



Cleveland Board of Zoning Appeals

9:30 am Monday October 25, 2021

**** PLEASE MUTE YOUR MICROPHONE ****

Kelley Britt, Board Chair

Elizabeth Kukla, Secretary

Cleveland Board of Zoning Appeals

October 25, 2021

Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF THE CITY'S OPEN MEETING LAW, AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

The image shows a screenshot of a Webex meeting interface. On the left, the 'Participants (3)' panel is visible, listing 'City Planning Me', 'John Smith Host', and 'Mike Public'. A red arrow points to the 'Raise Hand' icon (a hand) next to 'City Planning Me', and another red arrow points to the 'Mute/Unmute' icon (a microphone with a slash) next to 'City Planning Me'. In the center, the text reads 'CALL-IN USERS CAN UNMUTE BY USING *6'. At the bottom, the meeting toolbar is shown with buttons for 'Mute', 'Stop video', 'Share', 'Record', a smiley face, a red 'X' button, 'Participants', and 'Chat'. A red arrow points from the text 'Participants Panel' to the 'Participants' button, and another red arrow points from the text 'Chat Panel' to the 'Chat' button.

Cleveland Board of Zoning Appeals

October 25, 2021

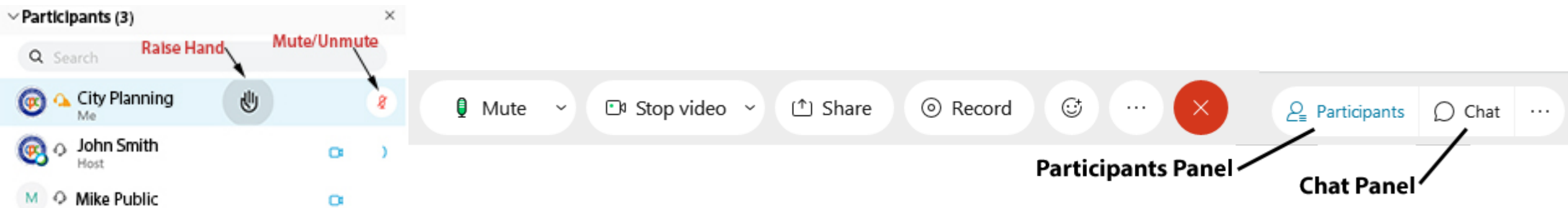
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE FOR PUBLIC VIEW.

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



Cleveland Board of Zoning Appeals

Call to Order & Roll Call



Cleveland Board of Zoning Appeals

Postponements/Withdrawals





POSTPONEMENT REQUEST

Calendar No. 21-098:

13001 Dove Ave.

Ward 2

Paul Snowball, owner proposes to construct a 7 space parking lot in a B1 Two-Family Residential and a C1 Local Retail Business District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 349.07 (a) which states that accessory off-street parking spaces, driveways and maneuvering areas shall be properly graded for drainage so that all water is drained within the lot providing such parking spaces, surfaced with concrete, asphaltic concrete, asphalt or other surfacing materials.
2. Section 349.07 (b) which states that accessory off-street parking spaces shall be provided with wheel or bumper guards that are so located that no part of a parked vehicle will extend beyond such parking space.
3. Section 349.07 (c) which states that the driveway used to provide accessibility to accessory off-street parking spaces shall be so located and arranged to minimize traffic congestion.
4. Section 349.13(c) which states the Board of Zoning Appeals may permit, temporarily or permanently, the use of land in a Residence District for a parking lot.
5. All parking is to be kept back of the setback building line by barrier unless specifically authorized otherwise by the Board.
6. 358.04 Fences in actual front yards shall not exceed four (4) feet in height and shall be at least fifty percent (50%) open. (Filed June 7, 2021)

WITHDRAWN

Calendar No. 21-095:

14526 Puritas Ave

Ward 16

Northern Ohio Gas Stations (Saady Hashem), owner, proposes to use and occupancy premises as a Motor Vehicle Service station in a C2 Local Retail Business District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 343.01(b) which states that a **Motor Vehicle Service Station is not a permitted use** in a Local Retail Business District, first permitted in a General Retail Business District per Section 343.11(b)(2)(I)(1).
2. Section 359.02(a) A nonconforming use of a building or premises which has been discontinued **shall not thereafter be returned to such nonconforming use.** (Filed June 4, 2021)

Cleveland Board of Zoning Appeals

Public Hearing



Public Hearing



Calendar No. 21-157:

1571 East 32nd Street

Ward 7

Marcia Sachs & Robert Garrity, owners, propose to build a seven-car parking lot in a B1 Two-Family Residential District. This application is an amendment to a previously granted variance in Calendar Number 20-145. The owners appeal for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 337.18(a) which states that accessory off-street parking spaces, driveways and maneuvering areas shall be properly graded for drainage so that all water is drained within the lot providing such parking spaces, surfaced with concrete, asphaltic concrete, asphalt or similar surfacing material, maintained in good condition and free of debris and trash.
2. Section 337.18(b) which states that accessory off-street parking spaces shall be provided with wheel or bumper guards that are so located that no part of a parked vehicle will extend beyond such parking space
3. Section 349.08 which states that where five (5) or more accessory off-street parking spaces are provided, and are located on a lot that is adjacent to a Residence District or that adjoins a building containing dwelling units, such parking spaces shall be screened from all adjoining lots in the Residence District or a building containing dwelling units, by an opaque wall, a uniformly painted fence of fire-resistant material or a strip of land at least four (4) feet wide and densely planted with shrubs that form a dense screen year-round. Such wall, fence or shrubs shall be at least three (3) feet, but not more than six (6) feet six (6) inches in height.
4. Section 349.13(c) which states that Board of Zoning Appeal's approval is required for a parking lot in a residence district.
5. Section 352.10 which states that a six (6) foot wide landscaped frontage strip is required. (Filed September 23, 2021)



Public Hearing

Calendar No. 21-157:

1571 East 32nd Street

Ward 7



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.**

Public Hearing

Calendar No. 21-157:

1571 East 32nd Street

Ward 7



HISTORY OF THE PROPERTY



Public Hearing

Calendar No. 21-157:

1571 East 32nd Street

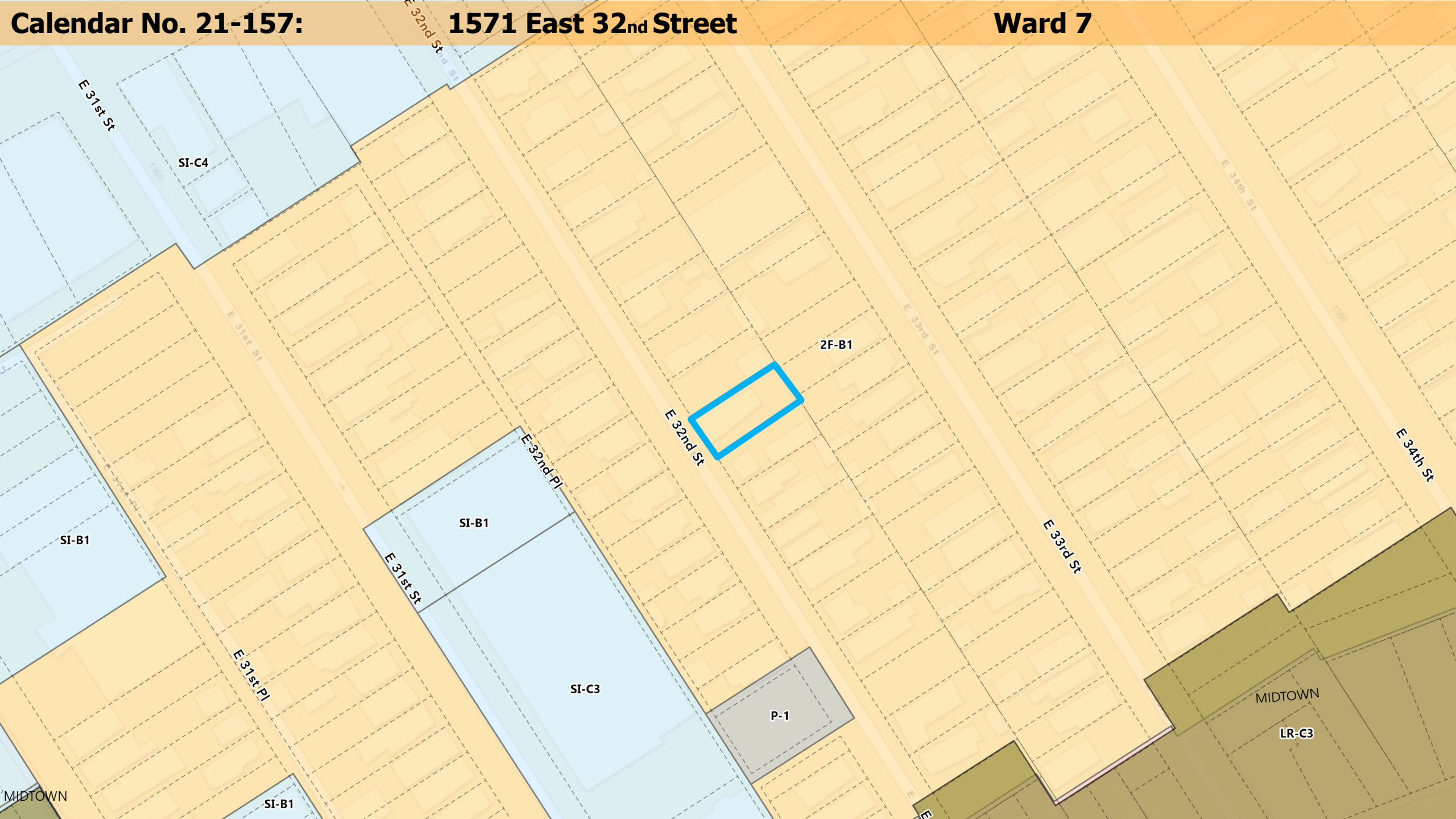
Ward 7



LEGAL STANDARD







SI-C4

2F-B1

SI-B1

SI-B1

SI-C3

P-1

LR-C3

MIDTOWN

SI-B1

MIDTOWN

E 31st St

E 32nd St

E 32nd St

E 33rd St

E 34th St

E 31st St

E 32nd Pl

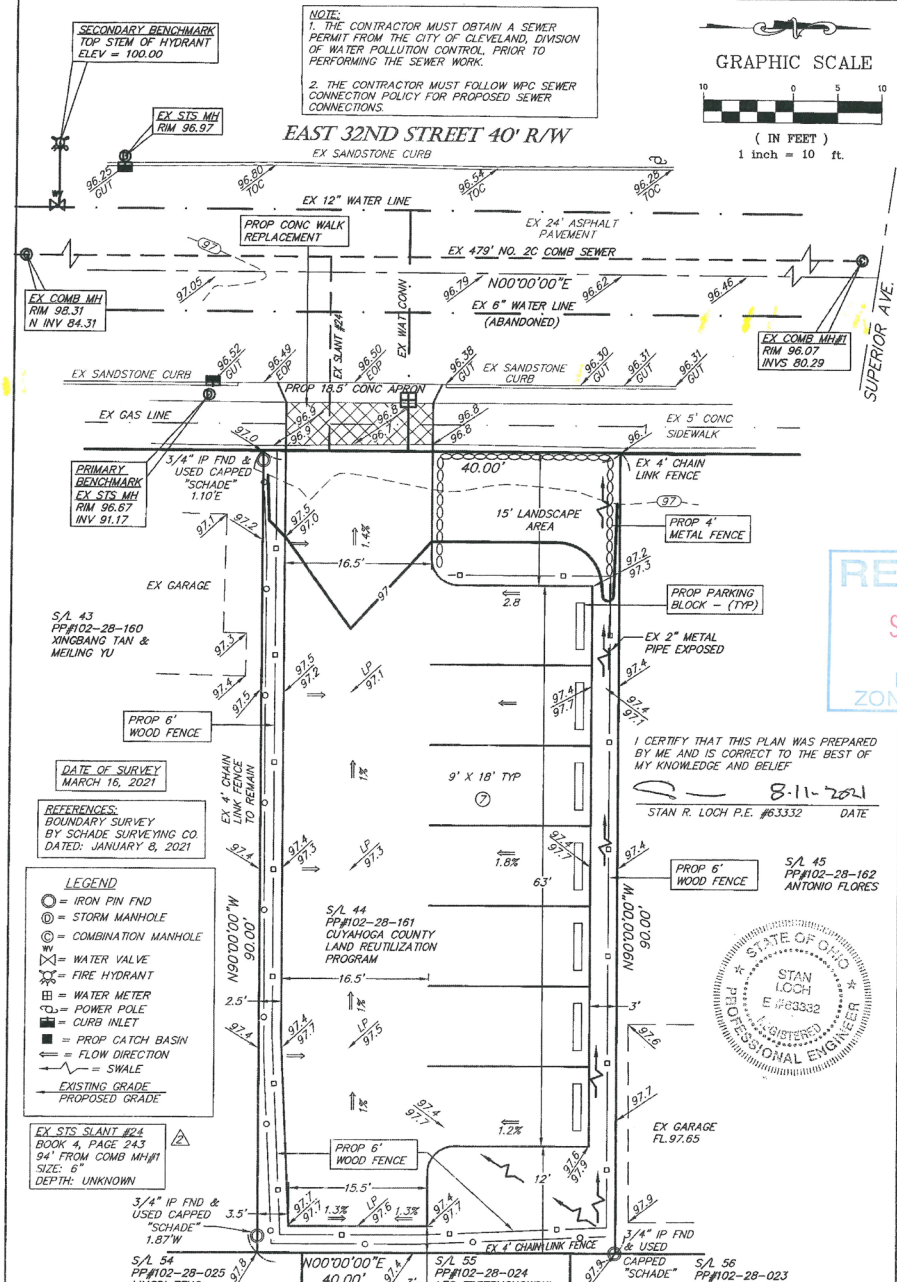
E 31st St

E 31st Pl

E 33rd St

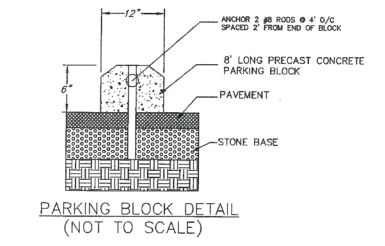
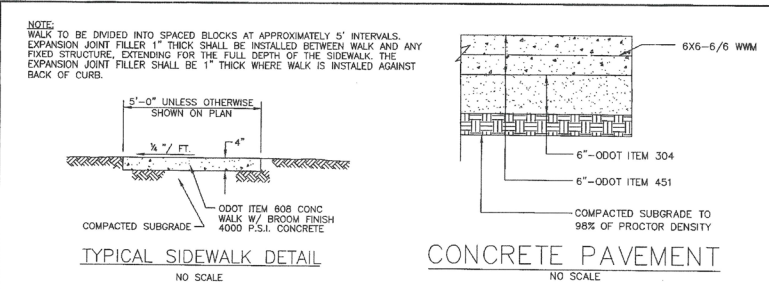
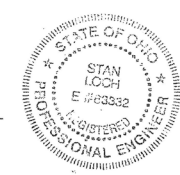
E 34th St

