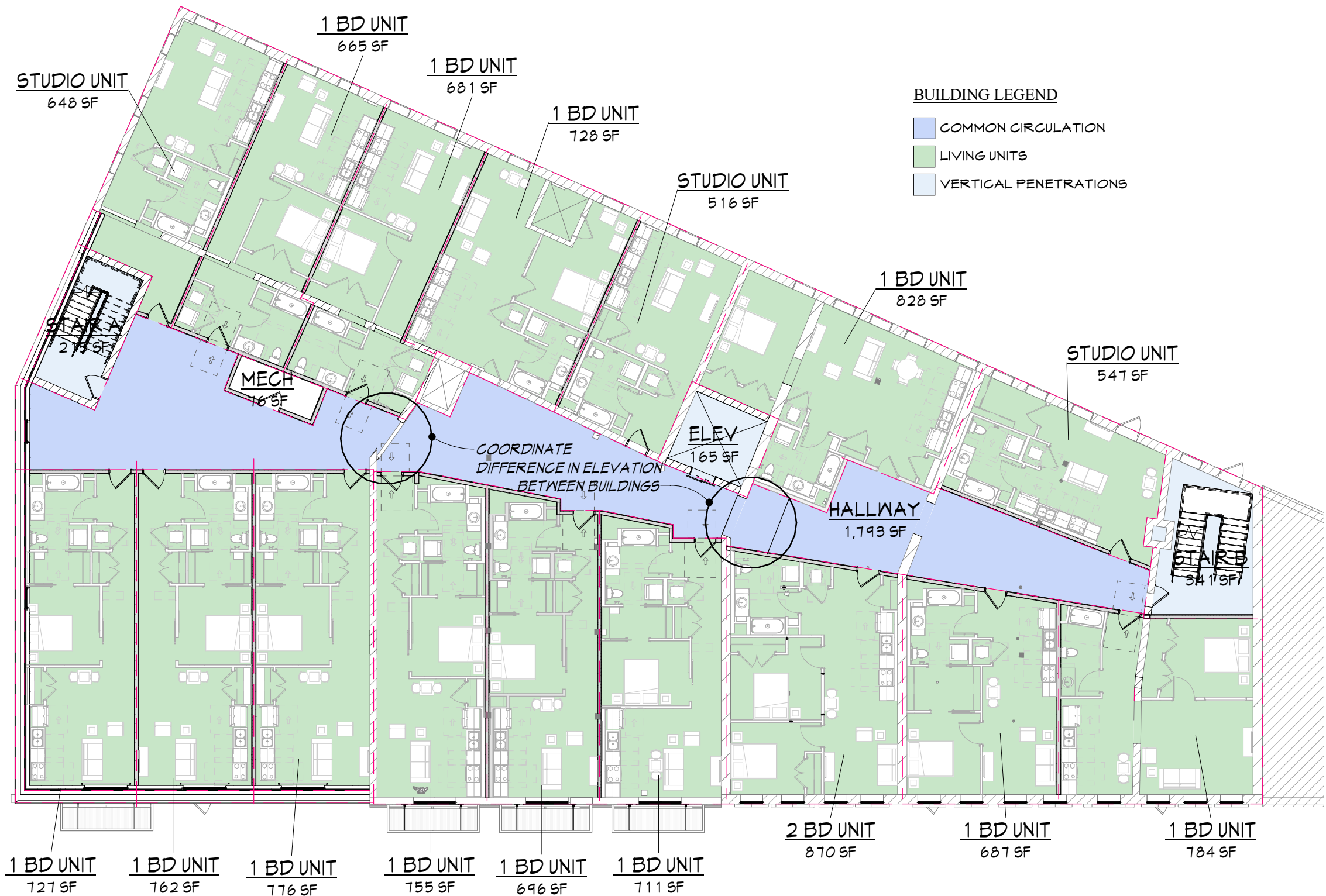
DATE: 09/10/2021
PROJECT #: 21142

PRELIMINARY
MASSING

SD-200

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BUILDING LEGEND

COMMON CIRCULATION
LIVING UNITS
VERTICAL PENETRATIONS

UNIT SUMMARY

1 BD UNIT	33
2 BD UNIT	3
STUDIO UNIT	9
	45

1720 COLUMBUS ROAD

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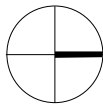
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SCHEMATIC

DATE: 09/10/2021
PROJECT #: 21142

preliminary second floor plan 1/16" = 1'-0"



DEVELOPMENT SUMMARY

	STUDIO	1-BR	2-BR	TOTAL
LEVEL 1	-	-	-	-
2	3	12	1	16
3	3	12	1	16
4	3	9	1	13
TOTAL	9	33	3	45

PRELIMINARY
FLOOR PLAN

SD-102

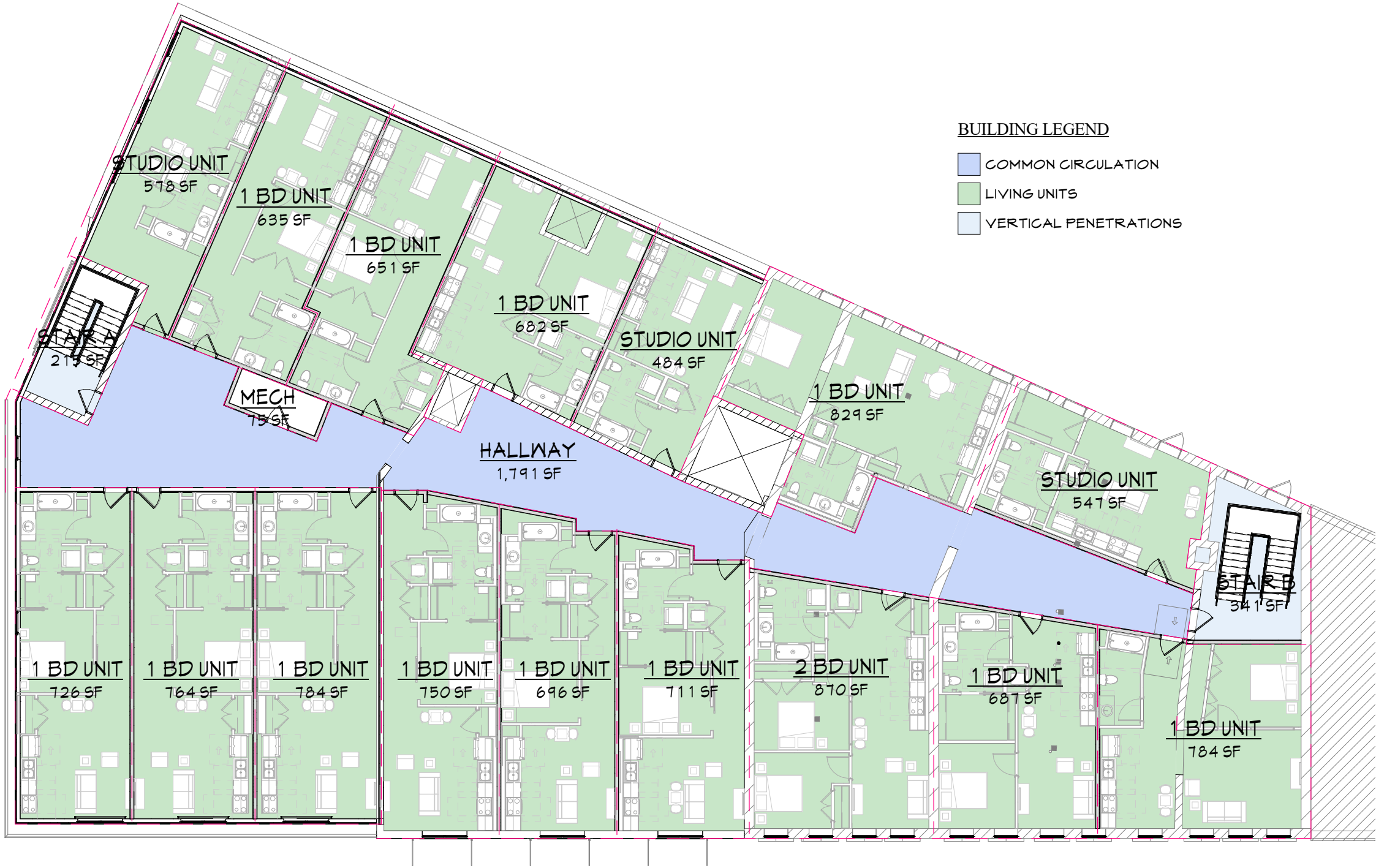
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UNIT SUMMARY	
1 BD UNIT	33
2 BD UNIT	3
STUDIO UNIT	9
	45

BUILDING LEGEND

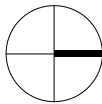
- COMMON CIRCULATION
- LIVING UNITS
- VERTICAL PENETRATIONS



SCHEMATIC

DATE: 09/10/2021
PROJECT #: 21142

preliminary third floor plan 1/16" = 1'-0"



DEVELOPMENT SUMMARY

	STUDIO	1-BR	2-BR	TOTAL
LEVEL 1	-	-	-	-
2	3	12	1	16
3	3	12	1	16
4	3	9	1	13
TOTAL	9	33	3	45

PRELIMINARY
FLOOR PLAN

SD-103

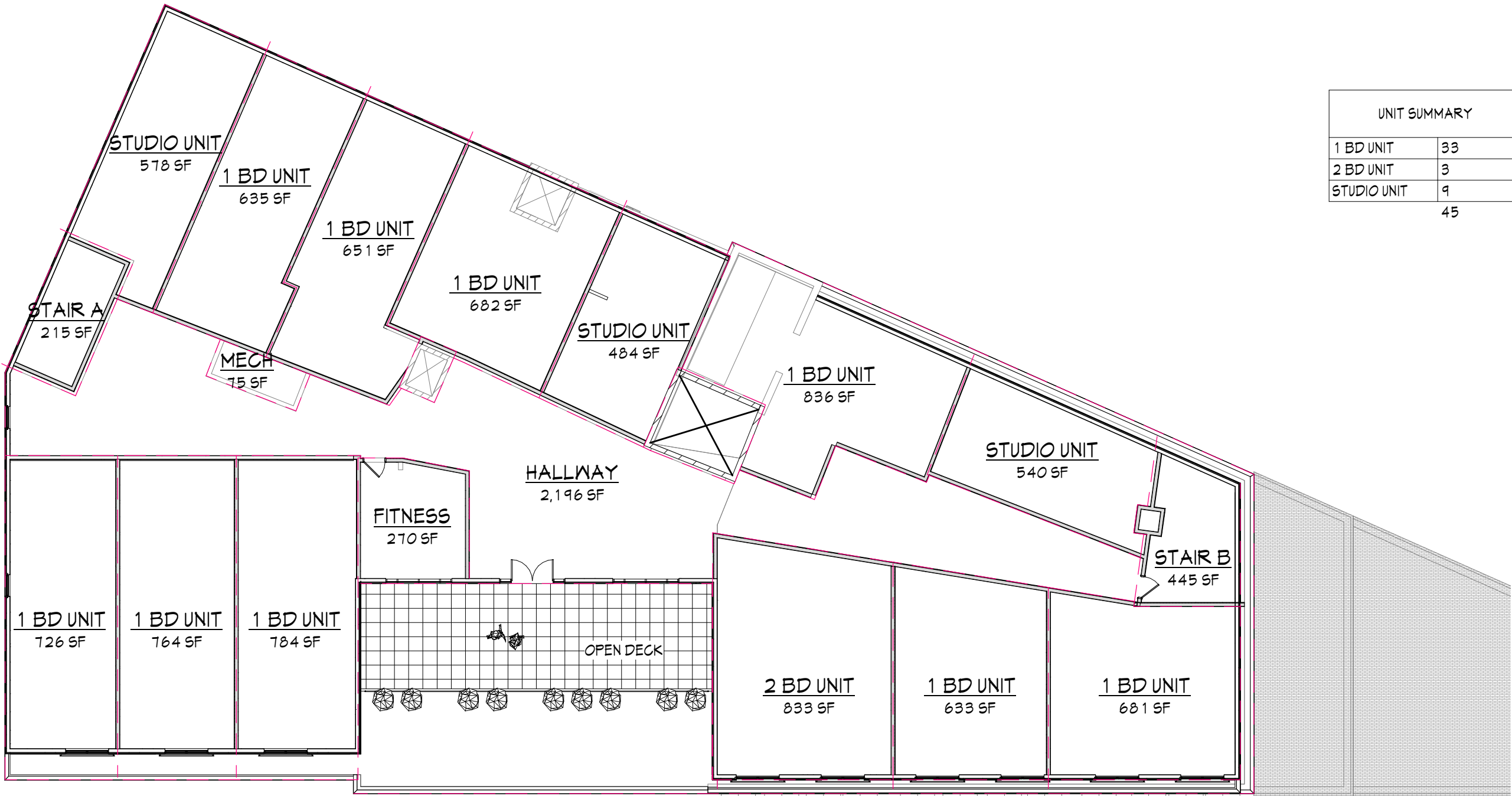
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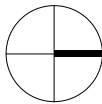
UNIT SUMMARY	
1 BD UNIT	33
2 BD UNIT	3
STUDIO UNIT	9
	45



SCHEMATIC

DATE: 09/10/2021
PROJECT #: 21142

preliminary 4th floor plan 1/16" = 1'-0"



DEVELOPMENT SUMMARY				
LEVEL	1	2	3	4
STUDIO	-	3	3	3
1-BR	-	12	12	9
2-BR	-	1	1	1
TOTAL	-	16	16	13

PRELIMINARY
FLOOR PLAN

SD-104

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Downtown | Flats Design Review Case



