



Cleveland City Planning Commission

Friday, January 7, 2022

**** PLEASE MUTE YOUR MICROPHONE ****

Lillian Kuri, Commission Chair

Michael Bosak, Administrator

Cleveland City Planning Commission

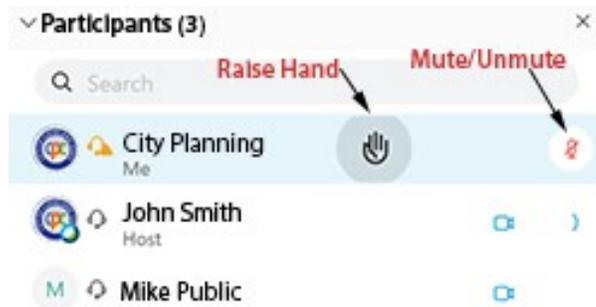
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

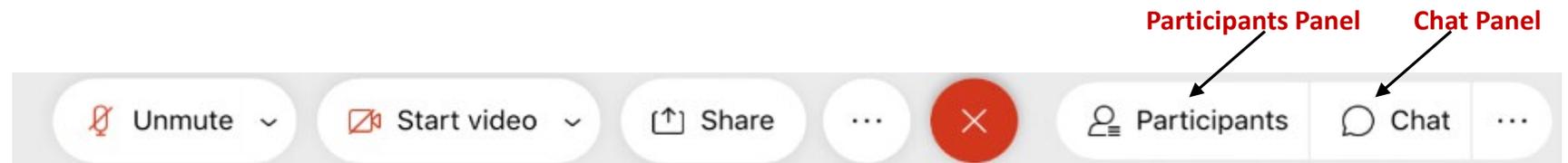
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



CALL-IN USERS CAN UNMUTE BY USING *6



January 7, 2022

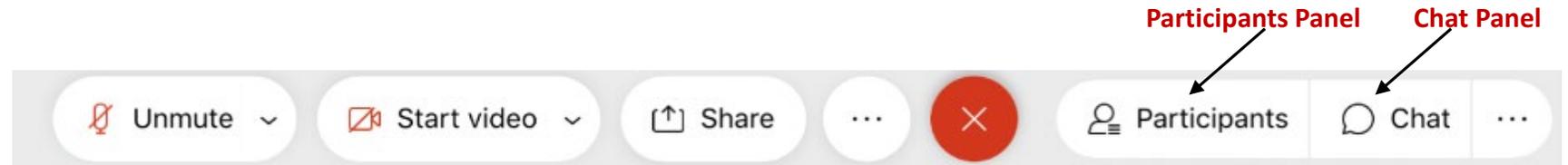
Cleveland City Planning Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



January 7, 2022

Cleveland City Planning Commission

Call to Order and Roll Call



January 7, 2022

Cleveland City Planning Commission

Nomination of Interim Planning Director



January 7, 2022

Cleveland City Planning Commission

Administrative Approvals



January 7, 2022

Administrative Approvals

January 7, 2022



Ordinance No. 1147-2021(Ward 3/Councilmember McCormack): Authorizing the Director of Capital Projects to issue a permit to CCA CBD Cleveland, LLC, 328 S. Jefferson Street, Suite 570, Chicago, IL 60661 to encroach into the public right-of-way of Euclid Avenue by installing and using approximately twelve (12) micropiles as necessary subsurface support for the foundation for the tower crane to be used in the construction of the City Club Apartments project at 776 Euclid Avenue, Cleveland, Ohio 44114.

Cleveland City Planning Commission

New Townhouse Development In a 2-Family District



January 7, 2022

Townhouse Development in a 2-Family District

January 7, 2022



For PPN# 002-27-033

Address: 5908 Lawn Avenue

Presenters: Adam Hirsh, Architect

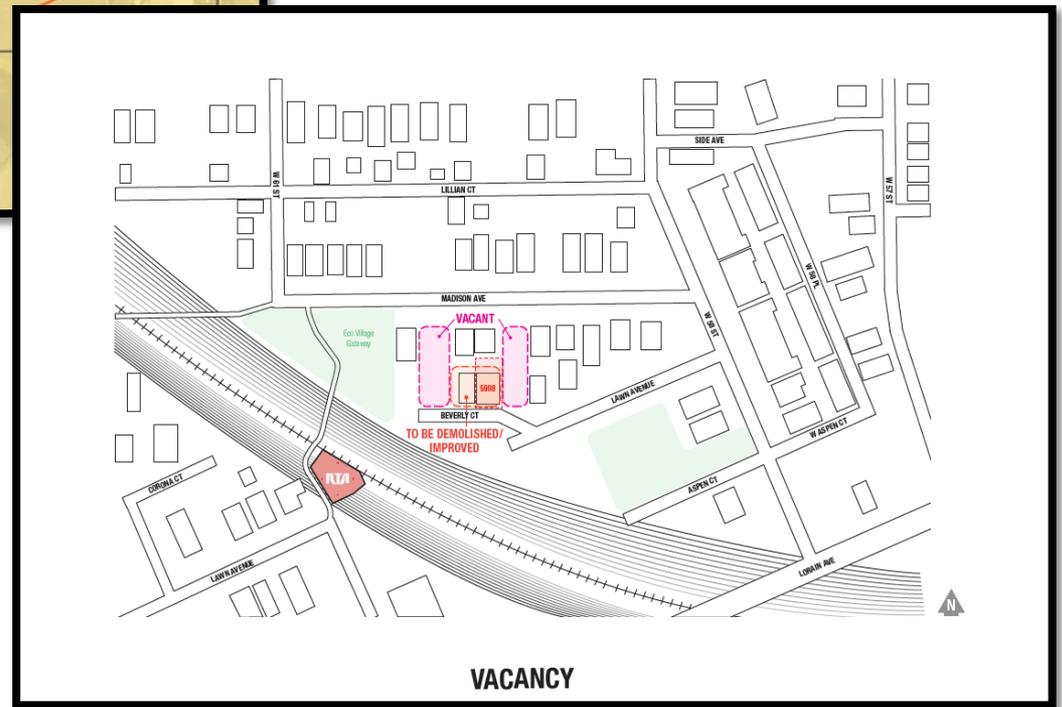
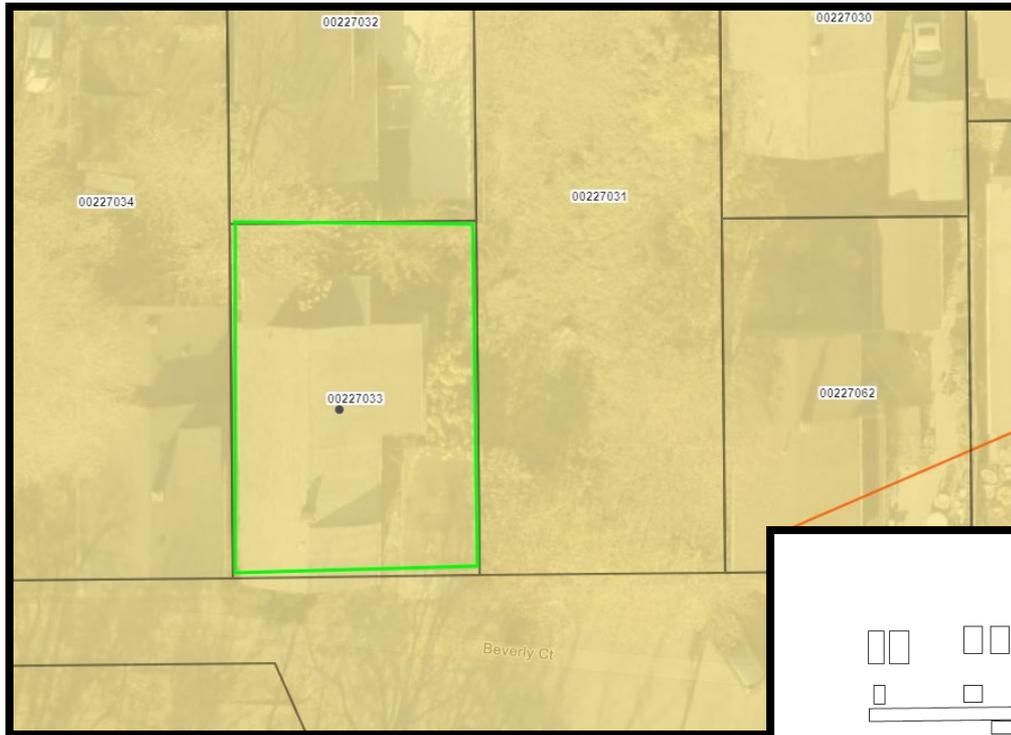
Yassin Ghanem, Developer

5908 Lawn Avenue

City Planning Commission Hearing
January 7, 2022



- Parcel is located in a Two-Family Residential District fronting Beverly Court to the South.



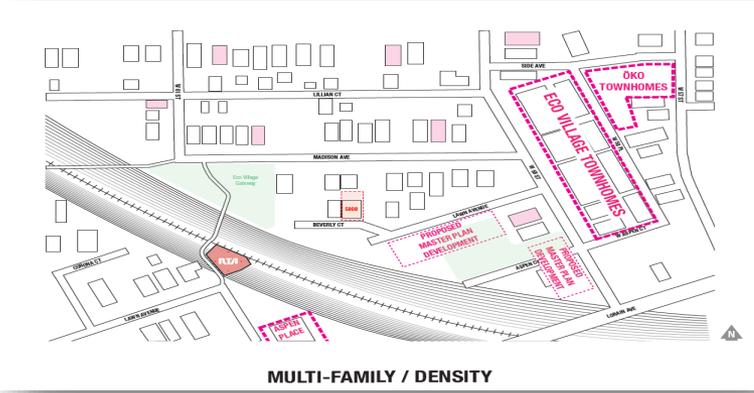
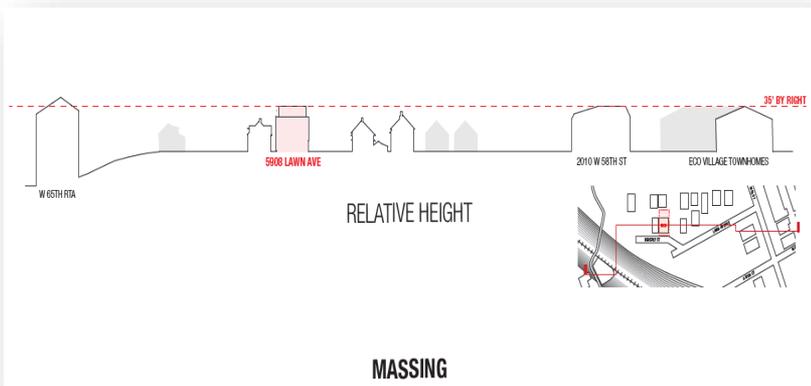
- **Per §337.031(h)(2):** In any zoning district where a townhouse use is not permitted by right (ex. Single Family, Two (2) Family), *the City Planning Commission* shall determine, based on the application of division (e) of this section, if a townhouse use shall be permitted.



EXISTING SITE PLAN

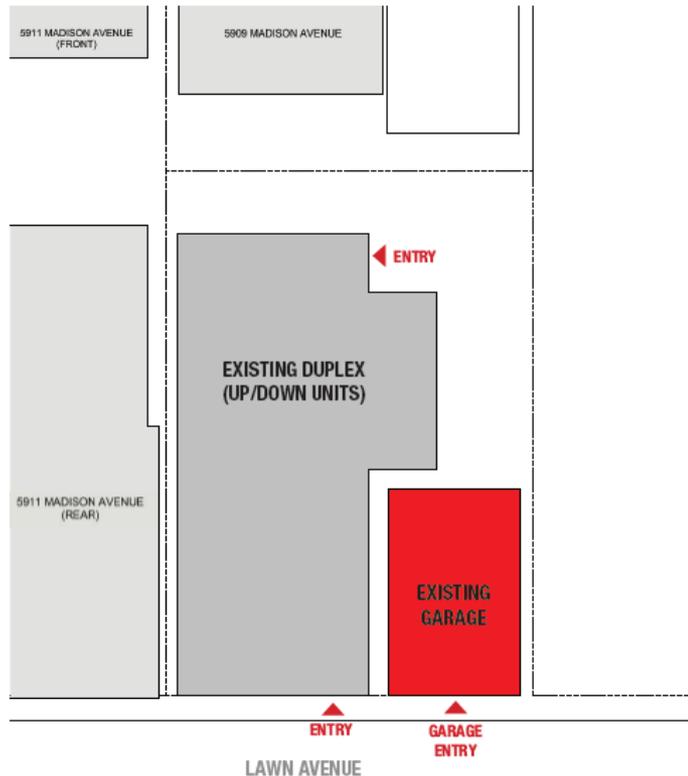


- (e)
 - Is the development visually compatible with nearby properties in scale, height, setbacks, orientation to existing streets, roof lines, architectural character, materials, colors, and proportions of architectural features

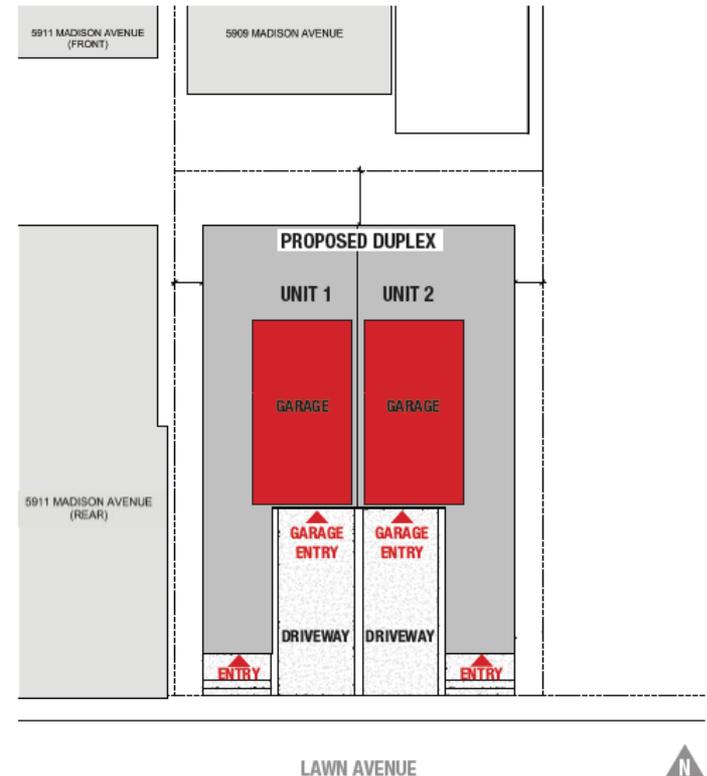


CONCEPT RENDERINGS

- (e)
 - Is the development site layout arranged so as to create visual interest, promote security/safety, promote safe, efficient and comfortable pedestrian & vehicle circulation, conserve natural features and provided useable common and private open space?