E



21-157
RECEIVED
 SEP 23 2021
 BOARD OF ZONING APPEALS

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 8-11-2021
 STAN R. LOCH P.E. #63332 DATE



HORIZ SCALE: 1"=10'	VERT SCALE:	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	SITE PLAN FOR BOB GARTY 1571 E. 32ND STREET PP#102-28-161	3 8/21 REMOVED CB CL
DRAWN BY: CL	DATE: 3/22/2021	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	S/A 44 M.B. STERLING'S ALLOTMENT PLAT VOLUME 9, PAGE 10 CITY OF CLEVELAND CUYAHOGA COUNTY, OHIO	2 4/21 REV PER CITY CL
CHECKED BY: SRL	DRAWING NO.: 20213669	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	S/A 54 PP#102-28-025 LINGDI ZENG	1 3/21 REV PARKING CL
JOB NO.: 20213669	SHEET: 1 OF 2	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	S/A 55 PP#102-28-024 LED TRZEBUCHOWSKI	NO DATE DESCRIPTION BY

HORIZ SCALE: 1"=10'	VERT SCALE:	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	SITE PLAN FOR BOB GARTY 1571 E. 32ND STREET PP#102-28-161	3 8/21 REMOVED CB CL
DRAWN BY: CL	DATE: 3/22/2021	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	S/A 44 M.B. STERLING'S ALLOTMENT PLAT VOLUME 9, PAGE 10 CITY OF CLEVELAND CUYAHOGA COUNTY, OHIO	2 5/21 REV PARKING CL
CHECKED BY: SRL	DRAWING NO.: 20213669	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	S/A 54 PP#102-28-025 LINGDI ZENG	1 3/21 REV PER CITY CL
JOB NO.: 20213669	SHEET: 2 OF 2	4423 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44135 440-602-9071 FAX 216-989-0299	S/A 55 PP#102-28-023 ALEXANDRE DUONG	NO DATE DESCRIPTION BY





Public Hearing

Calendar No. 21-159:

12502 Leelia Ave

Ward 11

Timothy Frick & Stan Warren, owners propose to erect 15' x 29' 1 story frame room addition to existing single-family residence in an A1 One-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 357.05(b)(1) which states that on the rear third of a corner lot in a Residence District where the rear lot line abuts a Residence District the building line shall be not less than ten (10) feet back from the side street line.
2. Section 357.09(b)(2) B which states that the minimum required interior yard is 10 feet and the appellants are proposing 1 foot.
3. Section 337.23(a) which states that the minimum distance from property line for off-street parking space is 18 inches and 12 inches are provided. (filed September 18, 2021)



Public Hearing

Calendar No. 21-159:

12502 Leelia Ave

Ward 11



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY



Public Hearing

Calendar No. 21-159:

12502 Leelia Ave

Ward 11

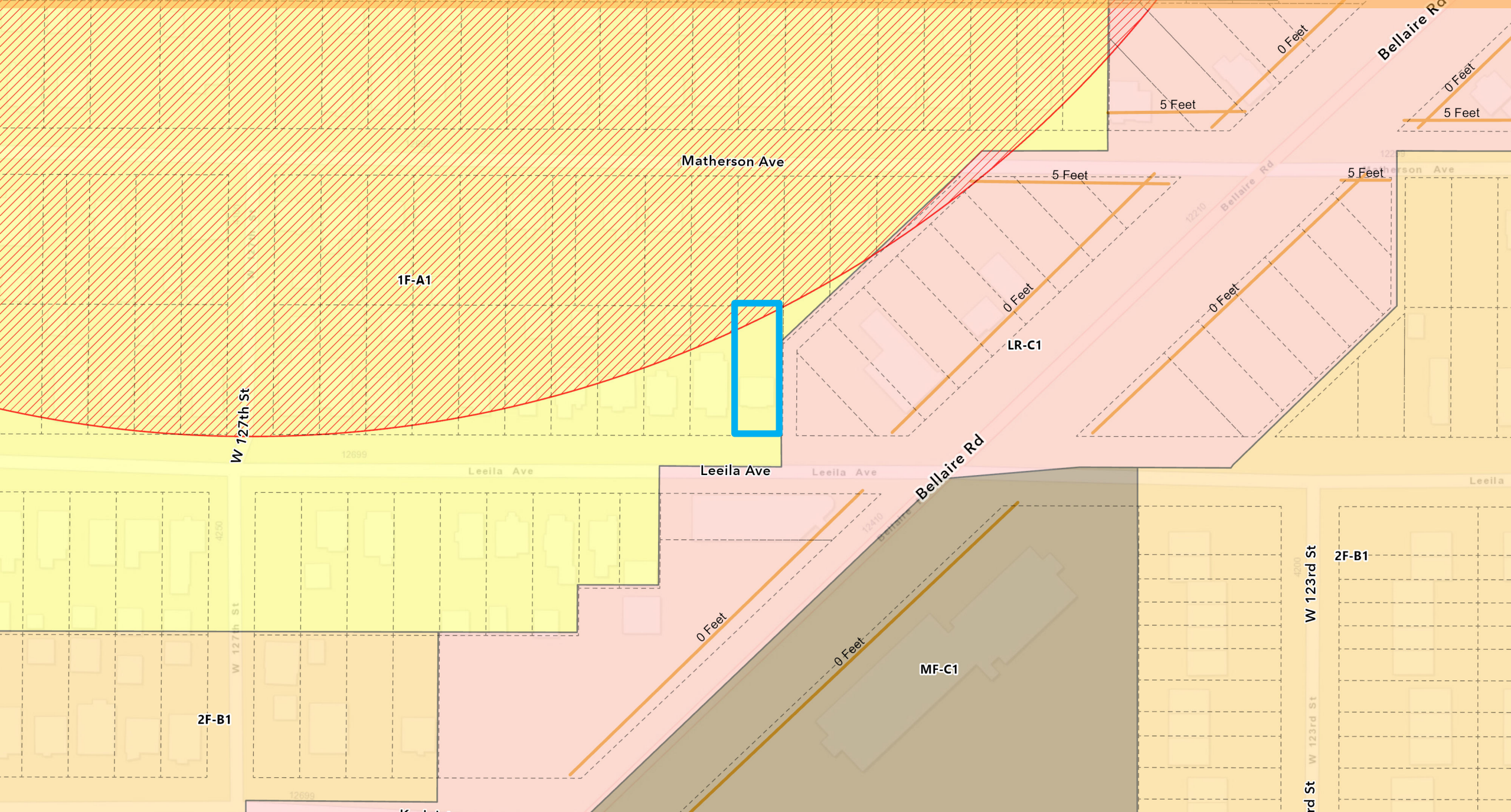


LEGAL STANDARD





Leelia Avenue



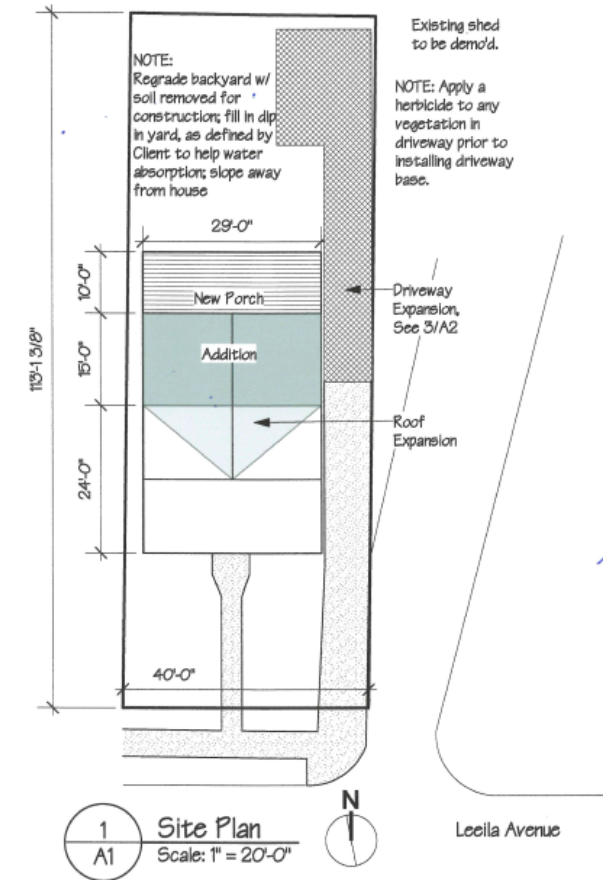
SCOPE OF PROJECT: Build a one-story 15'-0" addition (415 SF) on the back of the house with a 10'-0" porch beyond. Enlarge the existing kitchen and include an eat-in area and add a new bedroom. This will be built over a crawl space to match the existing. There will be no new plumbing.

GENERAL NOTES:

- All existing dimensions and conditions shall be verified in the field by the Contractor(s) prior to the construction of any part of the work and prior to ordering materials. Do not scale drawings. Notify the Architect in writing of any discrepancies.
- All laws in force at the building location shall govern. Each Contractor and Sub-contractor shall perform all work in conformity with those laws whether or not such work is specifically shown on these drawings.
- Each contractor is responsible for compliance with the design. Any inconsistencies between the as-built conditions and these drawings shall be reported immediately to the Architect before construction. ANY REVISIONS, CHANGES, OR DEVIATIONS PROPOSED BY THE CONTRACTOR OR TENANT MUST BE SUBMITTED TO THE ARCHITECT & CLIENT IN WRITING AND RECEIVE APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- The General Contractor shall determine the exact locations of all public utilities prior to initiating any demolition or construction.
- Each Contractor shall be registered with the city where the work is being conducted and shall carry Workmen's Compensation and Liability Insurance in amounts requested by the Owner. Contractors Liability Insurance shall include a "Hold Harmless" clause to indemnify the Architect and the Owner against any and all claims that may arise during the life of this contract. In accordance with generally accepted construction practices, the Contractor(s) shall be solely responsible for the conditions at the job site, including the safety of all persons and property during the performance of the work.
- The Contractor shall notify the Architect in writing of any materials or apparatus believed to be inadequate, unsuitable, in violation of laws, ordinances, rules, or regulations of authorities having jurisdiction prior to construction.
- It is the intent of these drawing to have all of the work done and completed in a good workmanlike manner. All work shall be furnished and installed complete in every detail, ready for satisfactory operation, and all required apparatus and material shall be furnished even though not specifically mentioned herein.
- All materials, finishes and equipment shall be erected, installed, connected, cleaned, adjusted, tested, conditioned and placed in service in accordance with the manufacturer's directions and recommendations.
- The General Contractor shall coordinate with the Owner the location, on site, for the storage of construction materials and the areas to be protected from the work.
- The Owner does not assume any responsibility for conditions under which the contract work must be performed and shall not be held liable for any delays or damage caused to the Contractor by reasons beyond the control of the Owner.
- Protect existing occupancy that is to remain in continuous operation during the construction activity. Carefully remove portions that are to be removed and protect portions that are to remain temporarily or permanently in place. Provide shoring as required.
- No extras will be authorized unless they are approved in writing by the Owner.
- Each Contractor and Sub-contractor shall be responsible for his/her own construction tools and materials. Each Contractor and Sub-contractor shall be responsible for the quality of the work.
- Each Contractor & Sub-contractor shall obtain & pay for all contractor required costs & trade permits. Sales tax shall be included in all bids.
- Each Contractor shall keep the area clean at all times and remove all rubbish from the premises each day. After completion of the work, the site shall be cleaned wherever such cleaning is required, including areas of the building made dirty by the construction work. Each contractor shall remove from the premises trash, rubbish, tools, equipment and excess materials. The site is to be left in perfectly clean condition.
- OBC 3302.1 - Required exits, existing structural elements, fire protection devices and sanitary safeguards shall be maintained at all times during remodeling, alterations, repairs, or additions to any building or structure.
- OBC 3404.1 - Additions or alterations to existing systems, materials, or components shall not cause them to become unsafe, hazardous, overloaded, or become less effective than when originally installed, constructed, and/or approved.
- All work shall be guaranteed for a period of one year from date of final payment to contractor.
- Unless noted otherwise all dimensions and profiles are to match existing conditions.
- Provide fire rated wood backing at all surface mounted fixtures and accessories.
- No smoking in home/building. Remove all cigarette butts from property.

- DESIGN CRITERIA:** Zone 5
Use Group: R
2019 Residential Code of Ohio (RCO)
Roof Design Loads:
15 psf dead load
12 psf wind load (90 mph max)
30 psf live load
30 psf snow load
1. Ground Snow Load: 30 PSF
2. Basic wind speed: 115 MPH (ULT), EXP B
90 MPH, Design Speed
3. Wind exposure category - B
4. High wind design criteria - B
5. Seismic design category - B
6. Weathering - Severe
7. Termite area: Heavy to Moderate
8. Winter design temperature: 5° F
9. Floor loads for decks and floor joists
30 psf live load
15 psf dead load
12 psf wind load (90 mph max)
30 psf snow load
10. Concrete compressive strength: 4000 psi for 28 days
11. Load bearing value of soil: 1500 psi
12. Energy Efficiency minimums - RCO 2019
Door (exterior) R-Value: 4.75
Fenestration U-Factor: 0.30
Skylight U-Factor: 0.55
Ceiling R-value: 49/Ceiling U-factor: 0.026
Floor R-value: 30 or insulation filled R19/Floor U-factor: 0.033
Basement Wall R-value: 10/13/Basement Wall U-factor: 0.059
Slab R-value & Depth: 10 & 2 ft.
Crawl Space Wall R-value: 10/13/Crawl Space Wall U-factor: 0.065
Roof: insulation entirely above deck: R-30
Attic: Residential: R49
Wood framed wall R-value: R13 + R5ci or R20/ Frame wall U-factor: 0.060
Mass Wall R-value: 13/17; Mass Wall U-factor: 0.052

List of Drawings	
A1	Site Plan
A2	Existing Floor Plan and Elevation
A3	Existing Side and Back Elevations
A4	Proposed Floor Plan
A5	Reflected Ceiling Plan
A6	Existing Kitchen and Interior Elevations/Details
A7	Proposed Kitchen and Interior Elevations
A8	Proposed Back Elevation
A9	Proposed Side Elevation
A10	Foundation Plan and Floor Framing
A11	Crawlspace Addition Detail
A12	Roof Plan and Roof Framing
A13	Roof Details
A14	Porch Details
A15	Photos