March 4, 2022

DF2022-011 – Jacobs Pavilion Renovation: Seeking Final Approval

Project Address: 2000 Sycamore Street

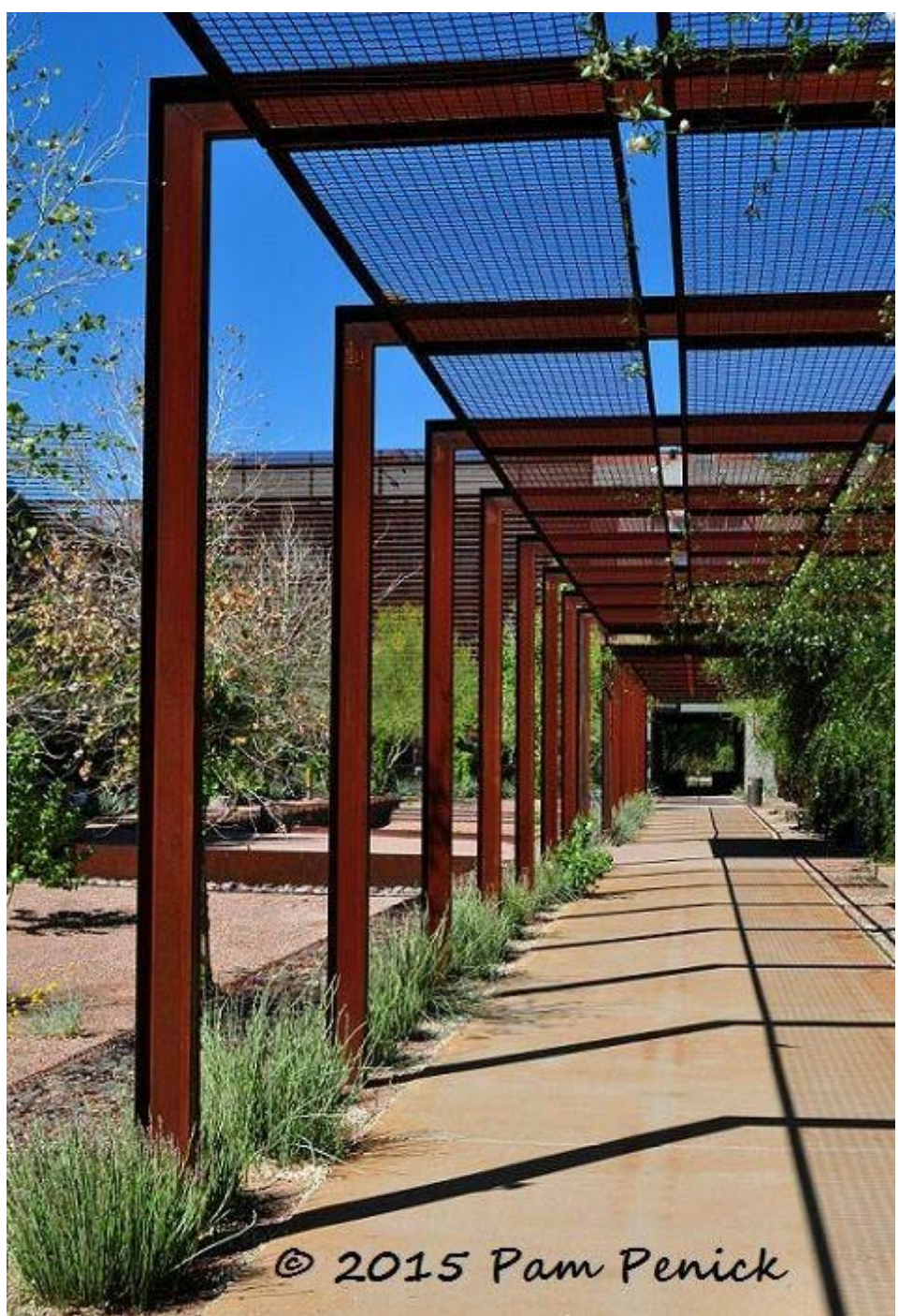
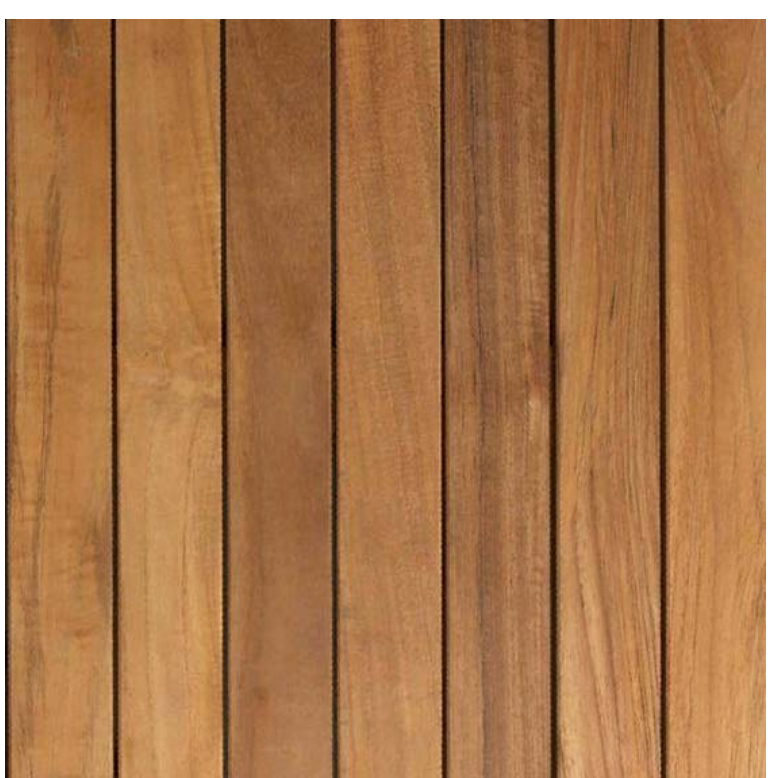
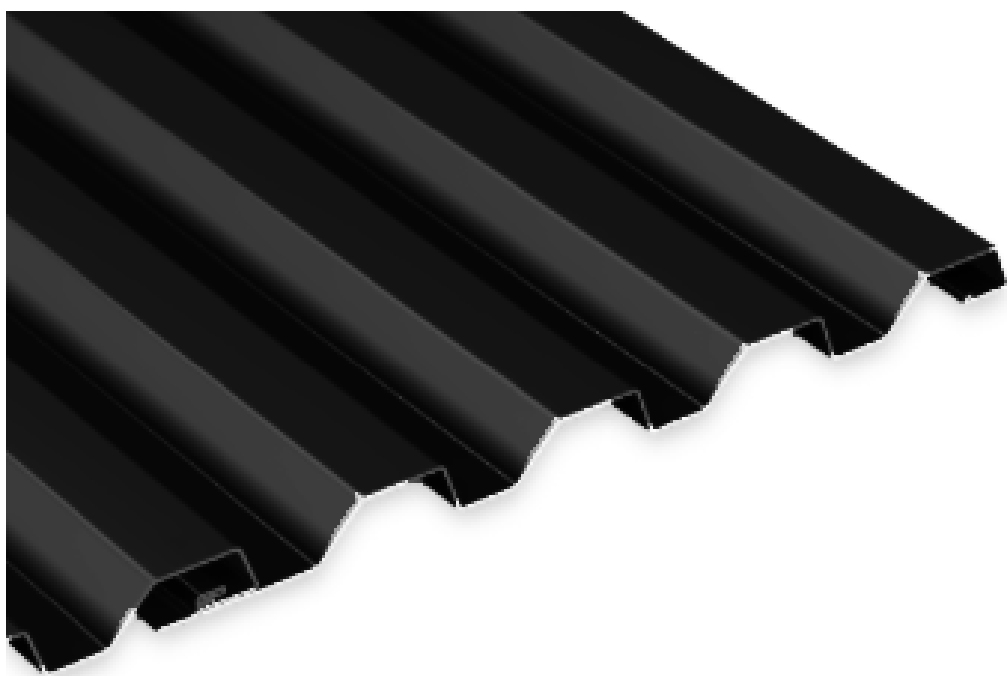
Project Representative: Jesse Sweigart, LDA Architects



LDA
LDA architects

★ AEG
PRESENTS

RENOVATION AT JACOBS PAVILION
02.24.2022
EXTERIOR DESIGN



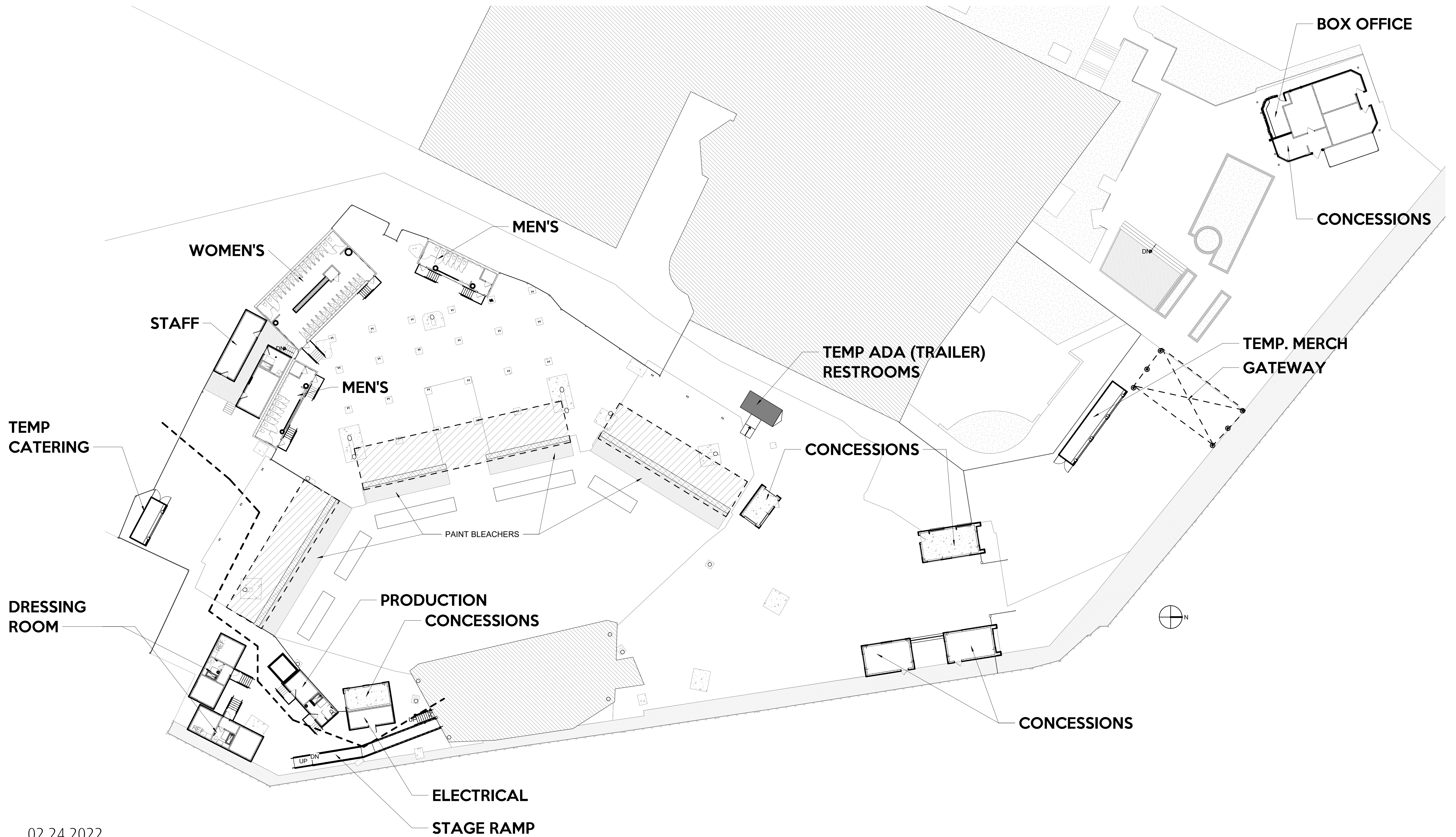
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INSPIRATION

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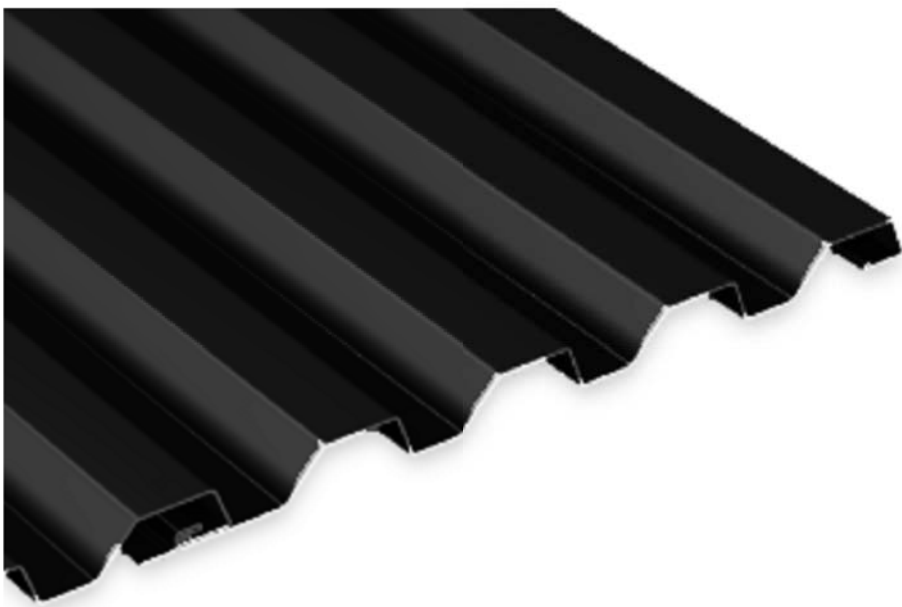
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SITE PLAN