EXISTING
PARKING + DUPLEX



DESIRED
PARKING + DUPLEX

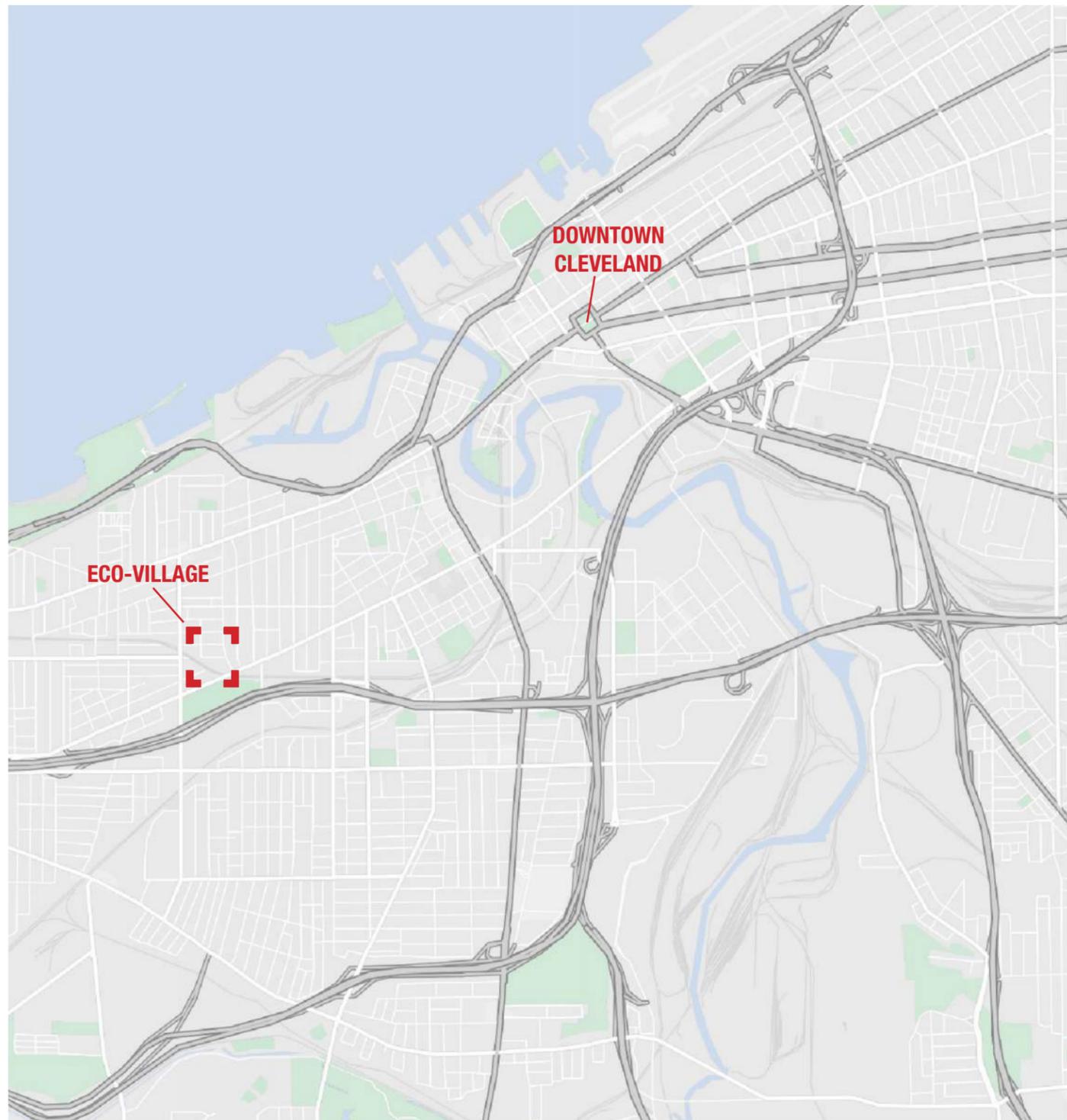
**CITY PLANNING
CONCEPTUAL APPROVAL**

5908 LAWN AVENUE



AGENDA

- SITE / EXISTING CONDITIONS
- SURROUNDING CONTEXT
- PARKING + PROPOSED MASSING
- CONCEPT IMAGERY



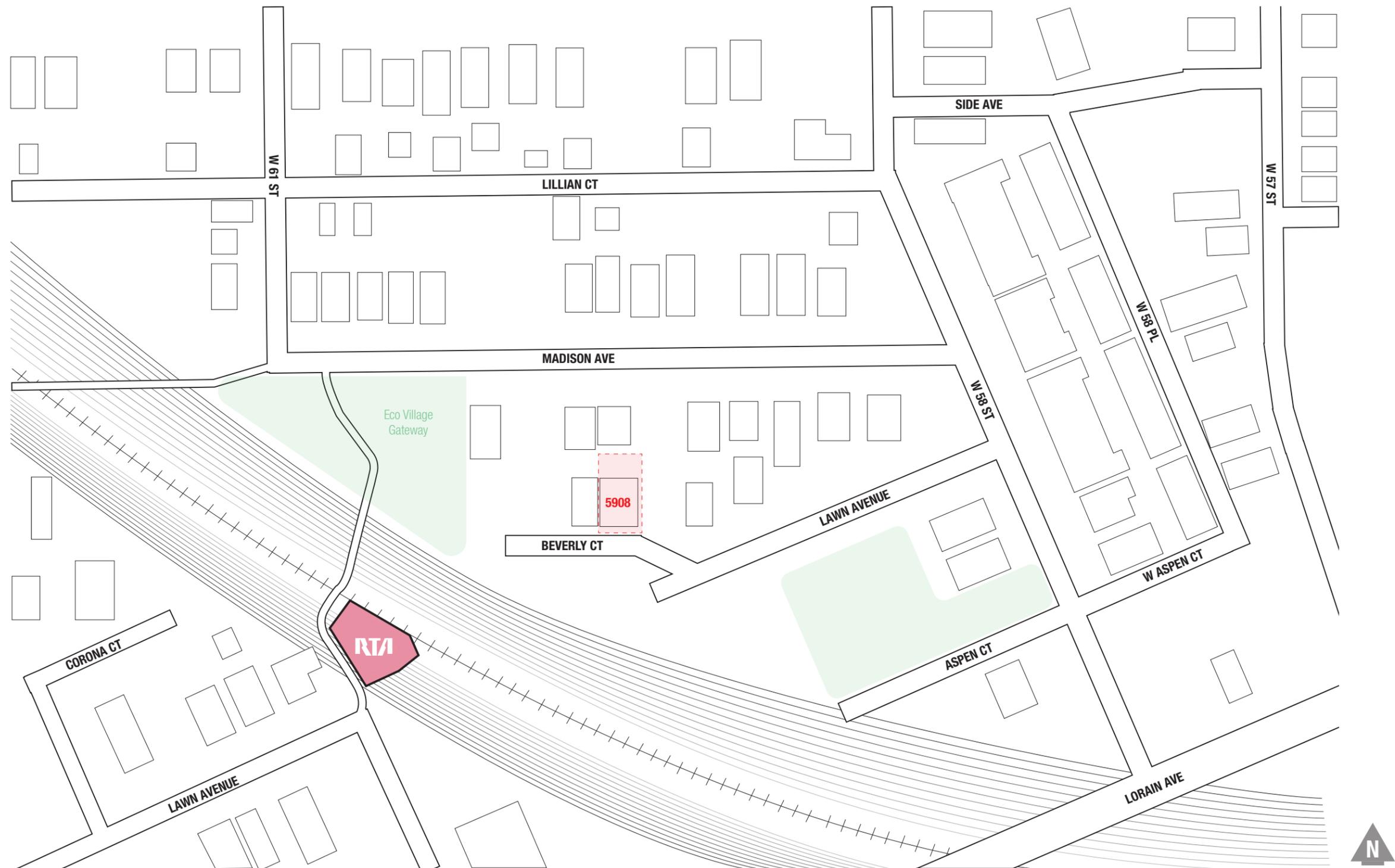
REGION PLAN



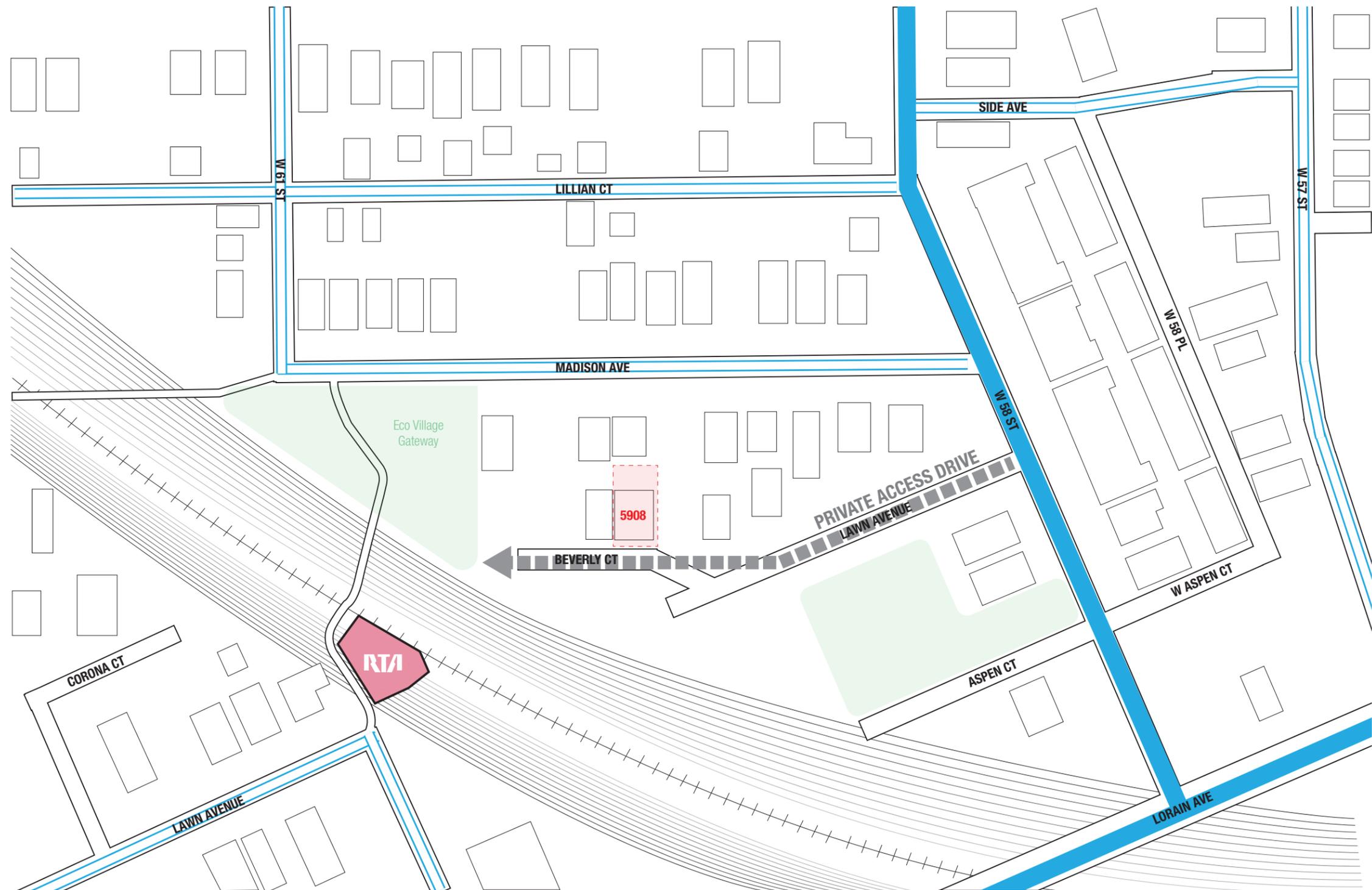
EXISTING SITE PLAN







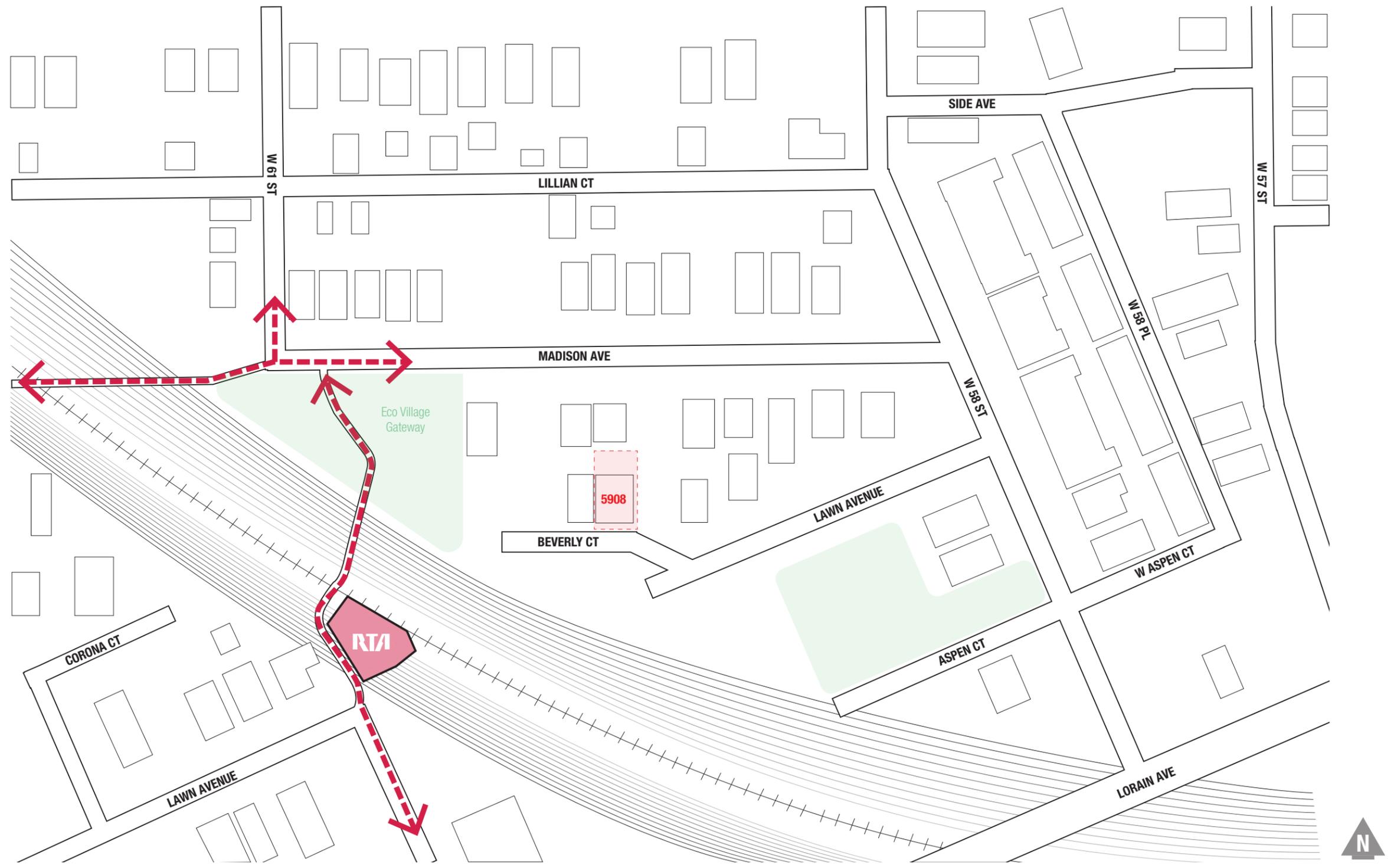
VEHICULAR ACCESS



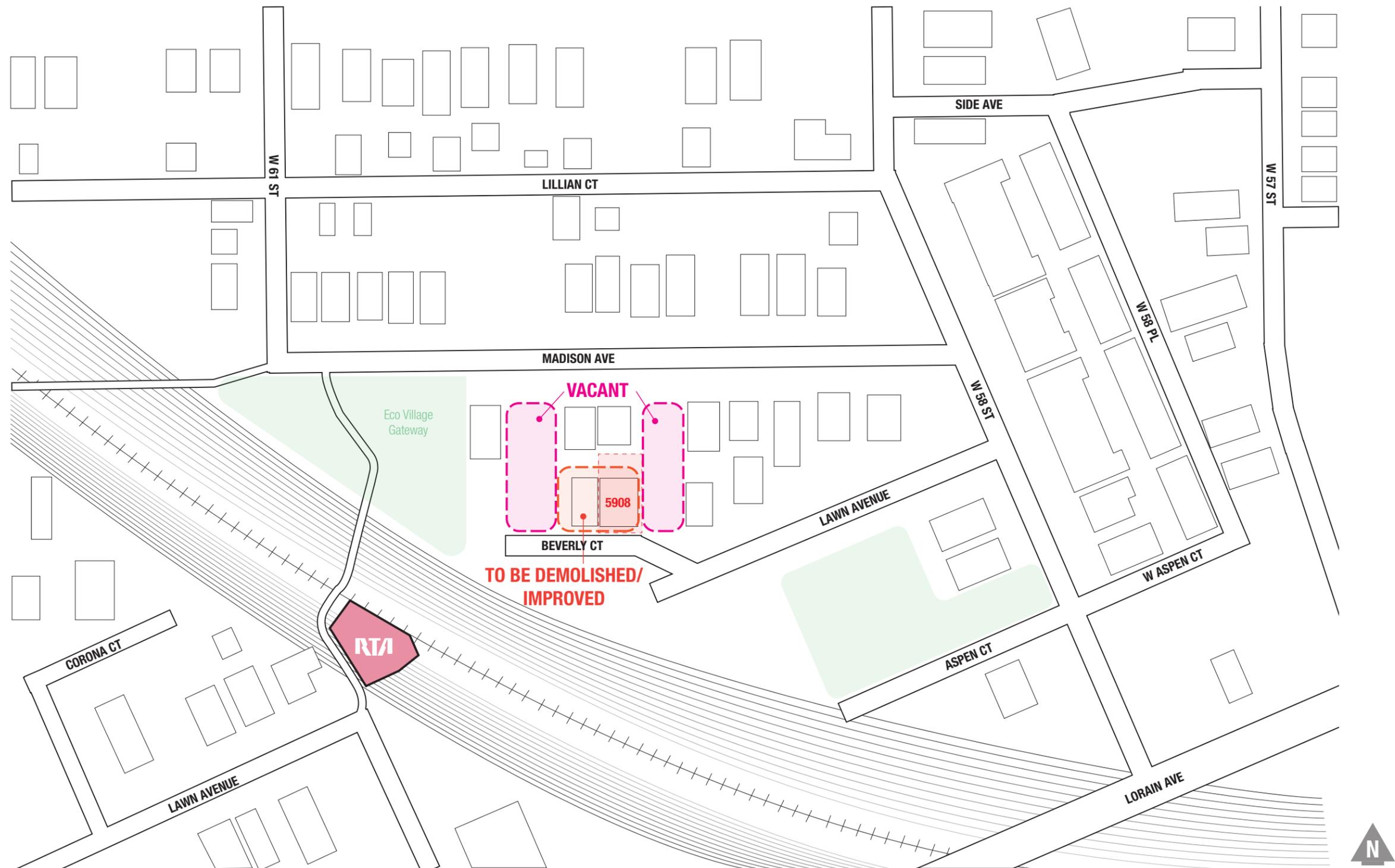
VEHICULAR ACCESS

 PRIMARY STREET
 SECONDARY STREET

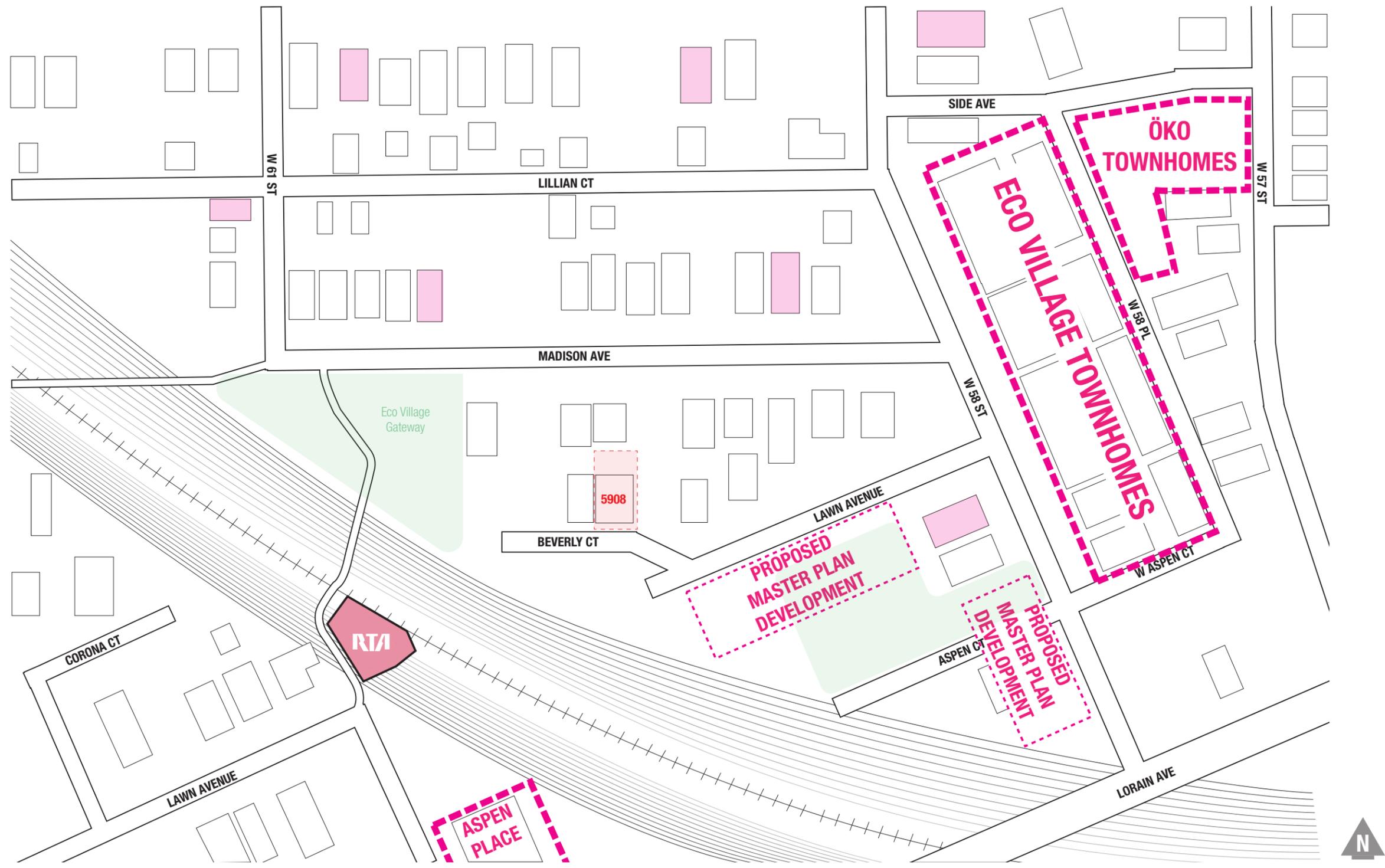




PUBLIC TRANSIT ACCESS



VACANCY



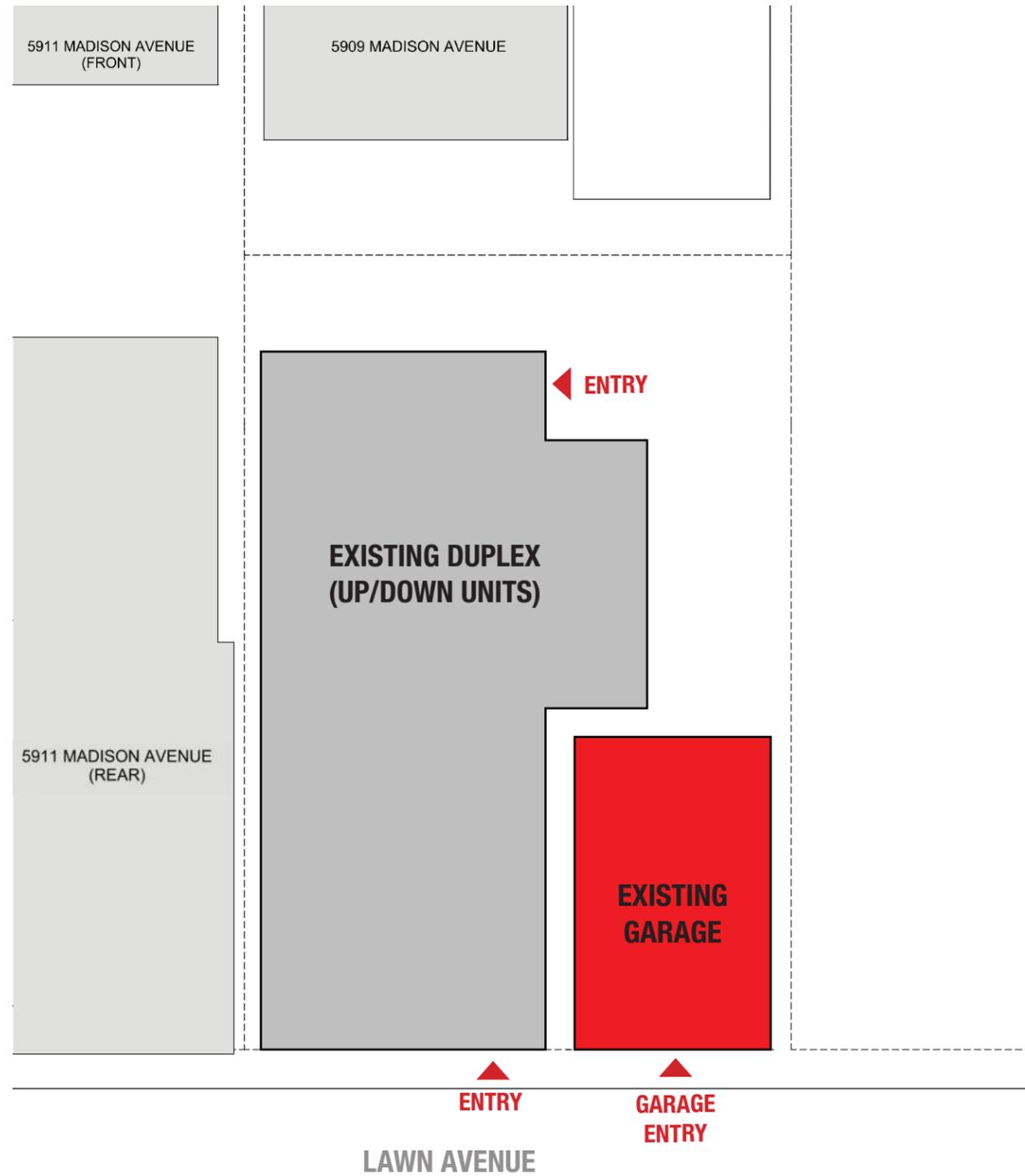
MULTI-FAMILY / DENSITY



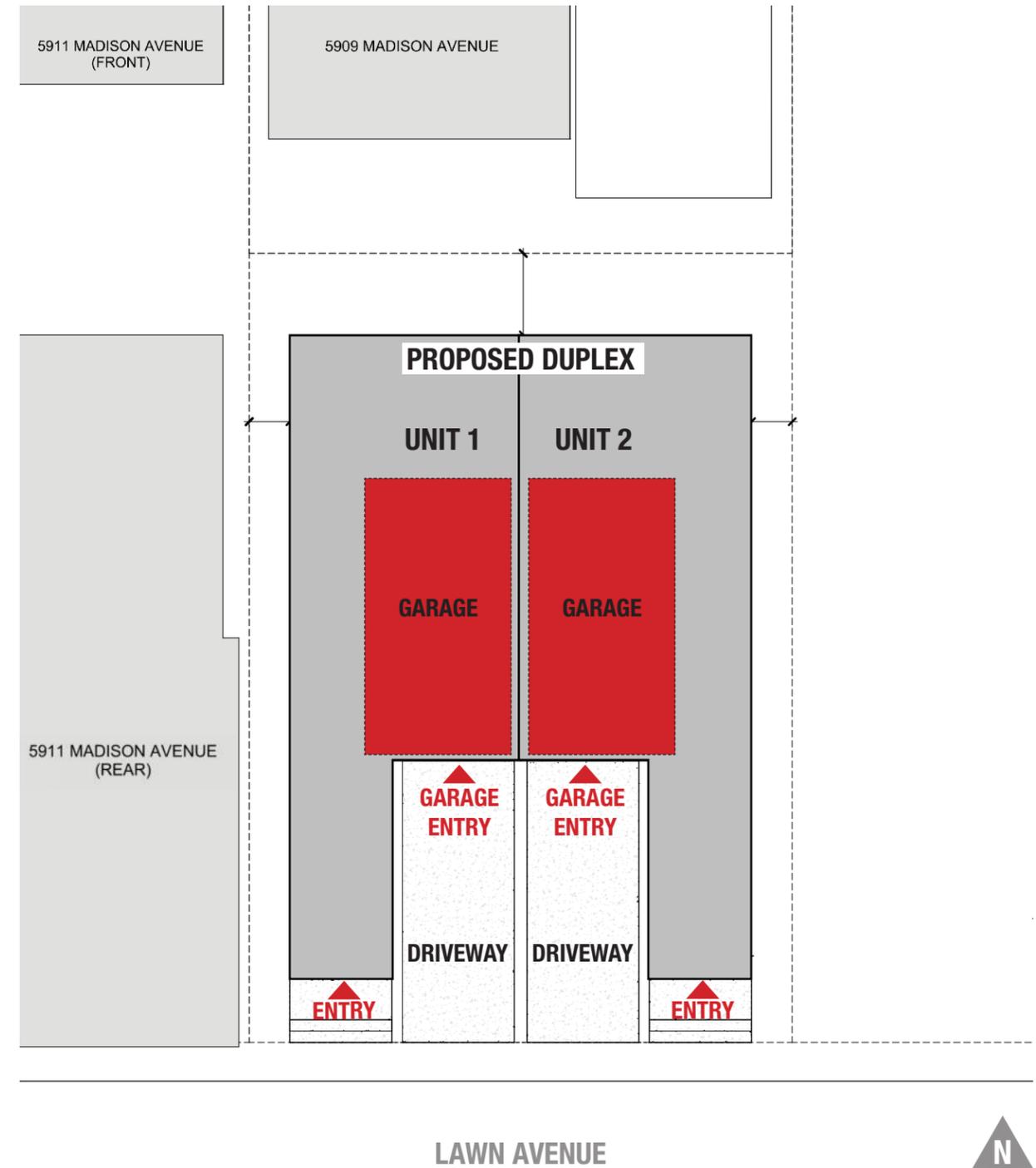
ECO VILLAGE MASTERPLAN



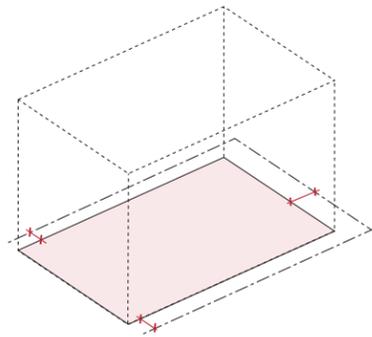
MODEL A



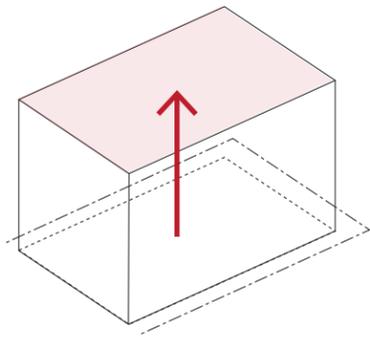
EXISTING
PARKING + DUPLEX



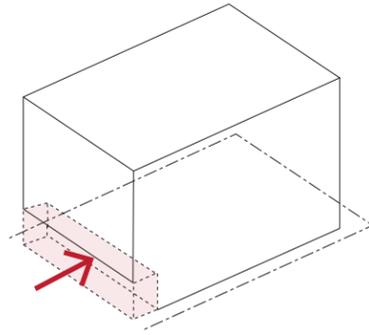
DESIRED
PARKING + DUPLEX



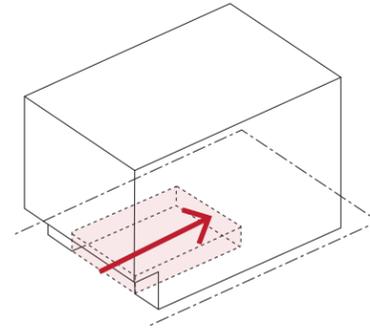
SITE



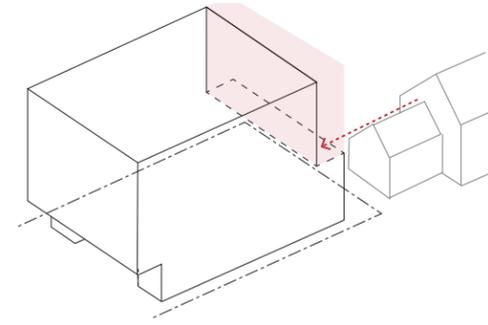
MASS



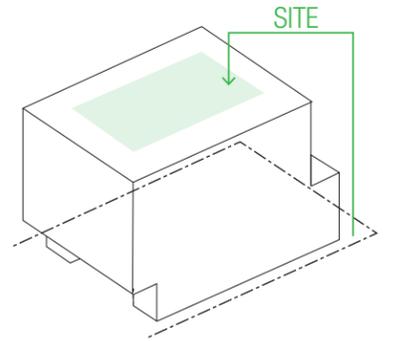
PORCH / ENTRY



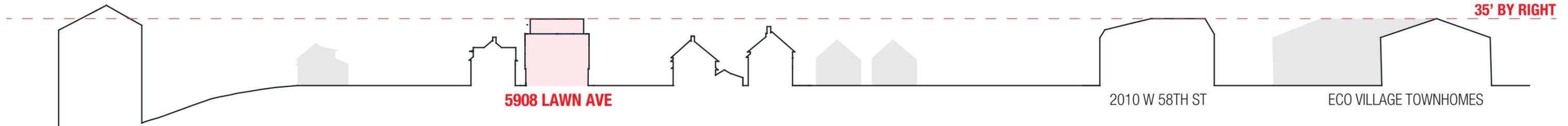
**CONCEALED
PARKING**



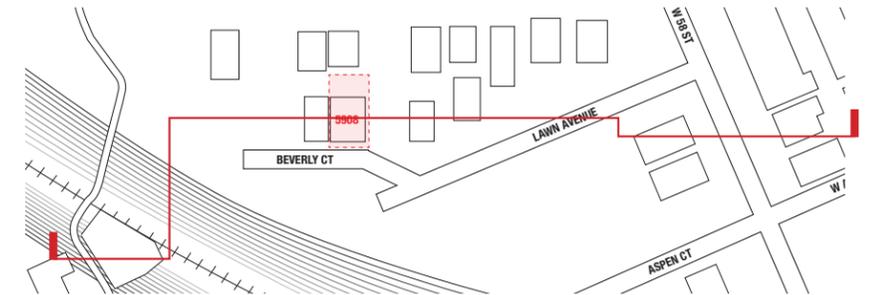
**NEIGHBORHOOD
SCALE**



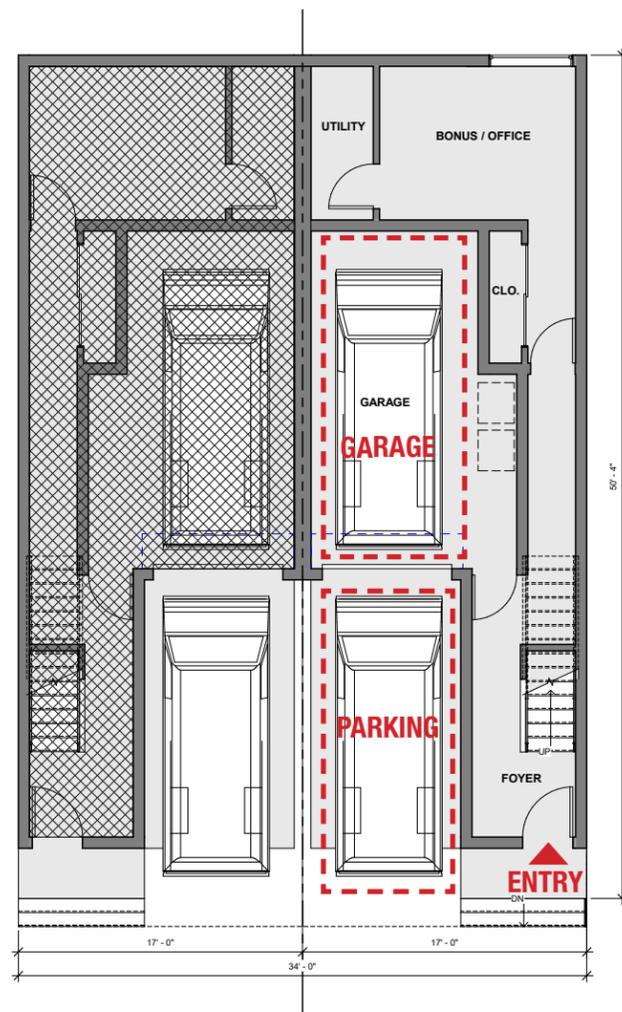
ROOFTOP



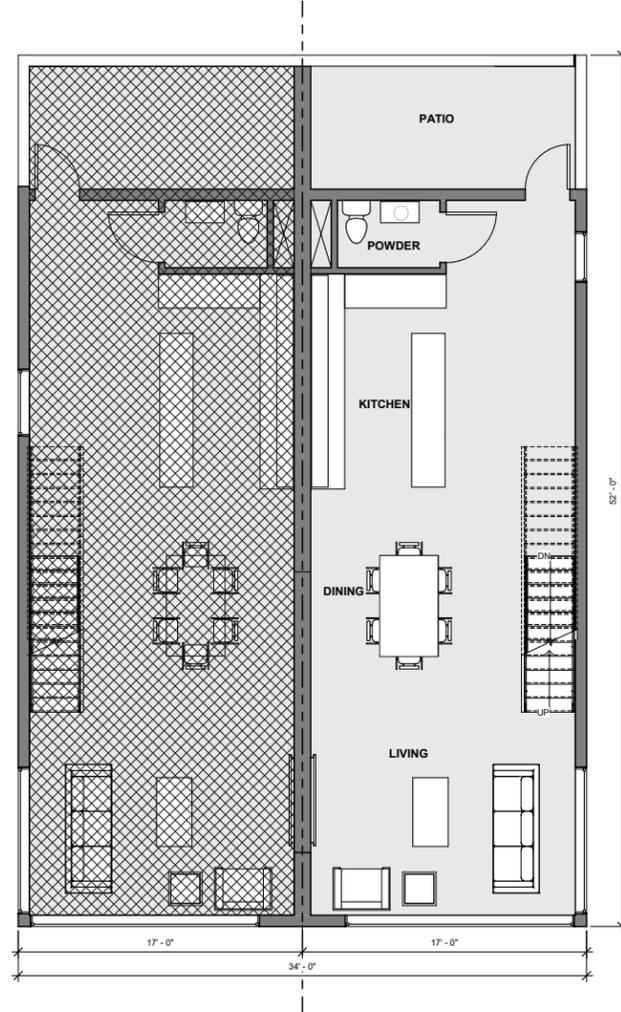
RELATIVE HEIGHT



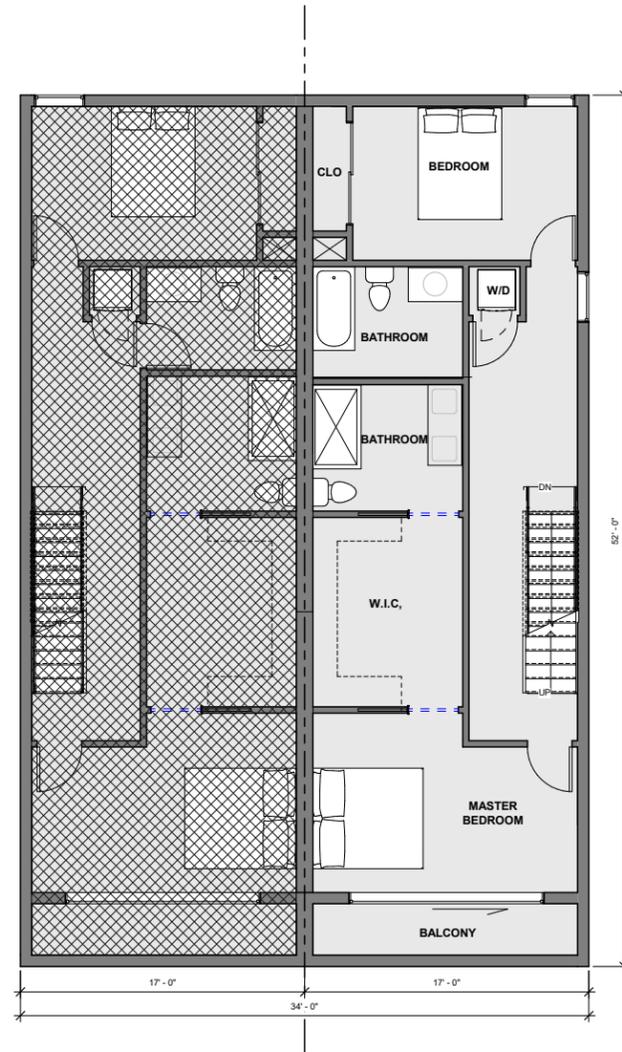
MASSING



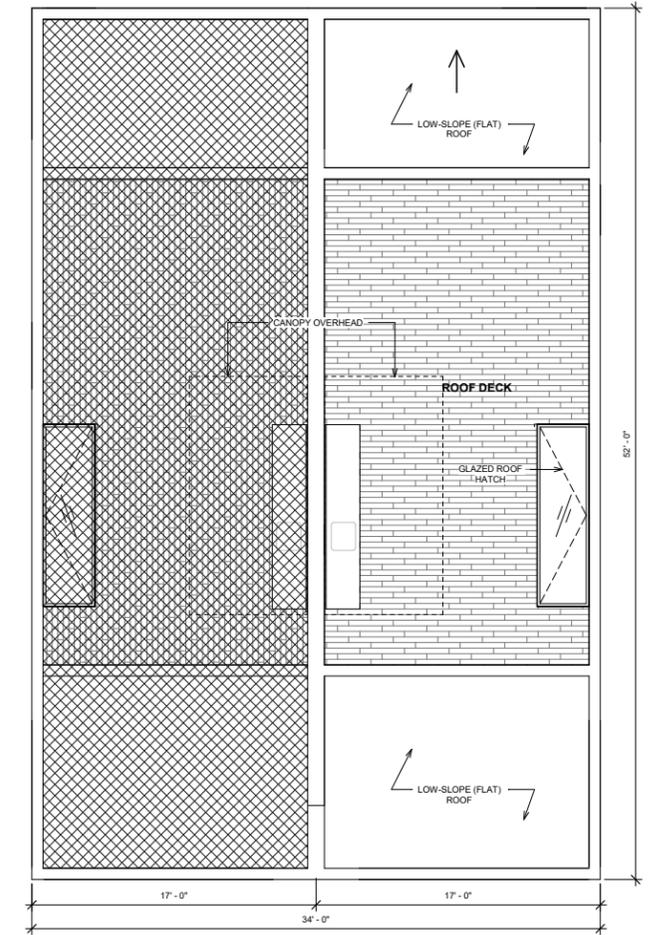
GROUND FLOOR



SECOND FLOOR



THIRD FLOOR



ROOF DECK

CONCEPT FLOOR PLANS





CONCEPT RENDERINGS

Cleveland City Planning Commission

Design Review Cases



January 7, 2022

Northeast Design Review Case

January 7, 2022



NE2021-045 – East 66th and Lexington Three Commercial Buildings New Construction:
Seeking Conceptual Approval

Project Location: East 65th Street and East 66th Street, north of Lexington Avenue

Project Representative: Cassandra Manna, Brennan Manna Diamond



City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

Planning Commission/Design Review Application

DATE:

PROJECT NAME:

PROJECT ADDRESS:

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review):

COMPANY:

PHONE:

EMAIL:

OWNER: Jascore 4 LLC, Jascore 2 LLC, and Jascore LLC

ARCHITECT/ CONTRACTOR: City Architecture / Ozanne Construction

PROJECT TYPE: New Building Rehabilitation Addition Sign Fence Parking Storefront

USE TYPE: Residential Commercial Industrial Institutional Mixed-Use

Review Level: Conceptual Schematic Design Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

12/14/2021

Signature and date

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

Written Project Summary

The East 66th & Lexington Development (the “Project”) is located between East 65th Street and East 66th Street just north of Lexington Avenue. The Project needs to complete purchase of three land bank parcels to move forward with the development: Parcels 10612053, 10612020, and 10612021 (collectively, the “Land Bank Parcels”). Partners in the Project already own the surround property, commonly known as Parcels 10612019, 10612010, 10612009, 10612008, 10612007, 10612006 (collectively, the “Currently Owned Parcels” and, together with the Land Bank Parcels, the “Property”).