**Residential Addition
Frick Warren
Residence**

12502 Leella Ave.
Cleveland, Ohio
44135

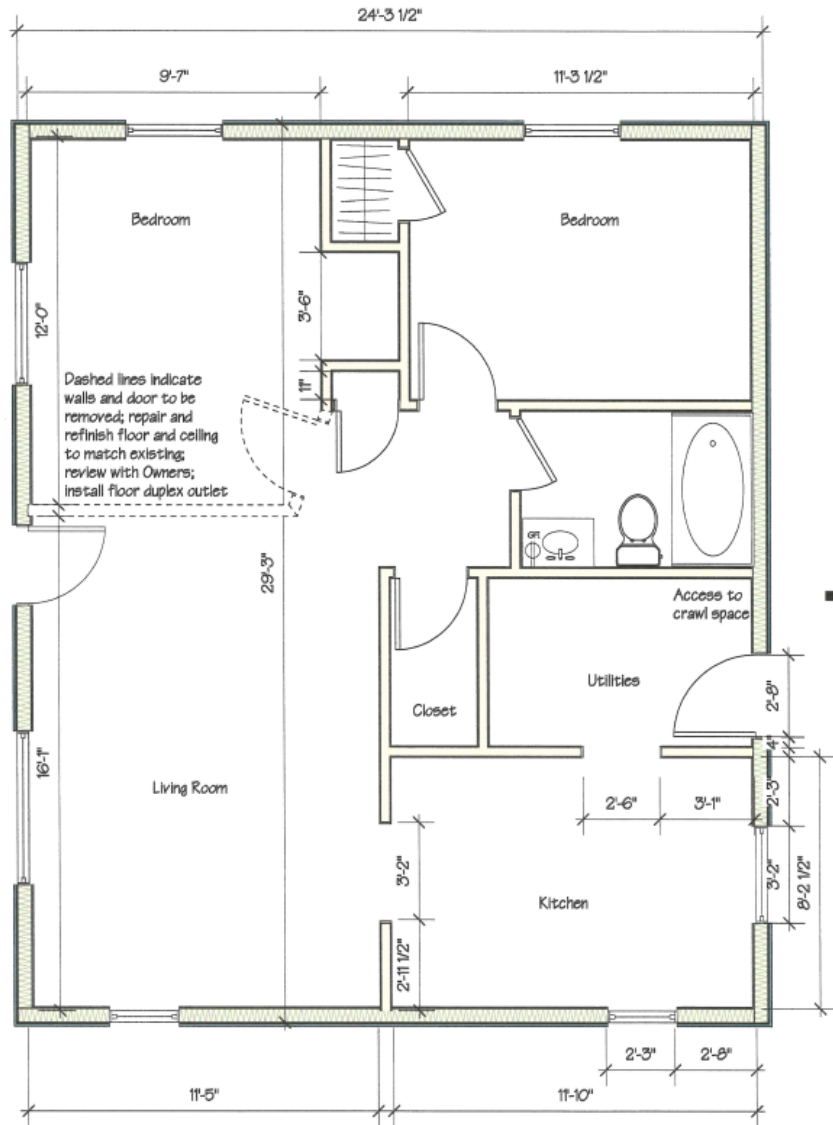
Sally L. Levine, AA, LEED AP
Levine
Architecture
& Design,
Ltd.
3716 Toland Road
Shaker Heights, Ohio 44122
p: 216-752-4661
c: 216-752-1092
s: sally@levine-a.com



Sally L. Levine
16 August 2021
Registration # 13545
Expires 31 December 2021

For Permit: 16 August 2021
In progress: 12 August 2021
Design Development: 31 July 21
Initial Schemes: 3 July 2021

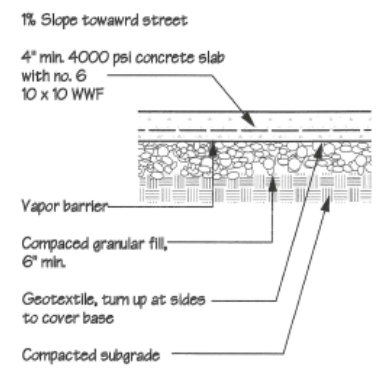
A1



1 Existing Floor Plan
A2 Scale: 1/4" = 1'-0"



2 Existing Front Elevation
A2 Scale: 1/4" = 1'-0"



3 Concrete Driveway Section
A2 Scale: 3/4" = 1'-0"

Residential Addition
Frick Warren
Residence

12502 Leeila Ave.
Cleveland, Ohio
44135

Sally L. Levine, AIA, LEED AP
Levine
Architecture
& Design,
Ltd.

3716 Telford Road
Shaker Heights, Ohio 44122
p: 216-752-4661
c: 216-702-1092
e: sally@levine-a.com



Sally L. Levine
16 August 2021
Registration # 13545
Expires 31 December 2021

For Permit: 16 August 2021
In progress: 12 August 2021
Design Development: 31 July 21
Initial Schemes: 3 July 2021

A2

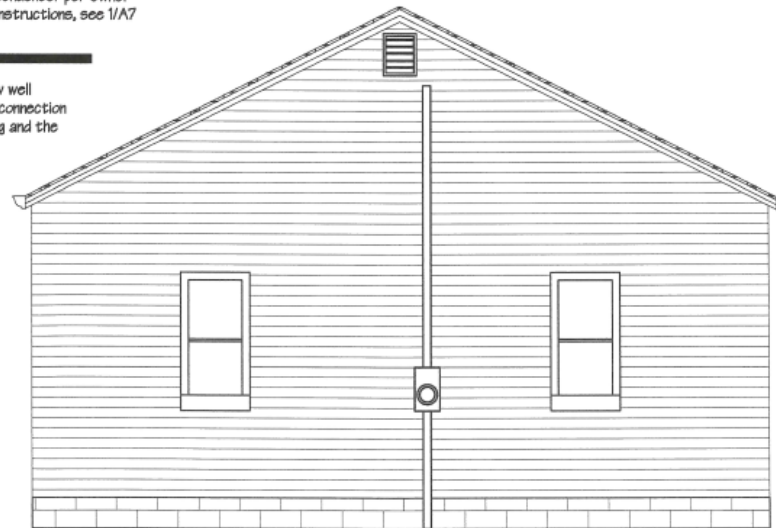


NOTE:
When removing aluminum siding, carefully remove the siding from all areas, taking care to not damage the original wooden shingles, siding, and trim underneath.

Relocate existing condenser per Owner instructions, see 1/A7

Open existing window well window to create a connection between the existing and the new crawl spaces

1 Existing Back Elevation
A3 Scale: 1/4" = 1'-0"



2 Existing Back Elevation
A3 Scale: 1/4" = 1'-0"

Residential Addition
Frick Warren
Residence

12502 Leeila Ave.
Cleveland, Ohio
44135

Sally L. Levine, AIA, LEED AP
Levine
Architecture
& Design,
Ltd.

3716 Toland Road
Shaker Heights, Ohio 44122
p: 216-752-4661
c: 216-702-1092
e: sally@levine-a.com

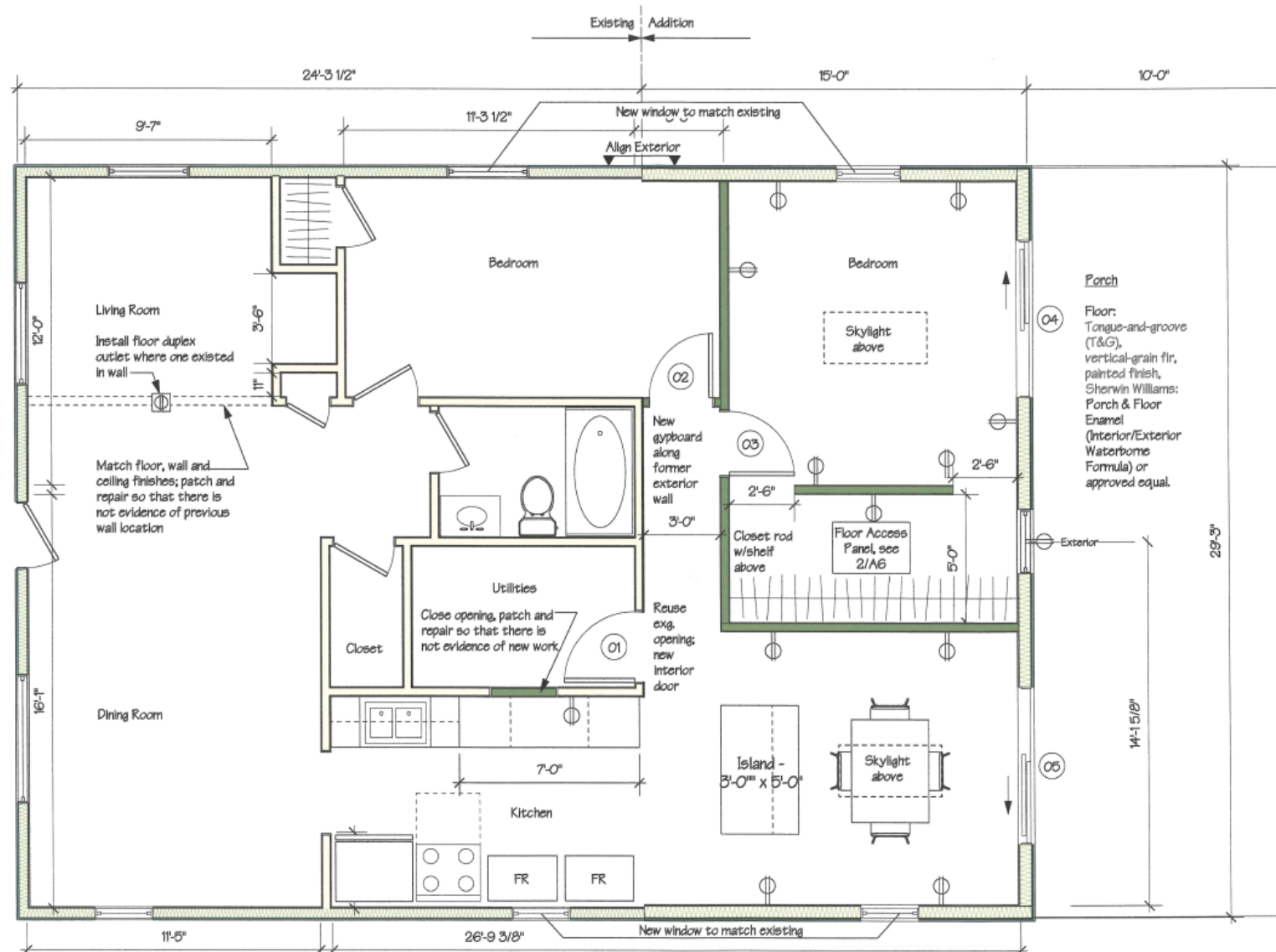


Sally L. Levine

16 August 2021
Registration # 13545
Expires 31 December 2021

For Permit: 16 August 2021
In progress: 12 August 2021
Design Development: 31 July 21
Initial Schemes: 3 July 2021

A3



Electrical Key

⊕ New floor duplex

⊕ New wall duplex

WALL KEY

Existing 2 x 4 Exterior Wall

New 2 x 6 Exterior Wall

Existing 2 x 4 Interior Wall

New 2 x 4 Interior Wall

1 Proposed Floor Plan
A4 Scale: 1/4" = 1'-0"

NOTE:
Exterior, existing siding: Aluminum;
new siding to be used on addition;
eventually the entire house will be resided

Residential Addition
Frick Warren Residence

12502 Leella Ave.
Cleveland, Ohio
44135

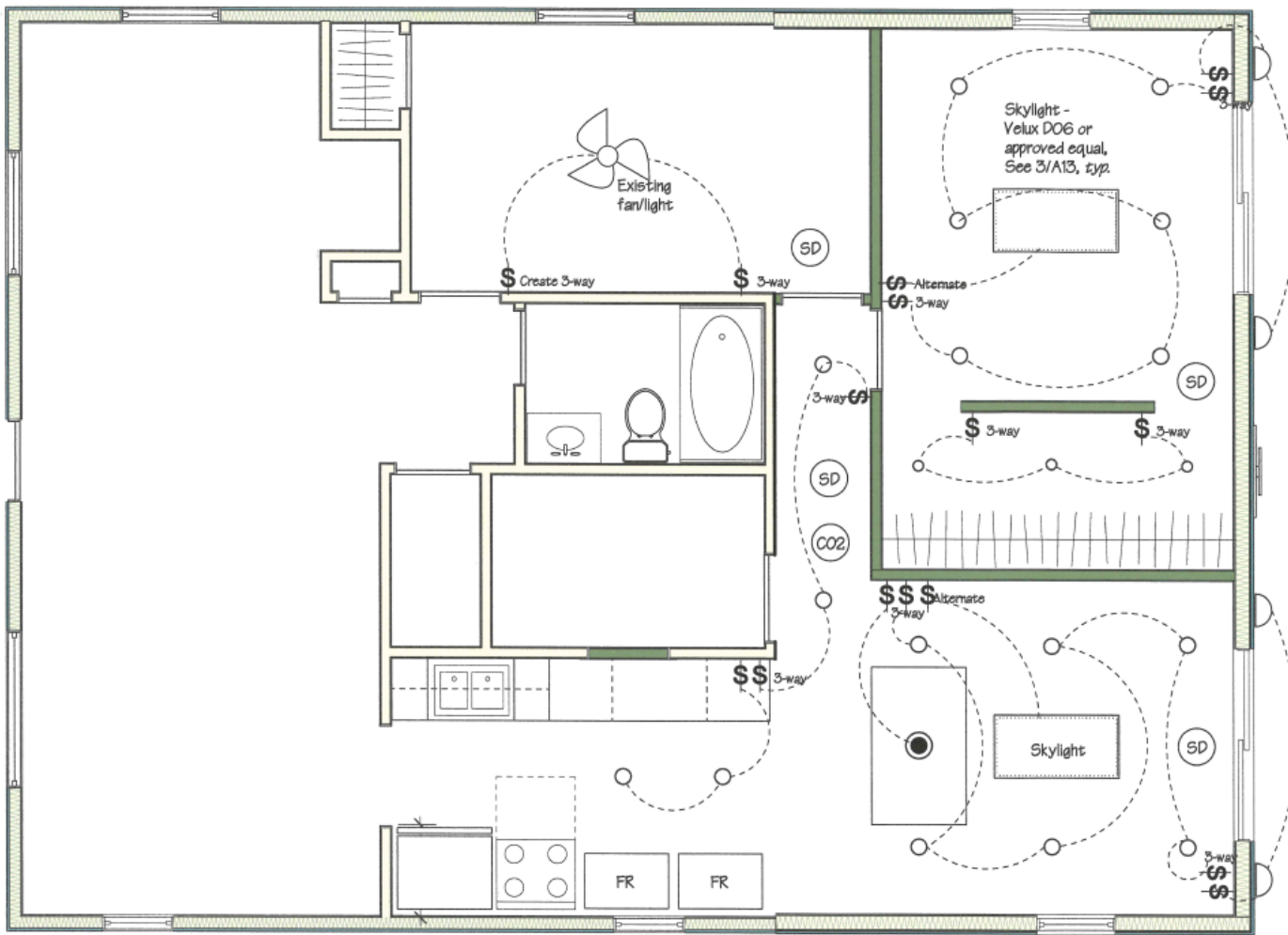
Sally L. Levine, AIA, LEED AP
Levine
Architecture
& Design,
Ltd.
3798 Tolland Road
Shaker Heights, Ohio 44122
p: 216-702-4661
c: 216-702-1092
s: sally@levine-a.com



Sally L. Levine
16 August 2021
Registration # 13545
Expires 31 December 2021

For Permit: 16 August 2021
In progress: 12 August 2021
Design Development: 31 July 21
Initial Schemes: 3 July 2021

A4



1 Reflected Ceiling Plan
A5 Scale: 1/4" = 1'-0"

NOTE:
Alternate: LED tape light installed around interior perimeter of skylight.