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PAC-CLAD
MATTE BLACK STEEL
EXTERIOR WALLS



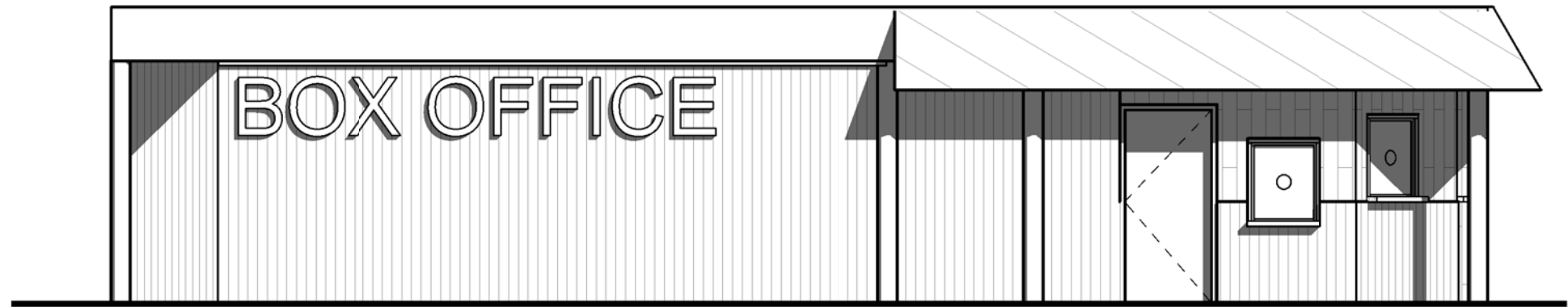
WOOD WITH SHERWIN WILLIAMS BAJA BEIGE
STAINED FINISH
EXTERIOR ACCENT



SHERWIN WILLIAMS
AQUARIUM SW6767
DOORS



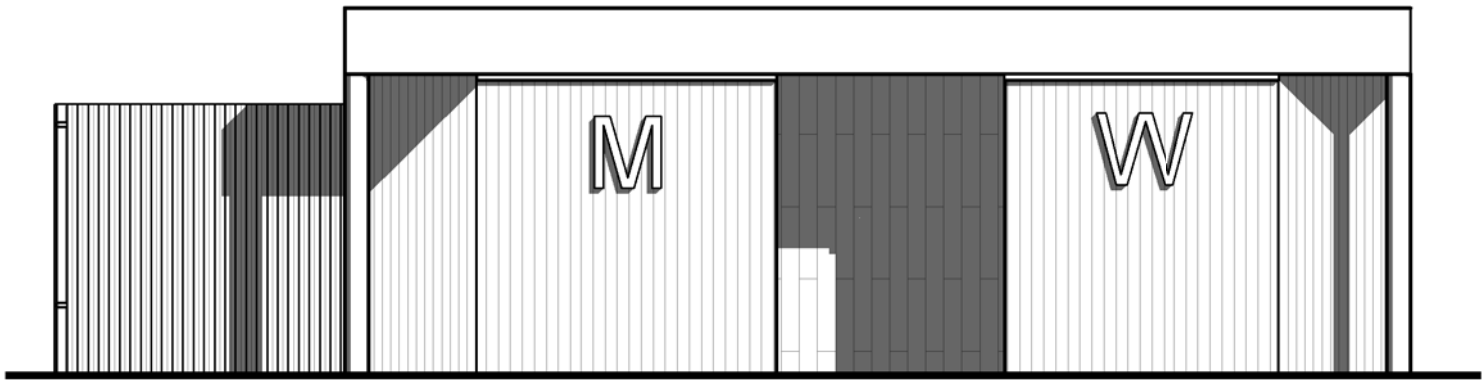
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BLACK MAGIC SW6991
COILING DOORS



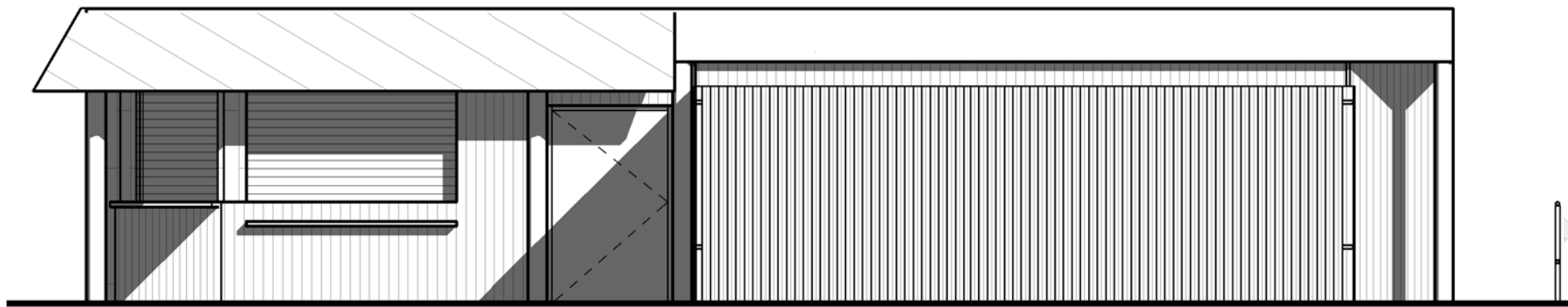
BOX OFFICE WEST ELEVATION



BOX OFFICE SOUTH ELEVATION



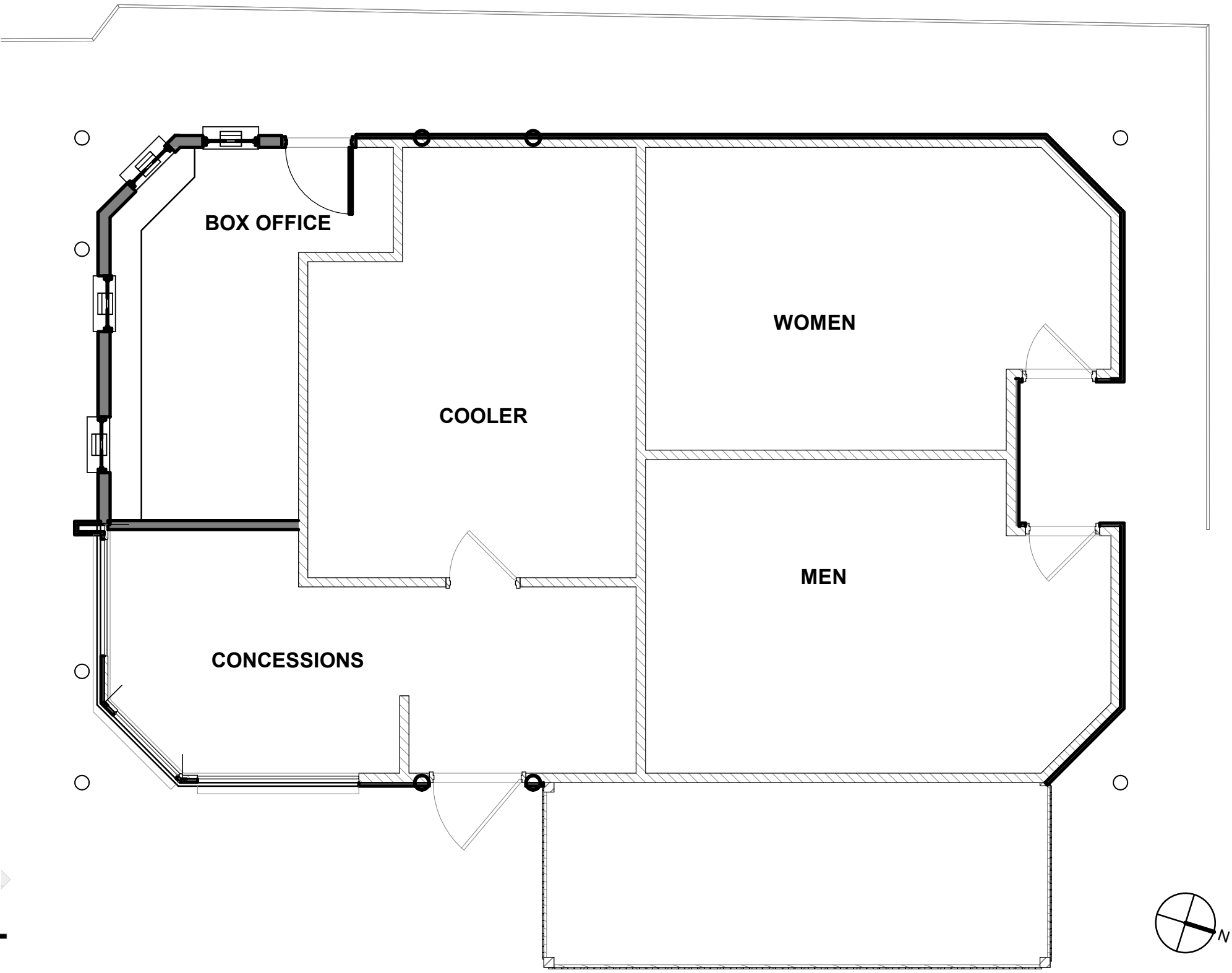
BOX OFFICE NORTH ELEVATION



BOX OFFICE EAST ELEVATION



EXISTING CONDITIONS



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BOX OFFICE PLAN



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BOX OFFICE RENDERING

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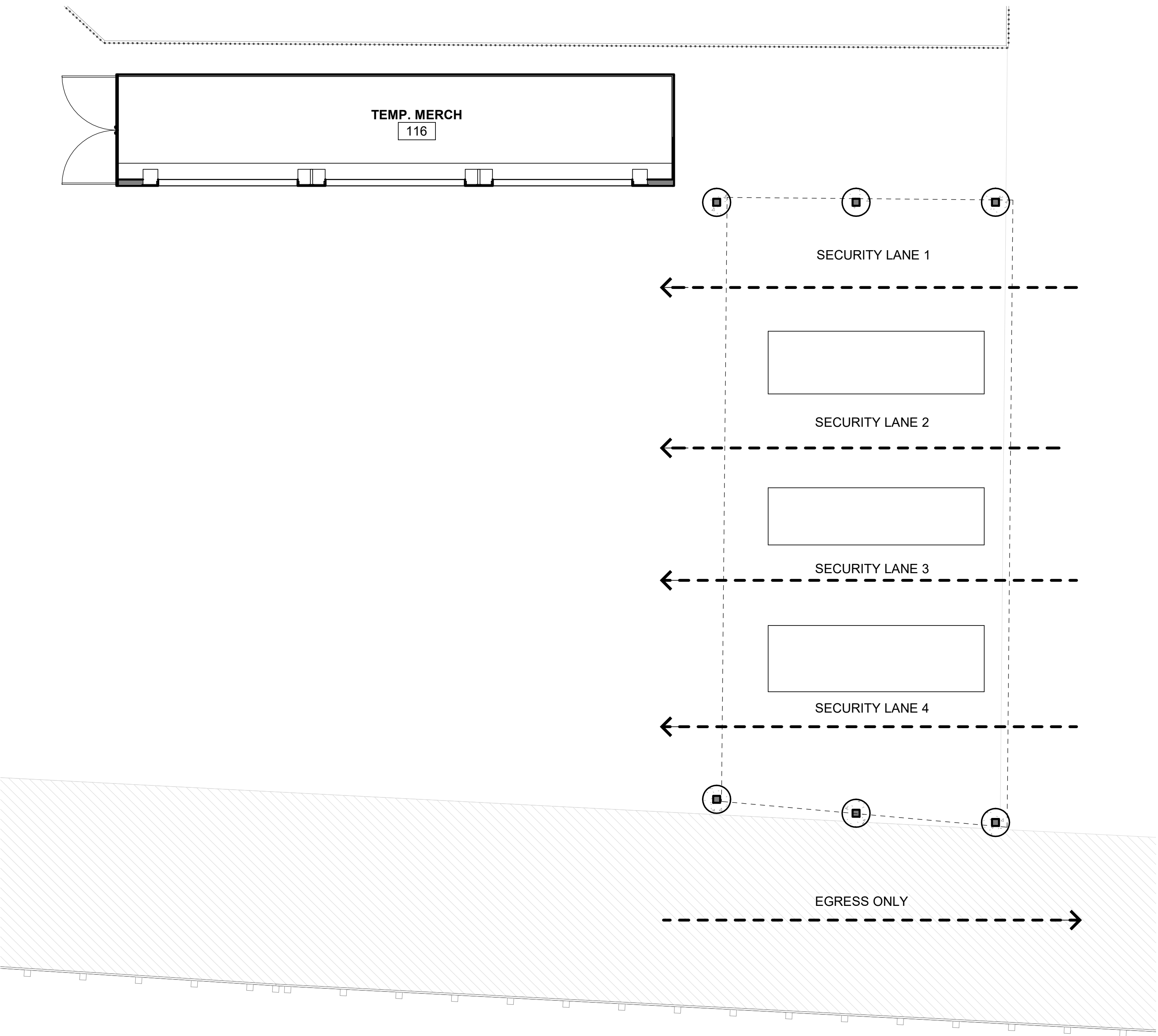
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2000 SYCAMORE ST, CLEVELAND
AEG PRESENTS