All parcels listed above would be used to develop retail space for two new businesses in the area, most likely two new franchises and expansion office space and programming space for the Baseball Heritage Museum (the “Museum”), which is currently housed in League Park. The Museum will continue to run out of League Park and use the new development space for indoor batting cages for year-round use, office space for historical archiving projects, and meeting space for programming led by the Museum and community members.

The Project anticipates building three separate commercial buildings on the Property: a 10,000 sq ft mixed-used building, an 8,900 sq ft mixed-use building, and an 8,100 sq ft space for the Museum. Each building will be two stories maximum. The Project is designed to include 22 new parking spaces for the businesses on the Property. The Property is zoned local retail C1.

The Project partners anticipate the Project costs to be as follows:

	Estimated Cost (\$)	Source of Estimate
1. Property Acquisition	\$10,500.00	Cuyahoga County Auditor's website.
2. Site Preparation	\$405,000.00	Based on recent Midtown development.
3. Hard Construction Costs	\$4,320,000.00	Based on recent Midtown development.
4. Design Costs	\$259,200.00	Based on recent Midtown development.
5. Other	\$498,420.00	Based on recent Midtown development.
6. Other		
TOTAL COST (\$)	\$5,493,120.00	

The Project partners are coordinating a feasibility study to be done once the Land Bank Parcels have been transferred to determine the best business ventures to bring to the community at the Project. The Project partners anticipate the Project creating several jobs within the City of Cleveland, including hourly and salaried jobs.

The Project has several sustainability features within the proposal, including, but not limited to, enhancing the vacant lots with successful businesses and an expansion of the Museum

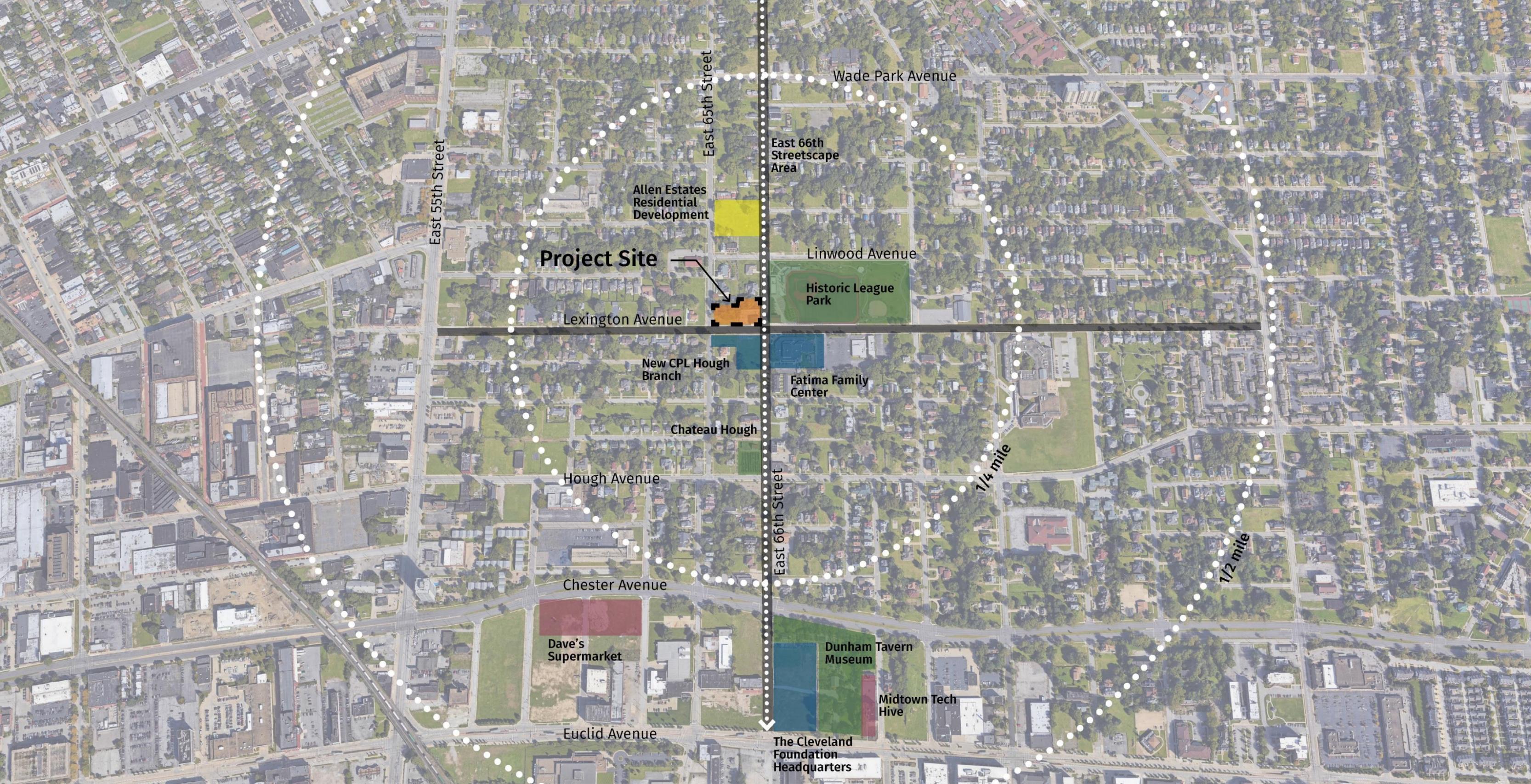
to produce a positive perception of the surrounding neighborhood; providing tree cover on the block with safe, lighted public walkways and community art features; and incorporating landscaping that will include native plants. Landscaping also includes buffer with trees and vegetation (St. John's wort, pachysandra, karl forester reed grass, etc.). The enclosure for trash will include tree and plant buffers (landscaping) along with composite board on board fence between residential properties. The trees to comply with Hough tree-plan initiative, and there will be pedestrian plazas, covered colonnade(s), and locations for public art and murals.



+

EAST 66TH & LEXINGTON DEVELOPMENT

Signet Real Estate Group | Design Review & Planning Commission



Context Map



From Lexington



From East 66th Street



From Lexington



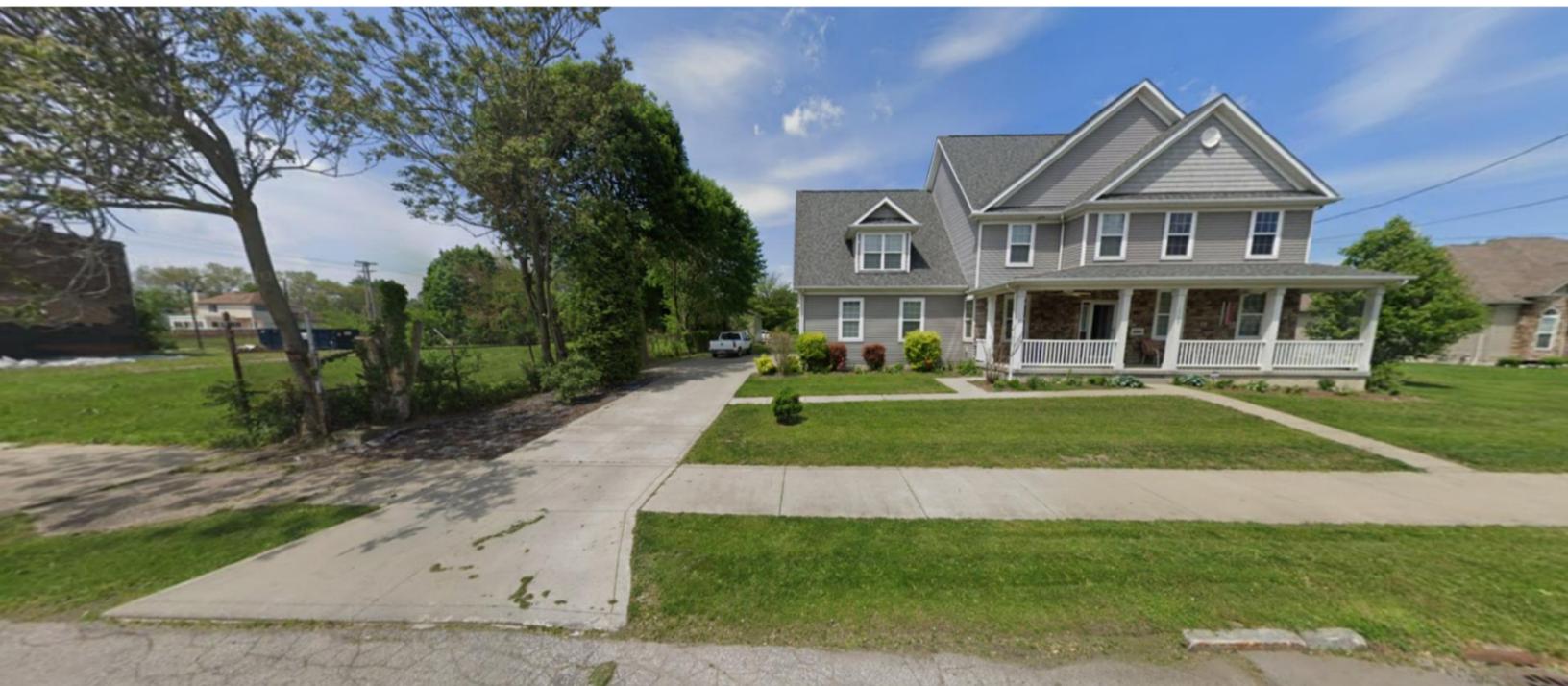
From East 65th Street



Lexington - West



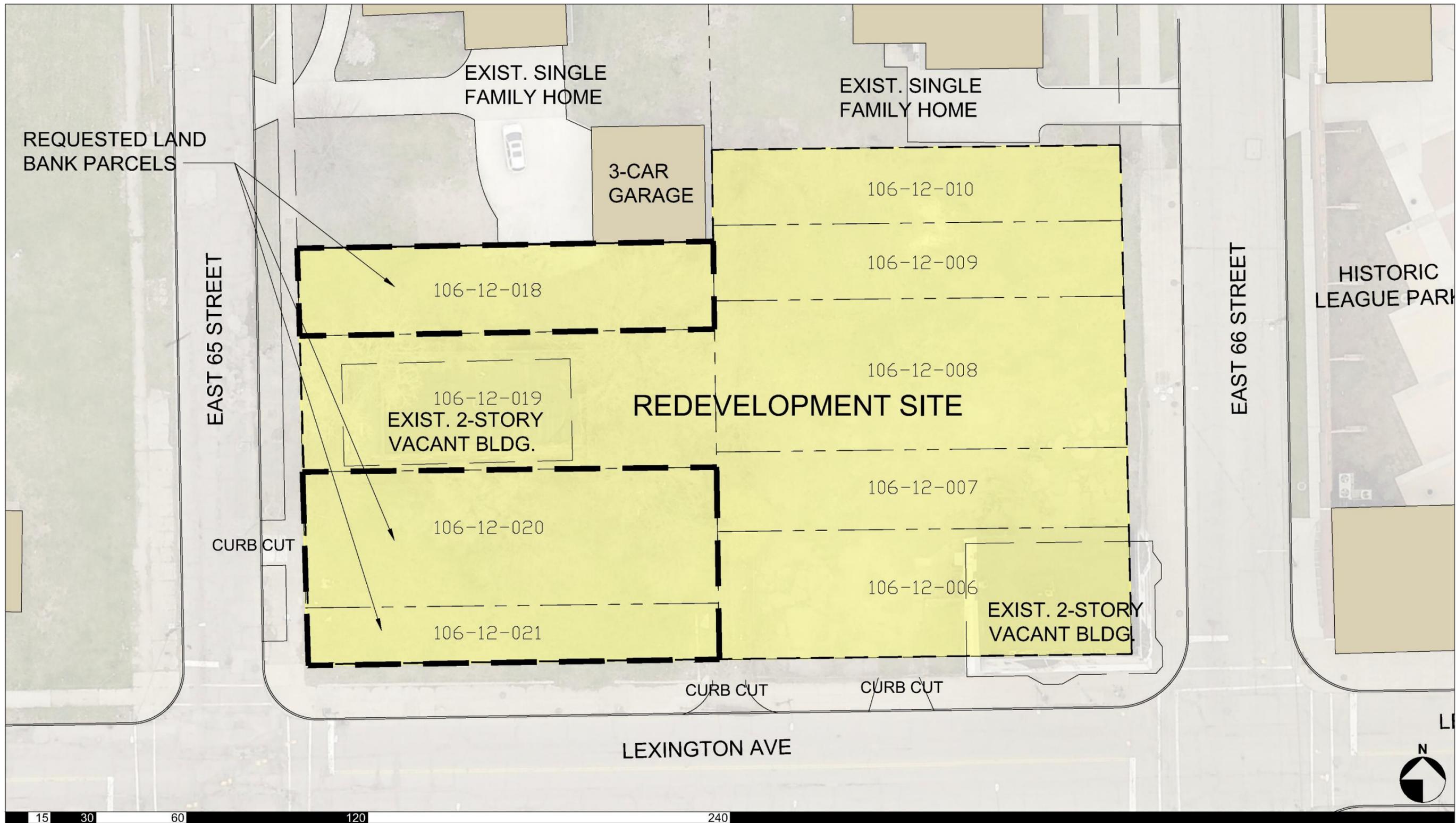
Lexington - East



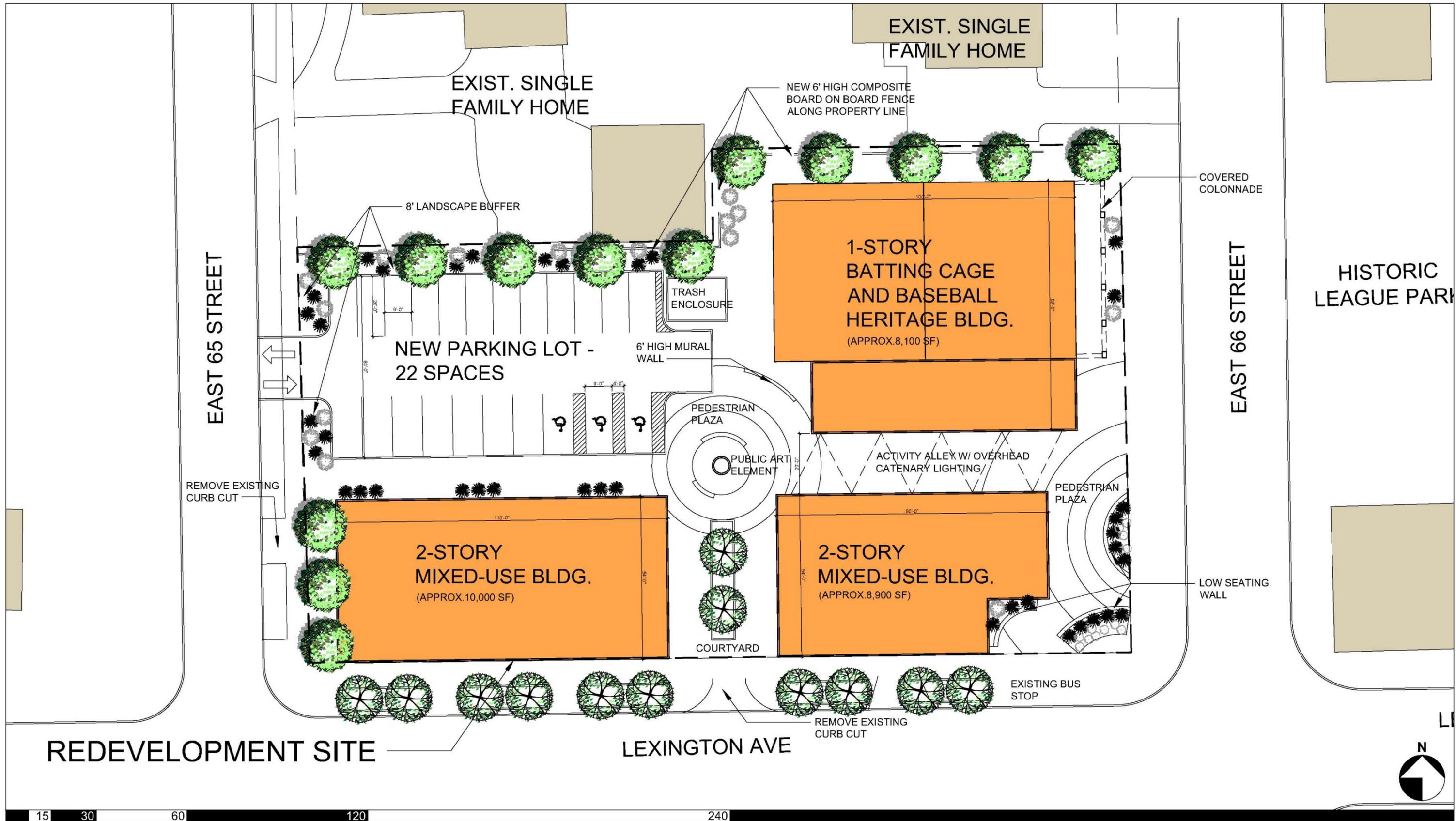
East 66th Street - North



East 65th Street - North



Parcel Plan



Site Plan



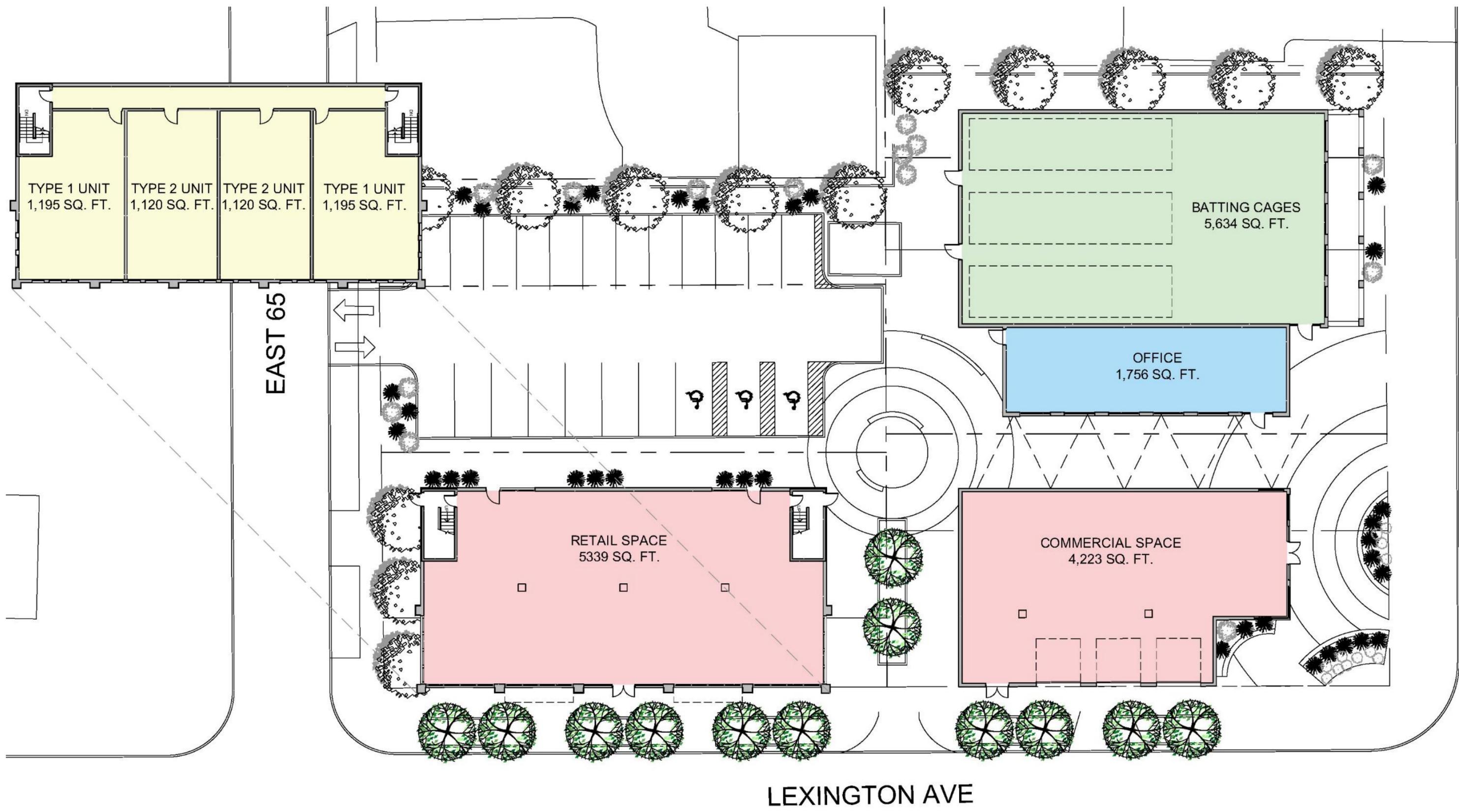
Site Landscaping Materials



Standard configuration.



Site Furnishing / Lighting



EAST 65

EAST 66 STREET

LEXINGTON AVE

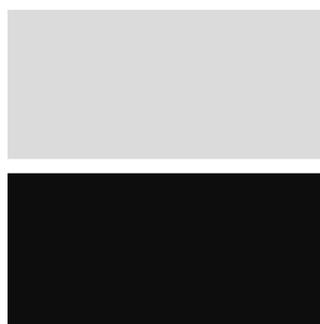


Lexington Avenue Elevation



East 66th Street Elevation

Building Elevations



Exterior Materials



Aerial Perspective Looking Northwest



View Along Lexington Avenue

Presenters

1. Cassandra L. Manna, Attorney at Brennan Manna Diamond
2. Robert “Bob” Zimmer, President and Founder of the Baseball Heritage Museum
3. Kevin Belt, Senior Vice President and Managing Director of Signet Real Estate Group
4. Dominic Ozanne, President and CEO of Ozanne Construction Company

Northeast Design Review Case

January 7, 2022



NE2021-046 – Dorothy Wilson Family Center New Construction:
Seeking Conceptual Approval

Project Location: NW corner of Wade Park and East 82nd Street

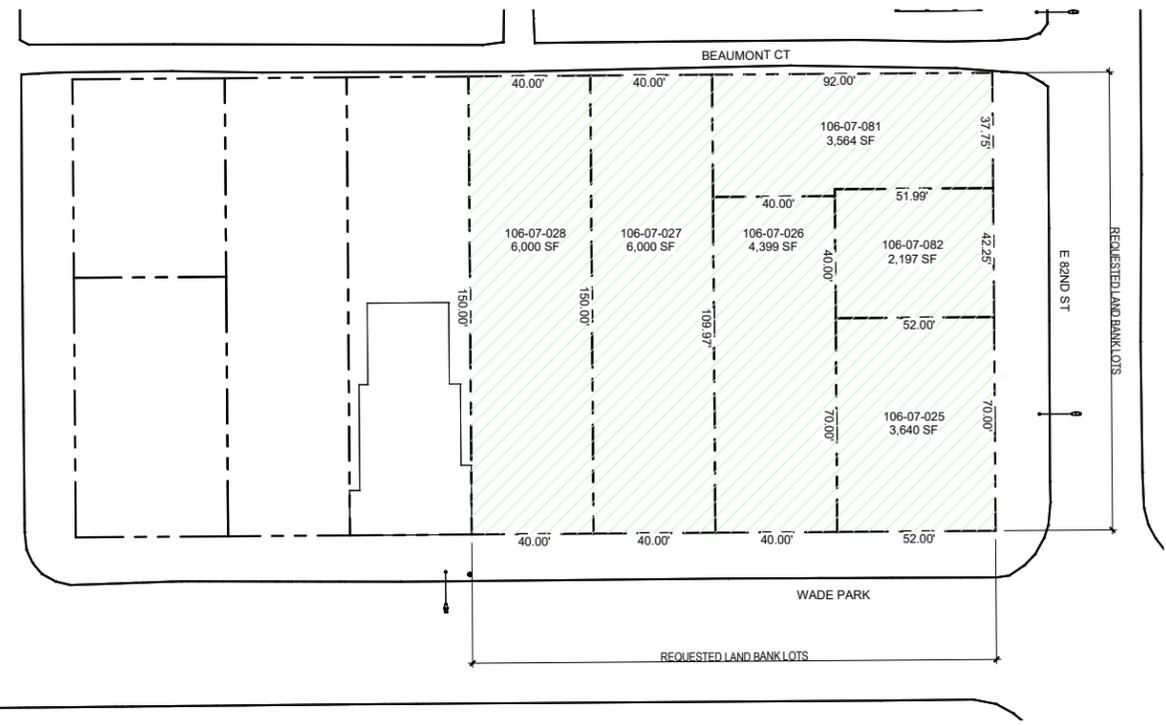
Project Representative: Ibrahim Hakki, Architect

Dorothy Wilson Family Center

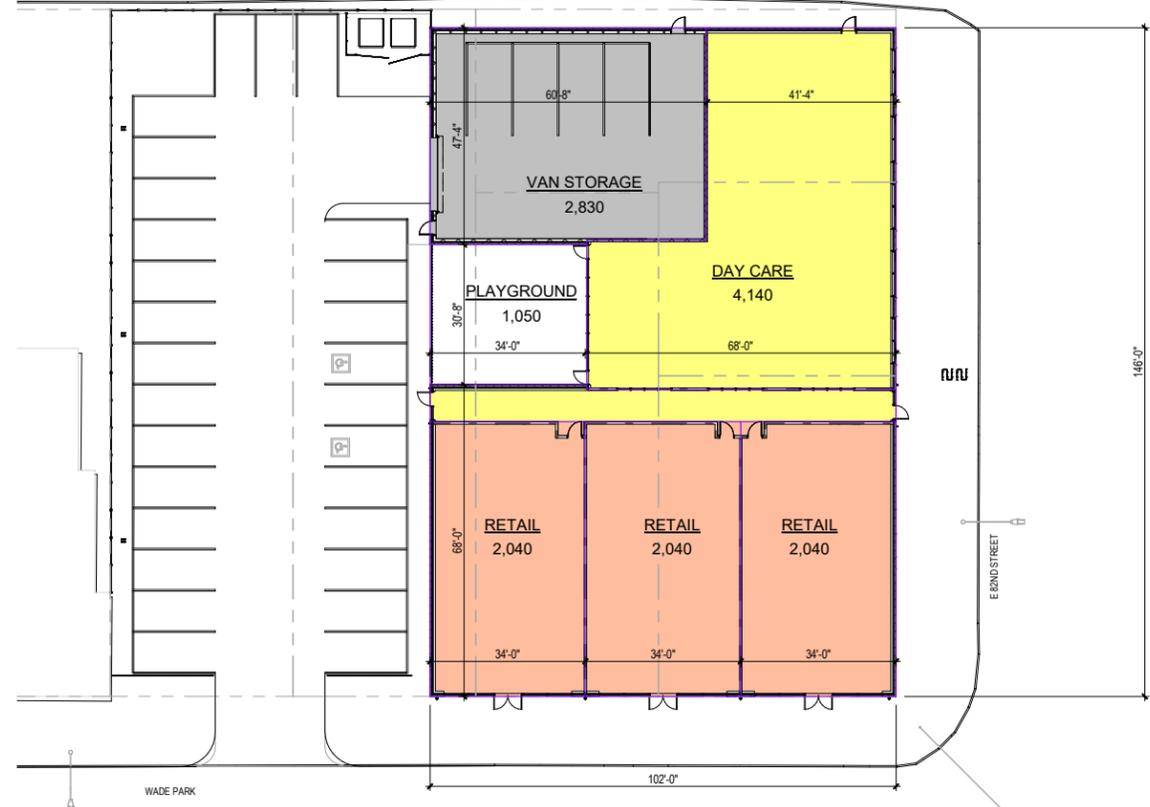


architect **Hakki**

P.O. Box 347184
Cleveland, OH 44134
phone 216.372.9047
SC PERM. 107790
CN PERM. 1514064



② EXISTING SITE PLAN (TRUE NORTH)
1" = 30'-0"



① BUILDING LAYOUT AND AREA PLAN
1" = 20'-0"

KEY

- DAYCARE
- MERCANTILE
- PARKING

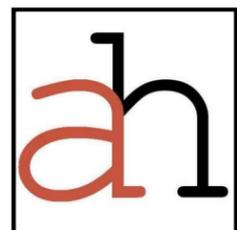
Dorothy Wilson Family
Center
Wade Park & E 82
Cleveland, OH 44103

COVER SHEET

Date: DEC 5, 2021
Status: SCHEMATIC DESIGN

No.	Re:	Date

GO.00

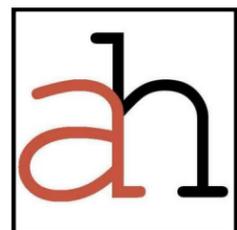


architect **Hakki**

PO Box 347184
Cleveland OH 44134
(216) 372-9047
www.arch-hakki.com

Existing Site from the Southeast
(Google Earth)

Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



architect **Hakki**

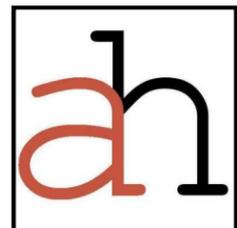
PO Box 347184
Cleveland OH 44134
(216) 372-9047
www.arch-hakki.com

Existing Site from the Northeast
(Google Earth)

Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



Prayer
CHURCH
FOUNDER: CASS L. LINDO, REV.
1975 - 1998



architect **Hakki**

PO Box 347184
Cleveland OH 44134
(216) 372-9047
www.arch-hakki.com

Existing Site from the Southwest
(Google Earth)

Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7

landscape forms

PLAZA

Product Data Sheet



These giant square planters in three sizes bring green to urban streetscapes and plazas where conventional planting is not feasible. Plaza's rugged painted steel structure is complemented with infill panels in a choice of wood or steel. A fiberglass inner basin and strong metal mesh bottom make these planters highly functional as well as visually striking.