LIGHTING SYMBOLS	
	- Existing Ceiling Fan
	- 6" LED wafer lights
	- 4" LED wafer lights
	- Pendant over island
	- ALTERNATE: LED rope light outline of skylight
	- Exterior Sconces
	- Decorative Exterior Light
	- Light switch - 48" to top of box
	- 3-way light switch - 48" to top of box
	Smoke Detector: dual (photoelectric/ionization) sensor
	CO2 Detector, on wall, approx 5'-0" AFF

ELECTRICAL NOTES: All electrical must be per National Electrical Code

- It is the Electrical Contractor's responsibility to provide a complete and operating electrical system. The Electrical Contractor is responsible for providing all labor, materials, tools, equipment and other related accessories.
- The Electrical Contractor shall coordinate w/the Owner the installation of the electrical work. The Owner shall verify the locations of all electrical duplex outlets, lighting switches, lighting fixtures and all other electrical devices prior to closing-in or covering wiring runs, circuits, or devices.
- All work, material, equipment, electrical system circuits, components & over current devices shall comply with all of the latest editions of the National Electrical Code Sections 110.9 and 110.10, National Electrical Safety Codes, NFPA and all local and state codes, Residential Code of Ohio Chapter 34 & ordinances & all O.S.H.A. standards; Electrical system circuits, components & over current devices shall be provided to meet the requirements of National Electrical Code (NEC) Sections 110.9 and 110.10 & shall be installed as required by the most current edition of the NEC, OBC Chapter 27 & all Local Ordinances.
- The Electrical Contractor shall obtain and pay for all permits required to perform the work.
- All electrical materials shall be new and bear the Underwriter's Laboratory, Inc. (UL) label.

Residential Addition
Frick Warre Residence

12502 Leeila Ave.
Cleveland, Ohio
44135

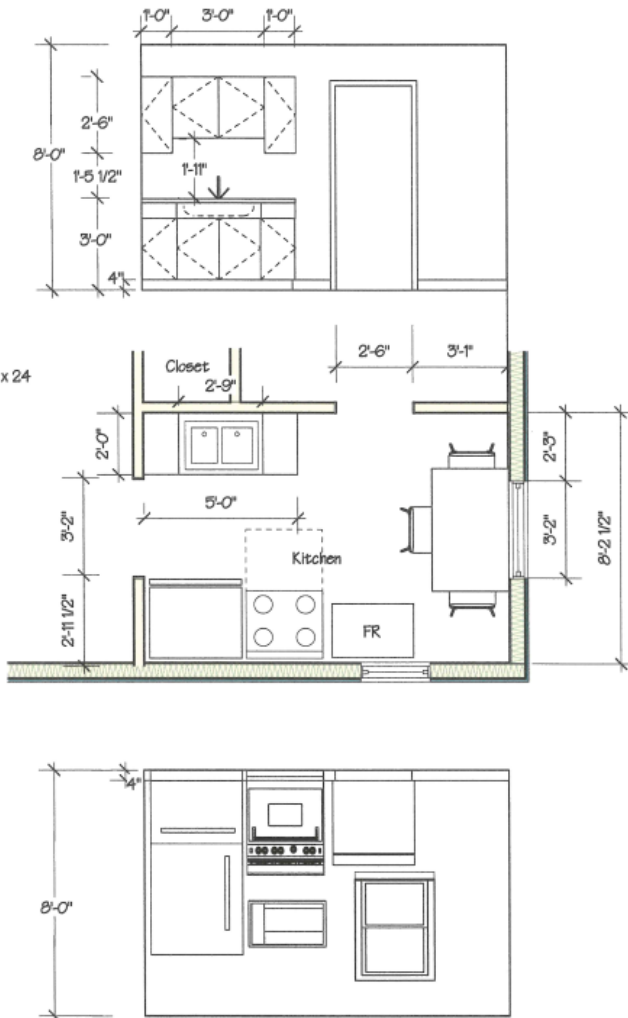
Sally L. Levine, AIA, LEED AP
Levine
Architecture
& Design,
Ltd.
3716 Tolland Road
Shaker Heights, Ohio 44122
p: 216-752-4661
c: 216-752-1982
e: sally@levine-a.com



Sally L. Levine
16 August 2021
Registration # 13545
Expires 31 December 2027

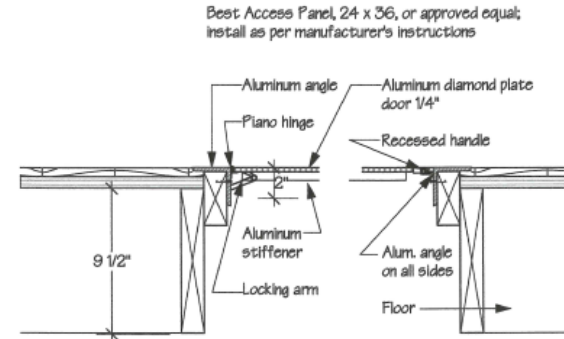
- For Permit: 16 August 2021
- In progress: 12 August 2021
- Design Development: 31 July 2021
- Initial Schemes: 3 July 2021

A5



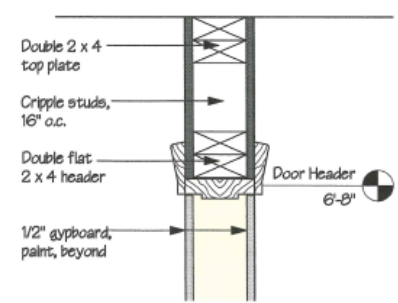
Double sink and cabinet - 33 x 24
 Refrigerator - 36 x 31
 Oven - 30 x 26.5
 Freezer - 32 x 21

1 Existing Kitchen and Interior Elevations
 Scale: 1/4" = 1'-0"

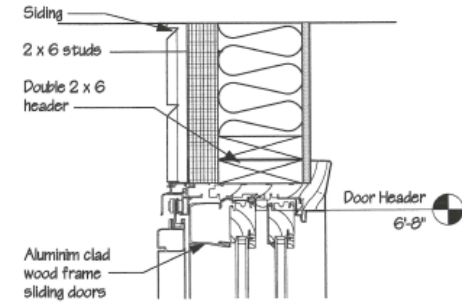


Best Access Panel, 24 x 36, or approved equal;
 install as per manufacturer's instructions

2 Crawl Space Flush Access Panel
 Scale: 1 1/2" = 1'-0"



3 Interior Door Header
 Scale: 1 1/2" = 1'-0"



4 Exterior Wall Header
 Scale: 1 1/2" = 1'-0"

Residential Addition
Frick Warren Residence

12502 Leeila Ave.
 Cleveland, Ohio
 44135

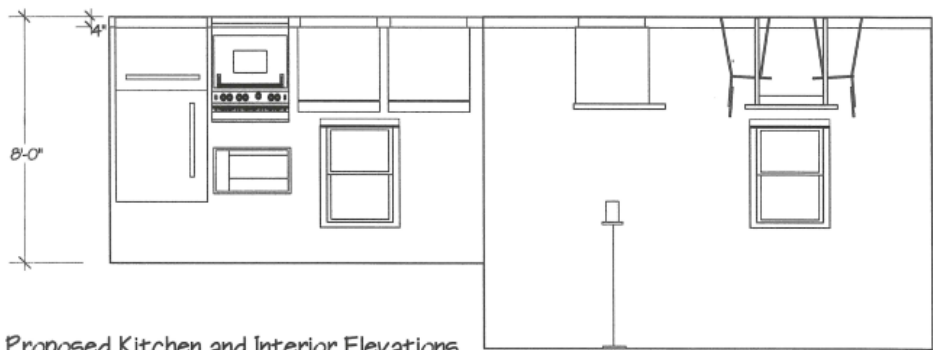
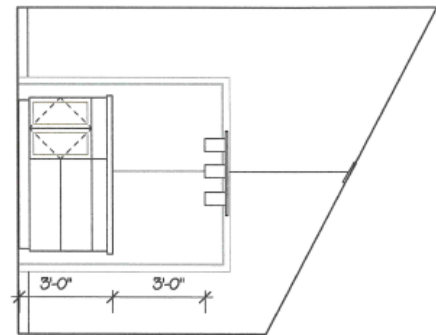
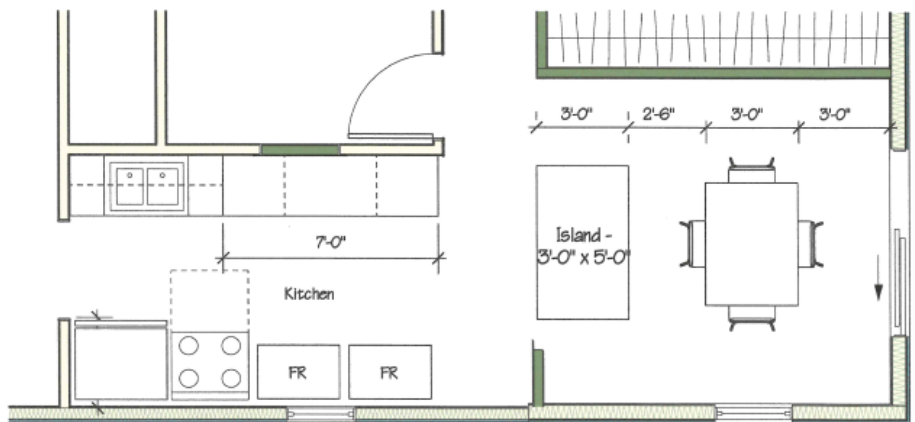
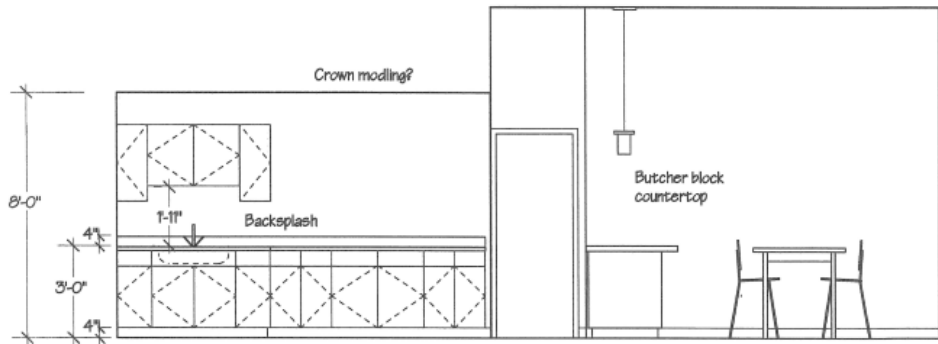
Sally L. Levine, AIA, LEED AP
 Levine
 Architecture
 & Design,
 Ltd.
 3716 Tolland Road
 Shaker Heights, Ohio 44122
 P: 216-702-4661
 F: 216-702-1092
 E: sally@levine-a.com



Sally L. Levine
 16 August 2021
 Registration # 13545
 Expires 31 December 2021

For Permit: 16 August 2021
 In progress: 12 August 2021
 Design Development: 31 July 21
 Initial Schemes: 3 July 2021

A6



1 Proposed Kitchen and Interior Elevations
 A7 Scale: 1/4" = 1'-0"

Residential Addition
**Frick Warren
 Residence**

12502 Leela Ave.
 Cleveland, Ohio
 44135

Sally L. Levine, AIA, LEED AP
 Levine
 Architecture
 & Design,
 Ltd.

3716 Toland Road
 Shaker Heights, Ohio 44122
 p: 216-752-4661
 c: 216-702-1092
 e: sally@levine-a.com



Sally L. Levine

16 August 2021
 Registration # 13545
 Expires 31 December 2021

- For Permit: 16 August 2021
- In progress: 12 August 2021
- Design Development: 31 July 21
- Initial Schemes: 3 July 2021

A7

Residential Addition
**Frick Warre
 Residence**

12502 Leeila Ave.
 Cleveland, Ohio
 44135

Sally L. Levine, AIA, LEED AP
 Levine
 Architecture
 & Design,
 Ltd.

3716 Tollard Road
 Shaker Heights, Ohio 44122
 p: 216-752-4661
 c: 216-702-1092
 e: sally@levine-d.com



Sally L. Levine

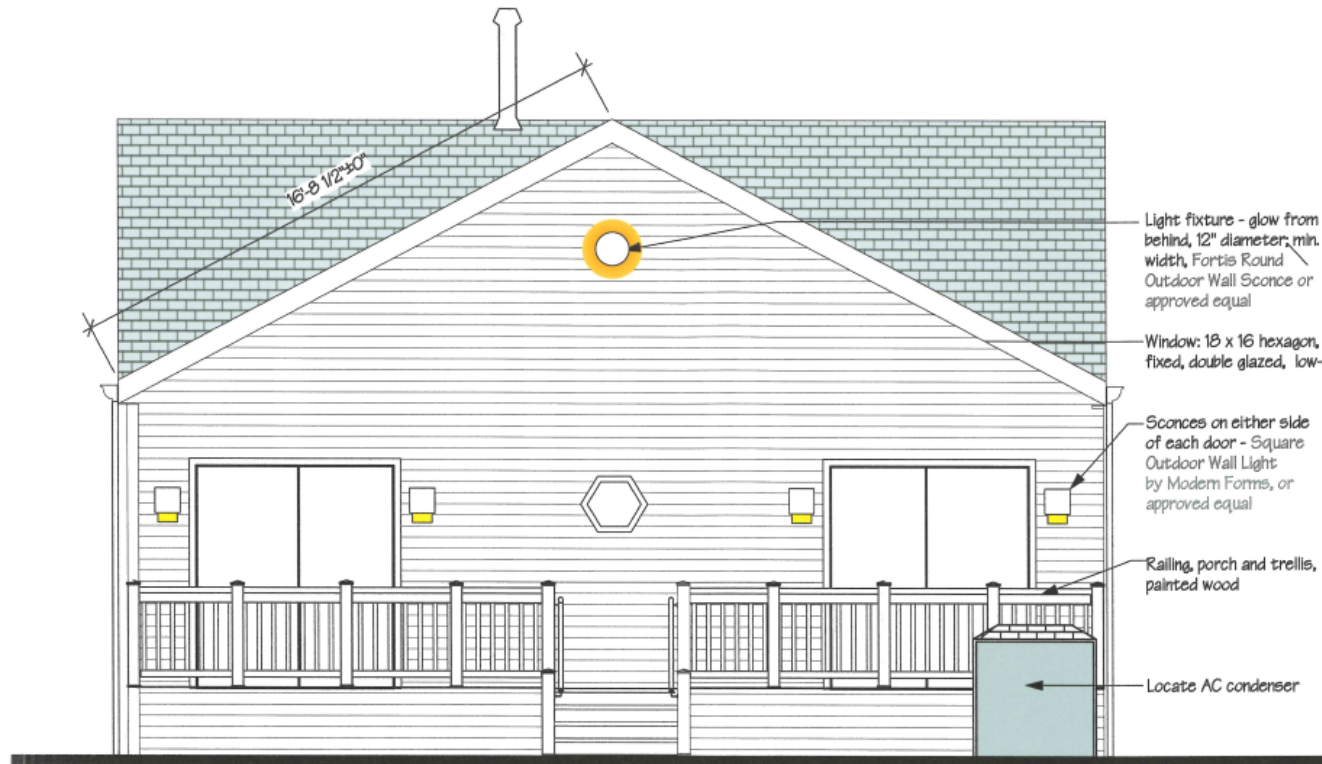
16 August 2021
 Registration # 13545
 Expires 31 December 2022