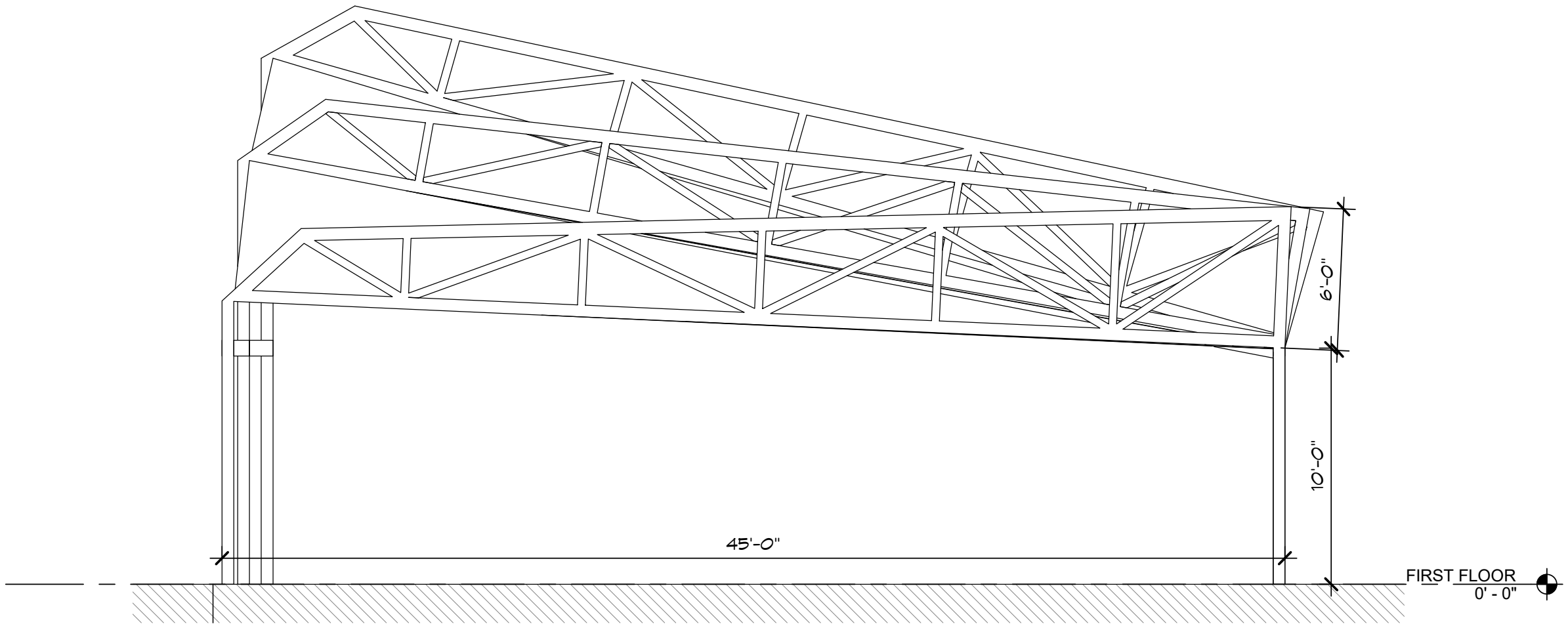
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SHERWIN WILLIAMS
BREVITY SW6068
GATEWAY



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SECURITY GATE PLAN

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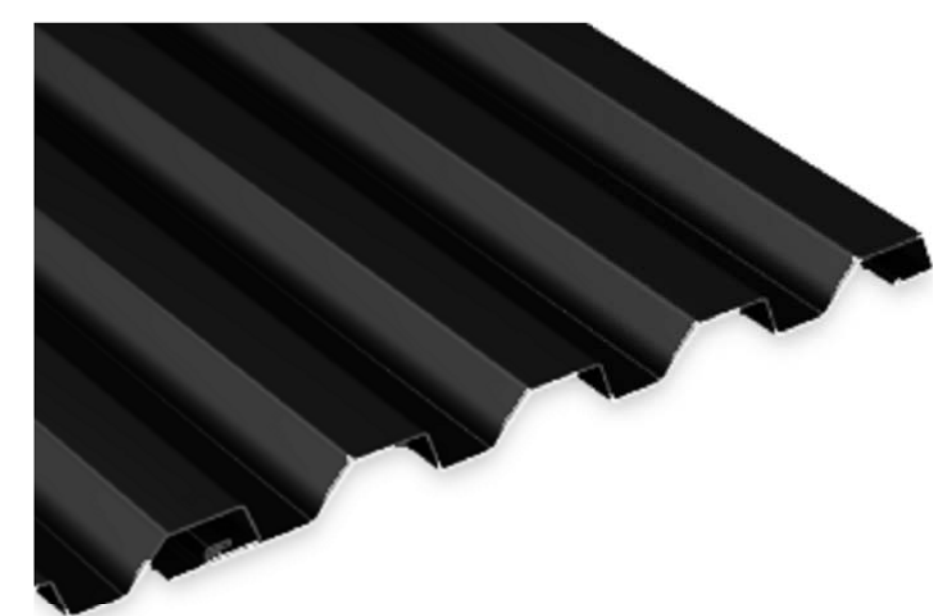
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SECURITY GATE RENDERING

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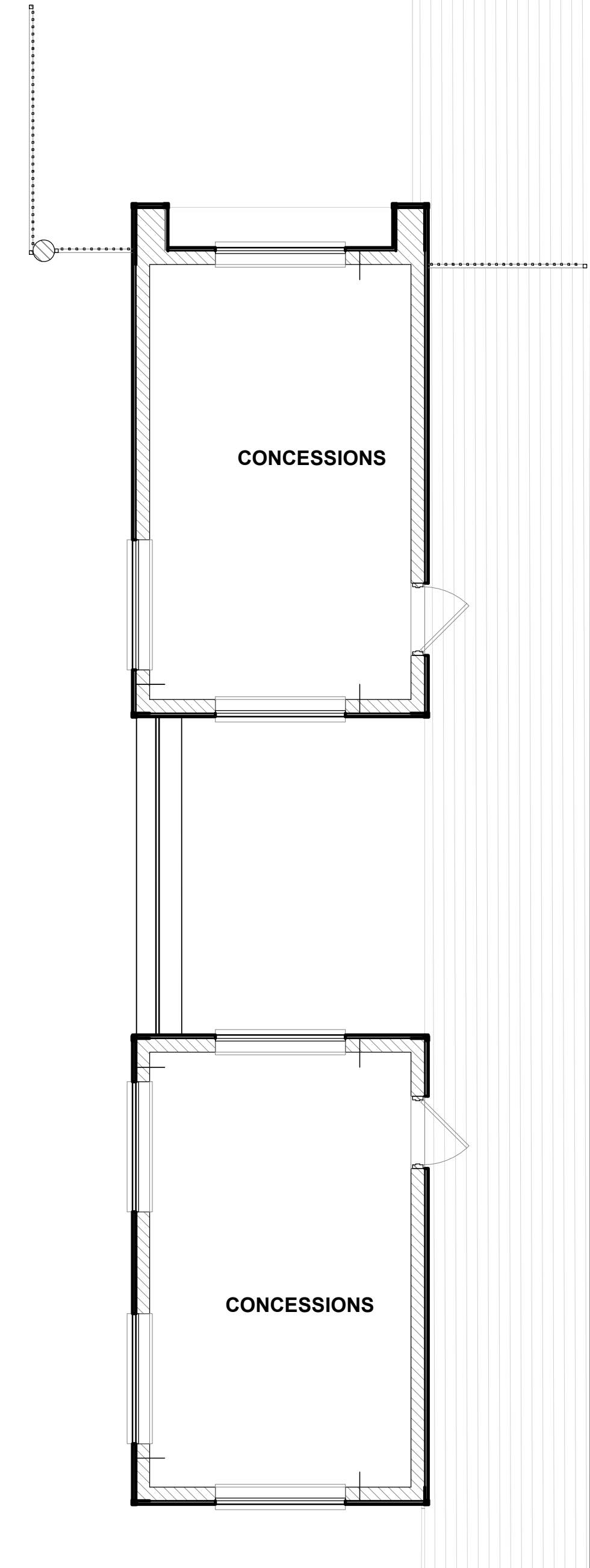
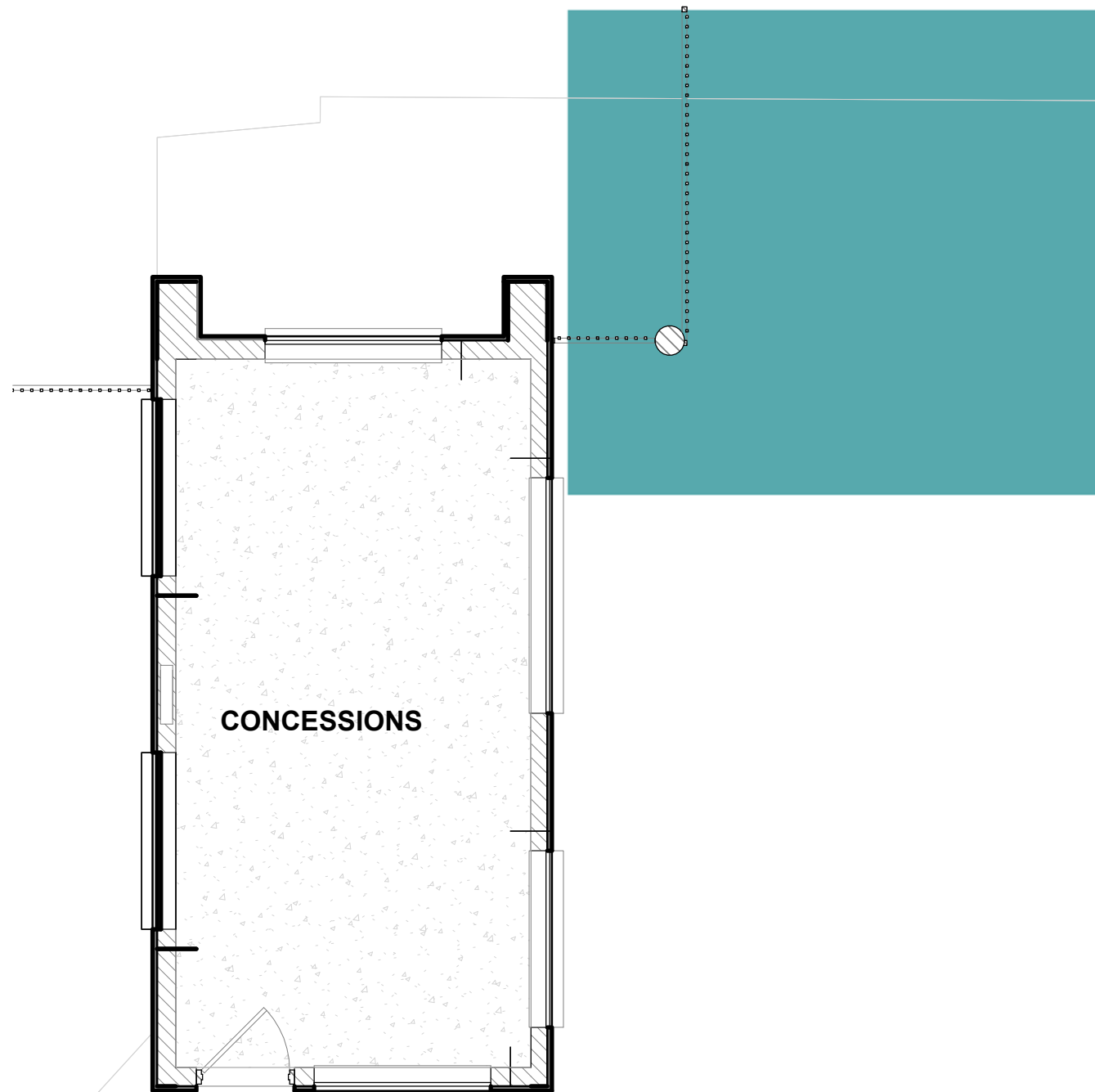
PAC-CLAD
MATTE BLACK STEEL
EXTERIOR WALLS