Planter

- Planter is available in three sizes—28", 36", or 48".
- Capacity:
 - 28" = 27 Gallon
 - 36" = 74 Gallon
 - 48" = 159 Gallon
- Planter is available only freestanding.
- Girders are made of cast stainless steel.
- Planter is available in wood or carbon steel.
- Available in exterior unfinished, Jarrah or teak.
- Corners for planter are steel.
- Comers for planter are always powdercoated Matte Black.
- Liner for planter is made of fiberglass.

STYLE	DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT	
	28" Wood	28"	28"	17"	110 lb.
	28" Steel	28"	28"	17"	139 lb.
	36" Wood	36"	36"	30.3"	232 lb.
	36" Steel	36"	36"	30.3"	289 lb.
	48" Wood	47.5"	47.5"	30.3"	519 lb.
	48" Steel	47.5"	47.5"	30.3"	580 lb.

Finishes

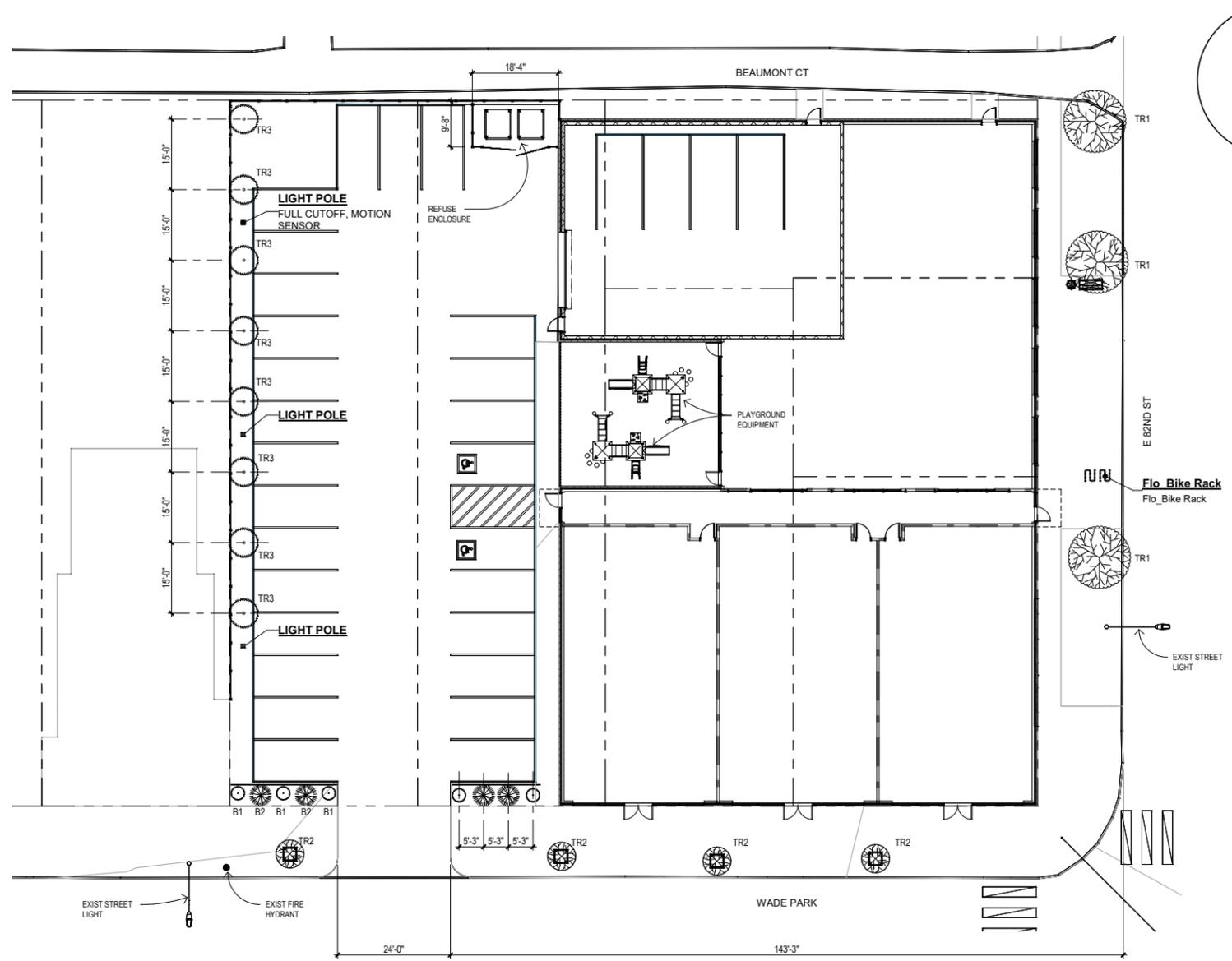
- Pangard II Powdercoat Finish.
- Unfinished Exterior Wood.

Designed by Santa & Cole
Spanish Industrial Design #131, 946

page 1 of 1

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PLANTING SCHEDULE				
MARK	COMMON NAME	MATURE SIZE	INITIAL SIZE	QNTY
B1	DWARF ALBERTA SPRUCE	5-10'	24", #3 CONT.	5
B2	P.M.J. RHODEODENDRON	4'	28", #2 CONT.	4
TR1	SNOWGOOSE CHERRY	20' HEIGHT / 20' SPREAD	1-1/2", #10 CONT.	3
TR2	VANILLA TWIST REDBUD	12' HEIGHT / 8' SPREAD	1-1/2", #10 CONT.	4
TR3	PENDULA SPRUCE	10-15' HEIGHT / 3' SPREAD	1-1/2", #10 CONT.	8



architect Hakki
 P.O. Box 347184
 Cleveland, OH 44134
 phone 216.372.9047
 SC.FIRM.101790
 OH.FIRM.1514984

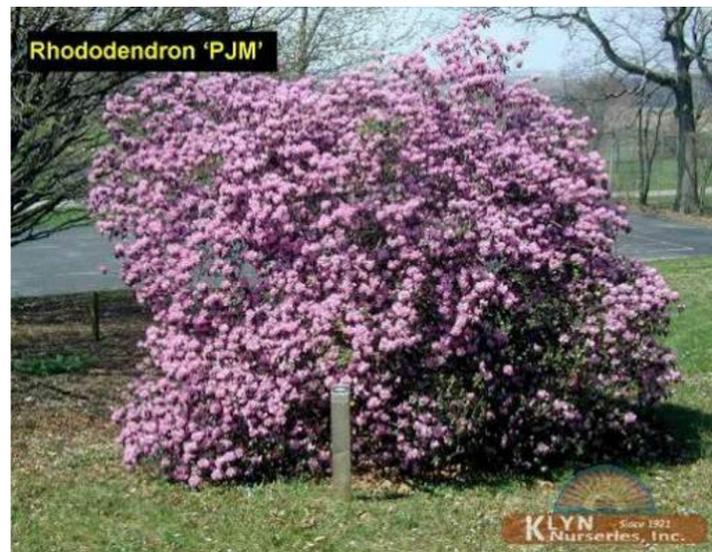
Dorothy Wilson Family
 Center
 Wade Park & E 82
 Cleveland, OH 44103



PENDULA SPRUCE



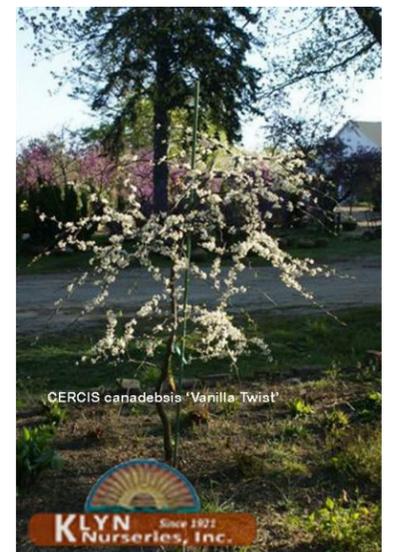
DWARF ALBERTA SPRUCE



PJM RHODODENDRON



SNOWGOOSE CHERRY



VANILLA TWIST REDBUD

**ARCHITECTURAL
 SITE PLAN**

Date: DEC 5, 2021		
Status: SCHEMATIC DESIGN		
No.	Re:	Date

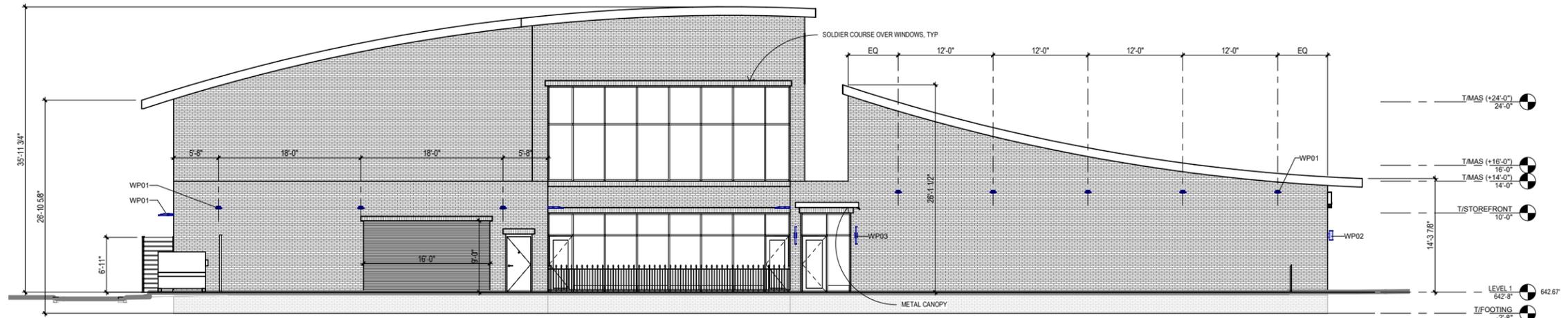


architect **Hakki**

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Site Lighting Study

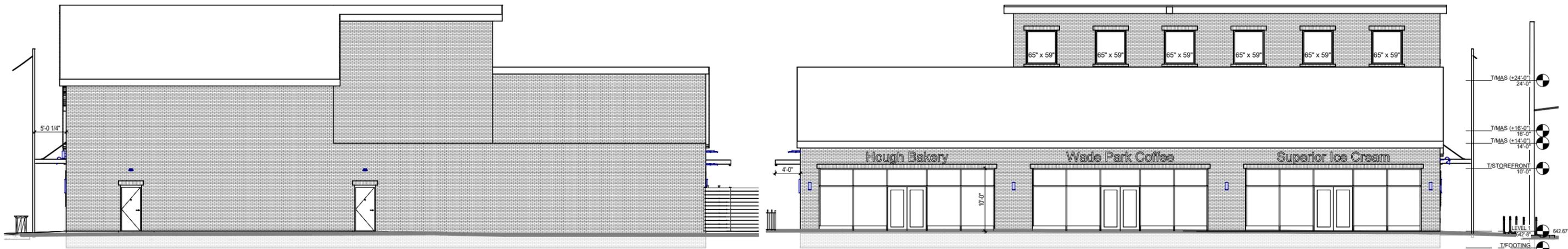
Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



④ WEST
1/8" = 1'-0"



② EAST
1/8" = 1'-0"



③ NORTH
1/8" = 1'-0"

① SOUTH
1/8" = 1'-0"

Date: DEC 5, 2021
Status: SCHEMATIC DESIGN

No.	Re:	Date

WP03

CHARA 26 OUTDOOR WALL

TECH LIGHTING

Strikingly elegant in its simplicity, the Chara 26 Wall Sconce is a tubular design that creates a modern industrial look. Designed with a die-cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements. Appropriate for commercial use. Available as Square or Round in three sizes.

Outstanding protection against the elements:

- Powder coat finish
- Stainless Steel mounting hardware
- IP65 rated

SPECIFICATIONS

LUMENS	1286
WATTS	11.8
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV, Triac
LIGHT DISTRIBUTION	Symmetric
OPTICS	Not applicable
MOUNTING OPTIONS	Wall
ADJUSTABILITY	None
CCT	3000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	B1-U4-G0
DARK SKY	Non-Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70 >60,000 Hours
WARRANTY*	5 Years
WEIGHT	4 lbs.

CHARA 26 OUTDOOR WALL
shown in black

techlighting.com

ORDERING INFORMATION

PRODUCT	CR/CCT	LENGTH	FINISH	FUNCTION	VOLTAGE	DISTRIBUTION
7000WCHA	930 90 CRI, 3000K	26 26"	B BLACK	UD UPLIGHT/DOWNLIGHT	UNV 120V-277V	S SYMMETRIC

WP03

CHARA 26 OUTDOOR WALL

TECH LIGHTING

CHARA 26 OUTDOOR WALL
shown in black

techlighting.com

PHOTOMETRICS*

CHARA 26 OUTDOOR WALL - 0"

Total Lumen Output: 1286
Total Power: 11.8
Luminaire Efficacy: 109
Color Temp: 3000K
CRI: 90+
BUG Rating: B1-U4-G0

PROJECT INFO

FIXTURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

TECH LIGHTING
VISUAL COMFORT & CO.
7600 Linder Avenue, Skokie, Illinois 60077
7847.450.6400

techlighting.com

WP03 (ALT)

Mako

WS-W18122

PRODUCT DESCRIPTION
Sleek and striking, Modern lighting designed as just the right sconce projects a blade of light on the wall behind to feature a second blade cast downward to light the path below. Defining Mako enhances both interior and exterior locations as a well architectural luminaire. Customize your color temperature for your space.

FEATURES

- Driver concealed within the canopy
- Down and indirect illumination
- Built in color temperature adjustability. Switch from 3000K to 4000K

SPECIFICATIONS

Rated Life	50000 Hours
Standards	ETL, cETL, Wet Location Listed
Input	120/277V, 50/60Hz
Dimming	ELV: 100-10%, TRIAC: 100-10%
Mounting	Can be mounted on wall vertically or upside down
Color Temp	3000K, 3500K, 4000K
CRI	90
Construction	Extruded aluminum body with white silk screen

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W18122	m 3000K	m AL Brushed Aluminum	8.7W	1500	364
		m BK Black	16.7W	1500	364
	m 3500K	m AL Brushed Aluminum	8.7W	1500	434
		m BK Black	16.7W	1500	434
	l 4000K	l AL Brushed Aluminum	8.7W	1500	410
		l BK Black	16.7W	1500	410

WS-W18122-40-AL
Example WS-W18122-40-BK

For custom requests please contact customs@modernforms.com

MODERN FORMS
ModernForms.com | Phone: (866) 810-6815 | Fax: (800) 526-2585
Central Distribution Center: 1600 Distribution Ct, Lithia Springs, GA 30112
Western Distribution Center: 1750 Archibald Avenue, Ontario, CA 91760

WP04

BARNLIGHT ELECTRIC: FIRE CHIEF SIGN LIGHT

MURAL LIGHTING

TECH LIGHTING

WP02

MINISLOT UP-DOWN

SIMES

S.3825W.14 (Aluminium grey)
2 module COB 3000K 2404lm 37W 220-240Vac ON-OFF Surface mounted

Light Source Technical Data

Light source type:	COB
Colour temperature:	3000K
Rated module luminous flux:	3688lm
Rated luminaire luminous flux:	2404lm
Rated input power:	37W
Luminaire efficacy:	65lm/W
Color Rendering Index:	CRI 90
Standard Deviation Color Matching:	MacAdam step 3

Power Supply Technical Data

Voltage (AC):	220-240Vac
Frequency (AC):	50/60Hz
Dimmable:	NOT DIMMABLE
Inrush Current:	5A 50µsec
Max. quantity of fixtures for Miniature Circuit Breaker type B16A:	50
Max. quantity of fixtures for Miniature Circuit Breaker type C16A:	85

Temperature and life time Technical Data

LED Lifetime:	Ta 25°C L80 B10 70,000h
Lifespan of the LUMINAIRE:	Ta 40°C L80 B10 50,000h
Performance ambient temperature:	Ta 40°C > 50,000h
Operating ambient temperature range:	da -20°C a +50°C
Storage temperature range:	da -20°C a +60°C

Technical Installation Data

Electrical insulation class:	IP65
Protection class IP:	IP65
Mechanical resistance:	IK08
Weight:	4.8Kg
Power cable:	0.3m - HD7RNF

SPECIAL VERSION ON REQUEST: This Luminaires can be supplied with a surcharge in class III (without power supply). Requires working remote power supply in constant current at 450mA, Vmin=31.8Vdc, Vmax=37.5Vdc.
SIMES compatible power supplies:
Art. S.2410 POWER SUPPLY DALI 230V/350-1050mA 57.8W IP67
Art. S.3423 POWER SUPPLY MULTI-POWER 230V/350mA-1050mA IP20
NB: Use 1 Power Supply for each Luminaires

Exclusive distributor for USA:
Sistemalux Inc. - 9320 Saint Laurent, Montreal (QC) - Canada QC H2N 1W7 - Tel: +1 (514) 523-1339 - e-mail: service@systemalux.com
The present technical data sheet and all the information contained is property of SIMES S.p.A. All rights reserved.
We reserve the right to change specifications without prior written notice.

Last update 05/12/2021 - Pag. 1/3

LOUVERED SQUARE VERSA STAR LED (JUNCTION BOX)

IP65 RATED

DATE: _____ PROJECT: _____ TYPE: _____

CATALOG NUMBER LOGIC:

CATALOG NUMBER LOGIC
Example: B - VQL - LED - e100 - NSP - A9 - WHP - 13 - 11 - D

MATERIAL
(Blank) - Aluminum B - Brass S - Stainless Steel

INSTALLATION
(Blank) - Back Box

SERIES
VQL - Louvered Square Versa Star

SOURCE
LED - with Integral Dimming Driver (25W min. load when dimmed)*

LED TYPE

e100 - 5W LED/2700K	e102 - 5W LED/4000K
e101 - 5W LED/3000K	e103 - 5W LED/Amber

OPTICS

NSP - Narrow Spot (13°)	MFL - Medium Flood (23°)
SP - Spot (16°)	WFL - Wide Flood (31°)

ADJUST-E-LUME OUTPUT INTENSITY**
A9 (Standard), A8, A7, A6, A5, A4, A3, A2, A1

FINISH (See page 2 for full-color swatches)
Standard Finishes (B2P, B2W, BLP, BLW, WHP, WHW, SAP, VER)
Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMG, TFX, WCP, WIR)
Also available in RAL Finishes
Brass Finishes (MAC, POL, MIT)
Stainless Steel Finishes (MAC, POL)

LENS TYPE
12 - Soft Focus 13 - Rectilinear

SHIELDING
11 - Honeycomb Baffle

LOUVER
D - 30° Angle, Rectangular Pattern
G - 0° Angle, Rectangular Pattern

***Requires magnetic low voltage dimmer.**
****Please see Adjust-e-Lume photometry to determine desired intensity.**

B-K LIGHTING MADE IN THE USA 559-438-5800 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

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architect Hakki

P.O. Box 347184
Cleveland, OH 44134
phone 216.372.9047

Dorothy Wilson Family
Center
Wade Park & E 82
Cleveland, OH 44103

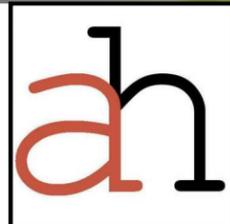
EXTERIOR LIGHTING

Date: DEC 5, 2021
Status: SCHEMATIC DESIGN

No.	Re:	Date

jln: 21056

A3.03



architect **Hakki**

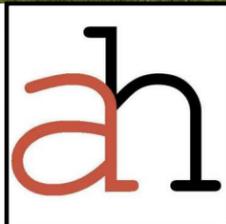
PO Box 347184
Cleveland OH 44134
(216) 372-9047
www.arch-hakki.com

View from the Northeast

Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



View from the Northeast



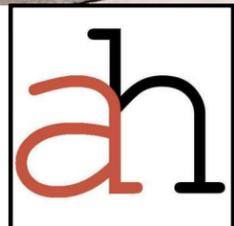
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Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



View from the Southeast



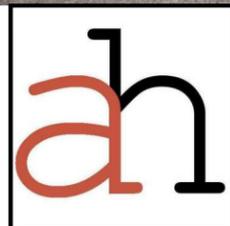
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Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



View from the Southeast



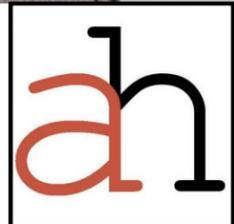
architect **Hakki**

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www.arch-hakki.com

Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



View from the Southeast



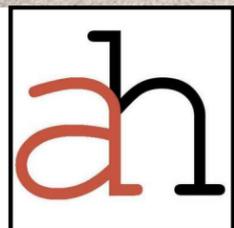
architect **Hakki**

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Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



View from the Southwest



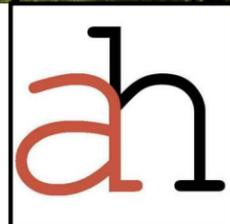
architect **Hakki**

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Cleveland OH 44134
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Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



View from the West



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PO Box 347184
Cleveland OH 44134
(216) 372-9047
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Dorothy Wilson Family Center
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Cleveland Ward 7



View from the West



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PO Box 347184
Cleveland OH 44134
(216) 372-9047
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Dorothy Wilson Family Center
Wade Park & E 82
Cleveland Ward 7



January 7, 2022

NW2021-042 – Abbey Avenue Apartments and Townhomes New Construction:

Seeking Schematic Design Approval

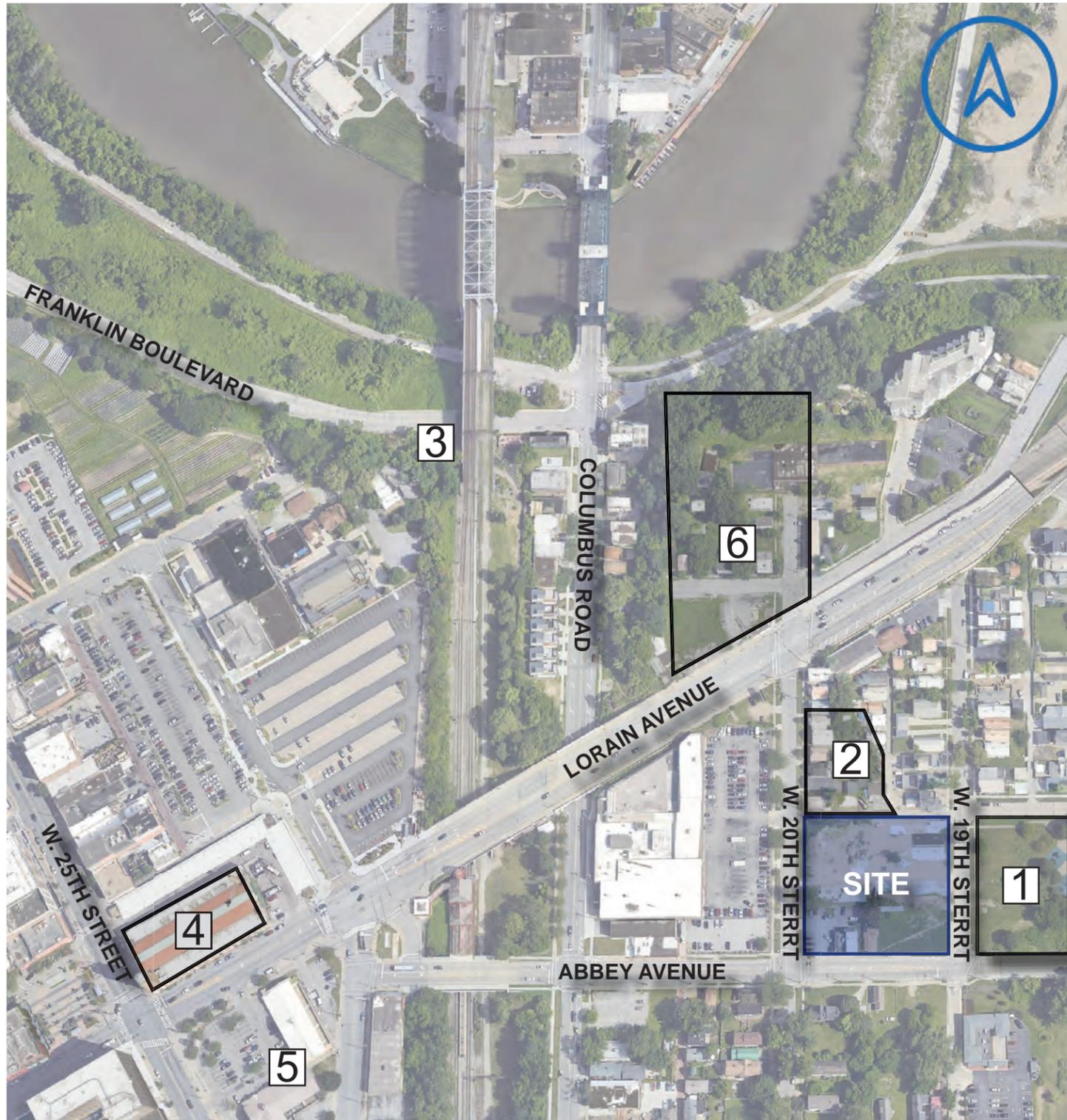
Project Address: 1910 Abbey Avenue

Presenter: Brandon Kline, Geis Construction

Note: the Planning Commission gave Conceptual Approval with Conditions to this project on December 3rd, 2021. The conditions were to make the retail component more substantial; give more thought to the design; and work with the community before you return.