For Permit: 16 August 2021

In progress: 12 August 2021

Design Development: 31 Jul 2021

Initial Schemes: 3 July 2021



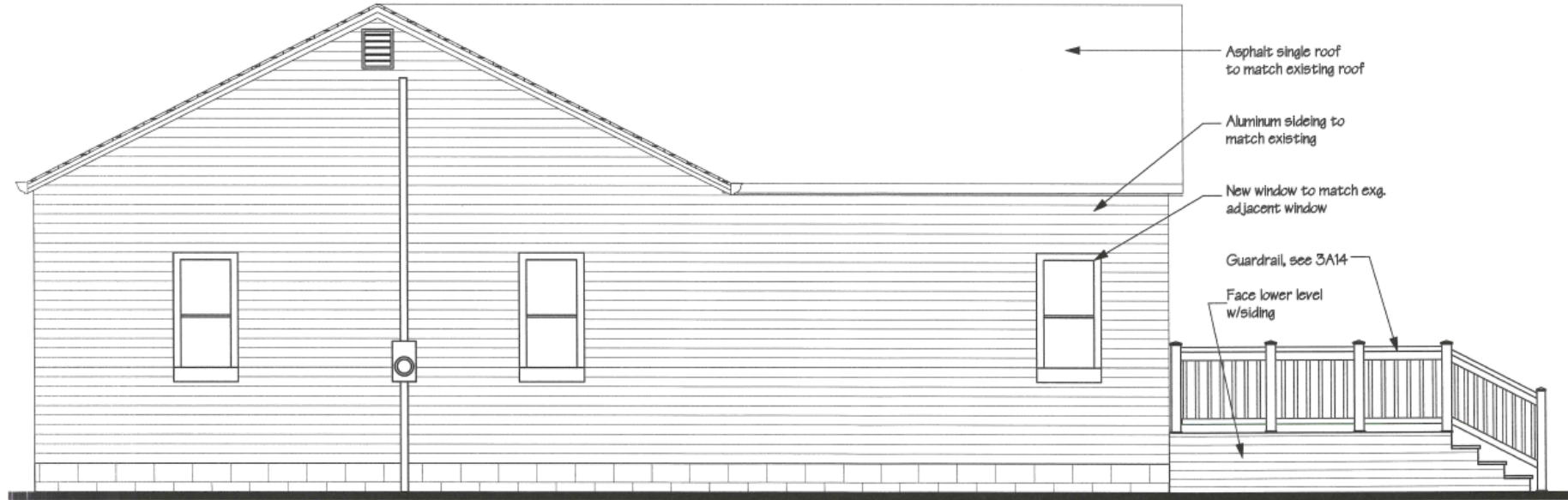
1 Proposed Back Elevation
 A8 Scale: 1/4" = 1'-0"

Door Schedule										
Mark	Nominal Size			Door Style	Door Frame		Frame Details		Comments	
	Width	Height	Thickness		Jamb Thick	Jamb Depth	Head Detail	Jamb Detail		
				Configuration						
01	23"	6'8"	1 3/4"	Swing	3/4"	4 1/2"	3/A6	3/A6 sim.		
02	26"	6'8"	1 3/4"	Swing	3/4"	4 1/2"	3/A6	3/A6 sim.		
03	26"	6'8"	1 3/4"	Swing	3/4"	4 1/2"	3/A6	3/A6 sim.		
04	60"	6'8"	1 3/4"	Sliding	3/4"	4 1/2"	4/A6	4/A6 sim.	w/sliding screeb	
04	6'8"	6'8"	1 3/4"	Sliding	3/4"	4 1/2"				
05	60"	6'8"	1 3/4"	Sliding	3/4"	4 1/2"	4/A6	4/A6 sim.	w/sliding screeb	
05	6'8"	6'8"	1 3/4"	Sliding	3/4"	4 1/2"				

A8

Residential Addition
Frick Warre
Residence

12502 Leeila Ave.
Cleveland, Ohio
44135



1 Proposed Side Elevation
A9 Scale: 1/4" = 1'-0"

Sally L. Levine, AIA, LEED AP
Levine
Architecture
& Design,
Ltd.

3716 Tolland Road
Shaker Heights, Ohio 44122
p: 216-752-4661
c: 216-702-1092
e: sally@levine-a.com



Sally L. Levine

16 August 2021
Registration # 13545
Expires 31 December 2022

For Permit: 16 August 2021

In progress: 12 August 2021

Design Development: 31 Jul 2021

Initial Schemes: 3 July 2021

A9



Side of House



Back of House



Side of House

Residential Addition
**Frick Warre
 Residence**

12502 Leeila Ave.
 Cleveland, Ohio
 44135

Sally L. Levine, AIA, LEED AP
 Levine
 Architecture
 & Design,
 Ltd.

3716 Tolland Road
 Shaker Heights, Ohio 44122
 p: 216-752-4661
 c: 216-702-1092
 e: sally@levinea-d.com



Sally L. Levine

16 August 2021
 Registration # 13545
 Expires 31 December 2021

For Permit: 16 August 2021

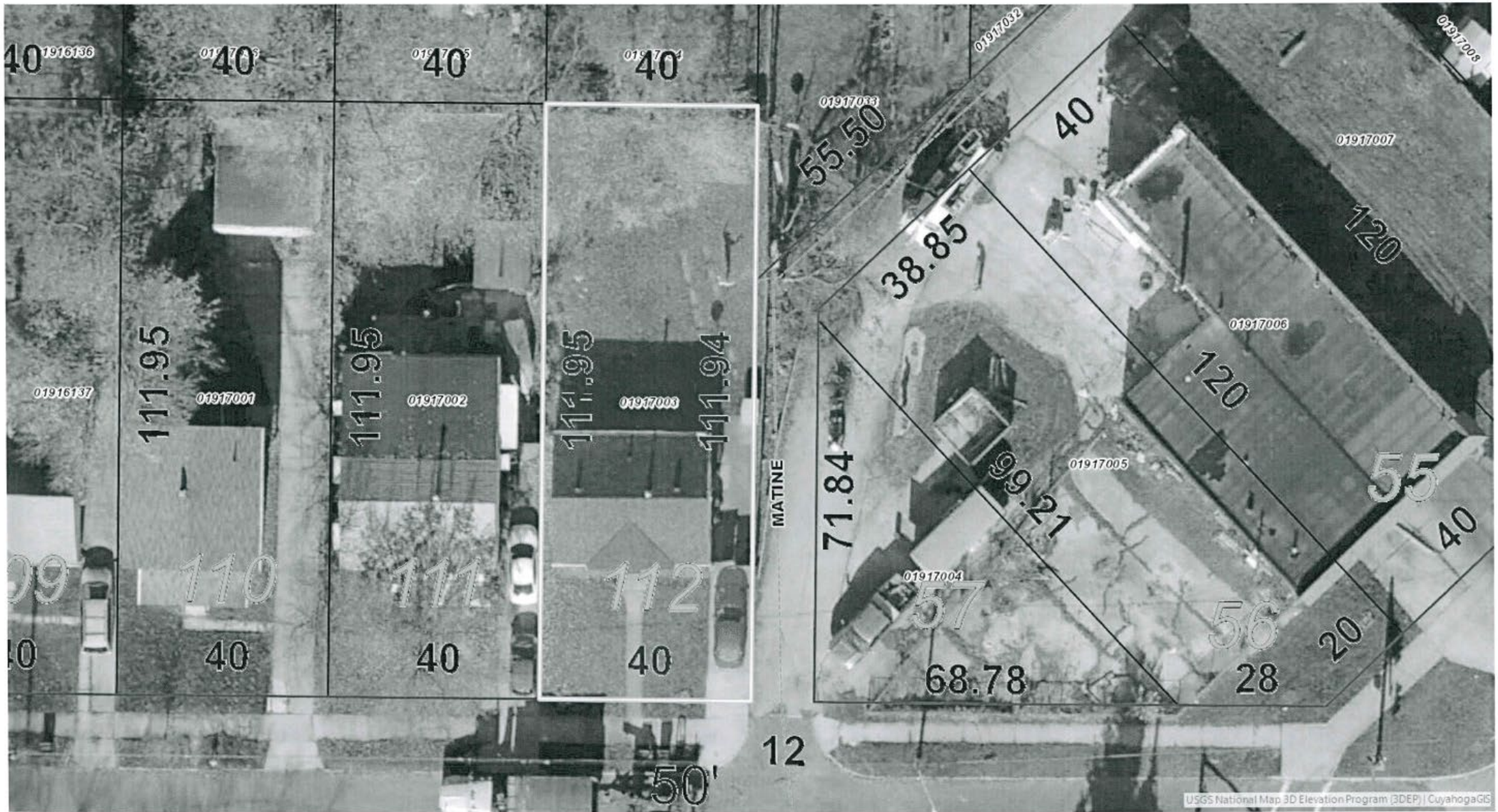
In progress: 12 August 2021

Design Development: 31 July 2021

Initial Schemes: 3 July 2021

A15





From: Brian Mooney <bmooney@clevelandcitycouncil.org>

Sent: Friday, October 22, 2021 8:35 AM

To: Kukla, Elizabeth <Ekukla@clevelandohio.gov>; Chad Dasher <dasher@westtowncdc.org>;
Davenport, Adam <adavenport@clevelandohio.gov>

Subject: Re: Board of Zoning Appeals October 25 agenda

Liz,

i have a conflict with oct 25 meeting, i have a council meeting.

however i wish to convey my support for Timoth Frick and Stan Warren for their boza case. please convey to BOZA for me

brian mooney

ward 11

Calendar No. 21-159:

12502 Leelia Ave

**Ward 11
Brian Mooney**

Public Hearing



Calendar No. 21-095:

14526 Puritas Ave

Ward 16

Northern Ohio Gas Stations (Saady Hashem), owner, proposes to use and occupancy premises as a Motor Vehicle Service station in a C2 Local Retail Business District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 343.01(b) which states that a **Motor Vehicle Service Station is not a permitted use** in a Local Retail Business District, first permitted in a General Retail Business District per Section 343.11(b)(2)(I)(1).
2. Section 359.02(a) A nonconforming use of a building or premises which has been discontinued **shall not thereafter be returned to such nonconforming use.** (Filed June 4, 2021)



Public Hearing

Calendar No. 21-095:

14526 Puritas Ave

Ward 16



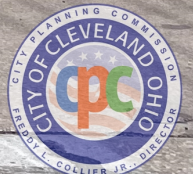
SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.**



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting a use variance.

To obtain the use variance, Appellant must prove that denying the request:

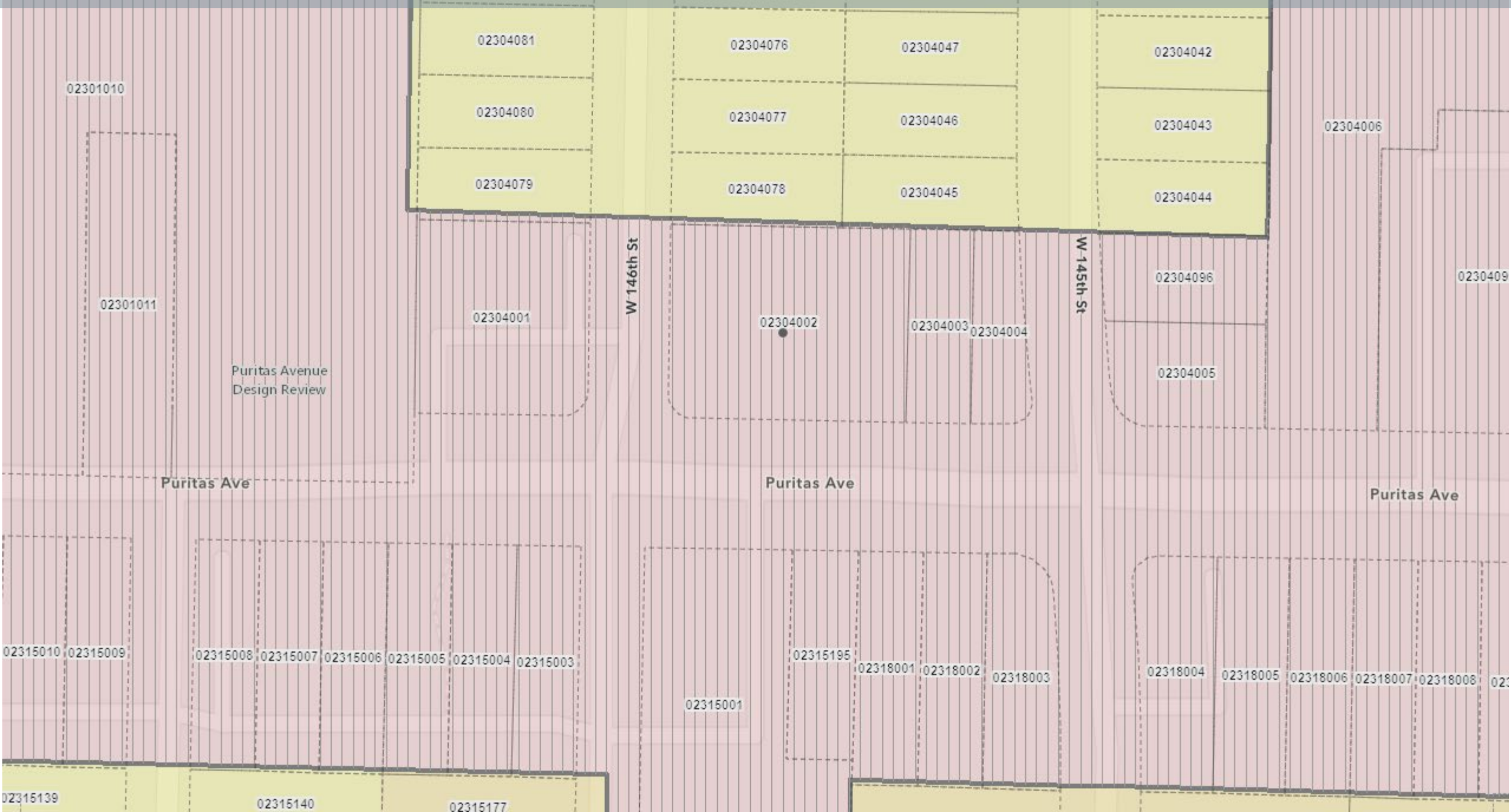
1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