WOOD WITH SHERWIN WILLIAMS
BAJA BEIGE STAINED FINISH
EXTERIOR ACCENT



SHERWIN WILLIAMS
BLACK MAGIC SW6991
COILING DOORS

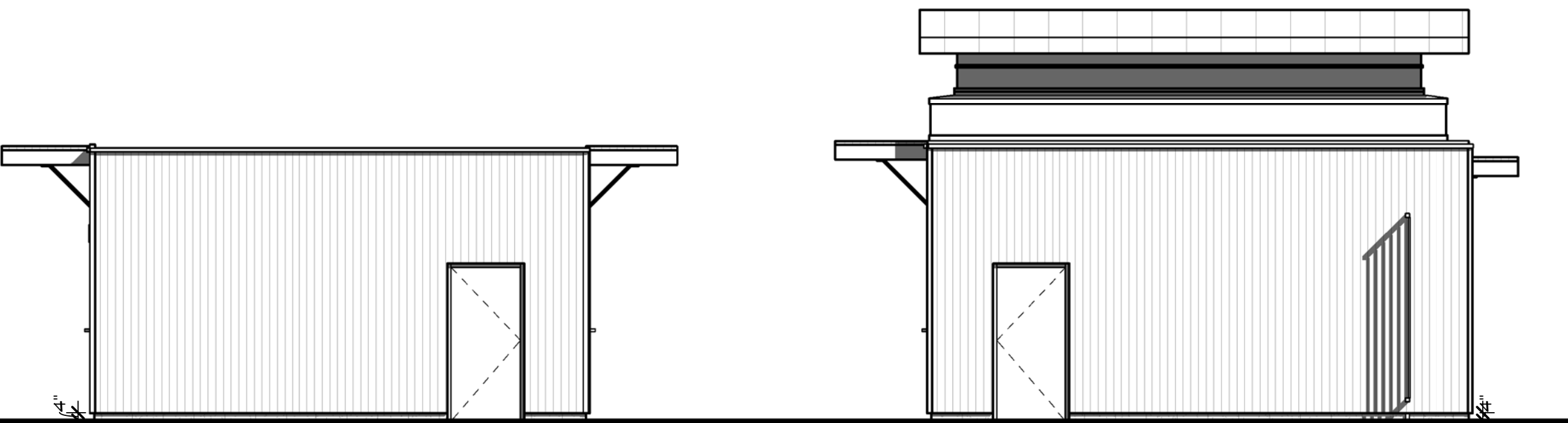
SHERWIN WILLIAMS
AQUARIUM SW6767
DOORS



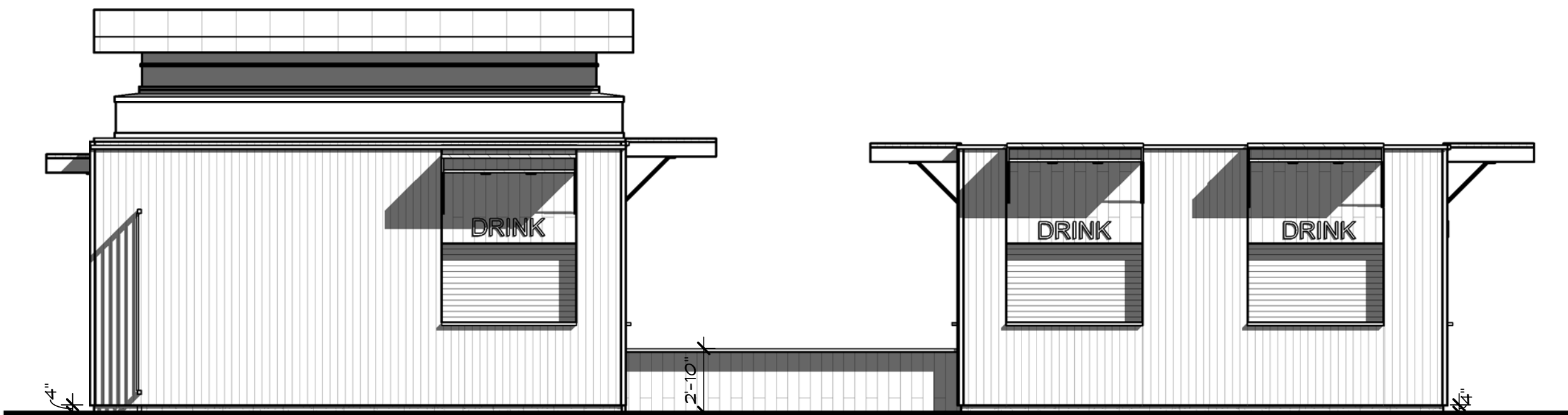
CONCESSION 103 EAST ELEVATION



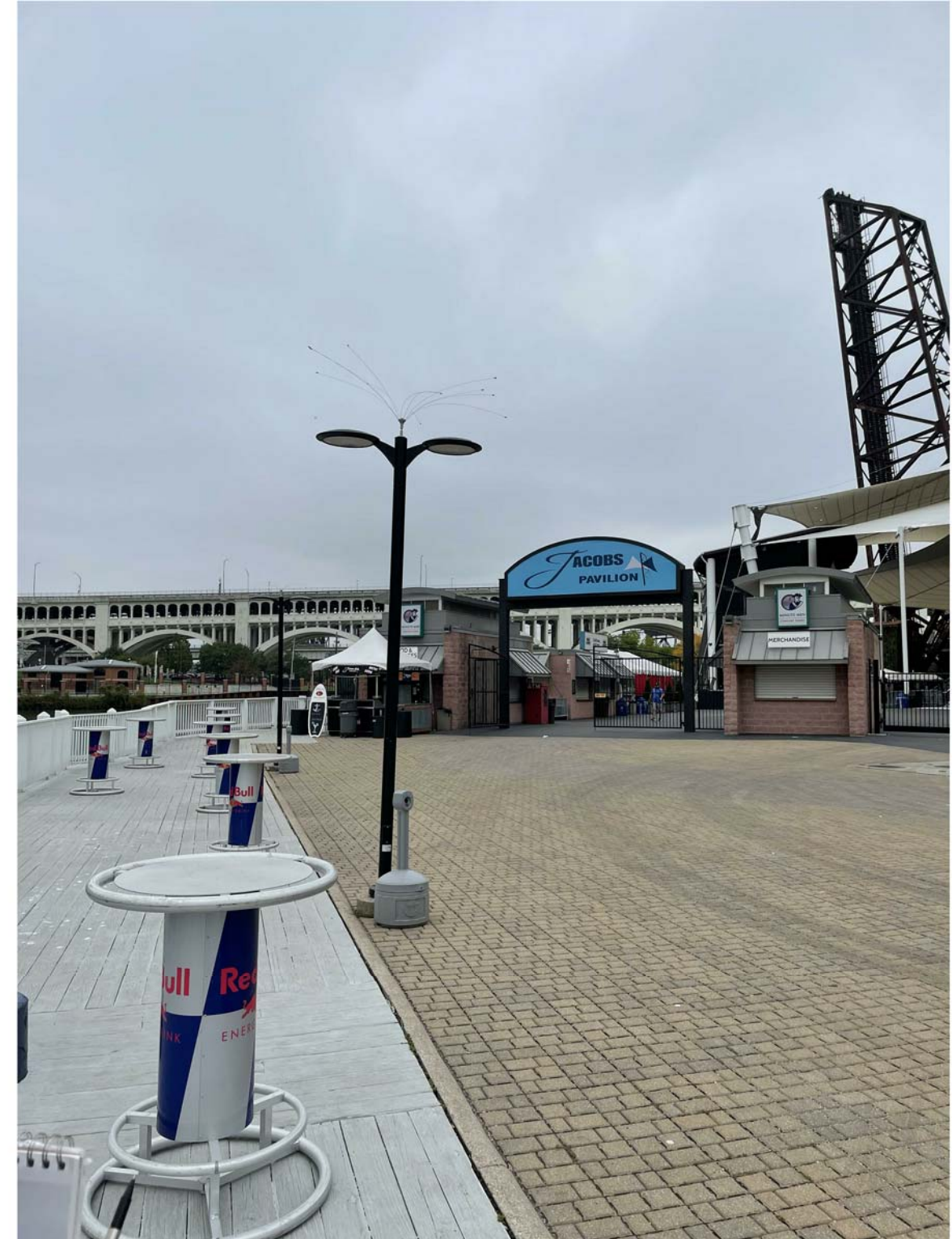
CONCESSION 103 WEST ELEVATION



CONCESSION 104/105 EAST ELEVATION



CONCESSION 104/105 WEST ELEVATION



EXISTING CONDITIONS

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CONCESSION PLAN

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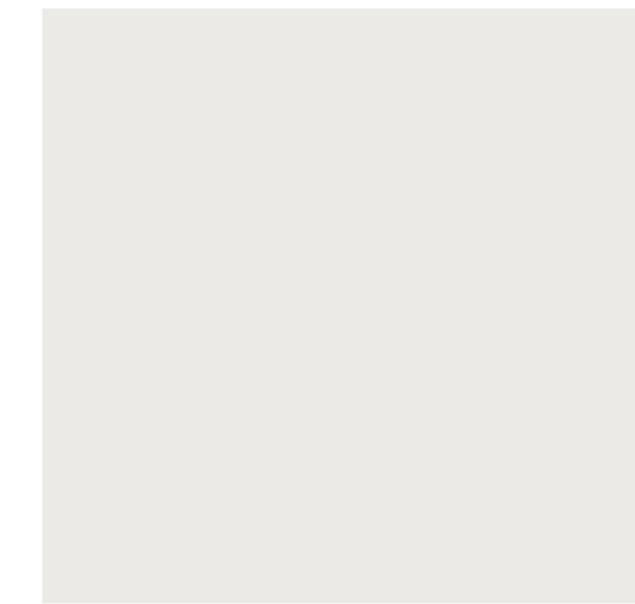
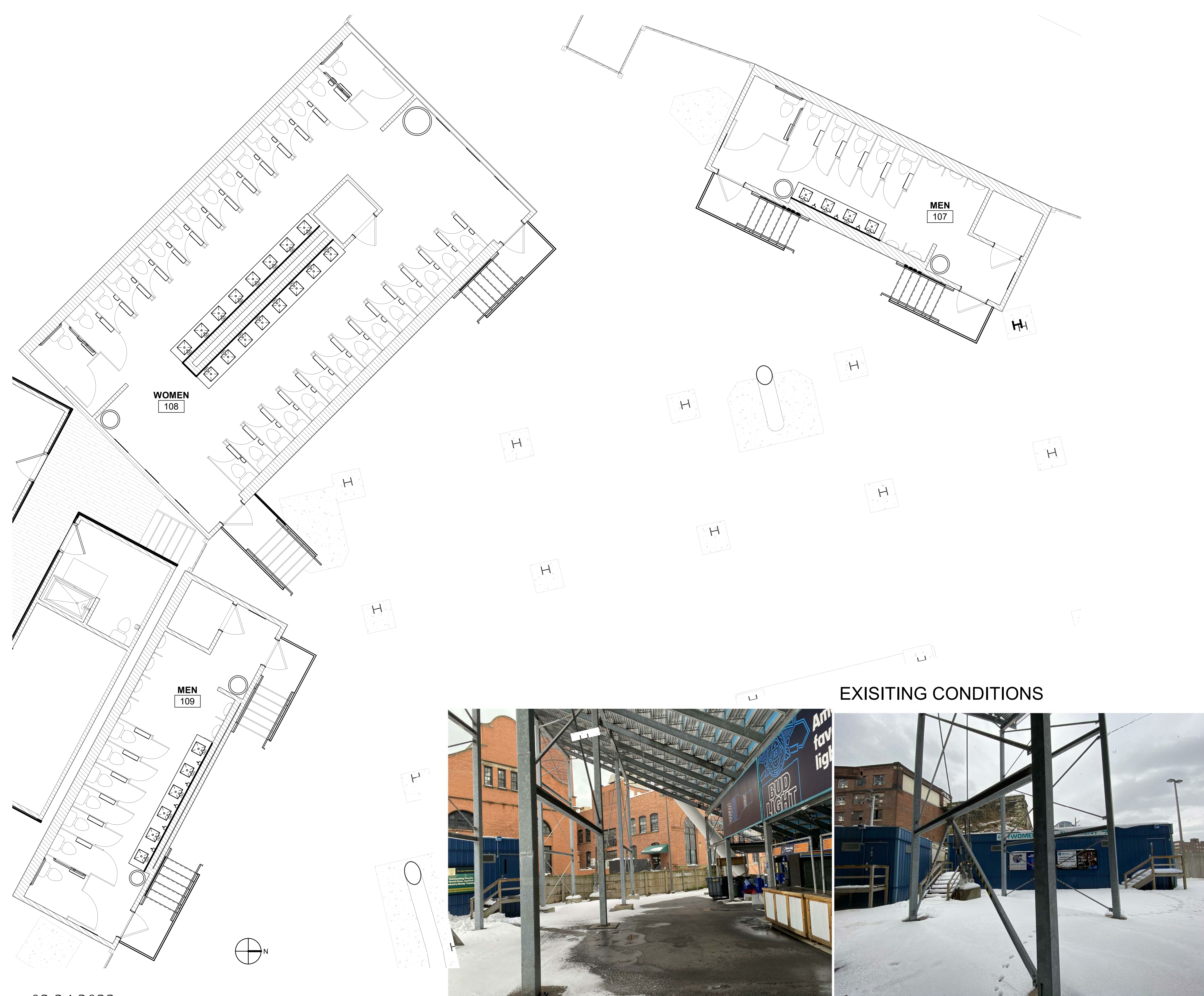