NEIGHBORHOOD SITE PLAN - OVERALL
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



W. 20TH & SMITH TOWNHOMES



ABBAY PARK



WESTSIDE MARKET



METROPARKS RED LINE GREENWAY



WATERFORD BLUFFS



HARBOR BAY - INTRO

SITE CONTEXT

ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



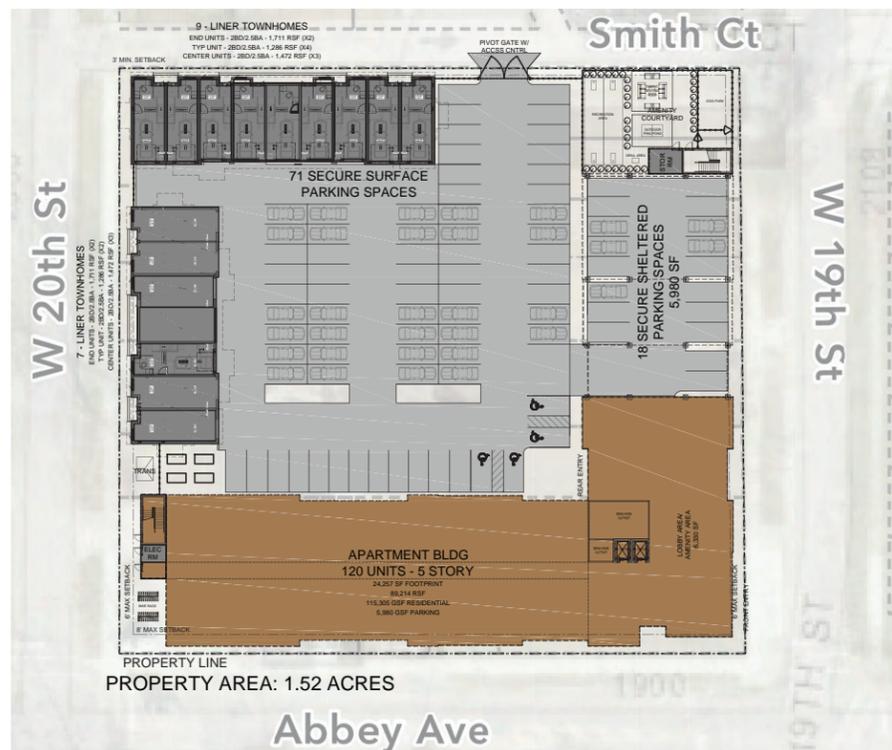


1

INITIAL DEVELOPMENT
CONCEPT PLAN
10-2021

124 Apartments
89 Parking Spaces

16 Townhomes
16 Parking Spaces

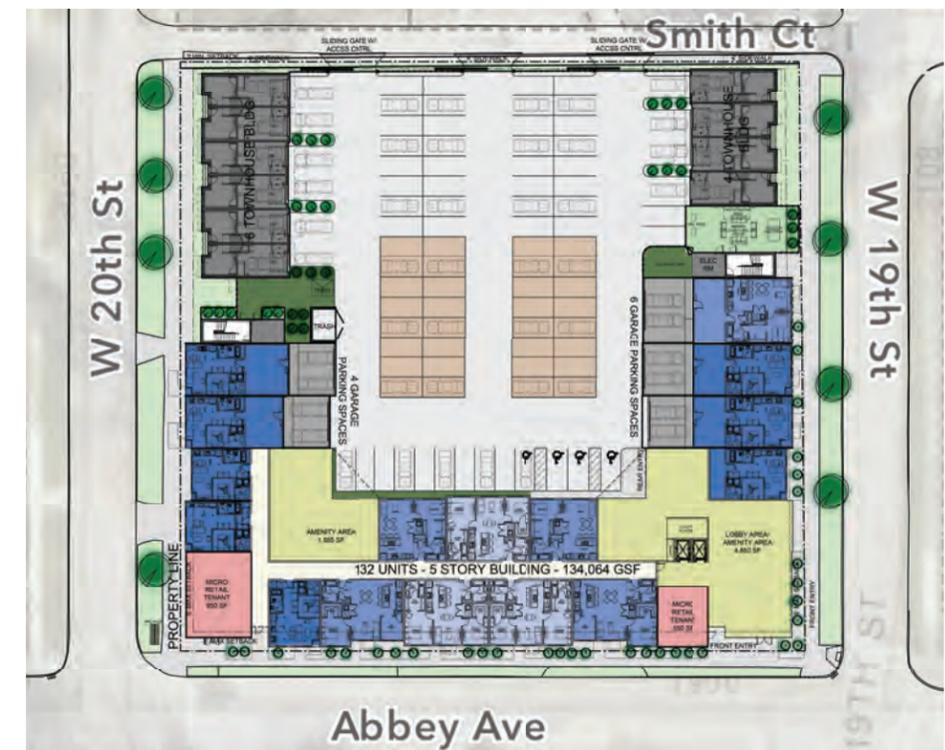


3

PREVIOUS
SITE PLAN
12-07-2021

132 Apartments
89 Parking Spaces

10 Townhomes
20 Parking Spaces

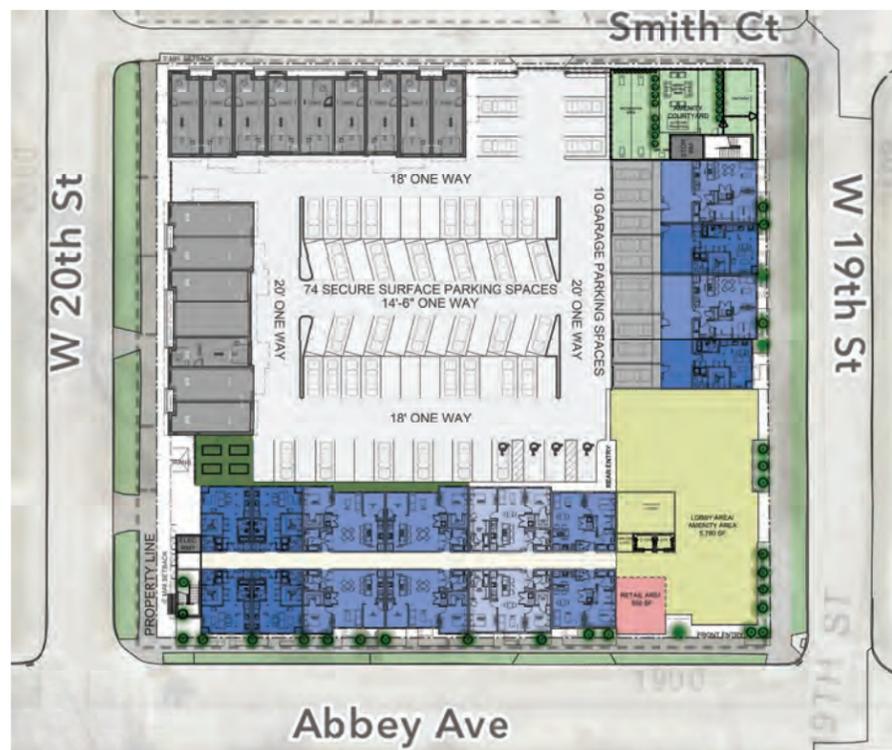


2

PREVIOUSLY
SUBMITTED
12-03-2021

124 Apartments
84 Parking Spaces

16 Townhomes
16 Parking Spaces

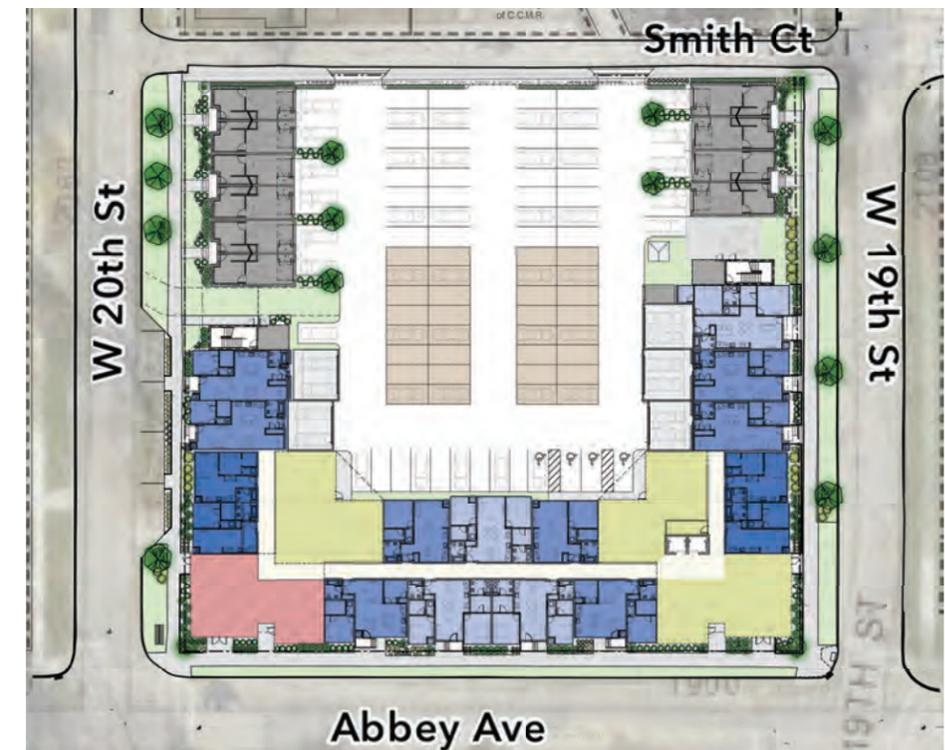


4

CURRENT
SITE PLAN
12-15-2021

132 Apartments
89 Parking Spaces

10 Townhomes
20 Parking Spaces



SITE PLAN PROGRESSION
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



LORAIN AVENUE

ADJACENT DEVELOPMENT UNDER CONSTRUCTION BY OTHERS

SMITH COURT

W. 20TH STREET

A

B

C

W. 19TH STREET

ABBAY PARK

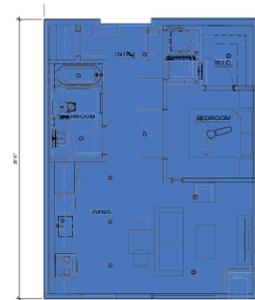
ABBAY AVENUE



CONCEPTUAL SITE MAP
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO

LEGEND

- STUDIO UNIT
(1) FULL BATH
- 1 BEDROOM UNIT
(1) FULL BATH
- 2 BEDROOM UNIT
(2) FULL BATH



A-1 STUDIO - 576 RSF



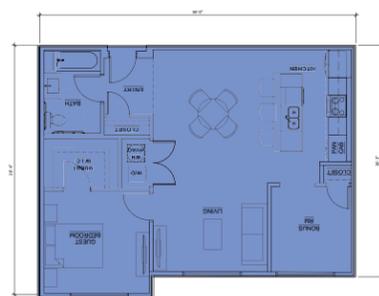
A-2 STUDIO - 631 RSF



B-1 1 BEDROOM - 735 RSF



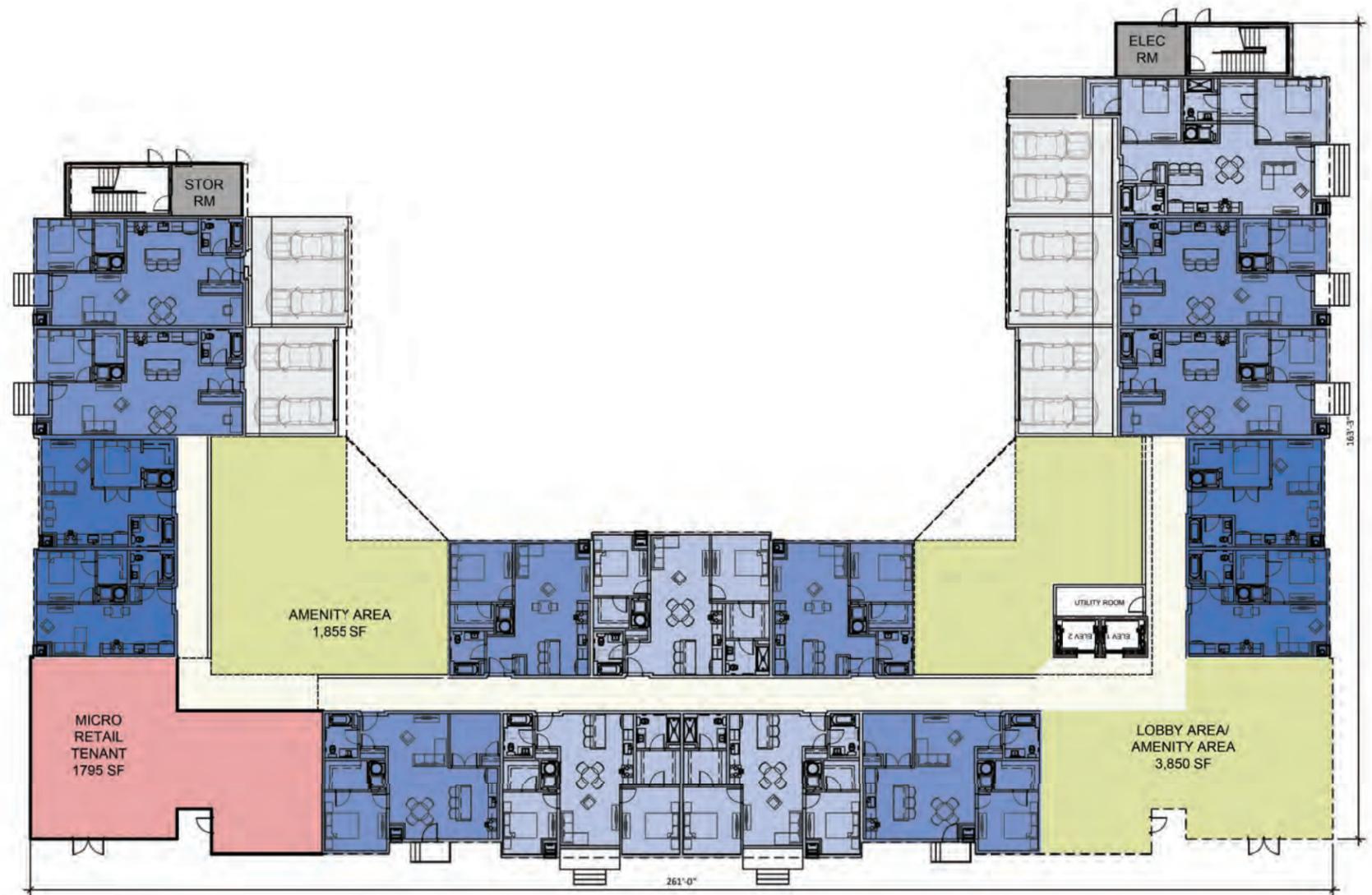
B-2 1 BEDROOM - 792 RSF



B-3 1 BEDROOM - 975 RSF



C-1 2 BEDROOM - 1,004 RSF

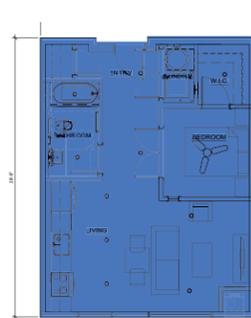


GROUND FLOOR PLAN



LEGEND

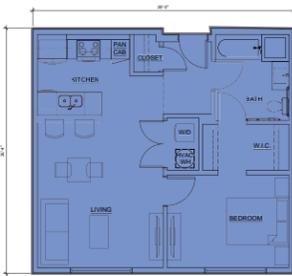
- STUDIO UNIT
(1) FULL BATH
- 1 BEDROOM UNIT
(1) FULL BATH
- 2 BEDROOM UNIT
(2) FULL BATH



A-1 STUDIO - 576 RSF



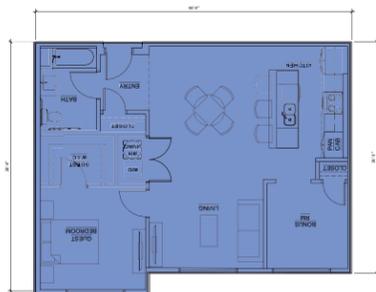
A-2 STUDIO - 631 RSF



B-1 1 BEDROOM - 735 RSF



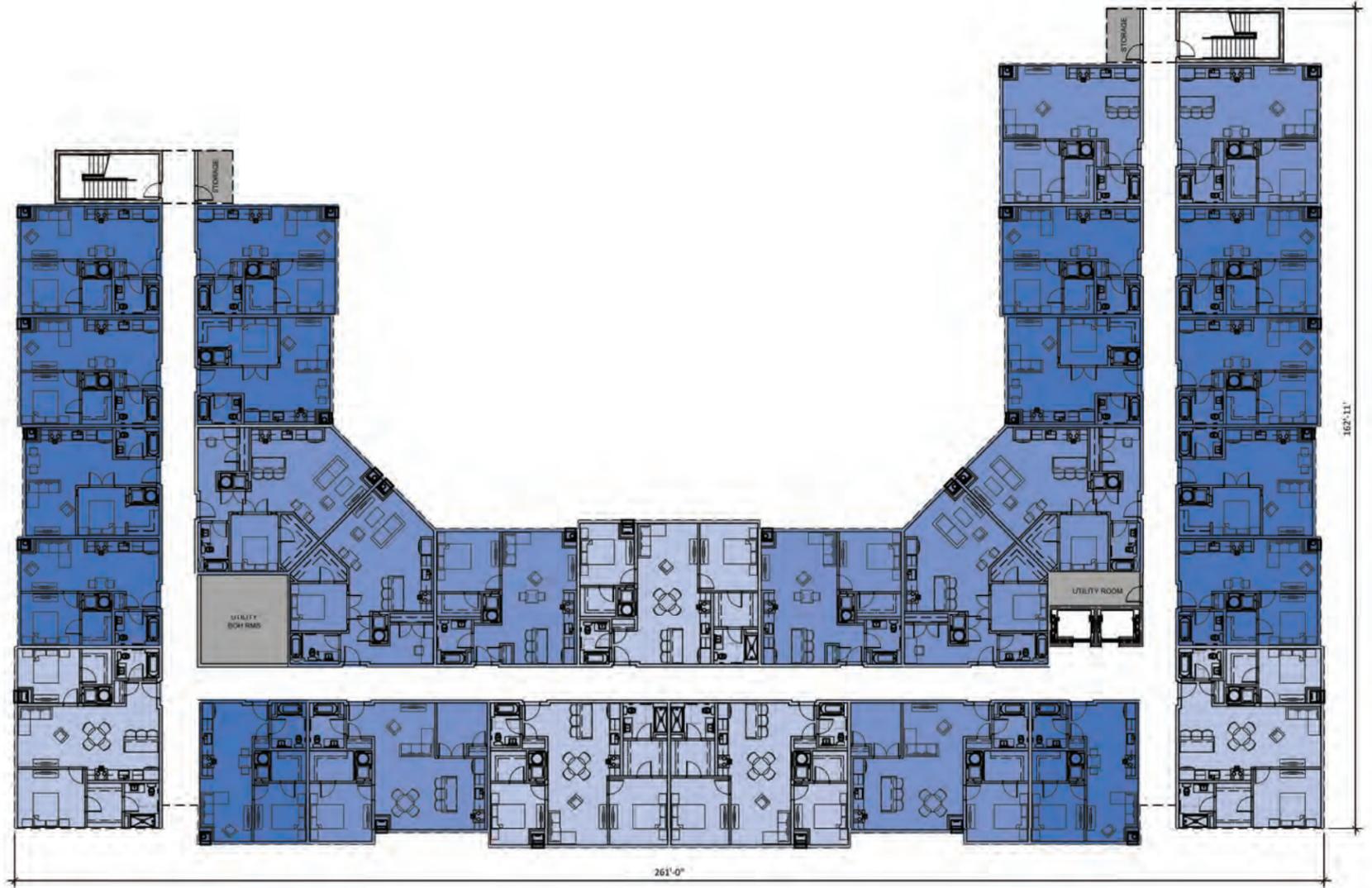
B-2 1 BEDROOM - 792 RSF



B-3 1 BEDROOM - 975 RSF



C-1 2 BEDROOM - 1,004 RSF

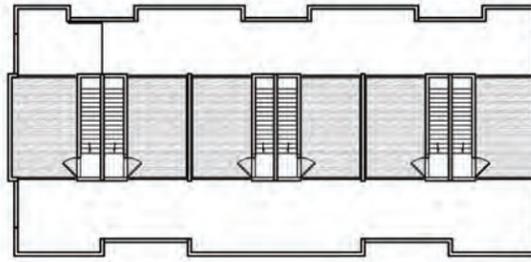


2ND - 5TH FLOOR PLANS

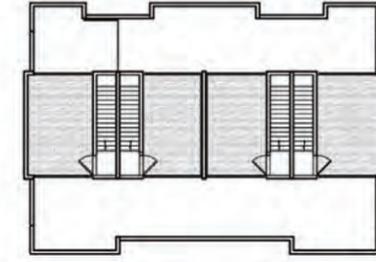


LEGEND

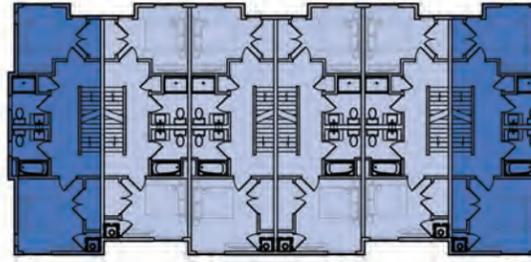
-  END TOWNHOUSE 2 BED / 2½ BATH + PENTHOUSE
-  TYPICAL TOWNHOUSE 2 BED / 2½ BATH



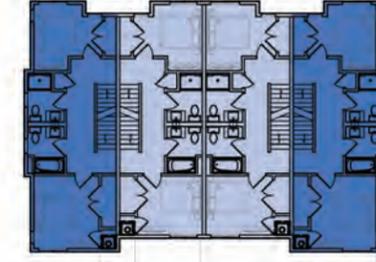
BUILDING 'B' ROOF PLAN



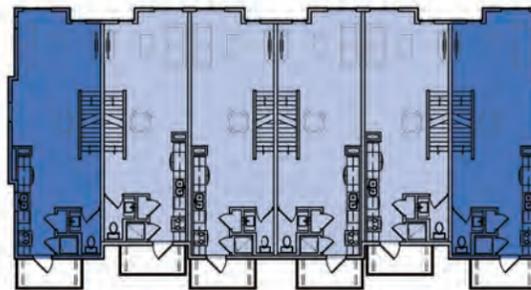
BUILDING 'A' ROOF PLAN



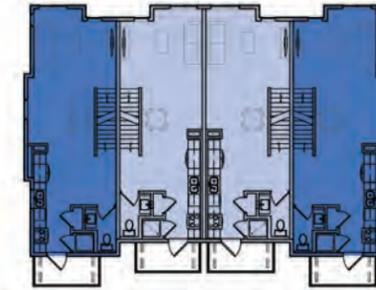
BUILDING 'B' 2ND FLOOR PLAN



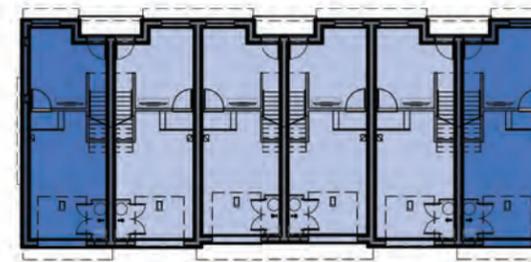
BUILDING 'A' 2ND FLOOR PLAN



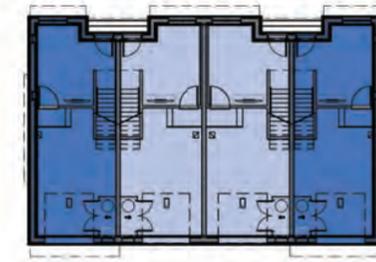
BUILDING 'B' 1ST FLOOR PLAN



BUILDING 'A' 1ST FLOOR PLAN



BUILDING 'B' GROUND FLOOR PLAN
6 UNIT PACK



BUILDING 'A' GROUND FLOOR PLAN
4 UNIT PACK

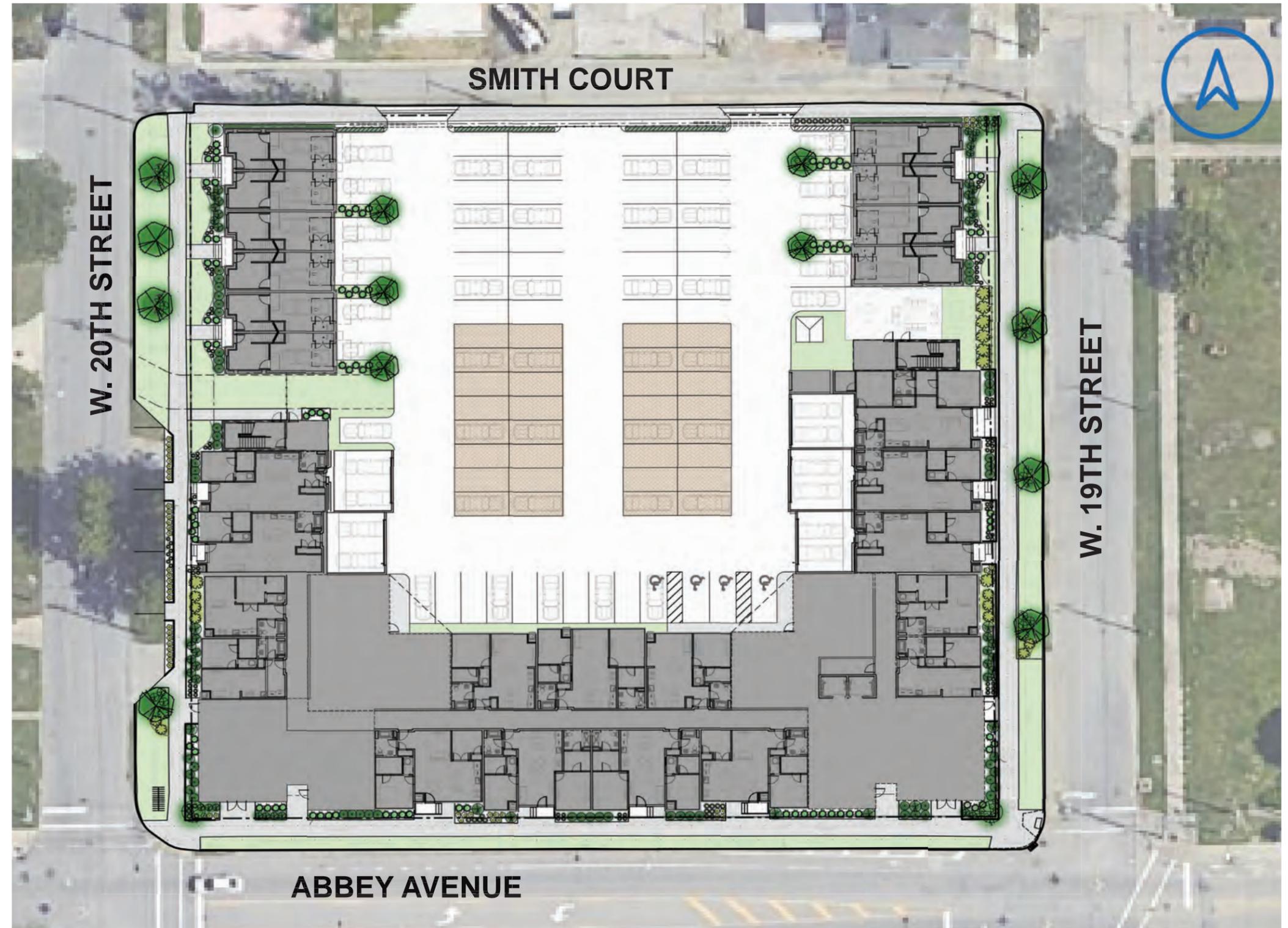
TOWNHOUSE FLOOR PLANS

ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



LEGEND

- 
ORNAMENTAL TREES
 - 15' MAX. HEIGHT, 15' FROM UTILITY POLES
 - 2" CALIPER
 - CRABAPPLE, REDBUD, CHERRY, TREE LILAC
- 
SMALL ORNAMENTAL TREE
 - MAGNOLIA, SERVICEBERRY, JAPANESE MAPLE
- 
SHRUBS - LARGE 30"-36"
 - DENSE YEW, VIBURNUM, JUNIPER, LILAC, NINEBARK
- 
SHRUBS - SMALL 18"-24"
 - SWEETSPIRE, BOXWOOD, JUNIPER, SPIRAEA, BARBERRY
- 
GRASSES/PERENNIALS/ GROUNDCOVER - 1 GAL
 - DAYLILY, CATMINT, DWARF FOUNTAIN GRASS, WINTER CREEPER



①



LOOKING NORTHWEST ON ABBEY AVENUE AND W. 19TH STREET

①



LOOKING SOUTHEAST ON SMITH COURT AND W. 20TH STREET

②



LOOKING NORTHWEST ON ABBEY AVENUE AND W. 19TH STREET

②



LOOKING SOUTHEAST ON SMITH COURT AND W. 20TH STREET



PREVIOUSLY SUBMITTED REDNERINGS - FOR REFERENCE ONLY
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



RENDERING - LOOKING NORTHWEST ON ABBEY AVENUE AND W. 19TH STREET
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO





RENDERING - LOOKING NORTHEAST ON ABBEY AVENUE AND W. 20TH STREET
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO





RENDERING - LOOKING SOUTHEAST ON SMITH COURT AND W. 20TH STREET
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO





RENDERING - LOOKING SOUTHWEST ON SMITH COURT AND W. 19TH STREET
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO





APARTMENT BUILDING



FIBER CEMENT
LAP SIDING
"ARCTIC WHITE"