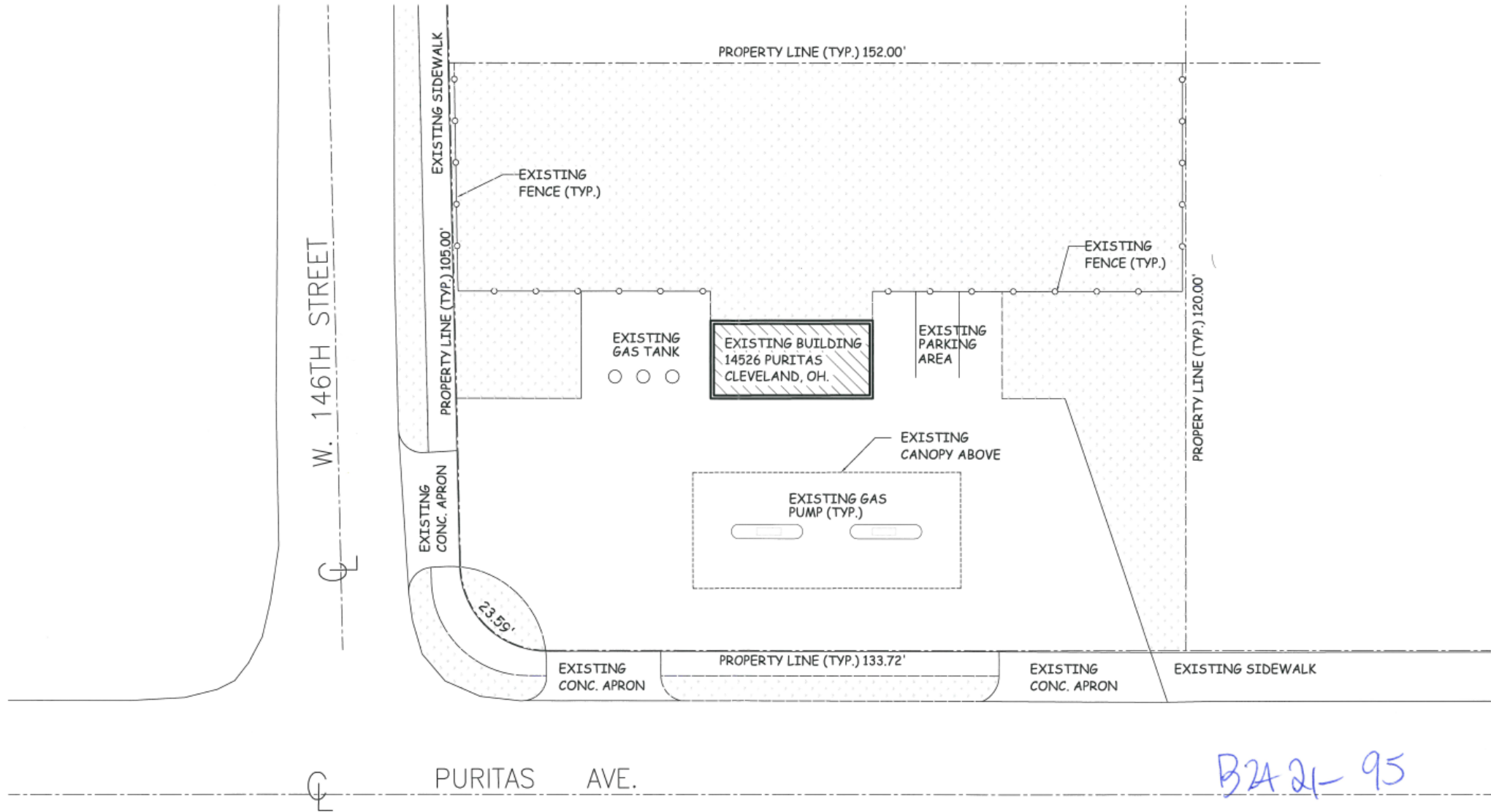




West 146th Street

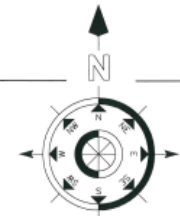
Puritas Avenue

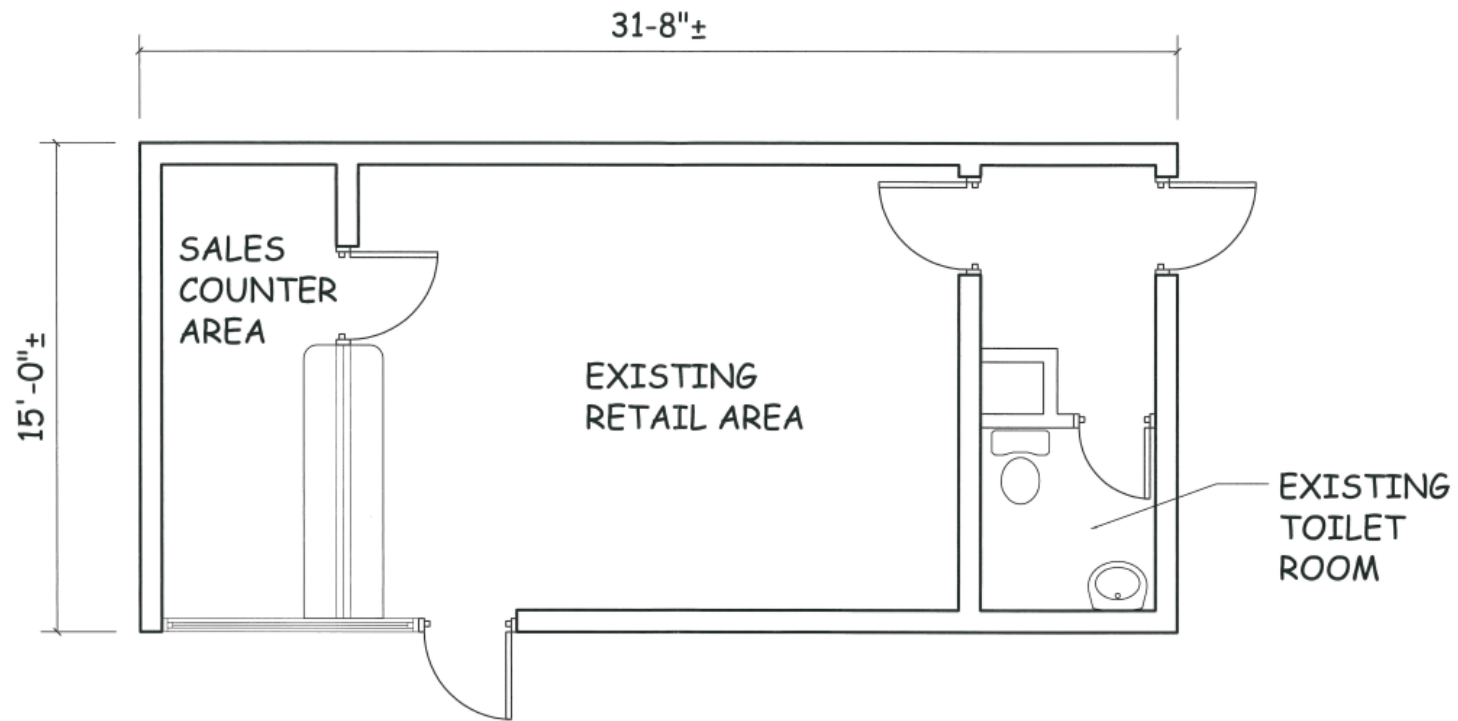




EXISTING SITE PLAN

SCALE: 1" = 20'-0"





EXISTING BUILDING FLOOR PLAN

SCALE: 1/4" = 1'-0"



Public Hearing

Calendar No. 21-098:

13001 Dove Ave.

Ward 2

Paul Snowball, owner proposes to construct a 7 space parking lot in a B1 Two-Family Residential and a C1 Local Retail Business District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 349.07 (a) which states that accessory off-street parking spaces, driveways and maneuvering areas shall be properly graded for drainage so that all water is drained within the lot providing such parking spaces, surfaced with concrete, asphaltic concrete, asphalt or other surfacing materials.
2. Section 349.07 (b) which states that accessory off-street parking spaces shall be provided with wheel or bumper guards that are so located that no part of a parked vehicle will extend beyond such parking space.
3. Section 349.07 (c) which states that the driveway used to provide accessibility to accessory off-street parking spaces shall be so located and arranged to minimize traffic congestion.
4. Section 349.13(c) which states the Board of Zoning Appeals may permit, temporarily or permanently, the use of land in a Residence District for a parking lot.
5. All parking is to be kept back of the setback building line by barrier unless specifically authorized otherwise by the Board.
6. 358.04 Fences in actual front yards shall not exceed four (4) feet in height and shall be at least fifty percent (50%) open. (Filed June 7, 2021)



Public Hearing

Calendar No. 21-098:

13001 Dove Ave.

Ward 2



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting area variances from the off-street parking and fence requirements of the zoning code, as well as permission to construct a parking lot in a residential district.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.

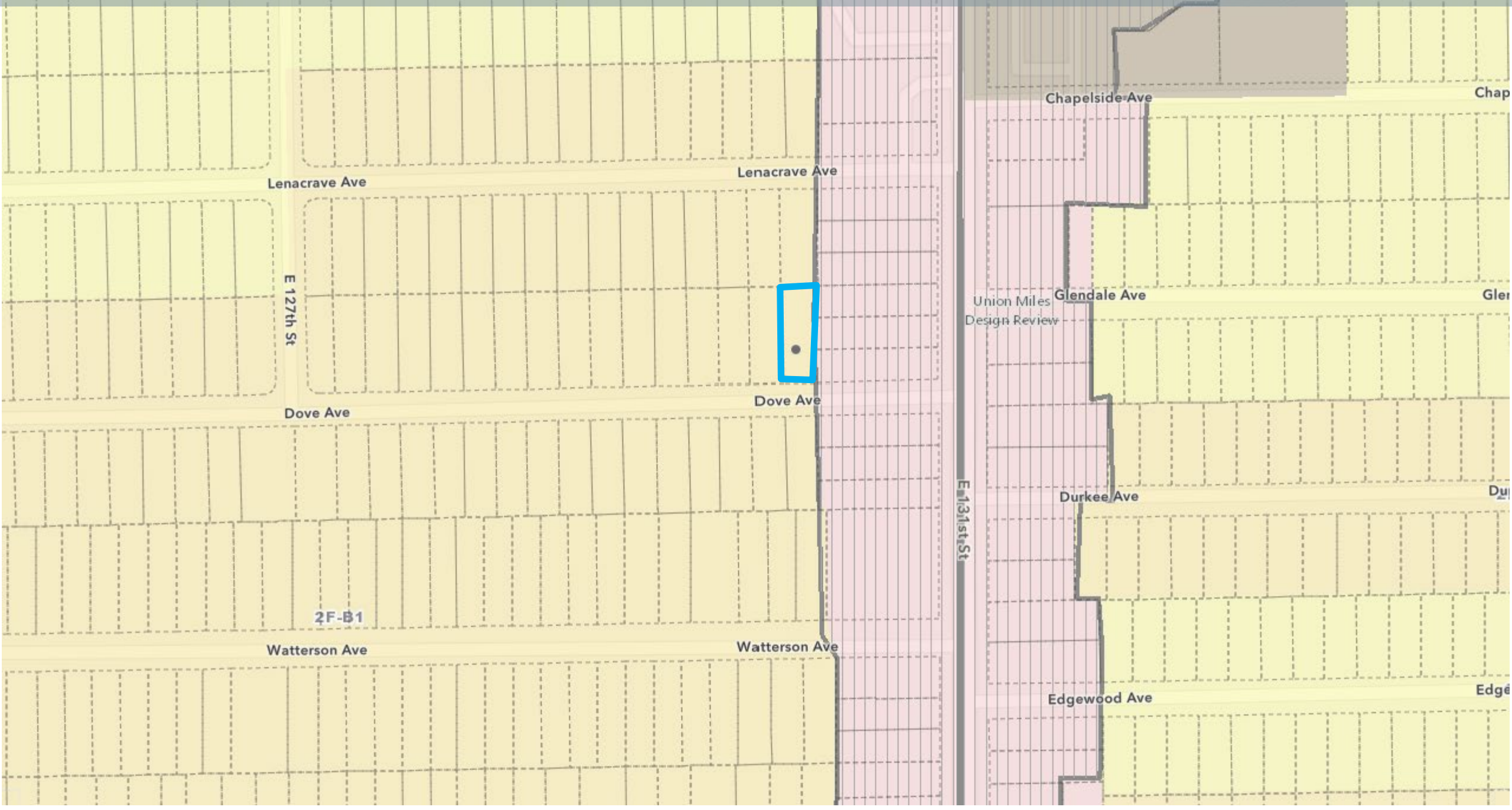
Subsection 349.13(c) provides that the Board may permit, temporarily or permanently, the use of land in a residential district for a parking lot, when the best interests of the community will be served and provided that:

- 1) The lot is to be used only for the parking of passenger automobiles of employees, customers, or guests of the person or firm controlling and operating the lot, who shall be responsible for its maintenance;
- 2) No charge is to be made for parking on the lot;
- 3) The lot is not to be used for sales, repair work or servicing of any kind;
- 4) Entrance to and exit from the lot are to be located so as to do the least harm to the Residence District;
- 5) No advertising sign or material is to be located on the lot;
- 6) All parking is to be kept back of the setback building line by barrier unless specifically authorized otherwise by the Board;
- 7) The parking lot and that portion of the driveway back of the building line are to be adequately screened from the street and from adjoining property in a Residence District by a hedge, sightly fence or wall not less than four (4) feet six (6) inches high and not more than five (5) feet high located back of the setback building line. All lighting is to be arranged so that there will be no glare that is annoying to the occupants of adjoining property in a Residence District, and the surface of the parking lot is to be smoothly graded, hard surfaced and adequately drained;
- 8) The building permit number under which the lot is to be established is to be posted; and
- 9) The Board may impose such other and further conditions as it may deem necessary to reduce the adverse effect of the proximity of a parking lot on the character, development and maintenance of the Residence District in which the parking lot is to be located.





Dove Avenue



Lenacrave Ave

Lenacrave Ave

E 127th St

Dove Ave

Dove Ave

2F-B1

Watterson Ave

Watterson Ave

E 131st St

Durkee Ave

Edgewood Ave

Chapelside Ave

Union Miles
Design Review

Glendale Ave

Edgewood Ave

Chap

Glen

Dur

Edge

From: Kevin Bishop [<mailto:kbishop@clevelandcitycouncil.org>]

Sent: Friday, July 09, 2021 9:46 AM

To: Kukla, Elizabeth <EKukla@city.cleveland.oh.us>

Cc: Naila Deskins <ndeskins@clevelandcitycouncil.org>

Subject: 13001 Dove

Dear Secretary,

I want to express my **objection** to the parking lot on 13001 Dove Ave. Thank you for your consideration.

Kevin Bishop Council Member Ward 2

Typos courtesy of my iPhone



TEMPORARY BENCHMARK:

DOVE AVENUE 40'
(Public Right-of-Way)

GLENDALE AVENUE 40'
(Public Right-of-Way)

EAST 131ST STREET 60'
(Public Right-of-Way)

850.00'C.&U.
N88°13'16"E 1540.52'C.&U. (1540.51'R.)