SHERWIN WILLIAMS
AQUARIUM SW6767
DOORS

REPAINT BLEACHERS

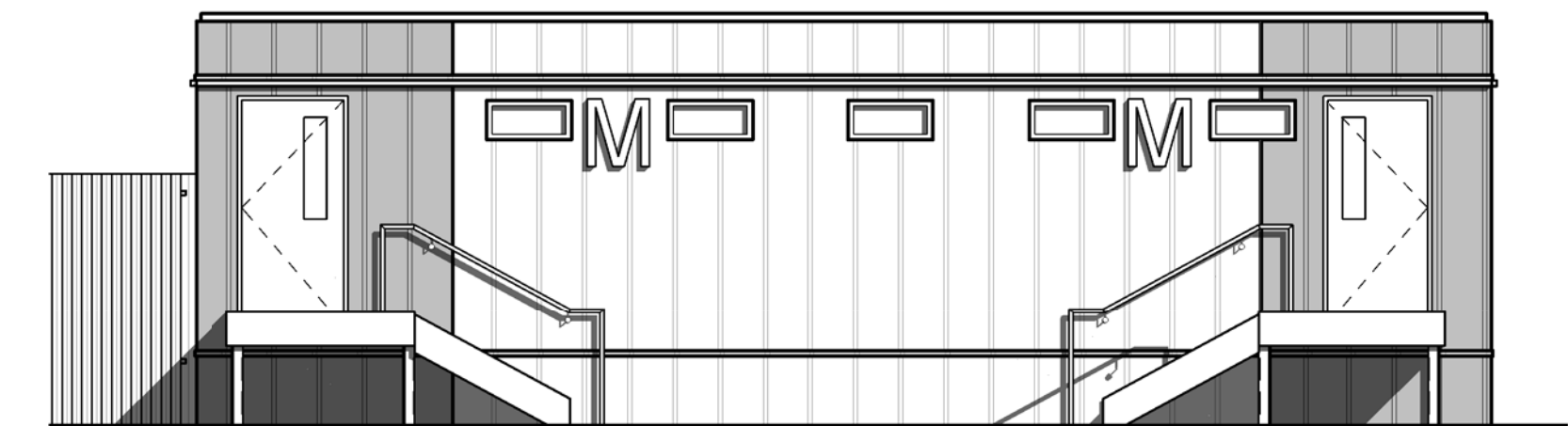




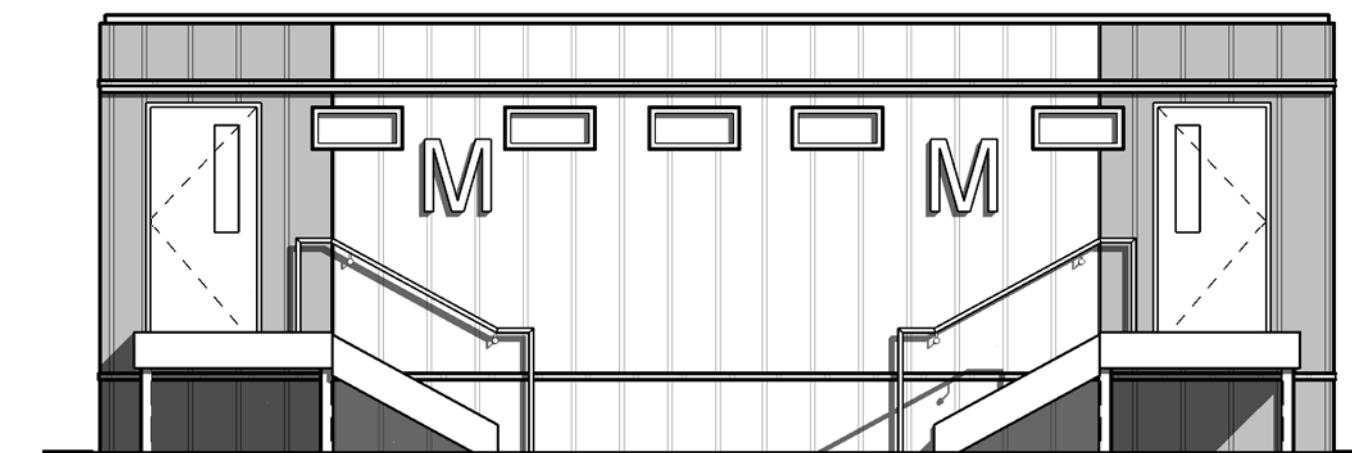
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SNOWBOUND SW7004
EXTERIOR WALLS



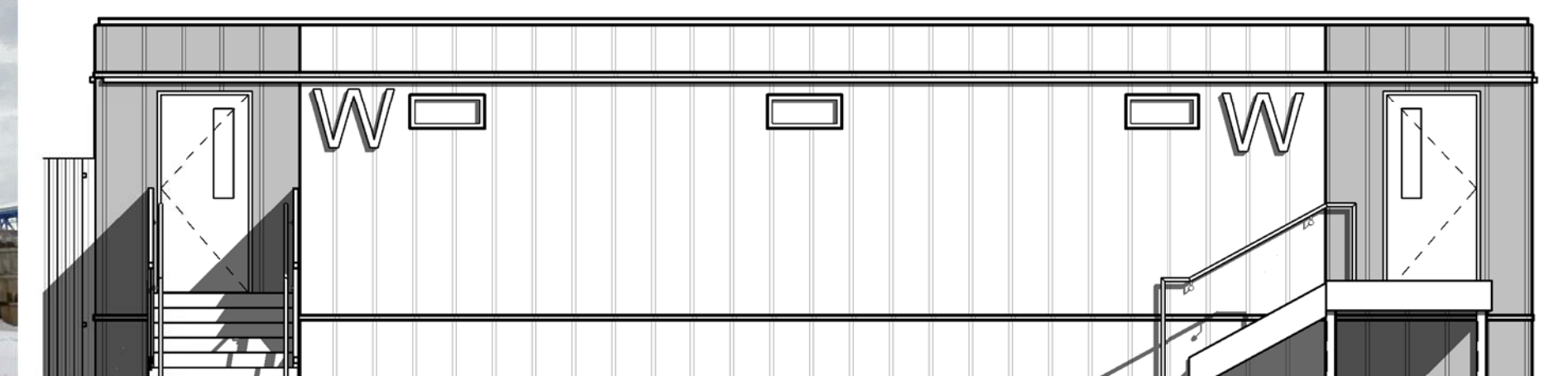
SHERWIN WILLIAMS
BEE SW6683
EXTERIOR ACCENT WALL



MEN'S 109 EAST ELEVATION



MEN'S 107 SOUTH ELEVATION



WOMEN'S EAST ELEVATION

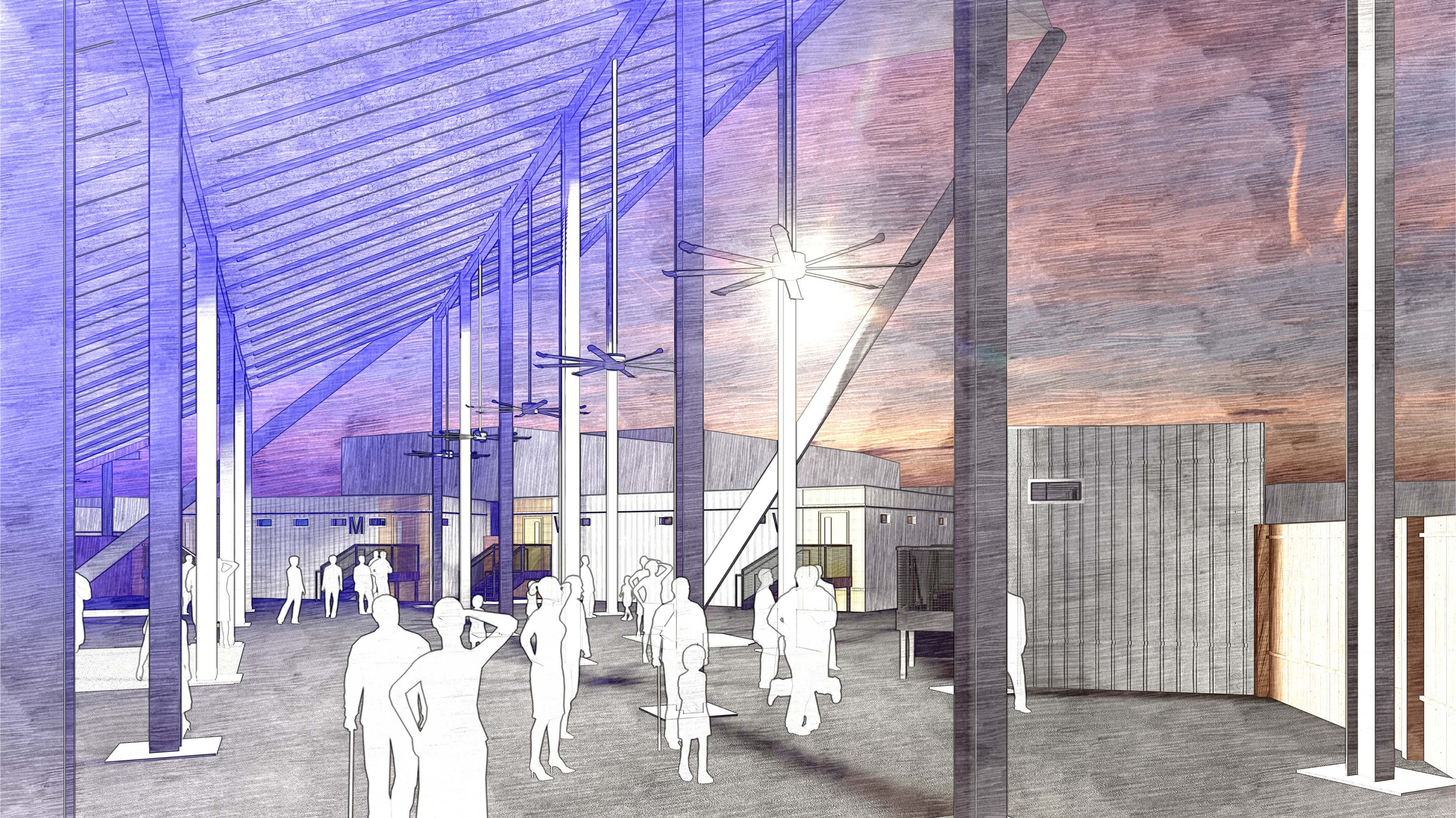
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RESTROOMS PLAN

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BLEACHER RENDERINGS

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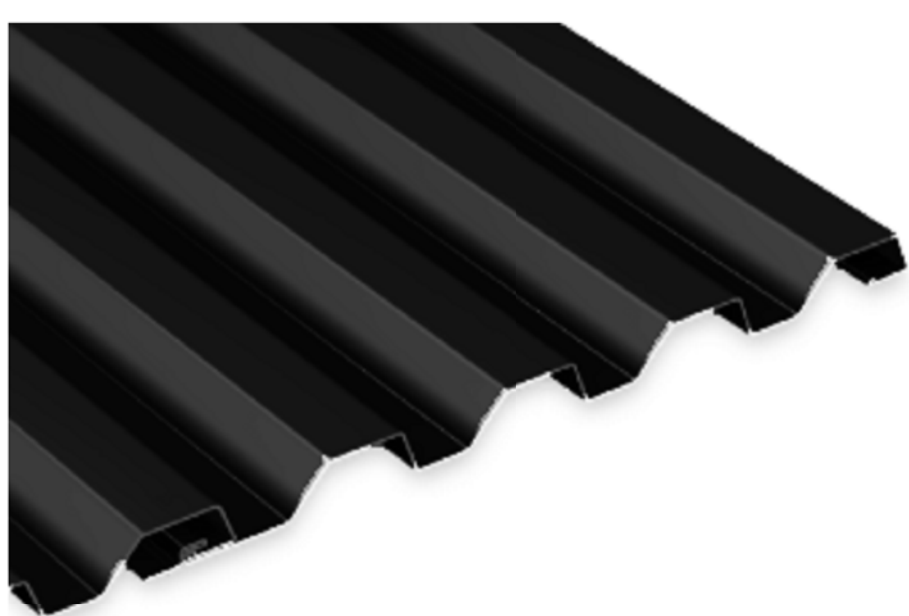
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RESTROOM RENDERING

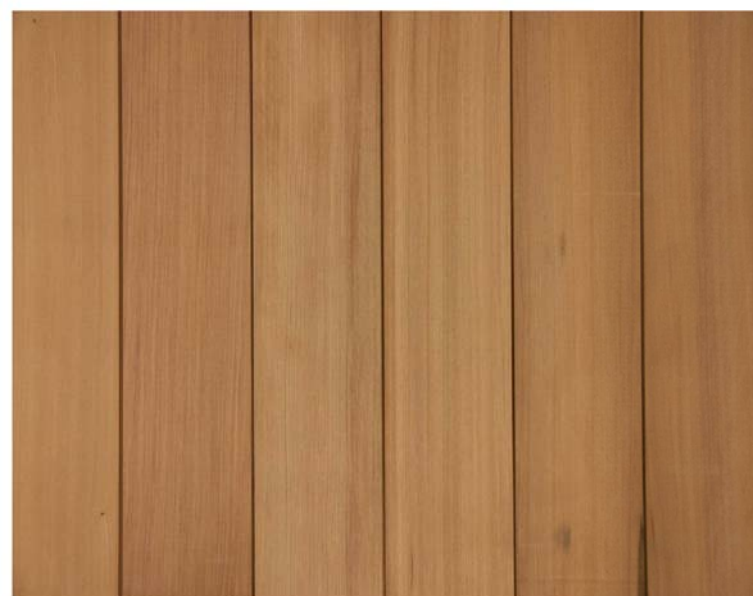
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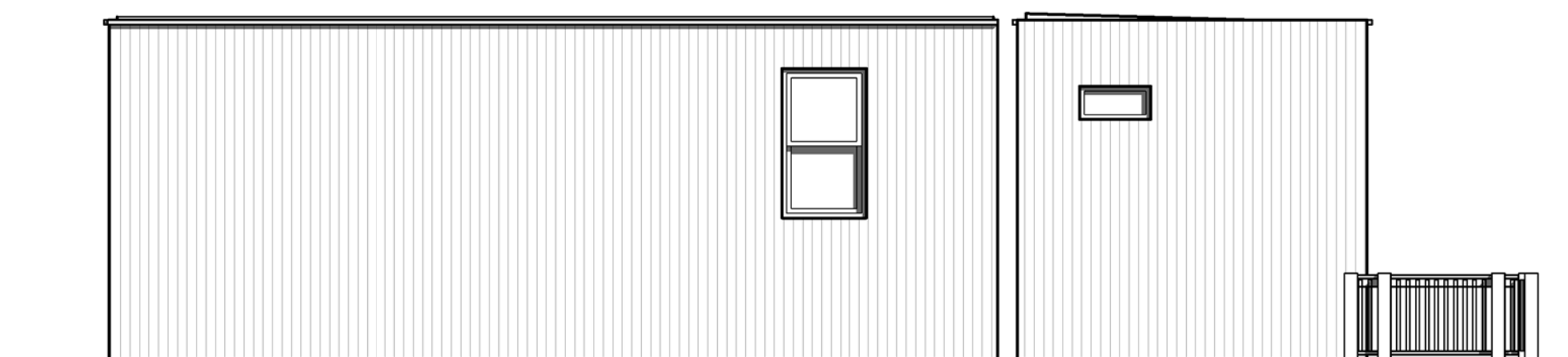
PAC-CLAD
MATTE BLACK STEEL
EXTERIOR WALLS