FIBER CEMENT
LAP SIDING
"AGED PEWTER"



UTILITY BRICK
4x4x12
"RICH RED"



CAPTURED FIBER
CEMENT PANELS WITH REVEALS
"PEARL GRAY"



METAL SIDING
WOOD GRAIN
"DARK WALNUT"



BALCONY/RAILING
ANODIZED ALUMINUM
"BLACK"



ANDERSON
SLIDING DOOR
"BLACK"



ANDERSON
WINDOW SYSTEM
"BLACK"



ALUMINUM
WINDOW SYSTEM
"BLACK"



TOWNHOUSE BUILDING





SOLDIER COURSE
BRICK DETAIL



RECESSED BRICK
LAYERING



BLACK ALUMINUM
EXTERIOR FENCE



ENTRY STOOP



MATERIAL LAYERING



PERMEABLE PAVER
PARKING SPACES

EXTERIOR KEY DETAILS

ABBAY AVENUE APARTMENTS | CLEVELAND OHIO





W. 20TH STREET LOOKING EAST



W. 19TH STREET - LOOKING WEST



BUILDING 'C' ELEVATIONS - 124 APARTMENT UNITS
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



EAST ELEVATION - W. 19TH STREET



WEST ELEVATION - W. 20TH STREET

T/ PARAPET @ +59'-11" AFF



FINISHED GRADE @ +0'-0" AFF

SOUTH ELEVATION - ABBEY AVENUE



BUILDING 'C' ELEVATIONS - 124 APARTMENT UNITS
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

SOUTH ELEVATION



EAST ELEVATION

NORTH ELEVATION



BUILDING 'B' ELEVATIONS - 6 UNIT
ABBAY AVENUE APARTMENTS | CLEVELAND OHIO



FW2021-033 – Cleveland Muslim Community Center New Addition:

Seeking Conceptual Approval

Project Address: 4600 Rocky River Drive

Project Representative: Leon Sampat, LS Architects

REV.	DATE

PARKING CALCULATIONS:

NEW GYM:
AS PER TABLE 349.04:
1 FOR EACH 6 SEATS = 12 PARKING SPACES

WEIGHT ROOM:
1 FOR EACH 150 SQUARE FEET OF GROSS FLOOR AREA, PLUS 1 FOR EACH EMPLOYEE. = 10 PARKING SPACES

EX. MOSQUE:
1 FOR EACH 6 SEATS = 133 PARKING SPACES

EX. SCHOOL:
1 FOR EACH STAFF MEMBER AND OTHER EMPLOYEES = 10

PARKING SPACES REQUIRED: 165 PARKING SPACES
PARKING SPACES PROVIDED: 165 PARKING SPACES

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE
MPR	2	MALUS 'PURPLE PRINCE'	PURPLE PRINCE CRABAPPLE	15'-20'
PAN	5	PICEA ABIES 'NIDIFORMIS'	SPRUCE 'BIRD'S NEST'	15'
IRB	31	IMPERATA CYLINDRICA 'RED BARDON'	JAPANESE BLOODGRASS	12"-24"
VC	8	VIBURNUM X 'KOREAN SPICE'	VIBURNUM 'KOREAN SPICE'	24"-30"
ES	64	ECHECHERIA 'SOMERERO'	SOMERERO CONEFLOWER (VARIOUS)	15"
APB	3	ACER PALMATUS 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	15'-20'
MCC	3	MALUS 'CORALBURST CRAB'	CORALBURST CRABAPPLE	10'-15'

EXISTING TREE LEGEND

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE
JCH	75	JUNIPERUS C. 'HETZER COLUMNARIS'	JUNIPER 'HETZI'	5'-8'

NOTE:
TRANSPLANT 7 JUNIPERS ON EASTERN SIDE OF SITE TO MATCH NEW PLAN
KEEP FLOWER BOXES ALONG EASTERN SIDE OF SITE



SPRUCE 'BIRD'S NEST' JAPANESE BLOODGRASS



SOMERERO CONEFLOWER (VARIOUS)



JUNIPER 'HEZI'



PURPLE PRINCE CRABAPPLE



BLOODGOOD JAPANESE MAPLE



VIBURNUM 'KOREAN SPICE'



CORALBURST CRABAPPLE

LS ARCHITECTS
22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE: 26-403-9654 FAX: 440-76-8637



LEON S. SAMPAT
LICENSE # 13053
EXPIRATION DATE 12/31/2021

**CLEVELAND MUSLIM
COMMUNITY CENTER**
4600 ROCKY RIVER RD,
CLEVELAND, OH

JOB NO: 21-265

DATE: 12.15.2021

ISSUE: -

SHEET:

SP.1



SITE PLAN
SCALE: 1/8" = 1'-0"



REV.	DATE

LS ARCHITECTS
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 FAIRVIEW PARK, OHIO 44126
 PHONE 216-403-9654 FAX 440-76-8637



LEON SAMPAT
 LICENSE# 13053
 EXPIRATION DATE 12/31/2021

**CLEVELAND MUSLIM
 COMMUNITY CENTER**
 4600 ROCKY RIVER RD,
 CLEVELAND, OH

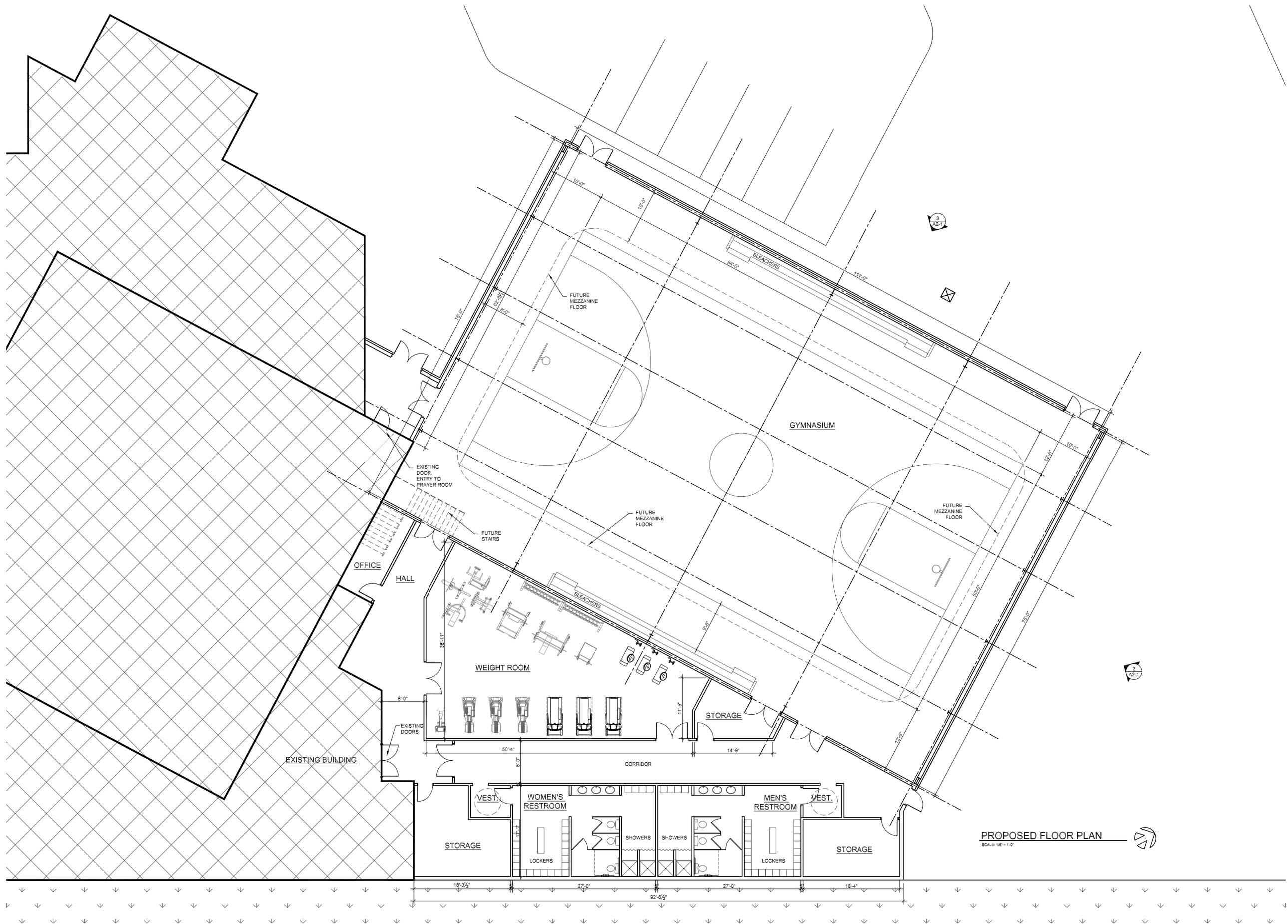
JOB NO: 21-265

DATE: 12.15.2021

ISSUE: -

SHEET:

A1.0



REV.	DATE

LS ARCHITECTS
 22082 LORAIN ROAD
 FAIRVIEW PARK, OHIO 44126
 PHONE 26-403-9654 FAX 440-76-8897



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 CLEVELAND, OH

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 SHEET:

A1.1

REV.	DATE



MASONRY FIELD & BAND
COLOR: TO MATCH EXISTING



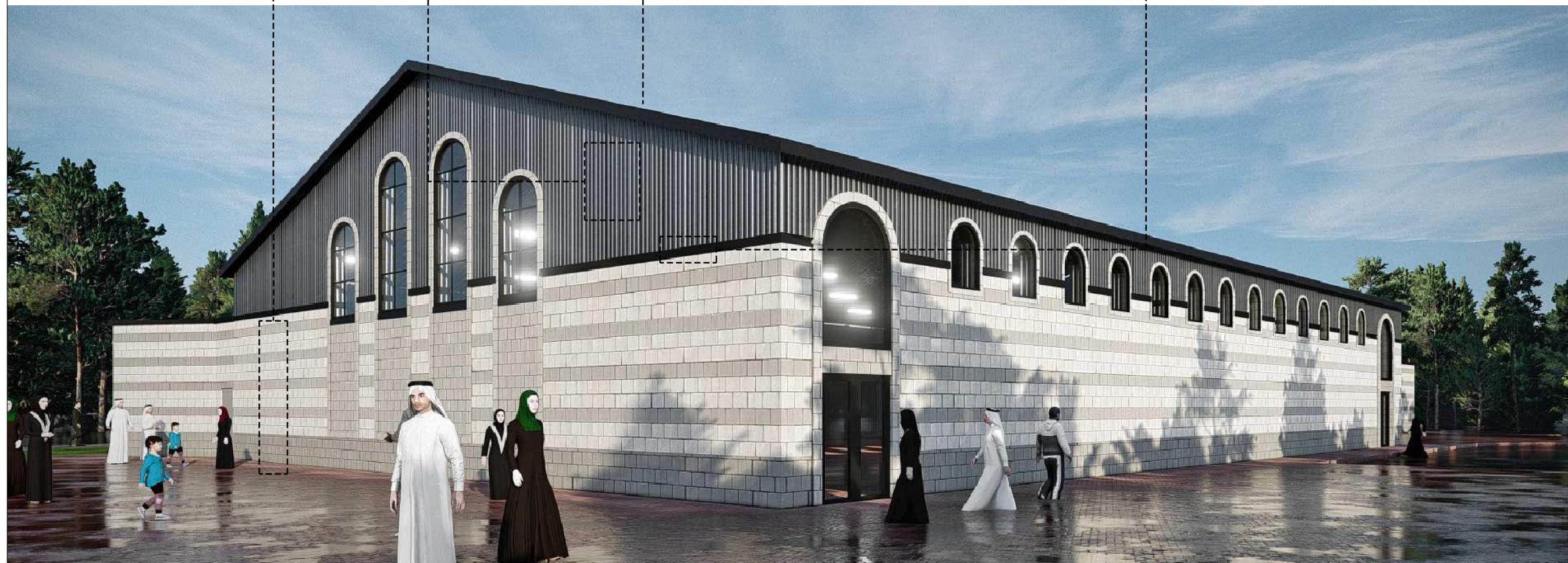
NUCOR METAL SIDING WITH
PAINTABLE SEAM
COLOR: SLATE GRAY



NUCOR STANDING SEAM METAL ROOF
COLOR: MIDNIGHT BLACK



ALUM BREAKMETAL FASCIA
COLOR: TO MATCH EXISTING



LS ARCHITECTS
 22082 LORAIN ROAD
 FAIRVIEW PARK, OH 44126
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 SHEET:

MB

Downtown | Flats Design Review Case



January 7, 2022

DF2021-032 – Rock ‘n Roll Hall of Fame Music Plaza Signage:
Seeking Final Approval

Project Address: 1100 Rock ‘n Roll Blvd

Project Representative: Amanda Caldwell, Ideal Due Diligence



December 8, 2021

Cleveland City Planning Commission
601 Lakeside Avenue, Room 501
Cleveland, Ohio 44114
Phone: 216-664-3815 Fax: 216-664-3281
Website: <http://planning.city.cleveland.oh.us/>

**RE: Rock and Roll Hall of Fame – LED Display Signage
1100 Rock and Roll Blvd, Cleveland, OH 44114**

Thank you and your team for your time in reviewing the submittal for the project as noted above. Below is a written project summary for your review and approval.

The Rock & Roll Hall of Fame is proposing the installation of a 9'-5" high by 22'-3" wide LED video display and tension graphic face. The sign will be placed on the existing platform located by the stairs at the corner of Rock and Roll Blvd and E 9th Street. The materials will match the existing platform. Finish is black semi-gloss paint. The edges to be perforated aluminum painted semi-gloss black. The sign will be 10,120W total display power.

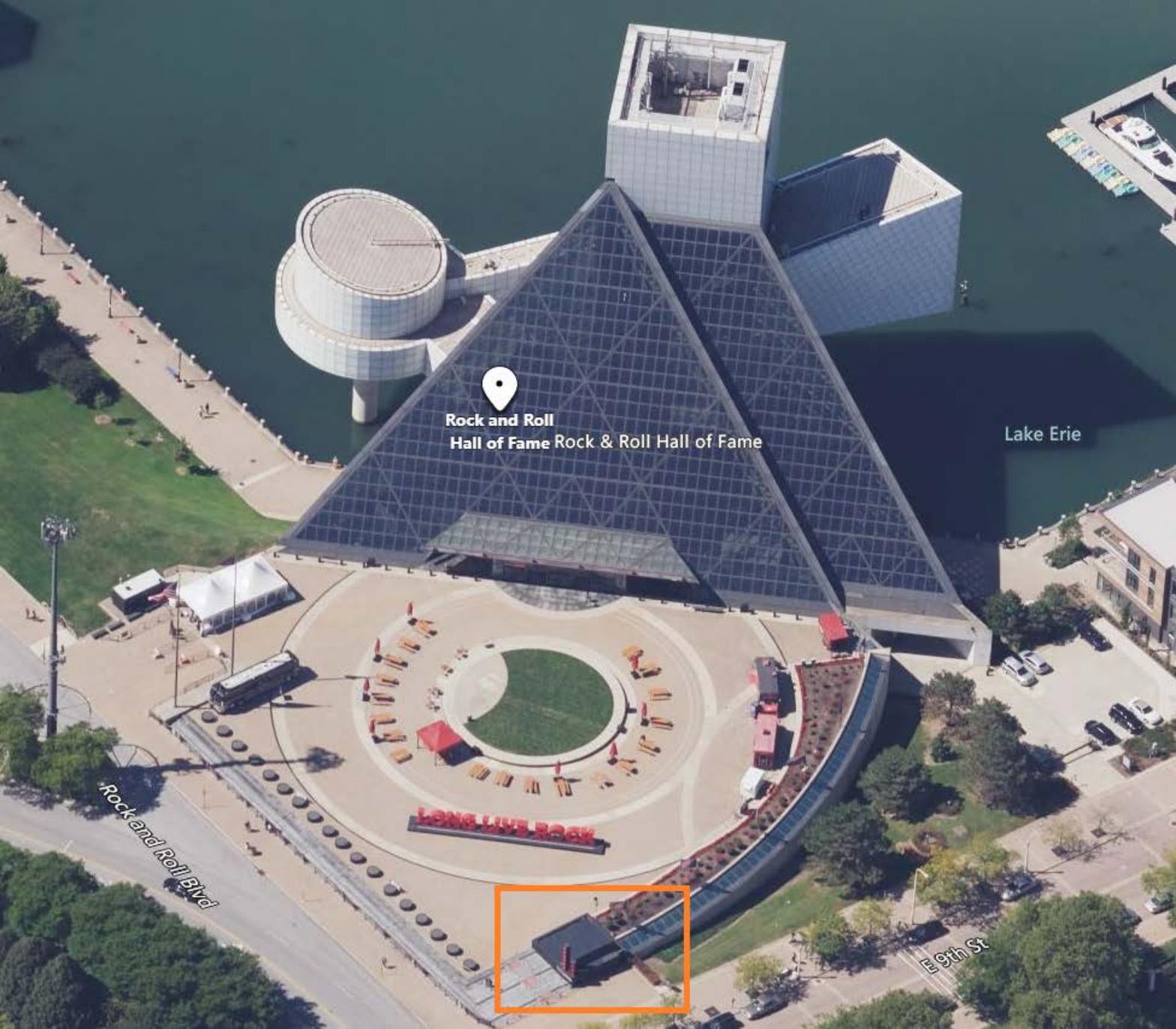
The sign will operate continuously with promotional information and for upcoming events at the venue.

I trust the above information and corresponding drawing submittal satisfactorily address the requirements for review and approval, however if there is any additional information we can provide, please do not hesitate to contact us.

Respectfully Submitted,

A handwritten signature in blue ink that reads 'Amanda J. Caldwell'. The signature is written in a cursive, flowing style.

Amanda Caldwell, Owner / Founder
ideal due diligence
Office: 513.389.1059
Cell: 513.319.9184
Email: amandac@idealdd.com



Rock and Roll
Hall of Fame Rock & Roll Hall of Fame

Lake Erie

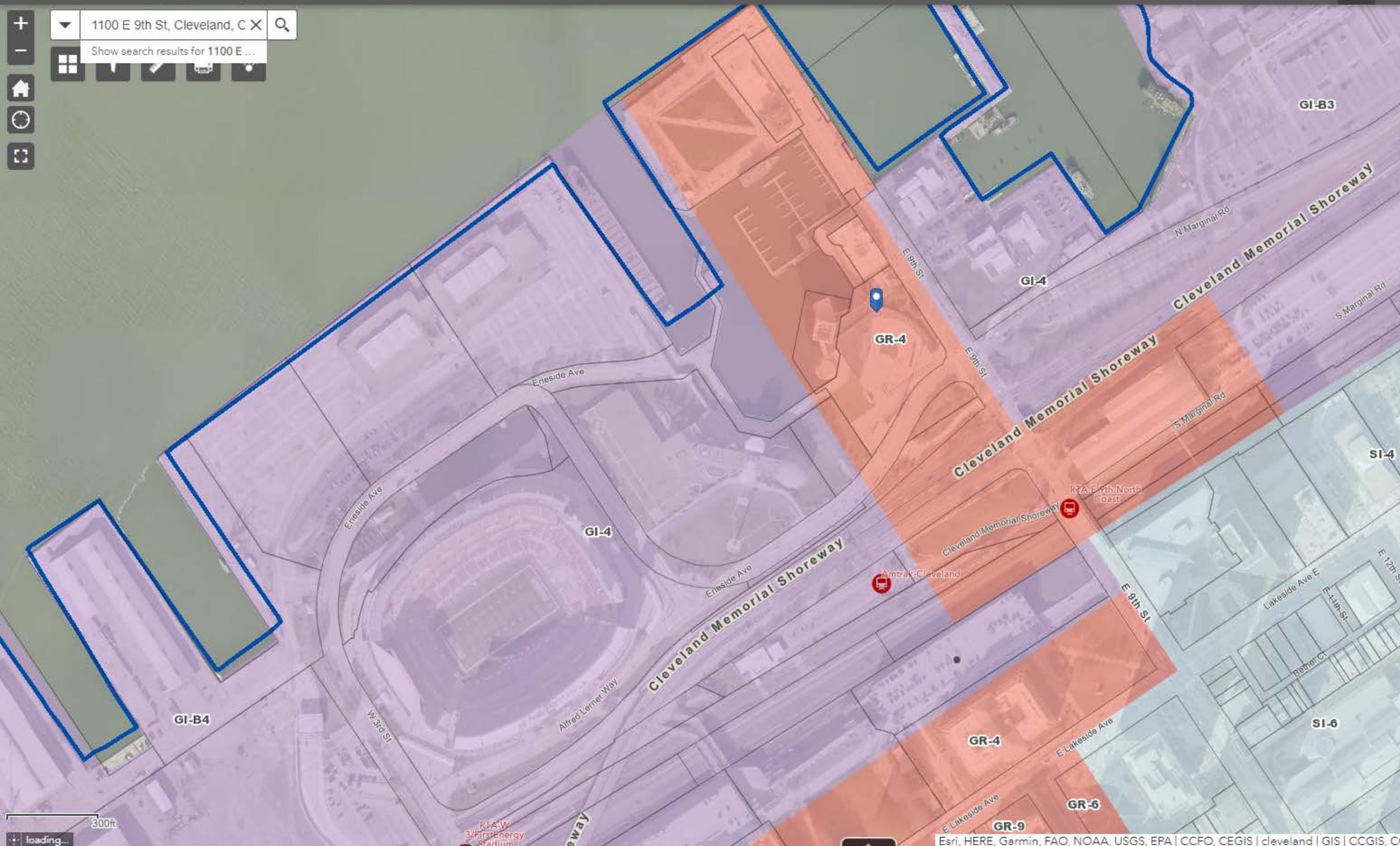
Rock and Roll Blvd

E 9th St



1100 E 9th St, Cleveland, C X

Show search results for 1100 E ...



Legend

Cleveland Parcels (MyPlace)

City Planning Layer Group

Planner Assignment Areas

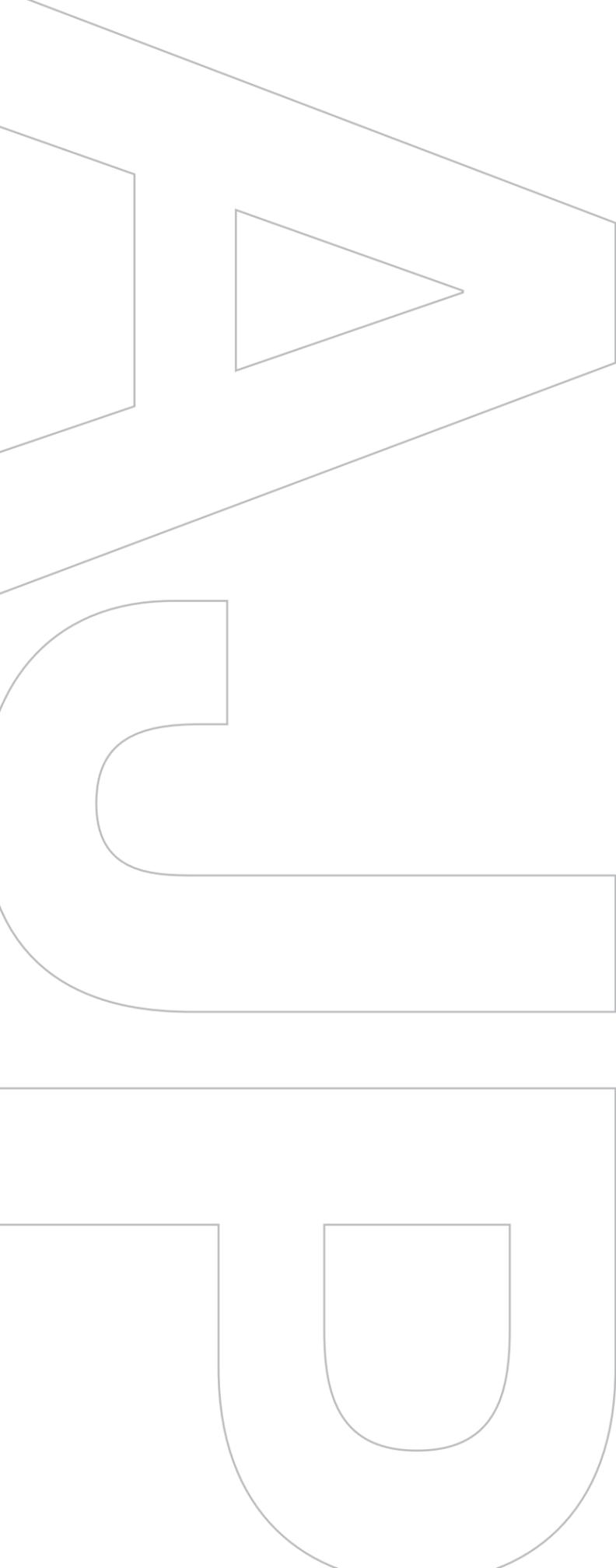
PUD & Site Specific

Overlay Frontage Lines

- PRO Special Sign Provision
- PRO Street Frontage
- Urban Frontage Line

Zoning

- DR - Downtown Residential
- GI - General Industry
- GR - General Retail Business
- IR - Institutional-Research District
- L1F - Limited One Family
- 1F - One Family
- LLR - Limited Retail Business
- LR - Local Retail Business
- LMF - Limited Multi-Family
- MF - Multi-Family
- MMUD - Midtown Mixed-Use District
- OSR - Open Space Recreation
- P - Parking District
- RO - Residence Office
- RI - Residence-Industry
- SI - Semi-Industry
- SC - Shopping Center
- RA - Townhouse
- 2F - Two Family
- UR - University (College) Retail
- UI - Unrestricted Industry
- UGD - Urban Garden District



**ANTHONY
JAMES
PARTNERS.com**

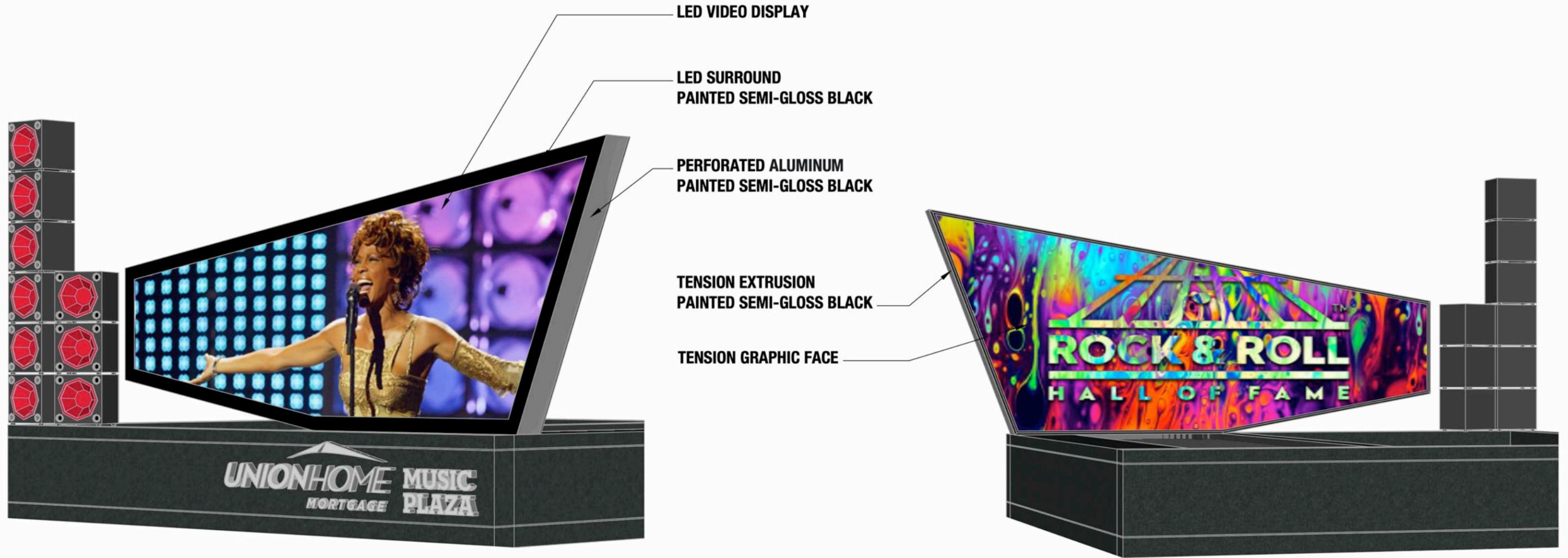
OWNER'S REPRESENTATIVE | AV CONSULTANT

ROCK & ROLL HALL OF FAME, MUSIC PLAZA
RFP RENDERINGS

09.07.21

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BLACK
PMS PROCESS BLACK C
SEMI-GLOSS PAINT