829.64'R.&U.

DRILL HOLE IN STONE MON. FOUND & USED FOR 30.00' CSR.&U.

88°58'20" CSR.&TURNED

46.28' OBS.

122.08' OBS.

280.04' CSR. & USED

29.84' OBS.

90°46'0" CSR.&TURNED

500°45'04"E

1512.85' OBS.

N88°12'36"E (39.92'R.)
39.94'C.&U.

P.P.N. 137-23-026
LISA D. WILLIAMS
AFN 201103040058

ADJ. BUILDING #12917

P.P.N. 137-23-022
TAHIA HERD
VOLUME 85-5380, PAGE 33

P.P.N. 137-23-023
LEVEL 23 PROPERTIES, LLC
AFN 201806290173

2 STORY BRICK/VINYL BUILDING #3900

SMV MH
Pmt: 915.75
127in W 903.55
127in W 903.77

SMV MH
Pmt: 915.98
127in W 905.29(C)
(COULD NOT OPEN)

652.42'C.&U.
S88°11'56"W 1540.15'C.&U. (1540.13'R.)
220.5 LF. 12" COMBINATION SEWER @ 0.715% (RECORD)

222.52'C.&U.

ASPHALT PAVEMENT W/ CONCRETE CURB

4" GAS
6" WAT
1" GAS

CONC. WALKWAY

APRON

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE

WOOD FENCE



CORLETT REALTY COMPANY'S SUBDIVISION
VOLUME 48, PAGE 23
OF C.C.M.R.

S/L 626

S/L 625

P.P.N. 137-23-056
STEPHANIE L. COE
VOLUME 98-09167,
PAGE 1

P.P.N. 137-23-055
FREDDIE L. PARRISH
AFN 200512150634

N88°12'36"E
(39.92'R.)
39.94'C.&U.

P.P.N. 137-23-022
TAHIA HERD
VOLUME 85-5380, PAGE 33

S/L 530

P.P.N. 137-23-023
LEVEL 23 PROPERTIES, LLC
AFN 201806290173

S/L 531

P.P.N. 137-23-026
LISA D. WILLIAMS
AFN 201103040058

WOOD FENCE
CHAIN-LINK FENCE
ADJ. GARAGE
CONC.

PROPOSED GREEN SPACE
10.0 TYP
18.0 TYP
4' LANDSCAPE

ADJ. GARAGE

ADJ. GARAGE

WOOD FENCE

153.70'R.&U.

N88°12'36"E

ADJ. BUILDING #12917

73.35'C.&U.
120.04'C.&U.
120.00'R.)

916

915

915

2 STORY BRICK/VINYL BUILDING #3900

S/L 532

500'45'04"E
40.02'R.&U.

122.08' OBS.

280.04' CSR. & USED

29.84' OBS.

90°46'0" CSR.&TURN

500'45'04"E

151

632.42'R.&U.

S/L 527

S/L 528

S88°11'56"W

192.88'C.&U.

222.52'C.&U.

EMPTY MON. FD.

SAN MH
Rm: 913.75
12" Inv. W: 903.55
12" Inv. F: 903.71

Public Hearing



Calendar No. 21-141:

7202 Hague Ave.

Ward 15

Travis Tomlinson, owner proposes to establish use as motor vehicle service garage in a C1 Local Retail Business District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

- 1.** Section 325.487 Which states that "Motor vehicle service garage" means a building or part thereof in which the motor vehicle servicing and repairs performed are limited to "minor re-pair" of motor vehicles as defined in Section 325.483.
- 2.** Section 325.483 which states that "Motor vehicle minor repair" means repairs and servicing that produce relatively low levels of noise, vibration and fumes and, more specifically, include the following types of repairs to motor vehicles of a gross vehicle weight of no more than six thousand (6,000) pounds:(a) "Motor vehicle maintenance" as defined in 325.482;(b) Air conditioning, starting and charging service;(c) Brake repair and replacement; (d) Engine oil changes, fluids replacement; (e) Exhaust system repair and replacement; (f) Automotive electrical work other than audio sound system installation; (g) Shock absorber, spring, and strut replacement; (h) Upholstery work; (i) Tire balancing, tire installation; wheel alignment; (j) Wind-shield and glass installation; (k) Tune-ups, diagnostics; spark plug replacement, emission control service; and (l) Other repairs of a similar nature with respect to impacts on nearby proper-ties.
- 3.** Section 343.14(a) which states that no motor vehicle service garage shall be located on a parcel that is within one hundred (100) feet of a Residence District unless the following conditions are met: (1) A solid board-on-board wood fence or brick or stone wall at least six (6) feet in height is placed along any property line abutting a Residence District, in addition to any otherwise required landscaping; and (2) No motor vehicle repair activity occurs within ten (10) feet of a Residence District. In this case no 6-foot fence proposed, no landscaping proposed and motor vehicle repair building is within 10 feet of residence district.
- 4.** Section 352.08 through 352.12 which states that a six-foot frontage landscaped strip is re-quired where lot abuts street. A 10 foot landscaped transition strip is required where property abuts residence district. No landscaping is proposed. Landscape plan required. (Filed August 19, 2021)



Public Hearing

Calendar No. 21-141:

7202 Hague Ave.

Ward 15



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.**



HISTORY OF THE PROPERTY



Public Hearing

Calendar No. 21-141:

7202 Hague Ave.

Ward 15



LEGAL STANDARD





Lorain Avenue (SR 10)

West 73rd Street

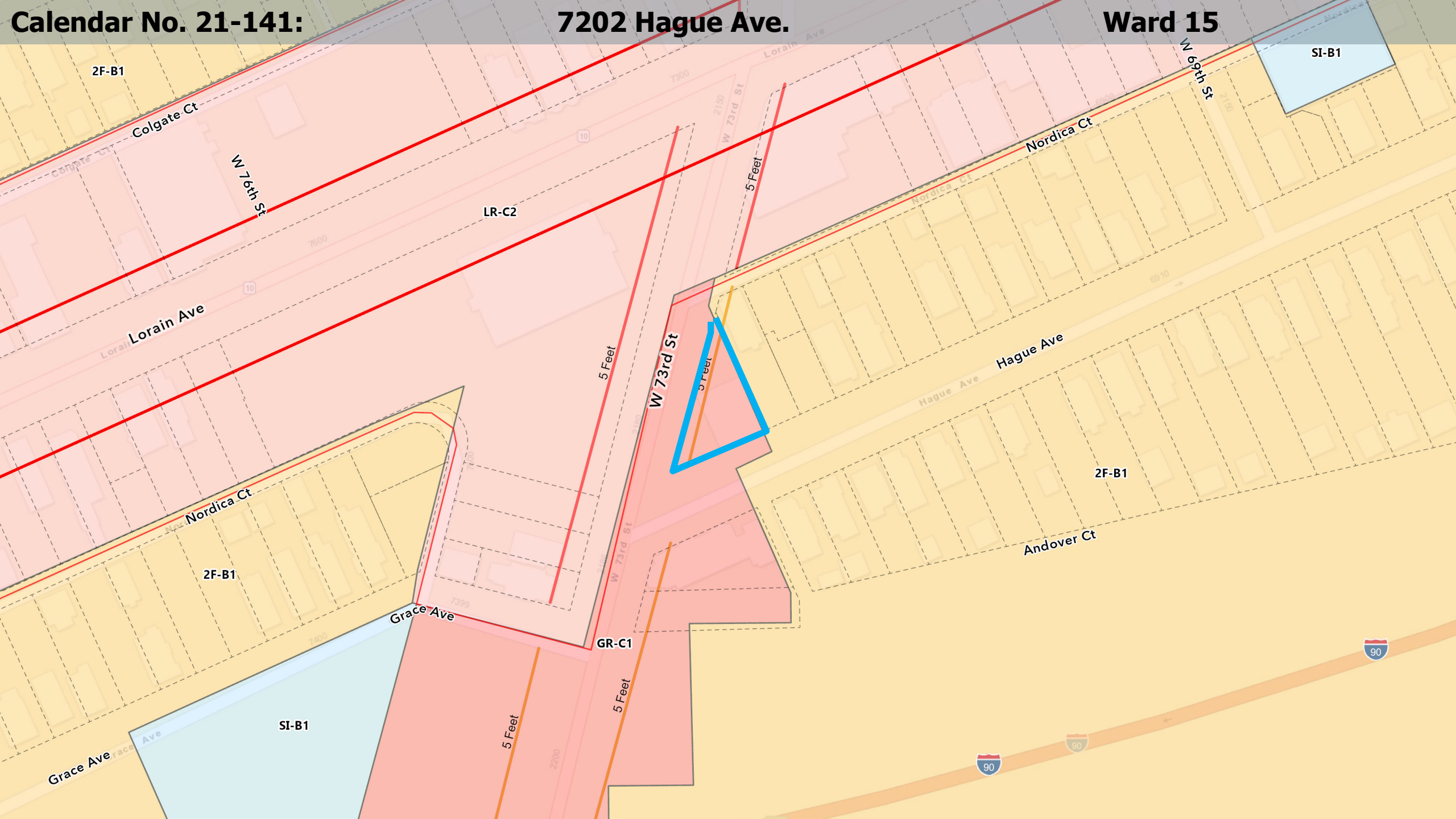
Nordica Court

Hague Avenue

West 74th Street

West 73rd Place

Andover Court



2F-B1

SI-B1

LR-C2

2F-B1

2F-B1

SI-B1

GR-C1

W 73rd St

Hague Ave

Lorain Ave

Nordica Ct

Andover Ct

Grace Ave

5 Feet

5 Feet

5 Feet

5 Feet

5 Feet



216-432-8056

38'

21-141

RECEIVED
AUG 19 2021
BOARD OF ZONING APPEALS

Warehouse

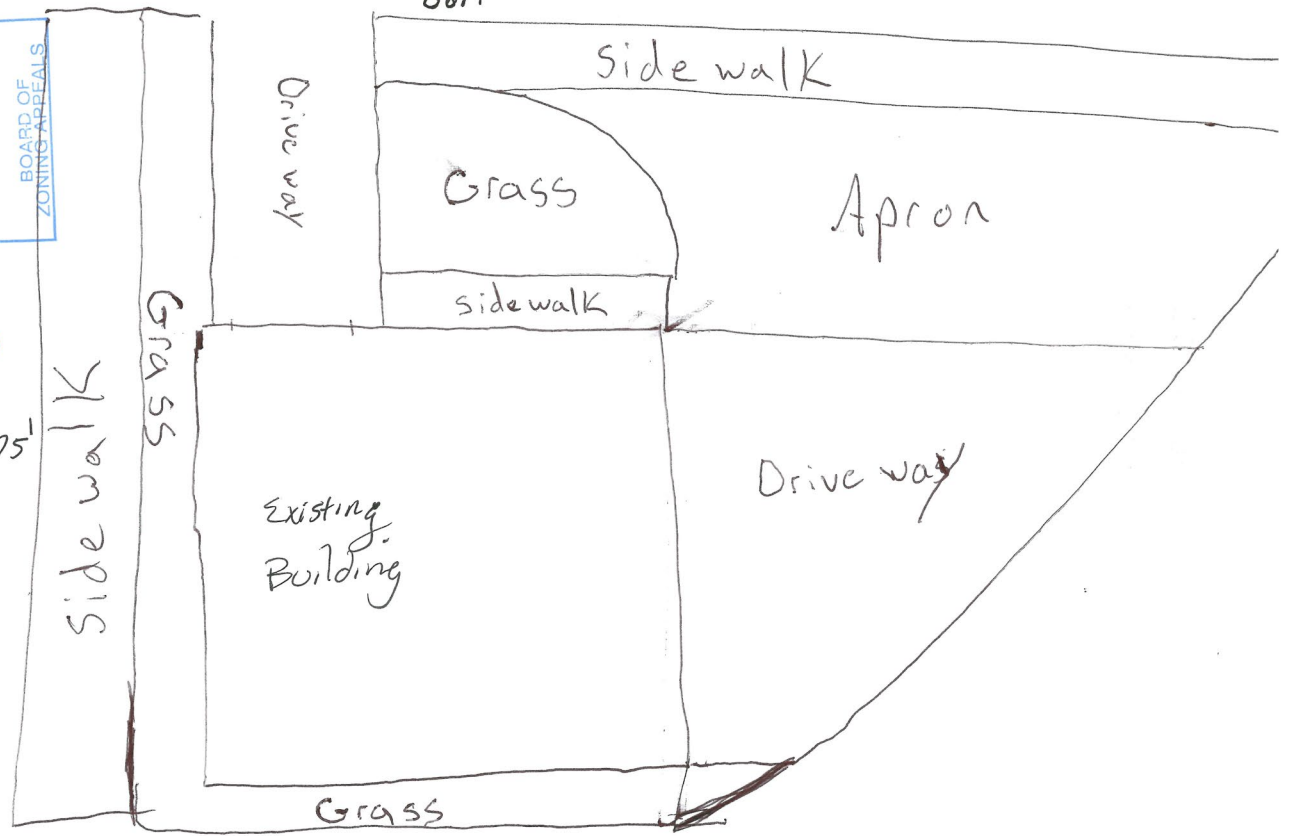
33'



RECEIVED
AUG 19 2021
BOARD OF ZONING APPEALS

141-18

20.75'





Jenny Spencer COUNCIL MEMBER, WARD 15

COMMITTEES: Health & Human Services • Safety • Transportation • Workforce & Community Benefits

October 22, 2021

Board of Zoning Appeals
Attn: Secretary Elizabeth Kukla
Cleveland City Hall
601 Lakeside Ave E #516
Cleveland, OH 44114

Re: Calendar No. 21-141, 7202 Hague Avenue

Dear Ms. Kukla,

On October 5, property owner Travis Tomlinson, lessee Anthony Kovach and business owner Angel Norbelto attended a community meeting to present their plans around the zoning variance for 7202 Hague Avenue. The meeting was attended by multiple community members and by the Ward 15 Council office.

Based on the community's receptiveness to the proposed plans, as well as property beautification that has taken place since that date, I do not oppose the requested zoning variance.

One outstanding matter is the privacy fence that will be needed for the property. Mr. Kovach has indicated that he is getting a permit for our privacy fence, and that he will send me a drawing of the fence once completed for my records.

Best regards,

A handwritten signature in black ink that reads 'Jenny Spencer'.