WOOD WITH SHERWIN WILLIAMS
BAJA BEIGE STAINED FINISH
EXTERIOR DOORS



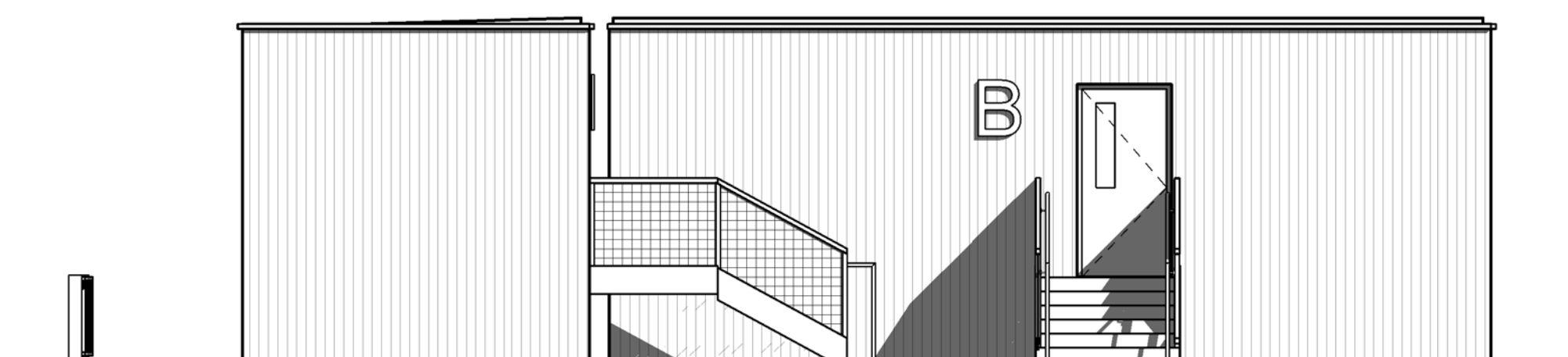
EXISTING CONDITIONS



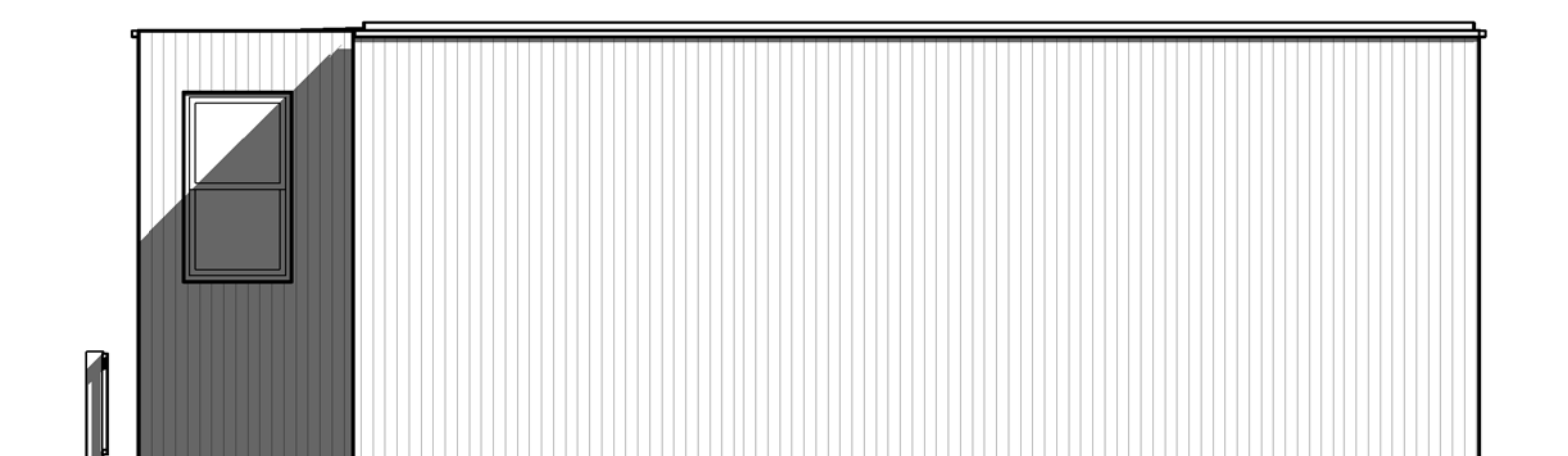
DRESSING ROOMS SOUTH ELEVATION



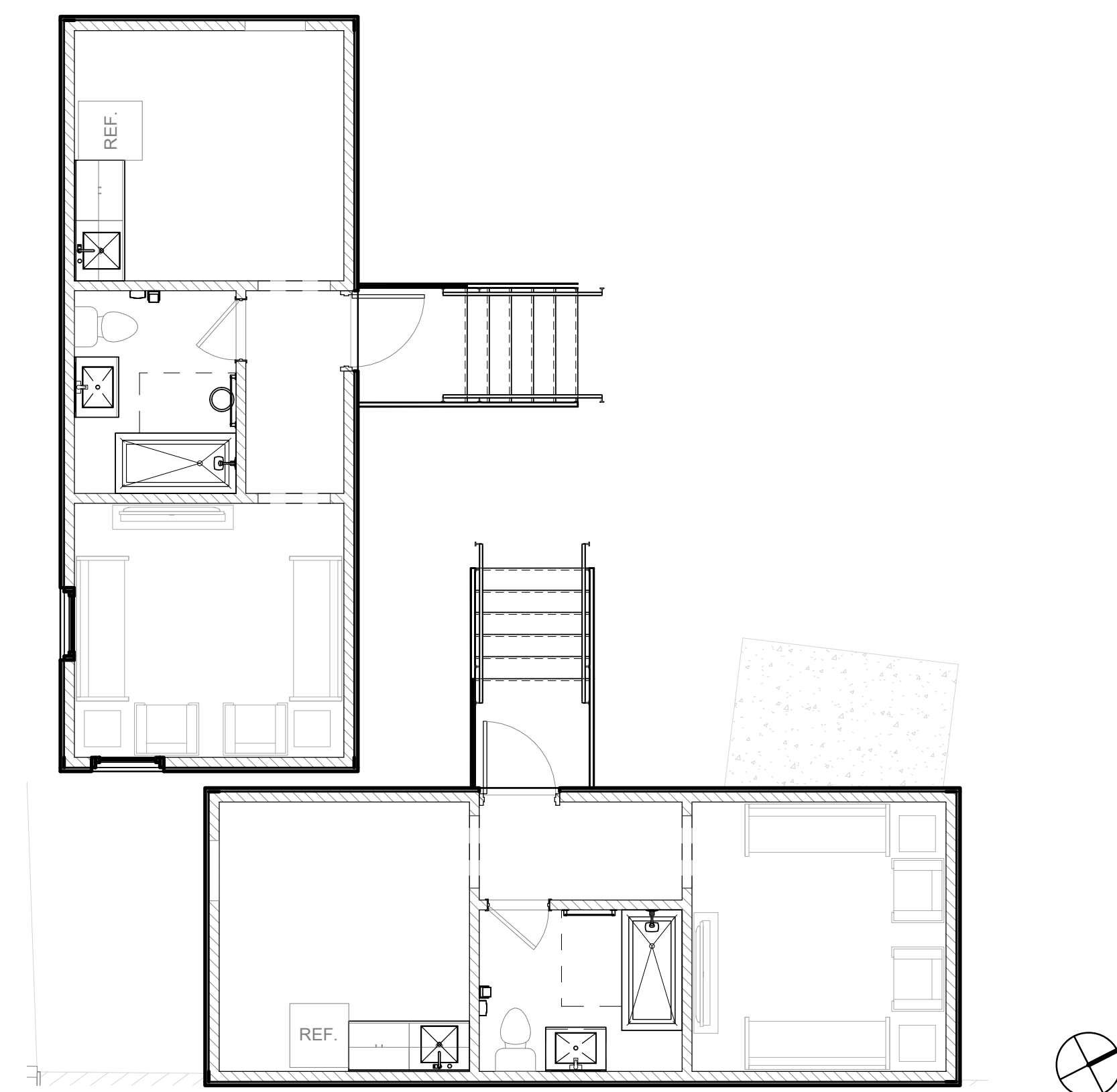
DRESSING ROOMS WEST ELEVATION



DRESSING ROOMS NORTH ELEVATION



DRESSING ROOMS EAST ELEVATION



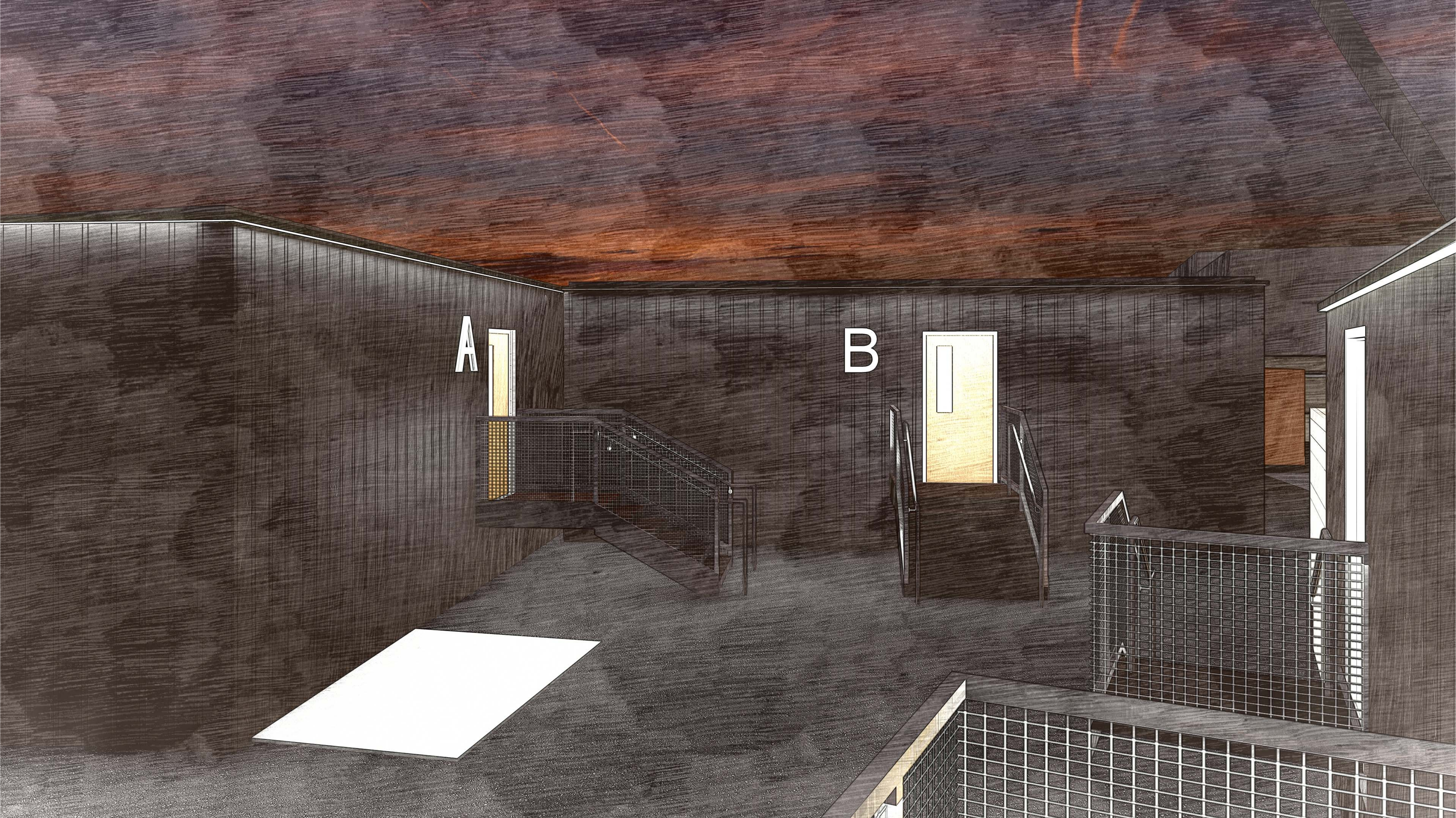
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DRESSING ROOM AREA PLAN

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DRESSING ROOM RENDERINGS

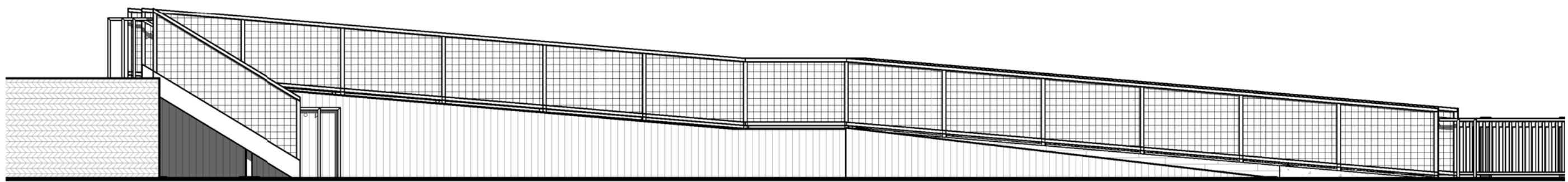
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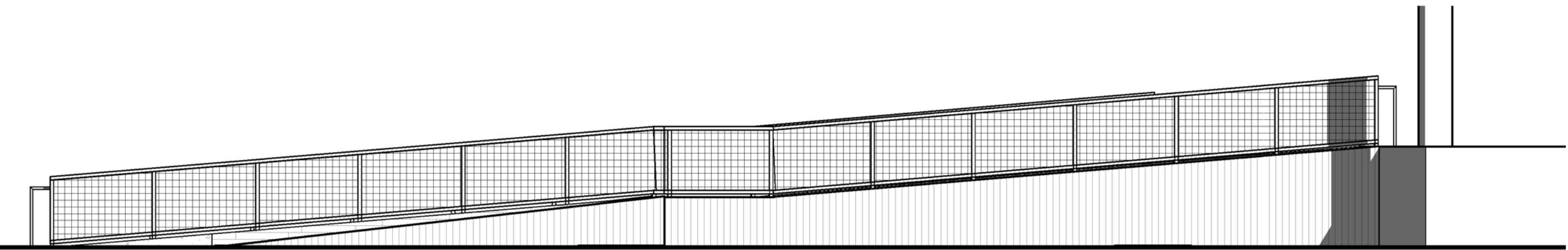