VIDEO DISPLAY ASSET LAYOUT

**ANTHONY
JAMES
PARTNERS**

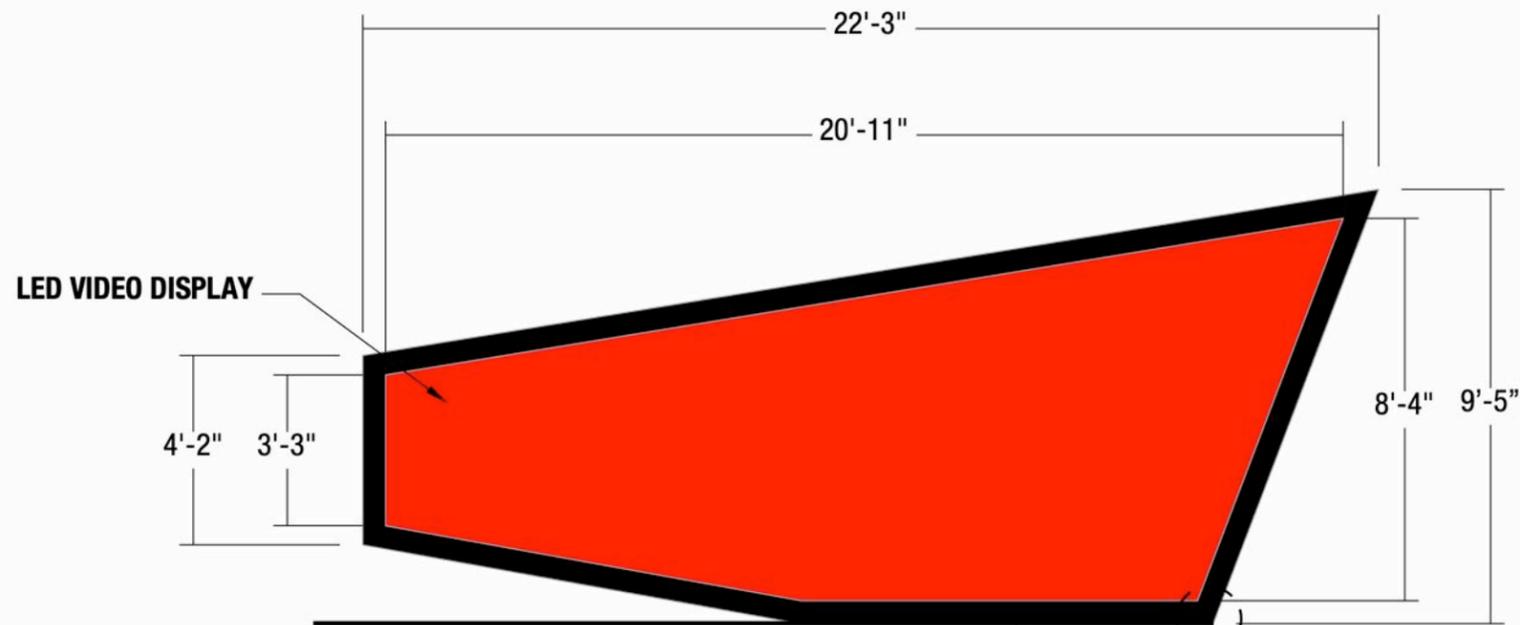
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RICHMOND, VIRGINIA 23233 www.anthonyjamespartners.com

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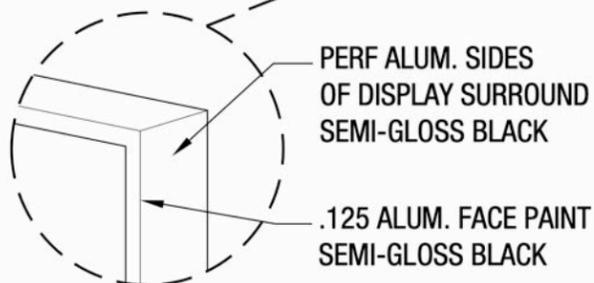
ROCK & ROLL HALL OF FAME, MUSIC PLAZA

RFP RENDERINGS

BLACK
PMS PROCESS BLACK C
SEMI-GLOSS PAINT

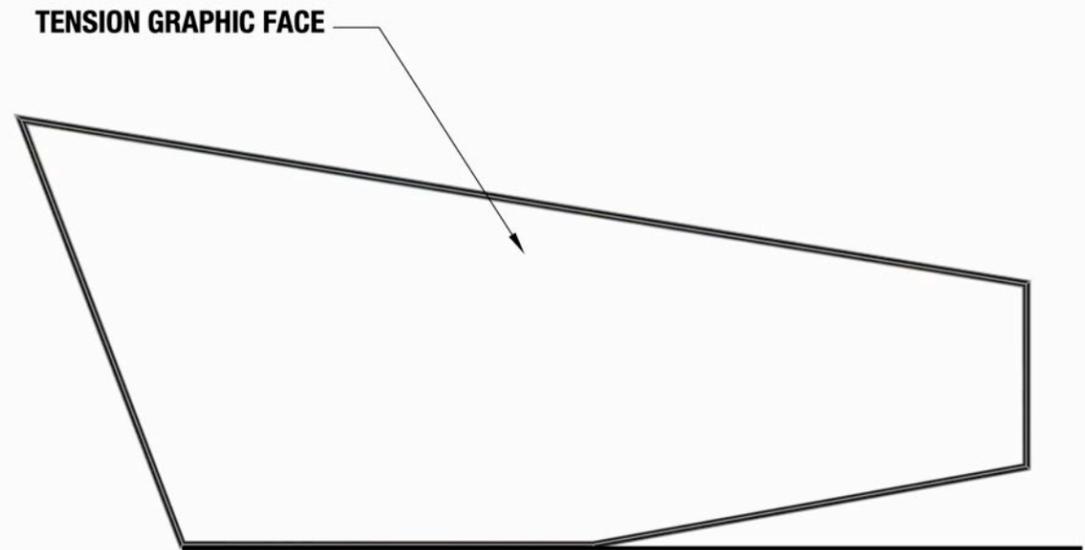


ELEVATION FRONT
 1/4" = 1'-0"

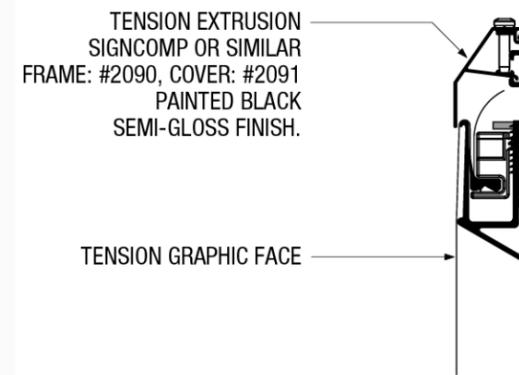


LED DETAIL (SURROUND)
 NTS

DISPLAY TRIM MINIMAL DESIGN WIDTH ENOUGH TO COVER STAGGER STEP OF LED MODULES AND EASILY REMOVED WHEN SERVICING.



ELEVATION BACK
 1/4" = 1'-0"



NON-ILLUMINATED SIGNAGE DETAIL
 NTS

VIDEO DISPLAY DETAILS

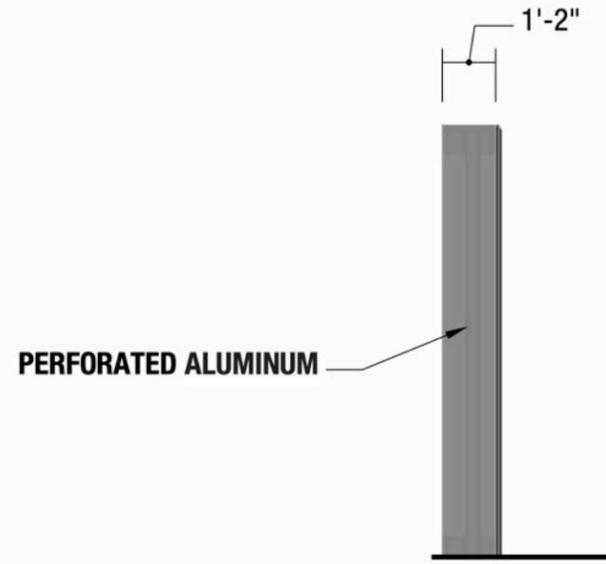
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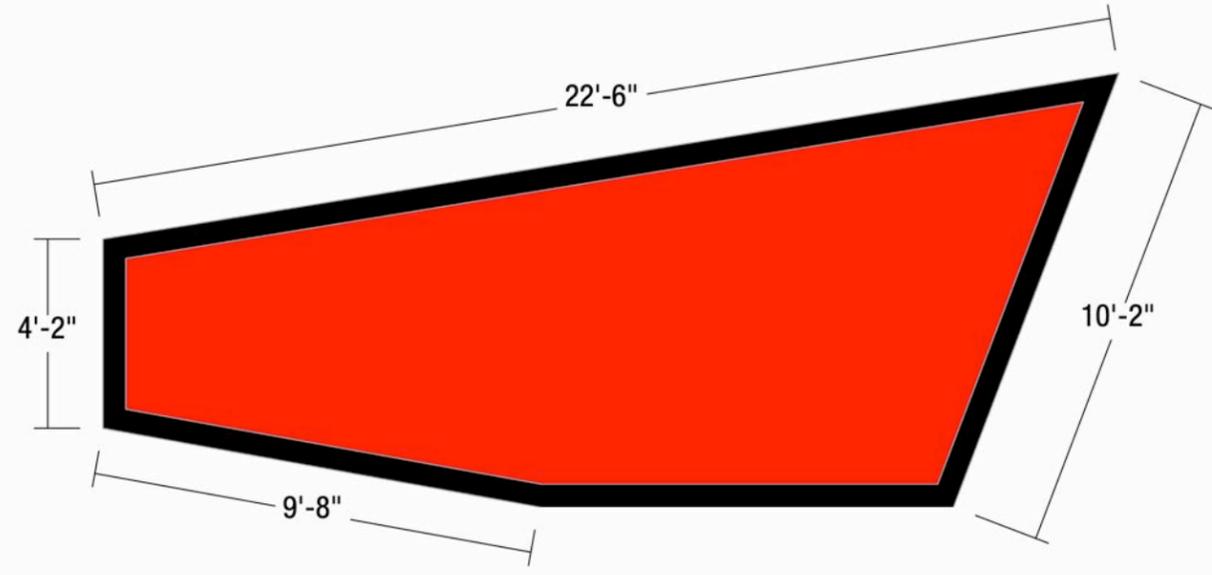
ROCK & ROLL HALL OF FAME, MUSIC PLAZA

RFP RENDERINGS



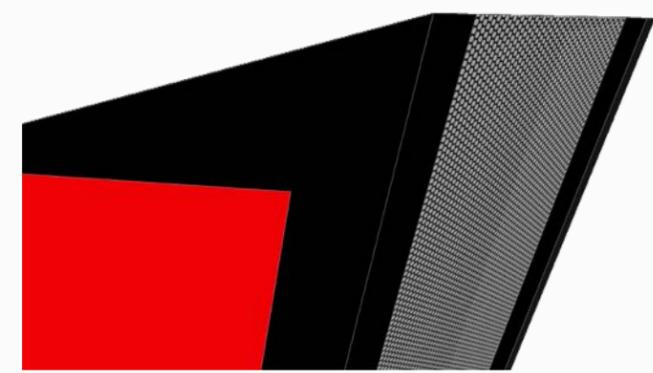
PERFORATED ALUMINUM

○ ELEVATION SIDE
1/4" = 1'-0"

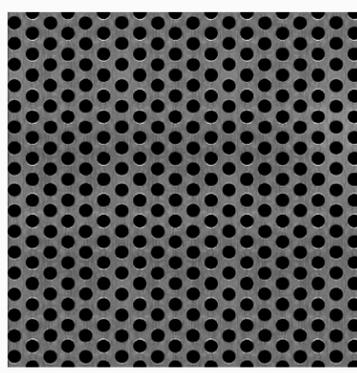


○ ELEVATION FRONT
1/4" = 1'-0"

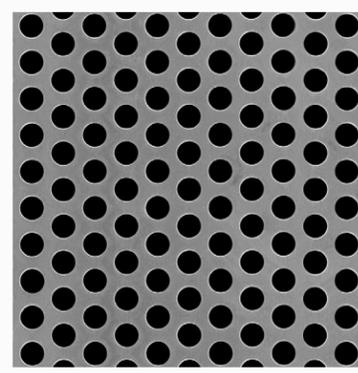
PERFORATED ALUMINUM DETAIL



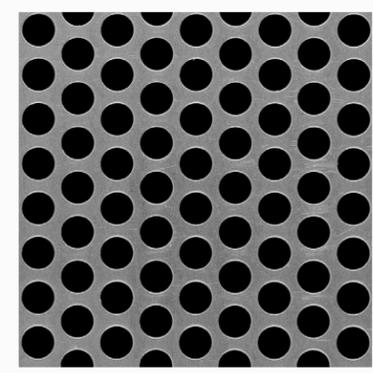
PERFORATED ALUMINUM OPTIONS



Round, Aluminum, Alloy 3003-H14, .1250" Thick (8 Gauge), 1/4" Round on 3/8" Staggered Centers, 40% Open Area



Round, Aluminum, Alloy 3003-H14, .1250" Thick (8 Gauge), 3/8" Round on 9/16" Staggered Centers, 40% Open Area



Round, Aluminum, Alloy 3003-H14, .1250" Thick (8 Gauge), 1/2" Round on 11/16" Staggered Centers, 48% Open Area

VIDEO DISPLAY SIDE DETAILS

**ANTHONY
JAMES
PARTNERS**

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ROCK & ROLL HALL OF FAME, MUSIC PLAZA

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RFP RENDERINGS



VIDEO DISPLAY PHOTO RENDERING

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ROCK & ROLL HALL OF FAME, MUSIC PLAZA

RFP RENDERINGS



VIDEO DISPLAY PHOTO RENDERING

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ROCK & ROLL HALL OF FAME, MUSIC PLAZA

RFP RENDERINGS

GENERAL REQUIREMENTS

- A. GENERAL:
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT NECESSARILY SHOW ALL OFFSETS AND FITTINGS THAT WILL BE REQUIRED. COORDINATE CAREFULLY WITH EXISTING UTILITIES, EQUIPMENT AND STRUCTURE.
 - IT IS THE GENERAL INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT THE CONTRACTOR FURNISH AND INSTALL A COMPLETE AND WORKABLE ELECTRICAL SYSTEM IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND TO THE SATISFACTION OF THE ARCHITECT, ENGINEER AND OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL FIELD CONDITIONS PRIOR TO PLACING BID, PURCHASING EQUIPMENT OR MATERIALS AND COMMENCEMENT OF ANY WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES FOR RESOLUTION.
 - REPORT ANY OBSERVED CODE VIOLATIONS OF EXISTING SYSTEMS TO ENGINEER.
 - THE CONTRACTOR SHALL FURNISH, TO THE JOBSITE, AND INSTALL ALL EQUIPMENT AND MATERIALS SPECIFIED IN THE TECHNICAL SECTIONS OF THIS SPECIFICATION. THE INSTALLATION SHALL INCLUDE ALL ACCESSORIES REQUIRED TO ASSURE A COMPLETE AND WORKABLE INSTALLATION.
 - THE WORK SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, PERMITS, INSPECTION FEES, SERVICES AND ALL NECESSARY RELATED ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
 - BEFORE SUBMITTAL OF BID, THOROUGHLY EXAMINE THE SITE. NO CLAIM FOR EXTRA COMPENSATION WILL BE RECOGNIZED IF DIFFICULTIES ARE ENCOUNTERED WHICH AN EXAMINATION OF SITE CONDITIONS, PRIOR TO EXECUTING CONTRACT WOULD HAVE REVEALED.
- B. CODE AND REGULATIONS: THE ENTIRE INSTALLATION SHALL CONFORM WITH ALL PERTINENT ORDINANCES, CODES AND REGULATIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION, THE APPLICABLE VERSION OF THE NATIONAL ELECTRICAL CODE (NEC) PER JURISDICTION AND OTHER REGULATORY BODIES HAVING JURISDICTION OVER THIS CLASS OF WORK.
- C. COORDINATION: ELECTRICAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL ELECTRICAL OUTAGES WITH THE OWNER, A MINIMUM OF TWO WEEK (14-DAYS) PRIOR TO SHUTDOWN.
- D. SHOP DRAWINGS AND PRODUCT DATA
- ALL EQUIPMENT MATERIALS SHALL BE AS SPECIFIED HEREIN.
 - THE FOLLOWING MATERIALS AND EQUIPMENT SHALL BE SUBMITTED:
 - FIRESTOPPING MATERIALS.
 - PANELBOARDS & CIRCUIT BREAKERS.
 - TRANSFORMERS
 - DISCONNECT SWITCHES.
 - DEVICES, FACEPLATES AND BOXES.
 - TELECOMMUNICATIONS OUTLETS & CABLING
 - BUILDING POWER WIRING AND CONDUIT.
- E. GUARANTEE: THE ENTIRE INSTALLATION SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, BY THE OWNER, UNLESS OTHERWISE SPECIFIED, AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP, IN ACCORDANCE WITH THE TERMS OF THE CONTRACT. GUARANTEE SHALL COVER THE REPLACEMENT, WITHOUT COST TO THE OWNER OF ANY AND ALL ITEMS THAT SHALL BECOME DEFECTIVE WITHIN THE STATED TIME.
- F. REMOVAL OF RUBBISH: PERIODICALLY AND AT THE COMPLETION OF THE WORK CONTEMPLATED UNDER THESE SPECIFICATIONS, THE CONTRACTOR SHALL REMOVE FROM THE BUILDING AND SITE ALL RUBBISH AND ACCUMULATED MATERIALS OF WHATEVER NATURE NOT CAUSED BY OTHER TRADES, AND SHALL LEAVE THE WORK IN A CLEAN, ORDERLY AND ACCEPTABLE CONDITION.
- G. MATERIALS AND EQUIPMENT: ALL EQUIPMENT OR APPARATUS OF ANY ONE SYSTEM MUST BE THE PRODUCT OF ONE MANUFACTURER, OR EQUIVALENT PRODUCTS OF A NUMBER OF MANUFACTURERS WHICH ARE SUITABLE FOR USE IN A UNIFIED OR ASSEMBLED SYSTEM. ALL MATERIALS AND EQUIPMENT TO BE FURNISHED UNDER THIS CONTRACT SHALL BE NEW.
- H. EQUIPMENT SUPPORTS AND ACCESS: FURNISH AND INSTALL ALL STRUCTURAL STEEL MEMBERS, HANGERS AND SUPPORTS AS REQUIRED FOR SUPPORT OF EQUIPMENT AND MATERIALS (CONDUIT, EQUIPMENT, DEVICES, ETC.) IN ACCORDANCE WITH INDUSTRY STANDARDS. EXTERIOR SUPPORTS SHALL BE GALVANIZED STAINLESS STEEL.
- I. FINISH AND ACCESSORIES: THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL WORK AND ALL FINISH CONDITIONS AFFECTING HIS WORK. HE SHALL ARRANGE HIS WORK IN ACCORDANCE WITH SUCH CONDITIONS, FURNISHING ALL ACCESSORIES TO MEET SUCH CONDITIONS.
- J. CUTTING, PATCHING AND PAINTING:
- PROVIDE ALL CUTTING AND PATCHING FOR LINTELS, RECESSES, CHASES, AND MAJOR OPENINGS IN ROOFS, WALLS, FLOORS, CEILINGS, AND PARTITIONS TO RECEIVE CONDUITS, BUS DUCTS, AND EQUIPMENT.
 - PROVIDE ALL CUTTING AND PATCHING FOR MINOR OPENINGS, AND REPAIR ALL DAMAGED AREAS. PAINT SHALL MATCH EXISTING SURROUNDINGS
 - ALL CUTTING AND PATCHING SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER BY WORKMEN SKILLED IN THE APPLICABLE TRADE INVOLVED, AND SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER/ARCHITECT.
 - THE CONTRACTOR SHALL FURNISH AND PLACE ALL SLEEVES REQUIRED FOR CONDUITS, BUS DUCTS, ETC., PASSING THROUGH ROOFS, FLOORS, WALLS, AND CEILINGS ALL ANCHORS AND INSERTS REQUIRED FOR CONDUITS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT.
- K. FIELD QUALITY CONTROL:
- INSPECTION AND TESTING OF ALL APPLICABLE ELECTRICAL EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF NETA TESTING SPECIFICATIONS.
 - PERFORM SYSTEM FUNCTION TESTS UPON COMPLETION OF THE EQUIPMENT TESTS AS OUTLINED. IT IS THE PURPOSE OF THE SYSTEM FUNCTION TESTS TO PROVE THE CORRECT INTERACTION OF ALL SENSING, PROCESS AND ACTION DEVICES.
- L. INSPECTION AND TESTING: ELECTRICAL WORK SHALL BE INSPECTED BY THE CODE OFFICIAL AS PRESCRIBED BY THE MUNICIPALITY THE WORK IS BEING PERFORMED IN.
- M. PROJECT CLOSE-OUT:
- CLEAN ALL WORK AT PROJECT COMPLETION, SUBJECT TO ACCEPTANCE OF OWNER.
 - MAINTAIN A RECORD SET OF DRAWINGS SHOWING ALL CHANGES DURING CONSTRUCTION PROCESS. DELIVER THESE RECORD DRAWINGS TO ARCHITECT AT COMPLETION OF PROJECT.

ELECTRICAL SPECIFICATIONS

- DIVISION 26 - ELECTRICAL**
26.05.15 - BUILDING ELECTRICAL POWER CONDUCTORS AND CABLES
A. COPPER BUILDING WIRE: FLEXIBLE, INSULATED AND UNINSULATED, DRAWN COPPER CURRENT-CARRYING CONDUCTOR WITH AN OVERALL INSULATION LAYER OR JACKET, OR BOTH, RATED 600 V OR LESS. CONDUCTORS SHALL COMPLY WITH ASTM B 3 FOR BARE ANNEALED COPPER AND WITH ASTM B 496 FOR STRANDED CONDUCTORS. CONDUCTORS SHALL NOT HAVE LESS THAN 98% CONDUCTIVITY.
B. MINIMUM SIZE FOR POWER CONDUCTORS SHALL BE #12. WIRE SIZES #8 AND LARGER SHALL BE STRANDED. WIRE SIZES #10 AND #12 SHALL BE SOLID CONDUCTORS.
C. SHARED NEUTRAL CONDUCTORS SHALL NOT BE PERMITTED. EACH BRANCH CIRCUIT PHASE CONDUCTOR SHALL BE PAIRED WITH A DEDICATED NEUTRAL CONDUCTOR ALONG ITS ENTIRE LENGTH.
D. ALUMINUM CONDUCTORS WILL NOT BE PERMITTED.
E. INSTALLATION OF CONDUCTORS AND CABLES:
 - CONNECTORS AND SPLICES: FACTORY-FABRICATED CONNECTORS, SPLICES, AND LUGS OF SIZE, AMPACITY RATING, MATERIAL, TYPE, AND CLASS FOR APPLICATION AND SERVICE INDICATED; LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR INTENDED LOCATION AND USE.
 - CONCEAL CABLES IN FINISHED WALLS, CEILINGS, AND FLOORS UNLESS OTHERWISE INDICATED.
 - WIRING AT OUTLETS: INSTALL CONDUCTOR AT EACH OUTLET, WITH AT LEAST 6 INCHES OF SLACK.
 - MAKE SPLICES, TERMINATIONS, AND TAPS THAT ARE COMPATIBLE WITH CONDUCTOR MATERIAL.
 - TIGHTEN ELECTRICAL CONNECTORS AND TERMINALS ACCORDING TO MANUFACTURER'S PUBLISHED OR THOSE SPECIFIED IN UL 486A-486B.
- 26.05.26 - GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS**
A. CONDUCTORS:
 - INSULATED COPPER CONDUCTORS: COPPER WIRE OR CABLE INSULATED FOR 600 V UNLESS OTHERWISE REQUIRED BY APPLICABLE CODE OR AUTHORITIES HAVING JURISDICTION.
 - BARE COPPER CONDUCTORS:
 - SOLID CONDUCTORS: ASTM B 3.
 - STRANDED CONDUCTORS: ASTM B 8.
- B. CONNECTORS:**
 - LISTED AND LABELED BY AN NRTL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION FOR APPLICATIONS IN WHICH USED AND FOR SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND OTHER ITEMS CONNECTED.
- 26.05.33 - RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS**
A. RACEWAYS:
 - INTERIOR BRANCH CIRCUITS CONCEALED IN WALLS AND CEILINGS: ELECTRICAL METALLIC TUBING (EMT).
 - INTERIOR EXPOSED, NOT EXPOSED TO MECHANICAL DAMAGE: ELECTRICAL METALLIC TUBING (EMT) WITH WEATHERPROOF FITTINGS; TOUCH UP ALL NICKS AND SCRATCHES ON CONDUIT TO PREVENT FUTURE CORROSION.
 - EXTERIOR, EXPOSED: RIGID METAL CONDUIT (RMC).
 - EXTERIOR, UNDERGROUND: SCHEDULE 80 PVC.
 - ALL CONDUITS SHALL BE A MINIMUM OF 3/4 INCH.
 - ALL CONDUITS AND WIRING SHALL BE CONCEALED, UNLESS NOTED OTHERWISE.
 - COMPRESSION FITTINGS.
- B. BOXES:**
 - INTERIOR OUTLET BOXES SHALL BE OF GALVANIZED STEEL, BONDED TO GROUND COMPLYING WITH NEMA OS 1 AND UL 514A.
 - HINGED-COVER WEATHER-PROOF IN-USE ENCLOSURES: COMPLY WITH UL 50 AND NEMA 250, WITH CONTINUOUS-HINGE COVER WITH FLUSH LATCH UNLESS OTHERWISE INDICATED.
 - EXTERIOR OUTLET BOXES: TYPE FD CAST-METAL FERROUS ALLOY WITH GASKETED COVER, COMPLYING WITH NEMA FB 1, COMPLY WITH UL 50 AND NEMA 250.
 - HINGED-COVER WEATHER-PROOF IN-USE ENCLOSURES: COMPLY WITH UL 50 AND NEMA 250, WITH CONTINUOUS-HINGE COVER WITH FLUSH LATCH UNLESS OTHERWISE INDICATED.
 - SHEET METAL PULL BOXES AND JUNCTION BOXES SHALL COMPLY WITH NEMA OS 1.
- 26.05.53 - IDENTIFICATION FOR ELECTRICAL SYSTEMS**
A. EQUIPMENT NAMEPLATES: LAMINATED PHENOLIC WITH TWO OUTER LAYERS OF BLACK PHENOLIC AND AN INNER LAYER OF WHITE WITH ENGRAVING DEPTH TO THE INNER WHITE LAYER.

PENETRATION FIRESTOPPING

- A. PENETRATIONS IN FIRE-RESISTANCE-RATED WALLS: PENETRATION FIRESTOPPING SYSTEMS WITH RATINGS DETERMINED PER ASTM E 814 OR UL 1479, BASED ON TESTING AT A POSITIVE PRESSURE DIFFERENTIAL OF 0.01-INCH WG.**
- B. PENETRATIONS IN HORIZONTAL ASSEMBLIES: PENETRATION FIRESTOPPING SYSTEMS WITH RATINGS DETERMINED PER ASTM E 814 OR UL 1479, BASED ON TESTING AT A POSITIVE PRESSURE DIFFERENTIAL OF 0.01-INCH WG.**
- C. PENETRATIONS IN SMOKE BARRIERS: PENETRATION FIRESTOPPING SYSTEMS WITH RATINGS DETERMINED PER UL 1479, BASED ON TESTING AT A POSITIVE PRESSURE DIFFERENTIAL OF 0.30-INCH WG.**
- D. EXPOSED PENETRATION FIRESTOPPING SYSTEMS: FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF LESS THAN 25 AND 450, RESPECTIVELY, PER ASTM E 84.**
- E. PENETRATIONS IN NON-RATED WALLS/ASSEMBLIES: PACK ANNULAR SPACE WITH FIBERGLASS INSULATION.**
- F. ACCESSORIES: PROVIDE COMPONENTS FOR EACH PENETRATION FIRESTOPPING SYSTEM THAT ARE NEEDED TO INSTALL FILL MATERIALS AND TO MAINTAIN RATINGS REQUIRED. USE ONLY THOSE COMPONENTS SPECIFIED BY PENETRATION FIRESTOPPING SYSTEM MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR CONDITIONS INDICATED.**
- G. PENETRATION IDENTIFICATION: IDENTIFY EACH PENETRATION FIRESTOPPING SYSTEM WITH LEGIBLE METAL OR PLASTIC LABELS. ATTACH LABELS PERMANENTLY TO SURFACES ADJACENT TO AND WITHIN 6 INCHES OF PENETRATION FIRESTOPPING SYSTEM EDGES SO LABELS ARE VISIBLE TO ANYONE SEEKING TO REMOVE PENETRATING ITEMS OR FIRESTOPPING SYSTEMS. USE MECHANICAL FASTENERS OR SELF-ADHERING-TYPE LABELS WITH ADHESIVES CAPABLE OF PERMANENTLY BONDING LABELS TO SURFACES ON WHICH LABELS ARE PLACED. INCLUDE THE FOLLOWING INFORMATION ON LABELS:**
- THE WORDS "WARNING - PENETRATION FIRESTOPPING - DO NOT DISTURB. NOTIFY BUILDING MANAGEMENT OF ANY DAMAGE."
 - CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER, DATE OF INSTALLATION, MANUFACTURER'S NAME AND INSTALLER'S NAME.
 - DESIGNATION OF APPLICABLE TESTING AND INSPECTING AGENCY.