Jenny Spencer
Ward 15 Councilmember
jspencer@clevelandcitycouncil.org
(216) 664-4235

Cc: Adam Davenport, Cleveland City Planning Commission
Heather Lazar, Ward 15 Council office

Public Hearing



Calendar No. 21-144:

1392 E. 111 St.

Ward 9

CNLP L.P., owner, proposes to install approximately 200 linear feet of six-foot-high wooden fence and 34 linear feet of four-foot-high wood fence in side yard. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 358.03(a) which states that no portion of a fence located along and parallel to a driveway within fifteen (15) feet of its intersection with a public sidewalk shall exceed two and one-half (2- 1/2) feet in height, unless all portions of the fence above two and one-half (2-1/2) feet in height are at least seventy-five percent (75%) open. A six-foot-high opaque wood fence is proposed along driveway.
2. Section 358.04(a) which states that fences in actual side street yards shall not exceed four (4) feet in height and shall be at least fifty percent (50%) open, except that, in an actual side street yard, a fence that is set back at least four (4) feet from the side street property line may be a maximum of six (6) feet in height and may be open or solid. A solid, six-foot-high opaque fence is proposed in the actual side street yard, less than four feet from side street property line. (Filed August 20,2021)



Public Hearing

Calendar No. 21-144:

1392 E. 111 St.

Ward 9



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.**



HISTORY OF THE PROPERTY



Public Hearing

Calendar No. 21-144:

1392 E. 111 St.

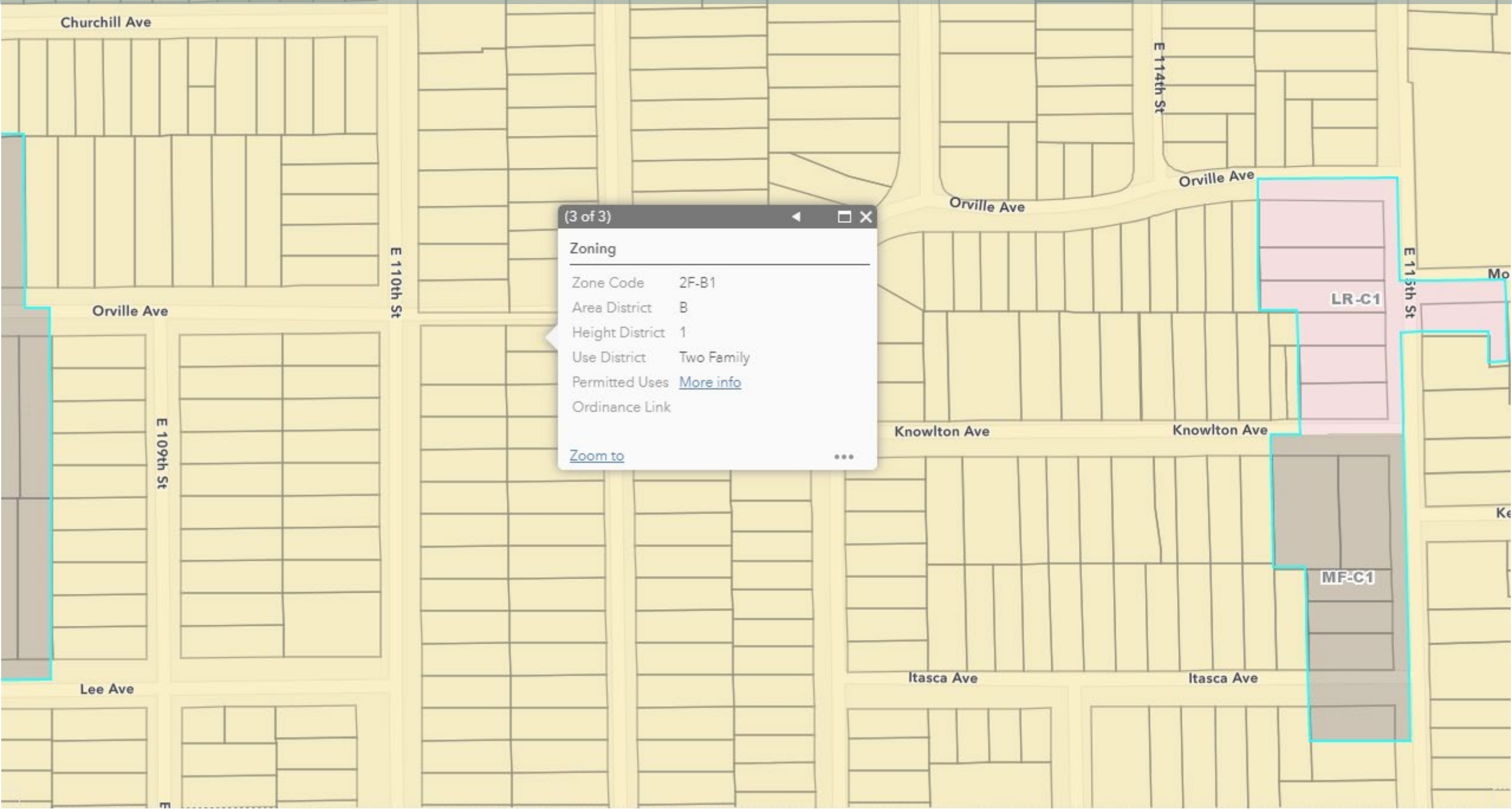
Ward 9



LEGAL STANDARD







(3 of 3) ◀ □ ✕

Zoning

Zone Code 2F-B1

Area District B

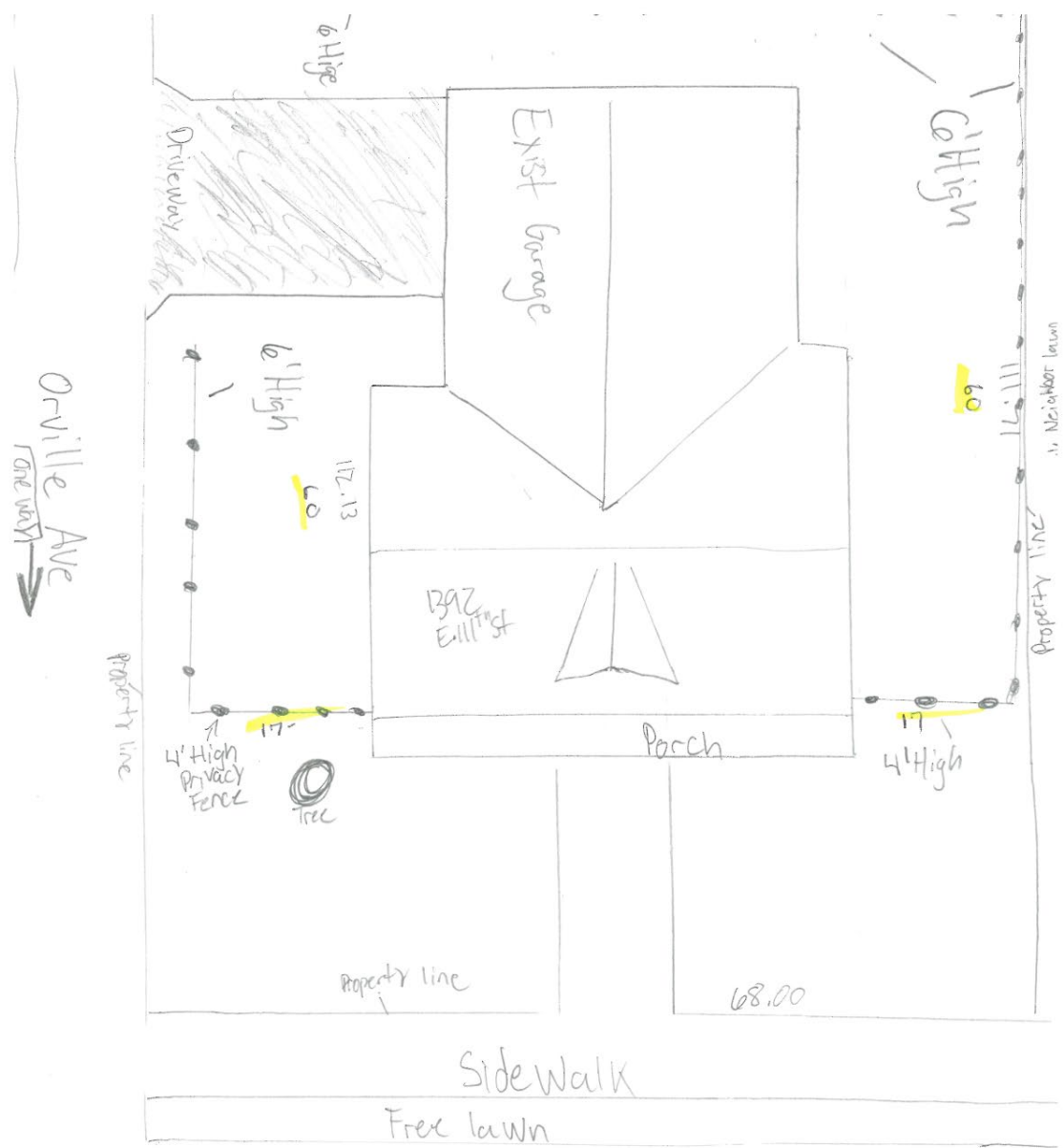
Height District 1

Use District Two Family

Permitted Uses [More info](#)

Ordinance Link

[Zoom to](#) ...



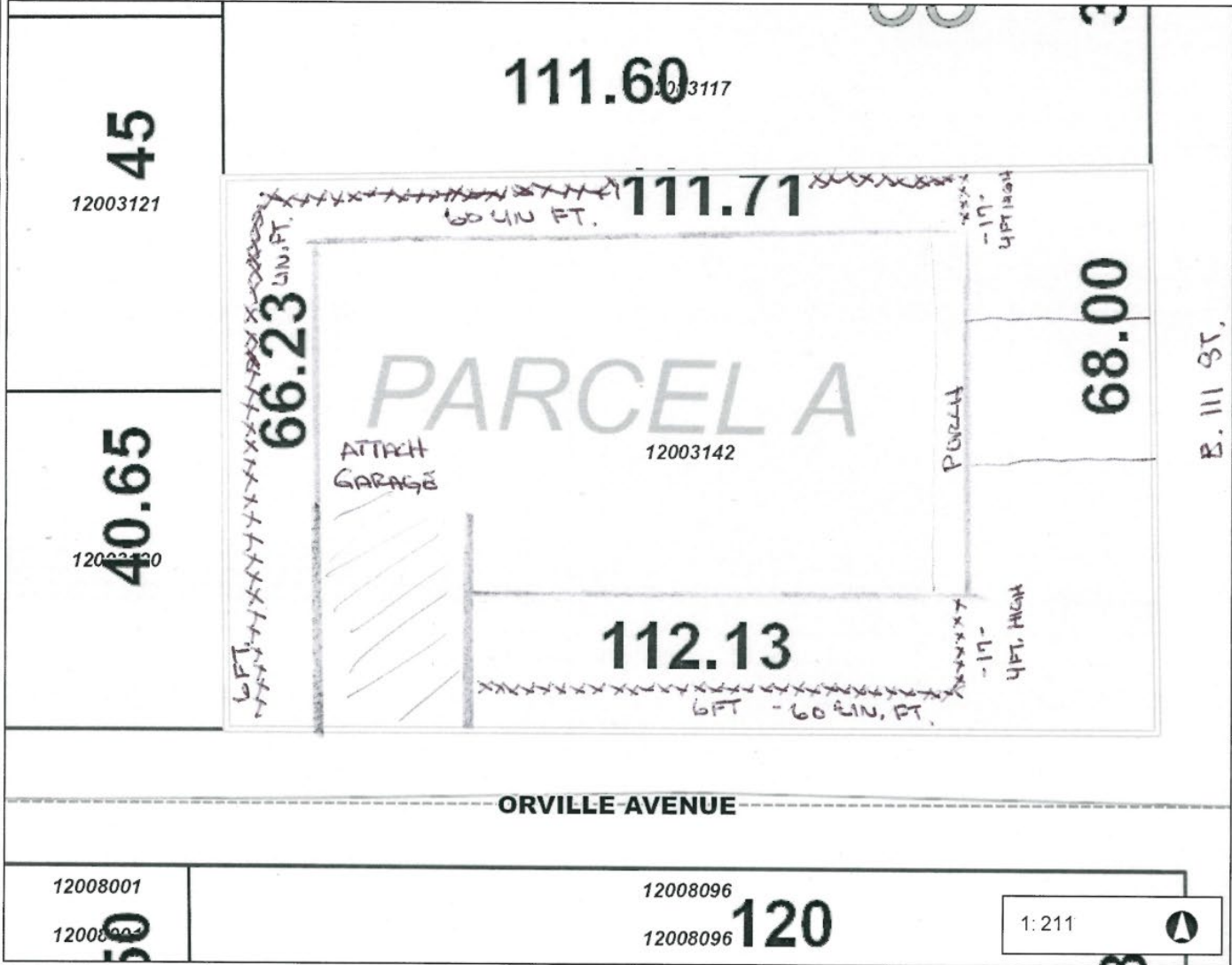
E. 111th Street

●●● Fence

Site Plan



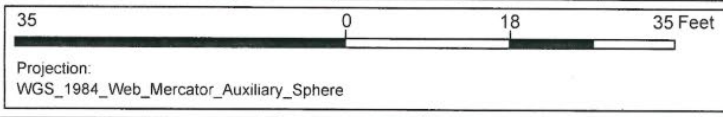
Cuyahoga County GIS Viewer



Date Created: 8/18/2021

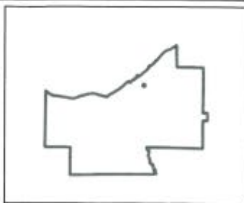
Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Date Created: 8/13/2021

Legend

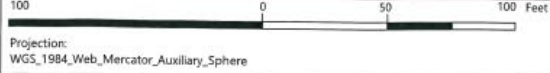
- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

21-144

RECEIVED

AUG 20 2021

COUNTY OF CUYAHOGA
ZONING APPEALS



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

1: 600



Cleveland Board of Zoning Appeals

Old Business



Public Hearing



- 1.
2. Cal. No. 21-158: 4200 Buechner Ave. (KB,AF,MB, B)
3. Cal. No. 21-156: 3160 West 33rd Street (KB,AF,MB, B)
4. Cal. No. 21-154: 4408 E. 175th Street (KB,AF,MB, B)
5. Cal. No. 21-153: 9412 Miles Ave. (KB,AF,MB, B)*
6. Cal. No. 21-137: 921 Jefferson Ave. (KB,AF,MB, B)*
7. Cal. No. 21-090: 1317 W. 74th Street (KB,MB,AF)* 7/26/21
8. Cal. No. 21-092: 3332 West 32. St. (KB,D, AF,MB)* 7/26/21
9. Cal. No. 21-091: 4157 Lorain Ave. (D,KB,AF,MB)* 7/12/21
10. Cal. No. 21-006: 9501 Pierpoint Ave. (J,D,KB,AF,MB)* 5/3/21
11. Cal. No. 20-098: 1854 W. 48th Street (J,D,KB,AF,MB)* 8/24/2020 (lot cons)

REQUESTS FOR AFFIRMATION : BZA21-035: 3907 Brookside Boulevard- Emerald Development was granted variances to erect a new 1 story single family house on April 12, 2021. They have not yet completed the construction drawings due to a funding issue.

REQUEST FOR REINSTATEMENT : NONE.

REQUEST FOR UPCOMING POSTPONEMENT:

MISC- None

- ~ Items received
- * Pending the receipt of requested information by the Board.
- *** Request for Rehearing/Reconsideration.

Cleveland Board of Zoning Appeals

Adjournment