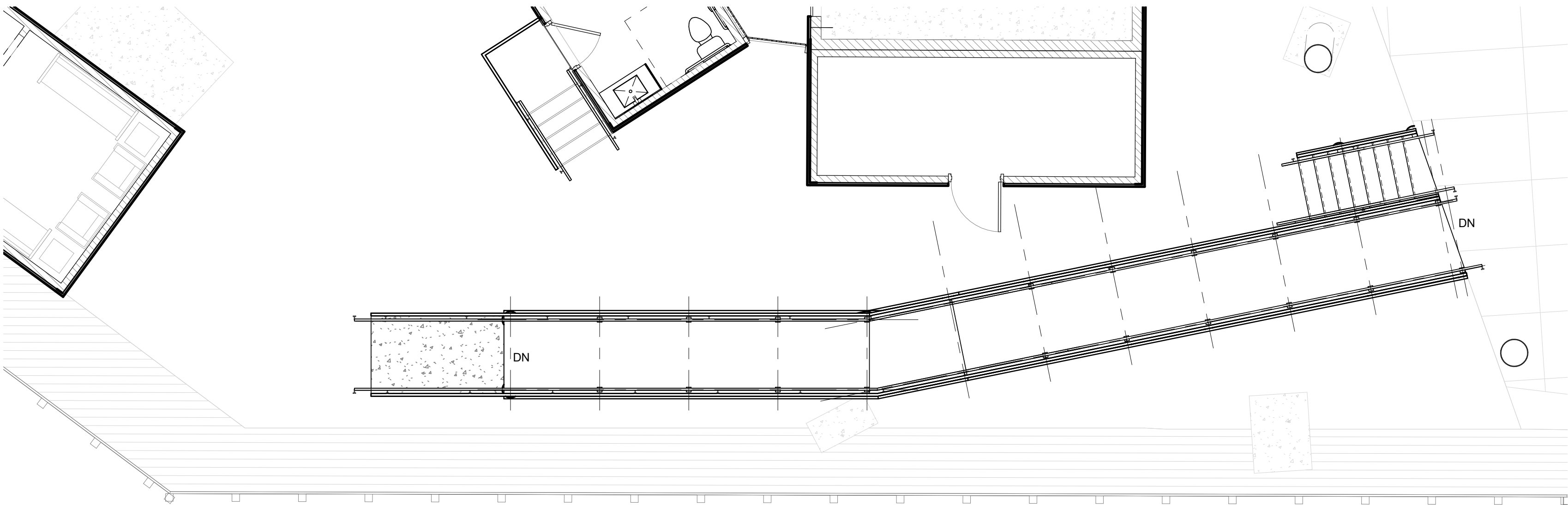
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STAGE RAMP WEST ELEVATION



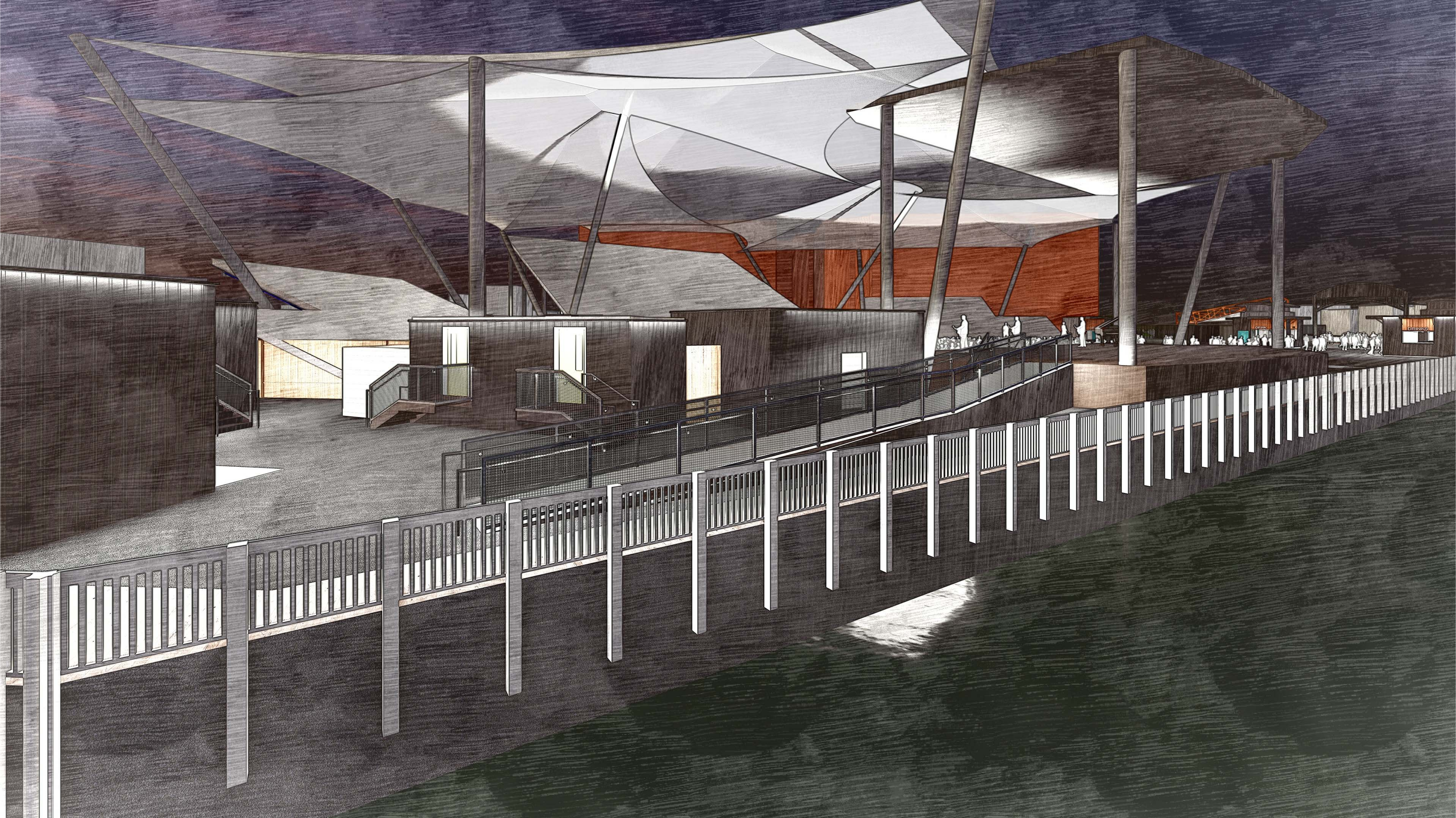
STAGE RAMP EAST ELEVATION



RAMP PLAN

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RAMP RENDERING

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Cleveland City Planning Commission

Special Presentations



March 4, 2022



EC2022-006 – AsiaTown RTA Bus Shelter: Seeking Final Approval

Address: 3834 Payne Avenue

Presenter: Karis Tzeng, MIdTown Cleveland

AsiaTown Public Art: Payne Avenue RTA Bus Shelter

MidTown Cleveland, Inc.

Euclid Corridor Design Review & City Planning Commission

March 3-4, 2022

Alignment with Neighborhood Vision Plan




IMAGINE ASIATOWN AS A HOME FOR THE AAPI COMMUNITY

Beautify AsiaTown so That the Area Reflects Authentic Asian Cultures

All physical elements in public spaces are an opportunity to activate and beautify an area. In AsiaTown, everyday physical elements that make up the streetscape - crosswalk paint, landscape buffers, fencing, lighting, landscaping, and even pavement treatments - are a canvas on which to celebrate authentic Asian cultures in the area.

6B



UPGRADE PAYNE AVE TO ANCHOR ASIATOWN

Action
Tame Payne Avenue

Residents identified lack of quality public space, frequent speeding along the corridor and dangerous crossings as issues with Payne Avenue today. This critical commercial corridor can be redesigned to create a safer, people-oriented environment that supports local businesses and facilitates the types of outdoor events and activity desired by area residents.

NEAR-TERM ACTIONS




Pursue TLCI-like Streetscape Reconstruction of Payne and road diet with bike lanes.

Pursue all opportunities to add pedestrian enhancements, art, landscape, and unique aesthetic treatments to walkways, crossings, and intersections.

TYPE OF ACTION *Planning & Advocacy*

LOOKING FOR *City Support & Resident Ideas*

8A



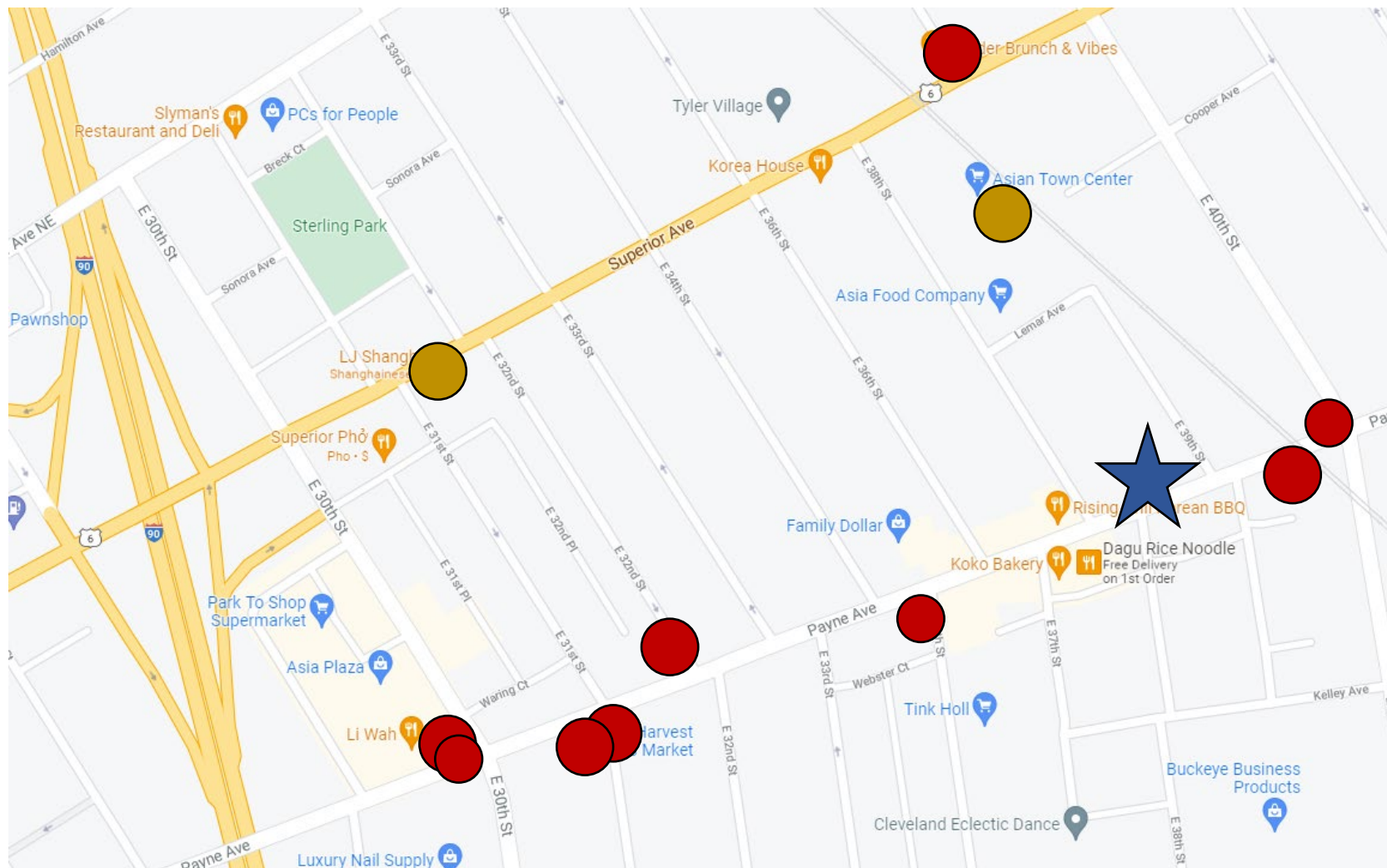
ELEVATE BLACK & ASIAN CREATIVE VOICES

Uplift Chinese and Other Asian Cultures in AsiaTown Through the Elevation of Asian & AAPI Artists in Public Art

Promote and preserve Asian culture in AsiaTown; connect the community to public art and promote a sense of belonging and identity through public art.

4C

Mural Location: 3834 Payne Ave



- Existing artwork
- Artwork planned
- ★ Proposed artwork





Facing north



Facing east



Facing south/west





Examples of similar artwork wraps – transparent heat-applied vinyl wrap

Mitzi Lai



Proposed base artwork





Cleveland City Planning Commission

Adjournment



March 4, 2022