26.27.26 - WIRING DEVICES

- A. RECEPTACLES: SPECIFICATION GRADE. DEVICE AND FACEPLATE COLORS AS SELECTED BY OWNER.**
- ACCEPTABLE MANUFACTURERS: HUBBELL INCORPORATED, LEVITON MANUFACTURING CO., INC., PASS & SEYMOUR/LEGRAND (PASS & SEYMOUR).
 - STANDARD GRADE SIMPLEX OR DUPLEX: 120 V, 2-POLE, 3-WIRE GROUNDING, NEMA 5-20R, COMPLY WITH UL 498 AND FS W-C-596.
 - GFCI: 120 V, 2-POLE, 3-WIRE GROUNDING, NEMA 5-20R; INTEGRAL GFCI WITH "TEST" AND "RESET" BUTTONS AND LED INDICATOR LIGHT, COMPLY WITH UL 498, UL 943 CLASS A, AND FS W-C-596. INSTALL DEVICES WITH NEMA 3R WEATHER PROOF-IN-USE COVERS WHERE DESIGNATED WITH A "WP" ON DRAWINGS.
 - RECEPTACLES, INTERIOR: 18 INCHES ABOVE FINISHED FLOOR.
 - RECEPTACLES, EXTERIOR: 24 INCHES ABOVE FINISHED GRADE.
- B. INSTALLATION**
- INSTALL GROUND PIN OF VERTICALLY MOUNTED RECEPTACLES UP, AND ON HORIZONTALLY MOUNTED RECEPTACLES TO THE RIGHT.
 - ALL BACK TO BACK WALL MOUNTED DEVICES SHALL BE SEPARATED BY A MINIMUM OF ONE STUD SPACE.

DIVISION 27 - COMMUNICATIONS

27.05.28 - PATHWAYS AND BOXES FOR COMMUNICATIONS SYSTEMS

- A. RACEWAY:**
- CONDUIT: SIZED TO MATCH QUANTITY OF CABLES INSTALLED IN CONDUIT WITH 25% SPARE CAPACITY. CONDUITS SHALL BE A MINIMUM OF 3/4 INCH. COMPRESSION FITTINGS.
 - INTERIOR CONCEALED IN WALLS AND CEILINGS: ELECTRICAL METALLIC TUBING (EMT).
 - INTERIOR, SUBJECT TO MECHANICAL DAMAGE: RIGID METAL CONDUIT (RMC).
 - EXTERIOR, EXPOSED: RIGID METAL CONDUIT (RMC).
 - EXTERIOR, UNDERGROUND: SCHEDULE 80 PVC.

26.24.16 - PANELBOARDS

- A. PANELBOARDS: ACCEPTABLE MANUFACTURERS: EATON, SIEMENS, SQUARE D.**
- COMPLY WITH NEMA PB 1, NFPA 70.
 - BOLT-ON CIRCUIT BREAKERS, REPLACEABLE WITHOUT DISTURBING ADJACENT UNITS.
 - ENCLOSURES: SURFACE-MOUNTED, DEAD-FRONT CABINETS, DOOR-IN-DOOR WITH CONCEALED HINGES, SECURED WITH FLUSH LATCH WITH TUMBLER LOCK; KEYS ALIKE (NEMA 3R).
 - PHASE, NEUTRAL, AND GROUND BUSES: HARD-DRAWN COPPER, 98 PERCENT CONDUCTIVITY; CONTINUOUS RATING.
 - CONDUCTOR CONNECTORS: SUITABLE FOR USE WITH CONDUCTOR MATERIAL AND SIZES.
 - LUG MATERIAL: HARD-DRAWN COPPER, 98 PERCENT CONDUCTIVITY.
 - MAIN AND NEUTRAL LUGS: MECHANICAL TYPE, WITH A LUG ON THE NEUTRAL BAR FOR EACH POLE IN THE PANELBOARD.
 - GROUND LUGS AND BUS-CONFIGURED TERMINATORS: MECHANICAL TYPE, WITH A LUG ON THE BAR FOR EACH POLE IN THE PANELBOARD.
 - FUTURE DEVICES: PANELBOARDS SHALL HAVE MOUNTING BRACKETS, BUS CONNECTIONS, FILLER PLATES, AND NECESSARY APPURTENANCES REQUIRED FOR FUTURE INSTALLATION OF DEVICES AS INDICATED ON DRAWINGS AS "PROVISIONS".
- B. CIRCUIT BREAKER MANUFACTURER TO MATCH PANELBOARD MANUFACTURER. INSTALL PANELBOARDS IN ACCORDANCE WITH NECA 1 AND NEMA PB 1.1.**

- C. CONTRACTOR SHALL FURNISH AND INSTALL ARC-FLASH LABEL ON PANEL BOARD PER NEC REQUIREMENTS.**

ABBREVIATIONS

&	AND
°	DEGREES
∅	PHASE
(E)	EXISTING TO REMAIN
(R)	REMOVE EXISTING
A	AMPS
AC	ABOVE COUNTER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AFI	ARC FAULT CIRCUIT INTERRUPTOR
AHU	AIR HANDLING UNIT
AL	AMPS INTERRUPTING CAPACITY
AL	ALUMINUM
BLDG	BUILDING
C	CONDUIT
CB	CIRCUIT BREAKER
CKT	CIRCUIT
CU	COPPER
DISC	DISCONNECT
DIST	DISTRIBUTION
DN	DOWN
EC	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN
ELEC	ELECTRIC OR ELECTRICAL
E.O.	ELECTRONICALLY OPERATED
EMG	EMERGENCY
EXH	EXHAUST
FD	FIRE DAMPER
F/S D	FIRE/SMOKE DAMPER
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FAEP	FIRE ALARM EXTENDER PANEL
FCU	FAN COIL UNIT
FLA	FULL LOAD AMPS
G	GROUND
GND	GROUND
GFI	GROUND FAULT CIRCUIT INTERRUPTER
GEN	GENERATOR
HP	HORSEPOWER
KIT	KITCHEN
KW	KILO WATTS
KVA	KILO VOLT-AMPERES
LED	LIGHT EMITTING DIODE
LFMC	LIQUID-TIGHT FLEXIBLE METAL CONDUIT
LTG	LIGHTING
LSI	LONG, SHORT AND INSTANTANEOUS TRIP CB
LSIG	LSI CB WITH GROUND FAULT PROTECTION
MAX	MAXIMUM
MC	MECHANICAL CONTRACTOR
MCA	MINIMUM CIRCUIT AMPS
MCB	MAIN CIRCUIT BREAKER
MECH	MECHANICAL
MIN	MINIMUM
MLO	MAIN LUGS ONLY
MOCP	MAXIMUM OVERCURRENT PROTECTION DEVICE
MTD	MOUTED
MTR	MOTOR
N	NEUTRAL
N/E	NORMAL/EMERGENCY
OE	OVERHEAD ELECTRIC
OE/T	OVERHEAD ELECTRIC & TELECOM.
OL	OVERLOAD
PB	PUSH-BUTTON
PC	PLUMBING CONTRACTOR
PH	PHASE
PL	PILOT LIGHT
PNL	PANEL
REC	RECEPTACLE
RM	ROOM
S D	SMOKE DAMPER
SD	SMOKE DETECTOR
TSP	TWISTED SHIELDED PAIR
UC	UNDERCABINET
UE	UNDERGROUND ELECTRIC
UL	UNDERWRITERS LABORATORY
UT	UNDERGROUND TELECOMMUNICATIONS
W	WIRE
WAP	WIRELESS ACCESS POINT
WP	WEATHERPROOF
XFMR	TRANSFORMER

ELECTRICAL SYMBOLS

	120V 20A DUPLEX RECEPTACLE
	120V 20A SIMPLEX RECEPTACLE
	"AC" INDICATES RECEPTACLE IS TO BE INSTALLED 6" ABOVE COUNTER
	"BC" INDICATES RECEPTACLE IS TO BE INSTALLED 6" BELOW COUNTER; MOUNT DEVICE HORIZONTALLY
	"GFI" INDICATES RECEPTACLE IS GROUND FAULT CIRCUIT INTERRUPTING
	"WP" INDICATES RECEPTACLE IS TO BE INSTALLED WITH WEATHER-PROOF IN-USE COVER
	"48" INDICATES MOUNTING HEIGHT OF RECEPTACLE
	(2) DUPLEX RECEPTACLES IN A SINGLE BOX
	ISOLATED GROUND DUPLEX RECEPTACLE
	HALF SWITCHED DUPLEX RECEPTACLE
	208V, 1-PH RECEPTACLE; AMPS AS INDICATED
	208V, 3-PH RECEPTACLE; AMPS AS INDICATED
	CEILING MOUNTED DUPLEX RECEPTACLE
	120V, 1Ø, 20A MANUAL MOTOR RATED TOGGLE SWITCH
	208-230V, 1Ø, 20A MANUAL MOTOR RATED TOGGLE SWITCH
	120V, 1Ø, 16A CEILING FAN SWITCH WITH 3-SPEED SELECTOR BUTTONS (OFF, LOW, MEDIUM AND HIGH)
	JUNCTION BOX; CEILING MOUNTED
	JUNCTION BOX; WALL MOUNTED
	POWER POLE
	MOTOR LOAD
	FLOORBOX OUTLET WITH DUPLEX RECEPTACLE
	FLOORBOX WITH (2) DUPLEX RECEPTACLES
	FLOORBOX OUTLET WITH DUPLEX RECEPTACLE AND (2) DATA OUTLETS UNLESS NOTED OTHERWISE
	FLOORBOX OUTLET WITH (2) DUPLEX RECEPTACLES AND (4) DATA OUTLETS UNLESS NOTED OTHERWISE
	RECESSED TV WALLBOX WITH DUPLEX RECEPTACLE, TV OUTLET AND (2) DATA OUTLETS UNLESS NOTED OTHERWISE
	RECESSED TV WALLBOX WITH DUPLEX RECEPTACLE AND (2) DATA OUTLETS UNLESS NOTED OTHERWISE
	SURFACE METAL RACEWAY
	PANELBOARD: 120/208V, 3Ø, 4W; SURFACE MOUNTED
	PANELBOARD: 120/208V, 3Ø, 4W; FLUSH MOUNTED
	EXISTING PANELBOARD: 120/208V, 3Ø, 4W
	PANELBOARD: 277/480V, 3Ø, 4W; SURFACE MOUNTED
	PANELBOARD: 277/480V, 3Ø, 4W; FLUSH MOUNTED
	DISCONNECT SWITCH: SIZE AND VOLTAGE AS SCHEDULED
	COMBINATION MOTOR STARTER/DISCONNECT SWITCH: SIZE AND VOLTAGE AS SCHEDULED
	DRY-TYPE XFMR: SIZE AND VOLTAGE AS SCHEDULED
	MOTORIZED DAMPER
	SEWORK: UTILITY POLE
	SEWORK: MANHOLE

TELECOMMUNICATIONS SYMBOLS

	DATA OUTLET; (2) CAT 6 JACKS UNLESS NOTED; STUB 3/4" CONDUIT OUT 6" ABOVE ACCESSIBLE CEILING
	"X" INDICATES NO. OF DEDICATED DATA PORTS
	"X,Y" INDICATES NO. OF DEDICATED DATA PORTS AND "Y" INDICATES NO. OF DEDICATED TELEPHONE PHONE PORTS
	TELEPHONE OUTLET; (1) TELEPHONE JACK, UNLESS NOTED; STUB 3/4" CONDUIT OUT 6" ABOVE ACCESSIBLE CEILING
	"WH" INDICATES OUTLET FOR WALL-HUNG PHONE; MOUNT AT 42" AFF
	DATA OUTLET; FLOOR
	COMBINATION DATA/TELEPHONE OUTLET; FLOOR
	TELEPHONE OUTLET; FLOOR
	WAP: WIRELESS ACCESS POINT; WALL MOUNTED
	WAP: WIRELESS ACCESS POINT; CEILING MOUNTED
	WALL MOUNTED TELEVISION OUTLET
	CEILING MOUNTED TELEVISION OUTLET
	WALL MOUNTED COMBINATION TELEVISION, DATA AND PHONE OUTLET
	WALL MOUNTED COMBINATION TELEVISION AND DATA OUTLET
	WALL MOUNTED MULTIMEDIA OUTLET
	CEILING MOUNTED MULTIMEDIA OUTLET
	WALL MOUNTED SPEAKER
	CEILING MOUNTED SPEAKER

MISC. SYMBOLS

	NEW WORK
	EXISTING WORK
	DEMOLITION WORK
	UNDERGROUND ELECTRICAL PATHWAY
	UNDERGROUND COMMUNICATIONS PATHWAY
	OVERHEAD ELECTRICAL UTILITY LINES
	OVERHEAD COMMUNICATIONS UTILITY LINES
	HOMERUN TO PANELBOARD
	CONDUCTOR; (2) WIRE + GND UNLESS NOTED; REFER TO PANEL SCHEDULES FOR WIRE AND PATHWAY SIZE
	SHORT TICK MARKS INDICATE NUMBER OF PHASE CONDUCTORS, LONG TICK MARKS INDICATE NUMBER OF NEUTRAL CONDUCTORS. REFER TO PANEL SCHEDULES FOR SIZE OF CONDUCTORS, GROUND WIRES, AND CONDUITS.
	KEYED NOTE
	DEMOLITION KEYED NOTE



PROGRESS DATES
PERMIT SET 12.03.2021

ROCK N ROLL HALL OF FAME LED DISPLAY
1100 E. 9TH ST. CLEVELAND, OH 44114

LEGEND - ELECTRICAL

E000

PANELBOARD SCHEDULE: PANELBOARD 'PP-10A2'

VOLTAGE RATING: 208V, 3PH, 4W + G
 MAINS TYPE: 150A MCB
 BUS RATING: 150 A

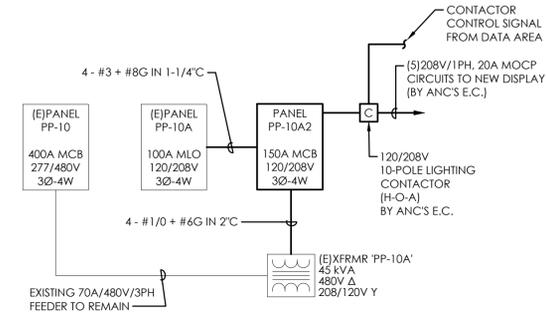
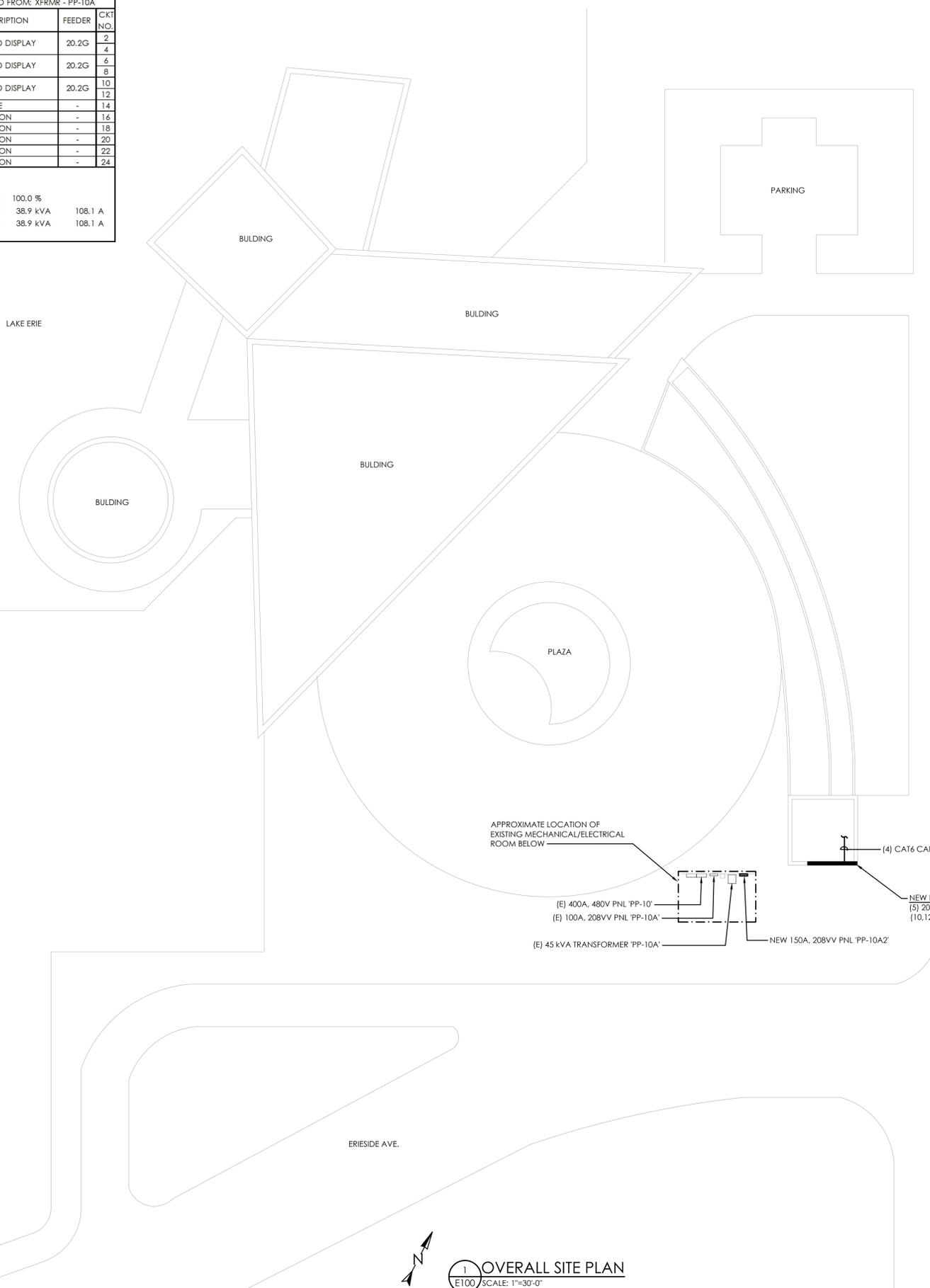
MIN. AIC RATING: 22,000 A
 ENCLOSURE RATING: NEMA 1
 FEED-THRU LUGS: NO

MOUNTING: SURFACE
 LOCATION: ELEC RM
 FED FROM: XFRMR - PP-10A

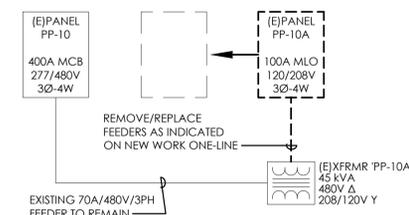
CKT NO.	FEEDER	LOAD DESCRIPTION	BKR P	AMP	LOAD (KVA)			BKR P	AMP	LOAD DESCRIPTION	FEEDER	CKT NO.
					A	B	C					
1	20.2G	OUTDOOR LED DISPLAY	2	20	0.84	0.84		20	2	OUTDOOR LED DISPLAY	20.2G	2
3							0.84	0.84				4
5	20.2G	OUTDOOR LED DISPLAY	2	20	1.27	1.06		20	2	OUTDOOR LED DISPLAY	20.2G	6
7							1.27	1.06				8
9							9.61	1.06				10
11	100.4G	EXISTING PANEL	3	100				9.61	1.06			12
13					9.61	0.00				20	1	14
15	-	PROVISION	-	-	0.00	0.00				-	-	16
17	-	PROVISION	-	-	0.00	0.00		0.00	0.00	-	-	18
19	-	PROVISION	-	-	0.00	0.00				-	-	20
21	-	PROVISION	-	-	0.00	0.00				-	-	22
23	-	PROVISION	-	-	0.00	0.00		0.00	0.00	-	-	24

PANELBOARD NOTES:

DEMAND FACTOR: 100.0 %
 TOTAL CONNECTED: 38.9 kVA 108.1 A
 TOTAL DEMAND: 38.9 kVA 108.1 A



3 ONE LINE DIAGRAM - NEW WORK
 E100 SCALE: 1"=30'-0"



2 ONE LINE DIAGRAM - DEMOLITION
 E100 SCALE: 1"=30'-0"

1 OVERALL SITE PLAN
 E100 SCALE: 1"=30'-0"



PROGRESS DATES
 PERMIT SET 12.03.2021

ROCK N ROLL HALL OF FAME LED DISPLAY

1100 E. 9TH ST.
 CLEVELAND, OH 44114

ELECTRICAL FLOOR PLAN - CONCOURSE LEVEL

E100



PROGRESS DATES

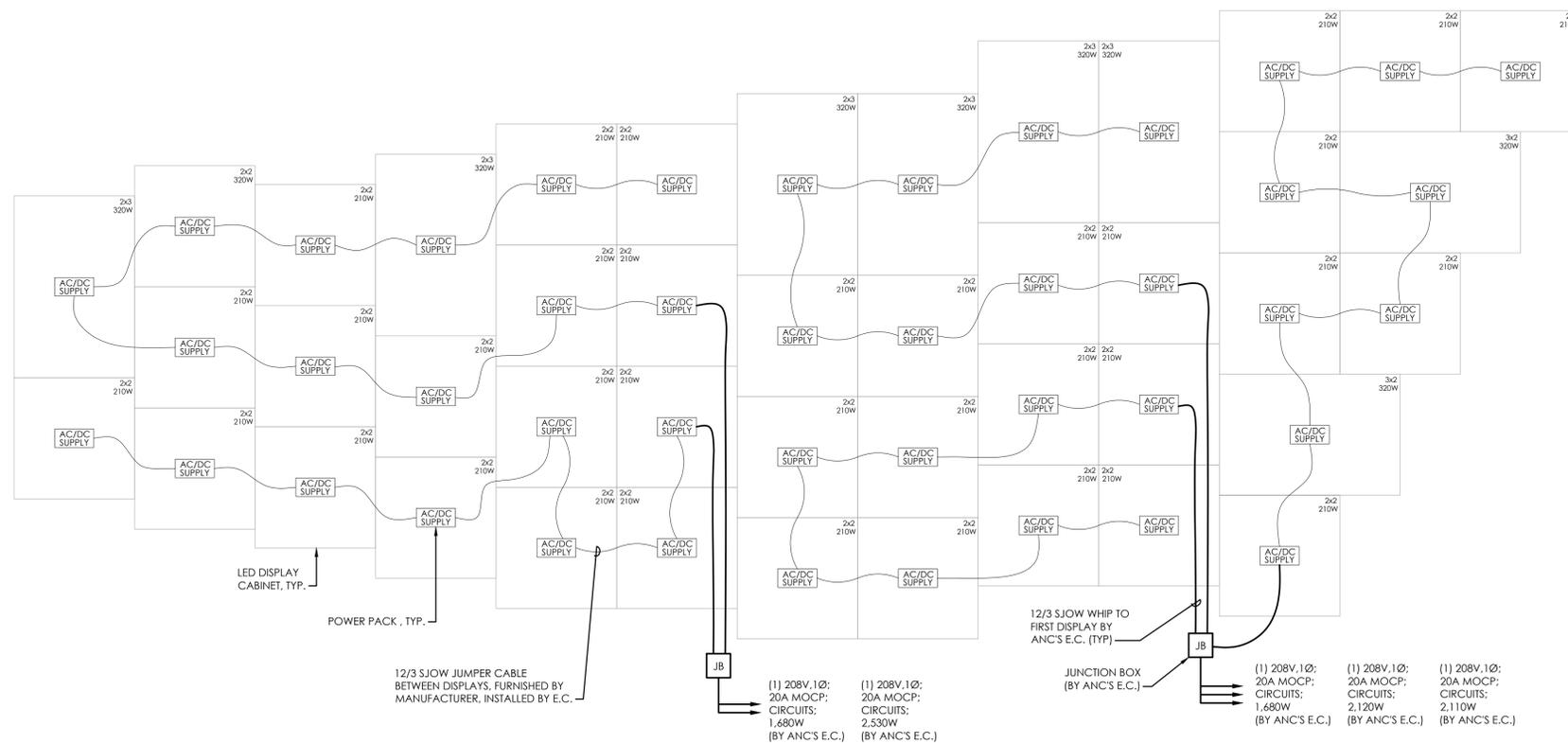
PERMIT SET 12.03.2021

**ROCK N ROLL
HALL OF FAME
LED DISPLAY**

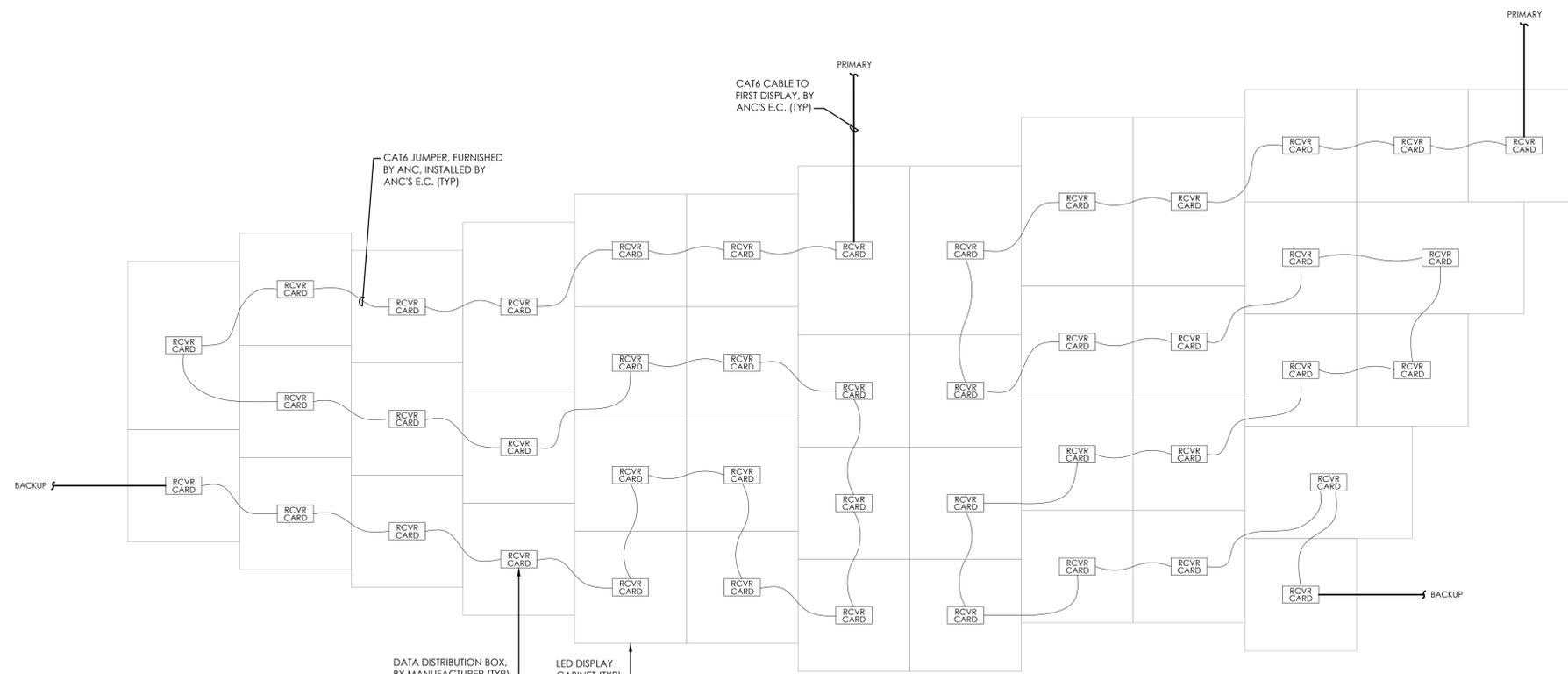
1100 E. 9TH ST.
CLEVELAND, OH 44114

**LED DISPLAY
CIRCUITING**

E500



1 OUTDOOR LED DISPLAY - POWER
 E500 SCALE: N/A FRONT VIEW
 10,120W TOTAL DISPLAY POWER



2 OUTDOOR LED DISPLAY - DATA
 E500 SCALE: N/A

Cleveland City Planning Commission

Adjournment



January 7, 2022